ARCHITECTURAL REVIEW BOARD
MUNICIPAL PLANNING COMMISSION
-AGENDA-
Thursday, January 12, 2023 at 7:00 P.M.

Louis J.R. Goorey Worthington Municipal Building
The John P. Coleman Council Chamber
6550 North High Street
Worthington, Ohio 43085
Watch online at worthington.org/live and comment in person or at worthington.org/meeting-public-input

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A. Call to Order - 7:00 pm

1. Roll Call
2. Pledge of Allegiance
3. Oaths of Office
4. Election of Officers
5. Approval of minutes of the December 8, 2022 meeting
6. Affirmation/swearing in of witnesses

B. Architectural Review Board – Consent Agenda

There will be no separate discussion of Consent Agenda items as they are considered to be routine by the Board and Commission and will be adopted by one motion. If a member of the Board & Commission, staff, or public requests discussion on a particular item, that item will be removed from the Consent Agenda and considered separately on the agenda. Approval of Consent Agenda items includes conditions as listed in the staff memo.

1. Fence – **794 Evening St.** (Chasity Kilburn) **ARB 103-2022**
2. Fence – **876 Oxford St.** (Brendan M. Shell-Ayer) **ARB 106-2022**

C. Architectural Review Board – Unfinished Business

1. New House – **99 E. North St.** (Josh Myers) **ARB 89-2022**

2. TWHS - Additions & Renovation – **300 W. Dublin-Granville Rd.** (Schorr Architects/ Thomas Worthington High School) **ARB 99-2022**

3. High North Phase 1 – Southwest Side of Property – **7227 N. High St.** (DRP Worthington LP) **ARB 93-2022**

D. Municipal Planning Commission – Unfinished Business

1. PUD – Final Plan

a. High North Phase 1 – Southwest Side of Property – **7227 N. High St.** (DRP Worthington LP) **PUD 04-2022**

E. Architectural Review Board – New Business

1. New Siding, Window Modifications, Deck Expansion, Gazebo – **790 Morning St.** (Mac Roberts) **ARB 104-2022**

2. Renovation of Building/Site, New Garage, Fence – **620 Hartford St.** (JRB Design LLC/Tomko) **ARB 107-2022**

3. Addition – **40 Short St.** (Megan Dixon/Zaller) **ARB 108-2022**

4. Signs – **108 E. Granville Rd.** (Morgan Welsh/Village of Seventeen) **ARB 110-2022**

5. New Chick-fil-A Restaurant – **60 E. Wilson Bridge Rd.** (Allan Wiley) **ARB 109-2022**

F. Municipal Planning Commission – New Business

1. Conditional Use Permit

a. Drive-In Commercial Use in C-4 - New Chick-fil-A Restaurant – **60 E. Wilson Bridge Rd.** (Allan Wiley) **CU 09-2022**

b. Recreational Facility in I-1 – **400 E. Wilson Bridge Rd., Unit O** (Dugout Baseball & Performance) **CU 10-2022**

2. **Amendment to Development Plan**

   a. Additional Parking – **550 Schrock Rd.** (Zappa Engineering/The Waterworks) **ADP 05-2022**

G. Other

H. Adjournment

MEMORANDUM

TO: Members of the Architectural Review Board
Members of the Municipal Planning Commission

FROM: R. Lee Brown, Director
Lynda Bitar, Planning Coordinator

DATE: January 6, 2023

SUBJECT: Staff Memo for the Meeting of January 12, 2023

B. Architectural Review Board – Consent Agenda
There will be no separate discussion of Consent Agenda items as they are considered to be routine by the Board and Commission and will be adopted by one motion. If a member of the Board & Commission, staff, or public requests discussion on a particular item, that item will be removed from the Consent Agenda and considered separately on the agenda. Approval of Consent Agenda items includes conditions as listed in the staff memo.

1. Fence – **794 Evening St.** (Chasity Kilburn) **ARB 103-2022**

Findings of Fact & Conclusions

Background & Request:
This English Cottage Revival style house was constructed in 1938 and is a contributing building in the Worthington Historic District. Several years ago the owners improved the house and property, including the addition of a wood picket fence along the south and east sides of the rear yard. This year the neighbor to the south removed the fence along the south side and installed a new picket fence.

With this application the owner of 794 Evening St. would like to install the removed portion of fencing along the north side of the rear yard.

Project Details:
1. The fence has 3 ½" pickets and 3 ½" spacing between pickets.
2. There is an existing chain link fence on the neighboring property to the north that would remain.

Land Use Plans:
Worthington Design Guidelines and Architectural District Ordinance

Fencing should be open in style; constructed with traditional materials; 3' to 4' in height; in the back yard; and of simple design, appropriate for the house style.

Recommendation:
Staff is recommending *approval* of this application as the proposed is appropriate.

Motion:
THAT THE REQUEST BY CHASITY KILBURN FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL FENCING AT 794 EVENING ST. AS PER CASE NO. ARB 103-2022, DRAWINGS NO. ARB 103-2022, DATED DECEMBER 2, 2022, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

2. Fence – **876 Oxford St.** (Brendan M. Shell-Ayer) **ARB 106-2022**

Findings of Fact & Conclusions

Background & Request:
This two-story house was built in 1940 and is a contributing building in the Worthington Historic District. The owners would like to add new fencing in the rear yard.

Project Details:
1. The fencing would be a 4' high three-rail wood fence to match a fence on the property to the north.
2. On the north side, 56' of fencing is proposed that would return with a gate to the northeast corner of the house.
3. Along the south property line, 178' of fencing is proposed that would return to the southeast corner of the house at the west end and stop at the existing chain link fence to the rear.

Land Use Plans:
Worthington Design Guidelines and Architectural District Ordinance
Fencing should be open in style; constructed with traditional materials; 3' to 4' in height; in the back yard; and of simple design, appropriate for the house style.

Recommendation:
Staff is recommending *approval* of this application as the proposed fence style is appropriate for this site.

Motion:
THAT THE REQUEST BY BRENDAN M. SHELL-AYER FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL FENCING AT 876 OXFORD ST. AS PER CASE NO. ARB 106-2022, DRAWINGS NO. ARB 106-2022, DATED DECEMBER 13, 2022, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

C. Architectural Review Board – Unfinished Business

1. New House – **99 E. North St.** (Josh Myers) **ARB 89-2022**

<u>Findings of fact & Conclusions</u>

Information that has not changed is italicized.

Background & Request:
This vacant parcel was established in 1938, being part of lot 2 of the original plat of Worthington. The property is 60' wide x 134.2' deep (8052 square feet in area) and is considered an existing lot of record which can accommodate a single-family dwelling per the Code. This block of E. North St. is primarily made up of single-story houses, except there are two-story houses at the west end on both sides of the street. This lot is adjacent to the two-story house on the south side of the street. The houses on the south side of the street are mostly set back about 35' from the front property line, except the house at the west end faces Hartford St. and its side along North St. is about 20' from the property line.A new house is proposed on this vacant lot.

The ARB saw an initial proposal for this house at its October 27, 2022 meeting. This version contains more detail and some modifications.

Project Details:

1. Site Plan:
    a. The front porch would be set back 30' from the front property line, with the house about 4' further back. The rear of the attached garage is shown 30' from the rear property line. The east side yard is proposed to be 6' wide and the west side of the house would be 14' from the property line.
    b. A driveway is shown on the west side of the house that would be 12' wide connecting to the existing curb cut at the front of the property. The drive would narrow to about 10' adjacent to the house due to a planting bed, and expand to about 27' wide past the house and a patio in front of a two-car garage. At the south end additional concrete would extend back for a turnaround. The edge of the drive would be about 1'6" from the east property line with plants proposed in that strip. The driveway material is proposed as concrete, and a 4' wide area of grass would be in the middle of the drive from the front yard to the back of the house.
    c. A concrete walkway is proposed from the driveway to the front door.
    d. The plan shows a 6' tall privacy fence around the rear of the property with a metal gate crossing the driveway. The fence would have 1" x 6" vertical pickets with a ½" gap between and supporting members facing in toward the new house.
2. Landscaping:
    a. An existing Sugargum tree is to remain at the front of the property on the east side.
    b. Planting beds are proposed around the house with Barberry, Sneezy Rhododendron, Chinese Silver Grass, Lungwart and Astilbe Japonica Europa.
    c. Along the west side of the drive, the area from the front of the property to the house would be planted with Dwarf Fountain Grass and the portion across from the house would have Japanese Plum Yews.

d. Chinese Silver Grass that would grow to 5-7’ in height is proposed along the rear property line.
e. The remainder of the property is shown as yard.

2. Building:
   a. About 2400 square feet of above-grade living space is proposed for the house and a basement would be below.
   b. The new house is proposed to be two-stories with a gable roof that runs east-west and is 27’ at its peak. A view of the street is included which shows the two-story house to the west 1.5’ shorter than the proposed, and the single-story house to the east about 12’ shorter. A second two-story gable would extend to the rear and a one-story gable would create a breezeway beyond. Connection of the breezeway to a two-car garage is proposed to the south.
   c. Vinyl 7” lap siding with a smooth finish in Linen made by Westlake is proposed for the house. House trim including around the windows would be in the same color.
   d. Windows, doors, gable trim, gutters and downspouts are proposed to be clay in color. Windows and door would be fiberglass.
   e. Certainteed Cobblestone Grey dimensional asphalt shingles are proposed for the roof.
   f. Black 6” wide x 15” high cannister lights are proposed at all entrances.
   g. Front:
      - The front entrance is proposed with a shed roof supported with columns. The roof would be 12” O.C. standing seam metal with smooth panels in Musket Grey.
      - A clay colored full-light door that is recessed from the front of the house a few feet is shown in the middle. The recessed area would have the same siding as the house but in a 4” version.
      - Two double-hung windows are proposed on each side the entrance on the first and second floors. The windows would be two over two lights and appear to be simulated divided light with muntins on the inside and outside of the glass and between the panes. The second-floor windows are shorter than the first-floor windows but would be the same width. In the center on the second floor a window with 2 lights is proposed above the porch roof. The style has not been identified.
   h. East Side:
      - Two double-hung windows with two over two lights are proposed on the first floor.
      - A clay colored aluminum gable vent is proposed.
      - On the side of the rear gable, small awning windows are proposed with the first floor being vertically oriented and the second floor being horizontally oriented.
      - Horizontal placed wood slats would extend across the breezeway but would not go all the way to the roof.
      - The garage is proposed to have the 4” lap siding.
      - Two of the same vertical windows are proposed for the garage.
   h. Rear:
      - The house is proposed with two double-hung windows on the second floor that match the front of the house.
      - A group of 3 vertical awning windows are shown on the first floor on the front part of the house.
      - On the second floor of the rear gable, 2 horizontal awning windows are proposed.
      - A full light door would be in the middle of the rear gable first floor.

- The rear of the garage would have 1 vertical awning window.

i. West Side:
   - The garage is proposed with a shed roof dormer with 2 sets of 3 each small vertically oriented awning windows. Two individual flush metal garage doors are proposed.
   - The rear is proposed with two vertical awning windows.
   - The front part of the house would have 1 double-hung window on the first floor, 2 on the second floor, and a gable vent.

j. North Side of Garage:
   - An aluminum door with windows is proposed.
   - A man door with a light in the upper half is also shown.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Infill sites should be developed in a way that is complementary to their neighborhoods and that integrates well with surrounding building designs and land uses. Compatibility with the neighborhood should be the primary consideration. New structures should complement the form, massing and scale of existing nearby structures. Also, building placement and orientation are important design considerations. Most main entrances should face the street and garages should avoid facing the street.

Roof: Roof shapes for new buildings should be appropriate to the style or design of the building. If a new building does not follow a particular style but is instead a vernacular design, then roof shapes and heights similar to those in the neighborhood or nearby would be most appropriate.

Materials: Contemporary materials that simulate traditional ones are appropriate, but the preferred option is to use true traditional materials such as wood siding. Incompatible contemporary materials should be avoided. Brick has long been a traditional material in Worthington. Prepare a sample board for review by the Architectural Review Board.

Windows: For new buildings, multiple-paned windows generally are not appropriate. The exception is a building being built in a particular style -- such as Federal, Greek Revival or Colonial Revival -- that would have employed this window type. When in doubt, simple 1 over 1 double-hung sash windows are usually the simplest, least expensive and most appropriate choice. Using the excellent precedents of Worthington's many historic structures, carefully design the pattern of window openings; window sizes and proportions (they must be appropriate for the size and proportions of the wall in which they are placed); pattern of windowpanes and muntins; and trim around the windows. Good quality wood windows are readily available and more affordable than in the past. True wood windows are always the first preference. Aluminum- or vinyl-clad windows can be appropriate, but primarily on secondary facades and less conspicuous locations. All-aluminum or vinyl windows are not prohibited but are not encouraged. Avoid blank walls.

Entries: For newly built buildings, simpler designs usually look better than more ornate ones. Avoid heavy ornamentation on doors and entrances. Observe entry placement on existing buildings. Whether located symmetrically or asymmetrically, entries usually are aligned with a

window on the second floor so that a regular rhythm of openings is maintained on both floors. Entries should be located so they are easily visible, and they should be oriented toward the street.

Ornamentation: Observe Worthington's excellent historic architecture for information on the kinds and amounts of ornamentation employed on various building styles and periods. Use ornamentation conservatively. It will be most successful if used in traditional locations: around windows and doors; along a building's cornice or at the corners; in gables; or on gates and fences. Most ornamentation historically was made of simple forms built up to a desired level of complexity. When in doubt, follow the old rule that "less is more." Sometimes just a little ornamentation, well placed, can have a major impact without the need for more extensive (and expensive, and hard-to-maintain) ornamentation. Use compatible materials in ornamental elements. Frame houses should have wood ornamentation, although in cases where the ornamental elements are some distance from the viewer it may be possible to use substitute materials such as fiberglass.

Color: In general, avoid bright colors not typical in Worthington neighborhoods, such as various shades of purple or orange. For infill buildings being placed in an existing streetscape, select colors compatible with those already used along the streetscape. Many buildings follow a pattern of light colors for the building body and darker colors for the trim. Following this pattern is encouraged. In Worthington, the use of white or cream-colored trim also is common and would be appropriate for new construction. Avoid using too many colors. Usually one body color and one trim color are sufficient.

Landscaping: Worthington's mature shade trees are the primary landscaping feature throughout the community. They are a major contributor to its character and help define its neighborhoods as stable, desirable places to live. In general, lawns are generous but not overly large, which contributes to the sense of human scale that is one of Worthington's important attributes. Other landscaping elements tend to be properly scaled and well-tended, which also tends to enhance neighborhood character. Maintain and nurture mature trees to prolong their lives. Plant and maintain street trees in planting areas between the street and sidewalk. Paving can sometimes reduce water absorption of the soil so much that trees do not get the moisture they require.

The standards of review in the Architectural District ordinance are:

1. *Height;*
2. *Building massing, which shall include the relationship of the building width to its height and depth, and its relationship to the viewer's and pedestrian's visual perspective;*
3. *Window treatment, which shall include the size, shape and materials of the individual window units and the overall harmonious relationship of window openings;*
4. *Exterior detail and relationships, which shall include all projecting and receding elements of the exterior, including but not limited to, porches and overhangs and the horizontal or vertical expression which is conveyed by these elements;*
5. *Roof shape, which shall include type, form and materials;*
6. *Materials, texture and color, which shall include a consideration of material compatibility among various elements of the structure;*
7. *Compatibility of design and materials, which shall include the appropriateness of the use of exterior design details;*

8. *Landscape design and plant materials, which shall include, in addition to requirements of this Zoning Code, lighting and the use of landscape details to highlight architectural features or screen or soften undesirable views;*
9. *Pedestrian environment, which shall include the provision of features which enhance pedestrian movement and environment, and which relate to the pedestrian's visual perspective;*
10. *Signage, which shall include, in addition to requirements of Chapter 1170, the appropriateness of signage to the building;*
11. *Sustainable Features, which shall include environmentally friendly details and conservation practices.*

Planning Comments:

1. *Building placement and orientation are appropriate.*
2. *The proposed two-story house may not be compatible with the majority of the block but could be acceptable given the houses next door and across the street.*
3. *The basic style is similar to others in the Architectural Review District.*
4. *Although vinyl siding is widely used, wood or a product that looks like wood is preferred.*
5. The fenestration of the proposed house has improved. Exceptions are: the window on the front of the house in the center of the second floor should match the proportions of the other second floor windows; the horizontal awning windows on the rear seem out of character with the house.
6. The plans call for muntins in the awning windows, but the drawings do not show muntins.
7. The addition of landscape beds should help soften the building and help with storm water in the driveway area. The coverage with concrete is less than previously proposed.
8. Proposed fencing should be no higher than 4' and open style – picket width and openings between pickets are equal.

Recommendation:

Staff is recommending the comments above be addressed before approval is given. Particularly, the fence style should be modified to meet the guidelines.

Motion:

THAT THE REQUEST BY JOSH MYERS FOR A CERTIFICATE OF APPROPRIATENESS TO CONSTRUCT A NEW HOUSE AT 99 E. NORTH ST. AS PER CASE NO. ARB 89-2022, DRAWINGS NO. ARB 89-2022, DATED DECEMBER 15, 2022, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

2. TWHS - Additions & Renovation – **300 W. Dublin-Granville Rd.** (Schorr Architects/ Thomas Worthington High School) **ARB 99-2022**

<u>Findings of Fact & Conclusions</u>

Background & Request:

Thomas Worthington High School was originally built in 1952 and has undergone many additions and renovations over the years. Replacement of most of the school is now proposed. The applicants are not looking for approval at this time, but rather feedback regarding the still evolving plans.

The discussion for this meeting is regarding site planning. The packet includes: a rendered site plan; site cross-sections; building entrances; pedestrian routes; and vehicular routes.

Project Details:

1. Site Plan:
    a. The entrances to the site would remain in the same locations, so the only changes would be internal to the site.
    b. The plan shows a larger entry plaza near the west entrance to the school.
    c. The bus drop-off is shown along the southern most drive adjacent to the main parking lot.
    d. North of the bus drop-off would be a pedestrian promenade and then a re-configured parking lot and drive that would connect to the drive on the north side of the school. The rest of the parking lot would remain as is.
    e. The plan indicates a new natatorium that would be constructed further to the south with parking in the building's current location.
    f. The drive in front of the high school would now be one-way and include parallel parking along the south side.
    g. On the east side of the new school building (which would be further west than the existing school), parking is now proposed.
    h. The site plan shows re-location of the softball field to the north side of the school from its current location in the flats. The field is proposed east of the baseball field with home plate at the southwest corner. The baseball field would be repositioned so home plate is at the southeast corner, which would allow for shared amenities between the fields.
    i. Additional parking is shown east and south of the softball field's new location.
    j. The plan also shows two practice turf fields west of the football stadium. The field to the north should be installed in the near future.
2. Cross-sections:
    a. The cross-section on the east side shows the downward slope of the grade between the existing basketball courts and the new high school. The change would be accommodated with two separate parking fields.
    b. The west side seems pretty level.
3. Building Entrances:
    a. The main entrance would be on the west side (currently the athletic entrance).
    b. A front entrance is shown on the south side.
    c. Two entrances are shown on the east side.
4. Pedestrian Circulation:
    a. Walkways to the site:
        - From Evening St. - At southeast corner of site; south of tennis courts; and north of basketball courts/playground
        - From W. Dublin-Granville Rd. (161) – Across 161 on the east side of Farrington Dr. and north to entrance; from 161 sidewalk south of Swiminc along north side of

pool complex to new pedestrian promenade; from 161 sidewalk south of stadium along sidewalk on east side of stadium to pedestrian promenade

b. Internally – Sidewalk around whole building.

5. Bus Drop-off/Pick-up:
   a. The route shows the entrance at the drive by the stadium, turning right on the south side of the parking lot, and exiting out the drive to the east (where buses currently enter and exit).
   b. The lane on the south side of the parking lot would have room for buses to park on both sides with an open lane between.
6. Parent Drop-off/Pick-up:
   Parents would enter on the drive east the stadium; turn right just past the pedestrian promenade; curve to the left past the entry plaza; go left on the drive north of the school; loop around the main parking; and exit on the drive east of the stadium.
7. Staff Vehicular Routes:
   Staff is slated to enter through the drive near the stadium and loop around the main parking to the northeast and east parking lots. Exit would be the same way or through the gate near the MAC.
8. Visitor Vehicular Routes:
   Visitors are to enter across from Farrington Rd.; use the one-way drive on the south side of the school; and either exit at the gate by the MAC or head north to circle the school.

Land Use Plans:
Worthington Design Guidelines

Engineering and Planning Comments:

1. A shared use path along Dublin-Granville Rd. was identified as the highest priority active transportation project in Worthington's Bicycle and Pedestrian Master Plan. Staff recommends the applicant explore options to implement a shared use path into their pedestrian circulation plan.
2. No pedestrian accommodations exist along Dublin-Granville Rd. between Evening St. and Farrington Dr. A shared use path in this portion of the site would improve access along the corridor.
3. The only designated circulation to the site's Evening Street access point is visitor vehicles. Discussions with staff indicated that this access point would have broader use. Clarify the use of this access point and the operation of the vehicular gate.
4. Clarify how pedestrians would safely cross from the proposed sidewalk on the west side of the western school entrance to the "pedestrian promenade". Safe pedestrian crossing of Dublin-Granville Rd. at Seabury Dr. should also be explored.
5. Further information related to traffic pattens is being produced through a Traffic Impact Study, which is being developed by the applicant in coordination with the City Engineer.
6. Clarify how pedestrians would access the building from the easternmost parking lot. Would there be steps or a ramp to accommodate the change in grade?

Recommendation:
Staff recommends ***tabling*** this application after discussion.

3. High North Phase 1 – Southwest Side of Property – **7227 N. High St.** (DRP Worthington LP) **ARB 93-2022**

&

D. Municipal Planning Commission – Unfinished Business

1. **PUD – Final Plan**

a. High North Phase 1 – Southwest Side of Property – **7227 N. High St.** (DRP Worthington LP) **PUD 04-2022**

<u>Findings of Fact & Conclusions</u>

Information that has not changed is italicized.

Background & Request:
The Worthington Mall (The Shops at Worthington Place) was originally constructed in the mid 1970's and has been added onto, renovated and reworked many times over the years. The 15.66-acre property transferred at the end of 2019, and the owner was approved to rezone the property as a PUD, and rebranded the property as High North. The PUD includes altering the northern and western part of the property by removing part of the existing mall; adding Class A office, entertainment, retail and restaurant uses; constructing structured parking and public spaces; modifying the existing parking lot and drive aisles; and adding improvements in the public right-of-way.

Earlier this year, a Final Plan submittal was approved that addressed changes to the drives adjacent to the east side of the existing mall and the north side of Kroger; to the Kroger parking lot; and new freestanding signs.

The current applications show changes to the southern half of the existing mall building and the addition of commercial buildings at the southwest corner of the site. This area was originally Phase II, but has become Phase I of the project.

The ARB reviewed initial plans on October 27, 2022. Per that discussion, the applicant made the following changes to the entertainment venue:

- Modified the brick color to be lighter
- Darkened the second floor material
- Enclosed the exterior staircase.

Project Details:

1. *Demolition:*
    a. *Demolition of the southwest quadrant of the mall, including the center roof structure connecting to the remaining buildings to the north and east (Buildings A and C) is proposed.*

b. *The east-west roof connector on the east half of the mall (between Buildings A and B) is also proposed for removal.*
c. *The connector roof between the north buildings (B and C) would remain.*

2. *Site Plan:*
   a. *Two new buildings are proposed at the southwest corner of the property. When the PUD was first approved, this was to be one larger building, A two-story, 48,543 square foot commercial building would be constructed on the west half of the existing parking lot on the south side of the mall, about 50' from the right-of-way. A building with 3 floors (75,000 square feet) of office above 4 floors of parking (350 spaces) is proposed to the north, about 185' from the right-of-way.*
   b. *The drive along the south side of the existing mall building would remain, with part going under the connection between the new buildings.*
   c. *Along the west side of the new building, the drive would be in roughly the same location as it is currently. A sidewalk is proposed on the east side.*
   d. *The south side parking lot is proposed with 80 spaces versus the existing 181 space lot and would include 13 spaces on the south side of the new building.*
   e. *The parking lot to the northwest of the new building to the north would be reconfigured to allow for a drive on the east side of the parking as well as the west. Parking would be reduced from 72 spaces to 53 spaces. There is also a plaza area with steps and patio space in that area north of the new building.*
   f. *The applicant calculated 981 parking spaces required for the site based on ULI numbers and indicates 1014 spaces are provided with this plan.*
   g. *Utility connections have been proposed and would need approval from the City's Service and Engineering Department.*
3. South Commercial Building:
   a. The proposed two-story building would have a flat roof that is 50' high and constructed primarily with Summit Brick – Iron Mountain. *Mechanical equipment is proposed on the rooftop.*
   b. A rectangular tower finished in EIFS painted SW 7029 Agreeable Gray would stand at 75' tall on the east side of the building
   c. *On the east elevation, aluminum siding that resembles wood is proposed for the first floor and part of the second at the south end. The entrance would consist of three double doors north of the tower element. Canopies are proposed above the north section and above a seating area at the southern part of the east side of the building.*
   d. *Pilasters are proposed to be spaced regularly across the south, west and east facades with windows between. The storefront windows would be dark bronze and have rowlocks above and below. On the first floor of the west and south sides, brick would be laid vertically below the windows.*
   e. This building would be an entertainment facility and has been designed with some solid walls and false windows to hide " back of house" uses on the west and south sides. The west side is proposed with the look of bricked in windows on the first floor, and SW 7017 Dorian Gray EIFS panels with painted "windows" in SW 7020 Black Fox on the second floor. On the south side, SW 7017 Dorian Gray EIFS panels are proposed on the western half of the second floor with storefront windows.
   f. *An outdoor dining area is proposed on a south side balcony and would have a painted metal canopy above.*

g. *Black cylindrical lights that illuminate up and down would be mounted on the pilasters.*
h. The metal fire escape previously shown on the west elevation at the north end would now be enclosed with a perforated metal screen. Several examples of metal screens are included in the packet so the exact style and color are not clear.
i. *Red accent lighting is proposed in strips at the southwest corner of the building, and on the east elevation.*
j. *LED accent lights are shown along the top of the building in white and blue.*
k. *Internally illuminated signs are proposed on two sides of the tower; on the east elevation above the seating area; and on the north side.*

4. *Office Building and Parking Garage:*
   a. *The four-story parking structure would be finished with two different brick colors (1 & 3), metal panels and louvers. A stone retaining wall would be at the south end to accommodate a change in grade, and the wall would continue to line the base along the east and north side. The darker brick would face the base of the structure on the west side.*
   b. *The vehicle entrance to the parking garage is proposed on the west side at the north end of the building. The ramp would be along the west side of the structure. The main pedestrian entrance would be on the east elevation toward the middle of the garage.*
   c. *On the east and north sides, a combination of green screens and murals are proposed on the first level. The mural areas would be artistic but not used for signage. The upper levels and west side would have openings above dark gray precast panels. A glass and metal railing is proposed around the edge of the top floor.*
   d. *Three 25,000 square foot office floors are proposed above the northeast part of the garage. Six brick columns on the east and west side of the office building toward the north end would line up with and resemble the columns proposed for the garage. At the south end, five columns finished with precast panels are proposed on the east and west sides. Matching columns would be at the north and south ends of the building.*
   e. *Dark bronze storefront systems would make up the walls of the building. Balconies with glass and metal railings are proposed at the north and south ends of the building, and at locations along the east and west elevations.*
   f. *Metal panels are proposed between floors and at the top edge of the roof.*
   g. *A roughly 7' high perforated metal screen would be on the roof to screen mechanical units.*
   h. *Several signs with the High North logo are proposed, and the development name would be added above the pedestrian entrance on the east side of the garage.*
   i. *Large tenant signs would match the style shown in the PUD approval – 3' high individual reverse channel letters mounted on a non-illuminated backer panel.*
   j. *A Kroger sign is proposed on the west side of the tunnel; a sign saying "Exit to Wilson Bridge Rd." would be on the east.*

5. *Area Between Existing Buildings:*
   a. *An elevated crosswalk is indicated on the site plan just south of the area between existing Building A and the new office/parking building, and east of the tunnel between the new buildings. It is not clear what material would be used.*
   b. *The north-south open corridor between existing Building A and the parking garage would have retaining walls at the south end and a ramp and stairs to accommodate pedestrian traffic. On the east side a seating area is proposed that would have*

horizontal rails and planting beds at the edges. The west side retaining wall would have a couple tiers with planting areas. Along the corridor a mixture of vegetation, planting beds, planters, benches, tables, chairs, umbrellas and lighting is proposed. The same mix is proposed along the open east-west corridor. Also, two different colors of concrete paving would be used.

c. *In two locations (east and west) a colorful lighted arbor-like feature would be installed above the corridor.*
d. *Renovation of some of the storefronts would include a variety of materials like brick, composite wood, aluminum, vinyl, stucco and EIFS, and a palette of paint colors. Some storefronts are proposed with canopies, and cylindrical wall sconces would be used.*
e. *At the north end of the open area, adjacent to Buildings B and C which would stay connected, a two-story glass entry enclosure is proposed. Internally illuminated letters would spell "The Commons" on the wall and "candle-like" light fixtures would hang from the ceiling.*
f. *Perforated metal screens are proposed to mount on some storefronts to allow attachment of signs. Other signs could be wall-mounted, projection signs, on canopies and on light poles. Basic sign parameters were established as part of the PUD included potential locations, sizes and styles.*

6. *Monument Sign:*
   a. *The W. Wilson Bridge Rd. monument sign has been redesigned to complement the new buildings.*

Worthington Land Use Plans:
Worthington Design Guidelines

Architectural District Ordinance - Chapter 1177

Wilson Bridge Corridor Districts - Chapter 1181

1181.05 Development Standards.

Comprehensive Plan Update & 2005 Strategic Plan for Worthington

Chapter 1174 - Planned Unit District - PUD

Division of Building Regulation Comments:

a) The existing building is a unlimited area building (OBC Section 507), with a covered mall use (OBC Section 402). The new buildings appear both to be a high rise (OBC Section 403). Phasing of the construction will be important to ensure the safety of the occupants of the existing building that will become separate buildings, especially when detaching the 5 existing buildings from the covered mall, and the eventual elimination of both the unlimited area and covered mall requirements.
b) The building on the parcel to the east owned by The Kroger Company is also an unlimited area building. There is a no build easement to maintain a 60' open area around that building in compliance with ORC 3781.02. The plans are not dimensioned but it appears It may comply with Instrument # 200608250169750 recorded on August 25, 2006.

Fire Department Comments:
While designers are required to follow the Ohio Fire Code in its entirety, this list addresses high priority concerns.

- OFC 507.3 Fire flow requirements for the proposed buildings shall be determined by an approved method. (OFC Appendix B will be accepted as an approved method)
- OFC 507.1 An approved water supply capable of supplying the required fire flow for fire protection shall be provided.
- OFC 507.5.1 Where a portion of the building is more than 400 ft from a hydrant, as measured by an approved route around the exterior of the structure, on site fire hydrants shall be provided. (Distance requirement shall be 600 ft if equipped throughout with an approved automatic sprinkler system)
- OFC 507.5.1.1 Buildings equipped with a standpipe system shall have a fire hydrant within 100 ft of the FDC.
- OFC 503.1.1 Fire apparatus access roads shall extend to within 150 ft of all first story exterior walls. (Distance may be increased to 300 ft if equipped throughout with an approved automatic sprinkler system)
- OFC 503.2.1 Fire apparatus roads shall have an unobstructed width of no less than 20 feet. OFC 503.2.3 Fire apparatus access roads shall be designed to support the imposed loads of fire apparatus.
- OFC 503.2.3 Fire apparatus access roads shall be designed to support the imposed loads of fire apparatus.
- OFC 503.2.5 Dead-end access roads in excess of 150 ft shall be provided with an approved turnaround area.
- A travel path exhibit which demonstrates unobstructed access for Ladder 101 will be required. (Fire apparatus access roads only)

General Fire & EMS Notes:

- Installation of key boxes (Knox Box) will be required
- Emergency responder radio coverage is required in new buildings.
- Installation of an emergency responder radio coverage system may be necessary.

Planning Comments:

1. *Demolition:*
   a. *Retention of the northern enclosed space could be beneficial in the winter months.*
2. *Site Plan:*
   a. *The ability to continue vehicular access across the south side of the property is valuable.*
   b. *The addition of a drive aisle in the west parking area would help with circulation.*
   c. *Parking seems sufficient.*
3. South Commercial Building:
   a. *Ground-floor window and door glazing should be transparent and non-reflective. Second floor windows should have the minimum reflectivity needed to achieve energy efficiency standards. Non-reflective coating or tints are preferred.*
   b. *Window muntins should project on the outside of the glazing.*
   c. *Generally, EIFS is not a preferred building material. The proposed use may be acceptable if the material has a smooth finish.*

   d. *More detail is needed for the accent lighting to determine appropriateness.*
   e. *Signage will need reviewed. The original PUD called for wall signs to be backlit, and only one sign per façade was allowed except no sign could be on the south side facing W. Wilson Bridge Rd.*
   f. The proposed building colors are much more appropriate.
4. *Office Building and Parking Garage:*
   a. *Windows should have the minimum reflectivity needed to achieve energy efficiency standards. Non-reflective coating or tints are preferred.*
   b. *Generally, EIFS is not a preferred building material. The color and location higher up on the building may make the use acceptable.*
5. *Area Between Existing Buildings:*
   a. *Stucco is not a preferred material, especially in a pedestrian area.*
   b. *Staff feels the signs in this area should not be subject to future ARB approval. The signs are internal to the site, and criteria was set for location and size with the PUD. With landlord approval, sign permits could be maintained.*
6. *Monument Sign:*
   a. *The monument sign is appropriate.*

Recommendation:
The change to the entertainment use makes the building fit in better with the site and the community. The proposed brick also allows for a better view of the building details. Discussion is still needed regarding accent lighting at the top of the building and at the corner, and signage could come back for approval in the future.

ARB Motion:
THAT THE REQUEST BY DRP WORTHINGTON LP FOR A CERTIFICATE OF APPROPRIATENESS TO REDEVELOP THE PROPERTY AT 7227 N. HIGH ST., AS PER CASE NO. ARB 93-2022, DRAWINGS NO. ARB 93-2022, DATED DECEMBER 16, 2022, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

MPC Motion:
THAT THE REQUEST BY DRP WORTHINGTON LP FOR APPROVAL OF A PUD FINAL PLAN TO REDEVELOP THE PROPERTY AT 7227 N. HIGH ST. PER AS PER CASE NO. PUD 04-2022, DRAWINGS NO. PUD 04-2022, DATED DECEMBER 16, 2022, BE APPROVED BASED ON THE PLANNING GOALS OF THE CITY, AS REFERENCED IN THE LAND USE PLANS AND ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

E. Architectural Review Board – New Business

1. New Siding, Window Modifications, Deck Expansion, Gazebo – **790 Morning St.** (Mac Roberts) **ARB 104-2022**

<u>Findings of Fact & Conclusions</u>

Background & Request:
This house was constructed in 2001 on a 50' wide x 194' deep lot. The new owners would like to replace the siding; modify windows to accommodate renovation of the master bath and kitchen; replace and expand the deck; and add a gazebo. Please note the included elevations are a reversed view of the house.

Project Details:

1. The front window is proposed to be replaced with 41" wide x 40" high twin casement windows with 6 lights in each window. Black shutters are proposed. The shutters combined with the new windows would have the same width as the existing pair of windows. A window box would be added below.
2. The brick accent wall on the front of the house is proposed to be painted white to match the house trim.
3. The front door is proposed to be painted SW 0020 Peacock Plume
4. On the right side of the house, the front window would move about 1' to the rear to accommodate interior changes.
5. A rear double door is proposed to be replaced with a sliding door.
6. New siding is proposed for the whole house that is 6" insulated vinyl in Charcoal Smoke. White house trim would not be replaced.
7. The existing deck is 18' wide x 14' deep and would be replaced and made 8' wider. The new deck is proposed in Castle Gate colored Timbertech.
8. A 20' x 12' black aluminum gazebo is proposed on the deck and would be 10' to the tallest point of the hipped roof.

Land Use Plans:
<u>Worthington Design Guidelines and Architectural District Ordinance</u>
Wood siding is preferred, and should be used in one of its traditional forms: shingle, board-and-batten, shiplap or beveled siding. If replacement siding is installed over or in place of wood siding, it should be located only where the original siding was used. Avoid removal of or damage to window and door surrounds, ornamental elements such as eave brackets, and decorative panels or shingled areas. The new siding should match the thickness and width of the old as closely as possible. Consider removal of existing replacement siding, including cement-asbestos, but only if the underlying original siding is in good condition or can be repaired.

Using the excellent precedents of Worthington's many historic structures, carefully design the pattern of window and door openings; window sizes and proportions (they must be appropriate for the size and proportions of the wall in which they are placed); pattern of windowpanes and muntins; and trim around the windows.

Masonry which has been painted in the past should remain painted, since removal of paint can be difficult and damaging. However, walls that have not been painted in the past should remain unpainted.

Decks should be located as far to the rear as possible. Design and materials should be traditional, and compatible with the existing structure.

Planning Comments:

1. The proportions and style of the proposed front windows may be out of character with the house.
2. Painting brick that has not been painted is not recommended in the Design Guidelines.

Recommendation:
Staff feels much of this application is compatible with the Design Guidelines, but the above comments should be discussed before approval.

Motion:
THAT THE REQUEST BY MAC ROBERTS FOR A CERTIFICATE OF APPROPRIATENESS TO RENOVATE THE HOUSE, EXPAND THE DECK, AND INSTALL A GAZEBO AT 790 MORNING ST. AS PER CASE NO. ARB 104-2022, DRAWINGS NO. ARB 104-2022, DATED DECEMBER 11, 2022, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

2. Renovation of Building/Site, New Garage, Fence – **620 Hartford St.** (JRB Design LLC/Tomko) **ARB 107-2022**

<u>Findings of Fact & Conclusions</u>

Background & Request:
This Bungalow was built around 1900 and is a contributing building in the Worthington Historic District. The garage is also a contributing building. The applicant would like approval to renovate the house, demolish the garage, construct a new garage, and install a fence.

Project Details:

1. House:
    a. Siding – The plan includes removing the existing vinyl siding to reveal the original wood lap siding below. The wood siding is to be finished with dark Oak stain, and the trim would be white. Brackets are proposed at the roof corners.
    b. Front Porch - A photo is included in the packet from the mid-1900's that shows a more Craftsman looking front porch. The applicant would like to modify the porch to be similar to that photo. A solid wall finished with lap siding is proposed as the rail around the porch with short, tapered columns on top to support the roof. In the historic photo the columns were quite a bit wider than what is proposed. The porch ceiling is proposed to be arched, dipping at the two columns. A row of short spindles would be along a portion of the front wall and rails are proposed on top of brick piers on both sides of the front steps, which would be replaced with concrete.
    c. Windows – Replacement of what appear to be original wood windows is proposed. Vinylmax Edision white windows would be used in generally the same sizes and styles as the wood windows, including SDL muntins (interior, exterior and between the glass).
        - Front – All windows would be replaced with double-hung, 6 lights over 1.
        - North side – Second floor windows would be replaced with double-hung, 6 lights

over 1. First floor windows would remain 6 light windows (awning style?) Although proportions of the 6 light windows do not all match in the elevations, the intent is to keep the window sizes and styles the same as the existing.

- South side – Three windows would be replaced as they look now. A second floor double hung window is proposed to be changed to an awning window with 6 lights. A double-hung window on the small, shed roof addition would be replaced with a casement window and windows in the rear enclosed porch would also become casement.
- Rear – The double hung windows in the upstairs dormer and on the first floor are proposed to be replaced with vinyl windows to match. Four windows in the enclosed porch would become casement windows, as would the window in the south side addition.
- Glass block windows are proposed for the basement windows.

d. Doors - All doors are proposed for replacement with wood doors having windows above 2 vertical panels. The front doors would have 8 lights.

e. Chimneys – The main chimney in the front of the house on the north side would stay. A rear smaller chimney is proposed to be removed.

f. Rear Steps – Reconstruction of the rear wood steps and railing is proposed.

2. Garages:

a. The existing 10’ x 24’ garage is proposed to be demolished. The Worthington Historical Society was notified and has documented the building as necessary.

b. Proposed is a two-car garage that would be 22’ wide and 24’ deep. The structure is proposed at the northeast corner of the property at 8’ from the side property line and 10’ from the rear. Access would be by way of an alley at the rear of the property. The garage is shown with a gable running east to west with overhangs to complement the house in the front and rear. Wood siding, trim and brackets are proposed to match the house. A pair of 6 light windows would be on the north and south side. On the west side, a wood man door is proposed. On the east side, a wood double garage door is proposed.

3. Light Fixtures – Small rectangular light fixtures are proposed next to the 2 doors at the front of the house and the man door of the garage.

4. Driveway & Patio – The applicant plans to install a new driveway made up of crushed aggregate framed with pavers. An example of a similar drive in Old Worthington is shown. A paver patio is proposed at the end of the driveway and behind the house, and a walkway would be installed to the garage. A concrete drive approach is proposed between the garage and alley to the rear.

5. Fence – A 4’ tall open style fence is proposed around the rear yard and running to 35’ from Hartford St. on the north side. The style shown in the renderings has vertical pickets with top and bottom rails.

Land Use Plans:

<u>Worthington Design Guidelines and Architectural District Ordinance</u>

Wood siding is the preferred exterior material for new buildings, additions to existing buildings, or new garages and outbuildings. The siding should be used in one of its traditional forms: shingle, board-and-batten, shiplap or beveled siding. If replacement siding is installed over or in place of wood siding, it should be located only where the original siding was used. Avoid removal of or

damage to window and door surrounds, ornamental elements such as eave brackets, and decorative panels or shingled areas. The new siding should match the thickness and width of the old as closely as possible. Consider removal of existing replacement siding, including cement-asbestos, but only if the underlying original siding is in good condition or can be repaired.

Retention and repair of existing historic windows is always preferable to replacement. Because they usually comprise so much of a building's exterior surface, windows are a major part of its character. Keeping them is one of the most important ways to protect that character. Even non-original windows may be of sufficient age and design quality to warrant their retention. If historic windows are too deteriorated to repair cost effectively and replacement is justified, the preferred option is an in-kind replacement in the same material and design. This usually means real wood windows with true through-the glass muntins (if appropriate) in dimensions and profiles that duplicate the originals. New windows made of substitute materials such as aluminum, vinyl, or clad wood can be an acceptable second choice if they provide a reasonably good match for the windows being replaced. Number of panes, real muntins, and correct profiles are important. Be sure that window designs are appropriate for the style or time period of the house. Window treatment, which shall include the size, shape and materials of the individual window units and the overall harmonious relationship of window openings, should be compatible with the existing structure.

Historic doors or entrance elements should not be removed, covered over or otherwise receive major alterations, since they can be important character-defining features of a building. Deteriorated or damaged elements should be replaced with new ones that match the originals as closely as possible. Avoid treatments to "dress up" a door or entrance, giving it a character it never had. New ornamentation; stained or patterned window glass; treatments that simulate a multiple-paned appearance; and salvaged older doors of inappropriate design all can change the character of a building. Generally, ornate doors are not appropriate for simple house forms.

Older outbuildings, sheds, and garages should be retained and repaired. They add variety and visual interest to the streetscape and are part of Worthington's character. New outbuildings should use design cues from older nearby structures, including form, massing, roof shape, roof pitch and height, materials, window and door types and detailing. Try to create a new building compatible in appearance with the house it accompanies.

Fencing should be open in style; constructed with traditional materials; 3' to 4' in height; in the back yard; and of simple design, appropriate for the house style.

When reviewing applications in the Architectural District, the Board should give consideration to the compatibility of design and materials.

Planning Comments:

1. Please note the direction corrections on the drawings.
2. Although restoration of wood windows is preferred, vinyl windows that have a similar profile and are the same size and style have typically been acceptable. The proposed changes are minor and not on the front of the house.
3. The doors may be more appropriate with 3 vertical lights to complement the windows.

4. Glass block windows are not preferred but have been installed for some basement windows in the District.

Recommendation:
Staff is recommending *approval* of this application as the project appears to meet the intent of the Design Guidelines.

Motion:
THAT THE REQUEST BY JRB DESIGN LLC ON BEHALF OF CAROLE TOMKO FOR A CERTIFICATE OF APPROPRIATENESS TO RENOVATE THE HOUSE; DEMOLISH THE EXISTING GARAGE AND CONSTRUCT A NEW GARAGE; AND REPLACE THE FENCE AT 620 HARTFORD ST., AS PER CASE NO. ARB 107-2022, DRAWINGS NO. ARB 107-2022, DATED DECEMBER 13, 2022, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

3. Addition – **40 Short St.** (Megan Dixon/Zaller) **ARB 108-2022**

Findings of Fact & Conclusions

Background & Request:
This house is an American Foursquare that was constructed in 1905 and is a contributing building in the Worthington Historic District. The house was renovated in the late 1990s and early 2000s, including a new front porch and a one-story flat roof addition at the northwest corner of the house. This proposal is for a two-story addition on the north side (rear) of the house.

Project Details:
1. The proposed addition would be 22’4” wide and 12’ deep (268 square feet in area) and set back from the east side property line 8’1” which would place it outside driveway and storm sewer easements. The addition wall is proposed 1’8” in from the east outside wall of the existing house.
2. The addition is proposed with a flat roof that would be about 9 ½” below the third floor so it would not interfere with the existing roofline. The proposed aluminum clad wood double-hung windows would be styled, proportioned, and trimmed to match the windows in the existing house. The wood siding, trim, molding, gutters and downspouts would also match the existing house.

Land Use Plans:
Worthington Design Guidelines and Architectural District Ordinance
Residential additions are recommended to maintain similar roof forms; be constructed as far to the rear and sides of the existing residence as possible; be subordinate; and have walls set back from the corners of the main house. Be sure that window designs are appropriate for the style or time period of the house. Avoid use of inappropriate window designs. Design and materials should be traditional, and compatible with the existing structure.

Wood siding is the preferred exterior material for new buildings, additions to existing buildings, or new garages and outbuildings. The siding should be used in one of its traditional forms: shingle, board-and-batten, shiplap or beveled siding. New siding should match the thickness and width of the old as closely as possible.

When reviewing applications in the Architectural District, the Board should give consideration to the compatibility of design and materials.

Recommendation:
Staff is recommending *approval* of this application as the proposed addition and materials comply with the Design Guidelines.

Motion:
THAT THE REQUEST BY MEGAN DIXON ON BEHALF OF BRENNAN AND MICHAEL ZALLER FOR A CERTIFICATE OF APPROPRIATENESS CONSTRUCT A REAR ADDITION AT 40 SHORT ST., AS PER CASE NO. ARB 108-2022, DRAWINGS NO. ARB 108-2022, DATED DECEMBER 13, 2022, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

3. Signs – **108 E. Granville Rd.** (Morgan Welsh/Village of Seventeen) **ARB 110-2022**

Findings of Fact & Conclusions

Background & Request:
The Village of Seventeen condominiums were constructed in the late 1960's with the parking lot at the street and the buildings behind. This is a request to add signs to discourage parking on the property.

Project Details:
1. Two signs are proposed to be posted vertically on a metal post behind the sidewalk and in a landscape island.
2. One sign would be white with red lettering saying, "NO PARKING.PARKING BY PERMIT ONLY.UNAUTHORIZED CARS WILL BE TOWED AWAY" and have a graphic of a car being towed. The other sign is proposed to be blue with white lettering "ASSIGNED PARKING ONLY.UNAUTHORIZED VEHICLES WILL BE TOWED AWAY."

Land Use Plans:
Worthington Design Guidelines and Architectural District Ordinance
Guideline recommendations for signage include being efficient in using signs. Try to use as few and as small signs as are necessary to get the business message across to the public. Signage is a standard of review per the Architectural District ordinance.

Sign Code

"Directional sign" means a sign used to direct on-site traffic and identify services such as restrooms, hours of operation, etc., and of which no more than fifty-percent of the graphic area is non-directional information. The display area for such signs shall not exceed twenty-four inches in height or width, and the above grade height for freestanding directional signs shall not exceed thirty-six inches. The total area for all such signage shall be no more than 20 square feet per parcel.

Code Section 351.14 Parking on Public and Private Property.

(a) The parking of vehicles on public or private property, excluding dedicated streets and ways set out for public travel and heretofore regulated, shall be prohibited without the consent of the owner of private property or the proper governmental agencies in charge of public property.

(b) No vehicle shall be parked on public property in violation of rules and regulations set out by the governmental agencies controlling the public property.

(c) No vehicle shall be parked on any private property in violation of any regulations set down by the owner of the private property.

(d) The provisions of subsections (a) through (c) hereof shall not be applicable unless the private or public property is posted in a conspicuous manner setting forth the prohibition of parking or the conditions and regulations under which parking is permitted.

(e) If any vehicle is found upon public or private property in violation of any of the provisions of this section and the identity of the driver cannot be determined, the owner or person in whose name such vehicle is registered shall be held prima-facie responsible for such violation.

(f) Subject to the requirements of this section, an owner of private property or his authorized agent may remove, or cause to be removed, vehicles parked upon his property in violation of the posted parking regulations.

(g) An owner of private property may create a "private tow-away zone" by posting thereon a sign, no smaller than eighteen inches by twenty-four inches and visible from all entrances to the private property, which contains at least the following information:

(1) A designation that the area is a "Private Tow-Away Zone, Unauthorized Vehicles Will Be Towed Away"; and

(2) The telephone number or numbers of the person or persons from whom the vehicle can be recovered and the address of the place to which the vehicle will be taken and from which it may be recovered; and

(3) A statement that "Vehicle May Be Recovered at Anytime During the Day or Night Upon Proof of Ownership and Paying of a Towing Charge in the Amount of $____ and a Storage Charge of $____ Per 24-Hour Period".

(h) The place to which the towed vehicle is taken and from which it may be recovered shall be conveniently located, well lighted, and on or within a reasonable distance of a regularly scheduled route of one or more modes of public transportation.

(i) By parking on properly posted private property without the consent of the owner of the property, the owner and operator of a vehicle shall be deemed to have consented to the removal and storage and the payment of the costs of removing and storage in an amount not to exceed the rates established by subsection (j) hereof. However, if the owner or operator of the vehicle arrives after the vehicle has been prepared for removal but prior to its actual removal from the zone, the owner or operator shall be given the opportunity to pay a fee of no more than 1/2 of the normal towing charge of the person who has prepared the vehicle for removal in order to obtain release of the vehicle. Upon payment of this fee, the vehicle shall be released to the owner or operator and

upon release of the vehicle, the owner or operator immediately shall move the vehicle so that it is not parked on the private property established as a private tow-away zone without consent of the owner.
(j) The maximum rates for the removal and storage of any vehicle removed from public or private property pursuant to this section shall not exceed ninety dollars ($90.00) in the case of a towing charge and twelve dollars ($12.00) per twenty-four (24) hour period in the case of the storage charges. The rates charged pursuant to this section shall be posted as provided in subsection (g)(3) hereof.
(k) If an owner of private property, or his authorized agent, removes or causes the removal of a vehicle from that property pursuant to this section, the owner or agent shall notify the Police Department of the removal and of the vehicle's license plate number.
(l) No person shall remove or cause to be removed any vehicle from private property unless in conformance with this section with respect to the removing or causing to be removed, motor vehicles from private property. Whoever violates this section shall be deemed guilty of a minor misdemeanor for the first offense and for each subsequent offense of a misdemeanor of the fourth degree.

Planning Comments:

1. Property owners must follow the regulations listed above for a sign to create a tow-away zone. Neither of the proposed signs meet those requirements. If the only sign being posted met those regulatory requirements, ARB approval would not be needed.
2. Alternatively, a sign that said something like "Assigned Parking Only" and did not refer to towing could be installed as a directional sign but must meet the dimensional requirements for such signs. No dimensions were included in this submittal.

Recommendations:
Staff is recommending *denial* of this application for the reasons stated above.

Motion:
THAT THE REQUEST BY MORGAN WELSH FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL SIGNS AT 108 E. GRANVILLE RD. AS PER CASE NO. ARB 110-2022, DRAWINGS NO. ARB 110-2022, DATED DECEMBER 15, 2022, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

4. New Chick-fil-A Restaurant – **60 E. Wilson Bridge Rd.** (Allan Wiley) **ARB 109-2022**

&

F. Municipal Planning Commission – New Business

1. Conditional Use Permit

a. Drive-In Commercial Use in C-4 - New Chick-fil-A Restaurant – **60 E. Wilson Bridge Rd.** (Allan Wiley) **CU 09-2022**

<u>Findings of Fact & Conclusions</u>

Background & Request:
Buca di Beppo opened at this location in 2001 and has operated there ever since. The property is in the C-4 Zoning District but is also subject to provisions in the Wilson Bridge Corridor (WBC) chapter of the Code. The site is made up of a parcel that is 582.5' deep on the north side (33' of that depth is part of a highway easement); 591.37' deep on the south side (33' of that depth is part of a highway easement); about 180' wide at E. Wilson Bridge Rd.; and about 160' wide at N. High St. for a total of about 2.3 acres (2.18 acres without the area in the highway easement). The highway easement needs to be dedicated to the City as right-of-way. Although the site has frontage on N. High St. and E. Wilson Bridge Rd., access is only allowed from E. Wilson Bridge Rd. as N. High St. is limited access right-of-way.

The applicant is proposing to demolish the existing building and construct a new Chick-fil-A restaurant with a drive-thru.

Project Details:

1. Site:
    a. Building Location:
        - A 5028 square foot (sf) building is proposed about 85' from the N. High St. right-of-way. The required setback is 100' along N. High St.
        - The required side yard in the C-4 Zoning District is 15' so some of the accessory structures would also be closer than allowed to the property lines.
        - A simplified site plan with structures and dimensions to property lines has been requested.
    b. Canopy Locations:
        - Two canopies are proposed – on the north and south sides of the building.
        - The north side canopy would be a roughly 57' x 27' freestanding structure.
        - The south side canopy would be a roughly 63' x 33' structure adjacent to the building.
    c. Parking and Drive-thru:
        - The existing ~35.6' wide drive would be reused and allow for an entrance lane, and right and left turn lanes out of the property.
        - Asphalt pavement framed with curb and gutter would start at 50' from the E. Wilson Bridge property line and cover most of the site between that line and the building.
        - Parking for 85 vehicles, including 4 ADA spaces adjacent to the east side of the building is proposed. Based on the building size, the minimum number of spaces required would be 68; the maximum number of spaces allowed in the WBC would be 85. Parking space size for non-ADA spaces would be 10' wide and 18' deep.
        - Drive-thru customers would be directed to veer to the right after entering the lot and two 10' wide drive-thru lanes with 3' striped between would begin about 113' from the right-of-way. Pavement on the north side is proposed 15' from the property line, transitioning to about 7' at the jog in the property.
        - At about 168' east of the building, the pavement would change to concrete. The two drive-thru lanes would continue around the building, coming as close as 50' to

the N. High St. right-of-way, and transition back to asphalt just east of the building. The parking on the south side is proposed at the property line.

- Magnetic delineators (about 60?) are proposed along the left sides of the drive-thru lanes. Specifications have not been provided.

d. Pedestrian Access:
   - A connection is proposed on the north side to a walkway on McDonald's property. The McDonald's walkway runs to the public sidewalk along E. Wilson-Bridge Rd. An easement is shown on the plan, but it is not clear if McDonald's has approved the installation. The connection would transition to a ramp and a crosswalk that would extend across the drive-thru lanes to a concrete walkway to the the front of the building. A walkway is also proposed around the entire building; and on the south side of the drive-thru.

e. Outdoor Seating Area:
   - Four tables with red umbrellas are shown east of the north end of the building in front of the main entrance. Logos would not be permitted on the umbrellas.
   - The area is proposed on concrete and surrounded by a black metal picket fence.

f. Bicycle Racks:
   - Two bicycle racks are proposed in front of the building at the north end.

g. Site Coverage:
   - The applicant has calculated the impervious area at 73,355 square feet which is 73.18% of the site.

h. Dumpster Enclosure:
   - An enclosure that is 34'8" wide x 10'8" deep x 8'8" high is proposed about 5' from the south property line at about the midpoint of the parking lot.
   - The materials for the enclosure would match the building, with the walls being brick and the doors being metal painted with SW 2807 Rookwood.

i. Lighting:
   - Twelve 14" high cylinder lights in black are proposed on the north, west and east sides of the building. More information is needed regarding the light source.
   - Pole lights are proposed for the parking lot and drive-thru lanes. The square poles would be 25' high with a 2' high concrete base. The rectangular fixtures and poles are proposed in bronze. The sizes of the fixtures as well as details of the light source are needed.
   - Round low-profile surface mounted fixtures are proposed under canopies on the building. Details about the light source are needed.
   - The drive-thru canopies would have 6 square fixtures each in the ceilings. Details about the light source are needed.
   - The photometric drawing shows the average footcandles for the site would be 2.2. The brightest lighting level under the canopies is 39.4 footcandles.

j. Landscaping:
   - Trees, shrubs, and ground cover are proposed at the perimeter and in islands in the parking lot.
   - Parking Lot Islands/Peninsulas – A combination of 7 Honey Locust and 8 Bosque Elm trees are proposed. The trees would be 3" caliper and 12' high at planting. In addition, Parson's Juniper, Heavy Metal and Switch Grass are proposed.

- East Side – Planting beds are proposed adjacent to the parking lot on both sides of the drives and would combine with four peninsulas at the front of the parking lot. Four Willow Oak trees, Wintercreeper, Limelight Hydrangea and Shamrock Inkberry would be added. The remainder of the property between the planting beds and the sidewalk is proposed to be sod.
- North Side - Four Willow Oak Trees are proposed along the parking lot. At the crosswalk, 3 Snowdrift Crabapple trees and Parson's Juniper would be planted. Along the drive-thru lanes, 41 Blue Girl Holly plants are proposed.
- South Side – Near the dumpster enclosure 8 Emerald Green Arborvitae are proposed on the south side, and Parson's Juniper and Heavy Metal Switch Grass would be on the east side. Adjacent to the drive-thru lanes there would 27 Blue Girl Holly plants and at the east end of the lanes Heavy Metal Switch grass is proposed in a planting bed that would also house the grease traps for the restaurant.
- West Side – Planting beds are proposed at the corners and along the west side of the drive-thru lanes. At the north end, Limelight Hydrangea, Heavy Metal Switch Grass, and Blue Girl Holly is proposed. In the middle, 3 Willow Oak Trees would be planted, with Shamrock Inkberry and Wintercreeper plants below. At the south end, 3 Snowdrift Crabapple trees are proposed with Heavy Metal Switch Grass and Parson's Juniper.

k. Utilities:
All utilities are existing for the site except a new fire protection line would be needed and would be run from the 6" watermain on the east side of E. Wilson Bridge Rd. Utility connections will be reviewed by the City Engineer.

l. Stormwater:
The applicant claims impervious area would be reduced for the site, and plans to add a hydrodynamic separator to improve water quality.

m. Traffic:
A traffic impact study has been submitted and is being reviewed by the City Engineer. See "Engineering Comments" below.

2. Building:

a. General Design:
- The proposed one-story building would have with a flat roof about 24' in height with the top 7-8' of the walls being a parapet to hide rooftop mechanical equipment.
- Building walls would be made up of 2 shades of modular size brick veneer: Glen-Gery Jamestown and Glen-Gery Whitehall. Jamestown is proposed for a water table around the whole building and to extend up to a Whitehall soldier course at around 13' high on portions of all elevations. The remainder would be Jamestown, including the entire parapet and another soldier course at the top.
- Prefinished metal coping in midnight bronze would be used at the top of the building.
- Flat roofed canopies and tiebacks are proposed to be painted with a dark bronze semi-gloss paint.
- Storefront material would be dark bronze, and windows are proposed with brick sills.
- The internal dining room would have 74 seats.

b. East Elevation:
   - The main entry is proposed in the north half of the building and would be a double door flanked by two storefront windows. The entrance area is proposed to set slightly forward from the building wall and have a 4’ higher pitched roof and a flat canopy above.
   - To the south the entire wall would be offset out and include a single door with a flat canopy above. One storefront window would be north or the door; and 2 windows would be to the south. All windows would be recessed into the wall.
   - A bench is proposed in the middle portion of the wall.

c. North Elevation:
   - Four storefront windows are proposed on the eastern two-thirds of the north wall.
   - The northwest corner would have a recessed area with a canopy above, a door on the west side and a window on the north side.

d. West Elevation:
   - The majority of the N. High St. elevation would be the lighter Whitehall brick.
   - Two storefront windows are proposed on the north 1/3 of the wall and three metal doors would be on the southern 2/3 of the wall. In the southern part of the west elevation, horizontal windows are proposed at about 8’ high.
   - A small canopy is shown over one of the doors.

e. South Elevation:
   - Most of the wall would be solid.
   - A drive-thru window and sliding door are proposed on the east end.

3. Drive-thru Canopies:
   Two flat-roofed metal canopies are proposed and would be to the north and south of the building. The canopies would be black metal supported by square metal columns. The canopy ceiling would be white. Yellow concrete bollards are proposed to protect the column. Fans and heaters are proposed mounted on the canopy ceilings.
   a. North Side: 25’8” wide x 54’8” long x ~9’8” tall to bottom of roof.
   b. South Side: ~33’ wide x ~60 long x ~9’8” tall to bottom of roof. (Drawings not dimensioned)

4. Signage:
   a. Building:
      - Four wall signs are proposed – B,C,E on the east, west, and north elevations are the same “Chick-fil-A” 11’9” wide x 5’ high (58.75 square foot) signs made of red channel letters with beige returns. On the south side, a 6’ x 6’ (36 square foot) logo sign is proposed. The sign would be an internally illuminated cabinet style sign with translucent vinyl for the face.

   b. Freestanding Signs:
      - N. High St. – Face replacement is proposed for the existing pole sign. The cabinet dimensions are shown as 10’ wide x 4’ high in the packet but were measured as 9’8” wide x 3’10” high when Buca di Beppo was approved. The new sign faces would be translucent cardinal red with “Chick-fil-A” in white, and the sign box and pole would be painted dark bronze.
      - E. Wilson Bridge Rd. - The existing cabinet for the monument sign is proposed to be painted dark bronze. New sign faces would be 6’ wide x 4’ high (3’10”) with

translucent cardinal red backgrounds and white “Chick-fil-A” acrylic lettering.

c. Drive-thru Signs:
   - Clearance Bar – A clearance bar is proposed to be 9’ above grade at the start of the concrete drive-thru lanes. The support pole would be a matte black color and the dimension would be SW 5403 Gray.
   - Menu Boards – Two menu boards are proposed for the north side of the building. The support columns would be dark bronze 8’ tall rectangular metal, and the menu board would be ~4’1” high x 6’8” wide mounted with the top at about 6’ high. The menu areas are proposed as digital.

d. Directional Signs:
   - Regulatory signs such as stop, do not enter, handicap parking, and pedestrian crossing signs are shown as part of the sign package.
   - Other directional signs are shown on the site plan, but the style, size and number have not been identified.

e. Flag Pole:
   A flag pole is proposed in a landscape island near the southeast corner of the building. The pole is proposed to be 50’ tall with a 12’ x 18’ flag.

f. Additional Signs:
   - Address numbers are proposed to be pin-mounted 8” in height mounted on the N.High St. side of the building.
   - Vinyl film with the store hours is proposed for the exterior of glass doors.

5. Project Timeline:
   The applicant states construction would begin in August of 2026 with a grand opening in February of 2027.

6. Variances:
   Following is a preliminary list of necessary variances based on this submittal:
   a. Building setback from N. High St. – 100’ required; about 85’ proposed
   b. Both drive-thru canopies in the required 15’ side yards and possible in the required 100’ setback
   c. The dumpster enclosure on the south side within the 15’ side yard
   d. Signage
      - Wall Signs – Business facing more than one right-of-way are allowed one sign facing each right-of-way. Signs can not exceed 40 square feet in area. Four wall signs are proposed and three of the signs would be 58.75 square feet.
      - Freestanding Signs – Parcels in the WBC over 2 acres can have 2 freestanding signs. The digital menu boards and clearance bar would be considered additional freestanding signs for a total of five.
      - Total Sign Area – 100 square feet allowed; the proposed sign area far exceeds that limit.
      - Cabinet signs – The new cabinet sign would need a variance as they are not allowed in the WBC. Replacement of sign faces only in the existing freestanding signs should not require a variance as they are existing non-conforming signs. All parts of the sign face backgrounds must be opaque.
      - The digital menu boards would need variances for having illuminated backgrounds and changeable copy.

- Directional sign area cannot exceed 20 square feet for the site, and the signs must meet dimensional requirement. It seems the proposed will exceed those requirements, but further information of signs indicated on the site plan as well as "Pick-up" parking space signs is needed. The magnetic delineators could also be considered directional signs.
- Signs on glass doors would need to be on the inside or considered additional wall signs in need of a variance.
- The flag pole would be higher than the allowable 45' height for the C-4 District.
- Parking lot light poles cannot exceed 15' per the WBC Code chapter.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Scale, Form & Massing: New construction should take special care to employ scale, form, and massing that are similar to and compatible with existing building designs. Simple geometric forms and uncomplicated massing tend to make buildings more user-friendly and help to extend the character of Old Worthington. Carefully designed building facades that employ traditional storefronts -- or similarly-sized windows on the first floor -- will help make new buildings more pedestrian-friendly.

Setbacks: Parking areas should be located toward the rear and not in the front setbacks if at all possible. Unimpeded pedestrian access to the front building facade from the sidewalk should be a primary goal. Building up to the required setback is desirable as a means of getting pedestrians closer to the building and into the main entrance as easily as possible.

Roof Shape: Generally, a traditional roof shape such as gable or hip is preferable to a flat roof on a new building. Roof shapes should be in scale with the buildings on which they are placed.
Materials: New buildings should employ only traditional wood and brick. Contemporary materials that simulate wood can be acceptable if done well, and brick veneer construction over a wood frame also is acceptable. Before making a final selection of materials, prepare a sample board with preferred and optional materials.

Windows: On long facades, consider breaking the composition down into smaller "storefront" units, with some variation in first and upper floor window design. Use traditional sizes, proportions and spacing for first and upper floor windows. Doing so will help link Old Worthington and newer areas through consistent design elements.

Entries: Primary building entrances should be on the street-facing principal facade. Rear or side entries from parking lots are desirable, but primary emphasis should be given to the street entry.
Use simple door and trim designs compatible with both the building and with adjacent and nearby development.

Ornamentation: Decorative treatments at entries, windows and cornices can work well in distinguishing a building and giving it character, but only a few such elements can achieve the desired effect. Traditional wood ornamentation is the simplest to build, but on new buildings it is possible to use substitute materials such as metal and fiberglass. On brick buildings substitute materials can be used to resemble the stone or metal ornamental elements traditionally found on

older brick buildings. As with all ornamentation, simple designs and limited quantities give the best results.

Color: For new brick buildings, consider letting the natural brick color be the body color, and select trim colors that are compatible with the color of the bricks. Prepare a color board showing proposed colors.

Signage: While the regulations permit a certain maximum square footage of signs for a business, try to minimize the size and number of signs. Place only basic names and graphics on signs along the street so that drive-by traffic is not bombarded with too much information. Signs must be distinctive enough to be readily visible, but avoid incompatible modern colors such as "fluorescent orange" and similar colors. Bright color shades generally are discouraged in favor more subtle and toned-down shades.

Sustainability:
Sustainability can be achieved by ensuring the economic, environmental and social concerns of Worthington are addressed in a balanced manner. The City of Worthington and its Architectural Review Board are interested in encouraging sustainable design and building practices, while preserving the character and integrity of the Architectural Review District. Recommendations include: encouraging energy conservation methods; using landscape concepts to preserve energy; managing storm water run-off in an environmentally friendly way; using solar panels in locations that minimize the visual impact as seen from the right-of-way and surrounding properties; adding bike racks; using streetscape elements that are of a human scale; making use of recycled, renewable and energy efficient materials; using natural and controlled light and natural ventilation; and minimizing light pollution.

<u>Wilson Bridge Corridor</u>
Site Layout:

Setbacks: Buildings and parking should be set back to provide a buffer between the sidewalk and building, with some variations in the Building Setback Line encouraged throughout the WBC.

- Buildings 50,000 square feet in area or less shall be located between 5' and 20' from adjacent Right-of-Way Lines.

Equipment: Exterior service, utility, trash, and mechanical equipment shall be located to the rear of buildings if possible and screened from view with a wall, fence or landscaping. Such equipment shall be completely screened from view. Materials shall be consistent with those used in the building and/or site. Equipment located on buildings shall match the color of the building.

Tract Coverage: A maximum of 75% of the property shall be covered with impervious surfaces.

Pedestrian Access: Sidewalks with a minimum width of 5', Recreation Paths with a minimum width of 10', or a combination of both shall be provided along all Rights-of-Way. Pedestrian

connections from Sidewalks, Recreation Paths and parking lots to building entrances shall be provided.

Landscaping: There shall be landscaping that complements other site features and creates relief from buildings, parking areas and other man-made elements.

- Drought tolerant, salt tolerant, non-invasive, low maintenance trees and shrubs should be utilized.
- Deciduous trees shall be a minimum of 2" caliper at the time of installation; evergreen trees shall be a minimum of 6' in height at the time of installation; and shrubs shall be a minimum of 24" in height at the time of installation.
- Parking lot landscaping shall be required per the provisions in Chapter 1171.
- Seasonal plantings should be incorporated into the landscape plan.
- Shrubs and grasses may be planted in clusters and do not need to be evenly spaced.
- The approved landscape plan must be maintained across the life of the development.

Building Design:

- A principal building shall be oriented parallel to Wilson Bridge Road (or High Street), or as parallel as the site permits, and should have an operational entry facing the street.
- The height of a building shall be a minimum of 12' for pitched roof buildings measured to the eave.
- Extensive blank walls that detract from the experience and appearance of an active streetscape should be avoided.
- Details and materials shall be varied horizontally to provide scale and three-dimensional qualities to the building.
- Entrances shall be well-marked to cue access and use, with public entrances to a building enhanced through compatible architectural or graphic treatment.
- Where appropriate, shade and shadow created by reveals, surface changes, overhangs and sunshades to provide sustainable benefits and visual interest should be used.
- Roof-mounted mechanical equipment shall be screened from view on all four sides to the height of the equipment. The materials used in screening must be architecturally compatible with the rooftop and the aesthetic character of the building.

Materials:

- Any new building or redevelopment of a building façade should include, at a minimum, 75% of materials consisting of full set clay bricks, stone, cultured stone, wood or fiber cement board siding. Samples must be provided.
- Vinyl siding and other less durable materials should not be used.
- Long-lived and sustainable materials should be used.
- The material palette should provide variety and reinforce massing and changes in the horizontal or vertical plane.
- Especially durable materials on ground floor façades should be used.
- Generally, exterior insulation finishing systems (EIFS), are not preferred material types.
- A variety of textures that bear a direct relationship to the building's massing and structural elements to provide visual variety and depth should be provided.

- The color palette shall be designed to reinforce building identity and complement changes in the horizontal or vertical plane.

Windows and Doors:

- Ground-floor window and door glazing shall be transparent and non-reflective. Above the ground floor, both curtain wall and window/door glazing shall have the minimum reflectivity needed to achieve energy efficiency standards. Non-reflective coating or tints are preferred.
- Windows and doors shall be recessed from the exterior building wall, except where inappropriate to the building's architectural style.
- For a primary building frontage of a commercial use, a minimum of 30% of the area between the height of 2' and 10' above grade shall be in clear window glass that permits a full, unobstructed view of the interior to a depth of at least 4'.

Lighting: All exterior lighting shall be integrated with the building design and site and shall contribute to the night-time experience, including façade lighting, sign and display window illumination, landscape, parking lot, and streetscape lighting.

- The average illumination level shall not exceed 3 footcandles. The light level along a property line shall not exceed 0 footcandles.
- The height of parking lot lighting shall not exceed 15' above grade and shall direct light downward. Parking lot lighting shall be accomplished from poles within the lot, and not building-mounted lights.
- For pedestrian walkways, decorative low light level fixtures shall be used and the height of the fixture shall not exceed 12' above grade.
- Security lighting shall be full cut-off type fixtures, shielded and aimed so that illumination is directed to the designated areas with the lowest possible illumination level to effectively allow surveillance.

Signs:

Exterior lighting fixtures are the preferred source of illumination.

- Freestanding Signs
  - There shall be no more than one freestanding sign on parcels less than 2 acres in size, and no more than two freestanding signs on parcels 2 acres in size or greater.
  - Freestanding signs shall be monument style and no part of any freestanding sign shall exceed an above-grade height of 10'. Sign area shall not exceed 50 square feet per side, excluding the sign base. The sign base shall be integral to the overall sign design and complement the design of the building and landscape.
  - Freestanding signs may include the names of up to eight tenants of that parcel.
  - Light sources shall be screened from motorist view.
- Wall-mounted Signs
  - Each business occupying 25% or more of a building may have one wall sign and one projection sign. Wall-mounted signs shall not exceed 40 square feet in area, and projection signs shall not exceed 12 square feet in area per side.
  - Wall-mounted and projection signs shall be designed appropriately for the building, and shall not be constructed as cabinet box signs or have exposed raceways.

Parking:

- Non-residential Uses. Parking shall be adequate to serve the proposed uses, but shall in no case exceed 125% of the parking requirement in Section 1171.01**.**
- Bicycle Parking. Bicycle parking should be provided and adequate to serve the proposed uses.

Public Spaces: A minimum of one Public Space Amenity as approved by the Municipal Planning Commission shall be required for every 5,000 square feet of gross floor area of multi-family dwellings, commercial or industrial space that is new in the WBC. Public Space Amenities are elements that directly affect the quality and character of the public domain such as:

- An accessible plaza or courtyard designed for public use with a minimum area of 250 square feet;
- Sitting space (e.g. dining area, benches, or ledges) which is a minimum of 16 inches in height and 48 inches in width;
- Public art;
- Decorative planters;
- Bicycle racks;
- Permanent fountains or other Water Features;
- Decorative waste receptacles;
- Decorative pedestrian lighting; and
- Other items approved by the Municipal Planning Commission.

<u>Worthington Comprehensive Plan</u>

The 2005 Worthington Comprehensive Plan identifies the High Street Corridor (Extents Area) as a place where consistent site design should be encouraged such as landscape screening and interior planting of surface parking areas, and the location of large parking areas should be to the rear of the site. The corridor could accommodate redevelopment at a higher density, with such projects meeting the needs of the City, providing green setbacks and meeting the Architectural Design Guidelines. The plan recommends promoting a high quality physical environment, encouraging the City to continue to emphasize strong physical and aesthetic design, and high-quality development. Also recommended is encouraging the private market to add additional commercial office space within the City.

<u>Worthington Code Basic Standards and Review Elements</u> The following general elements are to be considered when hearing applications for Conditional Use Permits:

1. Effect on traffic pattern
2. Effect on public facilities
3. Effect on sewerage and drainage facilities
4. Utilities required
5. Safety and health considerations
6. Noise, odors and other noxious elements, including hazardous substances and other environmental hazards
7. Hours of use
8. Shielding or screening considerations for neighbors
9. Appearance and compatibility with the general neighborhood

Worthington Conditional Use Permit Regulations

The following basic standards apply to conditional uses in any "C" or "I" District: the location, size, nature and intensity of the use, operations involved in or conducted in connection with it, its site layout and its relation to streets giving access to it, shall be such that both pedestrian and vehicular traffic to and from it will not be hazardous, both at the time and as the same may be expected to increase with increasing development of the Municipality. The provisions for parking, screening, setback, lighting, loading and service areas and sign location and area shall also be specified by the applicant and considered by the Commission.

Fire Comments:

While required to follow the Ohio Fire Code in its entirety, the applicant will be asked to demonstrate compliance with code requirements found in Ohio Fire Code Sections 503 & 507. High priority concerns contained within OFC Sections 503 & 507 have been summarized below.

- OFC 507.3 Fire flow requirements for the proposed buildings shall be determined by an approved method. (OFC Appendix B will be accepted as an approved method)
- OFC 507.1 An approved water supply capable of supplying the required fire flow for fire protection shall be provided.
- OFC 507.5.1 Where a portion of the building is more than 400 ft from a hydrant, as measured by an approved route around the exterior of the structure, on site fire hydrants shall be provided. (Distance requirement shall be 600 ft if equipped throughout with an approved automatic sprinkler system)
- OFC 503.1.1 Fire apparatus access roads shall extend to within 150 ft of all first story exterior walls. (Distance may be increased to 300 ft if equipped throughout with an approved automatic sprinkler system)
- OFC 503.2.1 Fire apparatus roads shall have an unobstructed width of no less than 20 feet.
- OFC 503.2.3 Fire apparatus access roads shall be designed to support the imposed loads of fire apparatus.
- A travel path exhibit which demonstrates unobstructed access for Ladder 101 will be required. (Fire apparatus access roads only)

General Fire & EMS Notes:

- Installation of key boxes (Knox Box) will be required if the building is equipped with fire alarm / automatic sprinkler systems.
- Emergency responder radio coverage is required in new buildings.
- Installation of an emergency responder radio coverage system may be necessary.
- Proposed fire hydrant must comply with Worthington specifications.

Engineering Comments:

1. In the project's application memo Mr. Wiley references a construction schedule of August 2026 and grand opening of February 2027. These dates are inconsistent with the Traffic Impact Study's proposed opening year of 2023. Please revise as needed.
2. An ADS Barracuda hydrodynamic device is proposed as the post-construction water quality BMP. These devices do not meet Ohio EPA standards. Select a BMP from Tables 4a and 4b of Ohio EPA's General Stormwater Permit.
3. Manhole #10, along the northern property line, connects to the adjoining parcel. An easement authorizing this connection is required to drain stormwater across/onto another property.
4. The proposed water service configuration does not meet City of Columbus and City of Worthington standards. These details can be addressed through the water service permitting process. Additionally, Worthington will not approve a private fire hydrant in the public right of way, the proposed hydrant will need to be connected to the service line following the meter and backflow assembly.
5. Stormwater management will be required on this site in accordance with the City of Columbus Stormwater Drainage Manual.
6. Based on a review of project's traffic impact study, the following issues need to be further explored:
    a. Inadequate sight distance at the existing drive may impede driver's abilities to make left turning movements.
    b. With or without this development, the intersection of Wilson Bridge Road and High Street experiences significant levels of congestion. However, traffic generated from Chick Fil A is predicted to degrade the overall Level of Service (LOS) at Wilson Bridge Road and High Street from a LOS E to LOS F during the P.M. peak hour. Additionally, westbound left turn movements from East Wilson Bridge Road to High Street degrade from LOS E to LOS F in the mid-day peak.

Planning Comments:

1. Site
    a. The proposed building being so much closer to N. High St. than the buildings to the north and south will look out of place. Placement further east, even beyond the 100' setback need exploration.
    b. A simplified site plan with structures and dimensions to property lines is needed to determine what structures are in the required setbacks.
    c. While it is understood two drive-thru lanes are desired, an additional lane to bypass the drive-thru lanes would be valuable for emergency access and customers.
    d. Pedestrian access from the parking lot to the front door might be difficult as parking, seating and bicycles could be barriers.
    e. The magnetic delineators would add unwanted visual clutter to the site and should not be approved.
    f. Bollards should be black to blend in with the canopy posts.
    g. Clarification regarding the brick proposed for the dumpster enclosure is needed.
    h. Parking lot light poles are too high and exposed concrete bases are not desired. Meeting the 15' height limit set in the WBC is recommended.

i. Lighting specifications are needed. Warmer color temperatures such as 3000K are desired for lighting. Excessive brightness and a view of the light source from off of the property are not acceptable. The canopy ceilings may appear too bright due to the light color.
j. Proposed landscaping seems acceptable. Clarification as to the disposition of existing trees/plantings in the front setbacks, and potential new planting of street trees is needed.
k. The proposed flag pole is too high and the flag too large for this site and the community.
l. Traffic impact and utilities, including stormwater, must be satisfactory to the City Engineer.
m. Right-of-way dedication is required for the eastern 33' of the property.

2. Building
   a. The roof form does not meet the Design Guidelines and is not compatible with this area.
   b. The proposed light brick color is not compatible with the neighboring buildings or the general look of the community and should not be used.
   c. The south half of the west elevation does not seem to complement the other elevations and is not the looked that is desired face N. High St. which is a main entrance to the community.
3. Signage
   a. The building signs are too large and the signs on the north and south elevations are not needed. A cabinet box sign would not be acceptable.
   b. Although the preference would be to install a new monument sign along N. High St., reuse of the existing pole sign is acceptable. Background of the new sign faces for both freestanding signs must be opaque.
   c. The menu board signs seem typical for a drive-thru use.
   d. Graphics proposed for the glass doors must be on the inside of the glass.
   e. The amount of signage for the site should be minimized, as the proposed, plus the other signs that staff knows would be included at some point, are excessive and do not reflect the desire of the community, the recommendations in the Design Guidelines and the Worthington Codified Ordinances.
4. Any requested variances would need approval from the Board of Zoning Appeals.

Recommendation:
Staff is recommending *tabling* these applications after discussion. At this point, many aspects of the project do not meet the goals of the City for this location.

b. Recreational Facility in I-1 – **400 E. Wilson Bridge Rd., Unit O** (Dugout Baseball & Performance) **CU 10-2022**

Findings of Fact & Conclusions

Background & Request:
This multi-tenant building is the westernmost of four buildings on a 9.1 acre property in the I-1 Zoning District. The building is approximately 47,000 square feet in area with 9 suites. Suite O was home to Big League Baseball from 2013-2020. A new business, Dugout Baseball and

Performance, bought the business in March of 2020 and is need of a Conditional Use Permit as a Recreational Facility.

Project Details:

1. The 7200 square foot facility is an indoor baseball and softball training facility that caters to individuals and teams.
2. Six parttime instructors operate at the business, which uses about 6 parking spaces per day in the shared lot.
3. The facility is available every day between 5:00 am and 9:00 pm by appointment only.

Land Use Plans:

Worthington Conditional Use Permit Regulations

The following basic standards apply to conditional uses in any "C" or "I" District: the location, size, nature and intensity of the use, operations involved in or conducted in connection with it, its site layout and its relation to streets giving access to it, shall be such that both pedestrian and vehicular traffic to and from it will not be hazardous, both at the time and as the same may be expected to increase with increasing development of the Municipality. The provisions for parking, screening, setback, lighting, loading and service areas and sign location and area shall also be specified by the applicant and considered by the Commission.

Worthington Code Basic Standards and Review Elements The following general elements are to be considered when hearing applications for Conditional Use Permits:

1. Effect on traffic pattern
2. Effect on public facilities
3. Effect on sewerage and drainage facilities
4. Utilities required
5. Safety and health considerations
6. Noise, odors and other noxious elements, including hazardous substances and other environmental hazards
7. Hours of use
8. Shielding or screening considerations for neighbors
9. Appearance and compatibility with the general neighborhood

Recommendation:

Staff is recommending *approval* of this application as the proposed use is appropriate for this space.

Motion:

THAT THE REQUEST BY DUGOUT BASEBALL AND PERFORMANCE FOR A CONDITIONAL USE PERMIT TO OPERATE A RECREATIONAL FACILITY IN THE I-1 ZONING DISTRICT AT 400 E. WILSON BRIDGE RD., SUITE O, AS PER CASE NO. CU 10-2022, DRAWINGS NO. CU 10-2022, DATED DECEMBER 15, 2022, BE APPROVED BASED ON THE PLANNING GOALS OF THE CITY, AS REFERENCED IN THE LAND USE PLANS AND ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

2. Amendment to Development Plan

a. Additional Parking – **550 Schrock Rd.** (Zappa Engineering/The Waterworks) **ADP 05-2022**

<u>Findings of Fact & Conclusions</u>

Background & Request:
The Waterworks corporate office has been located in Worthington since 2008 and was founded in 1935. The property is located in the Restricted Industrial & Office (I-1 District), which permits office and warehousing as permitted uses in the district. The Waterworks is a full-service plumbing, drain cleaning, heating, and cooling company with 116 employees working out of the Worthington office with the anticipation of bringing an additional 30 employees to the Worthington office from their Grove City location. The current building is just under 30,000 sq. ft. in size and the main portion of the building was constructed in 1971 with an addition in 2010 and sits on 2.63-acres. There are currently 86-parking spaces on the site. The applicant would like to install an additional 22-parking spaces in the front yard setback to handle the additional growth of the company at their Worthington location.

Project Details:
1. Installation of 19 angled parking spaces accessible by a one-way east-to-west access drive that will run parallel to Schrock Road.
2. Installation of 3 additional parking spaces west of the western access drive.
3. The proposed asphalt for the drive isle and the parking areas will be located outside of the existing public right-of-way.
4. Installation of 4 landscape islands for trees in the angled parking area between the access drives.
    a. Coordination with the City Arborist on the trees to be installed in the proposed islands is needed.
5. The existing landscaping along the security fence and along the western side of the building will remain.
6. Additional landscaping will be installed on the site as needed.
7. Public Right-of-Way Conditions & Improvements:
    a. There is approximately 18-feet of public right-of-way along the north side of Schrock Rd.
        i. 10-inch sanitary sewer line – located out near the curb of Schrock Rd.
        ii. 12-inch storm sewer line – located out near the curb of Schrock Rd. just behind the sanitary sewer line.
    b. Installation of a sidewalk along the property frontage that will be 5-feet in width.
    c. The existing street trees in the public right-of-way along Schrock Rd. will remain.
8. The existing freestanding sign will be removed as part of these improvements.
    a. The applicant has stated that they do not plan to install a new freestanding sign.
    b. The existing wall-mounted sign will remain.
    c. No additional signage has been proposed at this time.
        i. Any additional signage would need to be approved by the City.
9. An existing flagpole will also be removed as part of the proposed improvements.
10. All of the private improvements will be located outside of the existing public right-of-way.

11. Installation of 3 new lights (wall packs) on the front of the building that will be an adjustable wall pack that will be angled to direct the light downward vs. outward.
    a. The lights are manufactured by Keystone and are adjustable and come in a variety of wattages.
    b. The same type of lighting was installed on the rear of the Police Station behind the Municipal Building so that the lighting could be angled down and the light source to not be highly visible from the roadway.
    c. The existing wall packs will remain on the sides and rear of the building.

History:

- In 2007 the Municipal Planning Commission and City Council approved an Amendment to Development Plan with variances to permit parking in the required front setback, permit a fence in the required front setback, to permit parking of more than five vehicles not surfaced with concrete or asphalt and to permit access drives at an interval less than 300-feet.
    - These items were all constructed; however, the parking encroaches into the public right-of-way for Schrock Road.
- In 2008 the Municipal Planning Commission and City Council approved an Amendment to Development Plan with variances to construct secondary building in the required rear and side yards.
    - This building was never constructed.
- In 2010 the Municipal Planning Commission and City Council approved an Amendment to Development Plan with variances to construct an addition to the rear of the existing building in the required rear yard setback.
    - This addition was constructed.
- In late 2022 City staff met with the applicant to discuss their plans for the future to bring 30 additional jobs to their corporate office location and their need for additional parking.

I-1 District – Permitted Uses & Conditional Uses:

Permitted Uses:

- Light manufacturing and assembly
- Automotive services
- Animal hospitals
- Plant production
- Equipment sales/storage
- Offices
- Essential services
- Accessory uses
- Warehousing
- Veterinary Care Center
- Sexually Oriented Business

Conditional Uses:

- Ancillary retail/service
- Restaurants
- Printing and publishing
- Wholesale business
- Heliports
- Public service facilities
- Agriculture
- Recreational facilities
- Laboratories, research and development, and clinical testing facilities
- Vocational instruction
- Unit storage facility
- Resident manager's residence
- Automotive services - major
- Sale and storage of building materials
- Dog and cat day care center
- Breweries, distilleries and wineries

Dimensional Requirements:

I-1 District	Lot Width	Lot Area	Front Setback	Rear Setback	Side Setback	Lot Structure Coverage	Height
Required	200	1-acre	50	30	20	35%	45-feet

Land Use Plans:

Worthington Comprehensive Plan Update & 2005 Strategic Plan

The industrial corridor of Worthington is an elongated area that follows Huntley Road, the CSX railroad tracks, and the east side of Proprietors Road, running north-south from DublinGranville Road to just north of I-270. The corridor is a strong source of revenue for the City. It has functioned as a successful industrial area for decades but faces heavy competition from newer industrial parks in the region and world. As a result, the corridor has declined somewhat since its peak in the 1970s, and experienced conversion from manufacturing and research to warehousing. The corridor consists of a number of buildings of various sizes and arrangements, as well as a few vacant lots. Because of the general age of the corridor and larger size of competing areas, Worthington's industrial corridor is attractive to small and medium-sized manufacturers and distributors as well as business startups.

The corridor still has the advantages of access to the rail line, proximity to the freeway system, close labor pool, and a location within the Outerbelt. To remain attractive as an industrial location it is critical to consistently maintain and improve the infrastructure to allow good roadway access for trucking between these industrial sites and the I-270 and I-71 corridors.

Still the City faces an important directional decision for this corridor - should it remain entirely industrial. Because of the attractiveness of the I-270 business office corridor, there is increasing interest in reusing and redeveloping some of this space for office purposes. The City could continue

to maintain the corridor as a light industrial/warehousing area, it could work to redirect it as a research and design corridor, or it could allow portions of it to convert to office uses. There are challenges with each approach.

If no direction is provided and the corridor remains industrially zoned, this area and the structures within it will likely continue to age and convert to predominantly small and medium-sized warehouse and light industrial uses. Change will occur incrementally, with redevelopment triggered when the ground and the economic potential for new buildings is worth more than the structures that exist on it. The concern is that warehousing uses provide less taxable income to the City than business or research and development facilities because the buildings are housing more inventory than employees.

Another option is the wholesale redevelopment approach which calls for making major changes to the corridor. In this scenario the City actively works to facilitate the consolidation of parcels for redevelopment and aesthetic improvements in the corridor to position it more toward research and development as well as business incubation. Larger sites are more attractive for major redevelopment and bigger users. Upgrading the corridor's aesthetics would be important in attracting the professional employees and differentiating Worthington's location from others. If successful, such an effort could greatly enhance the tax-generating capacity of the corridor. This direction requires support, commitment, and heavy-lifting by the City.

The third direction is to allow the conversion of portions of the corridor to office or mixed office/industrial use. This option would attract tenants that do not require freeway-type visibility. This effort could gain momentum in the private sector with the return of the office market. More office employees generate more tax dollars for the City. The concern is that this would be done haphazardly in existing buildings with little investment in the properties. If the City chooses this path, areas should be designated for these uses and zoning changes made to allow this. Such Code changes should include aesthetic design controls so that the property owners improve the appearance of these sites as part of their investment. Higher densities should be allowed in the scenario to encourage redevelopment of the sites into larger office parks with more employees.

In any case, it is critical that the City protect this area as an employment center. The City should strive to make this area attractive to investment and redevelopment. The availability and provision of amenities (like the Recreation Center), services, and infrastructure are important in this effort. The City could adopt stronger aesthetic design controls to improve the appearance of this corridor, but there must be a careful balance with the impact to the users. As long as the industrial corridor continues to be economically attractive to investment and production, it will continue to be a vital part of Worthington's success.

Bicycle & Pedestrian Master Plan 2019

The Worthington community is identifying pathways to a more resilient economy, healthier lifestyles and improved well-being. Worthington has much to protect, and while no single plan will get us to where we want to be, this document guides the development of bicycle and pedestrian infrastructure to support active transportation so that the healthy choice becomes the easy choice.

This Plan is intended to be used regularly to guide decisions regarding cycling, walkability, proposed development, capital improvements, and annual budgeting. For the Plan to be implemented, strategic approaches in both the use of capital improvement dollars and in the acquisition of grant monies are required. This document prioritizes projects to encourage collaboration between planners, policymakers, and private developers. Approval of development proposals should reference this Plan to ensure when public and private projects are taking place, they meet the criteria set forth herein. In this way, Worthington will strategically advance its infrastructure, leveraging investments year-on-year and, in time, resulting in significant change over time.

This vision for a safe and connected Worthington is based on a number of values that were endorsed by the community:

- Provide greater connectivity among major corridors and destinations.
- Make walking and bicycling safe for residents of all ages and abilities.
- Develop sound policies and tools to meet the needs of all modes and build Complete Streets.
- Utilize a comprehensive "Five E's" strategy with inter-departmental and inter-agency coordination to advance a culture supportive of active transportation: Engineering, Education, Enforcement, Encouragement & Evaluation.

Chapter 1175.02 Special Provisions for Commercial & Industrial Uses

Properties located in the I-1 District (Restricted Industrial & Office) and the C-3 District (Institutions & Offices) that are 2-acres or more have additional standards and requirements that must be met through a Development Plan. Once a property has an approved Development Plan, anytime they wish to make certain changes to the site an Amendment to Development Plan is required to be approved by the Municipal Planning Commission and if variances are associated with the Amendment to Development Plan, then City Council must review and approve the Amendment to Development Plan with variances.

Location and Character of Development: The following regulations, conditions and procedures shall apply to the development of institutional, office or industrial developments in "C- 3" or "I-1" Districts.

The proposed institutional, office or industrial development or combination thereof shall be located so that reasonably direct traffic access is supplied from major thoroughfares and where congestion will not likely be created by the proposed development; or where such congestion shall be alleviated by presently projected improvements of access thoroughfares, by properly arranged traffic and parking facilities and landscaping which shall be an attractive development and which shall fit harmoniously into and shall have no adverse effects upon the adjoining or surrounding development.

(c) Design Regulations. The following regulations shall apply to office, research and restricted industrial developments in "C-3" and "I-1" Districts.

(1) Building heights. No building shall exceed three stories or forty-five feet in height, except as modified by Section 1149.04.

(2) Yards. No building shall be less than thirty feet distant from any boundary of the tract on which the office, research or industrial development is located. Loading, parking and storage shall

be permanently screened from all adjoining properties located in any "R" District by building walls, or a solid wall or compact evergreen hedge at least six feet in height. All intervening spaces between the street pavement and the right-of-way line and intervening spaces between buildings, drives, parking areas and improved areas shall be landscaped with trees and plantings and properly maintained at all times.

(3) Tract coverage. The ground area occupied by all the buildings shall not exceed in the aggregate thirty-five percent (35%) of the total area of the lot or tract.

(4) Parking space. Notwithstanding any other requirements of this Zoning Ordinance, there shall be provided at least one off-street space for each employee of the maximum working shift. Parking areas will not be located closer than twenty-five feet to any adjoining lot line in any "R" or "C" District and shall be set back at least thirty feet from the street right-of-way line. The parking area shall be graded for proper drainage and improved so as to provide a durable and dust-free surface.

(5) Access drives and illumination of parking areas. Access drives shall be at a minimum interval of 300 feet, and illumination of parking areas shall be so arranged as to reflect the light away from adjoining properties.

A request for the change, adjustment, or rearrangement of buildings, parking areas, entrances, heights, or yards may require approval of the Municipal Planning Commission. The Commission can approve or disapprove the proposed amendment with no further review by Council if the amendment substantially conforms to the standards established by the final development plan and it complies with the Planning and Zoning Code. Otherwise, the request would be heard by Council.

Staff Analysis:

- While losing greenspace in the front setback is typically discouraged, the neighboring properties to the east and west both have parking areas that encroach into the front yard setback.
    - The property to the west was development prior to the adoption of the 1971 Planning & Zoning Code and the property to the east at the intersection received variances from the Board of Zoning Appeals for parking in the front yard setback since the properties are not subject to a Development Plan.
- The installation of a sidewalk that will be 5-feet in width will complement the existing bike lane running east-west along Schrock Rd. The proposed sidewalk will eventually provide connection to the improvements at the intersection of Schrock Rd. and Huntley Rd. as part of the new Tilton's Automotive facility that was approved by the Municipal Planning Commission and City Council in 2022.
- The City is also undertaking several projects in the area:
    - Repaving Huntley Rd. and Schrock Rd. in 2023.
    - Crosswalk improvements at this intersection of Huntley Rd. and Schrock Rd.
    - Sharrow along Huntley Rd. from the Northeast Gateway improvements south to Schrock Rd.
    - Restriping of the bike lane along Schrock Rd. from east to west.
- City staff explored several options to help screen the drive isle and parking area; however, all of these options were located in the public right-of-way and complicated matters. In the end, staff believed that preserving the existing established street trees and then

installing a new sidewalk 5-feet in width that would abut the proposed drive isle was the best scenario.

- There are two existing private catch basins located in the area proposed for the drive isle and parking area that will need to be addressed and ultimately approved by the City prior to construction.
- Stormwater management will be required to be reviewed and approved by the City prior to construction to ensure that the proposed improvements meet any and all EPA requirements for stormwater quality and quantity.
    - The existing site is approximately 90% covered by impervious surface.
- The proposed drive isle and parking area pulls the existing parking lot out of the public right-of-way.
- The width of the two existing access points will remain the same.
- If the applicant would like to install a new freestanding sign or flagpole the future, they would be required to come back through the process for an Amendment to Development Plan.
- The northwest portion of the site is currently used for staging of raw materials, dumpsters, and truck traffic turning around on the site and cannot be utilized for additional parking.
- The existing fencing and screening to the west of the building is to remain.
- The area under consideration is in the study area for a future Corridor Area Plan that is in the beginning stages. The goal of this Corridor Area Plan is to create a vision for the future of this area for the next 10 to 20 years to guide redevelopment.
- Variances Needed:
    - Section 1149.02 Yard, Area & Height for all Buildings other than Dwellings
        - Required to a have a minimum of 50-feet for a front yard setback from the edge of the public right-of-way.
    - Section1149.08(c) Special Yard Requirements
        - No accessory uses or structures, off-street parking facilities shall be located in any required front yard setback.

Recommendations:
Staff is recommending ***approval*** of the proposed Amendment to Development Plan with variances as it is in keeping with the existing character of the area, helps with the retention of an existing business and provides pedestrian improvements to the area.

Motion:
THAT THE REQUEST BY ZAPPA ENGINEERING ON BEHALF OF THE WATERWORKS AT 200 550 SCHROCK RD., AS PER CASE NO. ADP 05-2022, DRAWINGS NO. ADP 05-2022, DATED NOVEMBER 10, 2022, BE RECOMMENDED TO CITY COUNCIL FOR APPROVAL BASED ON THE PLANNING GOALS OF THE CITY, AS REFERENCED IN THE LAND USE PLANS AND ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

ARB APPLICATION
ARB 0103-2022
794 Evening St.

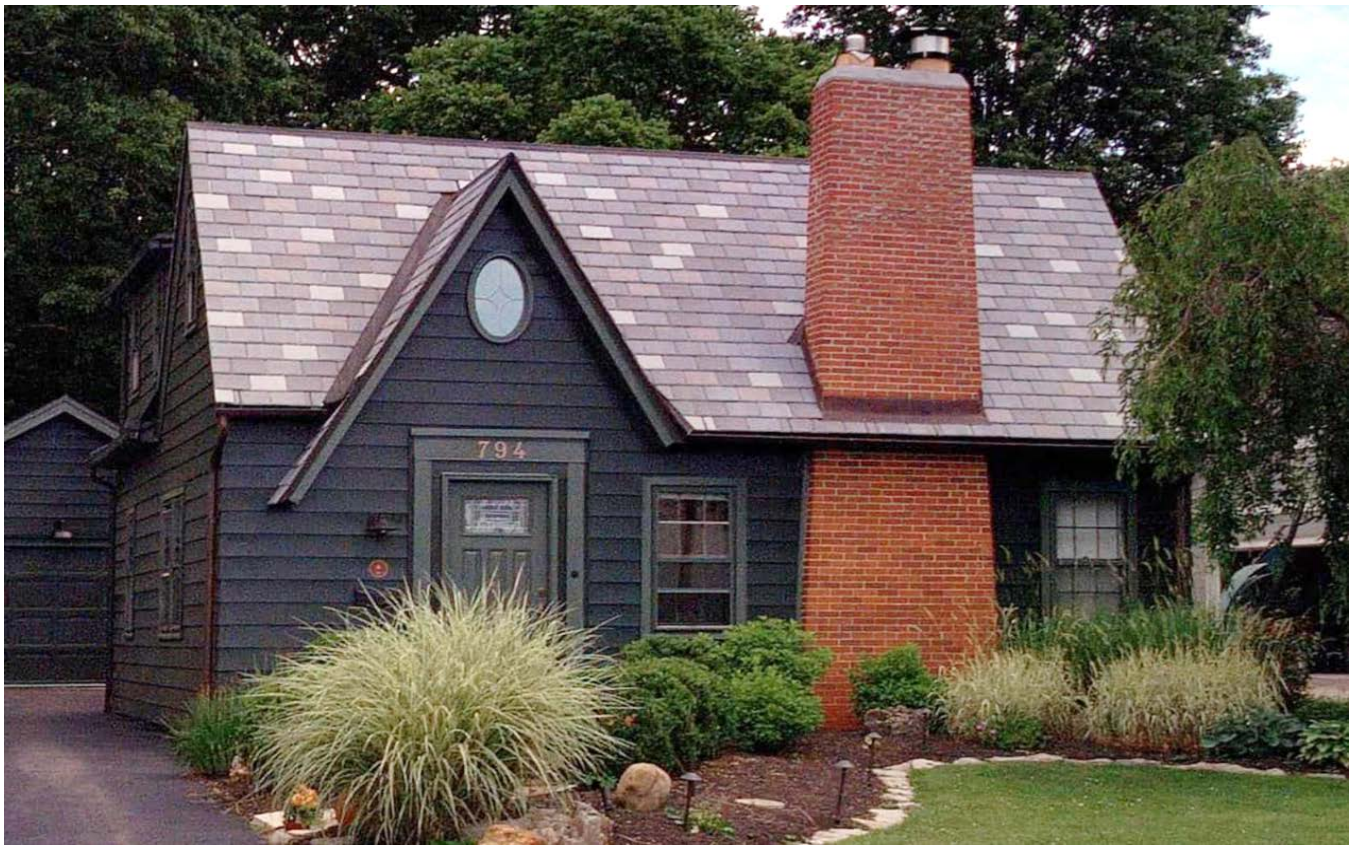
Plan Type:	Architectural Review Board	**Project:**		**App Date:**	12/02/2022
Work Class:	Certificate of Appropriateness	**District:**	City of Worthington	**Exp Date:**	
Status:	In Review			**Completed:**	
Valuation:	$3,000.00			**Approval**	
Description:	Since property 788 added fence pickets to south side of 794, we would like to use existing picket fence from south side and add it to north side of property.			**Expire Date:**	

Parcel:	100-000699 Main	**Address:**	794 Evening St Worthington, OH 43085 Main	**Zone:**	R-10(Low Density Residence)

Applicant / Owner
Chasity Kilburn
787 OXFORD ST
Worthington , OH 43085
Business: (614) 547-2807
Mobile: (212) 203-2182

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003292	Architectural Review Board	$3.00	$3.00
	Total for Invoice INV-00003292	$3.00	$3.00
	Grand Total for Plan	**$3.00**	**$3.00**

794 Evening St



I/WE HAVE RECEIVED A COPY OF THIS SURVEY AND FIND THE CONDITIONS ACCEPTABLE TO ME/US.

NEW OWNER

NEW OWNER

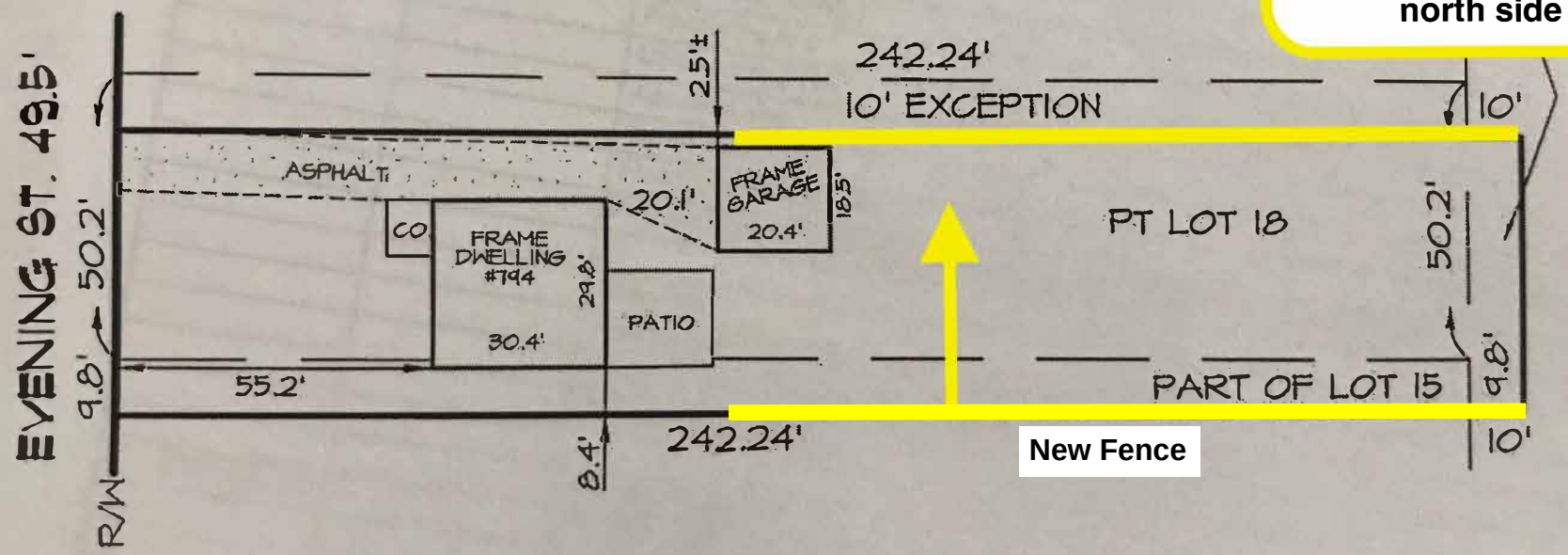
PRESENT OWNER

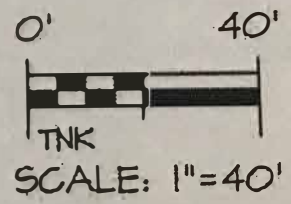
PRESENT OWNER

STATE OF OHIO
MATTHEW L. CAMPBELL
8546
REGISTERED SURVEYOR

NORTH

Current South Fence would be moved to north side





Address 794 Evening Street

State of Ohio, County of Franklin

CITY OF WORTHINGTON

DRAWING NO. ARB 103-2022

DATE 12/02/2022

Henry T. Fay's

Plat Book 4 Page 258

Client Order No. 19-DW-1193

C & A Order No.

New Fence on south property line

CITY OF WORTHINGTON

DRAWING NO. ARB 103-2022

DATE 12/02/2022

Fence proposed to move to north property line

CITY OF WORTHINGTON

DRAWING NO. ARB 103-2022

DATE 12/02/2022

Existing chain link on north property line

CITY OF WORTHINGTON

DRAWING NO. ARB 103-2022

DATE 12/02/2022

ARB APPLICATION
ARB 0106-2022
876 Oxford St.

Plan Type:	Architectural Review Board	**Project:**		**App Date:**	12/13/2022
Work Class:	Certificate of Appropriateness	**District:**	City of Worthington	**Exp Date:**	
Status:	In Review			**Completed:**	
Valuation:	$6,000.00			**Approval**	
Description:	Application for rear yard fencing - 4' ranch rail along south end of property and to meet existing neighbor fence on north end.			**Expire Date:**	

Parcel:	100-000320 Main	**Address:**	876 Oxford St Worthington, OH 43085 Main	**Zone:**	R-10(Low Density Residence)

Owner
Meredith W Shell-Ayer
876 OXFORD ST
Worthington , OH 43085

Applicant / Owner
Brendan M Shell-Ayer
876 OXFORD ST
Worthington , OH 43085
Mobile: (513) 720-6552

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003314	Architectural Review Board	$6.00	$6.00
	Total for Invoice INV-00003314	$6.00	$6.00
	Grand Total for Plan	**$6.00**	**$6.00**

876 Oxford St.

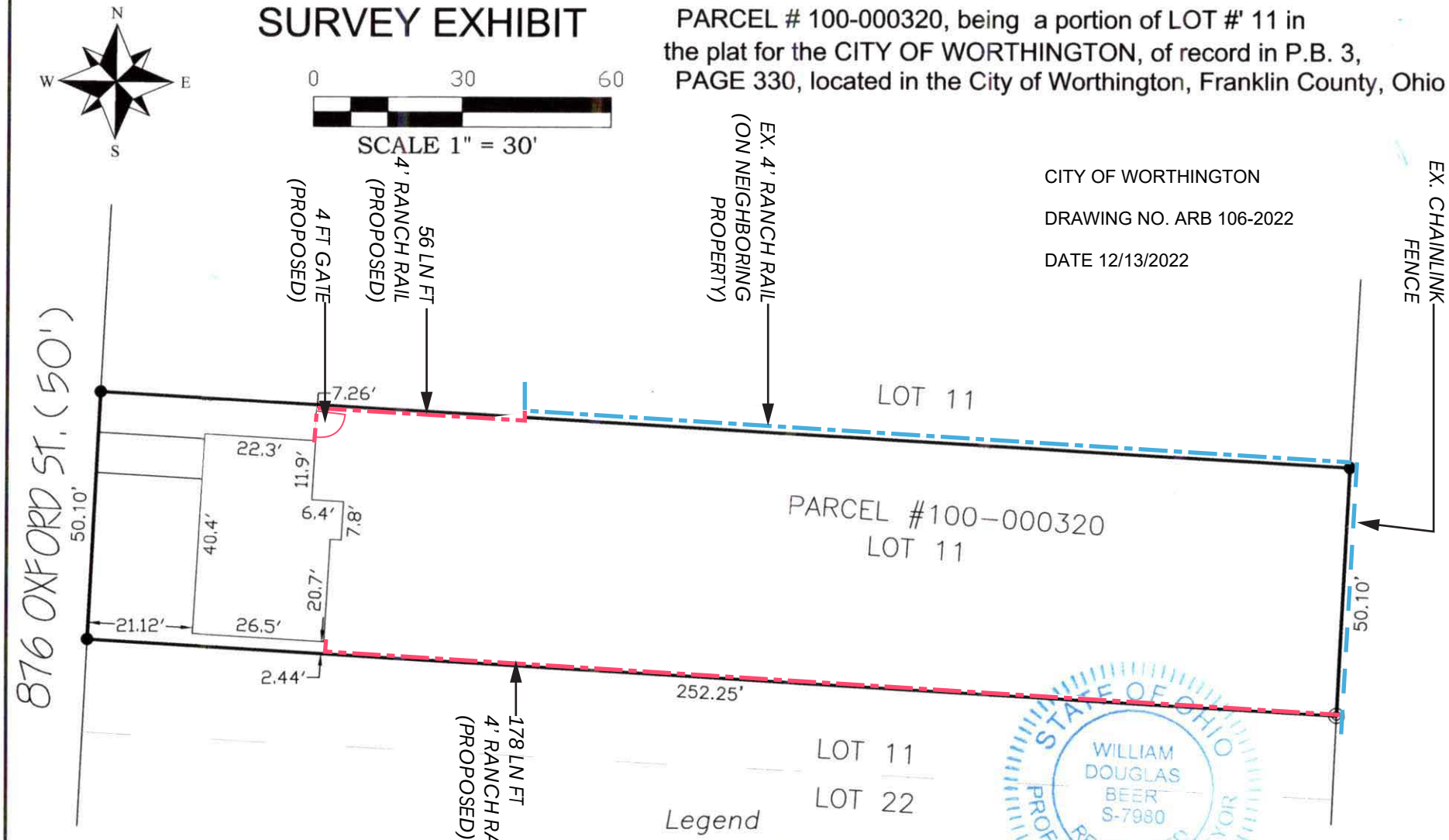
SURVEY EXHIBIT

PARCEL # 100-000320, being a portion of LOT #' 11 in the plat for the CITY OF WORTHINGTON, of record in P.B. 3, PAGE 330, located in the City of Worthington, Franklin County, Ohio

CITY OF WORTHINGTON

DRAWING NO. ARB 106-2022

DATE 12/13/2022



Legend

◎ = 5/8"x30"–REBAR SET (w/ "B.L. SURVEYING, P.S. #7980" red cap)

● = 3/4–INCH IRON PIPE FOUND (or as noted)

NOTE: Additional monumentation was located and used during the course of this survey. Most of the additional pins were not depicted on this Exhibit (due to distance away).

BENCHMARK LAND SURVEYING
3501 Manila Drive,
Westerville, Ohio 43081
(614) 794-9609 ~ Office
E-mail: bmlsurveying@yahoo.com

NOTE: This Survey was performed without the benefit of a Title Commitment listing Schedule B items / Easements which may or may not affect subject property.

STATE OF OHIO
WILLIAM DOUGLAS BEER
S-7980
REGISTERED
PROFESSIONAL SURVEYOR

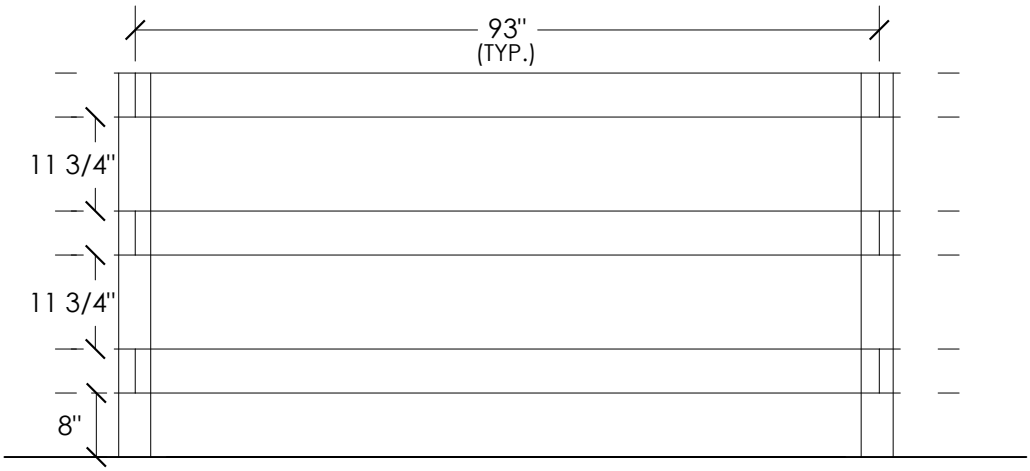
I hereby certify that this SURVEY EXHIBIT was prepared from an actual field survey and to the best of our knowledge and belief is correct and that this plat was prepared in accordance with Ohio Administrative Code Chapter 4733-37 "Standards for Boundary Surveys". All monumentation is found or to be set as shown.

William D. Beer 06/24/2022

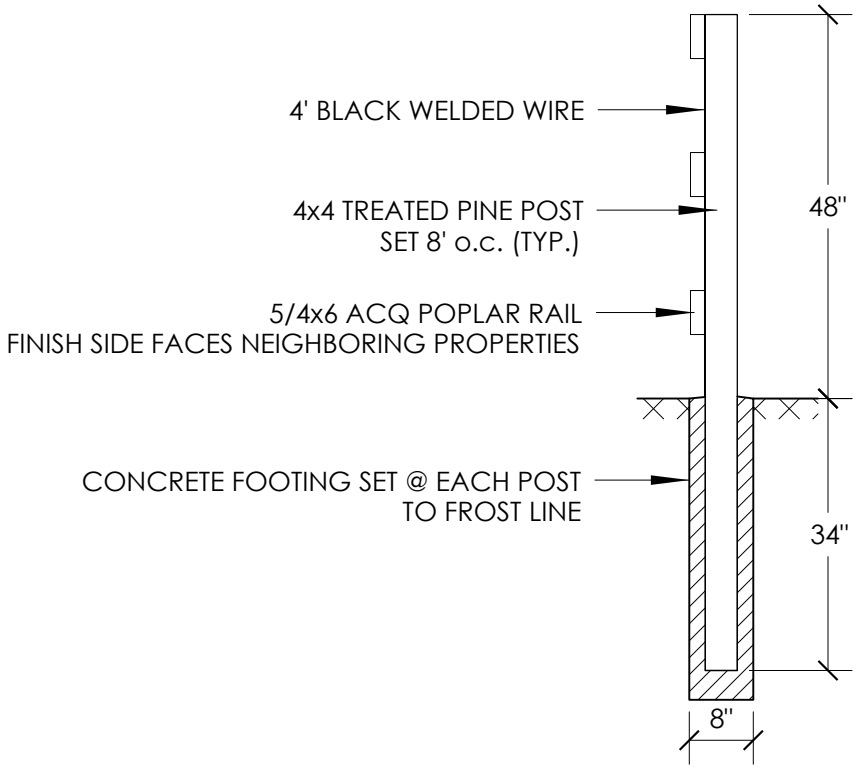
William D. Beer — Date

Registered Professional Surveyor No. 7980

FENCE ELEVATION



FENCE POST SECTION



CITY OF WORTHINGTON

DRAWING NO. ARB 106-2022

DATE 12/13/2022

SCALE: 1" = 2'

PROPOSED FENCE DETAILS

SHELL-AYER RESIDENCE

876 OXFORD STREET
WORTHINGTON, OH 43085

ARB APPLICATION
ARB 0089-2022
99 E. North St.

Tabled 10-27-2022

Plan Type:	Architectural Review Board	**Project:**		**App Date:**	12-15-2022
Work Class:	Certificate of Appropriateness	**District:**	City of Worthington	**Exp Date:**	
Status:	In Review			**Completed:**	
Valuation:	$400,000.00			**Approval**	
Description:	New Construction of Residential Single Family Home on a vacant lot.			**Expire Date:**	

Parcel:	100-000711 Main	**Address:**	99 E North St Worthington, OH 43085 Main	**Zone:**	R-10(Low Density Residence)

Owner	Applicant
Karen R Hopkins	Josh Myers
100 E NORTH ST	248 E 4th Ave
Worthington , OH 43085	Columbus, OH 43201
Mobile: 6143136875	Mobile: (937) 416-1456

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003054	Architectural Review Board	$200.00	$200.00
	Total for Invoice INV-00003054	$200.00	$200.00
	Grand Total for Plan	**$200.00**	**$200.00**

99 E. North St.

North St E
Hartford St
Morning St
Kilbourne
58
72
100
106
116
128
140
148
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Worthington ARB Supporting Statement
99 E NORTH ST
Ashley & Josh Myers
J. Carter Bean Architect, Nate Wendling

Project goals:

A. Becoming a long-lasting community partner and to obtain ARB's support on a home that fits within the context of the historic district and neighborhood.
B. Managing our costs to ensure we build a house that lands within the value parameters of the neighborhood, and more specifically this stretch of E North Street (affordability in current market conditions, timeless design, and low-maintenance).
C. Incorporating the layout program that will fit our needs as a family, allowing us to grow with the home over time.
D. Utilize existing sewer, water, driveway apron + AEP easement located on west property boundary 8.5Ft x 85ft.

[updated text from 10/21/22 Staff Memo]

Project Details:

1) Proposed Site Plan:
   - The house would be set back 30' from the front property line (front porch depth = 4'); 30' from the rear property line; 6' from the east side property line; and 14' from the west property line.
   - A driveway is shown on the west side of the house that would be 12'0" wide in front of and along the house; and about 28'6" wide from the rear.
   - patio to 18' from the rear property line. The edge of the drive would be about 1'6" from
   - the west property line. The driveway material is concrete with a grass strip on the straight section.
2) Proposed Building:
   - The new house is proposed to be two-stories with a gabled roof that runs east-west and is 27'0" at its peak. A view of the street is included which shows the two-story house.
   - to the west a couple feet shorter than the proposed, and the single-story house to the east about 10' shorter.
   - The site plan shows an 9'4" deep bump out to the 2-story house structure on the rear east side with a covered patio/breezeway behind and connecting to a 24'8" wide 2-car garage.
   - The front façade is proposed with a shed roof supported with columns above the entrance which would be a full-light door with a transom light. Four double-hung windows each are proposed across the first floor. On the second floor, four double-hung windows are proposed across the width of the house with a fifth middle window being shorter than the others and awning operation.
3) Proposed materials:
   - 7" smooth vinyl lap siding in 'Linen' with PVC trim in 'Linen'.
   - 4" smooth vinyl lap siding in 'Linen' with PVC trim in 'Linen' at the inset entry and the garage. 'Linen' with vinyl trim in 'Linen'
   - Cobblestone Grey dimensional asphalt shingles (Certainteed).
   - 'Musket Grey' standing seem metal on the porch roof.
   - 'Clay' colored gutters and downspouts, fascia, and corner vinyl trim pieces.
   - Windows – Fiberglass double-hung (with 2 over 2 muntin configuration) or awning windows in clay (Marvin Essential).
   - Black cylindrical shaped sconce lighting by Kichler.

CITY OF WORTHINGTON
DRAWING NO. ARB 89-2022
DATE 12/15/2022

Other Site & Home narrative comments:

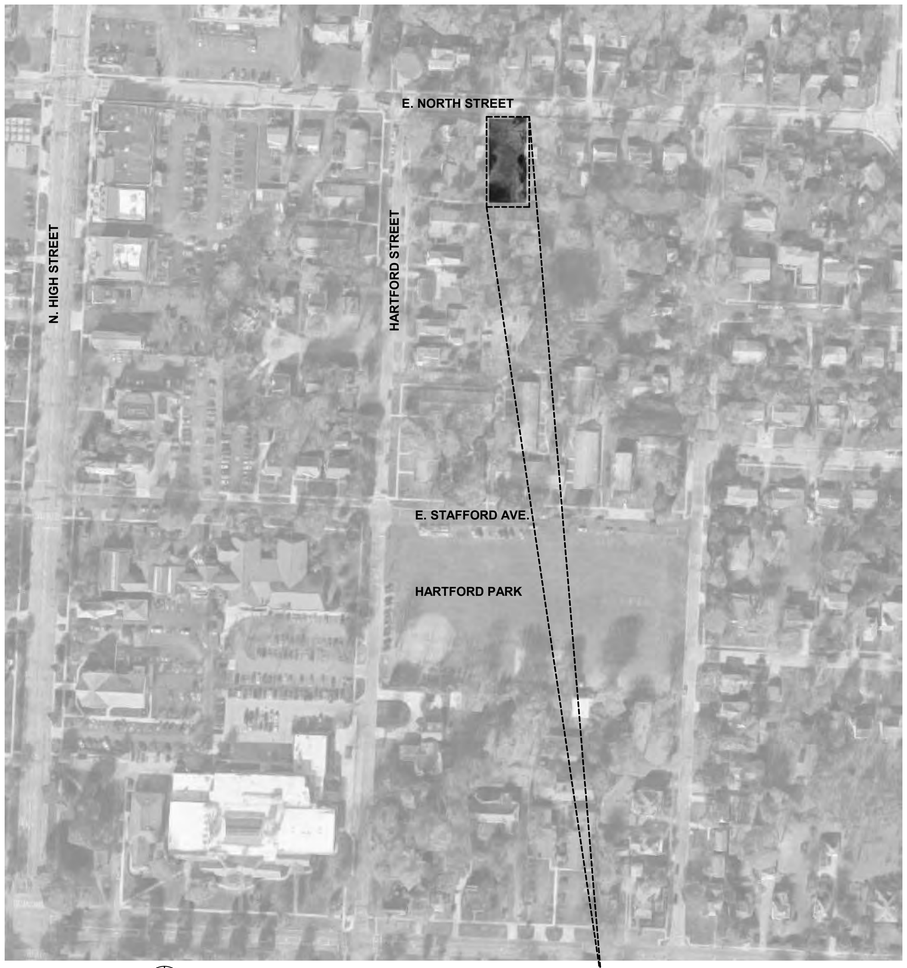
1. Standard trusses on home. Rafter framing for breezeway & garage for added storage space above garage.
2. All setback requirements have been incorporated.
3. Wood framed structure; cast-in-place concrete foundation.
4. All roof drainage and driveway drainage will be directed to the street.
5. Proposed program: 3 bed, 2.5 bath, roughly 2400 SF living space above grade, 2-car garage behind house. Possible bedroom suite in the basement.
6. Driveway concrete square footage has been reduced per ARB comments from 1st submission in October, as well as grass strip incorporated.
7. Incorporated landscaping as well as softer landscaped edge between home and driveway per ARB comments in October meeting.
8. Windows: 2 over 2 grid pattern as shown in the Design Guidelines packet, 41 W NEW ENGLAND AVE, as an example of Federal Style.
9. In the 1st meeting the comment was made that, "No frill architecture would fit into Olde Worthington".

Worthington Design Guidelines considerations:

- "Compatibility with the neighborhood should be the primary consideration."
- The styling and details paid close attention to the sections for Residential Rehabilitation, Additions, and New Residential Construction.
- The Design Guidelines feature 41 W NEW ENGLAND AVE as an example of Federal Style; this home features 1 vertical grid, creating 2 over 2, double hung windows.
- "Parking areas should be located as far to the rear of a property as possible. Avoid locating parking in front yard areas. Side yards may be appropriate for parking, but it should be located as far to the rear as possible and screened from the street with landscaping, fencing or walls."

MYERS SINGLE FAMILY RESIDENCE

NEW CONSTRUCTION
DECEMBER 16, 2022



VICINITY MAP - N.T.S.

DRAWING INDEX

		ISSUE DATE	REVISION	COMMENTS
ARCHITECTURAL DRAWINGS				
A-0.1	TITLE SHEET			
A-0.2	SITE PLAN			
A-0.3	LANDSCAPE PLAN			
A-1.1	EXTERIOR ELEVATIONS			
A-1.2	EXTERIOR MATERIALS & FINISHES			
A-1.3	3D IMAGE			
A-1.4	3D IMAGE			
A-1.5	3D IMAGE			
A-1.6	3D IMAGE			

CITY OF WORTHINGTON
DRAWING NO. ARB 89-2022
DATE 12/15/2022

BEAN
LIMITED LIABILITY COMPANY
420 LOCUST STREET
SUITE 240 • COLUMBUS
OHIO • 43214
TEL 614 262 5111
FX 614 262 2327

MYERS PROPERTY SOLUTIONS

MYERS SINGLE FAMILY RESIDENCE
99 E. NORTH STREET, WORTHINGTON, OH 43085
FOR
JOSH & ASHLEY MYERS

No.	Date	Description
	12.16.2022	CONCEPT

DRAWING TITLE
TITLE SHEET

DRAWING NUMBER
A-0.1

BEAN Project Number

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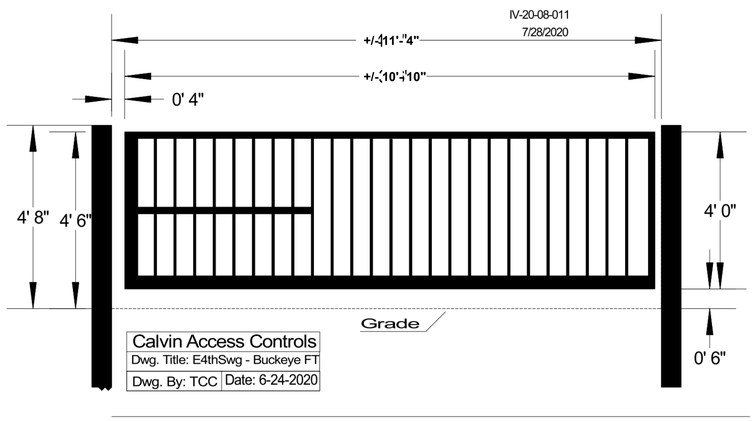
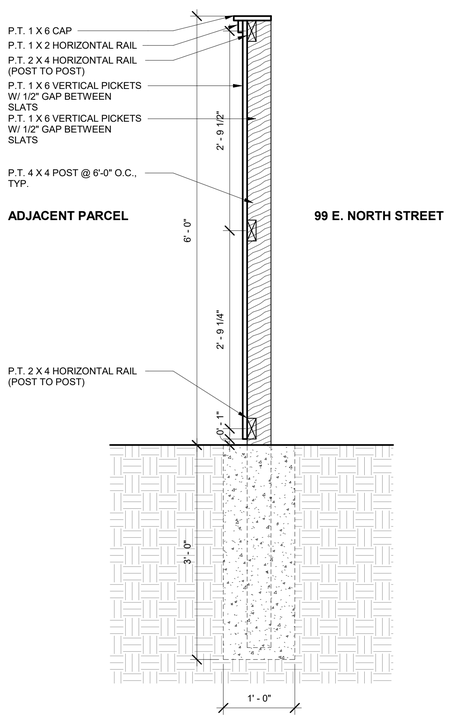


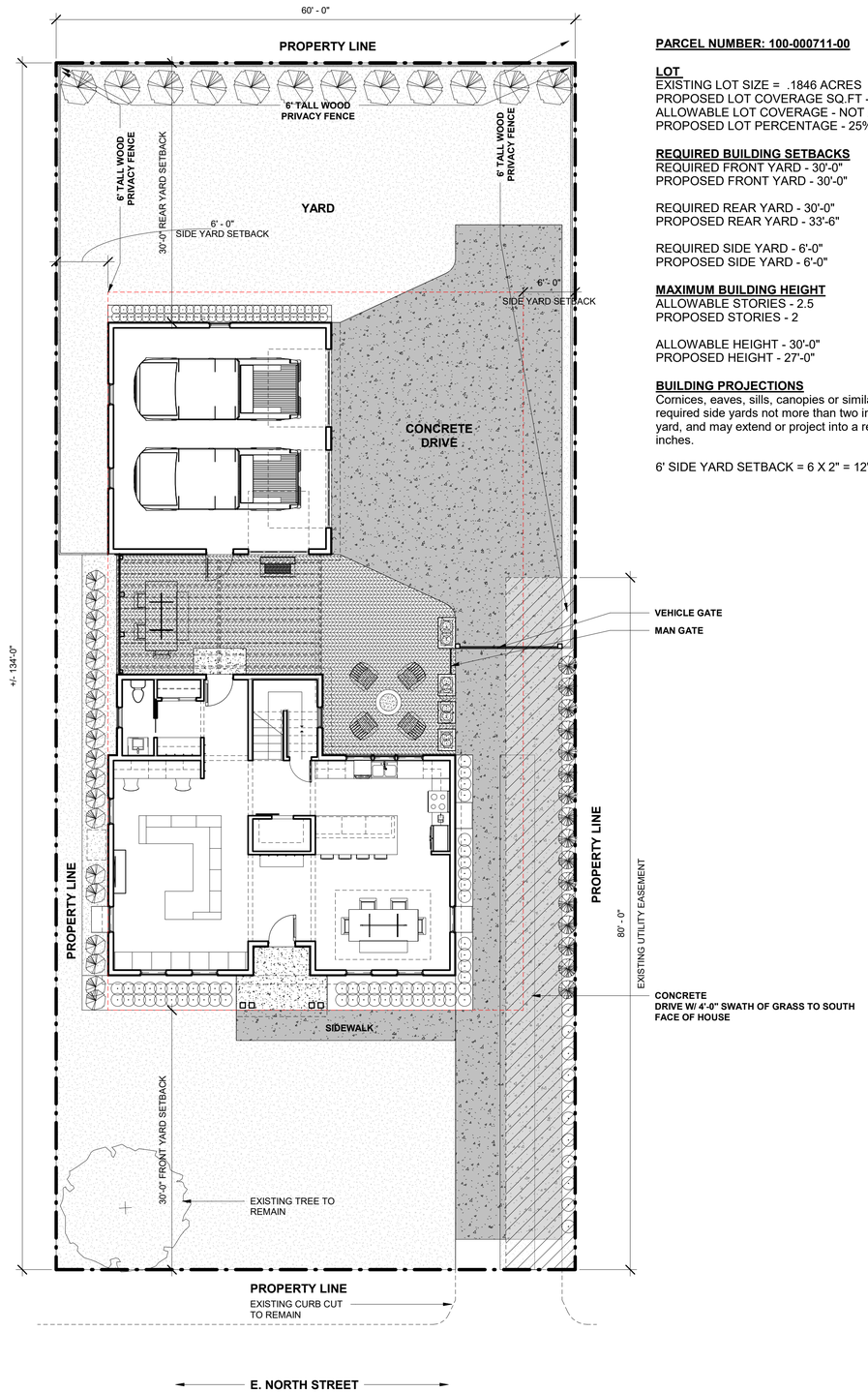
VEHICLE GATE ELEVATION - N.T.S.

NOTE: TYPICAL METAL GATE ELEVATION. PROJECT SPECIFIC DRAWINGS TO BE PROVIDED FOR APPROVAL



2 PERIMETER FENCING DETAIL
1" = 1'-0"

NOTE: FENCE BOARDS TO FACE OUT TOWARD ADJACENT PARCELS



1 SITE PLAN
1/8" = 1'-0"

PARCEL NUMBER: 100-000711-00

LOT
EXISTING LOT SIZE = .1846 ACRES
PROPOSED LOT COVERAGE SQ.FT - 2055 SQ.FT. (.O47 ACRES)
ALLOWABLE LOT COVERAGE - NOT APPLICABLE
PROPOSED LOT PERCENTAGE - 25%

REQUIRED BUILDING SETBACKS
REQUIRED FRONT YARD - 30'-0"
PROPOSED FRONT YARD - 30'-0"

REQUIRED REAR YARD - 30'-0"
PROPOSED REAR YARD - 33'-6"

REQUIRED SIDE YARD - 6'-0"
PROPOSED SIDE YARD - 6'-0"

MAXIMUM BUILDING HEIGHT
ALLOWABLE STORIES - 2.5
PROPOSED STORIES - 2

ALLOWABLE HEIGHT - 30'-0"
PROPOSED HEIGHT - 27'-0"

BUILDING PROJECTIONS
Cornices, eaves, sills, canopies or similar projections may extend or project into required side yards not more than two inches for each one foot of width of such side yard, and may extend or project into a required front or rear yard not more than thirty inches.

6' SIDE YARD SETBACK = 6 X 2" = 12" MAX PROJECTION

CITY OF WORTHINGTON
DRAWING NO. ARB 89-2022
DATE 12/15/2022

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BEAN
2 CENTER POINTE DRIVE
#2 CENTER POINTE
SUITE 240 • COLUMBUS
OHIO • 43214
TEL 614 262 5544
FAX 614 262 2329

MYERS PROPERTY SOLUTIONS

MYERS SINGLE FAMILY RESIDENCE
99 E. NORTH STREET, WORTHINGTON, OH 43085
FOR
JOSH & ASHLEY MYERS

No.	Date	Description
	12.16.2022	CONCEPT

DRAWING TITLE
SITE PLAN

DRAWING NUMBER
A-0.2

BEAN Project Number

PLANT LIST

AREA 1

Alternating rows of Gold Pillar Barberry and Helmond Pillar Barberry
Mature height 3-4 ft
Spaced every 2 ft on center

Helmond Pillar Barberry
Mature height 4'-5' ft
Spaced every 2 feet on center

AREA 2

West property line along drive, starting +/- 30ft from sidewalk.
Japanese Plum Yew
Mature height 4' feet
Width 2 feet
Space every 2 feet on center

AREA 2

West proper line along drive, starting at sidewalk to north edge of house.
Dwarf fountain grass
Mature height 24"
Width 24"
Spaced every 20"

AREA 3

Astilbe Japonica Europa
Mature height 24"
Width 24"
Spaced every 20"

AREA 3

Lungwart
mature height 12"
Width 12-18"
Spaced every 24"
Gravel base

AREA 4

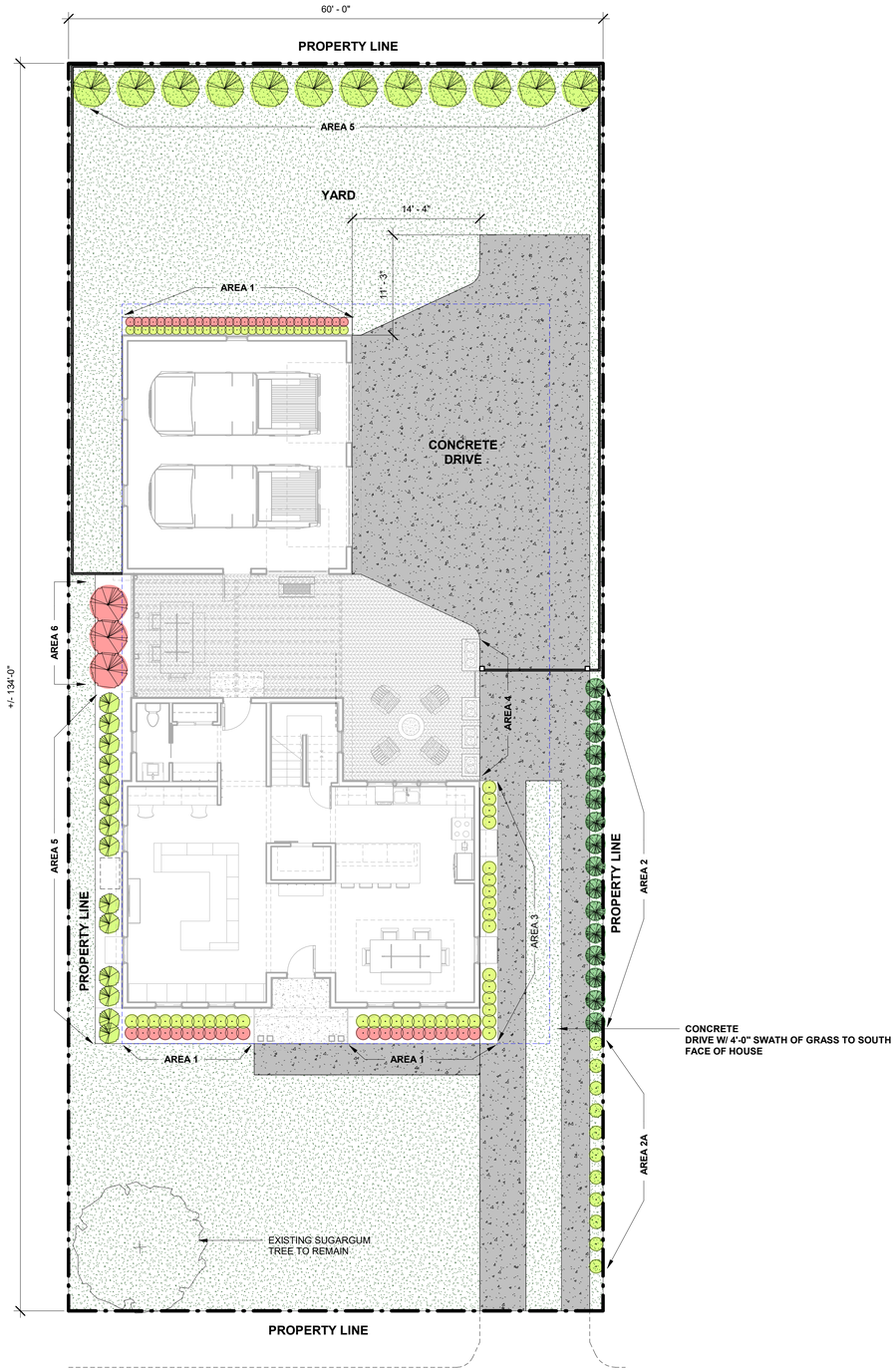
Calycanthus "Venus" Sweetshrub fragrant
mature height 5-7 feet
Width 5-6 feet
Spaced every 5 feet on center

AREA 5

Chinese Silver Grass
Height 5-7 feet
Width 5-7 feet
Spaced every 6 feet on center
Gravel base

AREA 6

Sneezy rhodedendron
Height 4 feet
Width 4 feet
Spaced every 3-4 feet
Gravel base



1 LANDSCAPE PLAN
1/8" = 1'-0"

CITY OF WORTHINGTON
DRAWING NO. ARB 89-2022
DATE 12/15/2022

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BEAN
1 CHEVY CHASE BLVD.
2200 NORTHWEST CORPORATE BLVD.
SUITE 240 • COLUMBUS
OHIO • 43214
TEL 614 262 5151
FX 614 262 2329

MYERS PROPERTY SOLUTIONS

MYERS SINGLE FAMILY RESIDENCE
99 E. NORTH STREET, WORTHINGTON, OH 43085
FOR
JOSH & ASHLEY MYERS

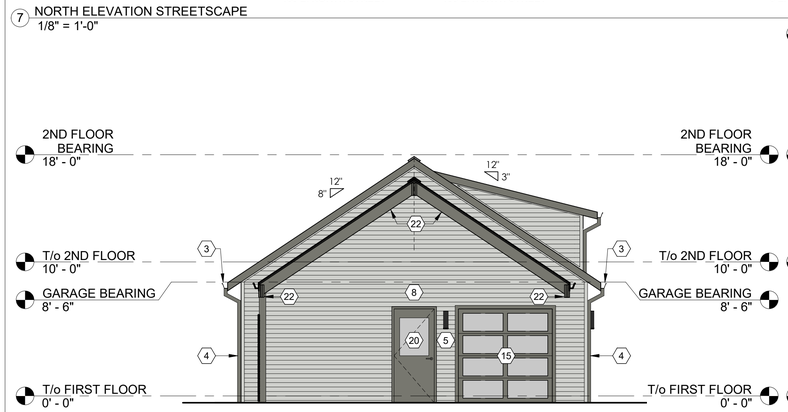
No.	Date	Description
	12.16.2022	CONCEPT

DRAWING TITLE
LANDSCAPE PLAN

DRAWING NUMBER
A-0.3

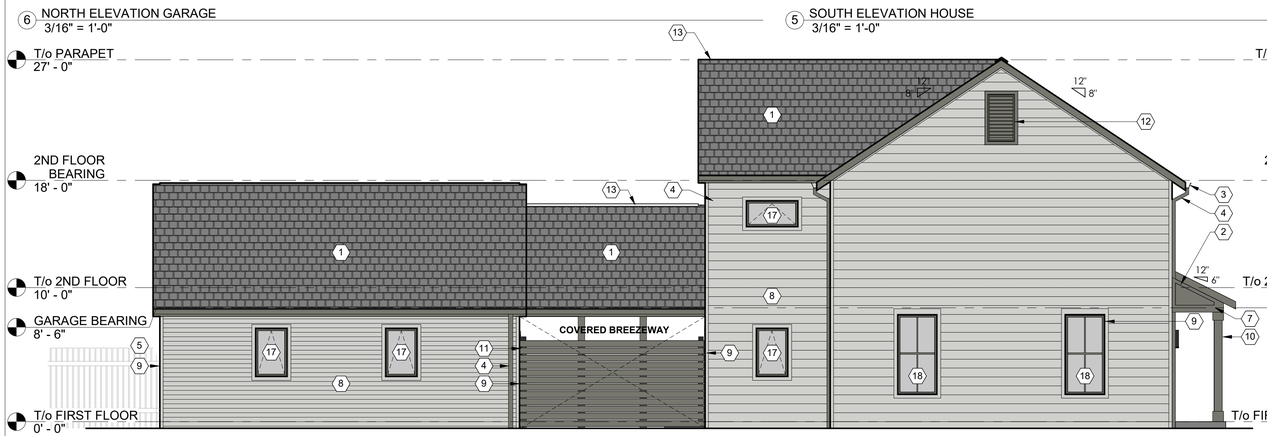
BEAN Project Number

7 NORTH ELEVATION STREETSCAPE
1/8" = 1'-0"

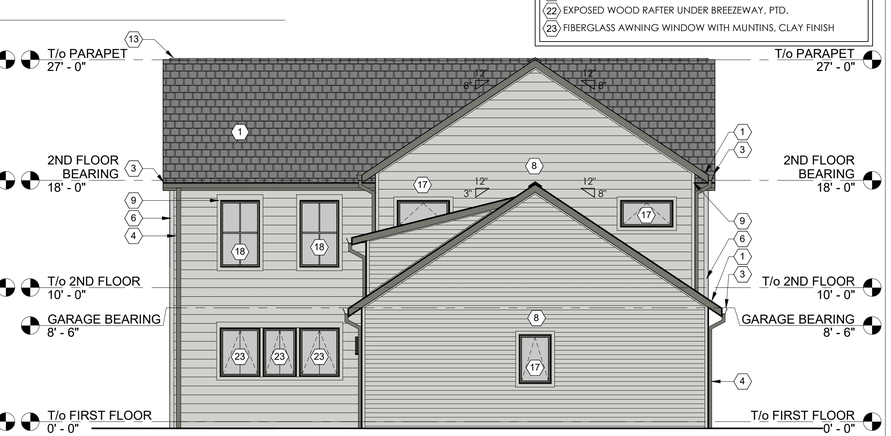


6 NORTH ELEVATION GARAGE
3/16" = 1'-0"

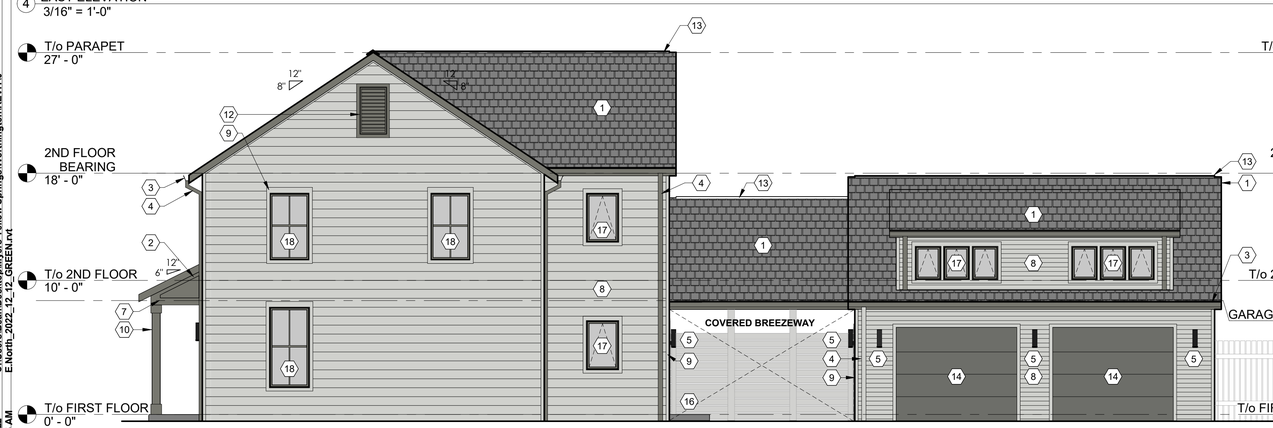
5 SOUTH ELEVATION HOUSE
3/16" = 1'-0"



4 EAST ELEVATION
3/16" = 1'-0"



3 SOUTH ELEVATION GARAGE
3/16" = 1'-0"



2 WEST ELEVATION
3/16" = 1'-0"

1 NORTH ELEVATION
3/16" = 1'-0"

EXTERIOR FINISH KEY

MARK	TYPE	NOTES
AS-1	DIMENSIONAL ASPHALT SHINGLE ROOFING	MANUFACTURER: CERTAINTEED, LANDMARK SERIES COLOR: GEORGETOWN GRAY
VS-1	VINYL - 7" LAP SIDING	MANUFACTURER: WESTLAKE, SMOOTH - 7" COLOR: LINEN
VS-2	VINYL - 4" LAP SIDING	MANUFACTURER: WESTLAKE, SMOOTH - 4" COLOR: LINEN
VS-3	VINYL - TRIM	MANUFACTURER: WESTLAKE, SMOOTH - COLOR: LINEN
MTL-1	STANDING SEAM ROOF	MANUFACTURER: DIMENSIONAL METALS, INC. (DMI) INTER-LOCK 1L20 SMOOTH, 16" O.C. COLOR: MUSKET GREY
MTL-2	PREFINISHED METAL FLASHING/ FASCIA, GUTTER/DOWNSPOUT	DIMENSIONAL METALS INC. COLOR: CLAY
W-1	FIBERGLASS DOORS AND WINDOWS	MANUFACTURER: MARVIN ESSENTIAL COLOR: CLAY
OH-1	ALUMINUM O.H. DOOR	TUBELITE T-14000 SERIES, 2" X 4 1/2" FRAMING WITH GLAZING AS SCHEDULED COLOR: CLAY

ELEVATION CODED NOTES

1. DIMENSIONAL ASPHALT SHINGLE ROOFING
2. PREFINISHED STANDING SEAM METAL ROOF, INTER-LOCK 1L20 - 24 GA. - SMOOTH
3. 5" METAL (24 GA.) OGEE GUTTER, PTD
4. 4X3 METAL (24 GA.) DOWNSPOUT. HOLD TIGHT TO FACE OF CONSTRUCTION.
5. EXTERIOR WALL MOUNTED LIGHT FIXTURE
6. VINYL LAP SIDING (7" SMOOTH FINISH), PTD
7. FIBER CEMENT PANEL SIDING (SMOOTH FINISH), PTD
8. VINYL LAP SIDING (4" SMOOTH FINISH), PTD
9. VINYL EDGE TRIM (SMOOTH FINISH), PTD
10. 8 X 8 P.P.T. WOOD POST (SEE STRUCTURAL DRAWINGS)
11. 1 X 6 P.P.T WOOD SLATS, PTD
12. PREFINISHED ALUMINUM LOUVER w/ INSECT SCREEN, PTD TO MATCH TRIM
13. RIDGE VENT
14. FLUSH METAL GARAGE DOOR
15. PREFINISHED ALUMINUM OVERHEAD DOOR w/ GLAZING AS SCHEDULED
16. CONCRETE ENTRY STOOP
17. FIBERGLASS AWNING WINDOW WITH MUNTINS, CLAY FINISH
18. FIBERGLASS DOUBLE HUNG WINDOW WITH MUNTINS, CLAY FINISH
19. FIBERGLASS FULL-LITE DOOR, CLAY FINISH
20. FIBERGLASS HALF LIGHT-LITE DOOR, CLAY FINISH
21. NOT USED
22. EXPOSED WOOD RAFTER UNDER BREEZEWAY, PTD.
23. FIBERGLASS AWNING WINDOW WITH MUNTINS, CLAY FINISH

BEAN
LUKEN BEAN & ASSOC. INC.
220 NORTH HIGH ST.
SUITE 40 • COLUMBUS
OHIO 43215
PH 614 262 5544
FX 614 262 2329

MYERS PROPERTY SOLUTIONS

MYERS SINGLE FAMILY RESIDENCE
99 E. NORTH STREET, WORTHINGTON, OH 43085
FOR
JOSH & ASHLEY MYERS

CITY OF WORTHINGTON
DRAWING NO. ARB 89-2022
DATE 12/15/2022

No.	Date	Description
	12.16.2022	CONCEPT

DRAWING TITLE
BUILDING ELEVATIONS

DRAWING NUMBER
A-1.1

BEAN\Project Number

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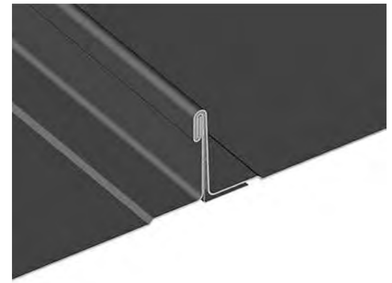
EXTERIOR MATERIALS

ROOFING

DIMENSIONAL ASPHALT SHINGLES
MANUFACTURER: CERTAINTEED, LANDMARK SERIES
COLOR: COBBLESTONE GREY

ROOFING



STANDING SEAM METAL ROOF (ENTRY)
MANUFACTURER: DIMENSIONAL METALS, INC (DMI)
INTER-LOCK 'IL20' SMOOTH, 12" O.C.
COLOR: MUSKET GREY

GUTTERS & DOWNSPOUTS

GUTTERS AND DOWNSPOUTS
MANUFACTURER: DIMENSIONAL METALS, INC (DMI)
COLOR: CLAY

SIDING & TRIM

VINYL LAP SIDING
MANUFACTURER: WESTLAKE, SMOOTH - 7" / 4"
COLOR: LINEN

SIDING
COLOR: LINEN

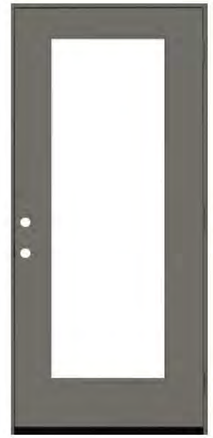
TRIM
COLOR: LINEN

WINDOWS

WINDOWS
MANUFACTURER: MARVIN ESSENTIAL
COLOR: CLAY

FRAME
COLOR: CLAY

SWING DOORS



WINDOWS
MANUFACTURER: MARVIN (OR APPROVED ALT.)
COLOR: CLAY

FRAME
COLOR: CLAY

OVERHEAD DOORS

ACCENT LIGHTING

LIGHTING
MANUFACTURER: KICHLER (OR APPROVED ALT.)
COLOR: BLACK

SIZE: 6" W X 15" H

CITY OF WORTHINGTON
DRAWING NO. ARB 89-2022
DATE 12/15/2022

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BEAN
LIMITED BUILDING SERVICES
4200 HOLT STREET
SUITE 40 • COURTS
OHIO 43214
TEL 614 262 5444
FAX 614 262 2327

MYERS PROPERTY SOLUTIONS

MYERS SINGLE FAMILY RESIDENCE
0 E. NORTH STREET, WORTHINGTON, OH 43085
FOR
JOSH & ASHLEY MYERS

No.	Date	Description
	12.16.2022	CONCEPT

DRAWING TITLE
CONCEPTUAL MATERIAL INDEX

DRAWING NUMBER
A-1.2

BEAN Project Number

3D IMAGE

3D IMAGE LOOKING SOUTHEAST FROM E. NORTH STREET - N.T.S.

CITY OF WORTHINGTON

DRAWING NO. ARB 89-2022

DATE 12/15/2022

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LIMITED DATA BUILDING
4200 KOHL CHURCH RD.
SUITE 240 • COLUMBUS
OHIO • 43214
TEL 614 262 5544
FAX 614 262 2329

MYERS PROPERTY SOLUTIONS

MYERS SINGLE FAMILY RESIDENCE

0 E. NORTH STREET, WORTHINGTON, OH 43085

FOR

JOSH & ASHLEY MYERS

No.	Date	Description
	12.16.2022	CONCEPT

DRAWING TITLE
3D IMAGE

DRAWING NUMBER
A-1.3

BEAN Project Number

3D IMAGE

3D IMAGE LOOKING NORTHEAST FROM BACKYARD - N.T.S.

CITY OF WORTHINGTON

DRAWING NO. ARB 89-2022

DATE 12/15/2022

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4200 KOHL CHURCH RD.
SUITE 40 • COLUMBUS
OHIO • 43214
TEL 614 262 5511
FX 614 262 2327

MYERS PROPERTY SOLUTIONS

MYERS SINGLE FAMILY RESIDENCE

0 E. NORTH STREET, WORTHINGTON, OH 43085

FOR

JOSH & ASHLEY MYERS

No.	Date	Description
	12.16.2022	CONCEPT

DRAWING TITLE

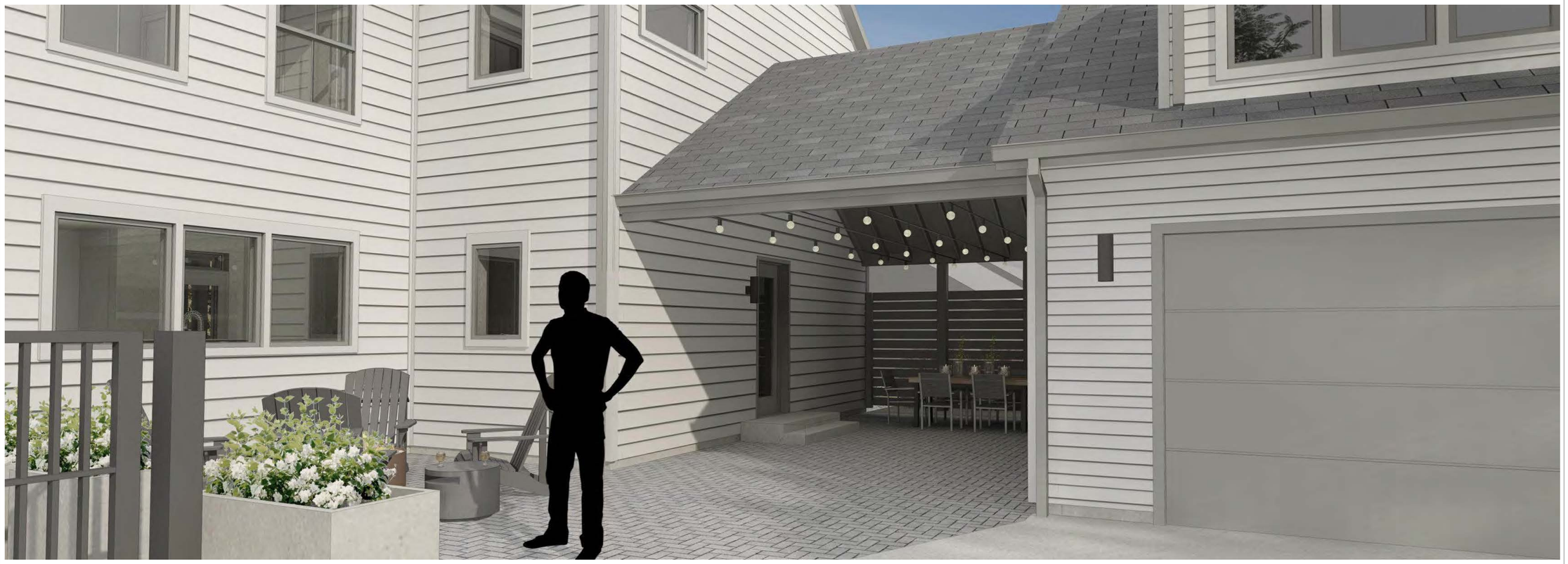
3D IMAGE

DRAWING NUMBER

A-1.4

BEAN Project Number

3D IMAGE



3D IMAGE LOOKING NORTHEAST FROM BACKYARD - N.T.S.

CITY OF WORTHINGTON

DRAWING NO. ARB 89-2022

DATE 12/15/2022

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BEAN
LIMITED DUPLICATE BUILDING
4200 KOHL CHURCH RD
SUITE 240 • COLUMBUS
OHIO • 43214
TEL 614 262 5544
FAX 614 262 2329

MYERS PROPERTY SOLUTIONS

MYERS SINGLE FAMILY RESIDENCE

0 E. NORTH STREET, WORTHINGTON, OH 43085

FOR

JOSH & ASHLEY MYERS

No.	Date	Description
	12.16.2022	CONCEPT

DRAWING TITLE
3D IMAGE

DRAWING NUMBER
A-1.5

BEAN Project Number

3D IMAGE

3D IMAGE LOOKING SOUTHWEST FROM E. NORTH STREET - N.T.S.

CITY OF WORTHINGTON

DRAWING NO. ARB 89-2022

DATE 12/15/2022

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BEAN
LIMITED DESIGN BUILD
4200 HOLT STREET
SUITE 40 • COLUMBUS
OHIO • 43214
TEL 614 262 5511
FAX 614 262 2329

MYERS PROPERTY SOLUTIONS

MYERS SINGLE FAMILY RESIDENCE

0 E. NORTH STREET, WORTHINGTON, OH 43085

FOR

JOSH & ASHLEY MYERS

No.	Date	Description
	12.16.2022	CONCEPT

DRAWING TITLE

3D IMAGE

DRAWING NUMBER

A-1.6

BEAN Project Number

ARB APPLICATION
ARB 0099-2022
300 W. Dublin-Granville Rd.

Tabled 12-8-2022

Plan Type:	Architectural Review Board	**Project:**		**App Date:**	12-27-2022
Work Class:	Certificate of Appropriateness	**District:**	City of Worthington	**Exp Date:**	
Status:	In Review			**Completed:**	
Valuation:	$0.00			**Approval**	
				Expire Date:	

Description: This first meeting with the Architectural Review Board is for initial feedback only. The project is addition and renovations to Thomas Worthington High School.

ARB/MPC Meeting January 12, 2023 - the focus should be only on the presented site elements.

Parcel:	100-006617 Main	**Address:**	300 W Dublin-Granville Rd Worthington, OH 43085 Main	**Zone:**	

Applicant
Schorr Architects, Inc.
Nathan Gammella
230 Bradenton Ave.
Dublin, OH 43017
Business: 6147982096
Mobile: 4409152422

Current Property Owner
Jeff Eble
Business: (614) 450-6037

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003172	Architectural Review Board	$200.00	$200.00
	Total for Invoice INV-00003172	$200.00	$200.00
	Grand Total for Plan	**$200.00**	**$200.00**

Condition	Description	Date Created	Satisfied
No Build Document Must Be Reviewed	A no build document has been recorded for this parcel. Please review this document to ensure the permit cannot be issued.	06/29/2022	No
Building Code Variance On File	There is a building code variance on file that may affect future projects. Please check the parcel record.	07/13/2022	No

300 W. Dublin-Granville Rd.

Background & Request

Location and Background: The existing Thomas Worthington High School is located at 300 West Dublin-Granville Rd, and the original portion was built in 1952. The 1952 portion consists of two-stories and a basement which total approximately 34,000sf. Since 1952, the building has been added to numerous times with the existing total square footage exceeding 330,000sf. In percentages, the building has grown to just under 900% of its original size since its original construction.

Due to changes in school start time and bus scheduling, the traffic study is currently underway. Additionally, a final landscape plan indicating quantity of trees, caliper, species, etc. will be provided at a future meeting.

At this January 12 hearing, the applicants are not seeking approval, but rather feedback on the initial site development proposal only. The applicant will record all feedback regarding the project scope; however, the focus should be only on the presented site elements.

Overview of Site Developments:

1. Project Site Elements (Overview of Page 1: "Site Plan Rendering")
    a. Due to the age, condition, and adequacy of the building to meet the educational requirements Renovation of the athletic wing consisting primarily of the competition and auxiliary gymnasia at the west most portion of the existing building.
    b. The new building footprint is reduced allowing for a parking lot on the east. The anticipated use of this parking is for teacher parking during school day, but lot is available for evening or weekend events at the school, and may be a resource to the McConnell Arts Center.
    c. Already reviewed and approved by this ARB, the existing Dow Nelson Sports Complex will be replaced with a new field house (see ARB 0038-2022)
    d. The proposed natatorium has been located. Final location/size is to be determined. This project will be submitted as a separate project as it has a separate address. Indicating it on the site plan is for master planning purposes only.
    e. This summer (2023), the existing north-western practice field will receive a synthetic turf finish.
    f. The existing south-western practice field will potentially receive a synthetic turf finish the summer of 2025.
    g. The softball field will be moved from the flats to be near the building. A parking lot is added to accommodate teacher parking displaced by the field.
    Baseball field will be rotated to share amenities of concessions and building adjacency for restroom access.

2. **Site Circulation**
    a. The location of the existing West parking lot provides ample parking for students, and serves the stadium. This asset is maintained with slight modifications.
    b. Parent drop off will utilize the same curb cuts as today, but the route is reconfigured to drop off near the west entrance for a single point to monitor during pickup and drop-off.

c. A proposed “pedestrian promenade” is intended to separate traffic flow and provide protected pedestrian access to the building.
d. The existing bus drop-off remains fundamentally in the same location and uses the same exit point – Farrington Dr. and West Dublin-Granville Rd. The bus entry point will change to Seabury Drive. The area will be widened to three lanes to provide safer access to busses.
e. Paved access is provided around the entire building which improves existing conditions for building, fire, and police access. The south drive is proposed to be a one-way street with parallel parking available for 15 minute visitors. Exit access to Evening St. will be governed by the existing vehicular gate near the McConnell Arts Center. See page 7: “Vehicular Circulation – Visitor.”

3. Pedestrian Access (Overview of Page 3: “Pedestrian Circulation”)
    a. Pedestrians have multiple safe access points to the Thomas Worthington High School Site and beyond.
        i. Pedestrians from the west can utilize existing sidewalks until they reach the west entry (Seabury Dr). Applicant proposed extending the sidewalk on the west for continuity of the sidewalk from 161 to the pedestrian promenade. To continue east, pedestrians can utilize any of the three existing pathways which connect to Evening. St.
            1. Alternatively, pedestrians can choose to enter the site from the second intersection at Farrington Dr.; however this sidewalk has no buffer between it and West Dublin-Granville Rd. creating a less safe experience for pedestrians. It should be noted there is a steep grade change between the entry intersections as well as multiple key City utilities including a fire hydrant which impede the ability to create a buffer from traffic.
        ii. Pedestrians from the east can utilize any of the three existing pathways accessed from Evening St. to reach the high school where they can circulate the site safely away from traffic. To travel farther west, pedestrians can follow the pedestrian promenade to the new sidewalks connecting to the Seabury Dr. entrance.
        iii. Pedestrians traveling from either east or west can access the high school via the intersection at Farrington Drive. This intersection connects the existing high school sidewalk with a roadway which connects the Olentangy trail and the sidewalk leading to Old Worthington. Improvements to this area by the City of Worthington would greatly improve pedestrian access to multiple amenities in a safe way.
        iv. Alternatively, the opportunity for an easement on the Thomas site has been presented by Worthington Schools. This easement would occur at the south lawn for the City of Worthington to provide a buffered sidewalk for pedestrian access.
            1. Notable issues

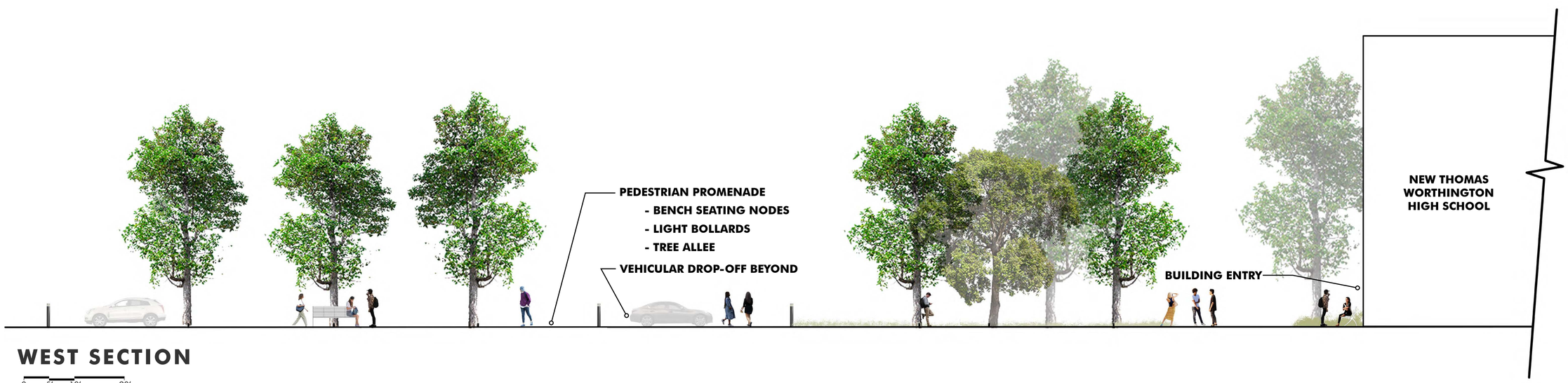
a. The sidewalk between the Seabury and Farrington intersections does not currently provide a safe experience for pedestrians, and the creation of a buffered sidewalk is stifled by existing conditions.
b. Beyond the Thomas site, once pedestrians reach Oxford St. they are met with a stairway and a tight ramping condition which is not conducive for those traveling by bike.

4. Project Site Elements (Overview of Page 2 Rendered Sections)
    a. West Section
        i. The pedestrian promenade is a landscaped, level surface which will provide a safe means of transporting pedestrians on the site. The promenade is situated directly between the bus drop-off and parent-drop off areas. During drop-off, students exiting vehicles can make their way to the promenade and continue west to the high school. During pick-up, students can use the promenade to more quickly access parent vehicles as well as safely find their bus.
    b. East Section
        i. The existing Thomas Worthington High School site experiences multiple level changes with an overall gain of approximately 9 feet gain from west to east with most of the elevation change occurring at the eastern most end of the building.
        ii. The new Thomas Worthington High School will not have level changes as a part of any of its three-stories. The floor elevation of the athletic wing will provide the first floor benchmark.
        iii. The reduced footprint of the building allows most of the grade change to occur at the east side of the building and primarily addressed by terracing the east parking lot to ease this transition up to the existing drive and tennis courts to remain.

SITE PLAN RENDERING

EAST SECTION

0 5' 10' 20'
SCALE: 1" = 10'-0"

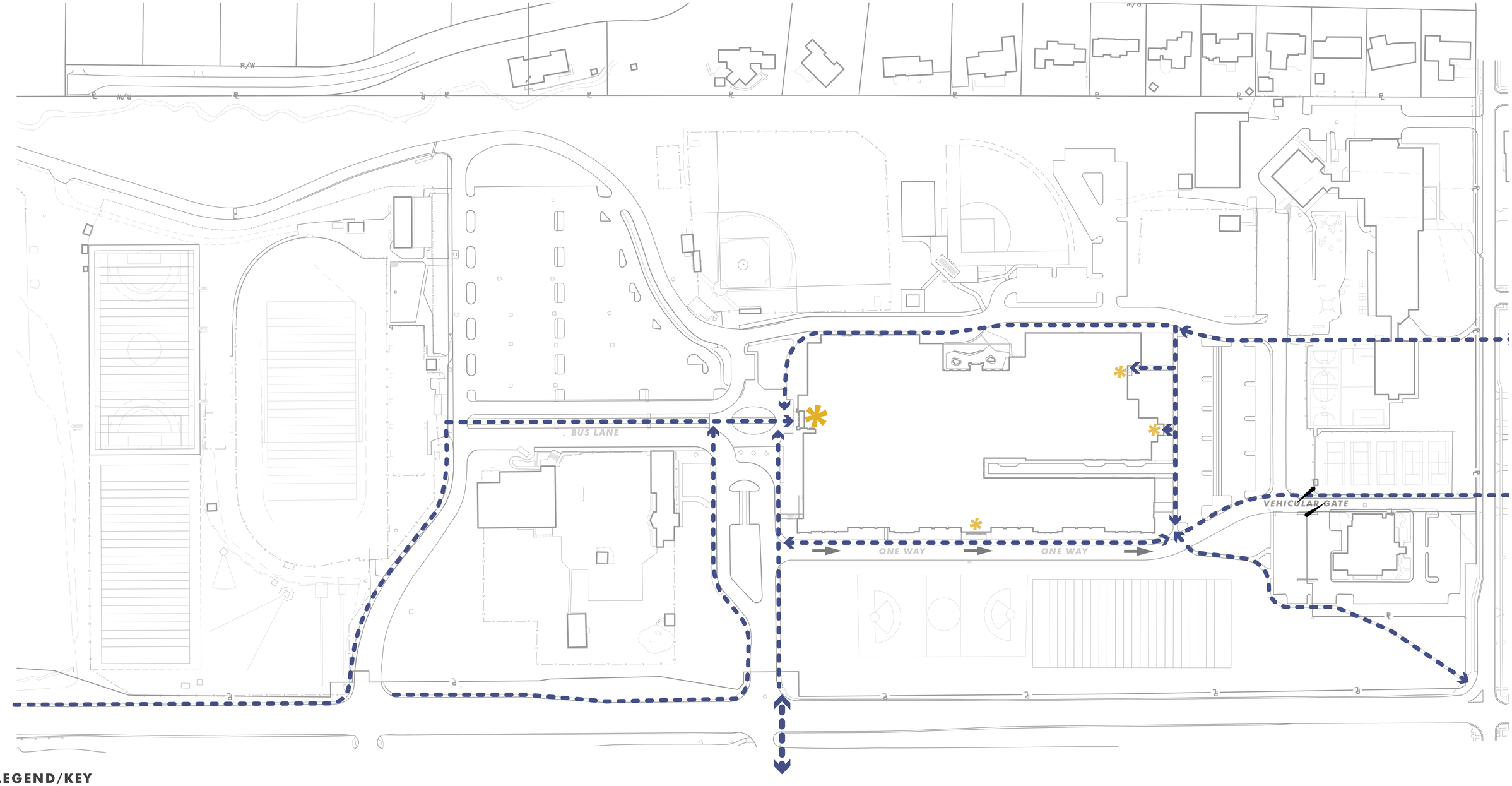


WEST SECTION

0 5' 10' 20'
SCALE: 1" = 10'-0"

CITY OF WORTHINGTON
DRAWING NO. ARB 99-2022
DATE 12/27/2022

PEDESTRIAN CIRCULATION



LEGEND/KEY

- BUILDING ENTRANCES
- ONE WAY DRIVE
- VEHICULAR GATE
- PEDESTRIAN ROUTES

CITY OF WORTHINGTON
DRAWING NO. ARB 99-2022
DATE 12/27/2022

VEHICULAR CIRCULATION - BUS DROP OFF

LEGEND/KEY

- BUILDING ENTRANCES
- ONE WAY DRIVE
- VEHICULAR GATE
- PEDESTRIAN ROUTES
- BUS DROP-OFF / PICK-UP

CITY OF WORTHINGTON
DRAWING NO. ARB 99-2022
DATE 12/27/2022

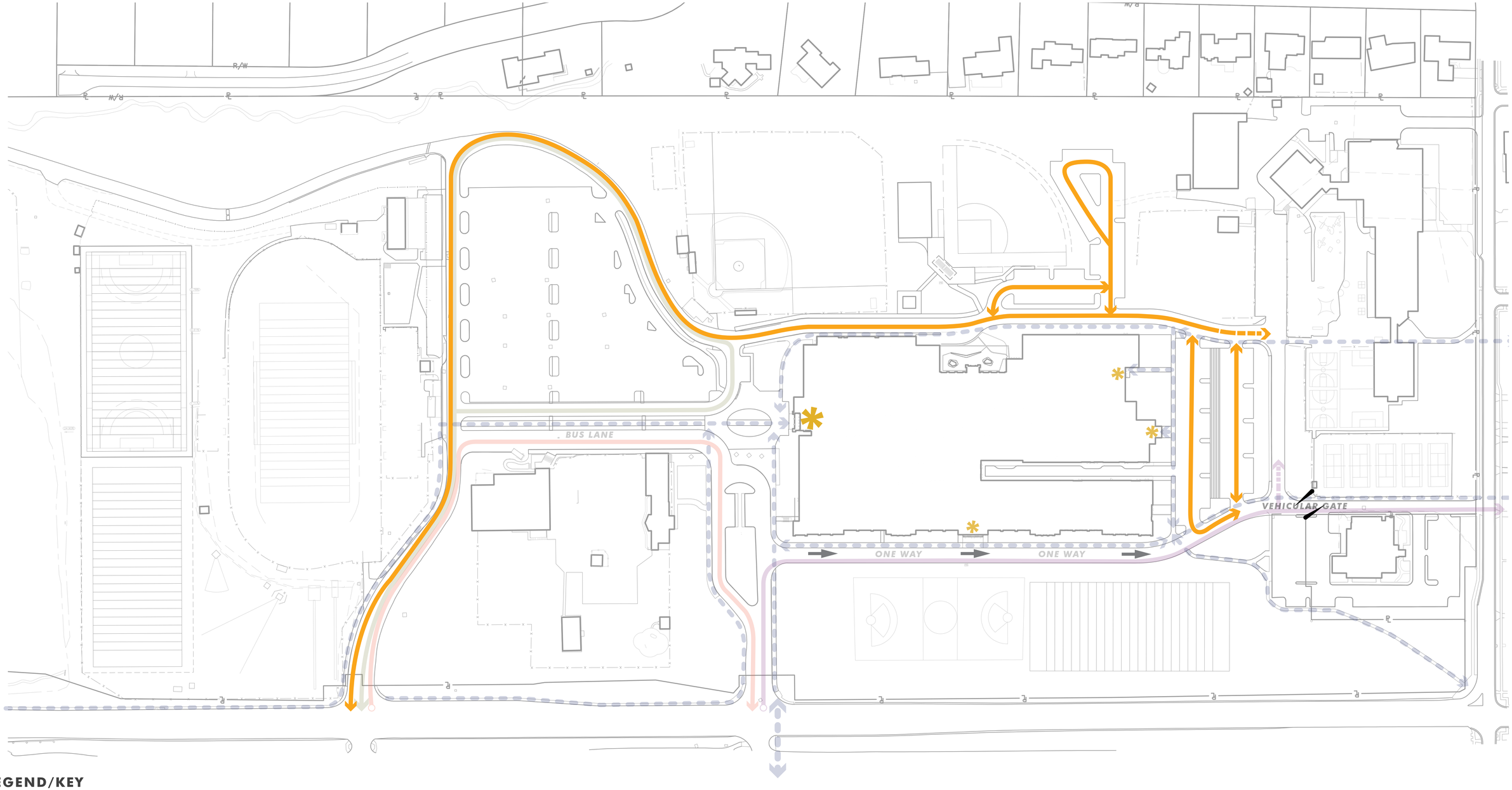
VEHICULAR CIRCULATION - PARENT DROP OFF

LEGEND/KEY

- BUILDING ENTRANCES
- ONE WAY DRIVE
- VEHICULAR GATE
- PEDESTRIAN ROUTES
- BUS DROP-OFF / PICK-UP
- PARENT DROP-OFF / PICK-UP

CITY OF WORTHINGTON
DRAWING NO. ARB 99-2022
DATE 12/27/2022

VEHICULAR CIRCULATION - STAFF

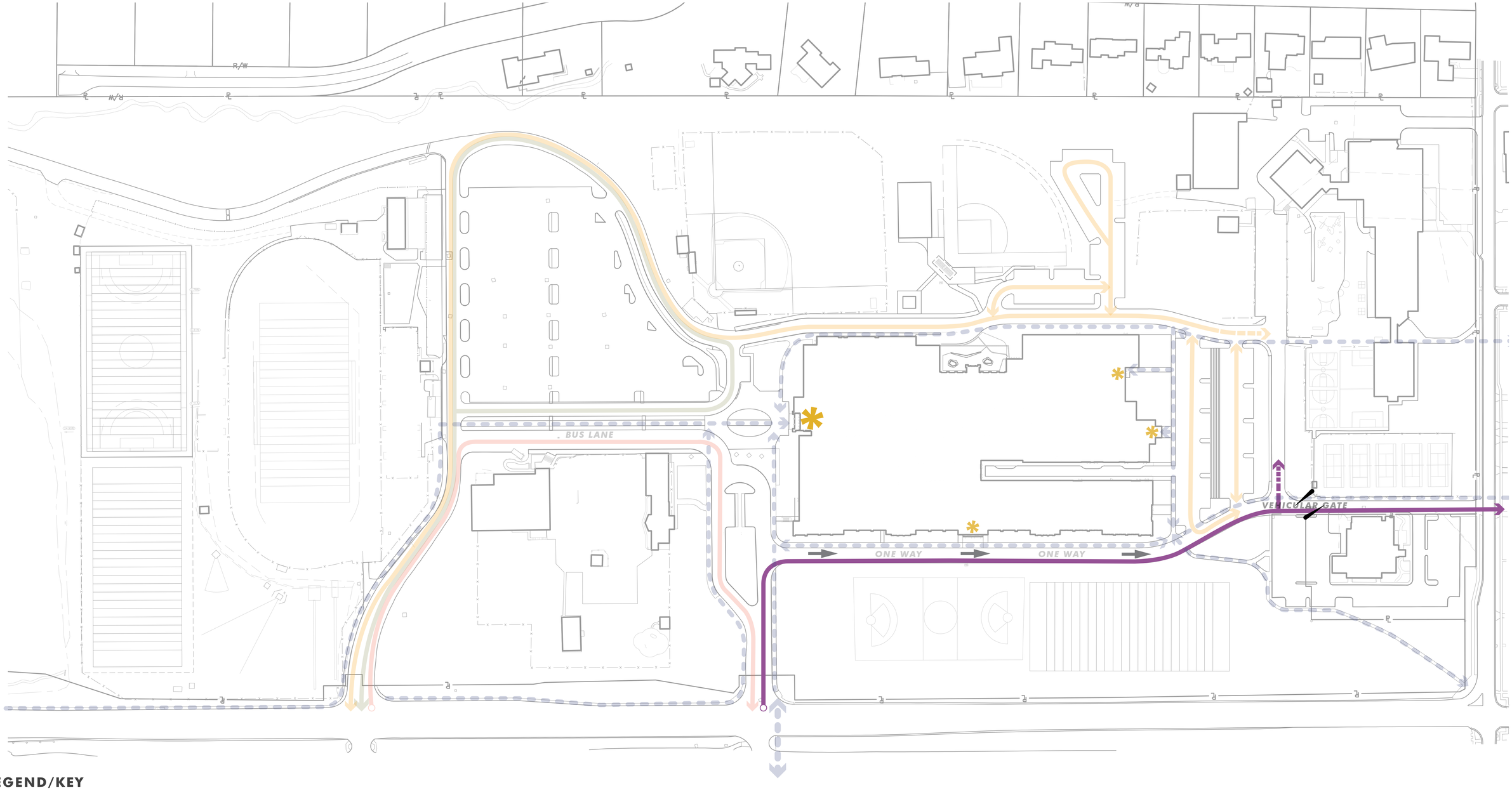


LEGEND/KEY

- BUILDING ENTRANCES
- ONE WAY DRIVE
- VEHICULAR GATE
- PEDESTRIAN ROUTES
- BUS DROP-OFF / PICK-UP
- PARENT DROP-OFF / PICK-UP
- STAFF VEHICULAR ROUTES

CITY OF WORTHINGTON
DRAWING NO. ARB 99-2022
DATE 12/27/2022

VEHICULAR CIRCULATION - VISITOR

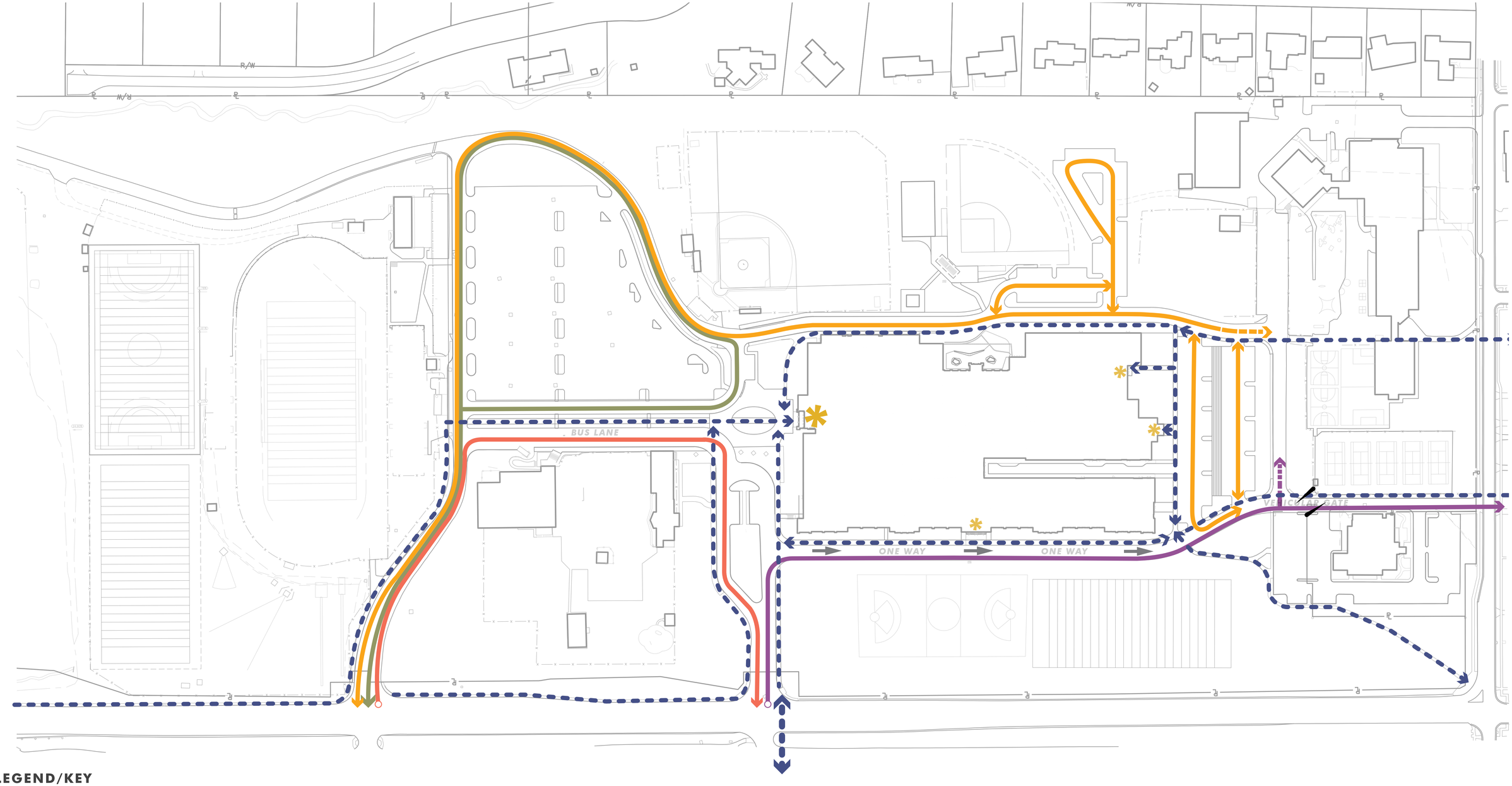


LEGEND/KEY

- BUILDING ENTRANCES
- ONE WAY DRIVE
- VEHICULAR GATE
- PEDESTRIAN ROUTES
- BUS DROP-OFF / PICK-UP
- PARENT DROP-OFF / PICK-UP
- STAFF VEHICULAR ROUTES
- VISITOR VEHICULAR ROUTE

CITY OF WORTHINGTON
DRAWING NO. ARB 99-2022
DATE 12/27/2022

OVERALL SITE CIRCULATION



LEGEND/KEY

- BUILDING ENTRANCES
- ONE WAY DRIVE
- VEHICULAR GATE
- PEDESTRIAN ROUTES
- BUS DROP-OFF / PICK-UP
- PARENT DROP-OFF / PICK-UP
- STAFF VEHICULAR ROUTES
- VISITOR VEHICULAR ROUTE

CITY OF WORTHINGTON
DRAWING NO. ARB 99-2022
DATE 12/27/2022

ARB & PUD APPLICATIONS
ARB 93-2022 & PUD 04-2022
7227 N. High St.

Plan Type: Architectural Review Board
Planned Unit Development

Project:

District: City of Worthington

App Date: 12.16.2022

Exp Date:

Completed:

Approval

Expire Date:

Work Class: Certificate of Appropriateness, Final Plan

Status: In Review

Valuation: $0.00

Description: Final Plan Phase 1 High North - West Side of Property

Parcel:	**Address:**	**Zone:**
100-006788 Main	7227 N High St Worthington, OH 43085 Main	PUD 2-20(Planned Unit District)

Owner
DRP Worthington LP
David Watson
5310 Harvest Hill Rd. Ste. 250
Dallas, TX 75230
Business: 2148913222
Mobile: 2145580555

Applicant
Kendra Stephenson
4801 Steinbeck Circle
Flower Mound, TX 75022

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003067	Final Development Plan	$200.00	$200.00
	Total for Invoice INV-00003067	$200.00	$200.00
	Grand Total for Plan	**$200.00**	**$200.00**

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003065	Architectural Review Board	$200.00	$200.00
	Total for Invoice INV-00003065	$200.00	$200.00
	Grand Total for Plan	**$200.00**	**$200.00**

7227 N. High St.

DIRECT RETAIL
partners

October 14, 2022

Mr. Lee Brown
Director of Planning
City of Worthington
374 Highland Ave
Worthington, OH 43085

Dear Mr. Brown,

Direct Retail Partners is submitting our application for Architectural Review Board and Municipal Planning Commission approval for Phase 1 of the High North project. These applications are the second in a series of ARB and Final Plan applications related to the repositioning of The Shops at Worthington Place to High North. This phase of the project is referred to as Phase 1.

Currently, we are anticipating the following applications related to the repositioning have been or will be filed and approved:

- PUD Approved: April 2021
- Phase 1
  - North South Access Drive and Eastern Surface Parking
    - ARB and Final Plan Approved: – February 2022
  - Southern Phase
    - ARB and Final Plan application submittal: – October 14, 2022
    - Public hearings starting: – October 27, 2022
- Phase 2 Northern Office Building
  - Completion of tenant acquisition - Was reviewed by ARB/MPC on December 8, 2022

These specific applications include the demolition of the southwest quadrant of the existing mall, construction of a freestanding entertainment venue, the southern office building and parking garage and establishment of the outdoor pedestrian spaces and the entrance into the interior pedestrian spaces "The Commons".

Our application includes multiple renderings of the proposed entertainment venue, southern office building and parking garage and the outdoor pedestrian spaces, a site plan, material sample boards and a complete final plan package.

High North Master Plan Summary:

Our vision for the redevelopment of the Worthington Mall is to create a destination for Worthington, while at the same time being recognized by the broader region as a destination to work, dine, spend money, and hang out.

Because there is a void in the market for Class A office, our solution includes the addition of two phases of office totaling approximately 175,000 sf. as well as adapting a portion of the existing mall for medical office and medical retail uses. To accommodate the office additions, a portion of the existing mall will need to be demolished. The portion of the mall to remain will focus on retaining existing destination

12221 MERIT DR. SUITE 1220 DALLAS, TX 75251 o 214.891.3222 f 214.891.3223
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CITY OF WORTHINGTON
DRAWINGS NO. ARB 93-2022
PUD 04-2022

DATE 12/16/2022

restaurants and retailers and adding new destination restaurants and retailers. Kroger will remain in place, but their parking field will be upgraded and re-configured to ease traffic flow and provide more parking.

A major challenge is that we are land locked and navigation within the current site is not intuitive. Adding office will require adding parking, which will be accomplished with new parking garages residing under each office building, serving both office and retail users. The drive between Kroger and the mall will be re-configured to allow two-way traffic which will result in a more familiar, traditional four-way intersection at the south end of the mall. Navigation within the site will be simplified and augmented with new wayfinding elements.

The current mall includes skylight covered common corridors, typical of many traditional indoor malls. The trend is towards outdoor, open-air shopping, dining, and entertainment so for a portion of the remaining mall, we will uncover the common corridors and install landscape, seating, lighting, and art to create vibrant and active outdoor spaces. The remaining portion of the mall will remain covered and redesigned to feel like hotel lobby space which will service the medical retail tenants.

Public Art Display:

The new southern entrance to the mall includes multiple spaces for the display of local art. The art will be selected in consultation with an appropriate Worthington designee and High North management.

These displays provide opportunities for the residents of Worthington to interact with High North and foster a partnership with High North to create unique public spaces.

Outdoor Pedestrian Spaces:

High North will continue to evaluate the incorporation of elements to further enhance the outdoor pedestrian spaces. This process cannot be completed until construction drawings are well underway. Any enhancements to the outdoor pedestrian spaces will be done in consultation with Worthington's City staff and reviewed with ARB as needed.

Our team is available to address any questions or comments you may have.

Sincerely,

David Watson,
Direct Retail Partners,
Managing Director

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

DATE 12/16/2022

HIGH NORTH

AT WORTHINGTON

MIXED USE DEVELOPMENT

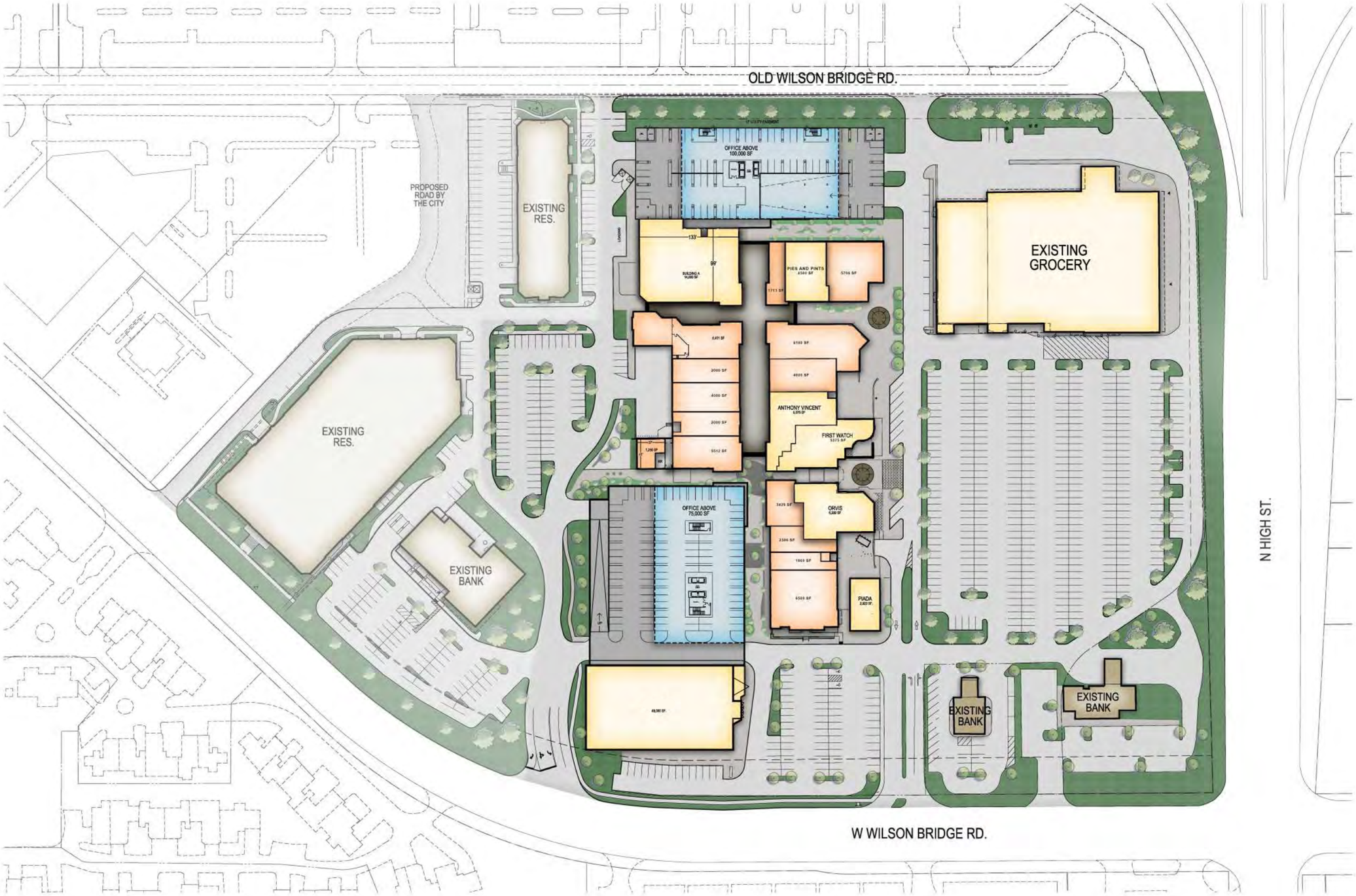
WORTHINGTON, OH

DECEMBER 2022

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

DATE 12/16/2022



LEASED

FOR LEASE

OFFICE

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

DATE 12/16/2022

HIGH NORTH
AT WORTHINGTON
MIXED USE DEVELOPMENT

SITE PLAN

WORTHINGTON, OHIO

POD design EMH&T OBRIEN DIRECT RETAIL

HIGH NORTH
AT WORTHINGTON
MIXED USE DEVELOPMENT

RENDER 01

WORTHINGTON, OHIO

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

DATE 12/16/2022

POD design EMHT O'BRIEN DIRECT RETAIL partners

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

DATE 12/16/2022

HIGH NORTH
AT WORTHINGTON
MIXED USE DEVELOPMENT

RENDER 02

WORTHINGTON, OHIO

POD design EMH&T O'BRIEN DIRECT RETAIL partners

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

DATE 12/16/2022

HIGH NORTH
AT WORTHINGTON
MIXED USE DEVELOPMENT

RENDER 03

WORTHINGTON, OHIO

POD design EMHT O'BRIEN DIRECT RETAIL

HIGH NORTH
AT WORTHINGTON
MIXED USE DEVELOPMENT

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

DATE 12/16/2022

RENDER 04

WORTHINGTON, OHIO

POD design EMH+T OBRIEN DIRECT RETAIL

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

HIGH NORTH
AT WORTHINGTON
MIXED USE DEVELOPMENT

RENDER 05

WORTHINGTON, OHIO

DATE 12/16/2022

POD design EMH&T OBRIEN DIRECT RETAIL partners

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

HIGH NORTH
AT WORTHINGTON
MIXED USE DEVELOPMENT

RENDER 06

WORTHINGTON, OHIO

DATE 12/16/2022

POD design EMHT O'BRIEN DIRECT RETAIL

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

HIGH NORTH
AT WORTHINGTON
MIXED USE DEVELOPMENT

RENDER 07

WORTHINGTON, OHIO

DATE 12/16/2022

POD design EMHT O'BRIEN DIRECT RETAIL partners

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

HIGH NORTH
AT WORTHINGTON
MIXED USE DEVELOPMENT

RENDER 08

WORTHINGTON, OHIO

DATE 12/16/2022

POD design EMH&T OBRIEN DIRECT RETAIL

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

HIGH NORTH
AT WORTHINGTON
MIXED USE DEVELOPMENT

RENDER 09

WORTHINGTON, OHIO

DATE 12/16/2022

POD design EMHT OBRIEN DIRECT RETAIL

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

HIGH NORTH
AT WORTHINGTON
MIXED USE DEVELOPMENT

RENDER 10

WORTHINGTON, OHIO

DATE 12/16/2022

POD design EMHT O'BRIEN DIRECT RETAIL

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

HIGH NORTH
AT WORTHINGTON
MIXED USE DEVELOPMENT

RENDER 11

WORTHINGTON, OHIO

DATE 12/16/2022

POD design EMHT O'BRIEN DIRECT RETAIL partners

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

DATE 12/16/2022

HIGH NORTH
AT WORTHINGTON
MIXED USE DEVELOPMENT

RENDER 12

WORTHINGTON, OHIO

POD design EMH&T OBRIEN DIRECT RETAIL

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

DATE 12/16/2022

HIGH NORTH
AT WORTHINGTON
MIXED USE DEVELOPMENT

RENDER 13

WORTHINGTON, OHIO

POD design EMH+T O'BRIEN DIRECT RETAIL partners

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

DATE 12/16/2022

HIGH NORTH
AT WORTHINGTON
MIXED USE DEVELOPMENT

RENDER 14

WORTHINGTON, OHIO

POD design EMHT O'BRIEN DIRECT RETAIL

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

HIGH NORTH
AT WORTHINGTON
MIXED USE DEVELOPMENT

RENDER 15

WORTHINGTON, OHIO

DATE 12/16/2022

POD design EMH&T O'BRIEN DIRECT RETAIL

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

DATE 12/16/2022

HIGH NORTH
AT WORTHINGTON
MIXED USE DEVELOPMENT

RENDER 16

WORTHINGTON, OHIO

POD design EMH&T O'BRIEN DIRECT RETAIL

HIGH NORTH
AT WORTHINGTON
MIXED USE DEVELOPMENT

FIRE ESCAPE - PERFORATED METAL SCREEN DETAIL

WORTHINGTON, OHIO

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

DATE 12/16/2022

POD design EMHT O'BRIEN DIRECT RETAIL

BRICK

BRICK 01

BRICK 02

BRICK 03

BRICK 04

BRICK 05

WOOD SLATS

ALUMINUM W/ WOOD OR SOLID FINISH LOOK

COLOR 01 COLOR 02 COLOR 03

EIFS TRIM / SOFFIT

COLOR 01 COLOR 02

WOOD SIDING

COMPOSITE WOOD MATERIAL 01

COMPOSITE WOOD MATERIAL 02

STOREFRONT & DOORS

KAWNEER
DARK BRONZE

KAWNEER
CLEAR ANODIZED

GLASS

SOLARBAN
67- REFLECTIVE

SOLARBAN
72- CLEAR

PERFORATED METAL SIGN SCREEN

CORRUGATED ZINC PANELS
W/ROUND HOLES

PRE-FINISHED METAL COPING

COLOR 01

PRE-CAST PANELS

ENTERPRISE

COLOR 01 COLOR 02

SOFFIT

WOOD STAINED AND SEALED | VINYL W/WOOD LOOKING FINISH | ALUMINUM W/WOOD FINISH LOOK

PAINT COLORS

COLOR 01

COLOR 02

COLOR 03

COLOR 04

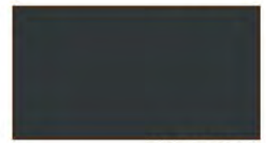
COLOR 05

COLOR 06

COLOR 07

COLOR 08

COLOR 09



COLOR 10

METAL PANELS

COLOR 01

COLOR 02

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

DATE 12/16/2022

HIGH NORTH
AT WORTHINGTON
MIXED USE DEVELOPMENT

MATERIAL BOARD

WORTHINGTON, OHIO

POD design | EMH&T | O'BRIEN | DIRECT RETAIL

STANDARD PAVING

BUFFWASH CONCRETE
NATURAL COLOR

BUFFWASH CONCRETE
INTEGRAL COLOR

WALLS

WALL STONE

GREEN WALLS

GREEN WALL

GREEN WALL

STAIRS

MODEL VIEW - SHOWN FOR REFERENCE

PRECAST STAIRS

CONCRETE STAIRS

TREE GRATES

ROUND GRATE

SQUARE GRATE 2

RECTANGULAR GRATE

HIGH NORTH
AT WORTHINGTON
MIXED USE DEVELOPMENT

MATERIAL BOARD - LANDSCAPE

WORTHINGTON, OHIO

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

DATE 12/16/2022

POD design EMH+T OBRIEN DIRECT RETAIL

BUILT-IN PLANTERS & BENCHES

MODEL VIEW - SHOWN FOR REFERENCE

MODEL VIEW - SHOWN FOR REFERENCE

WOOD BENCH

WOOD BENCH BACK

MOVEABLE SEATING

BISTROTABLES&CHAIRS

DININGTABLES&CHAIRS

LOUNGE CHAIRS

LOUNGE CHAIRS

LIGHTING

PEDESTRIAN POLE

BOLLARD

MOVEABLE PLANTERS & BENCHES

PRECAST PLANTER

WOOD PLANTER

PRECAST PLANTER

PRECAST BENCH

HIGH NORTH
AT WORTHINGTON
MIXED USE DEVELOPMENT

MATERIAL BOARD - LANDSCAPE

WORTHINGTON, OHIO

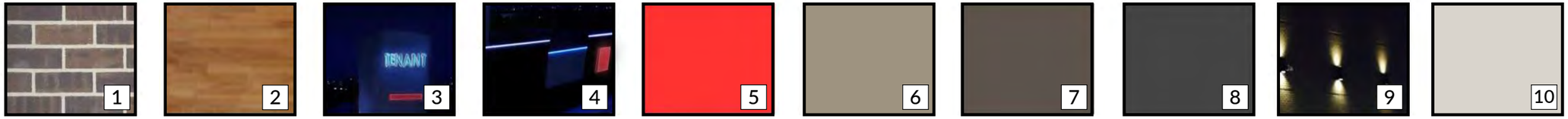
CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

DATE 12/16/2022

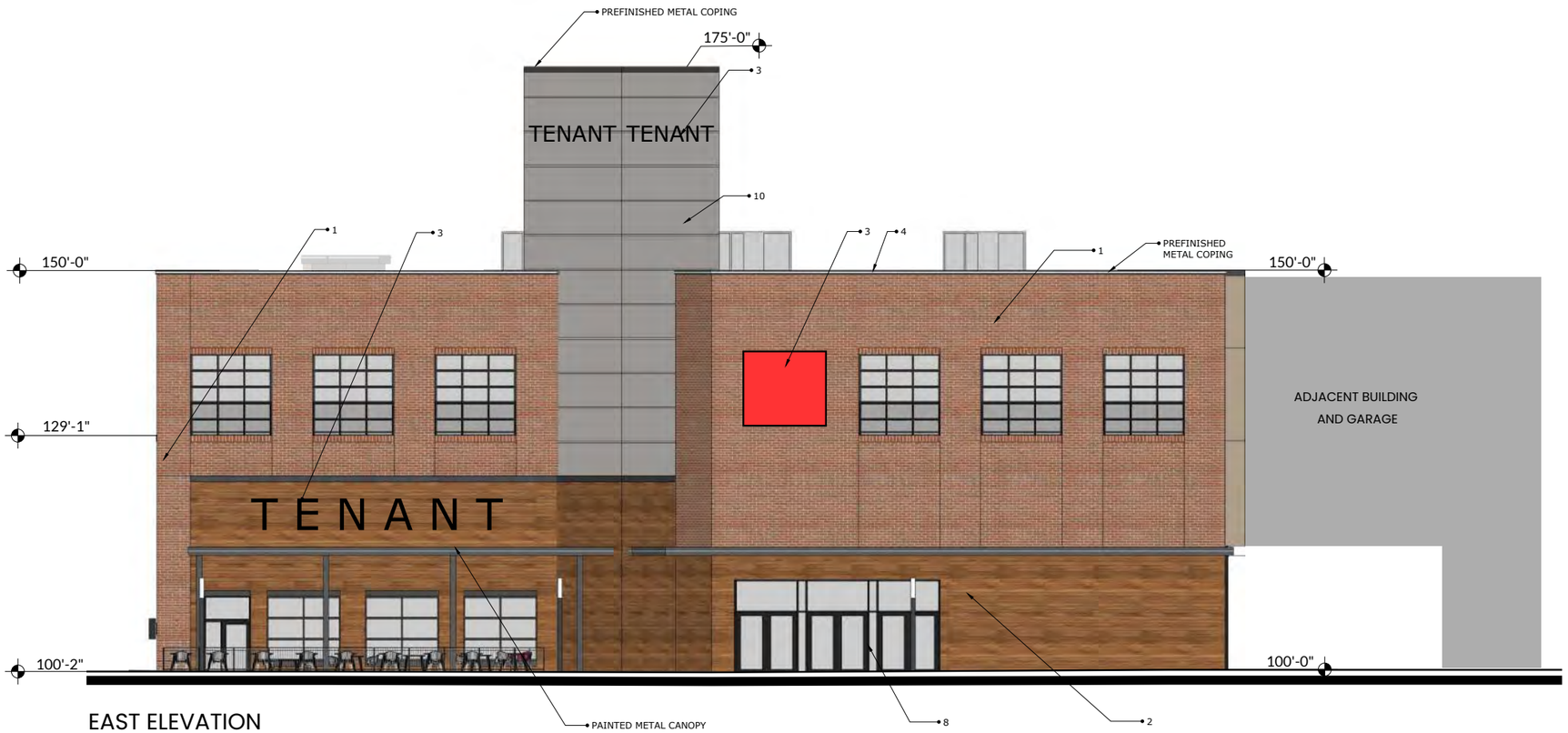
POD design EMH+T OBRIEN DIRECT RETAIL

MATERIAL BOARD



MATERIALS:

1. BRICK
   Summit Brick - Iron Mountain
2. LONGBOARD
   Aluminum Siding - Color TBD
3. INTERNALLY ILLUMINATED SIGNAGE
4. SURFACE MOUNT LED ACCENT LIGHTS
5. EIFS ACCENT
   SW 6868 Real Red
6. PAINT COLOR 1
   SW 7017 Dorian Gray
7. PAINT COLOR 2
   SW 7020 Black Fox
8. STOREFRONT
   Kawneer - Dark Bronze
9. WALL SCONCE
10. PAINT COLOR 3
    SW 7029 Agreeable Gray



EAST ELEVATION

KEY PLAN

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

DATE 12/16/2022

SCALE: 1/8"= 1'-0"

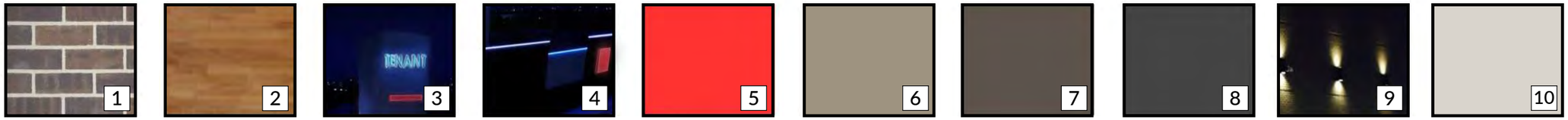
HIGH NORTH
AT WORTHINGTON
MIXED USE DEVELOPMENT

SOUTH TENANT ELEVATIONS

WORTHINGTON, OHIO

POD design EMHT OBRIEN DIRECT RETAIL partners

MATERIAL BOARD



MATERIALS:

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10. PAINT COLOR 3
    SW 7029 Agreeable Gray

SOUTH ELEVATION

KEY PLAN

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

DATE 12/16/2022

SCALE: 1/8"= 1'-0"

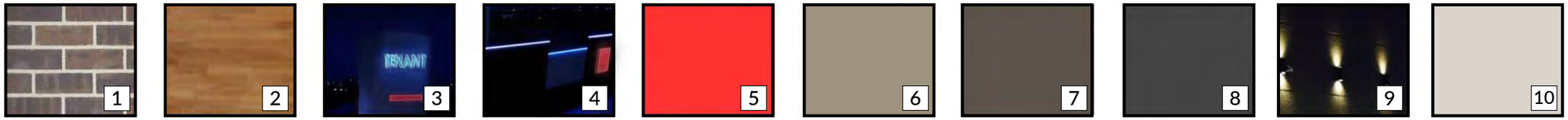
HIGH NORTH
AT WORTHINGTON
MIXED USE DEVELOPMENT

SOUTH TENANT ELEVATIONS

WORTHINGTON, OHIO

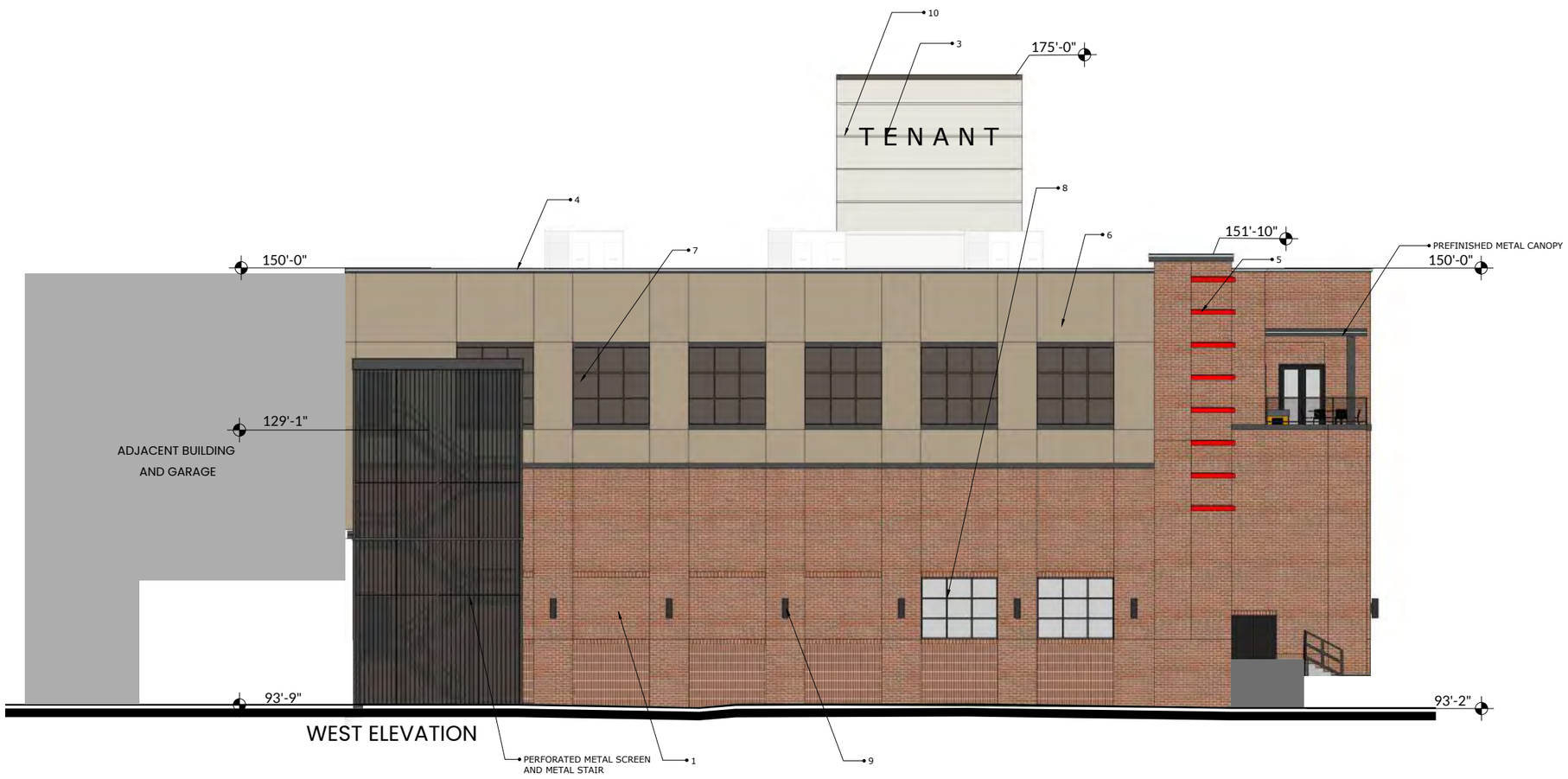
POD design EMHT OBRIEN DIRECT RETAIL partners

MATERIAL BOARD



MATERIALS:

1. BRICK
   Summit Brick - Iron Mountain
2. LONGBOARD
   Aluminum Siding - Color TBD
3. INTERNALLY ILLUMINATED SIGNAGE
4. SURFACE MOUNT LED ACCENT LIGHTS
5. EIFS ACCENT
   SW 6868 Real Red
6. PAINT COLOR 1
   SW 7017 Dorian Gray
7. PAINT COLOR 2
   SW 7020 Black Fox
8. STOREFRONT
   Kawneer - Dark Bronze
9. WALL SCONCE
10. PAINT COLOR 3
    SW 7029 Agreeable Gray



WEST ELEVATION

KEY PLAN

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

DATE 12/16/2022

SCALE: 1/8"= 1'-0"

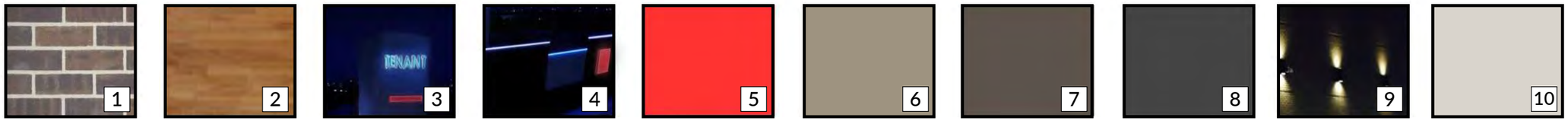
HIGH NORTH
AT WORTHINGTON
MIXED USE DEVELOPMENT

SOUTH TENANT ELEVATIONS

WORTHINGTON, OHIO

POD design · EMH&T · O'BRIEN · DIRECT RETAIL

MATERIAL BOARD



MATERIALS:

1. BRICK
   Summit Brick - Iron Mountain
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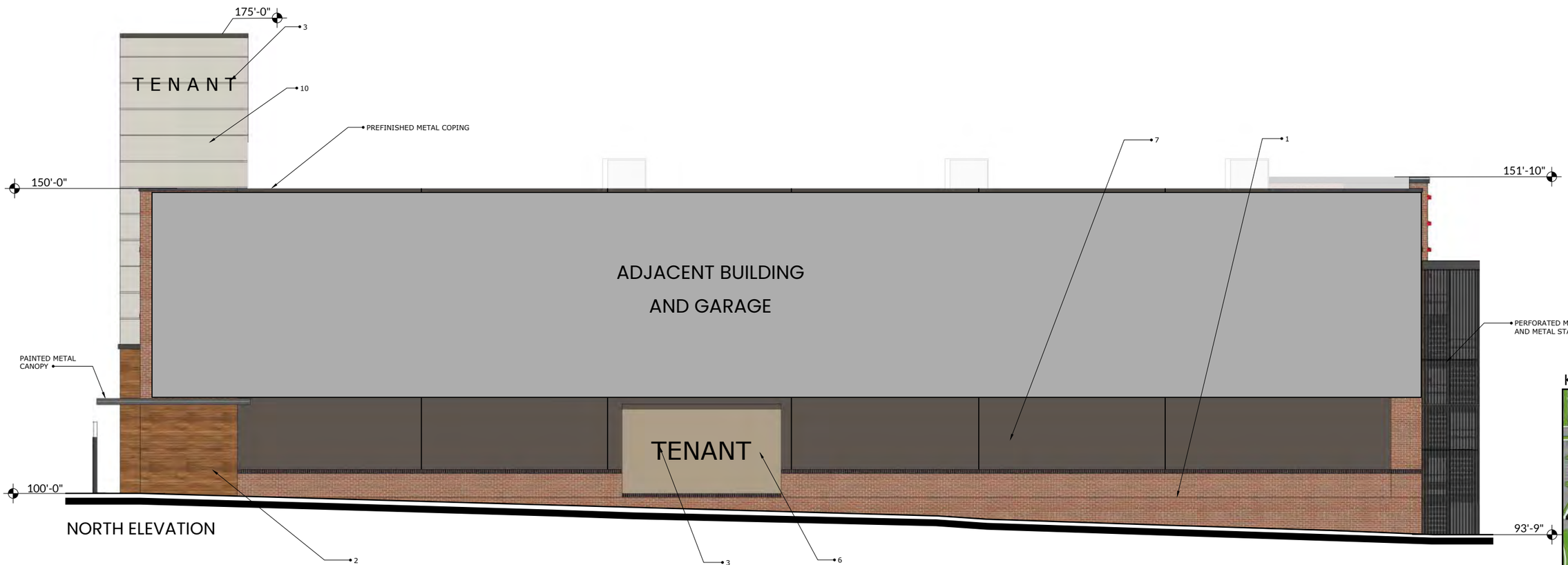


NORTH ELEVATION

KEY PLAN

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

DATE 12/16/2022

SCALE: 1/8"= 1'-0"

HIGH NORTH
AT WORTHINGTON
MIXED USE DEVELOPMENT

SOUTH TENANT ELEVATIONS

WORTHINGTON, OHIO

POD design EMH&T OBRIEN DIRECT RETAIL

EAST ELEVATION

KEY PLAN

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

DATE 12/16/2022

HIGH NORTH
AT WORTHINGTON
MIXED USE DEVELOPMENT

PHASE 1 OFFICE BUILDING - EAST ELEVATION

WORTHINGTON, OHIO

SCALE: 1/8"= 1'-0"

POD design EMHT OBRIEN DIRECT RETAIL partners

NORTH ELEVATION

KEY PLAN

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

DATE 12/16/2022

SCALE: 1/8"= 1'-0"

HIGH NORTH
AT WORTHINGTON
MIXED USE DEVELOPMENT

PHASE 1 OFFICE BUILDING - NORTH ELEVATION

WORTHINGTON, OHIO

POD design EMH&T OBRIEN DIRECT RETAIL partners

WEST ELEVATION

KEY PLAN

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

DATE 12/16/2022

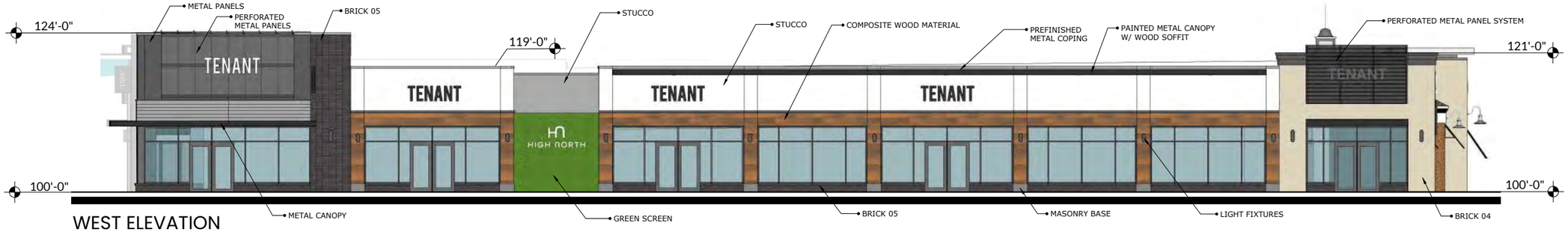
HIGH NORTH
AT WORTHINGTON
MIXED USE DEVELOPMENT

PHASE 1 OFFICE BUILDING - WEST ELEVATION

WORTHINGTON, OHIO

SCALE: 1/8"= 1'-0"

POD design EMH&T OBRIEN DIRECT RETAIL partners



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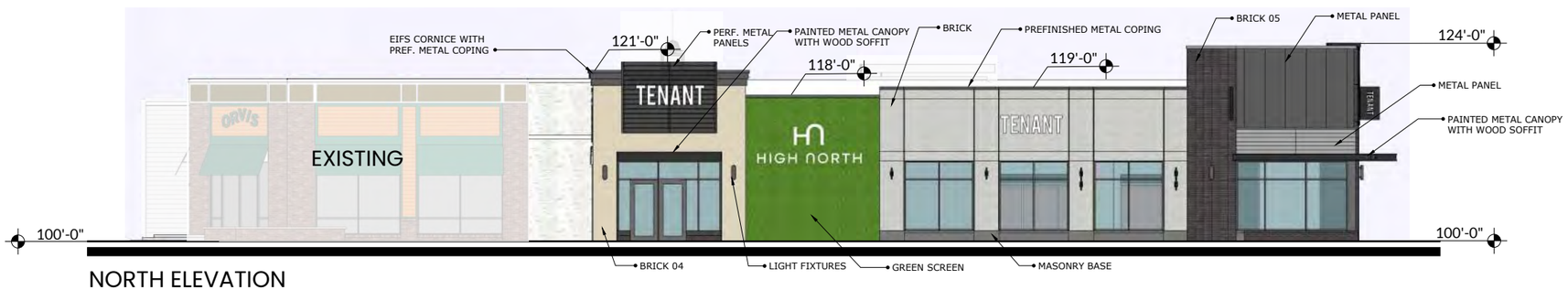
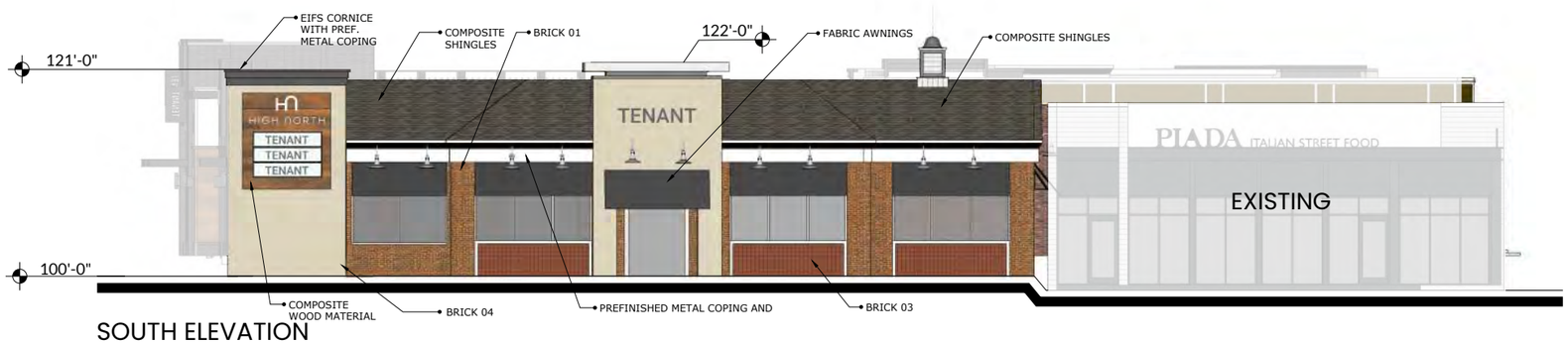
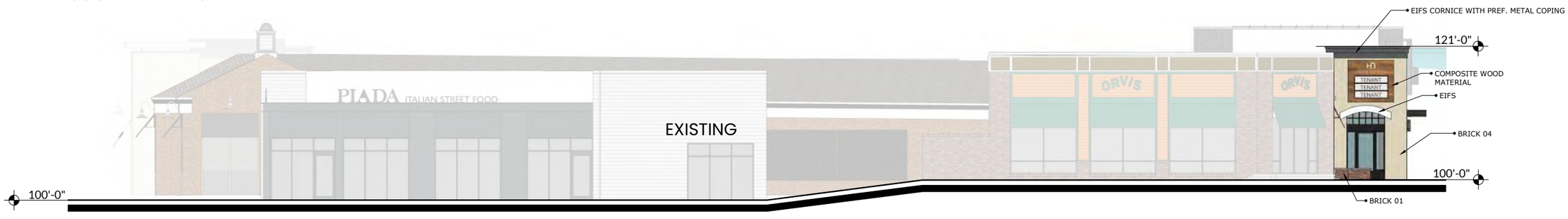


NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION

KEY PLAN

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

DATE 12/16/2022

HIGH NORTH
AT WORTHINGTON
MIXED USE DEVELOPMENT

MALL ELEVATIONS - BUILDING F

WORTHINGTON, OHIO

SCALE: 1/8"= 1'-0"

POD design EMH&T OBRIEN DIRECT RETAIL partners

OVERALL SOUTH ELEVATION

01 - PARTIAL SOUTH ELEVATION - BUILDING C

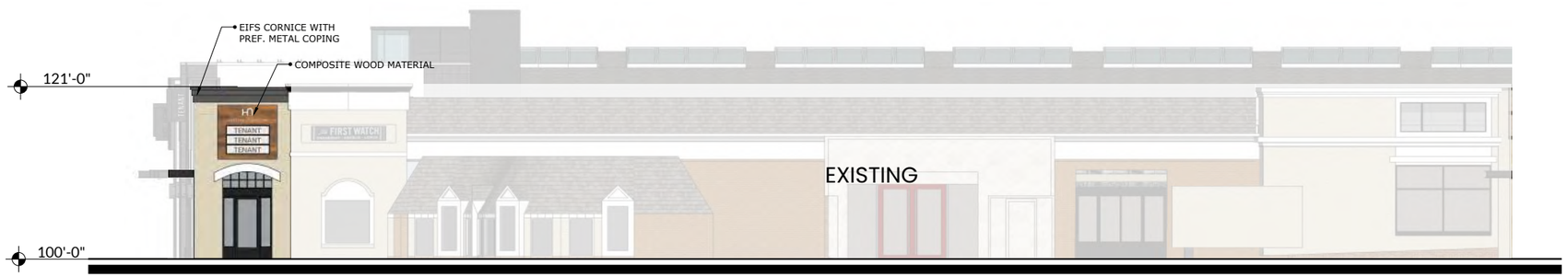
03 - INTERIOR EAST ELEVATION

BUILDING C

02 - PARTIAL SOUTH ELEVATION - BUILDING D

04 - INTERIOR WEST ELEVATION

BUILDING D



05 - EAST ELEVATION - BUILDING D

KEY PLAN

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

DATE 12/16/2022

HIGH NORTH
AT WORTHINGTON
MIXED USE DEVELOPMENT

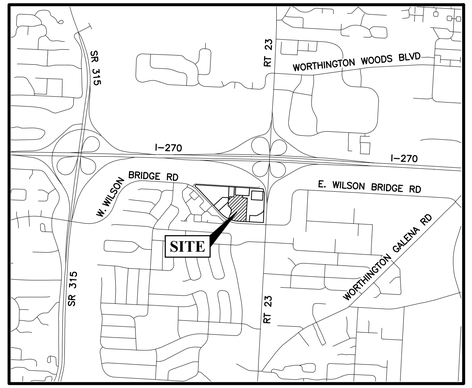
MALL ELEVATIONS - BUILDING C & D

WORTHINGTON, OHIO

SCALE: 1/8"= 1'-0"

POD design EMH&T OBRIEN DIRECT RETAIL

CITY OF WORTHINGTON, FRANKLIN COUNTY, OHIO
FINAL PLAN
FOR
HIGH NORTH
PHASE 1
2022



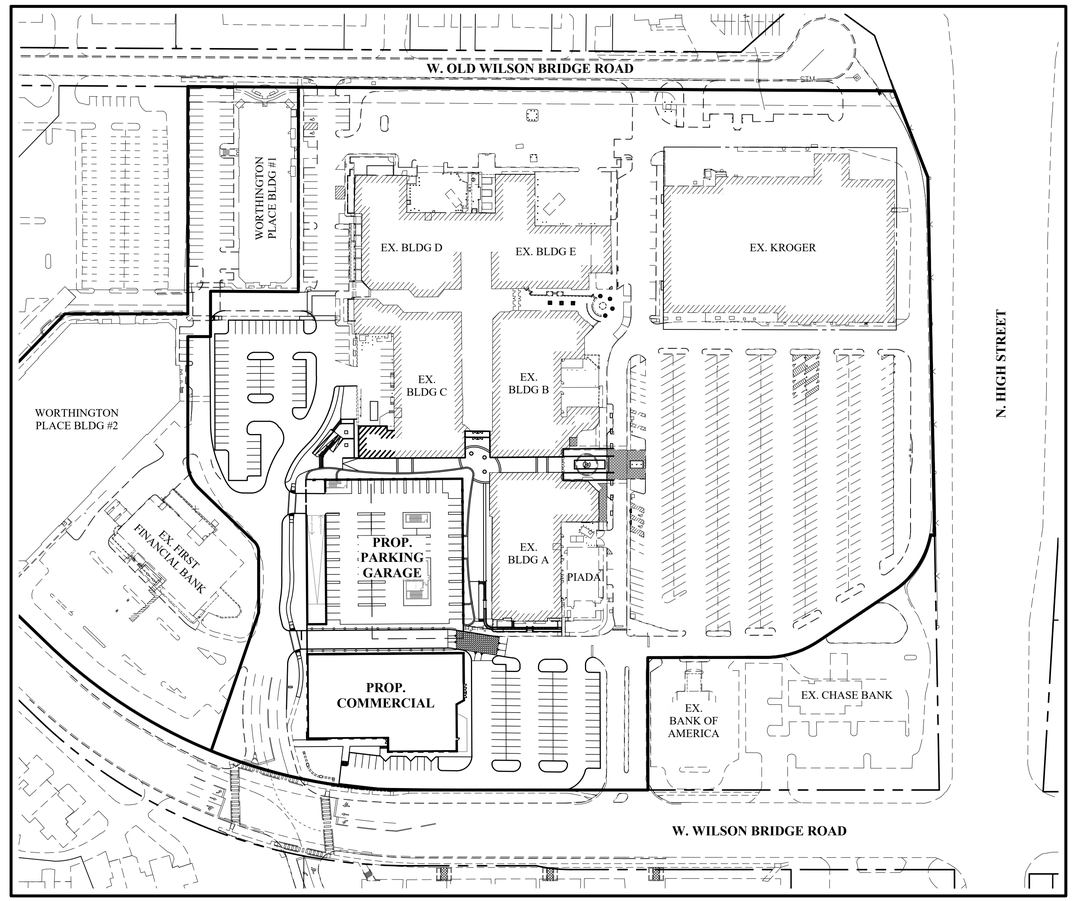
LOCATION MAP
Not to Scale

SHEET INDEX

Title Sheet	1
Site Details	2
Existing Conditions & Demolition Plan	3
Overall Plan	4
Site Layout Plan	5
Site Utility Plan	6
Site Grading & Drainage Plan	7

MASTER PLAN AREA TABULATIONS

EXISTING:	
Existing Mall Leasing Area	127,018 SF gross
Common Area	31,762 SF
Kroger	55,690 SF
Piada	2,800 SF
PHASE 1 DEMO:	
Mall Demo	37,752 SF
Common Area Demo	15,867 SF
Total Mall Demo	53,619 SF
MALL ENABLING:	
Existing Mall Area A	20,618 SF
Existing Mall Area B	21,156 SF
Existing Mall Area C	22,087 SF
Existing Mall Area D	13,542 SF
Existing Mall Area E	11,934 SF
Covered Common Area	15,824 SF
Total Mall Area To Remain	105,161 SF
Kroger	55,690 SF
Piada	2,800 SF
OFFICE	
Phase 1	75,000 SF
Phase 2	100,000 SF
PARKING:	
Existing Surface	772 Spaces



INDEX MAP
Scale: 1" = 100'

GRAPHIC SCALE
0 50 100 200
1 inch = 100 feet

PREPARED BY:

EMH&T
Evans, Mechwart, Hambleton & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists
5500 New Albany Road, Columbus, OH 43054
Phone: 614.775.4500 Toll free: 888.775.3648
emht.com

Registered Engineer No. _____ Date _____

DEVELOPER/OWNER

Direct Partners
David Watson
12221 Merit Drive, Suite 1220
Dallas, TX 75251
Tel: (214) 891-3225
Fax: (214) 891-3223
email: DWatson@thedirectpartners.com

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

DATE 12/16/2022

Ohio Utilities Protection Service
Call 811 before you dig

PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION

PLAN SET DATE
October 14, 2022

REVISIONS

MARK	DATE	DESCRIPTION

DIRECT PARTNERS

CITY OF WORTHINGTON, FRANKLIN COUNTY, OHIO
FINAL PLAN
FOR
HIGH NORTH
PHASE 1
TITLE SHEET

EMH&T
Evans, Mechwart, Hambleton & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists
5500 New Albany Road, Columbus, OH 43054
Phone: 614.775.4500 Toll free: 888.775.3648
emht.com

DATE
October 14, 2022

SCALE
AS NOTED

JOB NO.
2020-0732

SHEET
1/7

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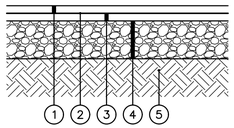
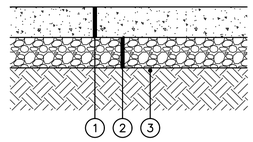


1. CMSC Item 441, X" Asphalt Concrete, Surface Course, Type 1, (448) PG 64-22
2. CMSC Item 407, Tack Coat, Applied At A Rate Of 0.10 Gal. Per Sq. Yd.
3. CMSC Item 441, X" Asphalt Concrete, Intermediate Course, Type 2, (448)
4. CMSC Item 304, X" Aggregate Base
5. CMSC Item 204, Subgrade Compaction

NOTES

1. Pavement Recommendation Provided By [Geotechnical Consultant] EMH&T Assumes No Liability For Pavement Section

STANDARD DUTY ASPHALT PAVEMENT SECTION
Not to Scale

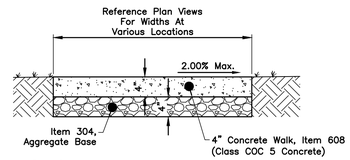


1. CMSC Item 451, X" Concrete Pavement (Class C)
2. CMSC Item 304, X" Crushed Aggregate Base
3. CMSC Item 204, Subgrade Compaction

NOTES

1. Pavement Recommendation Provided By [Geotechnical Consultant] EMH&T Assumes No Liability For Pavement Section

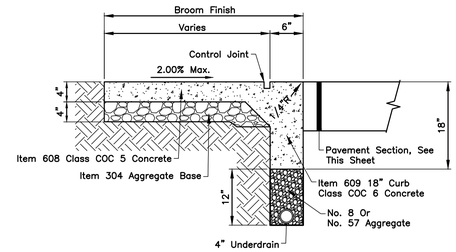
CONCRETE PAVEMENT SECTION
Not to Scale



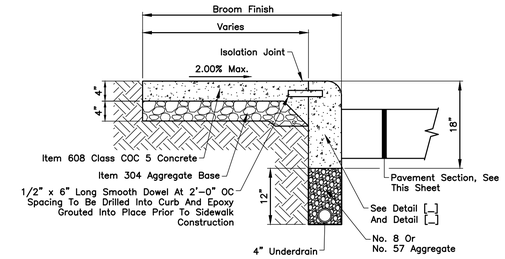
NOTES

Sidewalk Joints Shall Be In Accordance With CMSC Item 608.03 Unless Otherwise Detailed As A Part Of The Building Or Landscape Architect Plans.

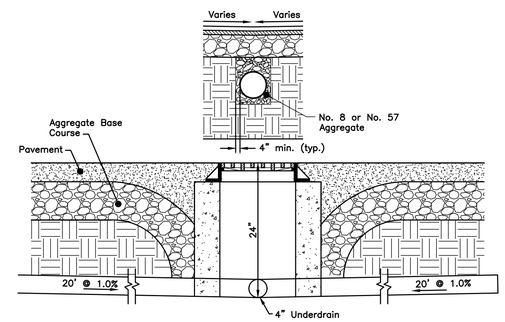
CONCRETE SIDEWALK
Not to Scale



COMBINED FLUSH CURB & SIDEWALK
Not to Scale



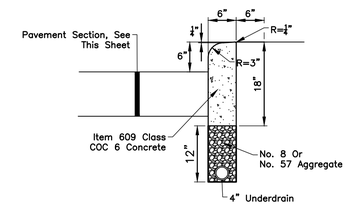
COMBINED CURB & SIDEWALK
Not to Scale



The 4" Perforated Underdrain shall be Provided in all Four Directions for all Structures within Pavement.

The Perforated Pipe shall be Protected from Heavy Traffic After Installation Prior to Placement of Proposed Pavement.

TYPICAL 4" UNDERDRAIN DETAIL
Not to Scale



18" STRAIGHT CURB
Not to Scale

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

DATE 12/16/2022

PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION

PLAN SET DATE
October 14, 2022

REVISIONS

MARK	DATE	DESCRIPTION

DIRECT PARTNERS

CITY OF WORTHINGTON, FRANKLIN COUNTY, OHIO
FINAL PLAN
FOR
HIGH NORTH
PHASE 1
SITE DETAILS

EMH&T
Evans, Mechwart, Hambleton & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists
5500 New Albany Road, Columbus, OH 43054
Phone: 614.775.4500 Toll Free: 888.775.3648
emht.com

DATE
October 14, 2022

SCALE
NONE

JOB NO.
2020-0732

SHEET
2/7

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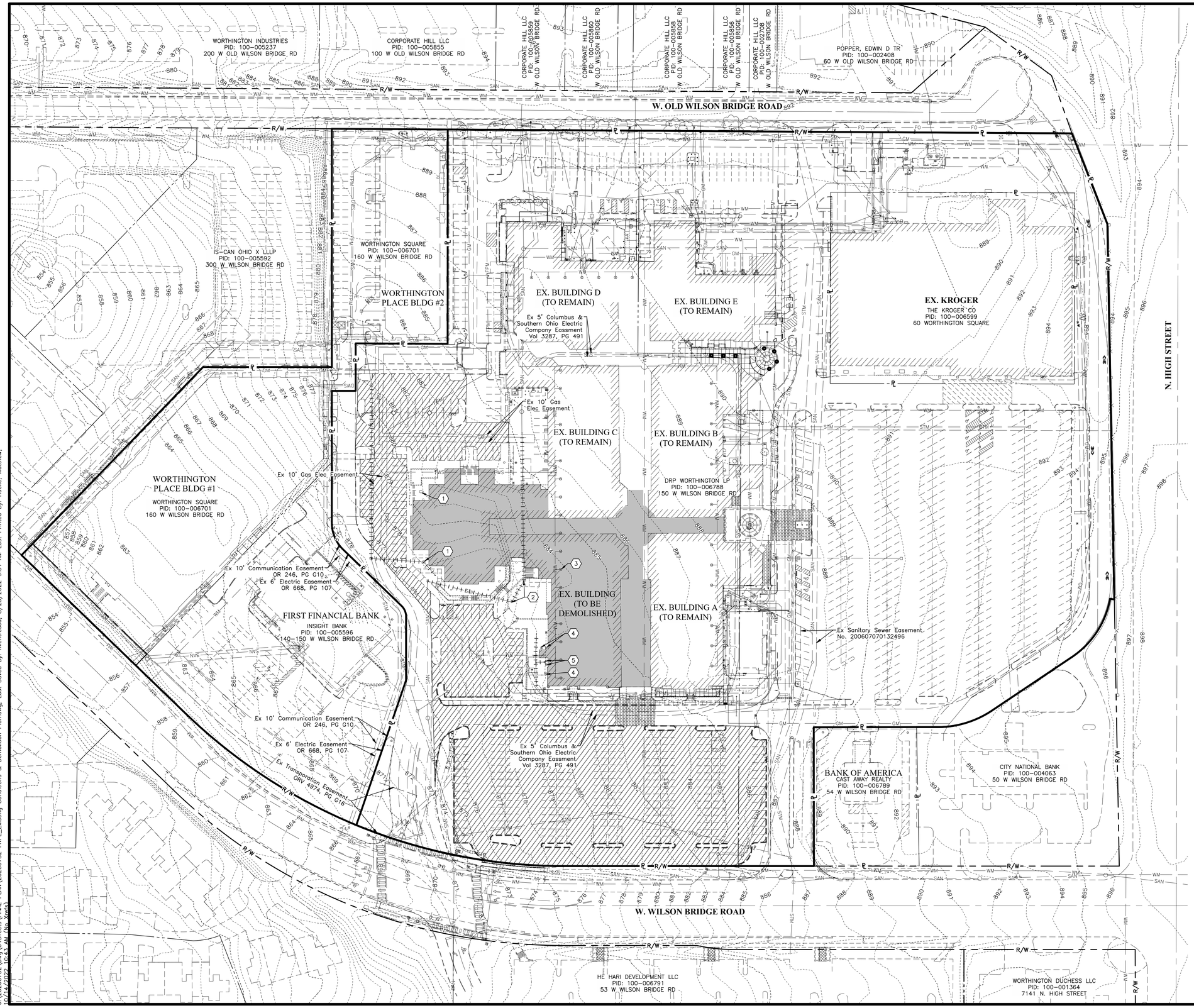

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

DATE 12/16/2022

PRELIMINARY
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PLAN SET DATE
October 14, 2022

REVISIONS

MARK	DATE	DESCRIPTION

DIRECT PARTNERS

CITY OF WORTHINGTON, FRANKLIN COUNTY, OHIO
FINAL PLAN
FOR
HIGH NORTH PHASE 1
EXISTING CONDITIONS & DEMOLITION PLAN

EMH&T
Evans, Mechwart, Hambleton & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists
5500 New Albany Road, Columbus, OH 43054
Phone: 614.775.4500 Toll Free: 888.775.3648
emht.com

DATE
October 14, 2022

SCALE
1" = 60'

JOB NO.
2020-0732

SHEET
3/7

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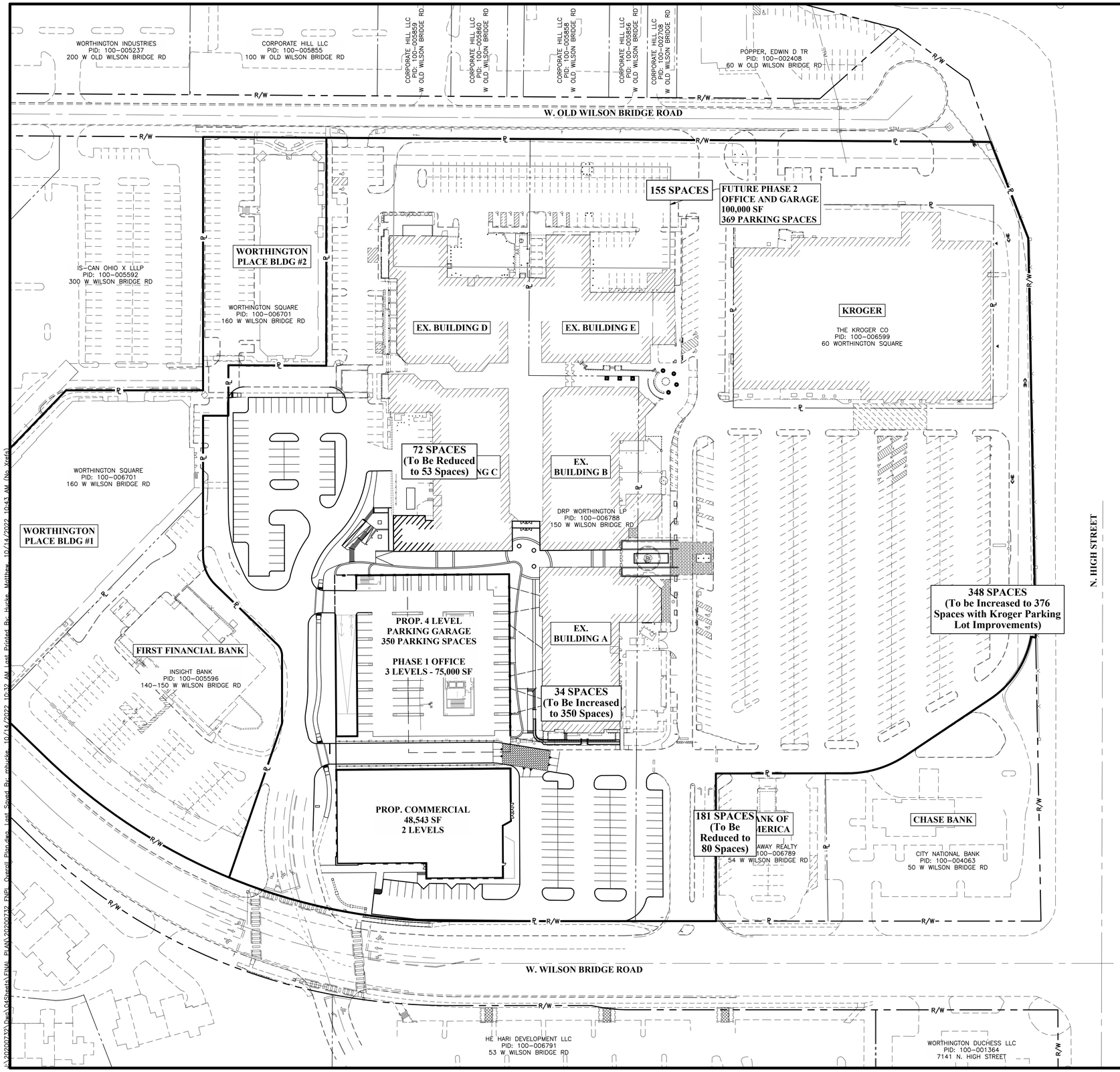

GRAPHIC SCALE

0 30 60 120

1 inch = 60 feet

PARKING CALCULATIONS

PARKING REQUIRED

	Quantity	Unit	ULI Peak Ratio/ ksf GLA	ULI Required Spaces	ULI Reduction Factors: Driving Adjustments	ULI Reduction Factors: Non-Captive Adjustments	Adjusted Parking Requirement
Existing Buildings to Remain							
Remaining Mall (Retail)	105,161	SF	4	421	87%	90%	330
Piada (Fast Casual Restaurant)	2,800	SF	14.7	42	87%	90%	33
Kroger (Grocery)	55,690	SF	4.75	265	83%	90%	198
Proposed Buildings							
Bowling Alley (Dining/Bar)	3,900	SF	19	75	87%	98%	64
Bowling Alley (Family Entertainment)	44,643	SF	2.75	123	87%	98%	105
Phase 1 Office	75,000	SF	3.80	285	88%	100%	251
			Base Total ULI Required =	1,211	**Total Adjusted Required =**		**981**

PARKING PROVIDED

Existing Parking:	790
Existing Parking To Be Removed w/ Phase 1:	126
Existing Parking To Remain:	664
Proposed Parking in Phase 1 Garage:	350
Phase 1 Total Parking Provided:	1014

NOTES:
Parking Calculations based on Urban Land Institute Shared Parking: Third Edition. (2020)

Driving Adjustment is used to adjust the base parking ratios for transportation characteristics. The base parking ratios reflect the density of persons present in the land use and assume that nearly all users arrive by private automobile with typical auto occupancy for the specific use. The driving adjustment reflects a portion of the persons carpooling, walking, working from home, utilizing a taxi or ride share, motorcycle, or bicycle.

Non-Captive Ratio is an estimate of the percentage of parkers at a land use in a mixed-use development who are not already counted as parking at another of the land uses.

This parking analysis excludes the Heights at Worthington Apartments, First Financial Bank, Bank of America, or Chase Bank. It is assumed those sites are self-sufficient for parking. All buildng areas provided by O'brien Architects.

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

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REVISIONS

MARK	DATE	DESCRIPTION

DIRECT PARTNERS

CITY OF WORTHINGTON, FRANKLIN COUNTY, OHIO
FINAL PLAN
FOR
HIGH NORTH
PHASE 1
OVERALL PLAN

EMH&T
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5500 New Albany Road, Columbus, OH 43054
Phone: 614.775.4500 Toll Free: 888.775.3648
emht.com

DATE
October 14, 2022

SCALE
1" = 60'

JOB NO.
2020-0732

SHEET
4/7

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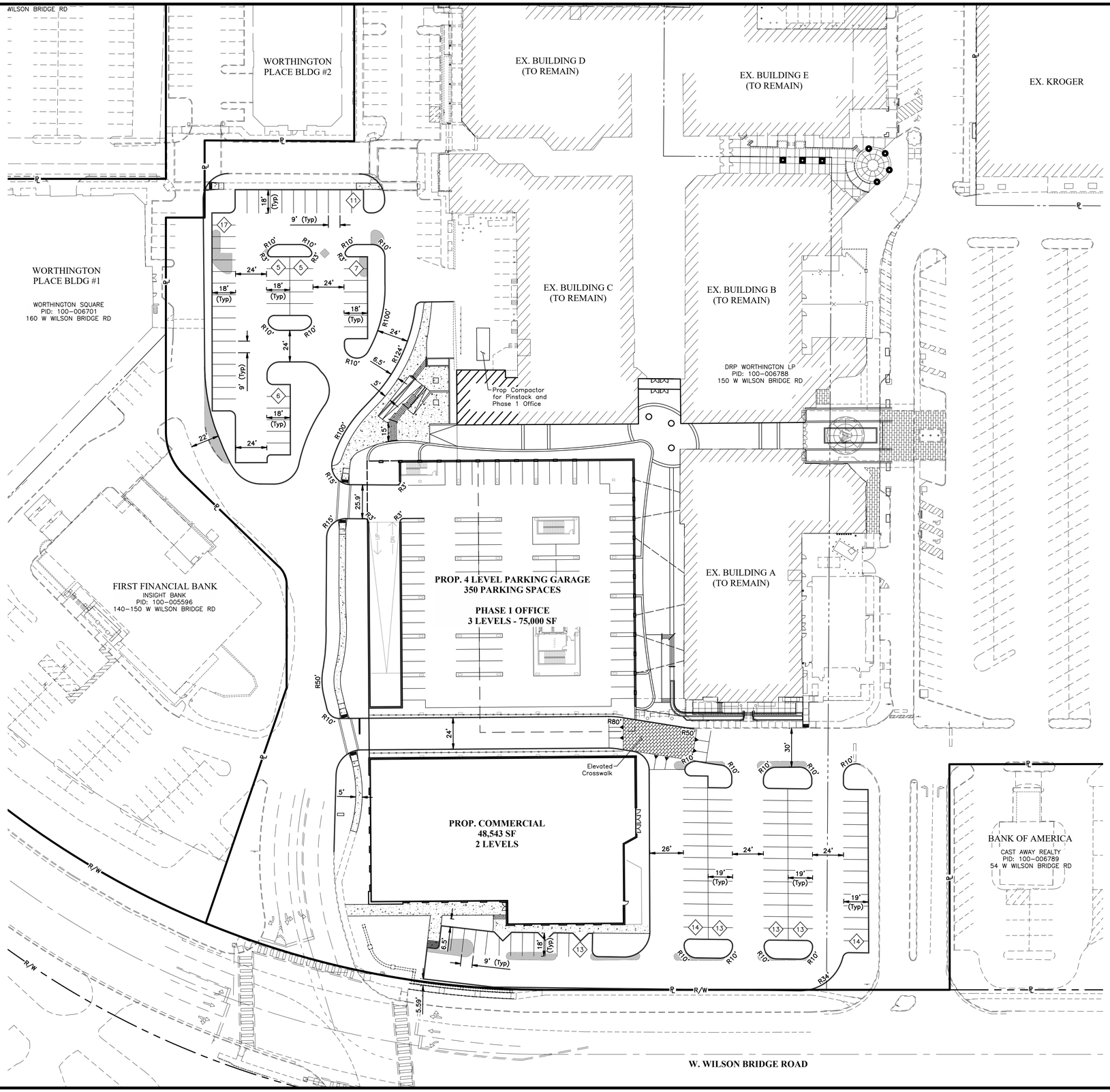

GRAPHIC SCALE

0 20 40 80

1 inch = 40 feet

LEGEND

- Heavy Duty Asphalt Pavement (See Detail, Sheet 2)
- Concrete Sidewalk (See Detail, Sheet 2)
- ## Parking Count

NOTE:
All radii are 5' unless otherwise noted.

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

DATE 12/16/2022

PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION

PLAN SET DATE
October 14, 2022

REVISIONS

MARK	DATE	DESCRIPTION

DIRECT PARTNERS

CITY OF WORTHINGTON, FRANKLIN COUNTY, OHIO
FINAL PLAN
FOR
HIGH NORTH
PHASE 1
SITE LAYOUT PLAN

EMH&T
Evans, Mechwart, Hambleton & Tilton, Inc.
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5500 New Albany Road, Columbus, OH 43054
Phone: 614.775.4500 Toll Free: 888.775.3648
emht.com

DATE
October 14, 2022

SCALE
1" = 40'

JOB NO.
2020-0732

SHEET
5/7

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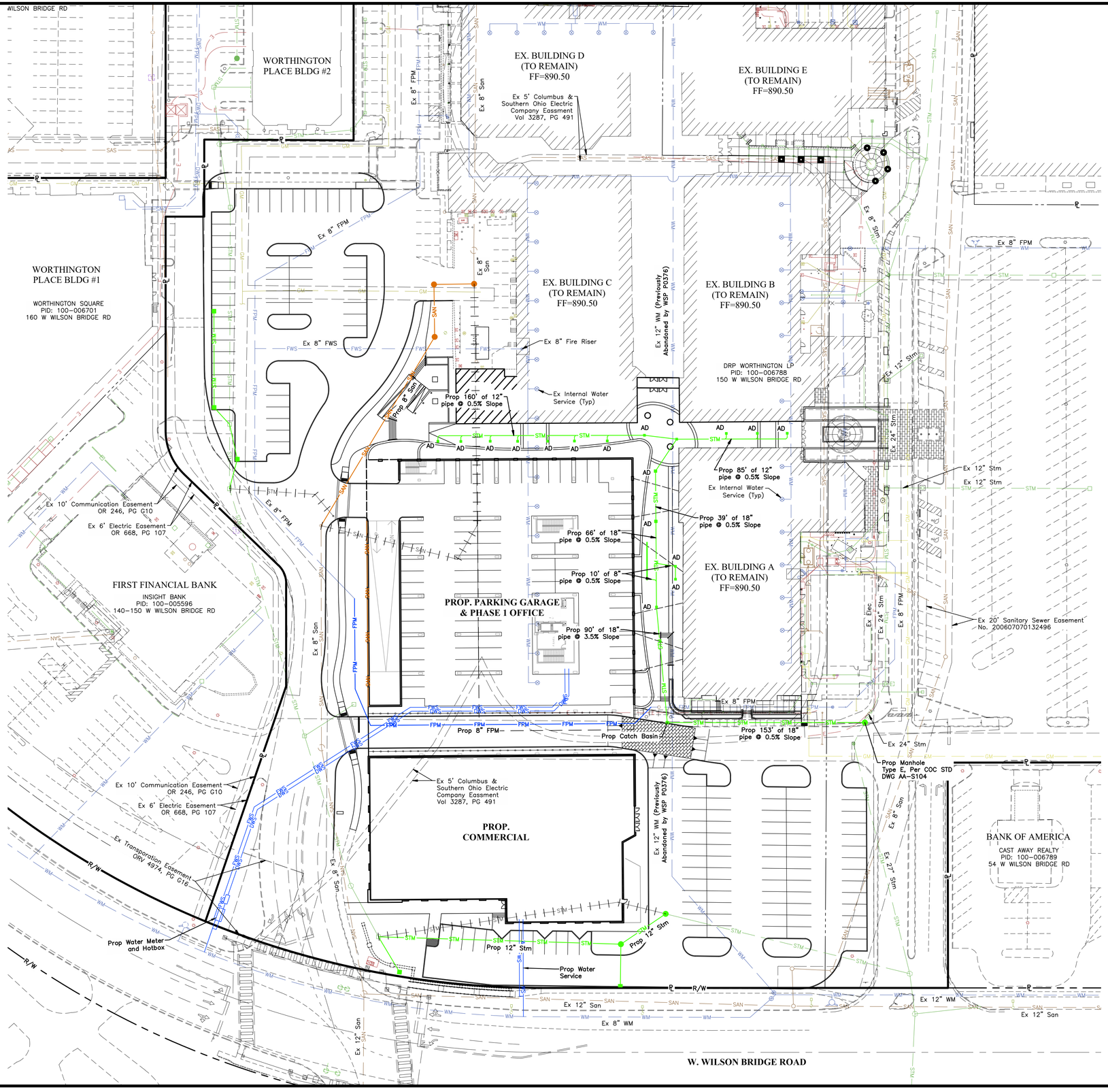

GRAPHIC SCALE

0 20 40 80

1 inch = 40 feet

LEGEND

EXISTING

- STM — Storm Sewer
- SAN — Sanitary Sewer
- WM — Water Main
- FPM — Fire Protection Main
- FWS — Fire Water Service
- GM — Gas Main

PROPOSED

- STM — Storm Sewer
- SAN — Sanitary Sewer
- FPM — Fire Protection Main
- AD — Area Drain
- DWS — Domestic Water Service
- FWS — Fire Protection Water Service

NOTE:

All utilities shown on this plan are a compilation of field located structures, OUPS markings, and record plans and maps provided by City of Columbus and City of Worthington. The exact location of all waterlines shall be verified prior to any construction or relocation.

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

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REVISIONS

MARK	DATE	DESCRIPTION

DIRECT PARTNERS

CITY OF WORTHINGTON, FRANKLIN COUNTY, OHIO
FINAL PLAN
FOR
HIGH NORTH PHASE 1
SITE UTILITY PLAN

EMH&T
Evans, Mechwart, Hambleton & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists
5500 New Albany Road, Columbus, OH 43054
Phone: 614.775.4500 Toll Free: 888.775.3648
emht.com

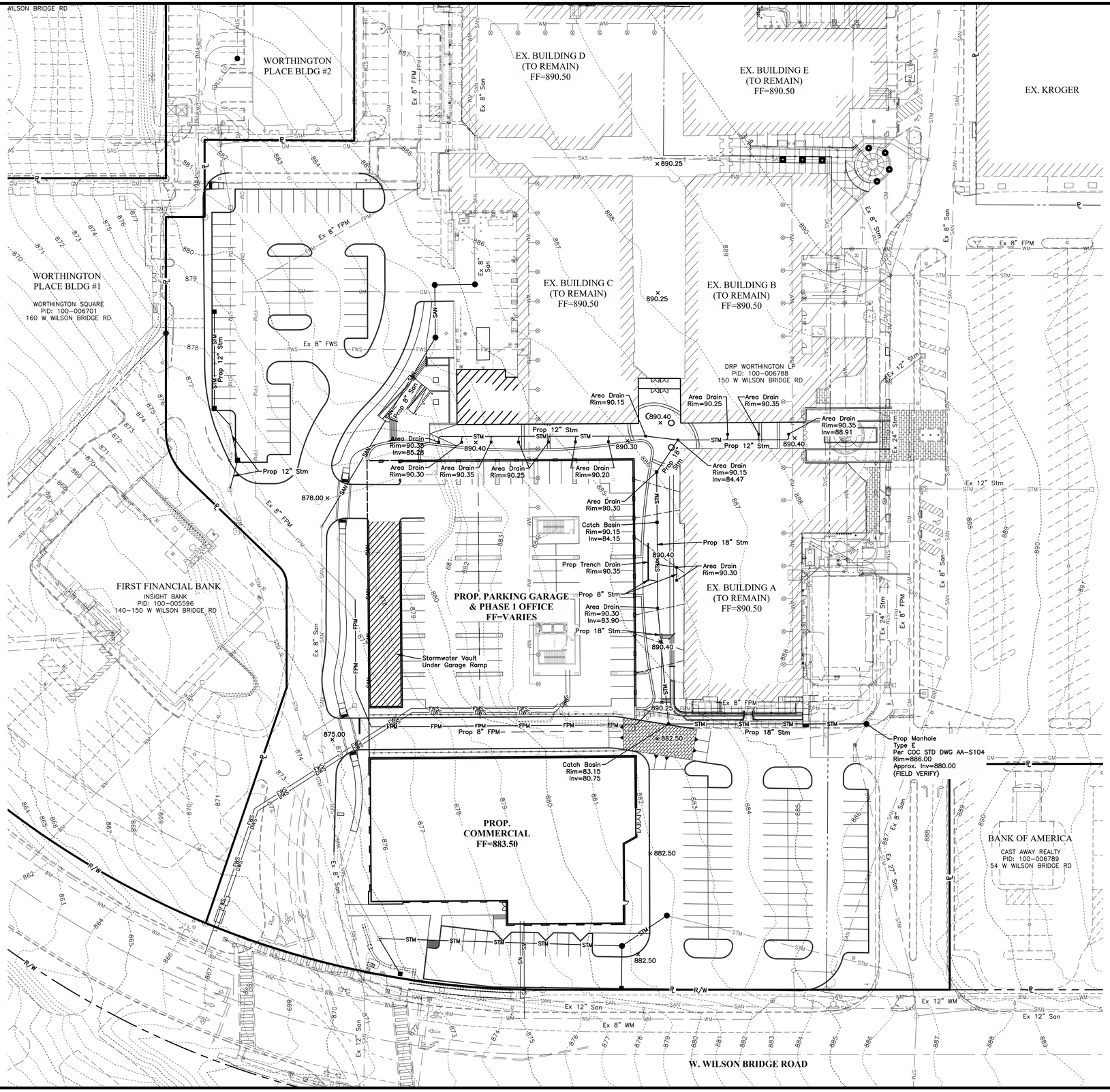
DATE
October 14, 2022

SCALE
1" = 40'

JOB NO.
2020-0732

SHEET
6/7

J:\20200732\Dwg\04Sheets\FINAL PLAN\20200732 FNPL_Site Utility Plan.dwg, Last Saved By: mhucke, 10/14/2022 10:39 AM Last Printed By: Hucke, Matthew, 10/14/2022 10:43 AM (No Xref(s))



GRAPHIC SCALE

0 20 40 80

1 inch = 40 feet

LEGEND

EXISTING

889 890	Contours
×Ex900.00	Spot Elevations
STM	Storm Sewer
SAN	Sanitary Sewer
WM	Water Main
FPM	Fire Protection Main
FWS	Fire Water Service
GM	Gas Main

PROPOSED

899 900	Contours
×900.00	Spot Elevation
STM	Storm Sewer
SAN	Sanitary Sewer
FPM	Fire Protection Main

CITY OF WORTHINGTON

DRAWINGS NO. ARB 93-2022
PUD 04-2022

DATE 12/16/2022

PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION

PLAN SET DATE
October 14, 2022

REVISIONS

MARK	DATE	DESCRIPTION

DIRECT PARTNERS

CITY OF WORTHINGTON, FRANKLIN COUNTY, OHIO
FINAL PLAN
FOR
HIGH NORTH PHASE 1
SITE GRADING & DRAINAGE PLAN

EMH&T
Evans, Mechwart, Hambleton & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists
5500 New Albany Road, Columbus, OH 43054
Phone: 614.775.4500 Toll Free: 888.775.3648
emht.com

DATE
October 14, 2022

SCALE
1" = 40'

JOB NO.
2020-0732

SHEET
7/7

J:\20200732\Dwg\04Sheets\FINAL PLAN\20200732 FNPL_Site Grading Plan.dwg, Last Saved By: mhucke, 10/14/2022 10:40 AM Last Printed By: Hucke, Matthew, 10/14/2022 10:43 AM (No Xref(s))

ARB APPLICATION
ARB 0104-2022
790 Morning St.

Plan Type:	Architectural Review Board	**Project:**		**App Date:**	12/11/2022
Work Class:	Certificate of Appropriateness	**District:**	City of Worthington	**Exp Date:**	
Status:	In Review			**Completed:**	
Valuation:	$35,000.00			**Approval**	
				Expire Date:	

Description: 1) kitchen renovation that will necessitate a new west-facing kitchen window and moving/replacing the south-facing window
2) replace existing vinyl siding with premium insulated vinyl siding with Alside's "ageless slate" color. Keep white trim & soffits
3) replace existing deck and add gazebo to the deck, New outdoor deck and gazebo
4) finish basement (make bathroom w/ existing plumbing rough-in; add drywall)

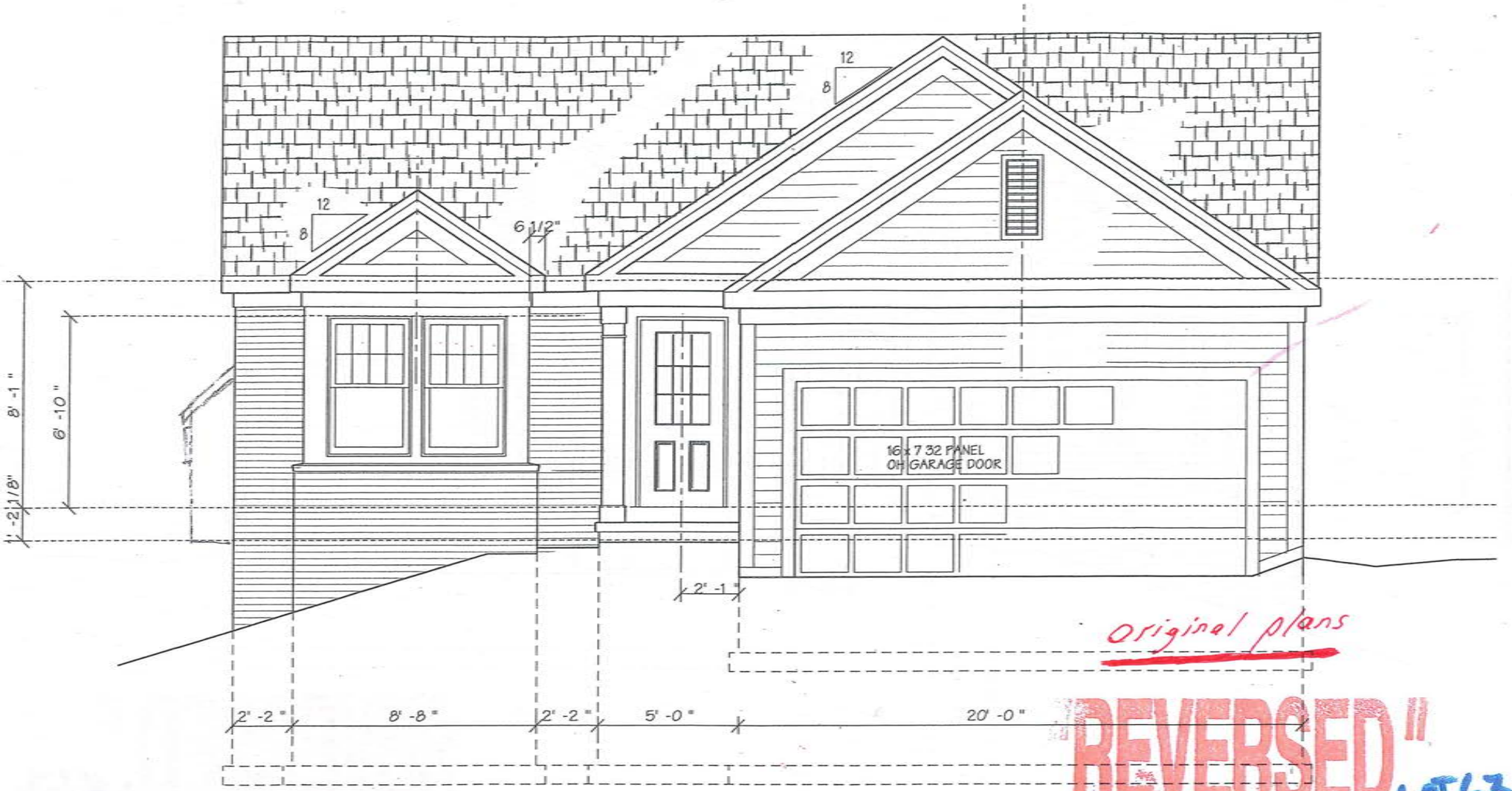
Parcel:	100-000115 Main	**Address:**	790 Morning St Worthington, OH 43085 Main	**Zone:**	R-10(Low Density Residence)

Owner
Juli Roberts
790 MORNING ST
Worthington , OH 43085

Applicant / Owner
Mac Roberts
790 Morning Street
Worthington, OH 43085
Mobile: (614) 207-3513

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003320	Architectural Review Board	$35.00	$35.00
	Total for Invoice INV-00003320	$35.00	$35.00
	Grand Total for Plan	**$35.00**	**$35.00**

790 Morning St.



original plans

"REVERSED"

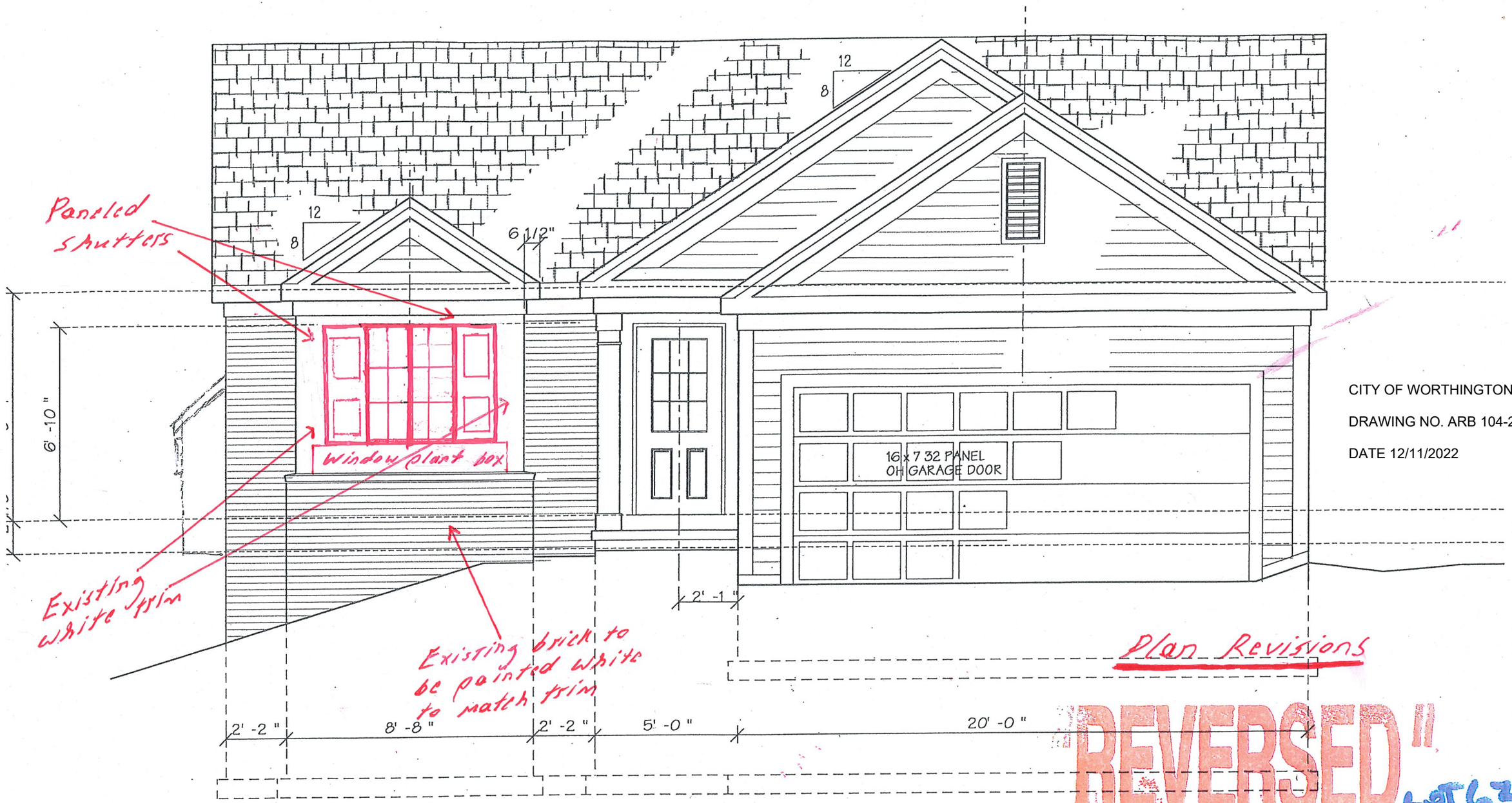
Lot 63
10/26

FRONT ELEVATION

CITY OF WORTHINGTON

DRAWING NO. ARB 104-2022

DATE 12/11/2022



CITY OF WORTHINGTON

DRAWING NO. ARB 104-2022

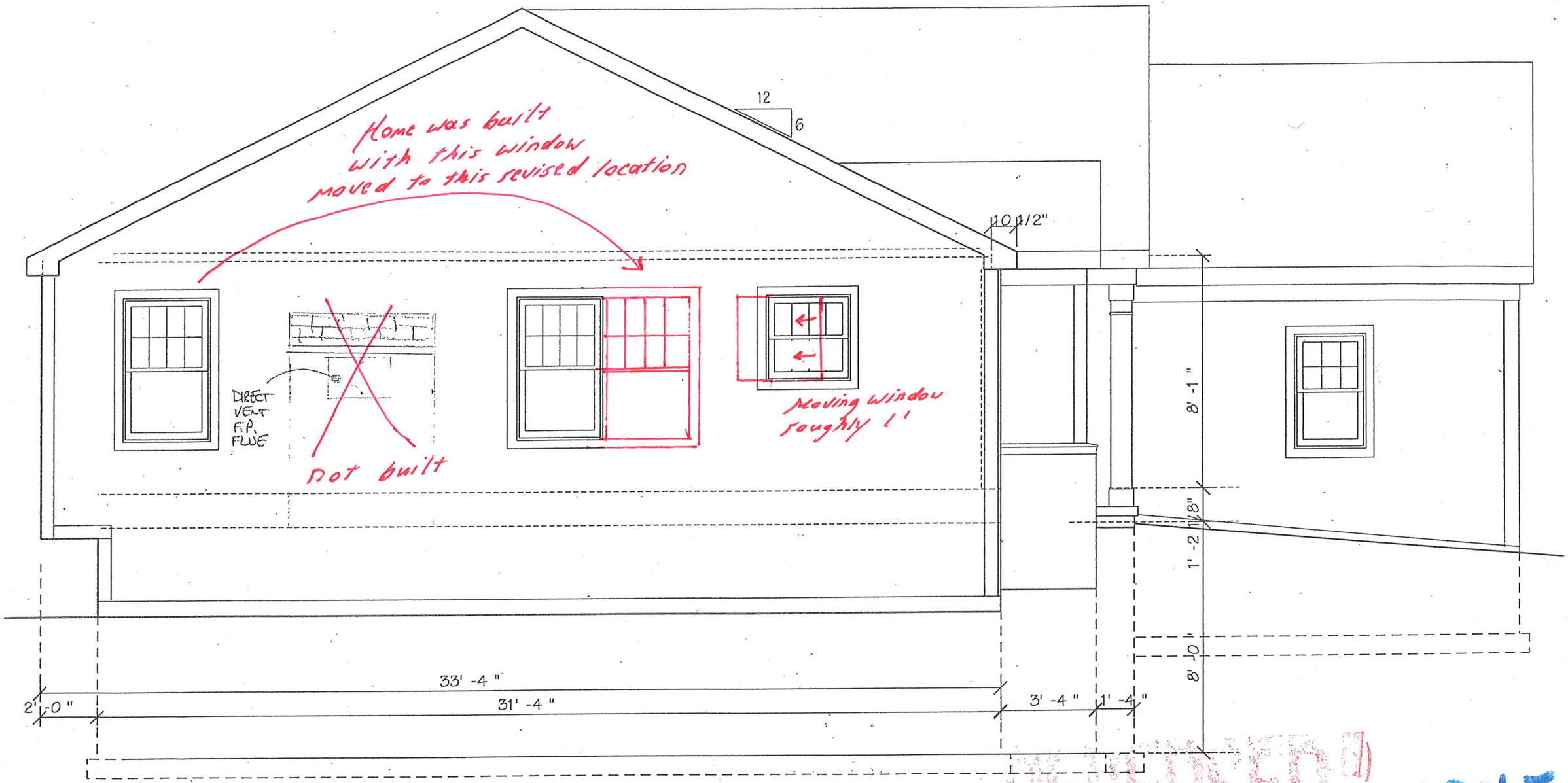
DATE 12/11/2022

Plan Revisions

"REVERSED"

LOT 63
10/26

FRONT ELEVATION



LEFT ELEVATION

1/4"=1'-0"

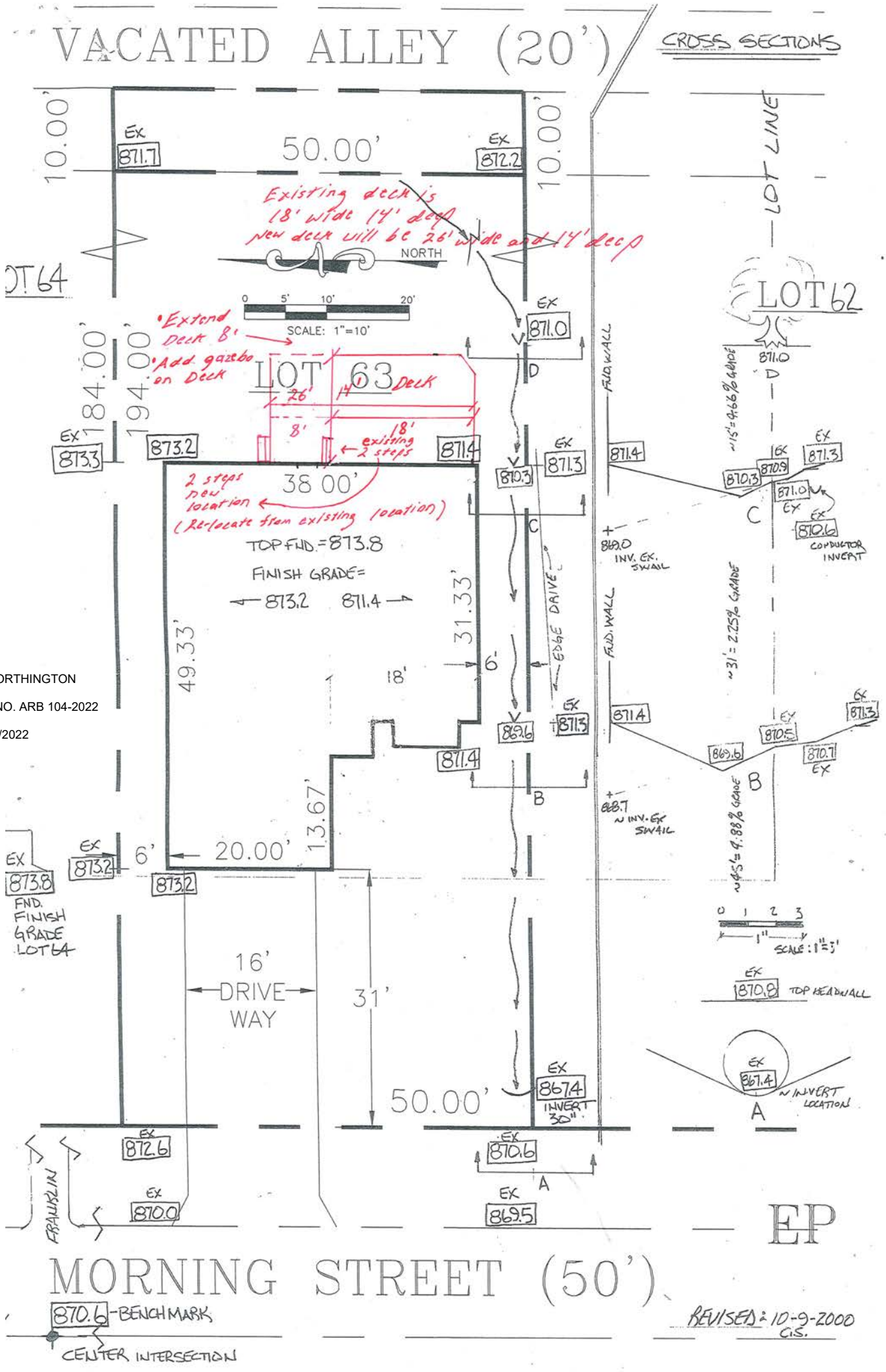
CITY OF WORTHINGTON

DRAWING NO. ARB 104-2022

DATE 12/11/2022

REVERSED !!

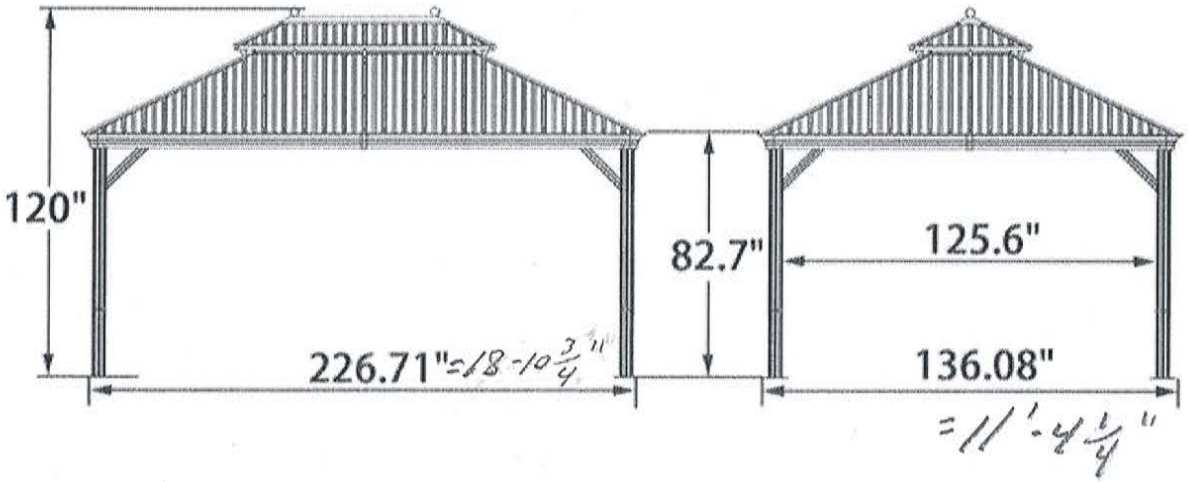
LOT 63
10/26

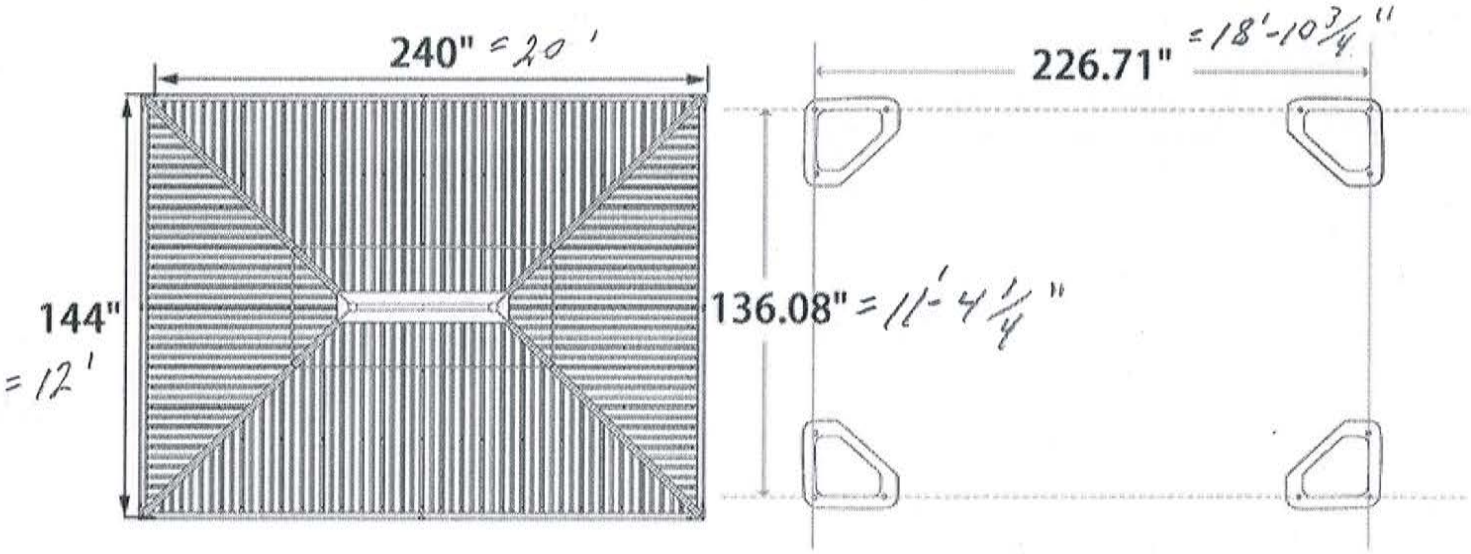


CITY OF WORTHINGTON

DRAWING NO. ARB 104-2022

DATE 12/11/2022



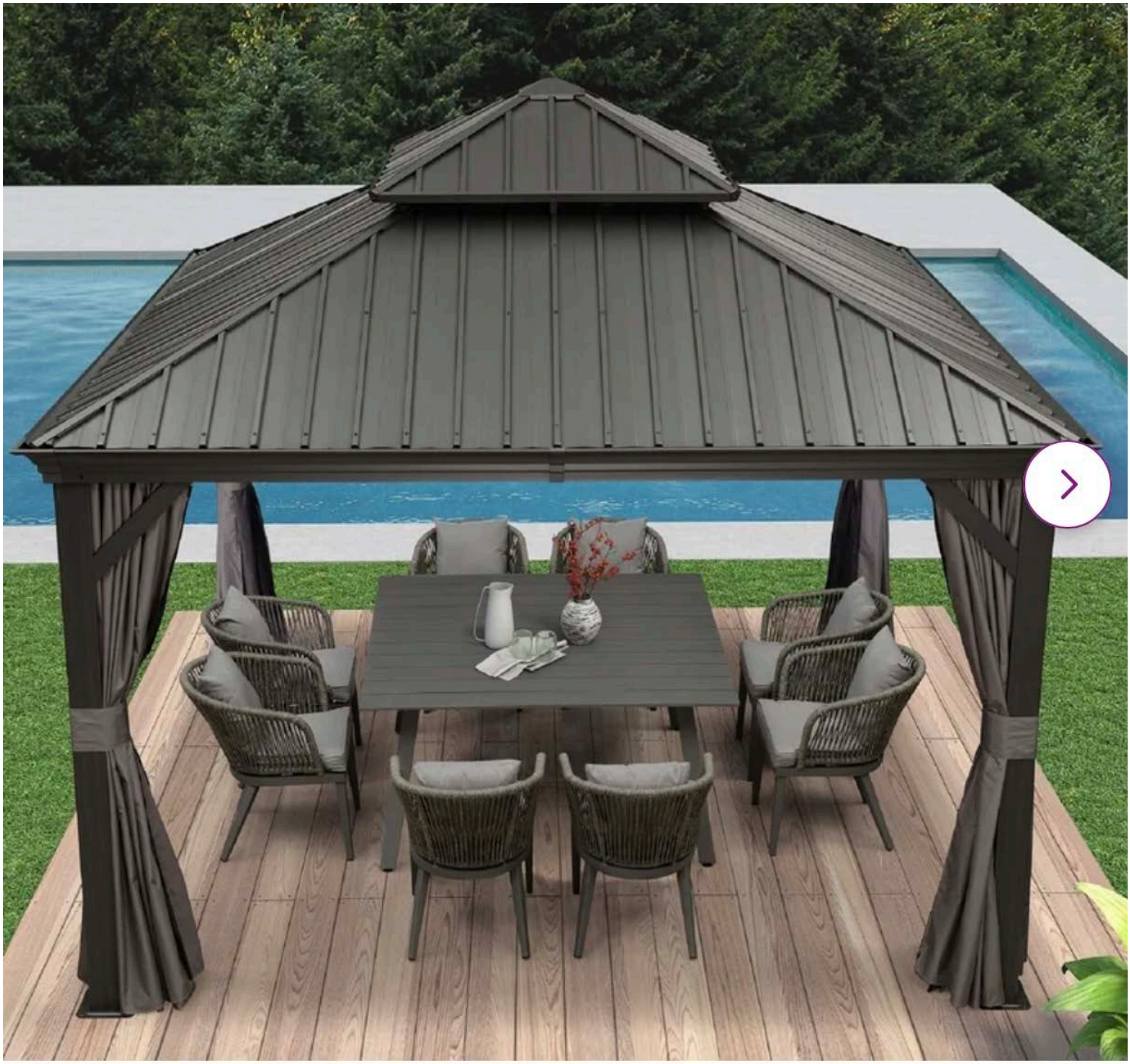


Purple leaf; 12x20, $3,199

CITY OF WORTHINGTON

DRAWING NO. ARB 104-2022

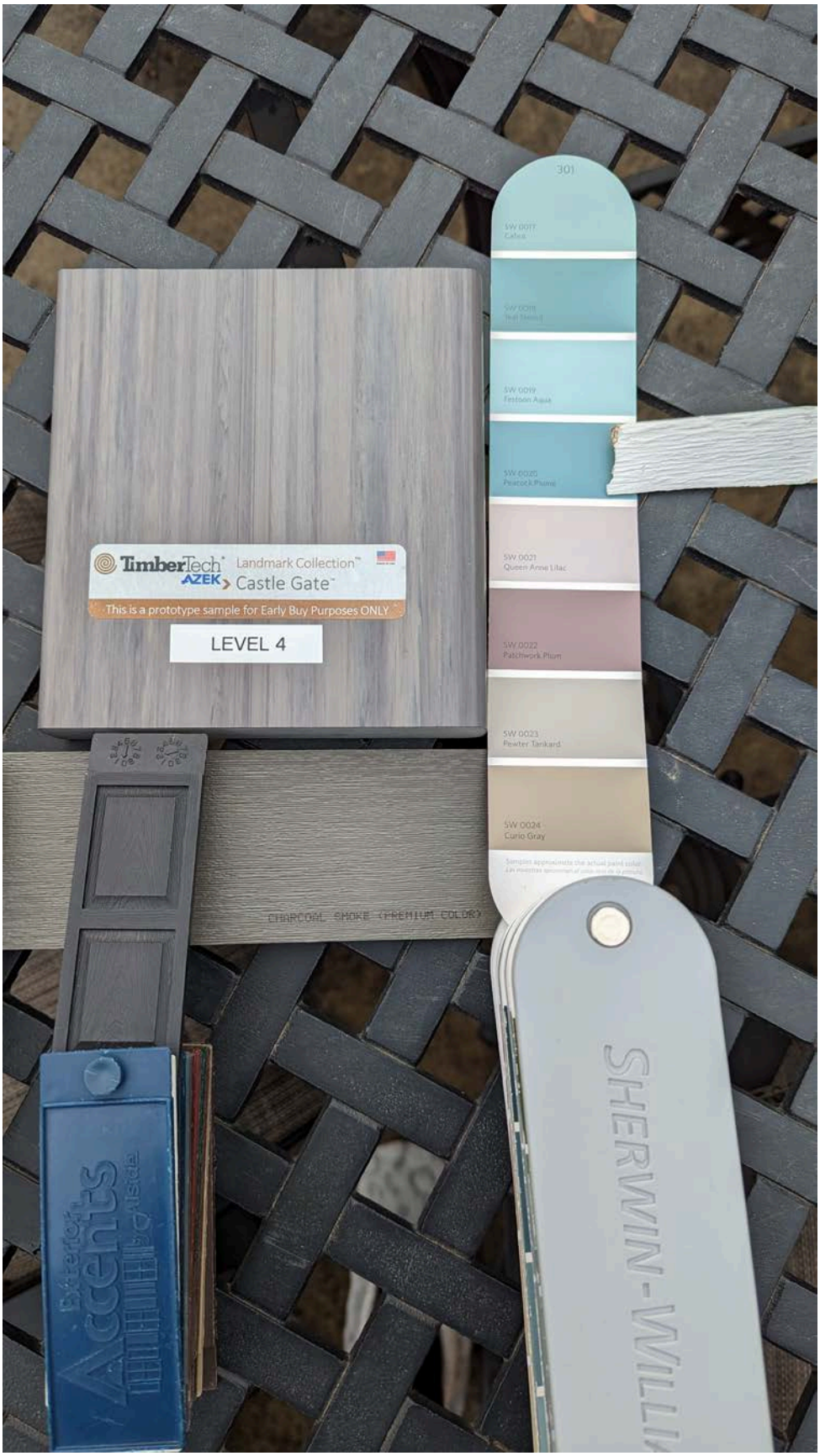
DATE 12/11/2022



CITY OF WORTHINGTON

DRAWING NO. ARB 104-2022

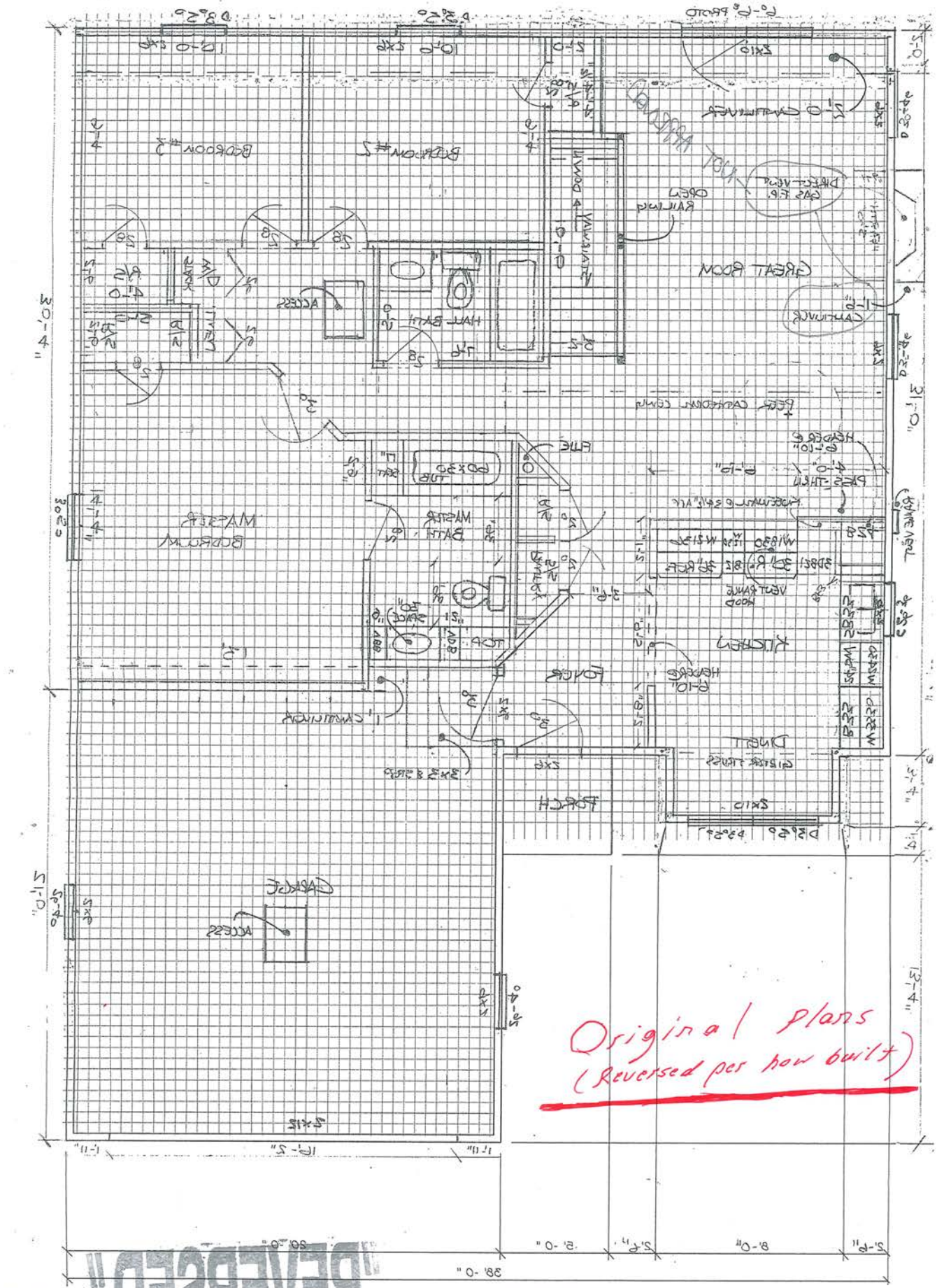
DATE 12/11/2022



CITY OF WORTHINGTON

DRAWING NO. ARB 104-2022

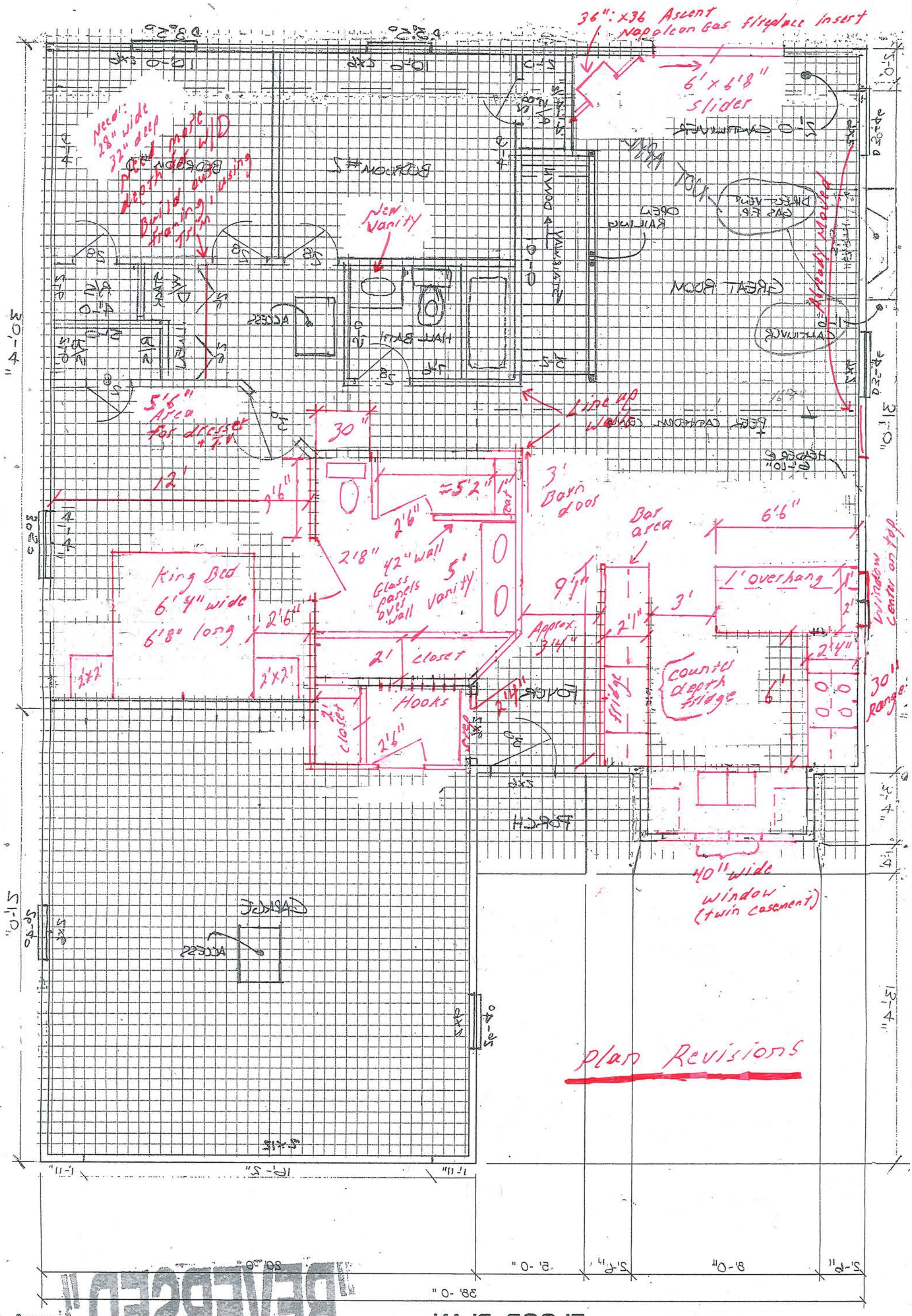
DATE 12/11/2022



CITY OF WORTHINGTON

DRAWING NO. ARB 104-2022

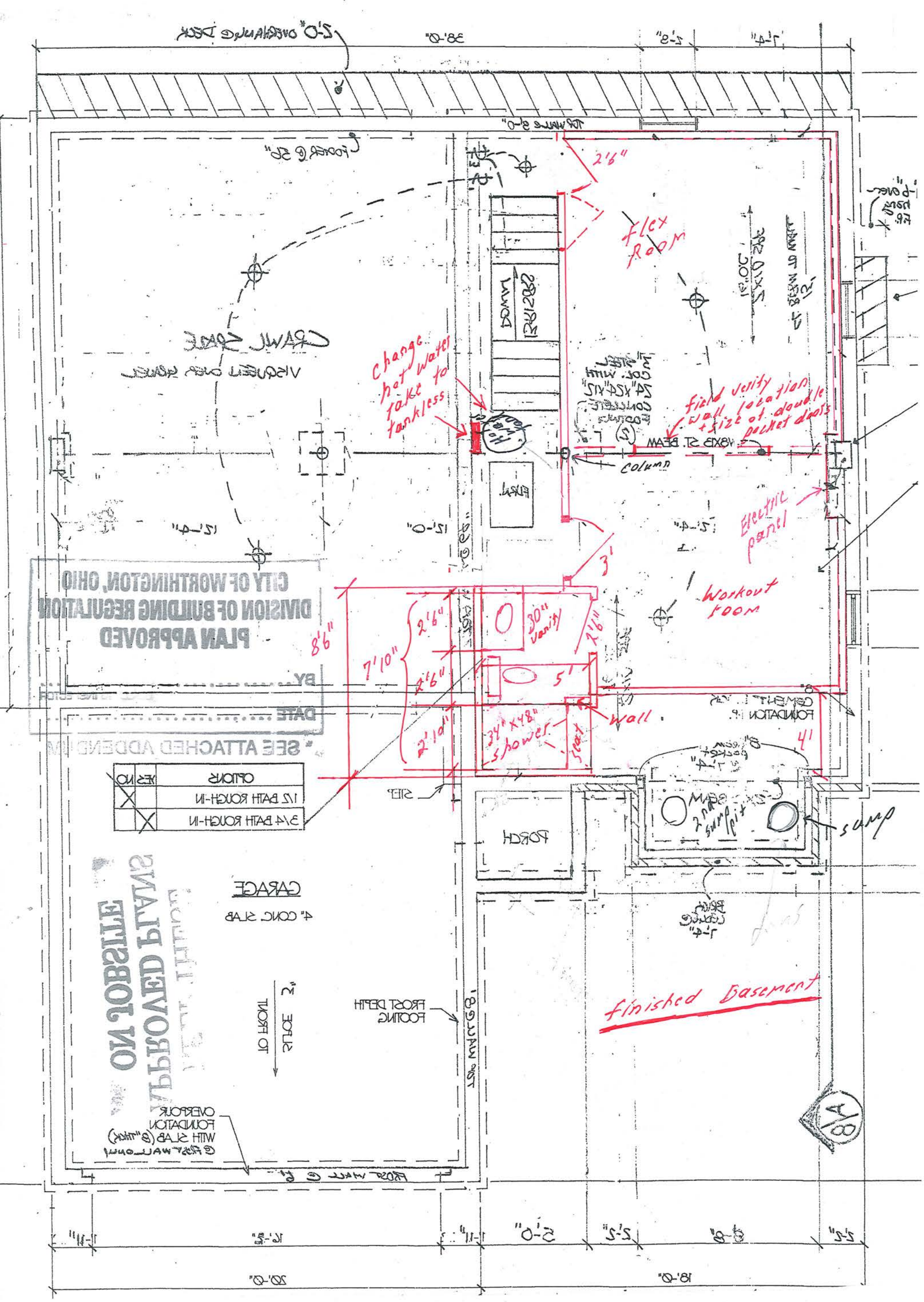
DATE 12/11/2022



CITY OF WORTHINGTON

DRAWING NO. ARB 104-2022

DATE 12/11/2022



CITY OF WORTHINGTON

DRAWING NO. ARB 104-2022

DATE 12/11/2022

ARB APPLICATION
ARB 0107-2022
620 Hartford St.

Plan Type:	Architectural Review Board	**Project:**		**App Date:**	12/13/2022
Work Class:	Certificate of Appropriateness	**District:**	City of Worthington	**Exp Date:**	
Status:	In Review			**Completed:**	
Valuation:	$160,000.00			**Approval**	
				Expire Date:	

Description:

In order to rehabilitate an existing house and site to it's previous quality, both for function as well as aesthetics, the project proposes the following scope:

Demolish a dilapidated structure at the middle of the property's west side. This structure was previously used for excessive storage and is uninhabitable and unusable do to its quality, size and location.

Remove the current driveway and walks and replace them with a more architecturally appropriate design inspired by a similar project on New England Ave including cobblestone pavers and crushed aggregate.

Remove existing vinyl siding to expose more original wood siding below. Repair and prep siding for staining. The color is interpreted as dark oak from a historical photo . The stained siding will be trimmed out in white including rebuilding a more original wood brackets at the roof corners. Soffits will be painted wood with a continuous vent.

The front porch will be removed below the roof line and rebuilt using the original two post locations and detailed to match the historical photo with a gaurd rail wall with siding to match the house, tapered wood trimmed posts and low sloped arch beams at the perimeter. Other minor details will be incorporated including a a small wood rail and brick piers at the base of the wood steps.

In order to accomodate a new interior layout a small brick chimney at the rear of the home will be removed.

All doors & windows will be replaced-in-plave with either 6-over-1 or casement based on what is currently installed. 1 All basement windows will be replaced with glass block.

A new 2-car garage is proposed at the rear of the site to take advantage of the rear alley. The architectural details and aesthetic will be influenced by the upgrades to the main house.

Site improvements will include removal of trees at the rear of the lot to accomodate new garage location and replacing an existing chain-link fence with a 4 tall open-style fence (painted or stained)

Parcel:	100-000313 Main	**Address:**	620 Hartford St Worthington, OH 43085 Main	**Zone:**	R-10(Low Density Residence)

Applicant	Owner
JRB Design LLC	Carole Tomko
Joel Burke	PO BOX 141213
794 S Pearl Street	Columbus, OH 43214
Columbus, OH 43206	Home: (614) 270-5378
Business: 6145650844	Mobile: (614) 270-5378

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003315	Architectural Review Board	$160.00	$160.00
	Total for Invoice INV-00003315	$160.00	$160.00
	Grand Total for Plan	**$160.00**	**$160.00**

620 Hartford St.

620 HARTFORD AVE

WORTHINGTON ARCHITECTURAL REVIEW DOCUMENTATION

DECEMBER 12, 2022 - REVISED : DECEMBER 20, 2022

CLIENT

CAROLE TOMKO
CWTOMKO@GMAIL.COM
614.270.5378

DESIGNER

JRB DESIGN LLC

JOEL BURKE
JOELRBURKE@GMAIL.COM
614.565.0844

ELIZABETH LEIDY
EL@ELIZABETHLEIDY.COM
330.933.5277

CITY OF WORTHINGTON

DRAWING NO. ARB 107-2022

DATE 12/13/2022

PROJECT SCOPE

IN ORDER TO REHABILITATE AN EXISTING HOUSE AND SITE TO ITS PREVIOUS QUALITY, BOTH FOR FUNCTION AS WELL AS AESTHETICS, THE PROJECT PROPOSES THE FOLLOWING SCOPE:

DEMOLISH A DILAPIDATED STRUCTURE AT THE MIDDLE OF THE PROPERTY'S WEST SIDE. THIS STRUCTURE WAS PREVIOUSLY USED FOR EXCESSIVE STORAGE AND IS UNINHABITABLE AND UNUSABLE DO TO IT'S QUALITY, SIZE AND LOCATION.

REMOVE THE CURRENT DRIVEWAY AND WALKS AND REPLACE THEM WITH A MORE ARCHITECTURALLY APPROPRIATE DESIGN INSPIRED BY A SIMILAR PROJECT ON NEW ENGLAND AVE INCLUDING COBBLESTONE PAVERS AND CRUSHED AGGREGATE.

REMOVE EXISTING VINYL SIDING TO EXPOSE MORE ORIGINAL WOOD SIDING BELOW. REPAIR AND PREP SIDING FOR STAINING. THE COLOR IS INTERPRETED AS DARK OAK FROM A HISTORICAL PHOTO. THE STAINED SIDING WILL BE TRIMMED OUT IN WHITE INCLUDING REBUILDING A MORE ORIGINAL WOOD BRACKETS AT THE ROOF CORNERS. SOFFITS WILL BE PAINTED WOOD WITH A CONTINUOUS VENT.

THE FRONT PORCH WILL BE REMOVED BELOW THE ROOF LINE AND REBUILT USING THE ORIGINAL TWO POST LOCATIONS AND DETAILED TO MATCH THE HISTORICAL PHOTO WITH A GAURD RAIL WALL WITH SIDING TO MATCH THE HOUSE, TAPERED WOOD TRIMMED POSTS AND LOW SLOPED ARCH BEAMS AT THE PERIMETER. OTHER MINOR DETAILS WILL BE INCORPORATED INCLUDING A A SMALL WOOD RAIL AND BRICK PIERS AT THE BASE OF THE WOOD STEPS.

IN ORDER TO ACCOMODATE A NEW INTERIOR LAYOUT A SMALL BRICK CHIMNEY AT THE REAR OF THE HOME WILL BE REMOVED.

ALL DOORS & WINDOWS WILL BE REPLACED-IN-PLACE WITH EITHER 6-OVER-1 OR CASEMENT BASED ON WHAT IS CURRENTLY INSTALLED. ALL BASEMENT WINDOWS WILL BE REPLACED WITH GLASS BLOCK.

A NEW 2-CAR GARAGE IS PROPOSED AT THE REAR OF THE SITE TO TAKE ADVANTAGE OF THE REAR ALLEY. THE ARCHITECTURAL DETAILS AND AESTHETIC WILL BE INFLUENCED BY THE UPGRADES TO THE MAIN HOUSE.

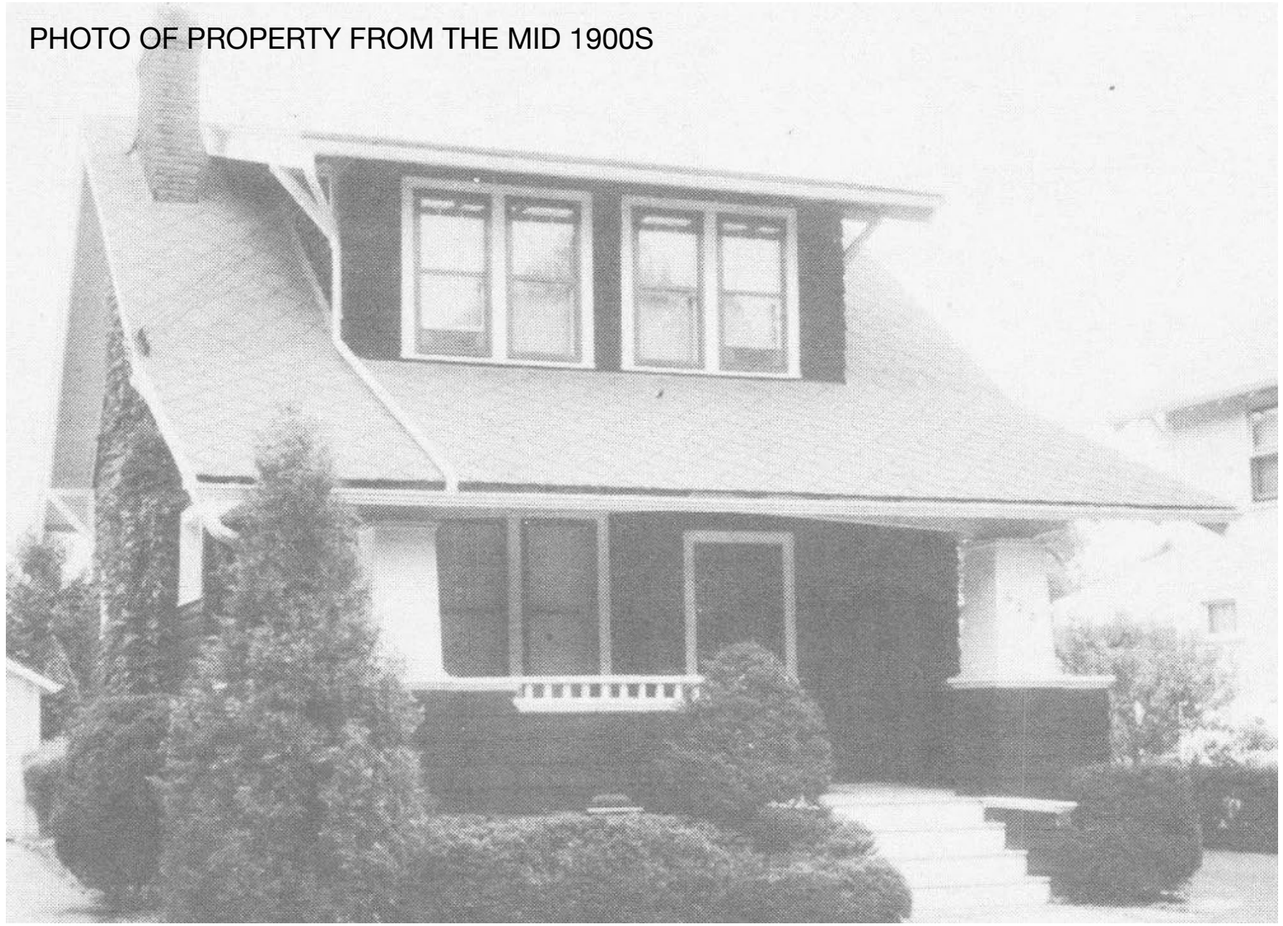
SITE IMPROVEMENTS WILL INCLUDE REMOVAL OF TREES AT THE REAR OF THE LOT TO ACCOMODATE NEW GARAGE LOCATION AND REPLACING AN EXISTING CHAIN-LINK FENCE WITH A 4' TALL OPEN-STYLE FENCE (PAINTED OR STAINED)

CITY OF WORTHINGTON

DRAWING NO. ARB 107-2022

DATE 12/13/2022

PHOTO OF PROPERTY FROM THE MID 1900S



620 HARTFORD AVE

REVISED 12.20.2022

CITY OF WORTHINGTON

DRAWING NO. ARB 107-2022

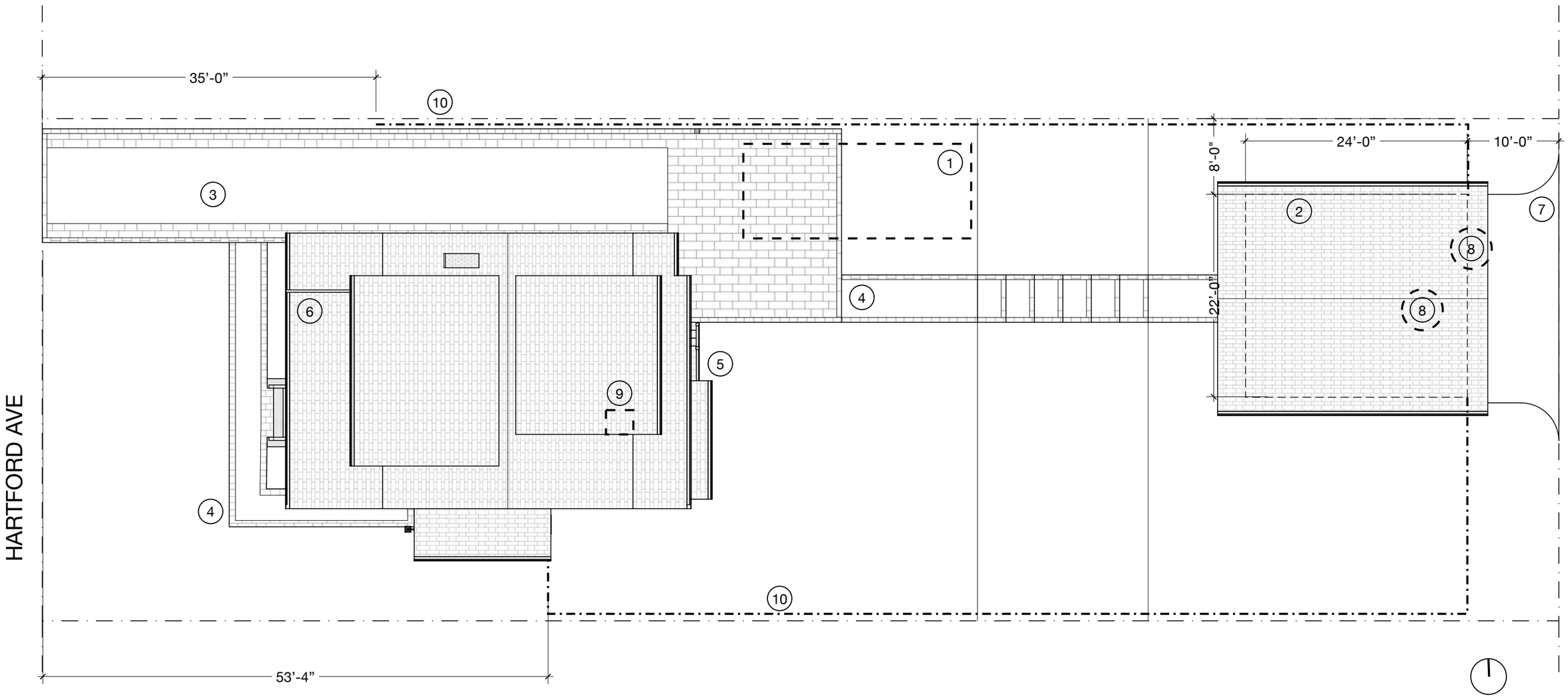
DATE 12/13/2022

EXISTING DOCUMENTATION

NOT TO SCALE

ARCHITECTURAL KEY

1 REMOVE DILAPIDATED STRUCTURE (10’-0” X 24’-0”)
2 NEW 2-CAR GARAGE
3 REPLACE EXISTING DRIVE WITH PAVER / CRUSHED AGGREGATE
4 NEW PAVER PATIO & WALKWAY TO GARAGE
5 REPLACE-IN-PLACE EXISTING WOOD STEPS
6 RESTORE EXISTING FRONT PORCH PER HISTORICAL IMAGERY
7 NEW CONCRETE APRON TO ALLEY
8 REMOVE TREES AS REQUIRED
9 REMOVE UNUSED CHIMNEY STACK
10 4’ OPEN-STYLE WOOD FENCE (PAINTED / STAINED)



620 HARTFORD AVE
REVISED 12.20.2022

CITY OF WORTHINGTON
DRAWING NO. ARB 107-2022
DATE 12/13/2022

SITE PLAN
3/32” = 1’-0”

ARCHITECTURAL KEY

1 REPLACE-IN-PLACE WINDOWS WITH 6 OVER OR 6-PANE (TYPICAL)
2 REPLACE DOUBLE-HUNG WINDOWS WITH CASEMENTS
3 REPLACE EXISTING WINDOWS WITH GLASS BLOCK (ADJUST OPENINGS AS REQUIRED)
4 REPLACE WOOD DOOR
5 REMOVE UNUSED CHIMNEY STACK
6 UNCOVER / REPAIR WOOD SIDING : STAIN (TYPICAL)
7 REBUILD FRONT PORCH STRUCTURE PER HISTORICAL IMAGERY
8 REBUILD WOOD BRACKETS : PAINT
9 REPLACE-IN-PLACE EXISTING WOOD STEPS

NORTH
~~WEST~~ ELEVATION
3/8" = 1'-0"

WEST
~~SOUTH~~ ELEVATION
3/8" = 1'-0"

620 HARTFORD AVE
REVISED 12.20.2022

CITY OF WORTHINGTON
DRAWING NO. ARB 107-2022
DATE 12/13/2022

ELEVATIONS
SCALE AS NOTED

ARCHITECTURAL KEY

1 REPLACE-IN-PLACE WINDOWS WITH 6 OVER OR 6-PANE (TYPICAL)
2 REPLACE DOUBLE-HUNG WINDOWS WITH CASEMENTS
3 REPLACE EXISTING WINDOWS WITH GLASS BLOCK (ADJUST OPENINGS AS REQUIRED)
4 REPLACE WOOD DOOR
5 REMOVE UNUSED CHIMNEY STACK
6 UNCOVER / REPAIR WOOD SIDING : STAIN (TYPICAL)
7 REBUILD FRONT PORCH STRUCTURE PER HISTORICAL IMAGERY
8 REBUILD WOOD BRACKETS : PAINT
9 REPLACE-IN-PLACE EXISTING WOOD STEPS & WOOD RAIL
10 REDUCE OPENING SIZE AND INFILL WITH 6-PANE AWNING WINDOW

SOUTH
~~EAST~~ ELEVATION
3/8" = 1'-0"

EAST
~~NORTH~~ ELEVATION
3/8" = 1'-0"

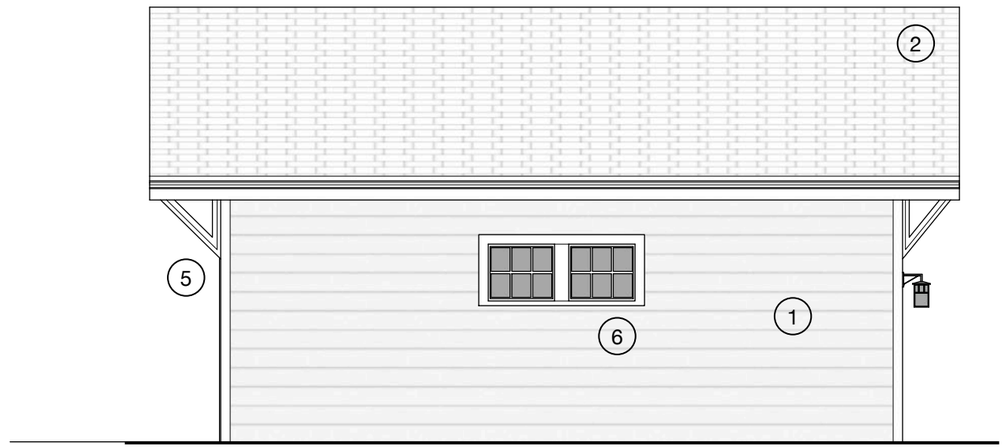
620 HARTFORD AVE
REVISED 12.20.2022

CITY OF WORTHINGTON
DRAWING NO. ARB 107-2022
DATE 12/13/2022

ELEVATIONS
SCALE AS NOTED

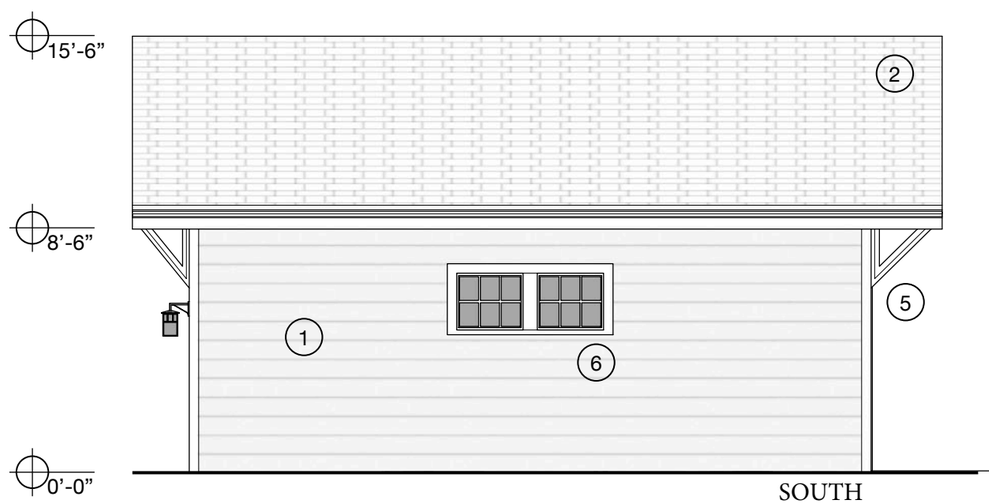
ARCHITECTURAL KEY

1 WOOD SIDING & TRIM : STAINED TO MATCH HOUSE
2 ASPHALT SHINGLE TO MATCH HOUSE
3 30” WOOD DOOR WITH GLASS : PAINTED
4 16’-0” X 7’-0” WOOD GARAGE DOOR : PAINTED
5 WOOD BRACKETS : PAINTED
6 6-PANE FIXED WINDOWS (TYPICAL)

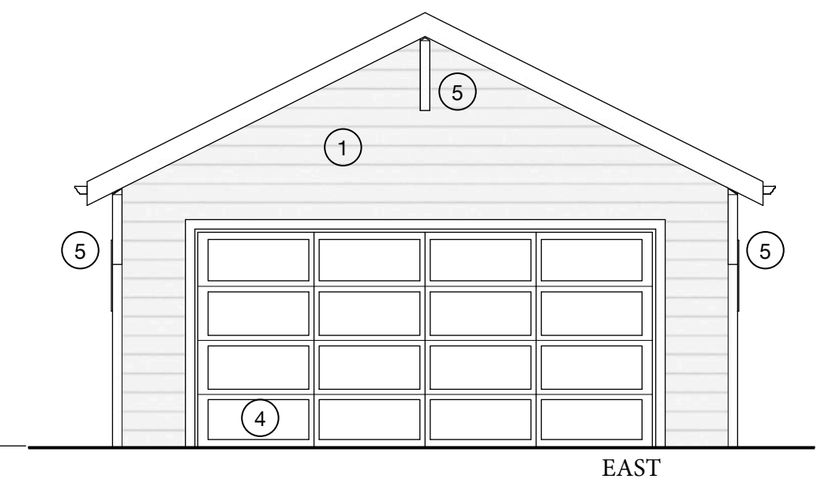


NORTH
~~WEST~~ ELEVATION
3/8” = 1’-0”

WEST
~~SOUTH~~ ELEVATION
3/8” = 1’-0”



SOUTH
~~EAST~~ ELEVATION
3/8” = 1’-0”

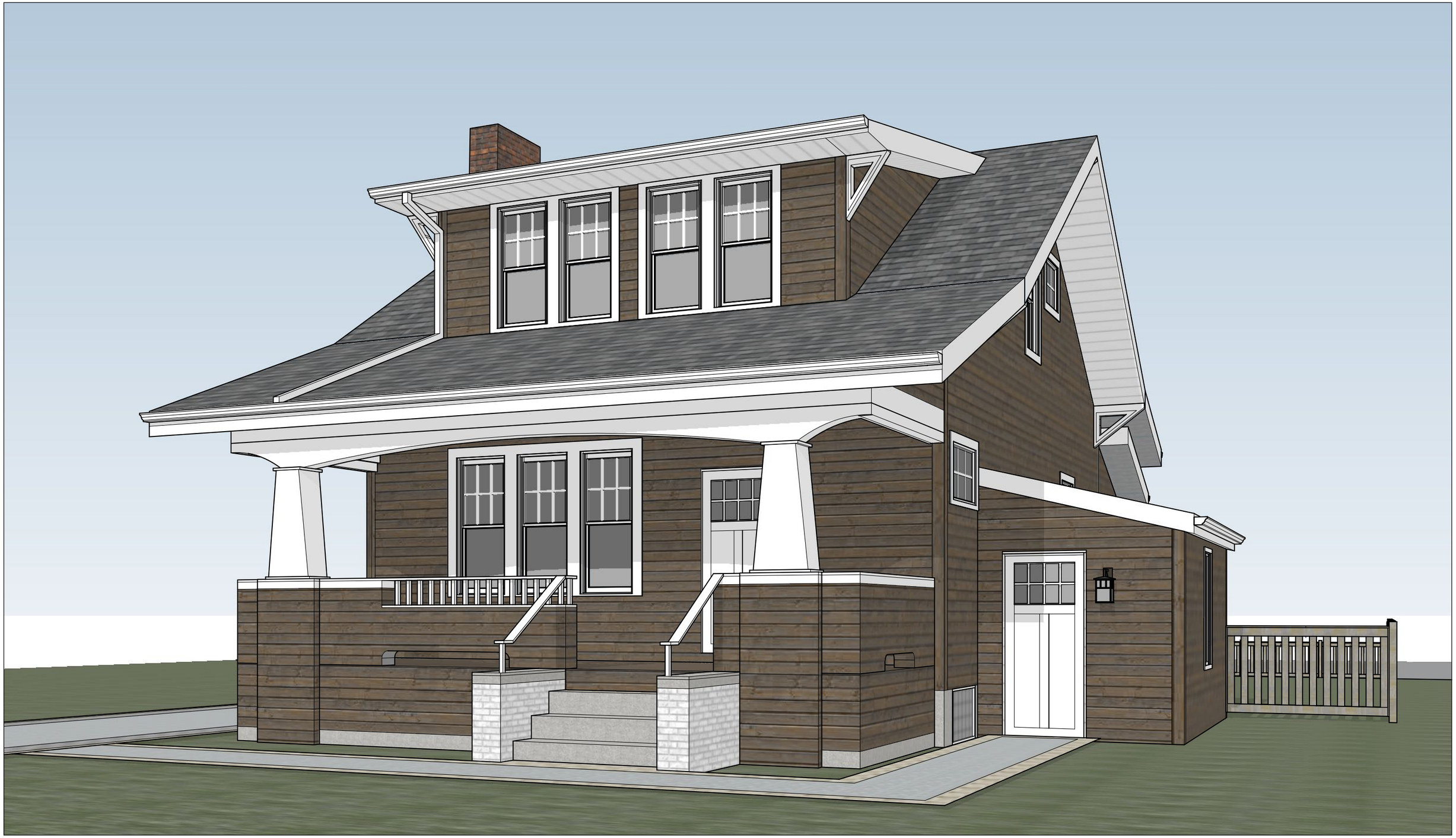


EAST
~~NORTH~~ ELEVATION
3/8” = 1’-0”

620 HARTFORD AVE
REVISED 12.20.2022

CITY OF WORTHINGTON
DRAWING NO. ARB 107-2022
DATE 12/13/2022

ELEVATIONS
SCALE AS NOTED



620 HARTFORD AVE
REVISED 12.20.2022

CITY OF WORTHINGTON

DRAWING NO. ARB 107-2022

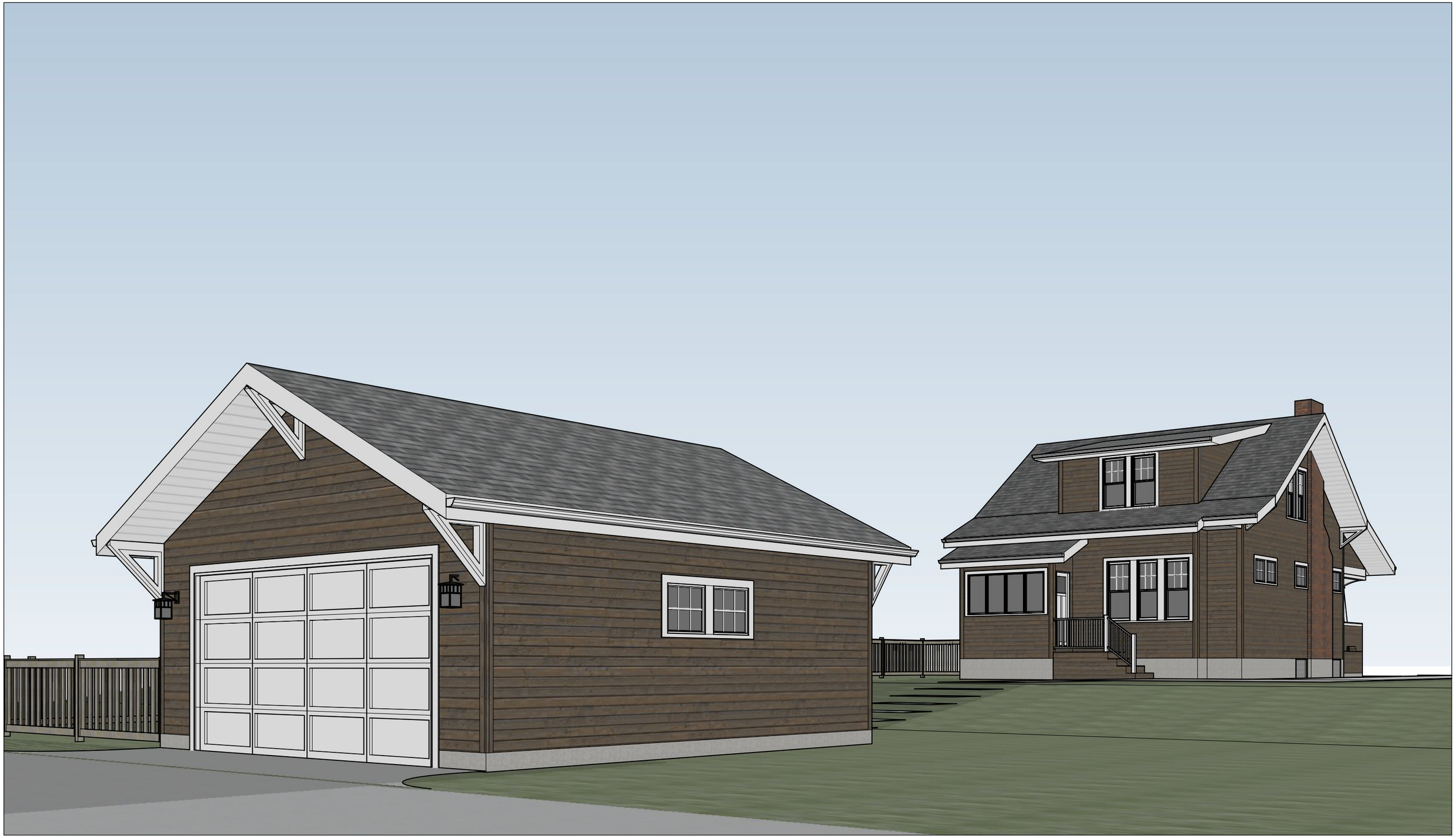
DATE 12/13/2022

EXTERIOR VIEWS
VIEW FROM ~~SOUTHEAST~~

620 HARTFORD AVE
REVISED 12.20.2022

CITY OF WORTHINGTON
DRAWING NO. ARB 107-2022
DATE 12/13/2022

EXTERIOR VIEWS
VIEW FROM SOUTHWEST



620 HARTFORD AVE
REVISED 12.20.2022

CITY OF WORTHINGTON
DRAWING NO. ARB 107-2022
DATE 12/13/2022

EXTERIOR VIEWS
VIEW FROM ~~NORTHWEST~~

ORDER	ORDER DATE	PO NUMBER	CUSTOMER REF	TERMS
430016	11/29/2022			

ITEM	DESCRIPTION	QTY	SIZE	PRICE	TOTAL
1	4600 Edison Double Hung	1	36 W X 60 H	$524.86	$524.86
	Exact Size, White / White, Intelliglass (CL / LE / ARGON), Grids By Sash, Colonial=[1H2V], Mill Finish Flat GBG w/ Int. & Ext. SDL, Sill Extender, Heavy Duty Half Screen - Bettervue Mesh, Standard Hardware				
			ITEM SUBTOTAL:	$524.86	$524.86

U-Value = 0.28, SHGC = 0.38, VLT = 0.53, AL <= 0.3

Energy Star Zones: NORTHERN & NORTH CENTRAL

Egress: 31.5 W - 24.5625 H - 5.37 SqFt

TYPICAL WINDOW SPEC

STRUCTURE TO BE DEMOLISHED

NEW ENGLAND AVE DRIVE EXAMPLE

EXTERIOR LIGHTING

ARB APPLICATION
ARB 0108-2022
40 Short St

Plan Type:	Architectural Review Board	**Project:**		**App Date:**	12/13/2022
Work Class:	Certificate of Appropriateness	**District:**	City of Worthington	**Exp Date:**	
Status:	In Review			**Completed:**	
Valuation:	$200,000.00			**Approval**	
Description:	Construction of a new 2-story addition at the rear of an existing single-family residence. Addition to be setback from main structure. Proposed low-slope roof similar to existing 1-story extension to accommodate existing rear dormer. Materials to match to existing structure.			**Expire Date:**	

Parcel:	100-006583 Main	**Address:**	40 Short St Worthington, OH 43085 Main	**Zone:**	AR-4.5(Low Density Apartment Residence

Applicant	Owner	Owner
Megan Dixon	Brennan Zaller	Michael Zaller
1277 East Broad Street	40 SHORT ST	40 SHORT ST
Columbus, OH 43205	Worthington , OH 43085	Worthington , OH 43085
Mobile: (407) 719-8873		

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003318	Architectural Review Board	$200.00	$200.00
	Total for Invoice INV-00003318	$200.00	$200.00
	Grand Total for Plan	**$200.00**	**$200.00**

40 Short St.

39
627
615
614
623
609
Oxford St
High St
0
615
38
601
593
60
54
40
36
Post Office
597
587
Short St
581
59
51
45
41
53
579
573

From: Megan Dixon
To: Ganter, Kenny
Subject: [EXTERNAL] RE: 40 Short Street
Date: Tuesday, December 13, 2022 4:31:08 PM

Kenny,

40 Short Street – Project Description

The proposed project at 40 W Short Street consists of a 2-story addition at the rear of an existing single-family residence. The addition would step back from either side of the existing structure. The proposed low-slope roof line is meant to mimic the existing 1-story extension on the Northwest corner of the house so as not to impede on the existing 3rd floor dormer at the rear façade. The beveled wood siding and trim material are meant to match the existing house in profile and color including exterior window casings. The proposed double-hung windows would mimic the existing windows in lite pattern and color, however, they are smaller in scale and would be aluminum clad wood windows.

Please let me know if you need anything else.

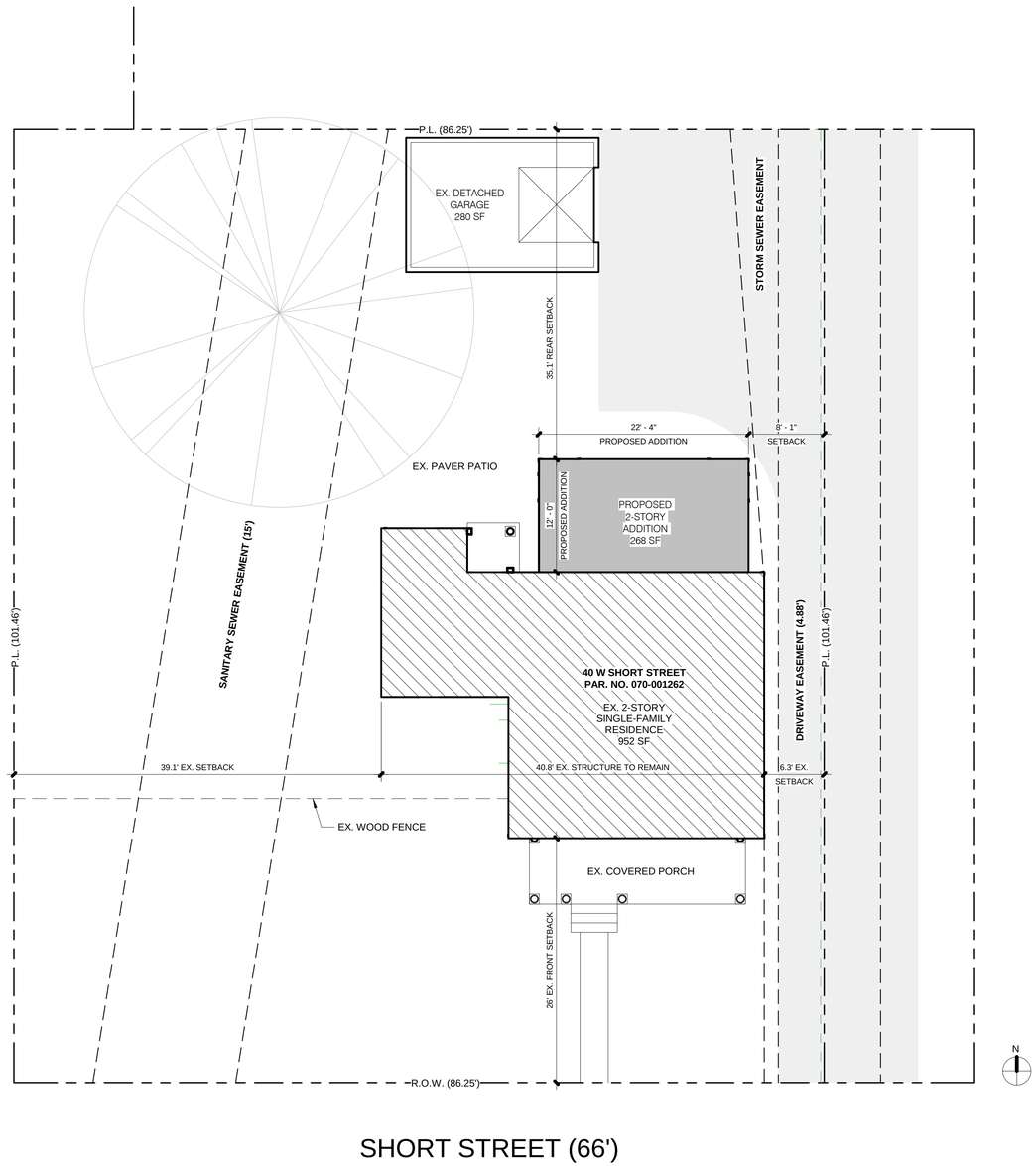
Thanks,

Megan Dixon
Midland Architecture, LLC
o 614.706.7947 c 407.719.8873
w midlandarch.com

CITY OF WORTHINGTON

DRAWING NO. ARB 108-2022

DATE 12/13/2022



1 **PLOT PLAN**

SCALE: 1/8" = 1'-0"

ZONING DATA

BUILDING OWNER:	MICHAEL & BRENNAN ZALLER
SITE ADDRESS:	40 W SHORT STREET WORTHINGTON, OH 43085
PARCEL #:	070-001262
LEGAL DESCRIPTION:	SHORT STREET BROGAN'S SUBDIVISION AMENDED LOT 1
ZONING DISTRICT:	AR-4.5 LOW DENSITY APARTMENT RESIDENCE
PARKING:	(2) EXISTING TO REMAIN

SETBACKS:

FRONT (30' MIN):	±26'	(EXISTING TO REMAIN)
SIDE (8' MIN.):	±39.1'	(EXISTING TO REMAIN AT WEST)
SIDE (8' MIN.):	±6.3'	(EXISTING TO REMAIN AT EAST)
REAR (30' MIN.):	35.1'	

LOT COVERAGE:

LOT SIZE:	8,750 SF
EXISTING BUILDING COVERAGE:	952 SF
EXISTING GARAGE COVERAGE:	280 SF
PROPOSED ADDITION COVERAGE:	268 SF
TOTAL BUILDING COVERAGE:	1,500 SF (17% COVERAGE)
BUILDING HEIGHT (30' MAX):	EX. TO REMAIN

CITY OF WORTHINGTON

DRAWING NO. ARB 108-2022

DATE 12/13/2022

Midland ARCHITECTURE

PITTSBURGH
1120 LINCEY STREET
PITTSBURGH, PA 15206
412.444.4624

COLUMBUS
1277 E BROAD STREET
COLUMBUS, OH 43205
614.760.7847

PRELIMINARY

NOT FOR CONSTRUCTION

PROJECT TITLE:

ZALLER RESIDENCE
40 W. SHORT STREET
WORTHINGTON, OH 43085

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ISSUED FOR:

1	12/16/22	ARB Submission

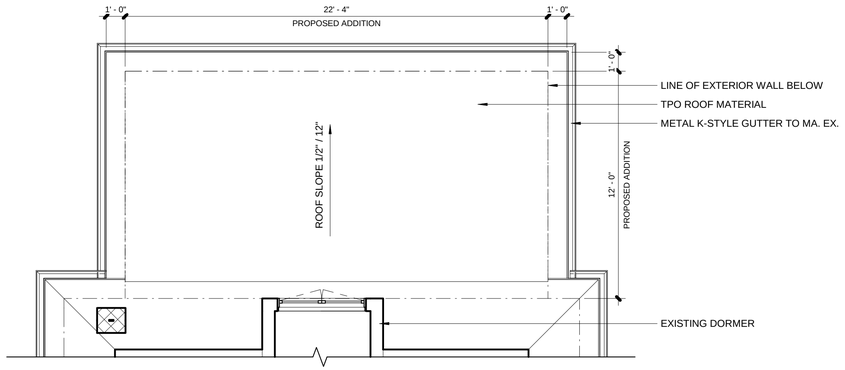
PROJECT NO:

SHEET TITLE:

SITE PLAN

SHEET NO:

A0.1



3 THIRD FLOOR CONSTRUCTION PLAN

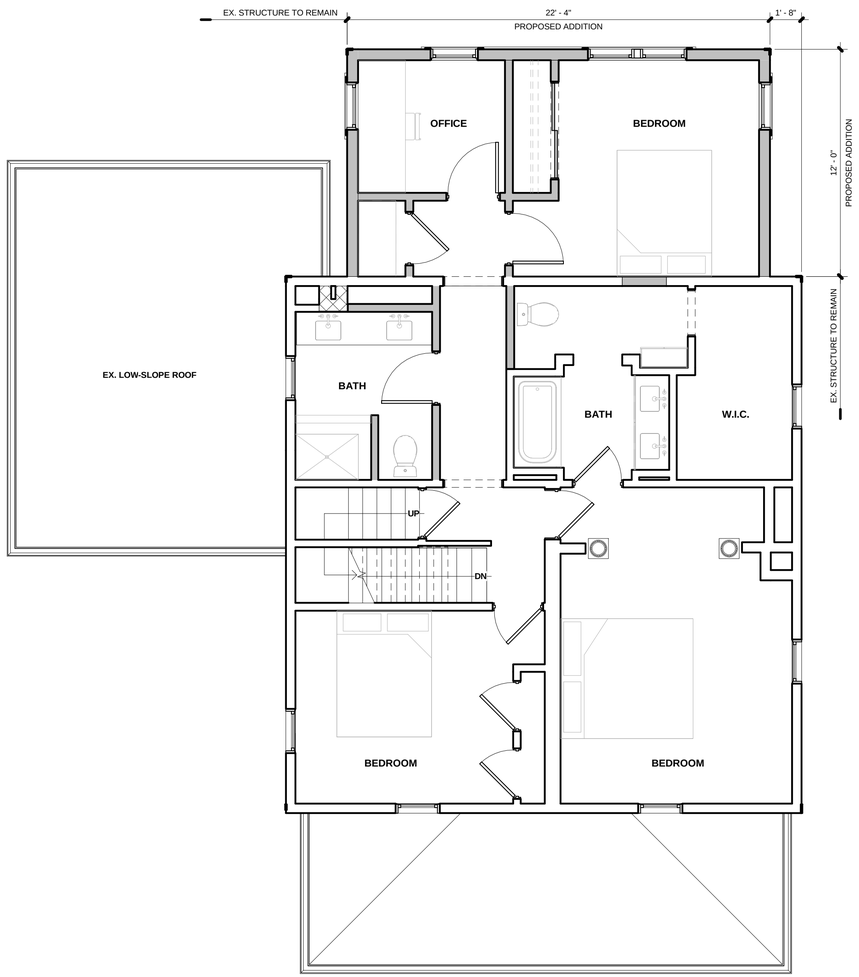
SCALE: 1/4" = 1'-0"

CONSTRUCTION PLAN LEGEND

EXISTING WALL CONSTRUCTION

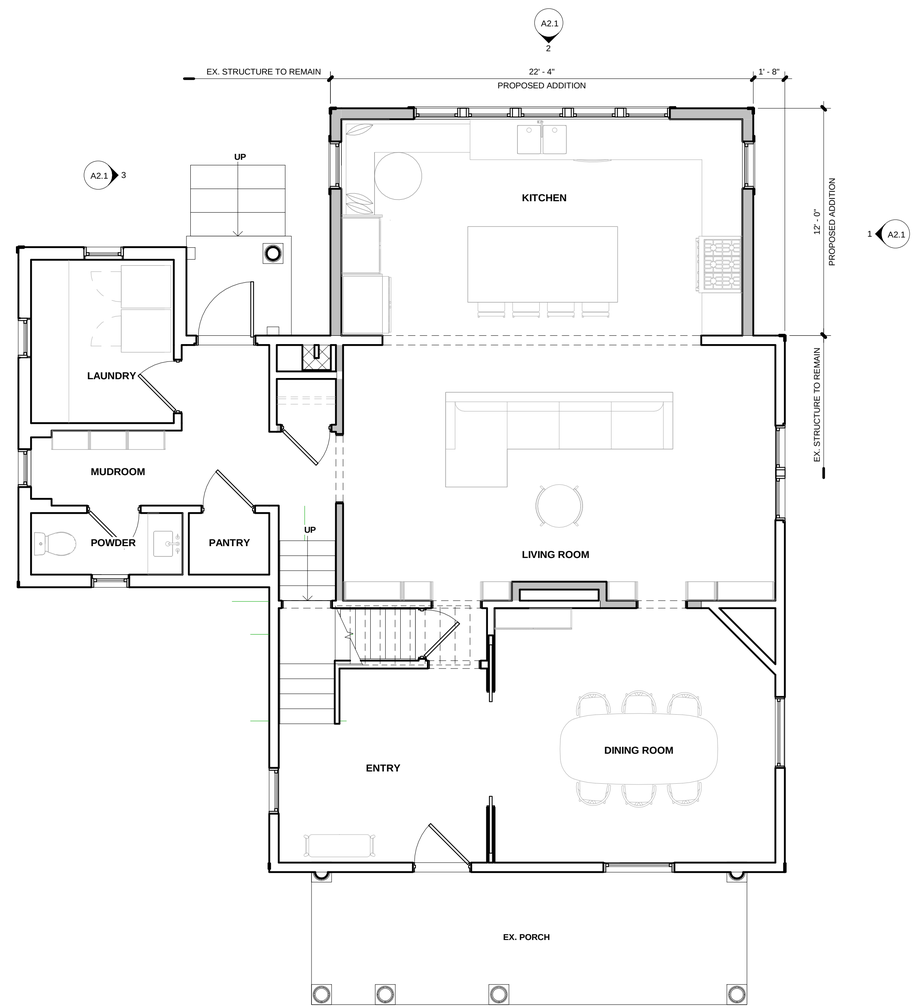
NEW INTERIOR PARTITION: SEE WALL TYPES

NOTES:



2 SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



1 FIRST FLOOR CONSTRUCTION PLAN

SCALE: 1/4" = 1'-0"

CITY OF WORTHINGTON

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DATE 12/13/2022

Midland ARCHITECTURE

PITTSBURGH
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COLUMBUS
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614.700.7947

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PROJECT TITLE:

ZALLER RESIDENCE
40 W. SHORT STREET
WORTHINGTON, OH 43085

ISSUED FOR:

1	12/16/22	ARB Submission

PROJECT NO:

SHEET TITLE:
CONSTRUCTION PLAN

SHEET NO:
A1.1

3 EXTERIOR ELEVATION - WEST FACING

SCALE: 1/4" = 1'-0"

1 EXTERIOR ELEVATION - EAST FACING

SCALE: 1/4" = 1'-0"

2 EXTERIOR ELEVATION - NORTH FACING

SCALE: 1/4" = 1'-0"

CITY OF WORTHINGTON

DRAWING NO. ARB 108-2022

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Midland ARCHITECTURE

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COLUMBUS
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PROJECT TITLE:

ZALLER RESIDENCE
40 W. SHORT STREET
WORTHINGTON, OH 43085

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ISSUED FOR:

1	12/16/22	ARB Submission

PROJECT NO:

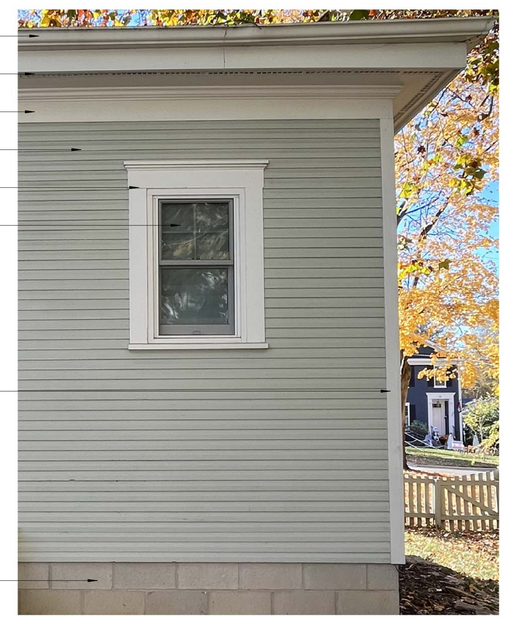
SHEET TITLE:

EXTERIOR ELEVATION

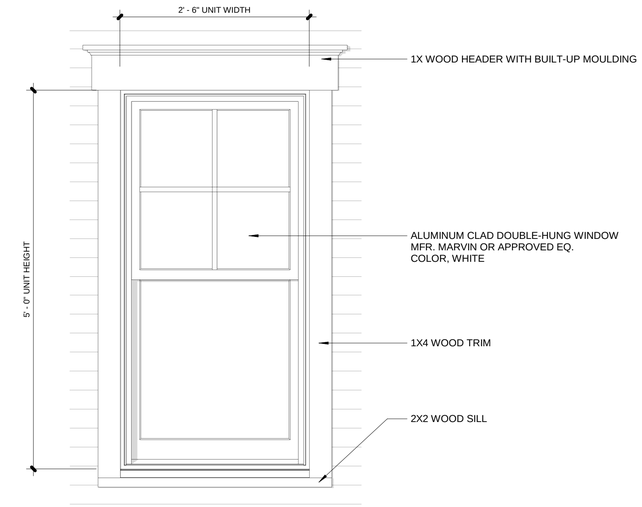
SHEET NO:

A2.1

EXISTING REAR FACADE PHOTOS



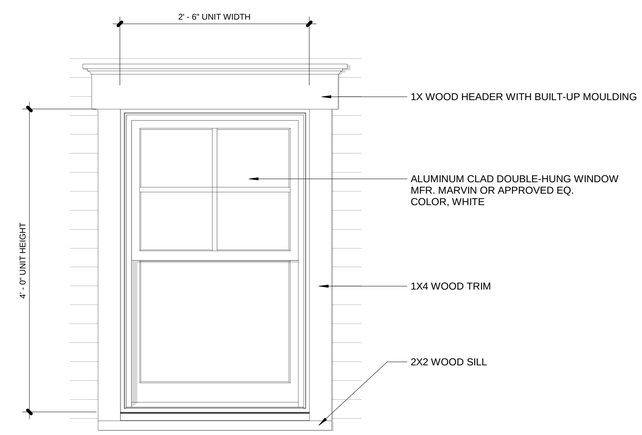
EXISTING REAR FACADE MATERIAL REFERENCE



SECOND FLOOR WINDOWS
ALUM-CLAD DOUBLE-HUNG
4-LITE OVER 1-LITE

2 WINDOW DETAIL

SCALE: 1" = 1'-0"



FIRST FLOOR WINDOWS
ALUM-CLAD DOUBLE-HUNG
4-LITE OVER 1-LITE

1 WINDOW DETAIL

SCALE: 1" = 1'-0"

CITY OF WORTHINGTON

DRAWING NO. ARB 108-2022

DATE 12/13/2022

Midland ARCHITECTURE

PITTSBURGH
1120 LINCEY STREET
PITTSBURGH, PA 15206
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COLUMBUS
1277 E BROAD STREET
COLUMBUS, OH 43205
614.700.7947

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PROJECT TITLE:

ZALLER RESIDENCE
40 W. SHORT STREET
WORTHINGTON, OH 43085

ISSUED FOR:

1	12/16/22	ARB Submission

PROJECT NO:

SHEET TITLE:
MATERIAL SHEET

SHEET NO:

DD1.1

ARB APPLICATION
ARB 0110-2022
108 E. Granville Rd.

Plan Type:	Architectural Review Board	**Project:**		**App Date:**	12/15/2022
Work Class:	Certificate of Appropriateness	**District:**	City of Worthington	**Exp Date:**	
Status:	In Review			**Completed:**	
Valuation:	$0.00			**Approval**	
				Expire Date:	

Description: The Village of Seventeen is looking to add an additional no parking sign to the property. Was told that we need to submit an ARB form for approval.

Parcel:	124379647	**Address:**	108 E Dublin-Granville Rd Worthington, OH 43085 Main	**Zone:**	AR-4.5(Low Density Apartment Residence)
	100-005335				
	HOA379647 Main				

Owner's Agent
Brandy Dygert
1221 Grandview Ave.
Columbus, OH 43212
Business: (614) 486-2933
Mobile: (614) 560-3971

Owner
Christine M Pencheff
108 E DUBLIN-GRANVILLE RD UNIT I
Worthington , OH 43085

Applicant
Morgan Welsh
1221 Grandview Ave.
Columbus, OH 43212
Mobile: (614) 486-2933

Invoice No.	Fee		Fee Amount	Amount Paid
INV-00003372	Architectural Review Board		$2.00	$2.00
		Total for Invoice INV-00003372	$2.00	$2.00
		Grand Total for Plan	**$2.00**	**$2.00**

108 E. Granville Rd.

CITY OF WORTHINGTON

DRAWING NO. ARB 110-2022

DATE 12/15/2022

CITY OF WORTHINGTON

DRAWING NO. ARB 110-2022

DATE 12/15/2022

ARB & CU APPLICATIONS
ARB 0109-2022 & CU 09-2022
60 E. Wilson Bridge Rd.

Plan Type: Architectural Review Board, Conditional Use

Project:

App Date: 12/13/2022

Work Class: Certificate of Appropriateness, Conditional Use Permit

District: City of Worthington

Exp Date:

Completed:

Status: In Review

Approval

Valuation: $2,400,000.00

Expire Date:

Description: Construction of a new Chick-fil-A restaurant with dual lane drive-thru, two free-standing canopies over the drive-thru, a dumpster enclosure that matches the building materials, a patio with seating and completely new parking lot. The traffic pattern in the area should remain relatively unchanged due to the large amount of traffic. The effect on public facilities should remain unchanged as the site currently operates as a restaurant. Sewerage will remain the same. Drainage facilities will be provided for stormwater management and water quality. Utilities are already provided to the site. Safety and health concerns should remain unchanged. There should be no increase in noise, odors or other noxious elements due to the project. Chick-fil-A operates Monday through Saturday from 6:30am to 10:00pm, closed Sunday. The site will provide landscape to meet the zoning code. The Chick-fil-A site and building will provide a compatible use and appearance with the general neighborhood.

Parcel: 100-002556 Main

Address: 60 E Wilson Bridge Rd Main
Worthington, OH 43085

Zone: C-4(Highway and Automotive Services)

Owner
Shaun Walker
Business: (404) 765-8000

Tenant
Buca di Beppo
Business: 6148488466

Applicant
Allan Wiley
565 White Pond Drive
Akron, OH 44320
Business: 3308) 360-228

Architect
Heather Simko
750 Old Hickory Blvd., 2-250
Brentwood, TN 37027
Business: (615) 376-9236
Mobile: (440) 315-6473

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003321	Architectural Review Board	$200.00	$200.00
	Total for Invoice INV-00003321	$200.00	$200.00
	Grand Total for Plan	**$200.00**	**$200.00**

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003322	Conditional Use Permit	$25.00	$25.00
	Total for Invoice INV-00003322	$25.00	$25.00
	Grand Total for Plan	**$25.00**	**$25.00**

60 E. Wilson Bridge Rd.

GBC DESIGN, INC.

565 White Pond Drive • Akron, OH 44320-1123 • Phone 330-836-0228 • Fax 330-836-5782 • www. GBCdesign.com

December 13, 2022

City of Worthington
Planning & Building Department
374 Highland Avenue
Worthington, Ohio 43085

Attention: R. Lee Brown, AICP
Director

Subject: Chick-fil-A #5269 Worthington, OH
GBC Project No. 55054

Mr. Brown,

Chick-fil-A intends to purchase and re-develop Parcel No. 100-002556 with a new Chick-fil-A restaurant and dual lane drive-thru. The parcel is currently occupied by a Buca di Beppo restaurant that will be razed. The Chick-fil-A will be situated on a parcel of approximately 2.30 acres located at the current address of 60 E. Wilson Bridge Road. The project will consist of a building approximately 5,028 s.f. in area with 74 seats inside and 16 seats outside, 85 parking spaces, a free-standing dumpster enclosure that will match the building materials and a multi-order point drive-thru with two free-standing canopies to service the drive-thru. Associated paving, grading and utility work will also be included with the project.

Chick-fil-A intends to reuse many of the existing utility services, but will need to install a new fire line for fire protection. This line will need to cross E. Wilson Bridge Road.

Chick-fil-A will be reducing the overall impervious area of the parcel, which will reduce the stormwater peak discharge from the parcel. A hydrodynamic separator will be installed to provide post-construction water quality for the project. The stormwater will discharge to the existing storm sewer within N. High Street.

The project is also intended to be heard before the Planning Commission for a Conditional Use Permit and the Board of Zoning Appeals to request reduced setbacks for the dumpster enclosure and drive-thru canopies.

Chick-fil-A intends to purchase the property in May 2023, start construction in August 2026 and have a grand opening in February 2027.

If you need any additional information, please contact me.

Sincerely,

Allan S. Wiley, P.E.

c: file

CITY OF WORTHINGTON

DRAWINGS NO. ARB 109-2022
CU 09-2022

DATE 12/13/2022

NOTE: FOR CONCRETE PAVEMENT CONSTRUCTION – SEE JOINTING DETAILS 7, 8, 9, & 10 ON SHEET C–410 AND DETAIL 1 ON SHEET C–440

SITE PLAN DESIGN NOTES & KEY PLAN

1	PAINTED DIRECTIONAL ARROW	DETAIL 1/C–400
2	PAINTED DRIVE–THRU GRAPHICS	DETAIL 2/C–400
3	~~PAINTED STOP LINE GRAPHIC~~	~~DETAIL 2/C–400~~
4	PAINTED ACCESSIBILITY PARKING SYMBOL	DETAIL 1/C–400
5	ACCESSIBLE PARKING STALL	DETAIL 3&4/C–400
5A	~~60" PARKING STALL~~	~~DETAIL 4/C–400~~
5B	90" PARKING STALL	DETAIL 3/C–400
6	DIRECTIONAL SIGNAGE (SEE SIGNAGE PACKAGE)	DETAIL 7/C–400
6A	"STOP" SIGN (SEE SIGNAGE PACKAGE)	DETAIL 8/C–400
6B	"ACCESSIBLE PARKING" SIGN (SEE SIGNAGE PACKAGE)	DETAIL 6/C–400
6C	~~"CURBSIDE DELIVERY" (SEE SIGNAGE PACKAGE)~~	
6D	~~"RIGHT TURN ONLY" SIGN (SEE SIGNAGE PACKAGE)~~	~~DETAIL 7C/C–400~~
6E	~~"ONE WAY" SIGN (USE APPLICABLE DIRECTION) (SEE SIGNAGE PACKAGE)~~	~~DETAIL 7E/C–400~~
6F	~~"LEFT TURN ONLY" SIGN (SEE SIGNAGE PACKAGE)~~	~~DETAIL 7B/C–400~~
6G	"PEDESTRIAN CROSSWALK" SIGN (SEE SIGNAGE PACKAGE)	DETAIL 7D/C–400
6H	"DO NOT ENTER" SIGN (SEE SIGNAGE PACKAGE)	DETAIL 7F/C–400
6I	~~"NO PARKING" SIGN (SEE SIGNAGE PACKAGE)~~	
6J	~~"TWO ORDER LANES" SIGN (SEE SIGNAGE PACKAGE)~~	
6K	~~"MEAL DELIVERY ZONE" SIGN~~	~~DETAIL 58/C–440~~
6L	BOLLARD MOUNTED SIGN	DETAIL 5/C–400
7	SIDEWALK ACCESSIBLE RAMP	DETAIL 3/C–410
8	~~CURB RAMP WITH FLARED SIDES~~	~~DETAIL 2/C–410~~
9	CURB RAMP WITH SHORT FLARED SIDES	DETAIL 1/C–410
10	~~DETECTABLE WARNING DEVICE~~	~~DETAIL 4/C–410~~
11	CONCRETE SIDEWALK	DETAIL 9/C–400
12	SIDEWALK WITH CURB & GUTTER	DETAIL 10/C–400
13	~~DRIVE–THRU PLAN – 2" BELOW FFE~~	~~DETAIL 12/C–430~~
13A	DRIVE–THRU PLAN – FLUSH WITH FFE	DETAIL 8/C–430
14	DRIVE–THRU ISOMETRIC	DETAIL 9/C–430
15	~~SOLID PLASTIC WHEEL STOP~~	~~DETAIL 5/C–410~~
16	LANDSCAPE & IRRIGATION PROTECTOR	DETAIL 16/C–440
17	CONCRETE CURB & GUTTER – TYPE "B"	DETAIL 11A/C–400
18	~~CONCRETE CURB & GUTTER – TYPE "I" MOUNTABLE~~	~~DETAIL 11B/C–400~~
19	~~ROLLOVER/MOUNTABLE CURB~~	~~DETAIL 11/C–430~~
20	SCREENED REFUSE ENCLOSURE	DETAIL 2/C–430
21	~~SCREENED REFUSE ENCLOSURE STAGGERED~~	~~DETAIL 3/C–430~~
22	~~SCREENED REFUSE ENCLOSURE ALTERNATE DRAINAGE~~	~~DETAIL 4/C–430~~
23	CONCRETE BOLLARD	DETAIL 5/C–420
24	TYPICAL ASPHALT PAVEMENT SECTION	DETAIL 3/C–420
25	CONCRETE PAVING DRIVE–THRU LANE	DETAIL 2/C–420
26	~~CONCRETE PAVEMENTS~~	~~DETAIL 12/C–400~~
27	CONCRETE APRON @ TRASH ENCLOSURE	DETAIL 12/C–410
28	ALUMINUM HANDRAIL	DETAIL 8/C–420
29	~~TYPICAL ADA RAMP AND HANDRAIL~~	~~DETAIL 9/C–420~~
30	EXPANSION JOINT	DETAIL 6/C–410
31	~~MULTI–LANE DIRECTIONAL GRAPHICS~~	~~DETAIL 6/C–420~~
32	CROSSWALK MARKING	DETAIL 7/C–420
33	DRIVE–THRU ORDER POINT ISLAND	DETAIL 7/C–430
34	MENU BOARD LOOP DETECTION SYSTEM	DETAIL 5 & 6/C–430
35	5'x5' LANDING AND ENTRY DOOR FROST SLAB	DETAIL 1/C–430
36	GREASE TRAP (SEE UTILITY PLAN)	
37	BUILDING DOWNSPOUT CONNECTION (TO CONNECT TO SITE DRAINAGE SYSTEM)	DETAIL 10/C–420
38	LANDSCAPED AREA (SEE LANDSCAPE PLAN)	
39	DRIVE–THRU CLEARANCE BAR	DETAIL 10/C–430
40	TYPICAL SECTION AT STORM/SANITARY STRUCTURE	DETAIL 12/C–420
40A	STORM WEEP HOLE DETAIL	DETAIL 51/52/C–440
41	PAVEMENT STRIPING AREA	DETAIL 41/C–440
42	THICKENED SLAB EDGE AT RAILING CORE–DRILLS	DETAIL 42/C–440
43	~~CONCRETE FLUME~~	~~DETAIL 43/C–440~~
44	~~EX. ASPHALT / PROP. CONCRETE INTERFACE~~	~~DETAIL 44/C–440~~
45	BUTT JOINT (ASPHALT)	DETAIL 4/C–420
45A	~~BUTT JOINT (CONCRETE)~~	~~DETAIL 1/C–440~~
46	PAVEMENT EDGE DETAIL	DETAIL 11/C–410
47	SINGLE BIKE RACK	DETAIL 47/C–440
48	TRANSFORMER	
49	CHICK–FIL–A PRIME SIGN (SEE SIGNAGE PACKAGE)	
50	FLAGPOLE (SEE SIGNAGE PACKAGE)	
51	~~RETAINING WALL WITH 42" HANDRAIL ON TOP~~	
52	OUTDOOR PATIO SPACE. SEE ARCHITECTURAL PLANS SHEET A–101	
53	4" THICK CONCRETE STRIP BETWEEN BUILDING AND BACK OF CURB	
54	~~4" THICK CONCRETE STRIP BETWEEN CURBS~~	
55	4" WIDE PAINT STRIPE	
56	CURB & GUTTER AT ACCESSIBLE RAMP	DETAIL 56/C–440
57	MAGNETIC DELINEATOR	DETAIL 57/C–440
58	CASH STATION LOCATION	
59	PROPOSED F2F CANOPY – SEE CANOPY PLANS	
60	PROPOSED OMD CANOPY – SEE CANOPY PLANS	
61	OMIT BLOCKS AT REAR OF DUMPSTER ENCLOSURE. SEE DETAIL SHEET C–430	
62	STORM SEWER CLEANOUT DETAIL	DETAIL 62/C–440
63	STRIPING PER CHICK–FIL–A DUAL FLEX LANE REQUIREMENTS	
64	RETURNED CURB ACCESSIBLE RAMP	DETAIL 64/C–440

PARCEL ID: 100–002556–00 & 100–002595–00

TOTAL PARCEL SIZE: 2.3011 AC.

ZONING INFORMATION:

EXISTING ZONING:	C–4 (HIGHWAY & AUTOMOTIVE SERVICES)	
EXISTING LAND USE:	RESTAURANT	
PROPOSED LAND USE:	FAST–FOOD RESTAURANT	
HEIGHT DISTRICT:	45'	
ADJACENT ZONING & LAND USE	ZONING	LAND USE
FRONT (W)	C4	N. HIGH ST.
FRONT (E)	C4	E. WILSON BRIDGE RD
SIDE (S)	C4	ECONO LODGE
SIDE (N)	C4	MCDONALD'S

REQUIRED SETBACKS

	BUILDING	LANDSCAPING
FRONT (E)	50'	50'
FRONT (W)	50'	50'
SIDE (N)	15'	N/A
SIDE (S)	15'	N/A

BUILDING DIMENSIONS (SEE SITE LAYOUT PLAN)
SQUARE FOOTAGE AREA (GROSS) 5,028 S.F.
NUMBER OF SEATS 74 INDOOR & 16 OUTDOOR
NUMBER OF STORIES SINGLE/ONE (1)

PARKING SUMMARY: PROPOSED CONDITIONS

PARKING CALCULATIONS:
MINIMUM = 1 SPACE PER 75 GROSS S.F.
MAXIMUM = 125% OF MINIMUM

MINIMUM PARKING REQUIRED:
5,028 S.F. / 75 S.F. x 1 SPACE = 68 SPACES MIN.

MAXIMUM PARKING ALLOWED:
68 SPACES x 125% = 85 SPACES MAXIMUM

PARKING PROVIDED:
STANDARD SPACES: 81
ADA SPACES: 4
TOTAL PARKING: 85

LEGEND

- PROP. FIRE HYDRANT
- EX. FIRE HYDRANT
- PROP. VALVE
- EX. VALVE
- PROP. MANHOLE
- EX. MANHOLE
- PROP. INLET
- EX. BOX INLET
- EX. LIGHT POLE
- PROP. LIGHT POLE
- PROP. ACCESSIBLE RAMP – RAMP IS NOT TO BE SCORED OR GROOVED
- EX. CURB
- PROP. CURB & GUTTER
- PROP. ASPHALT PAVEMENT
- PROP. CONCRETE PAVEMENT/WALK

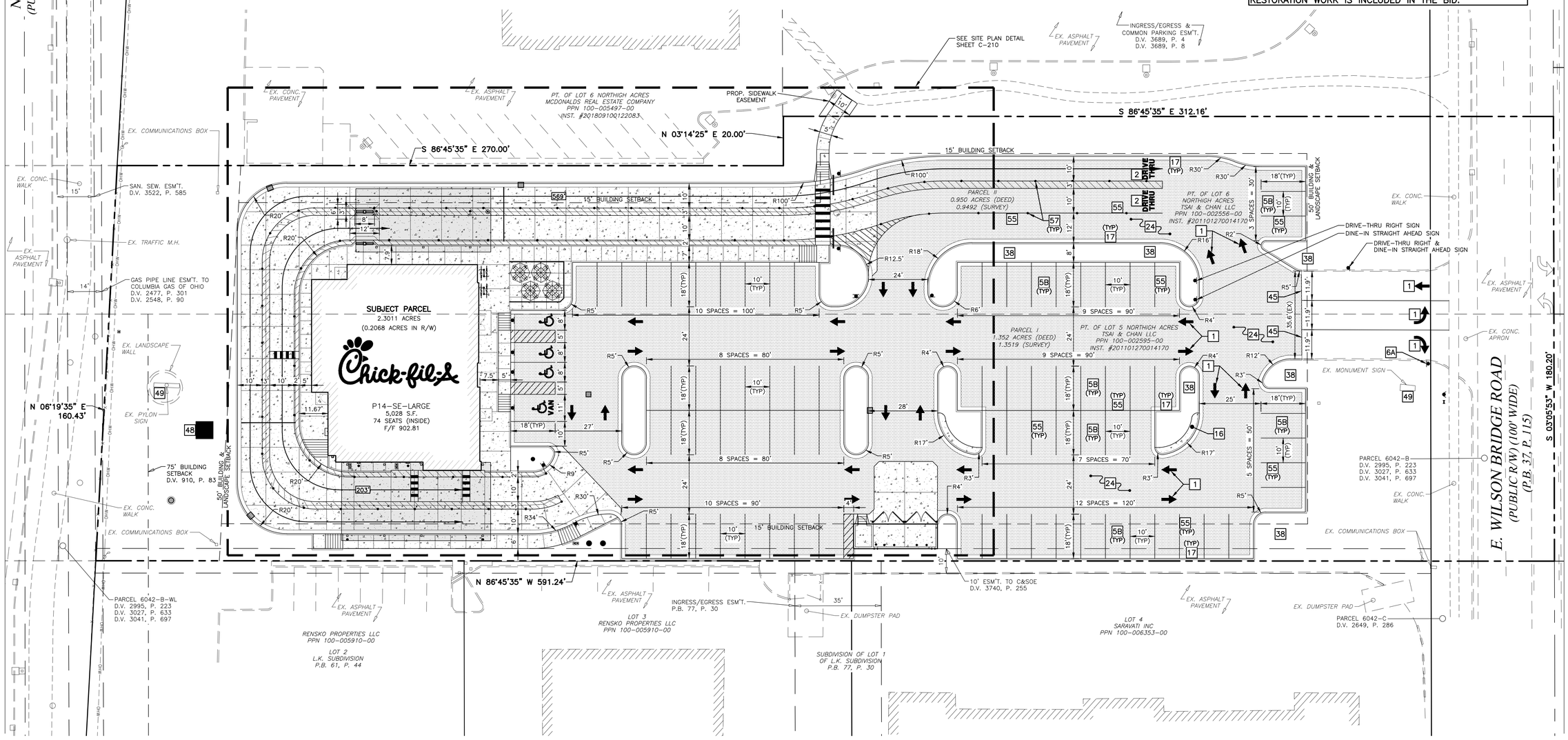
N

0 5 10 15 20 40

SCALE: 1" = 20'

FLOOD ZONE DESIGNATION: SUBJECT PARCEL LIES IN FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) PER FLOOD INSURANCE RATE MAP NO. 39049C0157K WITH AN EFFECTIVE DATE OF JUNE 17, 2008.

CONTRACTOR RESPONSIBLE TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITY TIE–INS AND CROSSINGS AS SHOWN ON SITE PLANS (SANITARY, STORM, WATER, GAS, ELECTRIC, PHONE, ETC.) PRIOR TO THE START OF CONSTRUCTION. CONTACT ALLAN WILEY AT GBC DESIGN, INC., 330–836–0228, WITH ANY CONCERNS OR CONFLICTS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO VERIFY THE THICKNESS OF ANY OFF–SITE PAVEMENT (ASPHALT AND CONCRETE) AND SIDEWALK SO THE RESTORATION WORK IS INCLUDED IN THE BID.



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

GBC DESIGN, INC.
565 White Pond Dr. Akron, OH 44320-1123
Phone 330-836-0228 Fax 330-836-5782

CITY OF WORTHINGTON

DRAWINGS NO. ARB 109-2022
CU 09-2022

DATE 12/13/2022

CHICK-FIL-A
WORTHINGTON FSU
60 E. WILSON BRIDGE ROAD
WESTERVILLE, OHIO 43085

FSU# 05269

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

GBC PROJECT #	55054
PRINTED FOR	PCR Plan
DATE	10/26/22
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PCR Plan

SHEET
SITE PLAN

SHEET NUMBER
C-200

NOTE: FOR CONCRETE PAVEMENT CONSTRUCTION – SEE JOINTING DETAILS 7, 8, 9, & 10 ON SHEET C-410 AND DETAIL 1 ON SHEET C-440

SITE PLAN DESIGN NOTES & KEY PLAN

1	PAINTED DIRECTIONAL ARROW	DETAIL 1/C-400
2	PAINTED DRIVE-THRU GRAPHICS	DETAIL 2/C-400
~~3~~	~~PAINTED STOP LINE GRAPHIC~~	~~DETAIL 2/C-400~~
4	PAINTED ACCESSIBILITY PARKING SYMBOL	DETAIL 1/C-400
5	ACCESSIBLE PARKING STALL	DETAIL 3&4/C-400
~~5A~~	~~60° PARKING STALL~~	~~DETAIL 4/C-400~~
5B	90° PARKING STALL	DETAIL 3/C-400
6	DIRECTIONAL SIGNAGE (SEE SIGNAGE PACKAGE)	DETAIL 7/C-400
6A	"STOP" SIGN (SEE SIGNAGE PACKAGE)	DETAIL 8/C-400
6B	"ACCESSIBLE PARKING" SIGN (SEE SIGNAGE PACKAGE)	DETAIL 6/C-400
~~6C~~	~~"CURBSIDE DELIVERY" (SEE SIGNAGE PACKAGE)~~	
~~6D~~	~~"RIGHT TURN ONLY" SIGN (SEE SIGNAGE PACKAGE)~~	~~DETAIL 7C/C-400~~
~~6E~~	~~"ONE WAY" SIGN (USE APPLICABLE DIRECTION) (SEE SIGNAGE PACKAGE)~~	~~DETAIL 7E/C-400~~
~~6F~~	~~"LEFT TURN ONLY" SIGN (SEE SIGNAGE PACKAGE)~~	~~DETAIL 7B/C-400~~
6G	"PEDESTRIAN CROSSWALK" SIGN (SEE SIGNAGE PACKAGE)	DETAIL 7D/C-400
6H	"DO NOT ENTER" SIGN (SEE SIGNAGE PACKAGE)	DETAIL 7F/C-400
~~6I~~	~~"NO PARKING" SIGN (SEE SIGNAGE PACKAGE)~~	
~~6J~~	~~"TWO ORDER LANES" SIGN (SEE SIGNAGE PACKAGE)~~	
~~6K~~	~~"MEAL DELIVERY ZONE" SIGN~~	~~DETAIL 5B/C-440~~
6L	BOLLARD MOUNTED SIGN	DETAIL 5/C-400
7	SIDEWALK ACCESSIBLE RAMP	DETAIL 3/C-410
~~8~~	~~CURB RAMP WITH FLARED SIDES~~	~~DETAIL 2/C-410~~
9	CURB RAMP WITH SHORT FLARED SIDES	DETAIL 1/C-410
~~10~~	~~DETECTABLE WARNING DEVICE~~	~~DETAIL 4/C-410~~
11	CONCRETE SIDEWALK	DETAIL 9/C-400
12	SIDEWALK WITH CURB & GUTTER	DETAIL 10/C-400
~~13~~	~~DRIVE-THRU PLAN – 2" BELOW FFE~~	~~DETAIL 12/C-430~~
13A	DRIVE-THRU PLAN – FLUSH WITH FFE	DETAIL 8/C-430
14	DRIVE-THRU ISOMETRIC	DETAIL 9/C-430
~~15~~	~~SOLID PLASTIC WHEEL STOP~~	~~DETAIL 5/C-410~~
16	LANDSCAPE & IRRIGATION PROTECTOR	DETAIL 16/C-440
17	CONCRETE CURB & GUTTER – TYPE "B"	DETAIL 11A/C-400
~~18~~	~~CONCRETE CURB & GUTTER – TYPE "H" MOUNTABLE~~	~~DETAIL 11B/C-400~~
~~19~~	~~ROLLOVER/MOUNTABLE CURB~~	~~DETAIL 11/C-430~~
20	SCREENED REFUSE ENCLOSURE	DETAIL 2/C-430
~~21~~	~~SCREENED REFUSE ENCLOSURE STAGGERED~~	~~DETAIL 3/C-430~~
~~22~~	~~SCREENED REFUSE ENCLOSURE ALTERNATE DRAINAGE~~	~~DETAIL 4/C-430~~
23	CONCRETE BOLLARD	DETAIL 5/C-420
24	TYPICAL ASPHALT PAVEMENT SECTION	DETAIL 3/C-420
25	CONCRETE PAVING DRIVE-THRU LANE	DETAIL 2/C-420
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27	CONCRETE APRON @ TRASH ENCLOSURE	DETAIL 12/C-410
28	ALUMINUM HANDRAIL	DETAIL 8/C-420
~~29~~	~~TYPICAL ADA RAMP AND HANDRAIL~~	~~DETAIL 9/C-420~~
30	EXPANSION JOINT	DETAIL 6/C-410
~~31~~	~~MULTI-LANE DIRECTIONAL GRAPHICS~~	~~DETAIL 6/C-420~~
32	CROSSWALK MARKING	DETAIL 7/C-420
33	DRIVE-THRU ORDER POINT ISLAND	DETAIL 7/C-430
34	MENU BOARD LOOP DETECTION SYSTEM	DETAIL 5 & 6/C-430
35	5'x5' LANDING AND ENTRY DOOR FROST SLAB	DETAIL 1/C-430
36	GREASE TRAP (SEE UTILITY PLAN)	
37	BUILDING DOWNSPOUT CONNECTION (TO CONNECT TO SITE DRAINAGE SYSTEM)	DETAIL 10/C-420
38	LANDSCAPED AREA (SEE LANDSCAPE PLAN)	
39	DRIVE-THRU CLEARANCE BAR	DETAIL 10/C-430
40	TYPICAL SECTION AT STORM/SANITARY STRUCTURE	DETAIL 12/C-420
40A	STORM WEEP HOLE DETAIL	DETAIL 51/52/C-440
41	PAVEMENT STRIPING AREA	DETAIL 41/C-440
42	THICKENED SLAB EDGE AT RAILING CORE-DRILLS	DETAIL 42/C-440
~~43~~	~~CONCRETE FLUME~~	~~DETAIL 43/C-440~~
~~44~~	~~EX. ASPHALT / PROP. CONCRETE INTERFACE~~	~~DETAIL 44/C-440~~
45	BUTT JOINT (ASPHALT)	DETAIL 4/C-420
~~45A~~	~~BUTT JOINT (CONCRETE)~~	~~DETAIL 1/C-440~~
46	PAVEMENT EDGE DETAIL	DETAIL 11/C-410
47	SINGLE BIKE RACK	DETAIL 47/C-440
48	TRANSFORMER	
49	CHICK-FIL-A PRIME SIGN (SEE SIGNAGE PACKAGE)	
50	FLAGPOLE (SEE SIGNAGE PACKAGE)	
~~51~~	~~RETAINING WALL WITH 42" HANDRAIL ON TOP~~	
52	OUTDOOR PATIO SPACE. SEE ARCHITECTURAL PLANS SHEET A-101	
53	4" THICK CONCRETE STRIP BETWEEN BUILDING AND BACK OF CURB	
~~54~~	~~4" THICK CONCRETE STRIP BETWEEN CURBS~~	
55	4" WIDE PAINT STRIPE	
56	CURB & GUTTER AT ACCESSIBLE RAMP	DETAIL 56/C-440
57	MAGNETIC DELINEATOR	DETAIL 57/C-440
58	CASH STATION LOCATION	
59	PROPOSED F2F CANOPY – SEE CANOPY PLANS	
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61	OMIT BLOCKS AT REAR OF DUMPSTER ENCLOSURE. SEE DETAIL SHEET C-430	
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63	STRIPING PER CHICK-FIL-A DUAL FLEX LANE REQUIREMENTS	
64	RETURNED CURB ACCESSIBLE RAMP	DETAIL 64/C-440

CONTRACTOR RESPONSIBLE TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITY TIE-INS AND CROSSINGS AS SHOWN ON SITE PLANS (SANITARY, STORM, WATER, GAS, ELECTRIC, PHONE, ETC.) PRIOR TO THE START OF CONSTRUCTION. CONTACT ALLAN WILEY AT GBC DESIGN, INC., 330-836-0228, WITH ANY CONCERNS OR CONFLICTS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO VERIFY THE THICKNESS OF ANY OFF-SITE PAVEMENT (ASPHALT AND CONCRETE) AND SIDEWALK SO THE RESTORATION WORK IS INCLUDED IN THE BID.

EXISTING AREA TABULATION

IMPERVIOUS AREA	
BUILDINGS	= 9,198
ASPHALT PAVEMENT	= 58,537 S.F.
CONCRETE PAVEMENT	= 5,620 S.F.
SUBTOTAL	= 73,355 S.F (73.18%)
PERVIOUS AREA	
LANDSCAPE/PLANTING	= 26,881 S.F. (26.82%)
TOTAL AREA	= 100,236 S.F. (2.30 AC.)

NEW DEVELOPMENT AREA TABULATION

IMPERVIOUS AREA	
BUILDINGS	= 5,028 S.F.
ASPHALT PAVEMENT	= 44,172 S.F.
CONCRETE PAVEMENT	= 23,507 S.F.
SUBTOTAL	= 72,707 S.F. (72.54%)
PERVIOUS AREA	
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LEGEND

- PROP. FIRE HYDRANT
- EX. FIRE HYDRANT
- PROP. VALVE
- EX. VALVE
- PROP. MANHOLE
- EX. MANHOLE
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- EX. BOX INLET
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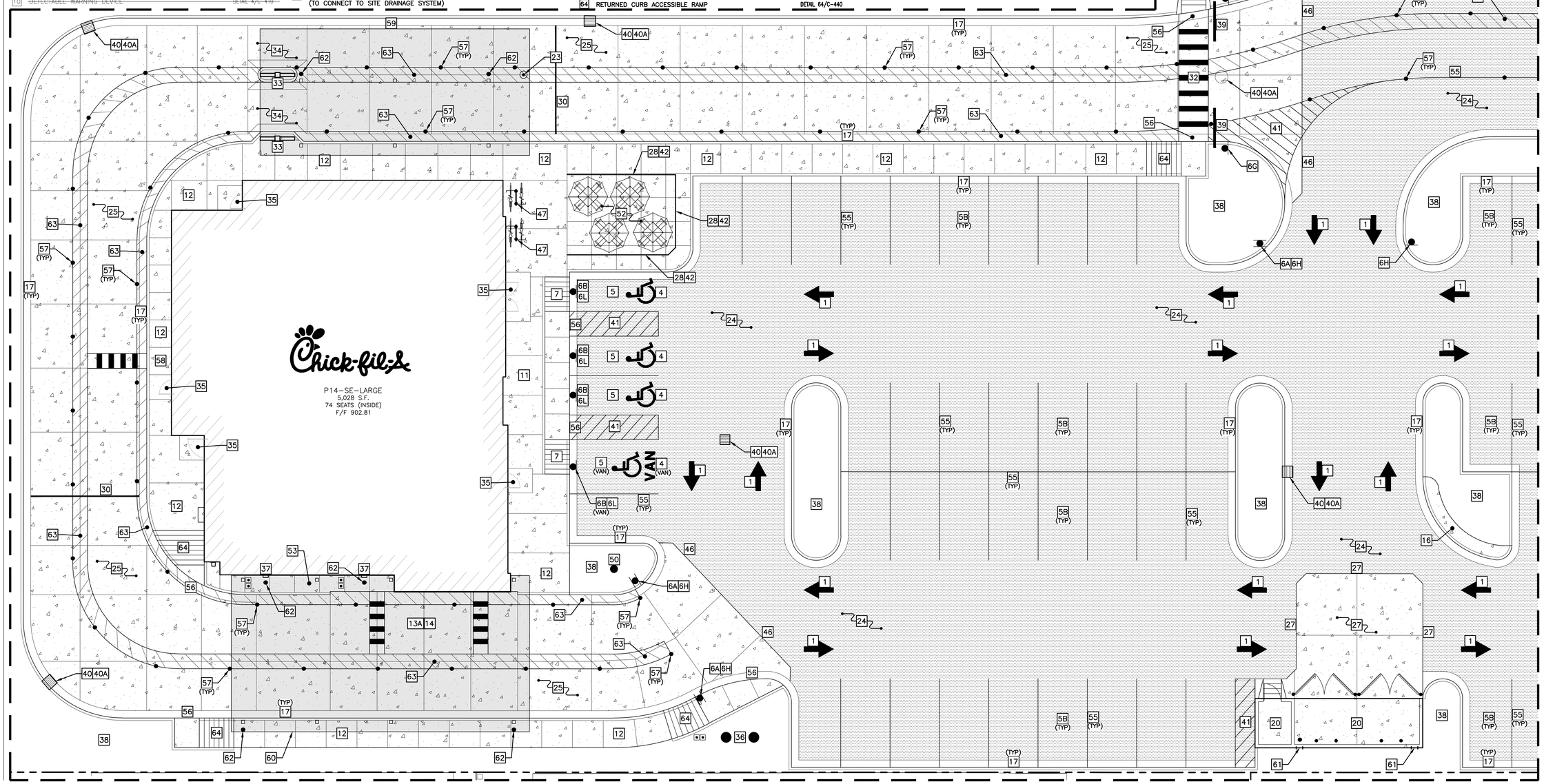
- PROP. CONCRETE PAVEMENT/WALK

SCALE: 1" = 10'



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

GBC DESIGN, INC.
565 White Pond Dr. Akron, OH 44320-1123
Phone 330-836-0228 Fax 330-836-5782

CITY OF WORTHINGTON

DRAWINGS NO. ARB 109-2022
CU 09-2022

DATE 12/13/2022

CHICK-FIL-A
WORTHINGTON FSU
60 E. WILSON BRIDGE ROAD
WESTERVILLE, OHIO 43085

FSU# 05269

REVISION SCHEDULE

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PCR Plan

SHEET
SITE PLAN DETAIL

SHEET NUMBER
C-210

NOTE: FOR CONCRETE PAVEMENT CONSTRUCTION – SEE JOINTING DETAILS 7, 8, 9, & 10 ON SHEET C-410 AND DETAIL 1 ON SHEET C-440

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N

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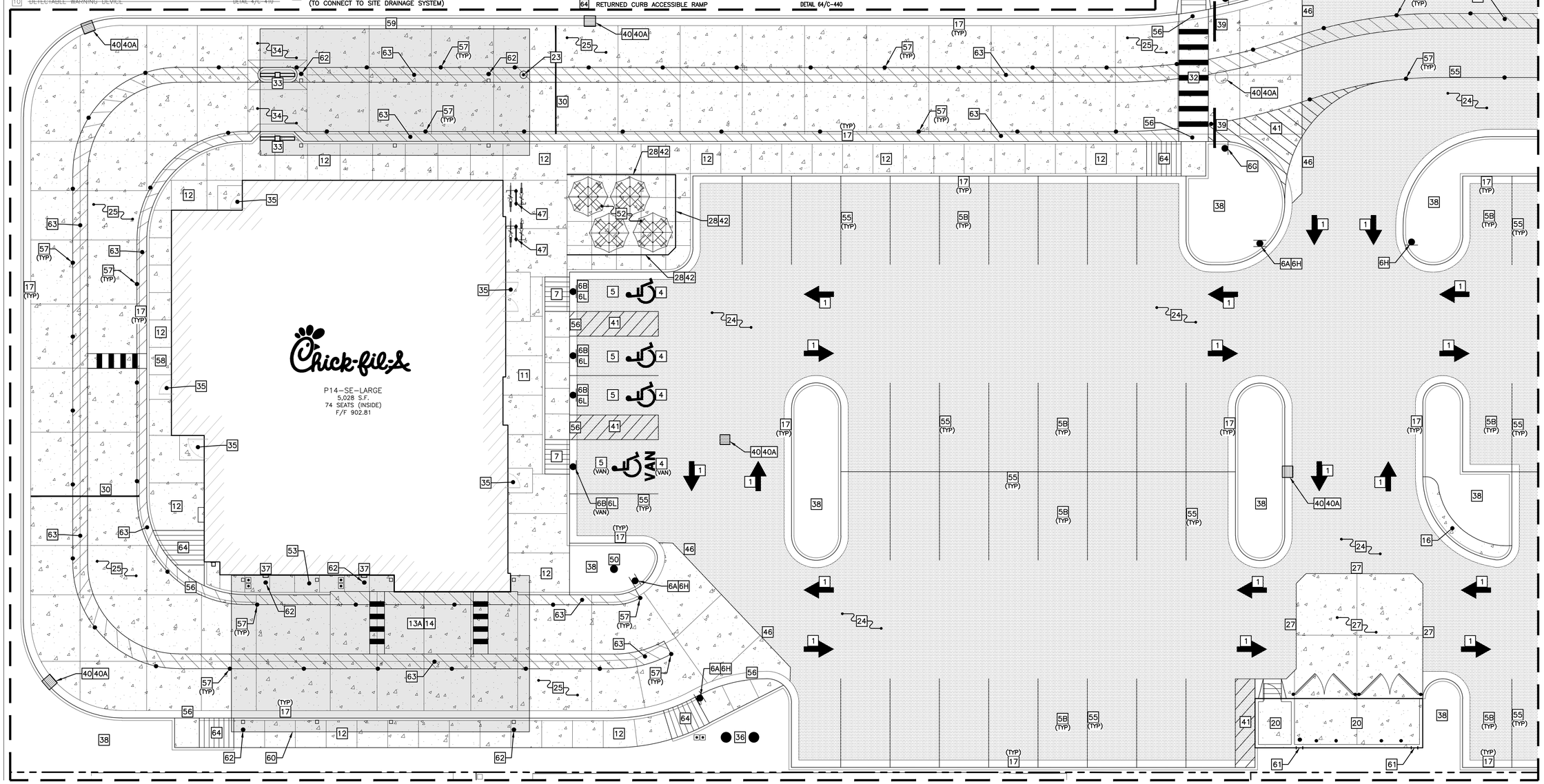
SCALE: 1" = 10'



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565 White Pond Dr. Akron, OH 44320-1123
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CITY OF WORTHINGTON

DRAWINGS NO. ARB 109-2022
CU 09-2022

DATE 12/13/2022

CHICK-FIL-A
WORTHINGTON FSU
60 E. WILSON BRIDGE ROAD
WESTERVILLE, OHIO 43085

FSU# 05269

REVISION SCHEDULE

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PCR Plan

SHEET
SITE PLAN DETAIL

SHEET NUMBER
C-210

EXISTING STORM SEWER STRUCTURE SCHEDULE

1. EX. CURB INLET
   TOP 907.64
   INV. 904.86, 12" NE
2. EX. CURB INLET
   TOP 907.90
   INV. 904.63, 12" E
3. EX. DOUBLE CURB INLET
   TOP 898.53
   INV. 893.40, 12" N
   INV. 893.27, 12" S
4. EX. CURB INLET
   TOP 898.75
   INV. 892.80, 12" S
   INV. 892.80, 12" N
5. EX. CURB INLET
   TOP 897.75
   INV. 891.53, 12" S
   INV. 891.53, 12" N
6. EX. CURB INLET
   TOP 896.70
   INV. 890.65, 12" N
   INV. 890.65, 12" S
7. EX. STM. M.H.
   TOP 896.30
   INV. 889.58, 24" N
   INV. 889.58, 24" S
8. EX. STM. M.H.
   TOP 898.71
   INV. 892.40, 24" S
   INV. 892.40, 24" N
9. EX. CATCH BASIN
   TOP 898.36
   INV. 894.24, 12" W
   INV. 894.36, 12" E
10. EX. RND. INLET
    TOP 901.20
    INV. 898.10, 12" N
    INV. 900.40, 4" S

GRADING & UTILITY NOTES

1. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. ALL PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. ALL UTILITIES AND SERVICES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
4. DEFINE AND LOCATE VERTICALLY AND HORIZONTALLY ALL ACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.
5. THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
6. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS/DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE UTILITY SERVICE SIZES ARE TO BE DETERMINED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND ENSURE PROPER DEPTHS ARE ACHIEVED. THE JURISDICTION UTILITY REQUIREMENTS SHALL ALSO BE MET, AS WELL AS COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME.
7. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
8. ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.
9. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL BE SUBMITTED IN COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER OR OWNER'S REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT.
10. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION SHALL BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND SHALL BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS.
11. THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
12. PAVEMENT SHALL BE SAW CUT IN STRAIGHT LINES TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS SHALL BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
13. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS SHALL BE ADJUSTED, IF REQUIRED, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS.
14. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MINIMUM SLOPE ALONG ALL ISLANDS, GUTTERS, AND CURBS; 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITHOUT NOTIFICATION IS DONE SO AT THE CONTRACTOR'S OWN RISK.
15. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.75% GUTTER GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION.
16. IN CASE OF DISCREPANCIES BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE. IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICTS.
17. CONTRACTOR SHALL BE REQUIRED TO SECURE ALL NECESSARY PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR SHALL SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING WORK.

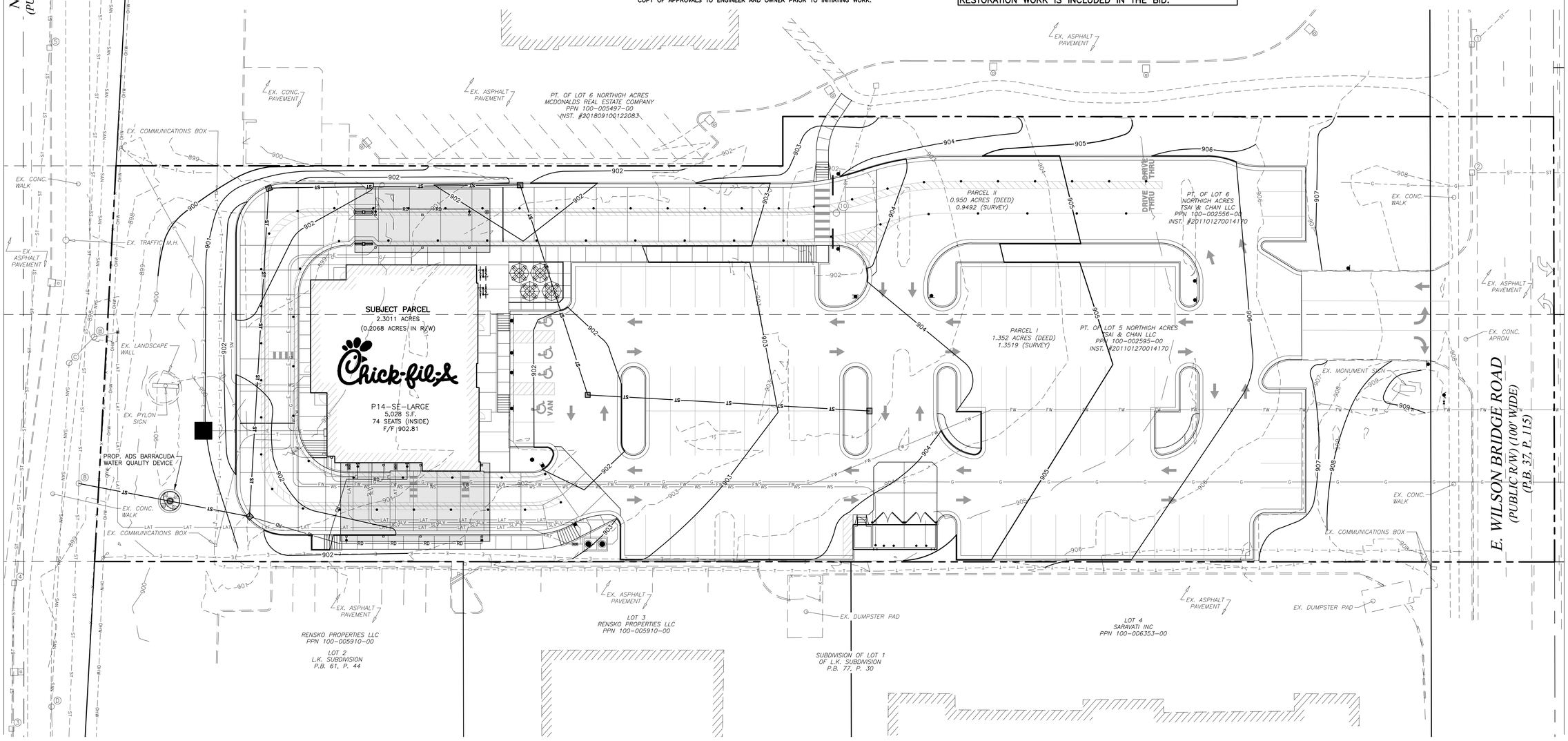
FLOOD ZONE DESIGNATION: SUBJECT PARCEL LIES IN FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) PER FLOOD INSURANCE RATE MAP NO. 3904930157K WITH AN EFFECTIVE DATE OF JUNE 17, 2008.

CONTRACTOR RESPONSIBLE TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITY TIE-INS AND CROSSINGS AS SHOWN ON SITE PLANS (SANITARY, STORM, WATER, GAS, ELECTRIC, PHONE, ETC.) PRIOR TO THE START OF CONSTRUCTION. CONTACT ALLAN WILEY AT GBC DESIGN, INC., 330-836-0228, WITH ANY CONCERNS OR CONFLICTS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO VERIFY THE THICKNESS OF ANY OFF-SITE PAVEMENT (ASPHALT AND CONCRETE) AND SIDEWALK SO THE RESTORATION WORK IS INCLUDED IN THE BID.

LEGEND

- PROP. FDC
- EX. FIRE HYDRANT
- PROP. VALVE
- EX. VALVE
- PROP. MANHOLE
- EX. MANHOLE
- PROP. INLET
- EX. INLET
- 000.00 — EX. GRADE
- 00.00 / 00.00 — PROP. TOP OF CURB ELEV. / PROP. BOTTOM OF CURB ELEV.
- 00.00 — PROP. FINISHED ELEVATION
- 00.00 / 00.00 — PROP. TOP OF WALL ELEV. / PROP. BOTTOM OF WALL ELEV.
- POSITIVE DRAINAGE
- ST — EX. STORM SEWER
- ST — PROP. STORM SEWER
- EX. CURB
- PROP. CURB & GUTTER
- 000 — PROP. CONTOURS
- 000 — EX. CONTOURS
- (M.E.) — MEET EXISTING ELEVATION

SCALE: 1" = 20'



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CITY OF WORTHINGTON

DRAWINGS NO. ARB 109-2022
CU 09-2022

DATE 12/13/2022

CHICK-FIL-A
WORTHINGTON FSU
60 E. WILSON BRIDGE ROAD
WESTERVILLE, OHIO 43085

FSU# 05269

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

GBC PROJECT #	55054
PRINTED FOR	PCR Plan
DATE	10/26/22
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PCR Plan

SHEET
GRADING PLAN

SHEET NUMBER
C-300

UTILITY LAYOUT NOTES

1. INSTALL 2" DOMESTIC WATER SERVICE CONNECTION PER WATER COMPANY'S SPECIFICATIONS AND REQUIREMENTS. WATER COMPANY TO MAKE TAP.

1A. INSTALL 1" IRRIGATION WATER SERVICE CONNECTION PER WATER COMPANY'S SPECIFICATIONS AND REQUIREMENTS. WATER COMPANY TO MAKE TAP.

1B. INSTALL 4" FIRE PROTECTION LINE CONNECTION PER WATER COMPANY'S SPECIFICATIONS AND REQUIREMENTS. WATER COMPANY TO MAKE TAP.

2. INSTALL 2" DOMESTIC DOUBLE CHECK VALVE ASSEMBLY INSIDE BUILDING (REQUIRED) PER WATER COMPANY'S SPECIFICATIONS AND REQUIREMENTS.

2A. INSTALL 1" IRRIGATION DOUBLE CHECK VALVE ASSEMBLY (REQUIRED) PER WATER COMPANY'S SPECIFICATIONS AND REQUIREMENTS. INSTALL AHEAD OF ANY SPRINKLER. INSTALL BACKFLOW COVER, DEKORRA MOCK ROCK MODEL 110 FAKE ROCK BACKFLOW COVER WITH 2-4" VENTS IN RIVERBED COLOR OR APPROVED EQUAL. CONTRACTOR TO VERIFY FIT OVER INSTALLED BACKFLOW DEVICE.

2B. INSTALL 4" FIRE PROTECTION DOUBLE CHECK VALVE ASSEMBLY INSIDE BUILDING (REQUIRED) PER WATER COMPANY'S SPECIFICATIONS AND REQUIREMENTS.

3. INSTALL 2" TYPE K COPPER DOMESTIC WATER SERVICE PER WATER COMPANY'S SPECIFICATIONS AND REQUIREMENTS. SITE CONTRACTOR TO REFER TO P-901 NOTE 1.02.B REGARDING SLEEVING REQUIREMENTS. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.

3A. INSTALL 1" TYPE K COPPER IRRIGATION WATER SERVICE PER WATER COMPANY'S SPECIFICATIONS AND REQUIREMENTS. SITE CONTRACTOR TO REFER TO P-901 NOTE 1.02.B REGARDING SLEEVING REQUIREMENTS. SITE CONTRACTOR TO COORDINATE WITH BUILDING, PLUMBING AND IRRIGATION CONTRACTOR.

3B. INSTALL 4" AWWA C-900 WATER MAIN FOR FIRE PROTECTION PER WATER COMPANY'S SPECIFICATIONS AND REQUIREMENTS. COORDINATE SIZE AND LOCATION WITH FIRE PROTECTION PLANS. SITE CONTRACTOR TO COORDINATE WITH BUILDING, PLUMBING AND FIRE PROTECTION CONTRACTOR.

3C. INSTALL 6" AWWA C-900 WATER MAIN FOR SERVICE PER WATER COMPANY'S SPECIFICATIONS AND REQUIREMENTS. COORDINATE SIZE AND LOCATION WITH FIRE PROTECTION PLANS. SITE CONTRACTOR TO COORDINATE WITH BUILDING, PLUMBING AND FIRE PROTECTION CONTRACTOR.

4. INSTALL 1-1/2" METER AND METER PIT PER WATER COMPANY'S SPECIFICATIONS AND REQUIREMENTS. WATER COMPANY TO INSTALL WATER METER AND CONTRACTOR TO INSTALL PIT.

4A. INSTALL 1" METER AND METER PIT PER WATER COMPANY'S SPECIFICATIONS AND REQUIREMENTS. WATER COMPANY TO INSTALL WATER METER AND CONTRACTOR TO INSTALL PIT.

4B. INSTALL 4" METER AND METER PIT PER WATER COMPANY'S SPECIFICATIONS AND REQUIREMENTS. WATER COMPANY TO INSTALL WATER METER AND CONTRACTOR TO INSTALL PIT.

5. INSTALL 3/4" TYPE K COPPER COLD WATER SERVICE TO DUMPSTER POST HYDRANT. SITE CONTRACTOR TO REFER TO P-901 NOTE 1.02.B REGARDING SLEEVING REQUIREMENTS. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.

6. INSTALL DUMPSTER POST HYDRANT. REFER TO THE FIXTURE CONNECTION SCHEDULE (P-31) DEPICTED ON THE PROJECT PLUMBING PLANS.

7. WATER SERVICE CONNECTION POINT. CONTRACTOR TO LOCATE EXISTING WATER LINE PRIOR TO START OF CONSTRUCTION. CONNECTION TO BE MADE WITH A 8"x6" TAPPING SLEEVE & VALVE PER WATER COMPANY'S SPECIFICATIONS AND REQUIREMENTS.

8. EXISTING 8" WATER LINE PER RECORDS.

9. INSTALL FIRE DEPARTMENT CONNECTION (FDC) PER FIRE DEPARTMENT'S SPECIFICATIONS AND REQUIREMENTS. COORDINATE SIZE AND LOCATION WITH FIRE PROTECTION PLANS. SITE CONTRACTOR TO COORDINATE WITH BUILDING, PLUMBING AND FIRE PROTECTION CONTRACTOR. (NOT USED)

10. WASTEWATER SERVICE LATERAL CONNECTION POINT. CONTRACTOR TO LOCATE EXISTING 6" LATERAL PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO MAKE CONNECTION TO EXISTING 6" LATERAL AS REQUIRED PER UTILITY COMPANY'S SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR RESPONSIBLE TO OBTAIN THE EXISTING ELEVATION OF THE CONNECTION POINT AND VERIFY THAT IT IS DEEP ENOUGH TO SERVICE THE BUILDING FINISHED FLOOR AS DESIGNED. REPORT ANY ISSUES TO GBC DESIGN, INC. PRIOR TO THE START OF THE BUILDING FOUNDATION CONSTRUCTION.

11. INSTALL 6" SCHEDULE 40 PVC WASTEWATER SERVICE LINE AT 1.04% MINIMUM SLOPE. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.

12. INSTALL 6" CLEAN OUT (SIMILAR TO DETAIL 11 ON SHEET C-420). CLEAN OUT SHALL BE FLUSH W/ PAVEMENT & INSTALLED UNDER A PROTECTIVE METAL BOX COVER SIMILAR TO A METER PIT COVER WITH A TRAFFIC BEARING LID.

12A. INSTALL 6" TWO-WAY CLEAN OUT (SEE DETAIL 11 ON SHEET C-420). CLEAN OUT SHALL BE FLUSH W/ PAVEMENT & INSTALLED UNDER A PROTECTIVE METAL BOX COVER SIMILAR TO A METER PIT COVER WITH A TRAFFIC BEARING LID.

13. INSTALL PRECAST 1,000 GALLON CAPACITY GREASE TRAP. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR. TOP OF MANHOLE TO BE 0.2' ABOVE FINISH GRADE AND MATCH SIDEWALK GRADES WHERE REQUIRED. VERIFY GREASE TRAP MEETS CITY/COUNTY SPECIFICATIONS PRIOR TO INSTALLATION. CONTRACTOR RESPONSIBLE TO VERIFY ELEVATION OF SANITARY LATERAL PIPES AT GREASE TRAP PRIOR TO THE START OF SEWER CONSTRUCTION. REFER TO ENLARGED UTILITY PLAN, SHEET PS-110.

14. INSTALL 4" KITCHEN WASTE LINE 1.04% MINIMUM SLOPE (FL = 4'-0" BELOW FINISHED FLOOR ELEVATION). SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.

15. INSTALL 3" VENT LINE. CONNECT TO GREASE INTERCEPTOR (SEE SHEET PS-100 FOR LOCATION). SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.

16. INSTALL 4" RESTROOM WASTE LINE 1.04% MINIMUM SLOPE (FL = 4'-0" BELOW FINISHED FLOOR ELEVATION). SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.

17. INSTALL 6" SCHEDULE 40 PVC DUMPSTER WASTE LINE AT 1.0% MINIMUM SLOPE INCLUDING ALL FITTINGS. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR. (NOT USED)

18. INSTALL DUMPSTER PAD DRAIN. REFER TO THE FIXTURE CONNECTION SCHEDULE DEPICTED ON THE PROJECT PLUMBING PLANS. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR. (NOT USED)

19. INSTALL DOWNSPOUT FOR ROOF DRAINAGE (REFER TO ARCHITECTURAL PLANS). CONNECT TO STORM SEWER. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR (SEE DETAIL 10 ON SHEET C-420).

20. INSTALL 6" SCHEDULE 40 PVC ROOF DRAIN PIPE DRAIN INCLUDING ALL NECESSARY FITTINGS. CONNECT TO 6" ROOF DRAIN. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.

21. INSTALL 8" SCHEDULE 40 PVC ROOF DRAIN PIPE DRAIN INCLUDING ALL NECESSARY FITTINGS. CONNECT TO STORM SEWER. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.

22. INSTALL GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION TO INSURE THE APPROPRIATE BENDS ARE INCORPORATED TO MAINTAIN A MINIMUM OF 1.0' CLEARANCE BELOW ALL STORM SEWER, WATER, AND WASTEWATER LINES OR SERVICES WHEN CROSSING. CONTRACTOR TO COORDINATE WITH GAS COMPANY.

23. COORDINATE GAS METER INSTALLATION WITH GAS COMPANY. CONTRACTOR TO MARK LOCATION OF METER ON WALL PRIOR TO GAS COMPANY ARRIVING ON-SITE.

24. INSTALL 4" SCHEDULE 40 PVC IRRIGATION SLEEVE (REFER TO IRRIGATION PLANS). SITE CONTRACTOR TO COORDINATE WITH IRRIGATION CONTRACTOR. (NOT USED)

25. INSTALL UNDERGROUND PRIMARY ELECTRIC SERVICE. INSTALL 3-4" SCHEDULE 40 CONDUITS FROM POWER POLE TO TRANSFORMER PAD LOCATION ALONG WITH PULL STRINGS. ALL ITEMS PER ELECTRIC COMPANY SPECIFICATIONS AND REQUIREMENTS. CONDUIT DEPTH TO BE ____".

PROVIDE TRENCHING:	__ CONTRACTOR	__ ELECTRIC COMPANY
PROVIDE CONDUITS:	__ CONTRACTOR	__ ELECTRIC COMPANY
INSTALL CONDUITS:	__ CONTRACTOR	__ ELECTRIC COMPANY
PROVIDE CABLES:	__ CONTRACTOR	__ ELECTRIC COMPANY
INSTALL CABLES:	__ CONTRACTOR	__ ELECTRIC COMPANY

26. CONTRACTOR TO PROVIDE TRANSFORMER PAD PER ELECTRIC COMPANY STANDARDS. CONTRACTOR TO INSTALL TRANSFORMER PAD PER ELECTRIC COMPANY STANDARDS.

27. INSTALL UNDERGROUND SECONDARY ELECTRIC SERVICE TO BUILDING (REFER TO MEP PLANS). INSTALL TRENCHING, 4-4" SCHEDULE 40 PVC CONDUITS, CT CABINET AND METER BASE. ALL ITEMS PER ELECTRIC COMPANY SPECIFICATIONS AND REQUIREMENTS.

PROVIDE TRENCHING:	__ CONTRACTOR	__ ELECTRIC COMPANY
PROVIDE CONDUITS:	__ CONTRACTOR	__ ELECTRIC COMPANY
INSTALL CONDUITS:	__ CONTRACTOR	__ ELECTRIC COMPANY
PROVIDE CABLES:	__ CONTRACTOR	__ ELECTRIC COMPANY
INSTALL CABLES:	__ CONTRACTOR	__ ELECTRIC COMPANY
PROVIDE CT CABINET:	__ CONTRACTOR	__ ELECTRIC COMPANY
INSTALL CT CABINET:	__ CONTRACTOR	__ ELECTRIC COMPANY
PROVIDE METER BASE:	__ CONTRACTOR	__ ELECTRIC COMPANY
INSTALL METER BASE:	__ CONTRACTOR	__ ELECTRIC COMPANY
METER BASE INSTALLED ON:	_____	
CT CABINET INSTALLED ON:	_____	

28. INSTALL UNDERGROUND PRIMARY TELEPHONE SERVICE. CONTRACTOR TO INSTALL 2-3" SCHEDULE 40 PVC CONDUIT W/SWEEPING 90'S AND W/PULL STRING FOR TELEPHONE COMPANY. A 4'X4'X3/4" PIECE OF PLYWOOD MUST BE IN PLACE PRIOR TO INSTALLATION OF THE SERVICE. ALSO A #6 GROUND MUST BE AVAILABLE. CONTRACTOR TO ALSO INSTALL AN ADDITIONAL SPARE 4" SCHEDULE 40 PVC CONDUIT PARALLEL TO THE TELEPHONE COMPANY'S CONDUIT FOR FUTURE USE BY CHICK-FIL-A.

29. PROPOSED UTILITY CROSSING-CONTRACTOR TO MAINTAIN REQUIRED CLEARANCES.

30. EXISTING UTILITY CROSSING. CONTRACTOR TO VERIFY EXACT ELEVATIONS OF THE EXISTING UTILITY PRIOR TO THE START OF CONSTRUCTION. REPORT ANY CONFLICTS WITH PROPOSED UTILITIES TO GBC DESIGN, INC. PRIOR TO THE START OF CONSTRUCTION OF THE PROPOSED UTILITY. CONTRACTOR TO MAINTAIN REQUIRED CLEARANCES.

31. CONTRACTOR TO VIDEOTAPE EXISTING SANITARY LATERAL PRIOR TO CONSTRUCTION AND REPORT ALL FINDINGS TO CHICK-FIL-A CM, PSP, AND GBC DESIGN, INC.

32. INSTALL ELECTRIC SERVICE TO CANOPY (REFER TO MEP PLANS). INSTALL TRENCHING AND 2-2" SCHEDULE 40 PVC CONDUITS PER MEP SPECIFICATIONS. SITE CONTRACTOR TO COORDINATE WITH ELECTRICAL CONTRACTOR.

33. INSTALL GAS SERVICE TO CANOPY (REFER TO MEP PLANS). SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.

EXISTING SANITARY SEWER STRUCTURE SCHEDULE

A. EX. SAN. M.H.
TOP 897.45
INV. 889.58, 18" S
INV. 889.58, 18" N

B. EX. SAN. M.H.
TOP 897.88
INV. 889.28, 18" N
INV. 889.22, 18" SW
INV. 890.08, 8" E

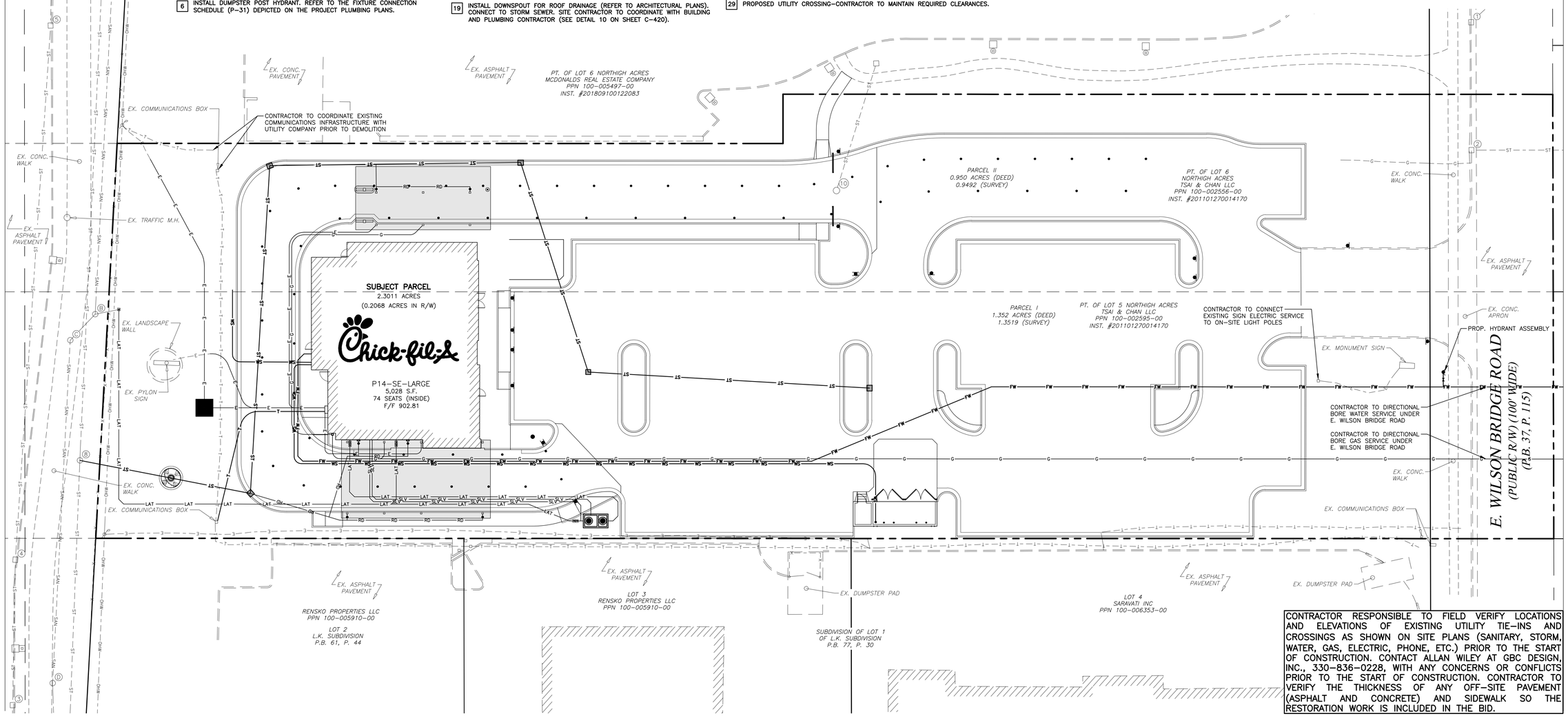
C. EX. SAN. M.H.
TOP 898.83
INV. 889.13, 18" NE
INV. 889.05, 18" S

D. EX. SAN. M.H.
TOP 898.85
INV. 888.95, 18" N
INV. 888.89, 18" S

LEGEND

- EX. FIRE HYDRANT
- EX. VALVE
- PROP. MANHOLE
- EX. MANHOLE
- PROP. INLET
- EX. BOX INLET
- EX. LIGHT POLE
- PROP. LIGHT POLE
- EX. UTILITY POLE
- PROP. UTILITY POLE
- EX. CURB
- PROP. CURB & GUTTER
- PROP. ELECTRIC LINE
- EX. ELECTRIC LINE
- EX. FIBER OPTIC LINE
- PROP. GAS LINE
- EX. GAS LINE
- PROP. TELEPHONE LINE
- EX. TELEPHONE LINE
- PROP. SANITARY SEWER
- PROP. SANITARY LATERAL
- PROP. SANITARY LATERAL VENT
- EX. SANITARY SEWER (PRIVATE)
- PROP. STORM SEWER
- PROP. ROOF DRAIN
- EX. STORM SEWER
- PROP. FIRE WATER LINE
- PROP. DOMESTIC WATER LINE
- PROP. FIRE WATER SERVICE
- PROP. WATER MAIN

SCALE: 1" = 20'



CONTRACTOR RESPONSIBLE TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITY TIE-INS AND CROSSINGS AS SHOWN ON SITE PLANS (SANITARY, STORM, WATER, GAS, ELECTRIC, PHONE, ETC.) PRIOR TO THE START OF CONSTRUCTION. CONTACT ALLAN WILEY AT GBC DESIGN, INC., 330-836-0228, WITH ANY CONCERNS OR CONFLICTS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO VERIFY THE THICKNESS OF ANY OFF-SITE PAVEMENT (ASPHALT AND CONCRETE) AND SIDEWALK SO THE RESTORATION WORK IS INCLUDED IN THE BID.

PCR Plan

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DRAWINGS NO. ARB 109-2022
CU 09-2022

DATE 12/13/2022

CHICK-FIL-A
WORTHINGTON FSU
60 E. WILSON BRIDGE ROAD
WESTERVILLE, OHIO 43085

FSU# 05269

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

GBC PROJECT #	55054
PRINTED FOR	PCR Plan
DATE	10/26/22
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SHEET
UTILITY PLAN

SHEET NUMBER
PS-100

PLANT LIST

Qty	Botanical Name	Common Name	Scheduled Size	Remarks
	Trees			
7	Gleditsia triacanthos inermis 'Skyline'	Thornless Honey Locust	3" Cal; 12' Hgt.	B & B
6	Malus x 'Snowdrift'	'Snowdrift' Crabapple	1.5" Cal.	B & B
11	Quercus phellos	Willow Oak	3" Cal; 12' Hgt.	B & B; single straight leader
8	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	7'-8' Hgt.	
8	Ulmus parvifolia 'Bosque'	Bosque Elm	3" Cal; 12' Hgt.	B & B
	Shrubs			
12	Hydrangea paniculata 'Limelight'	Limelight Hydrangea	3 Gal.	
65	Ilex glabra 'Shamrock'	Shamrock Inkberry	3 Gal.	
68	Ilex x meserveae 'Blue Girl'	Blue Girl Holly	3 Gal.	
114	Juniperus squamata expansa 'Parsonii'	Parson's Juniper	3 Gal.	Plant 30" O.C.
107	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	3 Gal.	
	Groundcovers			
374	Euonymus coloratus	Wintercreeper	1 Gal.	
	Other			

LANDSCAPE REQUIREMENTS

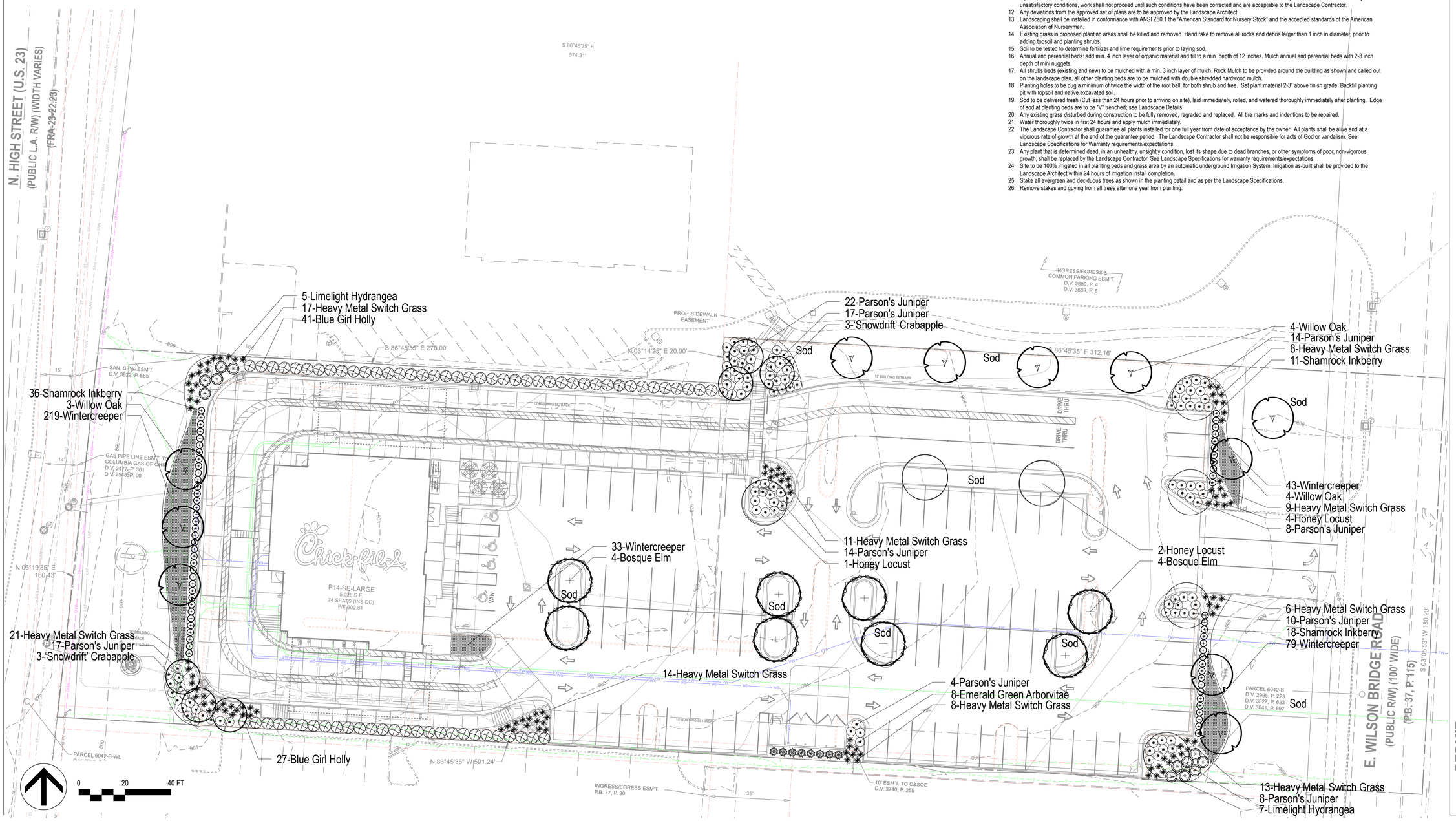
A. INTERIOR LANDSCAPE

REQUIRED
1. 1 Tree per 6,000 SF of paved surface
   71,487 SF / 6,000 = 12 Trees
2. 1 Tree per (6) parking spaces
   85 parking spaces = 14 Trees

PROVIDED
1. (11) Willow Oaks, (1) Bosque Elm = 12 Trees
2. (7) Bosque Elms, (3) Shumard Oaks, (4) Honey Locust = 14 Trees

MIDWEST LANDSCAPE NOTES

1. Landscape Contractor to read and understand the Landscape Specifications prior to finalizing bids. The Landscape Specifications shall be adhered to throughout the construction process.
2. Contractor is responsible for locating and protecting all underground utilities prior to digging.
3. Contractor is responsible for protecting existing trees from damage during construction.
4. All tree protection devices to be installed prior to the start of land disturbance, and maintained until final landscaping.
5. All tree protection areas to be protected from sedimentation.
6. All tree protection fencing to be inspected daily, and repaired or replaced as needed.
7. No parking, storage or other construction activities are to occur within tree protection areas.
8. All planting areas shall be cleaned of construction debris (ie. concrete, rock, rubble, building materials, etc) prior to adding and spreading of the topsoil.
9. General Contractor is responsible for adding a min of 4" clean friable topsoil in all planting beds and all grassed areas. Graded areas to be held down the appropriate elevation to account for topsoil depth. See Landscape Specifications for required topsoil characteristics.
10. In all parking lot islands, the General Contractor is responsible to remove all debris, fracture/loosen subgrade to a min. 24" depth. Add topsoil to a 6"-8" berm height above island curbing; refer to landscape specifications and landscape island detail.
11. Prior to beginning work, the Landscape Contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve topsoil provided by the General Contractor and observe the site conditions under which the work is to be done. Notify the General Contractor of any unsatisfactory conditions, work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.
12. Any deviations from the approved set of plans are to be approved by the Landscape Architect.
13. Landscaping shall be installed in conformance with ANSI Z60.1 the "American Standard for Nursery Stock" and the accepted standards of the American Association of Nurserymen.
14. Existing grass in proposed planting areas shall be killed and removed. Hand rake to remove all rocks and debris larger than 1 inch in diameter, prior to adding topsoil and planting shrubs.
15. Soil to be tested to determine fertilizer and lime requirements prior to laying sod.
16. Annual and perennial beds: add min. 4 inch layer of organic material and till to a min. depth of 12 inches. Mulch annual and perennial beds with 2-3 inch depth of mini nuggets.
17. All shrubs beds (existing and new) to be mulched with a min. 3 inch layer of mulch. Rock Mulch to be provided around the building as shown and called out on the landscape plan, all other planting beds are to be mulched with double shredded hardwood mulch.
18. Planting holes to be dug a minimum of twice the width of the root ball, for both shrub and tree. Set plant material 2-3" above finish grade. Backfill planting pit with topsoil and native excavated soil.
19. Sod to be delivered fresh (Cut less than 24 hours prior to arriving on site), laid immediately, rolled, and watered thoroughly immediately after planting. Edge of sod at planting beds are to be "V" trenched; see Landscape Details.
20. Any existing grass disturbed during construction to be fully removed, regraded and replaced. All tire marks and indentions to be repaired.
21. Water thoroughly twice in first 24 hours and apply mulch immediately.
22. The Landscape Contractor shall guarantee all plants installed for one full year from date of acceptance by the owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The Landscape Contractor shall not be responsible for acts of God or vandalism. See Landscape Specifications for Warranty requirements/expectations.
23. Any plant that is determined dead, in an unhealthy, unsightly condition, lost its shape due to dead branches, or other symptoms of poor, non-vigorous growth, shall be replaced by the Landscape Contractor. See Landscape Specifications for warranty requirements/expectations.
24. Site to be 100% irrigated in all planting beds and grass area by an automatic underground Irrigation System. Irrigation as-built shall be provided to the Landscape Architect within 24 hours of irrigation install completion.
25. Stake all evergreen and deciduous trees as shown in the planting detail and as per the Landscape Specifications.
26. Remove stakes and guying from all trees after one year from planting.



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

manley LAND DESIGN
Landscape Architecture

Manley Land Design, Inc.
51 Old Canton Street
Alpharetta, Georgia 30009
770.442.8171 tel

STATE OF OHIO
AARON NEITZKE
LA.2201609
LANDSCAPE ARCHITECT

CITY OF WORTHINGTON

DRAWINGS NO. ARB 109-2022
CU 09-2022

DATE 12/13/2022

CHICK-FIL-A
WORTHINGTON FSU
60 E. WILSON BRIDGE ROAD
WORTHINGTON, OH 43085

FSU# 05269

REVISION SCHEDULE

NO.	DATE	BY	DESCRIPTION
1	12.13.22	1	City Comments

MLD PROJECT #	2022300
PRINTED FOR	PERMIT
DATE	11/8/22
DRAWN BY	MB

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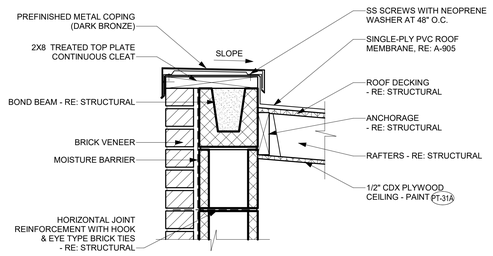
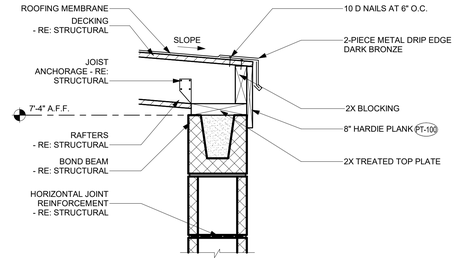
SHEET
Landscape Plan

PERMIT

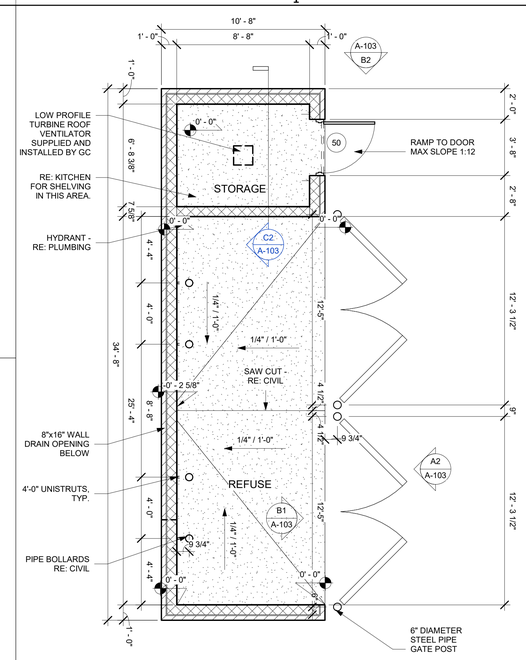
SHEET NUMBER
L-100



E3 REFUSE ENCLOSURE ROOF EDGE DETAIL
1 1/2" = 1'-0"



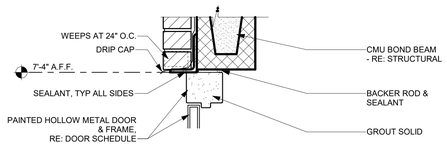
E2 REFUSE ENCLOSURE DRIP EDGE
1 1/2" = 1'-0"



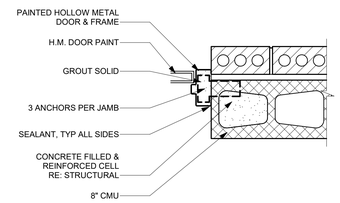
D1 REFUSE ENCLOSURE PLAN
1/4" = 1'-0"

REFUSE ENCLOSURE NOTES

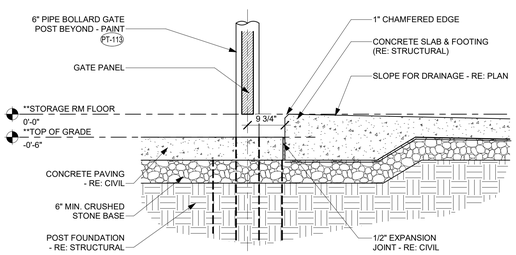
1. ** IN THE ARCHITECTURAL DRAWINGS, REFUSE ENCLOSURE AND MAIN BUILDING ARE BOTH NOTED WITH FINISH SLAB AT 0'-0". ACTUAL FINISH SLAB HEIGHTS WILL VARY BETWEEN MAIN BUILDING AND REFUSE ENCLOSURE. REFER TO CIVIL FOR ALL FINISH SLAB HEIGHTS.



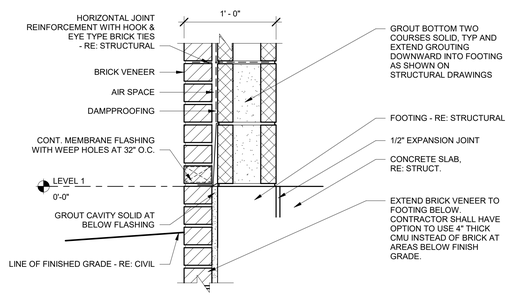
D3 REFUSE ENCLOSURE DOOR HEAD DETAIL
1 1/2" = 1'-0"



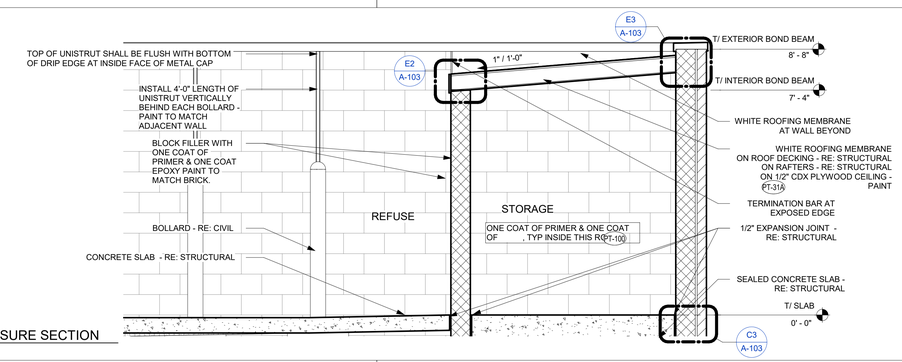
D2 REFUSE ENCLOSURE DOOR JAMB DETAIL
1 1/2" = 1'-0"



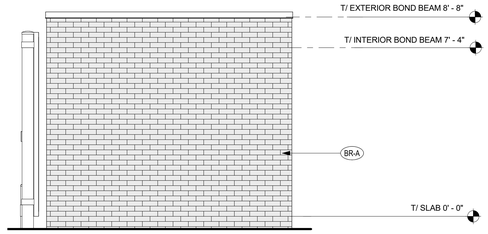
C4 REFUSE PAD AT CONCRETE PAVING DETAIL
3/4" = 1'-0"



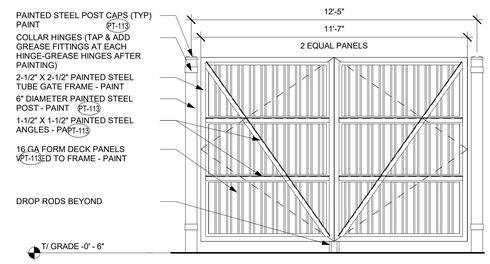
C3 REFUSE ENCLOSURE BASE DETAIL
1 1/2" = 1'-0"



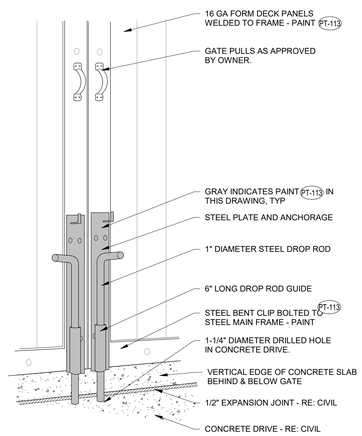
C2 REFUSE ENCLOSURE SECTION
1/2" = 1'-0"



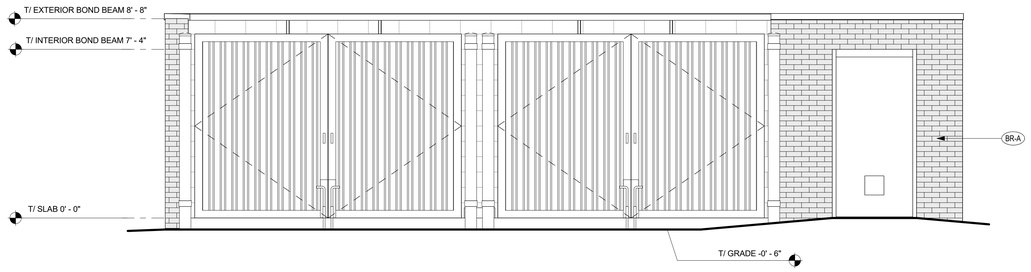
B2 REFUSE ENCLOSURE ELEVATION
3/8" = 1'-0"



B1 REFUSE ENCLOSURE GATE REAR ELEVATION
3/8" = 1'-0"



A3 REFUSE ENCOSURE DROP ROD 3-D DECK PANEL DETAIL
1/2" = 1'-0"



A2 REFUSE ENCLOSURE ELEVATION
3/8" = 1'-0"

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998

ROY A. WILLIAMS, ARCHITECT
750 OLD HICKORY BLVD. SUITE 250
BRENTWOOD, TN 37027
PHONE: 615.377.3111
EMAIL: GENMAIL@EANDHARCH.COM

PROTOTYPICAL SET

NOT FOR REGULATORY APPROVAL, BIDDING, OR CONSTRUCTION

CITY OF WORTHINGTON

DRAWINGS NO. ARB 109-2022
CU 09-2022

DATE 12/13/2022

CHICK-FIL-A WORTHINGTON FSU

60 E WILSON BRIDGE RD
WORTHINGTON, OH 43085

FSR#05269

BUILDING TYPE / SIZE: P14 SE LRG
RELEASE: 22.08
PRINTED FOR
DESIGN

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # #####
DATE 12/12/2022
DRAWN BY Author

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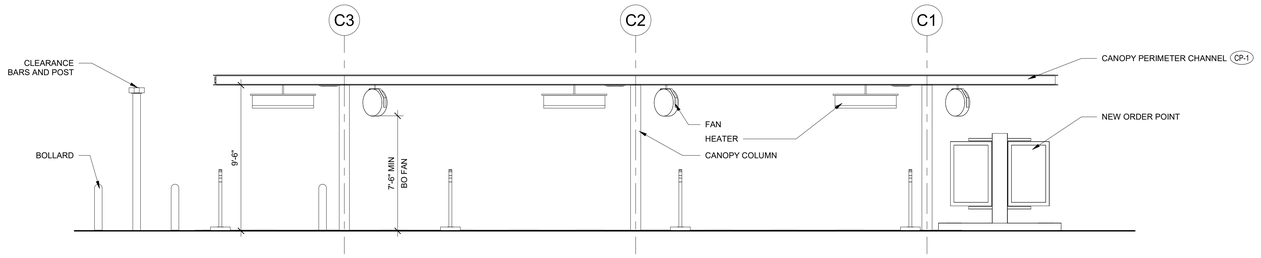
SHEET
REFUSE ENCLOSURE

SHEET NUMBER
A-103

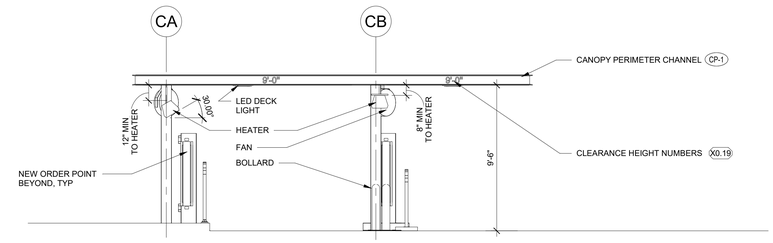
12/12/2022 5:40:18 PM Autodesk Docs://OH_05269_Worthington (OH) FSU_2022.9_FSR/05269_Worthington (OH) FSU_ARC.rvt
10-SE-05269-A-103-REFUSE ENCLOSURE

ORDER POINT EQUIPMENT SCHEDULE

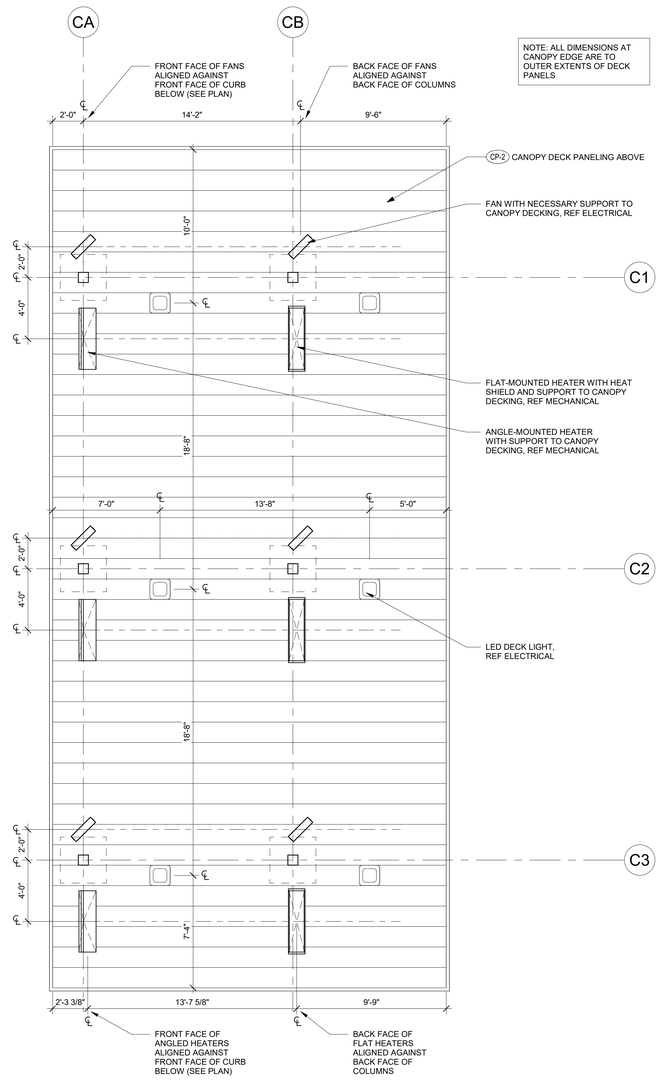
TAG	EQUIPMENT	APPLICABLE TIER 1	2	3	SUPPLIER	CONTACT	MANUFACTURER	MODEL NUMBER	COMMENTS
X0.3	BOLLARD SLEEVE	-	X	X	GC	-	INTERSTATE PRODUCTS OR EQUAL	1736YRS - EAGLE 6"	-
X0.4	C7 ORDER POINT W/O CANOPY	-	X	X	UNISTRUCTURES OR CHANDLER SIGNS	Carolyn Ward (678-974-1759) c.ward@unistructures.com OR Kristen Hamilton, Amy McCann, or Scarlett Quintero (210-349-3804) CFA@chandlersigns.com	UNISTRUCTURES OR CHANDLER SIGNS	-	83" L x 15' W x 77" H; See shop drawings for more information; Dark Bronze textured finish. Route conduit from building to order point as indicated on drawings
X0.6	C7 DOUBLE CLEARANCE BAR	-	BY SITE	BY SITE	UNISTRUCTURES OR CHANDLER SIGNS	SEE X0.4	UNISTRUCTURES OR CHANDLER SIGNS	-	14'-6 1/2" L x 9'-0" H; See shop drawings for more information; Dark Bronze textured finish
X0.19	CLEARANCE TEXT	-	X	X	LANE OR FASHION	Larry Tolbert (705-545-7615) ltolbert@lanesupplyinc.com OR Jason Holmes (785-242-8111) jholmes@fashioninc.com	LANE OR FASHION	-	-



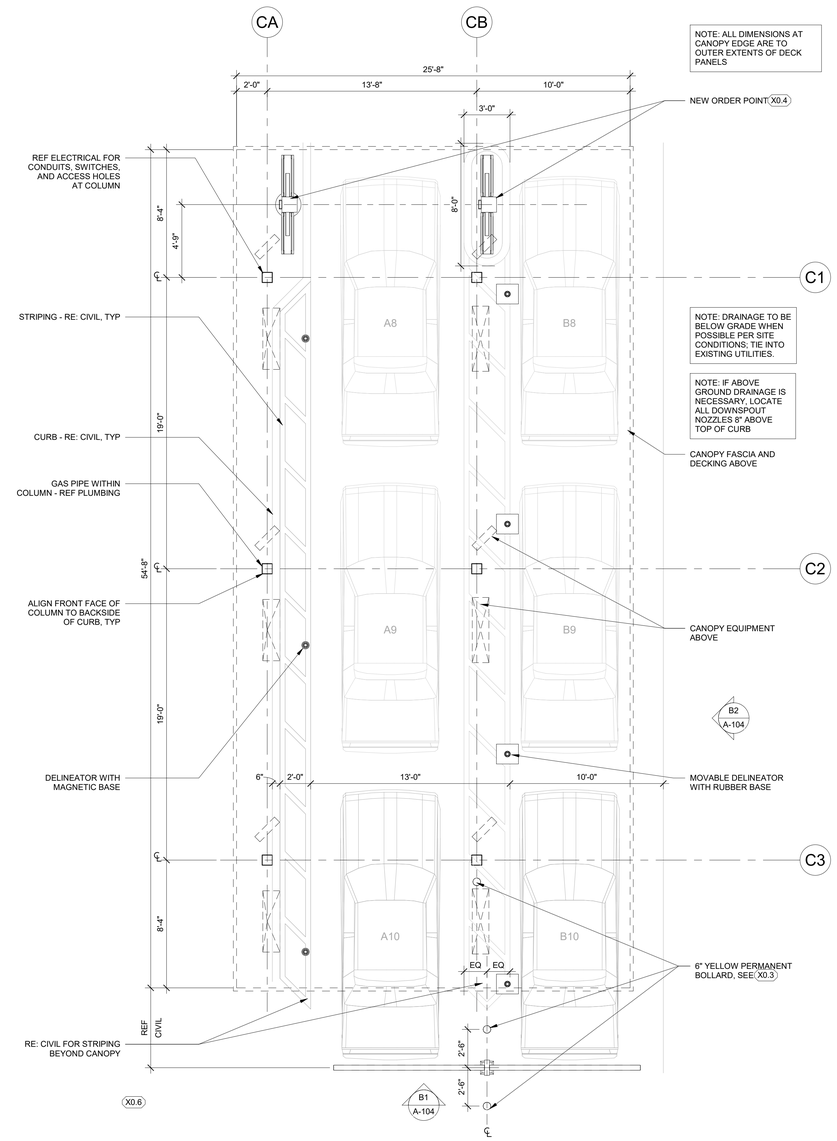
B2 SIDE ELEVATION
1/4" = 1'-0"



B1 ENTRY ELEVATION
1/4" = 1'-0"



A2 ORDER POINT CANOPY REFLECTED CEILING PLAN
1/4" = 1'-0"



A1 ORDER POINT CANOPY PLAN
1/4" = 1'-0"

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998

ROY A. WILLIAMS, ARCHITECT
750 OLD HICKORY BLVD. SUITE 250
BRENTWOOD, TN 37027
PHONE: 615.377.3111
EMAIL: GENMAIL@EANDHARCH.COM

PROTOTYPICAL SET

NOT FOR REGULATORY APPROVAL, BIDDING, OR CONSTRUCTION

CHICK-FIL-A WORTHINGTON FSU

60 E WILSON BRIDGE RD
WORTHINGTON, OH 43085

FSR#05269

BUILDING TYPE / SIZE: P14 SE LRG
RELEASE: 22.08
PRINTED FOR
DESIGN

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

CITY OF WORTHINGTON

DRAWINGS NO. ARB 109-2022
CU 09-2022

DATE 12/13/2022

CONSULTANT PROJECT # ####
DATE 12/12/2022
DRAWN BY Author

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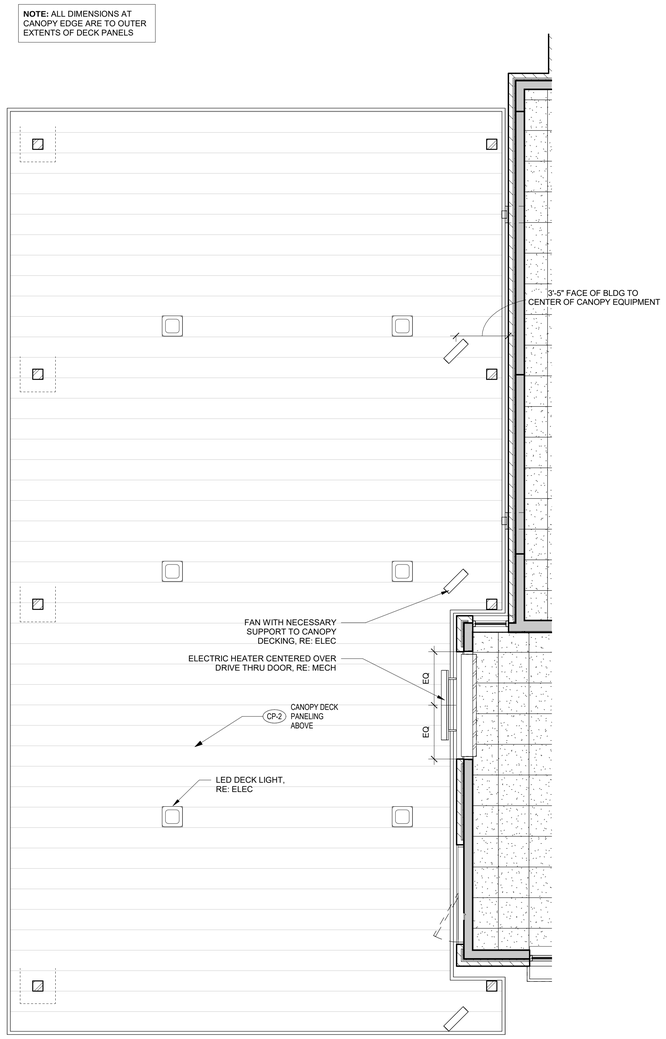
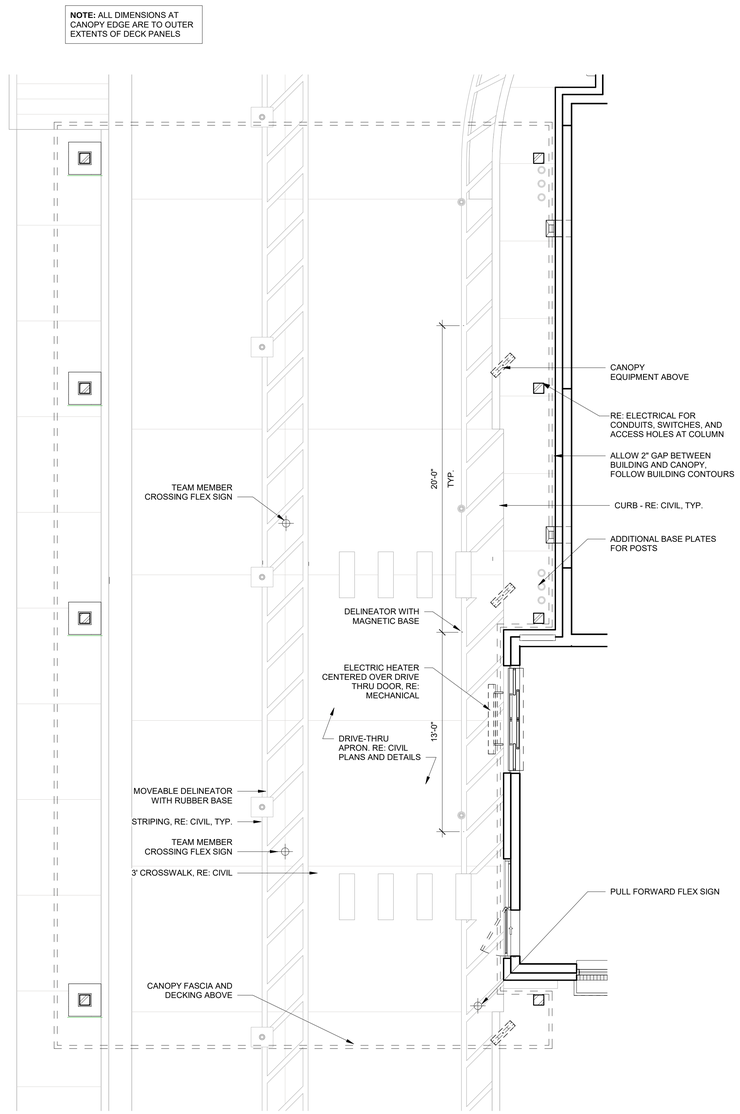
SHEET
ORDER POINT CANOPY

SHEET NUMBER
A-104

12/12/2022 5:40:24 PM Autodesk Docs://OH_05269_Worthington (OH) FSU_2022.9_FSR/05269_Worthington (OH) FSU_ARC.rvt
10-SE-05269-A-104-ORDER POINT CANOPY



B4 OUTSIDE MEAL DELIVERY CANOPY REFLECTED CEILING PLAN
1/4" = 1'-0"



B2 OUTSIDE MEAL DELIVERY CANOPY PLAN
1/4" = 1'-0"

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998

ROY A. WILLIAMS, ARCHITECT
750 OLD HICKORY BLVD. SUITE 250
BRENTWOOD, TN 37027
PHONE: 615.377.3111
EMAIL: GENMAIL@EANDHARCH.COM

PROTOTYPICAL SET

NOT FOR REGULATORY APPROVAL, BIDDING, OR CONSTRUCTION

CHICK-FIL-A
WORTHINGTON FSU

60 E WILSON BRIDGE RD
WORTHINGTON, OH 43085

FSR#05269

BUILDING TYPE / SIZE: P14 SE LRG
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CITY OF WORTHINGTON

DRAWINGS NO. ARB 109-2022
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DATE 12/13/2022

CONSULTANT PROJECT # ####
DATE 12/12/2022
DRAWN BY Author

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SHEET
OUTSIDE MEAL DELIVERY CANOPY

SHEET NUMBER
A-105

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10-SE-05269-A-105-OUTSIDE MEAL DELIVERY CANOPY

FLOOR PLAN GENERAL NOTES

A.1 ALL DIMENSIONS SHOWN ARE FRAMING DIMENSIONS (FACE OF STUD/JAMB) UNLESS OTHERWISE NOTED.
A.2 FASTENERS, ANCHORS, CLIPS, STRAPS, ETC WHICH ARE IN CONTACT WITH PRESERVATIVE AND/OR FIRE TREATED WOOD SHALL BE OF G-185 HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, OR AN APPROVED EQUAL.
A.3 REFER TO CIVIL AND LANDSCAPE FOR LOCATIONS OF WALKS, BOLLARDS, LANDSCAPING AREAS, FLAG POLE, AND OTHER SITE ITEMS.
A.4 REFER TO INTERIOR ELEVATIONS FOR LOCATIONS AND TYPES OF CORNER GUARDS.
A.5 CONTRACTOR TO COORDINATE LOCATION OF POLE MOUNTED EXTERIOR CAMERA WITH STRONG SYSTEMS AND INSTALL UNDERGROUND CONDUIT AS REQUIRED. RE: ELECTRICAL.
A.6 REFER TO ACCESSIBILITY PLAN AND FURNITURE DRAWINGS FOR SEATING LAYOUT & SPECIFICATIONS. CONTACT: OWNER.
A.7 REFER TO ACCESSIBILITY PLAN AND OWNER DRAWINGS FOR CONDIMENT COUNTERS AND TRASH RECEPTACLES.
A.8 REFER TO IT WALLBOARD USER GUIDE FOR WALLBOARD INSTALLATION, IF APPLICABLE.
A.9 REFER TO MILLWORK PLAN FOR RAISED CONCRETE CURB LOCATIONS.
A.10 FREEZER AND COOLER DOORS AND HARDWARE SUPPLIED BY FREEZER/COOLER MANUFACTURER

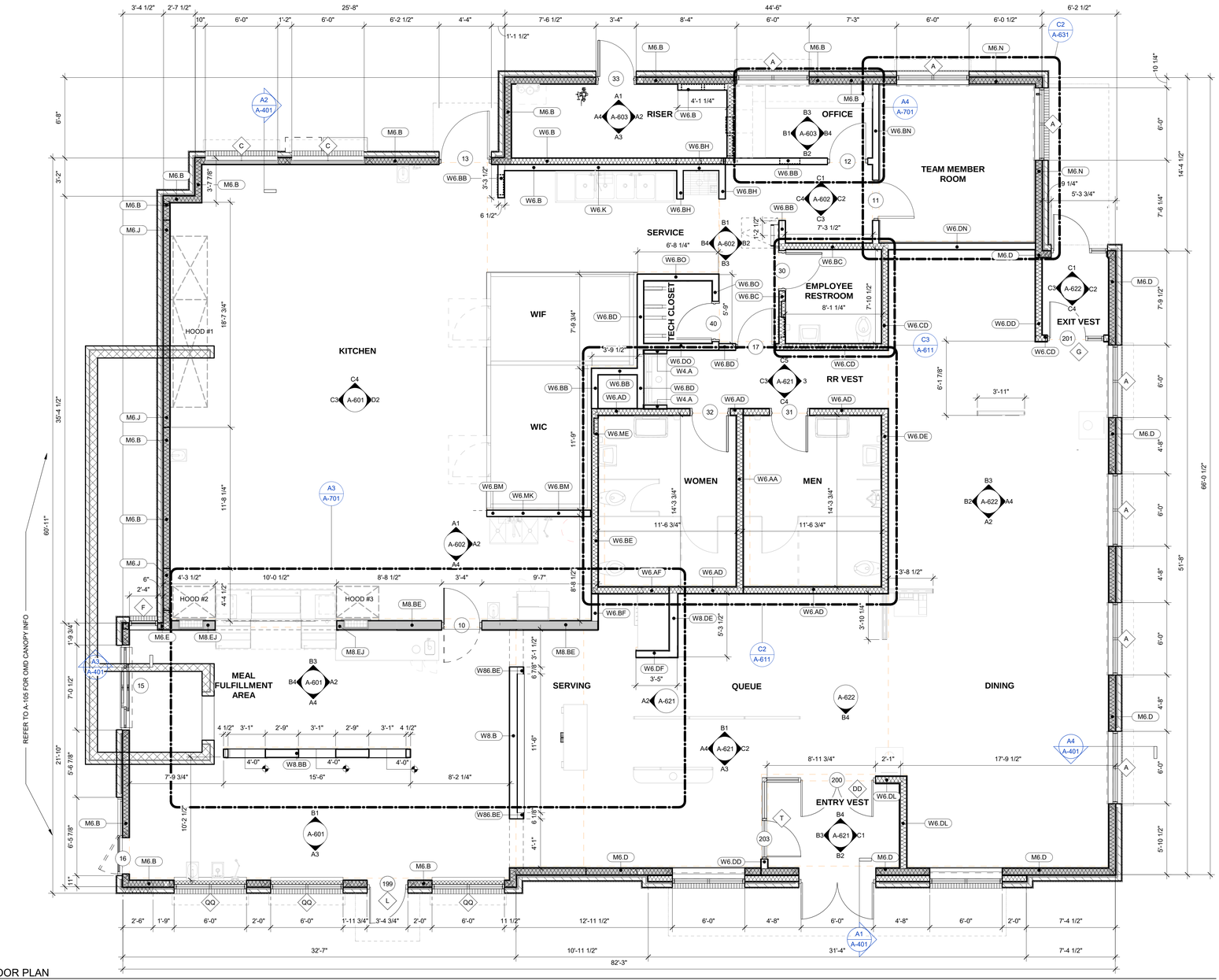
FLOOR PLAN LEGEND:

CT CABINET RE: ELECTRICAL
MDP RE: ELECTRICAL
STEEL WALL BY OWNER RE: OWNER FOR EXACT LOCATIONS
ITEM BY OWNER
SOFFIT OR BULKHEAD ABOVE RE: REFLECTED CEILING PLAN
2-SIDED BRAND ICON RE: OWNER DRAWINGS
RECESSED PIN AND SLEEVE BOX, RE: A4/A620 & MEP DRAWINGS.
ELECTRICAL PANEL RE: ELECTRICAL

INSULATION SCHEDULE

LOCATION	R-VALUE	THICKNESS
ROOF	R-17.4	3" RIGID
WALL (CONTINUOUS)	R-5	1" RIGID
WALL (CAVITY)	R-19	6" BATT
SLAB	R-10	2" RIGID

NOTES:
1. REFER TO FLOOR PLAN AND WALL SECTION SHEETS FOR INSULATION EXTENTS AND LOCATIONS.
2. REFER TO SPECIFICATIONS FOR INSULATION PRODUCT INFORMATION.



B3 FLOOR PLAN
1/4" = 1'-0"

REFER TO LEGEND BELOW FOR WALL CAVITY FRAMING AND INSULATION
W6.AB+
REFER TO WALL TYPES ON THE RIGHT FOR SHEATHING AND MATERIALS ON EXPOSED SIDE(S) OF WALL (REFER TO ROOM LABELS FOR ORIENTATION)
PLUS SIGN INDICATES ADDITIONAL LAYER OF SHEATHING

WOOD STUD WALL	
W4	2x4 WOOD STUDS
W6	2x6 WOOD STUDS
W8	2x8 WOOD STUDS
METAL STUD WALL	
M4	3 5/8" METAL STUDS
M6	6" METAL STUDS
M8	8" METAL STUDS
BATT INSULATION	

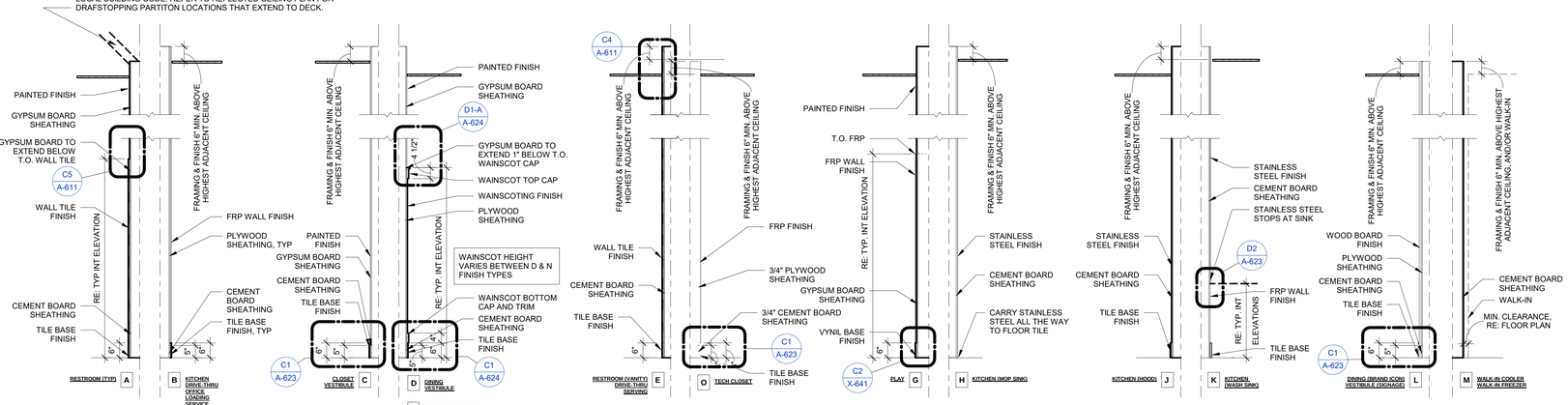
NOTE 1: WALL BLOCKING SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY. BLOCKING SHALL INCLUDE, BUT IS NOT LIMITED TO: AREAS INDICATED ON INTERIOR ELEVATIONS FOR GRAB BARS, SHELVING BRACKETS, MONITORS, FIXTURES, ETC, AS WELL AS BLOCKING FOR WINDOWS, CANOPIES ROOF FRAMING, ROOF TOP UNITS, ETC.

NOTE 2: REFER TO STRUCTURAL DRAWINGS AND WALL SECTIONS FOR EXTERIOR WALL CONSTRUCTION.

NOTE 3: REFER TO FINISH PLAN FOR WALL FINISH INFO AND SPECIFICATIONS FOR WALL SHEATHING INFO

NOTE 4: GENERAL CONTRACTOR TO PROVIDE AND/OR VERIFY FIRE BLOCKING AT 10' MAX VERTICAL SPACING AND AT CEILING HEIGHT IN ALL COMBUSTIBLE STUD WALLS, ACCORDING TO LOCAL CODE REQUIREMENTS.

BRACE INTERIOR PARTITONS AS REQUIRED FOR COMPLIANCE WITH LOCAL BUILDING CODE. REFER TO REFLECTED CEILING PLAN FOR DRAFSTOPPING PARTITON LOCATIONS THAT EXTEND TO DECK.



WALL TYPES LEGEND
N.T.S.

Chick-fil-A
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Atlanta, Georgia
30349-2998

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PHONE: 615.377.3111
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PROTOTYPICAL SET

NOT FOR REGULATORY APPROVAL, BIDDING, OR CONSTRUCTION

CHICK-FIL-A WORTHINGTON FSU

60 E WILSON BRIDGE RD
WORTHINGTON, OH 43085

FSR#05269

BUILDING TYPE / SIZE: P14 SE LRG
RELEASE: 22.08
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DESIGN

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

CITY OF WORTHINGTON
DRAWINGS NO. ARB 109-2022
CU 09-2022
DATE 12/13/2022

CONSULTANT PROJECT # ####
DATE 12/12/2022
DRAWN BY Author

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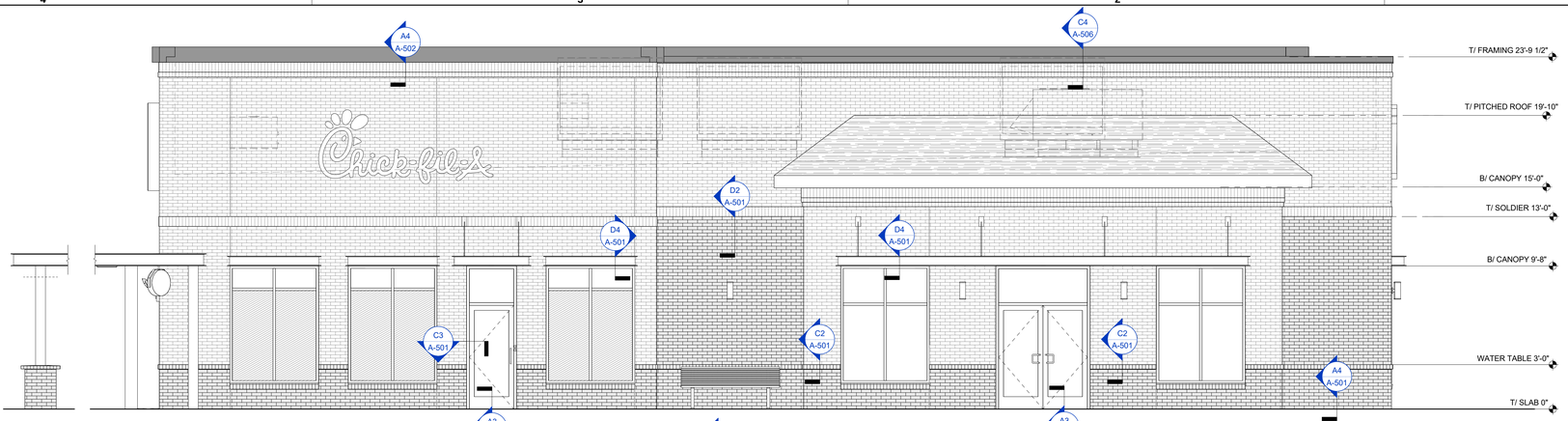
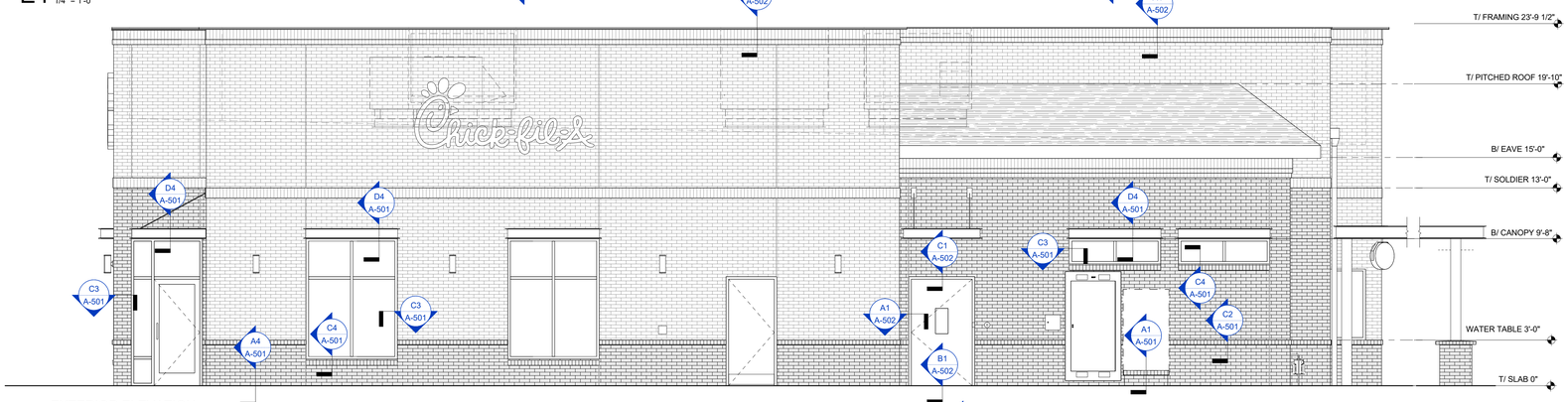
SHEET
FLOOR PLAN

SHEET NUMBER
A-201

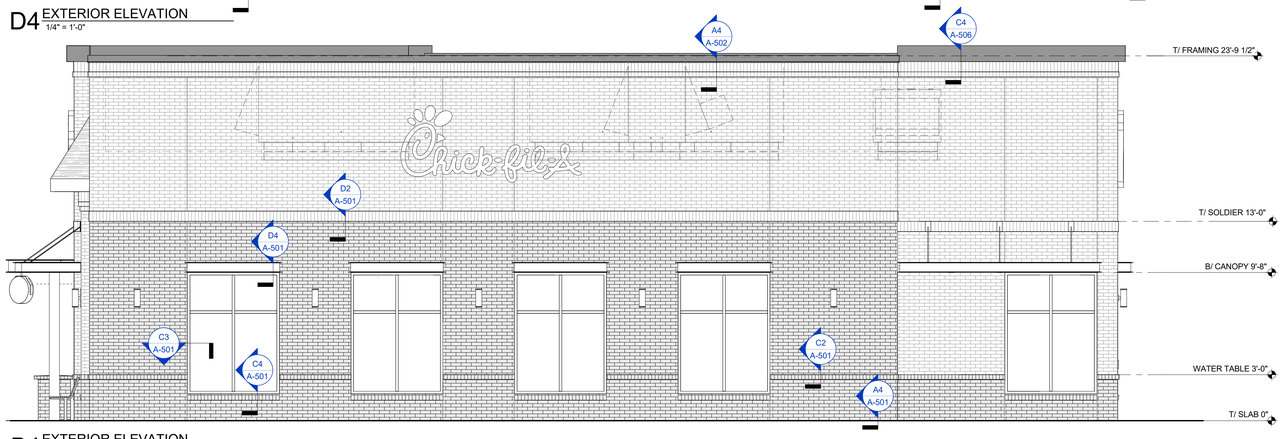
12/12/2022 5:58:26 PM Autodesk Docs://OH_05269_Worthington (OH) FSU_2022 9_FSR/05269_Worthington (OH) FSU_ARC.rvt
10-SE-05269-A-201-FLOOR PLAN



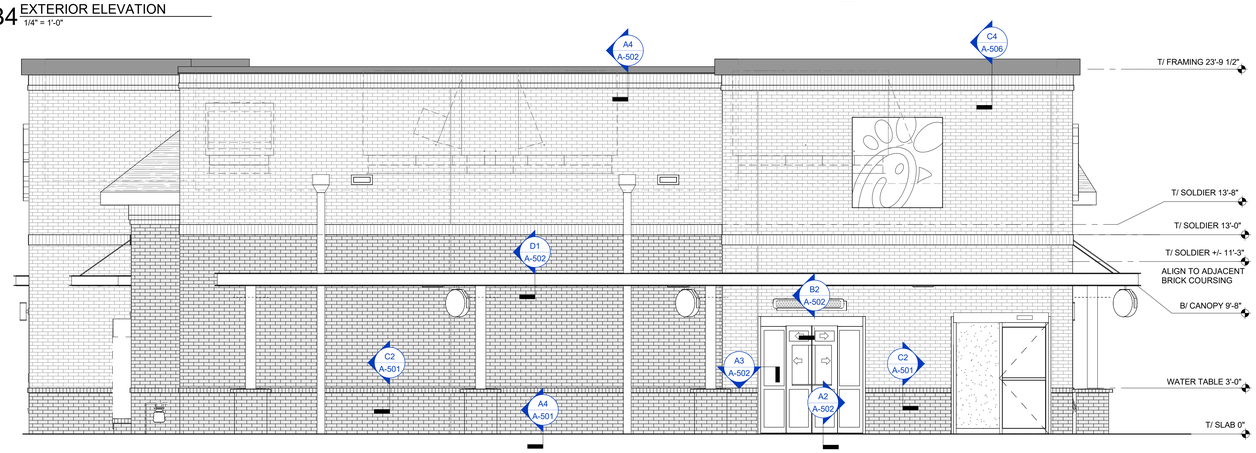
E4 EXTERIOR ELEVATION
1/4" = 1'-0"



D4 EXTERIOR ELEVATION
1/4" = 1'-0"



B4 EXTERIOR ELEVATION
1/4" = 1'-0"



A4 EXTERIOR ELEVATION
1/4" = 1'-0"

FINISH SCHEDULE - EXTERIOR

MARK	DESCRIPTION	MANUFACTURER	MODEL NAME	MODEL NUMBER	COLOR	NOTE
BR-A	BRICK VENEER (PRIMARY)	GLEN-GERY	MODULAR	*	JAMESTOWN	MORTAR: ARGOS SAN TAN / G402
BR-B	BRICK VENEER (ACCENT)	GLEN-GERY	MODULAR	*	WHITEHALL	MORTAR: ARGOS SAN TAN / G402
CP-1	CANOPY METAL FASCIA		DURA COAT	DC19ST-2703	DARK BRONZE	OIL RUBBED BRONZE METALLIC TEXTURE PVD
CP-2	CANOPY METAL DECK				WHITE	SMOOTH WHITE, HIGH GLOSS
EC-1	PARAPET WALL COPING	DUROLAST / EXCEPTIONAL METALS			MIDNIGHT BRONZE	
PT-100	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350	SW 2807	ROOKWOOD	REFUSE ENCLOSURE. FINISH: SEMI-GLOSS ON DOOR FRAMES, SATIN ON WALLS
PT-113	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350		DARK BRONZE	FINISH: SEMI-GLOSS
ST-1	STOREFRONT	YKK	YES 45		DARK BRONZE (MATTE)	SEE A-801 FOR GLAZING INFORMATION

GENERAL NOTES
1. ALL SIGNAGE PROVIDED BY OTHERS
2. REF FLOOR PLAN AND WINDOW LEGEND FOR STOREFRONT INFORMATION

ATTACHED CANOPY SCHEDULE

Mark	Description	Count	Overall Width	Overall Depth	Tie Back Mounting (Offset From Top)	Integral Lighting
C1-C	Exterior Canopy	11	6'-4"	1'-0"	0"	No
C4-B	Exterior Canopy	2	5'-4"	4'-0"	2'-4"	Yes
C4-L	Exterior Canopy	1	28'-0"	4'-0"	2'-4"	Yes
C5-A	Exterior Canopy	1	13'-4"	5'-0"	2'-4"	Yes
Grand total		15				

CANOPY NOTES:

BUILDING MOUNTED CANOPIES
- 8" THICK CANOPY
- KYNAR FINISH OF STRUCTURE, FASCIA, & DECKING TO MATCH CP-1

COLUMN MOUNTED CANOPIES
- 10" THICK CANOPY
- FINISH OF STRUCTURE TO BE CP-1
- FINISH OF DECKING TO BE CP-2

LEGEND

- BR-B
- BR-A
- EC-1
- EXPANSION JOINT, SEALANT COLOR TO MATCH MORTAR COLOR
- CARD READER BY SECURITY VENDOR - RE: ELEC
- SCUPPER - PT-113 SEE A2 / A-503
- DOWNSPOUT - PT-113 SEE A3 / A-503
- OIL EXTRACTION PORT ACCESS BOX
- CO2 FILL BOX - RE: KITCHEN
- LIGHT FIXTURE - RE: ELECTRICAL
- CT CABINET - PT-113 RE: ELECTRICAL
- MDP - PT-113 RE: ELECTRICAL

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998

ROY A. WILLIAMS, ARCHITECT
750 OLD HICKORY BLVD. SUITE 250
BRENTWOOD, TN 37027
PHONE: 615.377.3111
EMAIL: GENMAIL@EANDHARCH.COM

PROTOTYPICAL SET

NOT FOR REGULATORY APPROVAL, BIDDING, OR CONSTRUCTION

CHICK-FIL-A WORTHINGTON FSU

60 E WILSON BRIDGE RD
WORTHINGTON, OH 43085

FSR#05269

BUILDING TYPE / SIZE: P14 SE LRG
RELEASE: 22.08
PRINTED FOR
DESIGN

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

CITY OF WORTHINGTON

DRAWINGS NO. ARB 109-2022
CU 09-2022

DATE 12/13/2022

CONSULTANT PROJECT # ####
DATE 12/12/2022
DRAWN BY Author

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SHEET
EXTERIOR ELEVATIONS

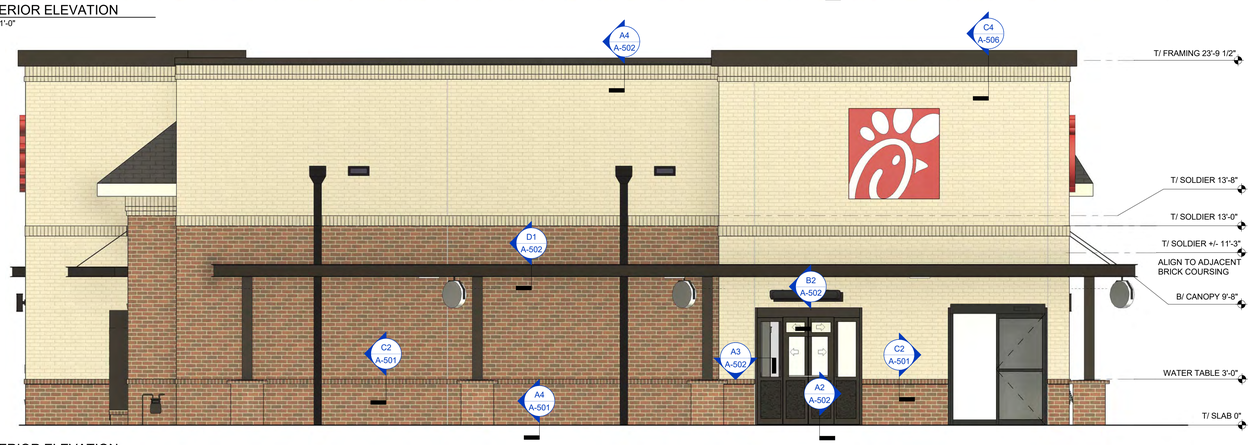
SHEET NUMBER
A-301

12/12/2022 5:58:42 PM Autodesk Docs://OH_05269_Worthington (OH) FSU_2022.9_FSR/05269_Worthington (OH) FSU_ARC.rvt
10-SE-05269-A-301-EXTERIOR ELEVATIONS

E4 EXTERIOR ELEVATION
1/4" = 1'-0"

D4 EXTERIOR ELEVATION
1/4" = 1'-0"

B4 EXTERIOR ELEVATION
1/4" = 1'-0"



A4 EXTERIOR ELEVATION
1/4" = 1'-0"

FINISH SCHEDULE - EXTERIOR

MARK	DESCRIPTION	MANUFACTURER	MODEL NAME	MODEL NUMBER	COLOR	NOTE
BR-A	BRICK VENEER (PRIMARY)	GLEN-GERY	MODULAR	*	JAMESTOWN	MORTAR: ARGOS SAN TAN / G402
BR-B	BRICK VENEER (ACCENT)	GLEN-GERY	MODULAR	*	WHITEHALL	MORTAR: ARGOS SAN TAN / G402
CP-1	CANOPY METAL FASCIA		DURA COAT	DC19ST-2703	DARK BRONZE	OIL RUBBED BRONZE METALLIC TEXTURE PVD
CP-2	CANOPY METAL DECK				WHITE	SMOOTH WHITE, HIGH GLOSS
EC-1	PARAPET WALL COPING	DUROLAST / EXCEPTIONAL METALS			MIDNIGHT BRONZE	
PT-100	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350	SW 2807	ROOKWOOD	REFUSE ENCLOSURE. FINISH: SEMI-GLOSS ON DOOR FRAMES, SATIN ON WALLS
PT-113	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350		DARK BRONZE	FINISH: SEMI-GLOSS
ST-1	STOREFRONT	YKK	YES 45		DARK BRONZE (MATTE)	SEE A-801 FOR GLAZING INFORMATION

GENERAL NOTES
1. ALL SIGNAGE PROVIDED BY OTHERS
2. REF FLOOR PLAN AND WINDOW LEGEND FOR STOREFRONT INFORMATION

ATTACHED CANOPY SCHEDULE

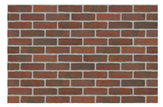
Mark	Description	Count	Overall Width	Overall Depth	Tie Back Mounting (Offset From Top)	Integral Lighting
C1-C	Exterior Canopy	11	6'-4"	1'-0"	0"	No
C4-B	Exterior Canopy	2	5'-4"	4'-0"	2'-4"	Yes
C4-L	Exterior Canopy	1	28'-0"	4'-0"	2'-4"	Yes
C5-A	Exterior Canopy	1	13'-4"	5'-0"	2'-4"	Yes
Grand total		15				

CANOPY NOTES:

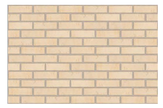
BUILDING MOUNTED CANOPIES
- 8" THICK CANOPY
- KYNAR FINISH OF STRUCTURE, FASCIA, & DECKING TO MATCH CP-1

COLUMN MOUNTED CANOPIES
- 10" THICK CANOPY
- FINISH OF STRUCTURE TO BE CP-1
- FINISH OF DECKING TO BE CP-2

EXTERIOR FINISHES



BR-A
BRICK VENEER
COLOR: JAMESTOWN (BURGUNDY BLEND)
SIZE: MODULAR



BR-B
BRICK VENEER
COLOR: WHITEHALL (OFF WHITE)
SIZE: MODULAR

EC-1
PREFINISHED METAL COPING
COLOR: MIDNIGHT BRONZE

PT-113
EXTERIOR PAINT
COLOR: DARK BRONZE
FINISH: SEMI-GLOSS

ST-1
STOREFRONT
COLOR: DARK BRONZE

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998

ROY A. WILLIAMS, ARCHITECT
750 OLD HICKORY BLVD. SUITE 250
BRENTWOOD, TN 37027
PHONE: 615.377.3111
EMAIL: GENMAIL@EANDHARCH.COM

PROTOTYPICAL SET

NOT FOR REGULATORY APPROVAL, BIDDING, OR CONSTRUCTION

CHICK-FIL-A WORTHINGTON FSU

60 E WILSON BRIDGE RD
WORTHINGTON, OH 43085

FSR#05269

BUILDING TYPE / SIZE: P14 SE LRG
RELEASE: 22.08
PRINTED FOR
DESIGN

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

CITY OF WORTHINGTON

DRAWINGS NO. ARB 109-2022
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DATE 12/13/2022

CONSULTANT PROJECT # ####
DATE 12/12/2022
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SHEET
EXTERIOR ELEVATIONS COLOR

SHEET NUMBER
A-302

12/12/2022 6:00:24 PM Autodesk Docs://OH_05269_Worthington (OH) FSU_2022.9_FSR/05269_Worthington (OH) FSU_ARC.rvt
10-SE-05269-A-302-EXTERIOR ELEVATIONS COLOR

PERSPECTIVE - NORTH WEST

PERSPECTIVE - NORTH EAST

PERSPECTIVE - SOUTH WEST

PERSPECTIVE - SOUTH EAST

Chick-fil-A
5200 Buffington Road
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750 OLD HICKORY BLVD. SUITE 250
BRENTWOOD, TN 37027
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PROTOTYPICAL SET

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CHICK-FIL-A
WORTHINGTON FSU

60 E WILSON BRIDGE RD
WORTHINGTON, OH 43085

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CONSULTANT PROJECT # ####
DATE 12/12/2022
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SHEET
COLOR PERSPECTIVES

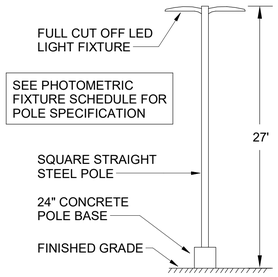
SHEET NUMBER
A-303

12/12/2022 6:00:42 PM Autodesk Docs://OH_05269_Worthington (OH) FSU_2022.9_FSR/05269_Worthington (OH) FSU_ARC.rvt
10-SE-05269-A-303-COLOR PERSPECTIVES

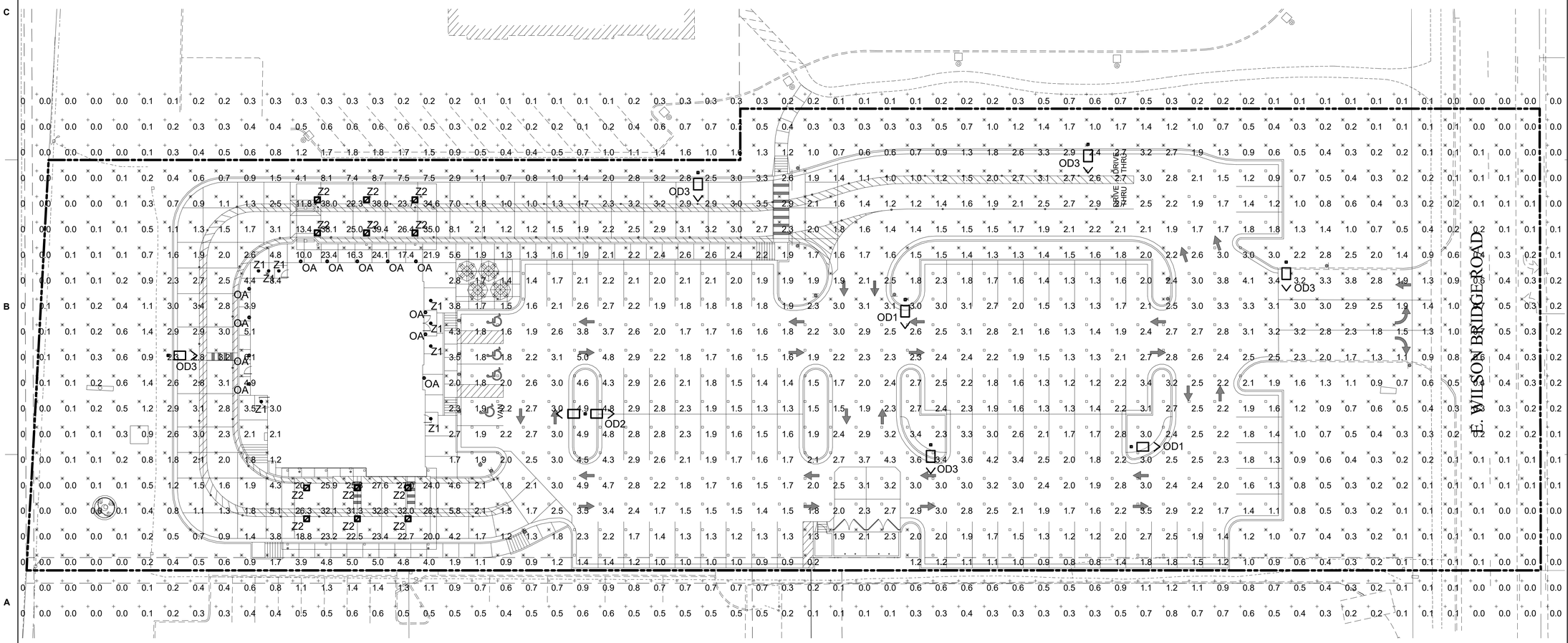
Schedule								
Symbol	Label	Quantity	Manufacturer	Catalog Number	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	OA	12	PROGRESS LTG	P5675-31	2	415	0.95	24
	OD1	2	EATON - LUMARK (FORMER COOPER LIGHTING)	PRV-C60-D-UNV-T4-BZ	2	9993	0.9	153
	OD2	1	EATON - LUMARK (FORMER COOPER LIGHTING)	PRV-C60-D-UNV-T4-BZ	2	9993	0.9	306
	OD3	5	EATON - LUMARK (FORMER COOPER LIGHTING)	PRV-C60-D-UNV-T3-BZ	2	10029	0.9	153
	Z1	8	COOPER/HALO	SLD405930WH	1	750	0.95	12
	Z2	12	LSI INDUSTRIES, INC	CRUS-SC-LED-LW-30	1	9966	0.95	73.5

OD POLES SHALL BE 25' SQUARE STRAIGHT STEEL POLES BY KW INDUSTRIES: SSP25-4.0-7-BRZ-DM10/2180-BC.
MOUNT POLES ON A 2' CONCRETE POLE BASE. POLES AND LIGHTING FIXTURES TO HAVE A DARK BRONZE FINISH.

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone	+	2.1 fc	39.4 fc	0.0 fc	N/A	N/A
CFA Lot Summary	×	2.7 fc	39.4 fc	0.0 fc	N/A	N/A
Parking Lot Summary	□	2.2 fc	5.0 fc	0.8 fc	6.3:1	2.8:1



D1 AREA LIGHTING POLE DETAIL.
N.T.S.



A1 PHOTOMETRIC PLAN
1" = 20'-0"

20' 10' 0' 20' 40'

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998

Kurzynske & Associates
2705 Lebanon Pike - Suite One
Nashville, Tennessee 37214
Telephone: (615) 255-5203

STATE OF OHIO MARK K. LUCZYNSKE #58089 REGISTERED PROFESSIONAL ENGINEER

11/09/22

CHICK-FIL-A WORTHINGTON FSU

60 E. WILSON BRIDGE ROAD
WESTERVILLE, OH 43085

FSR# 05269

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

CITY OF WORTHINGTON

DRAWINGS NO. ARB 109-2022
CU 09-2022

DATE 12/13/2022

CONSULTANT PROJECT #	22171.EH.S
PRINTED FOR	PERMIT
DATE	11/10/2022
DRAWN BY	ES

PERMIT

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SHEET
PHOTOMETRIC PLAN

SHEET NUMBER
E-102.

PROGRESS LIGHTING™

Project:

Fixture Type:

Location:

Contact:

P5675-31
Cylinder

5" up/down cylinder/ outdoor lantern in Black. with heavy duty aluminum construction and die cast wall bracket. Powder coated finish. Wet location listed when used with P860045 top cover lens.

- Black finish.
- Powder coat finish.
- Ideal for a wide variety of interior and exterior applications.
- Die-cast aluminum wall brackets and heavy duty aluminum framing.
- Wet location listed when used with P860045 top cover lens (sold separately)

Category: Outdoor
Finish: Black (powder coat paint)
Construction: cast aluminum Construction

Width: 5 in
Height: 14 in
Depth: 7-7/8 in
H/CTR: 7 in

MOUNTING	ELECTRICAL	LAMPING	ADDITIONAL INFORMATION
Wall mounted	Prewired	Quantity: two 75 W max. PAR-30 or BR-30 or LED equivalent	cCSAus Damp Location Listed
Mounting strap for outlet box included	6 inches of wire supplied	E26 base porcelain sockets	1-year Limited Warranty
back plate covers a standard 4" recessed outlet box: 4.5" W.,	120 V		

CITY OF WORTHINGTON

DRAWINGS NO. ARB 109-2022
CU 09-2022

DATE 12/13/2022

Project		Catalog #		Type	
Prepared by		Notes		Date	

Lumark

Prevail LED

Area / Site Luminaire

Product Features

LumenSafe Technology

Interactive Menu

- Ordering Information page 2
- Mounting Details page 3
- Optical Configurations page 4
- Product Specifications page 4
- Energy and Performance Data page 5
- Control Options page 6

Product Certifications

Quick Facts

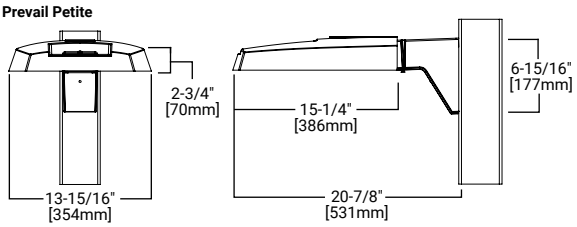
- Lumen packages range from 4,800 - 52,300 lumens (35W - 350W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 160 lumens per watt
- Energy and maintenance savings up to 85% versus HID solutions
- Standard universal quick mount arm with universal drill pattern

Connected Systems

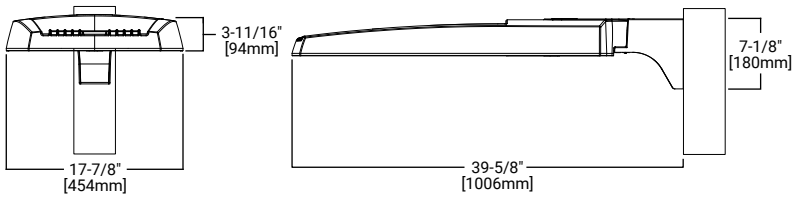
- WaveLinx

Dimensional Details

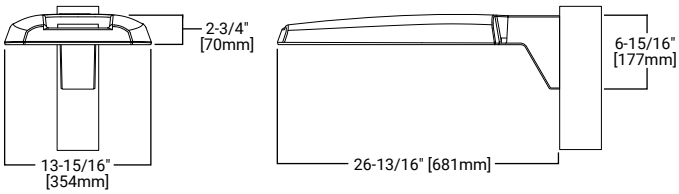
Prevail Petite



Prevail XL



Prevail



CITY OF WORTHINGTON

DRAWINGS NO. ARB 109-2022
CU 09-2022

DATE 12/13/2022

NOTES:
1. Visit https://www.designlights.org/search/ to confirm qualification. Not all product variations are DLC qualified.
2. IDA Certified for 3000K CCT and warmer only.

Ordering Information

SAMPLE NUMBER: **PRV-XL-C75-D-UNV-T4-SA-BZ**

Product Family [1, 2]	Light Engine [4]	Driver	Voltage	Distribution	Mounting	Color
PRV-P=Prevail Petite **BAA-PRV-P**=Prevail Petite BAA Compliant [3] **TAA-PRV-P**=Prevail Petite TAA Compliant [3]	**C10**=(1 LED) 4,900 Nominal Lumens **C15**=(1 LED) 6,900 Nominal Lumens **C20**=(1 LED) 9,800 Nominal Lumens **C25**=(1 LED) 11,800 Nominal Lumens	**D**=Dimming (0-10V)	**UNV**=Universal (120-277V) **347**=347V **480**=480V [5] **DV**=DuraVolt (277-480V) [5, 6]	**T2**=Type II **T3**=Type III **T4**=Type IV **T5**=Type V	**SA**=Standard Versatile Arm **MA**=Mast Arm **WM**=Wall Mount Arm **ADJA**=Adjustable Arm - Pole Mount **ADJS**=Adjustable Arm - Slipfitter, 3in vertical tenon **ADJA-WM**=Adjustable Arm - Wall Mount	**BZ**=Bronze **AP**=Grey **BK**=Black **DP**=Dark Platinum **GM**=Graphite Metallic **WH**=White
PRV=Prevail **BAA-PRV**=Prevail BAA Compliant [3] **TAA-PRV**=Prevail TAA Compliant [3]	**C15**=(1 LED) 7,100 Nominal Lumens **C25**=(2 LEDs) 13,100 Nominal Lumens **C40**=(2 LEDs) 17,100 Nominal Lumens **C60**=(2 LEDs) 20,000 Nominal Lumens					
PRV-XL=Prevail XL **BAA-PRV-XL**=Prevail XL BAA Compliant [3] **TAA-PRV-XL**=Prevail XL TAA Compliant [3]	**C75**=(4 LED) 26,100 Nominal Lumens **C100**=(4 LED) 31,000 Nominal Lumens **C125**=(4 LED) 36,000 Nominal Lumens **C150**=(6 LED) 41,100 Nominal Lumens **C175**=(6 LED) 48,600 Nominal Lumens					

Options (Add as Suffix)

7030=70 CRI / 3000K CCT [7]
7050=70 CRI / 5000K CCT [7]
HSS=House Side Shield [8]
L90=Optics Rotated 90° Left
R90=Optics Rotated 90° Right
10K=10kV UL 1449 Fused Surge Protective Device
20MSP=20kV MOV Surge Protective Device
20K=Series 20kV UL 1449 Surge Protective Device
HA=50°C High Ambient Temperature [9]
CC=Coastal Construction [10]
PER=NEMA 3-PIN Twistlock Photocontrol Receptacle [11]
PER7=NEMA 7-PIN Twistlock Photocontrol R eceptacle [11]
MS/DIM-L08=Dimming Motion and Daylight Sensor, IR Remote Programmable, < 8' Mounting [12, 13]
MS/DIM-L20=Dimming Motion and Daylight Sensor, IR Remote Programmable, 8' - 20' Mounting [12, 13]
MS/DIM-L40=Dimming Motion and Daylight Sensor, IR Remote Programmable, 21' - 40' Mounting [12, 13]
SPB1=Dimming Motion and Daylight Sensor, Bluetooth Programmable, < 8' Mounting [12, 14]
SPB2=Dimming Motion and Daylight Sensor, Bluetooth Programmable, 8' - 20' Mounting [12, 14]
SPB4=Dimming Motion and Daylight Sensor, Bluetooth Programmable, 21' - 40' Mounting [12, 14]
ZW=Wavelinx-enabled 4-PIN Twistlock Receptacle [12]
ZD=SR Driver-enabled 4-PIN Twistlock Receptacle [12]
ZW-SWPD4XX=WaveLinx, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting [12, 15, 16, 17]
ZW-SWPD5XX=WaveLinx, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting [12, 15, 16, 17]
ZD-SWPD4XX=WaveLinx, SR Driver, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting [12, 15, 16, 17]
ZD-SWPD5XX=WaveLinx, SR Driver, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting [12, 15, 16, 17]
(See Table Below)=LumenSafe Integrated Network Security Camera [18, 19]

Accessories (Order Separately) [20, 21]

PRVSA-XX=Standard Arm Mounting Kit [22]
PRVMA-XX=Mast Arm Mounting Kit [22]
PRVWM-XX=Wall Mount Kit [22]
PRV-ADJA-XX=Adjustable Arm - Pole Mount Kit [22]
PRV-ADJS-XX=Adjustable Arm - Slipfitter Kit [22]
PRV-ADJA-WM-XX=Adjustable Arm - Wall Mount Kit [22]
PRVXLSA-XX=Standard Arm Mounting Kit [18]
PRVXLMA-XX=Mast Arm Mounting Kit [18]
PRVXLWM-XX=Wall Mount Kit [18]
PRV-XL-ADJA-XX=Adjustable Arm - Pole Mount Kit [18]
PRV-XL-ADJS-XX=Adjustable Arm - Slipfitter Kit [18]
PRV-XL-ADJA-WM-XX=Adjustable Arm - Wall Mount Kit [18]
MA1010-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon
MA1011-XX=2@180° Tenon Adapter for 3-1/2" O.D. Tenon
MA1017-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon
MA1018-XX=2@180° Tenon Adapter for 2-3/8" O.D. Tenon
SRA238=Tenon Adapter from 2-3/8" to 3"
PRV/COB-FDV=Full Drop Visor [23]
PRVXL/COB-FDV=Full Drop Visor [18]
HS/VERD=House Side Shield [8, 24]
VGS-F/B=Vertical Glare Shield, Front/Back [24]
VGS-SIDE=Vertical Glare Shield, Side [24]
OA/RA1013=Photocontrol Shorting Cap
OA/RA1014=NEMA Photocontrol - 120V
OA/RA1016=NEMA Photocontrol - Multi-Tap 105-285V
OA/RA1201=NEMA Photocontrol - 347V
OA/RA1027=NEMA Photocontrol - 480V
FSIR-100=Wireless Configuration Tool for Occupancy Sensor [25]
SWPD4-XX=WaveLinx Sensor, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting [15, 16, 17, 26]
SWPD5-XX=WaveLinx Sensor, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting [15, 16, 17, 26]
WOLC-7P-10A=WaveLinx Outdoor Control Module (7-PIN) [27]

NOTES:
1. DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details.
2. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for alll applications. Refer to installation instructions IB500002EN and pole white paper WP513001EN for additional support information.
3. Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to DOMESTIC PREFERENCES website for more information. Components shipped separately may be separately analyzed under domestic preference requirements.
4. Standard 4000K CCT and 70CRI.
5. 480V not to be used with ungrounded or impedance grounded systems.
6. DuraVolt drivers feature added protection from power quality issues such as loss of neutral, transients and voltage fluctuations. Visit www.signify.com/duravolt for more information.
7. Use dedicated IES files on product website for non-standard CCTs.
8. House Side Shield not suitable with T5 distribution. Not available with PRV-C60 lumen package.
9. Not available with PRV-C60 lumen package. Not available with PRV-P-C25 lumen package.
10. Salt spray tested to over 5,000-hours per ASTM B117 with a scribe rating of 9 per ASTM D1654. Also achieves 7,000-hour rating per ASTM B117 with a scribe rating of 4 per ASTM D1654. Extended lead times may apply.
11. If DuraVolt (DV) is specified, use a photocontrol that matches the input voltage used.
12. Controls system is not available in combination with a photocontrol receptacle (PER or PER7) or another controls system (MS, SPB, ZD, or ZW). Option not available with DuraVolt (DV) voltage option.
13. Utilizes the Wattstopper sensor FSP-211. Sensor color white unless specified otherwise via PDR. To field-configure, order FSIR-100 accessory separately.
14. Utilizes the Wattstopper sensor FSP-3XX series. Sensor color determined by product finish. See Sensor Color Reference Table. Field-configures via mobile application. See Controls section for details.
15. Sensor passive infrared (PIR) may be overly sensitive when operating below -20°C (-4°F).
16. For the device to be field-configurable, requires WAC Gateway components WAC-PoE and WPOE-120 in appropriate quantities. Only compatible with WaveLinx system and software and requires system components to be installed for operation. See website for more Wavelinx application information.
17. Replace XX with sensor color (WH, BZ, or BK).
18. Only available in PRV-XL configurations C75, C100, C125, C150, or C175.
19. Not available with 347V, 480V, DV, or HA options. Consult LumenSafe system product pages for additional details and compatability information.
20. Replace XX with paint color.
21. For BAA or TAA requirements, Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information.
22. Only for use with PRV and PRV-P.
23. Only for use with PRV. Not available for use with PRV-P or PRV-XL configurations.
24. Must order one per optic/LED when ordering as a field-installable accessory (1, 2, 4, or 6).
25. This tool enables adjustment to Motion Sensor (MS) parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative for more information.
26. Requires 4-PIN twistlock receptacle (ZD or ZW) option.
27. Requires 7-PIN NEMA twistlock photocontrol receptacle (PER7) option. The WOLC-7 cannot be used in conjunction with other controls systems (MS, ZD, ZW or LWR). Operates on 120-347V input voltages.

LumenSafe Integrated Network Security Camera Technology Options (Add as Suffix)

Product Family	Camera Type	Data Backhaul		
L=LumenSafe Technology	**H**=Dome Camera, High Res **Z**=Dome Camera, Remote PTZ	**C**=Cellular, Customer Installed SIM Card **A**=Cellular, Factory Installed AT&T SIM Card	**V**=Cellular, Factory Installed Verizon SIM Card **S**=Cellular, Factory Installed Sprint SIM Card	**E**=Ethernet Networking

Stock Ordering Information

Product Family [1]	Light Engine	Voltage	Distribution
PRVS=Prevail	**C15**=(1 LED) 7,100 Nominal Lumens **C25**=(2 LEDs) 13,100 Nominal Lumens **C40**=(2 LEDs) 17,100 Nominal Lumens **C60**=(2 LEDs) 20,000 Nominal Lumens	**UNV**=Universal (120-277V) **347**=347V [2]	**T3**=Type III **T4**=Type IV
PRVS-XL=Prevail XL	**C75**=(4 LED) 26,100 Nominal Lumens **C100**=(4 LED) 31,000 Nominal Lumens **C125**=(4 LED) 36,000 Nominal Lumens **C150**=(6 LED) 41,100 Nominal Lumens **C175**=(6 LED) 48,600 Nominal Lumens		

NOTES:
1. All stock configurations are standard 4000K/70CRI, bronze finish, and include the standard versatile mounting arm.
2. Only available in PRVS configurations C15, C25, C40 or C60.

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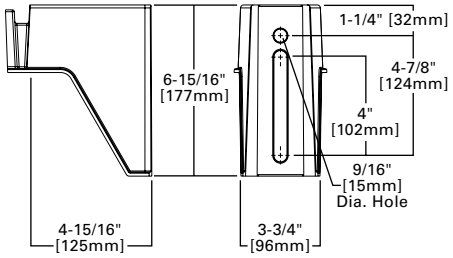
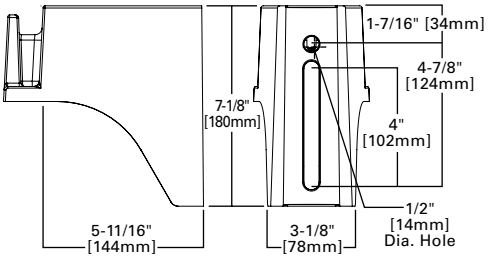
Mounting Details

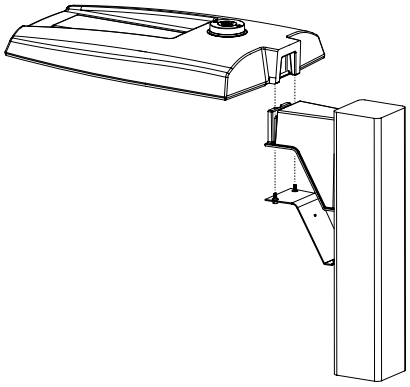
Pole Mount Arm (PRV & PRV-P)



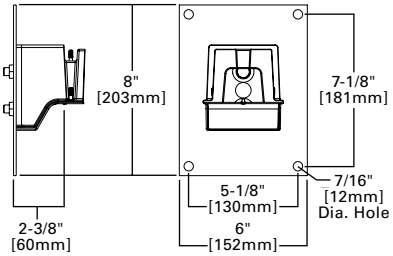
Pole Mount Arm (PRV-XL)



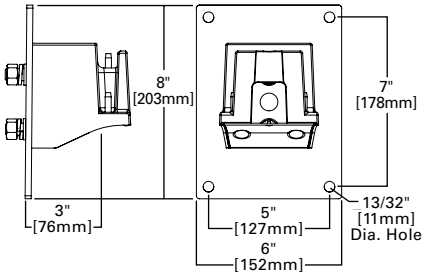
Versatile Mount System



Wall Mount (PRV & PRV-P)



Wall Mount (PRV-XL)



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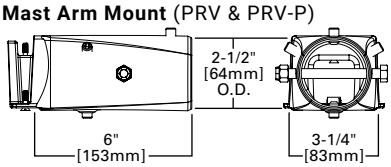
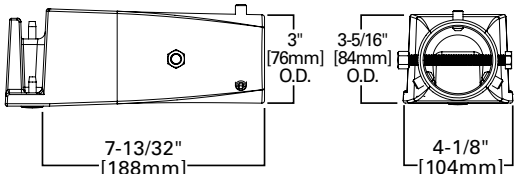
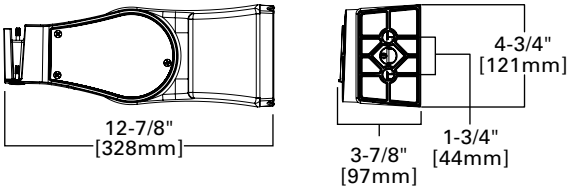
Mast Arm Mount (PRV & PRV-P)



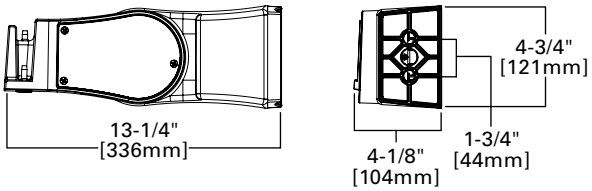
Mast Arm Mount (PRV-XL)



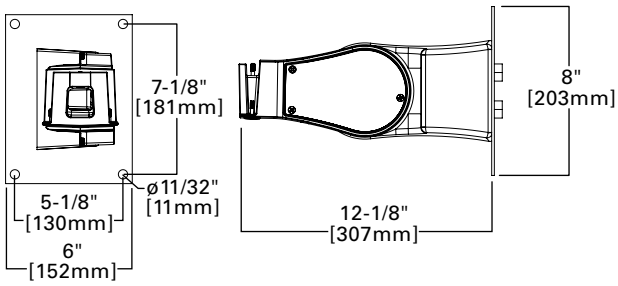
Adjustable Pole Mount Arm (PRV & PRV-P)



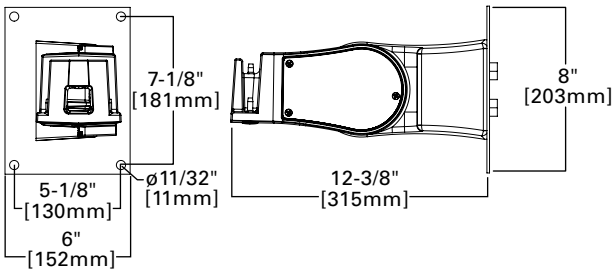
Adjustable Pole Mount Arm (PRV-XL)



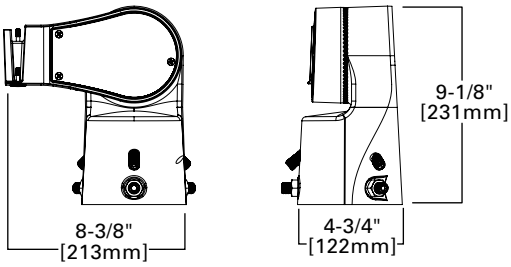
Adjustable Wall Mount (PRV & PRV-P)



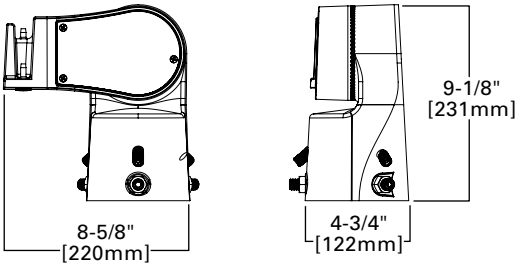
Adjustable Wall Mount (PRV-XL)



Adjustable Slipfitter (PRV & PRV-P)



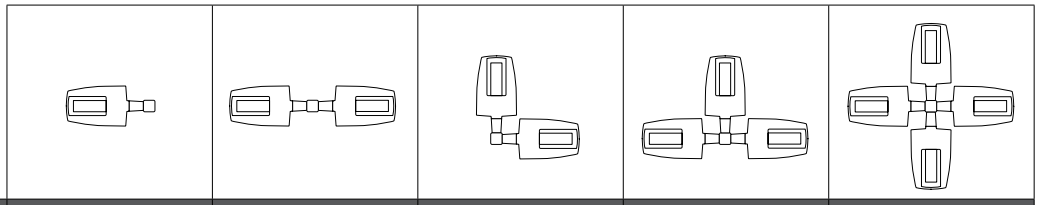
Adjustable Slipfitter (PRV-XL)



Mounting Details

Mounting Configurations and EPAs

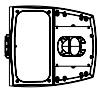
NOTE: For 2 PRV's mounted at 90°, requires minimum 3" square or 4" round pole for fixture clearance. For 2 PRV-XL's mounted at 90°, requires minimum 4" square or round pole for fixture clearance. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications.



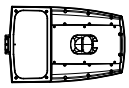
Housing Size	Tilt Angle (Degrees)	Arm Mount Single	Arm Mount 2 @ 180°	Arm Mount 2 @ 90°	Arm Mount 3 @ 90°	Arm Mount 4 @ 90°
Prevail Petite	0°	0.54	1.08	0.84	1.38	1.38
	60°	1.68	1.85	2.42	3.15	3.30
Prevail	0°	0.92	1.35	1.42	1.63	1.63
	60°	2.20	2.40	3.05	3.88	4.07
	60° + Full Drop Visor	2.20	2.40	3.25	4.28	4.47
Prevail XL	0°	1.12	2.25	2.13	2.52	2.52
	60°	3.99	4.30	5.26	6.51	6.79
	60° + Full Drop Visor	3.99	4.30	5.59	7.17	7.49

Optical Configurations

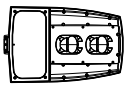
PRV-P-C10/C15/C20/C25 (4,900/6,900/9,800/11,800 Nominal Lumens)



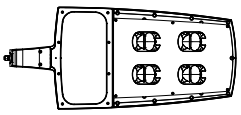
PRV-C15 (7,100 Nominal Lumens)



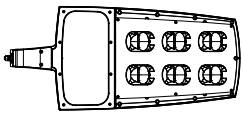
PRV-C25/C40/C60 (13,100/17,100/20,000 Nominal Lumens)



PRV-XL-C75/C100/C125 (26,100/31,000/36,300 Nominal Lumens)

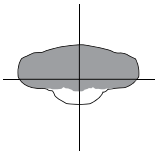


PRV-XL-C150/C175 (41,100/48,600 Nominal Lumens)

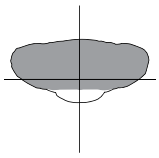


Optical Distributions

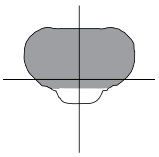
T2 (Type II)



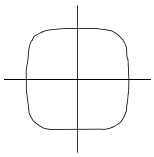
T3 (Type III)



T4 (Type IV)



T5 (Type V)



= Distribution with House Side Shield (HSS)

= Optical Distribution

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Product Specifications

Construction
- Single-piece die-cast aluminum housing
- Tethered die-cast aluminum door

Optics
- Dark Sky Approved (3000K CCT and warmer only)
- Precision molded polycarbonate optics

Electrical
- -40°C minimum operating temperature
- 40°C maximum operating temperature
- >.9 power factor
- <20% total harmonic distortion
- Class 1 electronic drivers have expected life of 100,000 hours with <1% failure rate
- 0-10V dimming driver is standard with leads external to the fixture
- Standard MOV surge protective device designed to withstand 10kV of transient line surge

Mounting
- Versatile, patented, standard mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8" (Type M drilling recommended for new installations)
- A knock-out on the standard mounting arm enables round pole mounting
- Adjustable pole and wall mount arms adjust in 5° increments from 0° to 60°; Downward facing orientation only (Type N drilling required for ADJA mount)
- Adjustable slipfitter arm adjusts in 5° increments from -5° to 85°; Downward facing orientation only
- Adjustable Arms: 1.5G vibration rated
- Prevail and Prevail Petite: 3G vibration rated
- Prevail XL Mast Arm: 3G vibration rated
- Prevail XL Standard Arm: 1.5G vibration rated

Typical Applications
- Parking lots, Walkways, Roadways and Building Areas

Finish
- Five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness
- Finish is compliant to 3,000 hour salt spray standard (per ASTM B117)

Shipping Data
- Prevail Petite: 18 lbs. (7.94 kgs.)
- Prevail: 20 lbs. (9.09 kgs.)
- Prevail XL: 45 lbs. (20.41 kgs.)

Warranty
- Five year limited warranty, consult website for details. www.cooperlighting.com/legal

Energy and Performance Data

View PRV-P IES files | View PRV IES files | View PRV-XL IES files

Power and Lumens

Product Family		Prevail Petite				Prevail				Prevail XL				
Light Engine		C10	C15	C20	C25	C15	C25	C40	C60	C75	C100	C125	C150	C175
Power (Watts)		35	49	73	94	52	96	131	153	176	217	264	285	346
Input Current @ 120V (A)		0.29	0.41	0.61	0.79	0.43	0.80	1.09	1.32	1.50	1.84	2.21	2.38	2.92
Input Current @ 277V (A)		0.13	0.18	0.27	0.35	0.19	0.35	0.48	0.57	0.66	0.82	0.97	1.04	1.25
Input Current @ 347V (A)		0.11	0.16	0.23	0.29	0.17	0.30	0.41	0.48	0.54	0.66	0.79	0.84	1.02
Input Current @ 480V (A)		0.08	0.12	0.17	0.22	0.12	0.22	0.30	0.35	0.40	0.48	0.57	0.62	0.74
Distribution [1]														
Type II	4000K Lumens	4,775	6,717	9,542	11,521	7,123	13,205	17,172	20,083	26,263	31,231	36,503	41,349	48,876
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B4-U0-G4	B4-U0-G4	B4-U0-G5
	Lumens per Watt	138	137	131	122	137	138	131	131	149	144	138	145	141
	3000K Lumens [1]	4,869	6,595	9,369	11,312	6,994	12,965	16,860	19,718	25,786	30,664	35,840	40,598	47,989
Type III	4000K Lumens	4,782	6,727	9,556	11,538	7,111	13,183	17,144	20,050	26,120	31,061	36,304	41,124	48,610
	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	138	137	131	123	137	137	131	131	148	143	138	144	140
	3000K Lumens [1]	4,695	6,605	9,383	11,329	6,982	12,944	16,832	19,686	25,646	30,497	35,645	40,377	47,727
Type IV	4000K Lumens	4,880	6,865	9,752	11,774	7,088	13,140	17,087	19,984	26,098	31,035	36,274	41,089	48,569
	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B1-U0-G3	B2-U0-G4	B2-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5
	Lumens per Watt	141	140	134	125	136	137	130	131	148	143	137	144	140
	3000K Lumens [1]	4,792	6,740	9,575	11,561	6,959	12,901	16,777	19,621	25,624	30,471	35,615	40,343	47,687
Type V	4000K Lumens	5,067	7,128	10,126	12,226	7,576	14,045	18,264	21,360	28,129	33,450	39,097	44,287	52,349
	BUG Rating	B3-U0-G2	B3-U0-G2	B4-U0-G3	B4-U0-G3	B3-U0-G3	B4-U0-G3	B4-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	146	145	139	130	146	146	139	140	160	154	148	155	151
	3000K Lumens [1]	4,975	6,999	9,942	12,004	7,438	13,790	17,932	20,972	27,618	32,843	38,387	43,483	51,398

NOTES:
1. For 3000K, 5000K or HSS data, refer to published IES files.

Lumen Maintenance

Configuration	TM-21 Lumen Maintenance (50,000 Hours)	Theoretical L70 (Hours)
Prevail and Prevail Petite at 25°C	91.30%	> 194,000
Prevail and Prevail Petite at 40°C	87.59%	> 134,000
Prevail XL at 25°C	91.40%	> 204,000
Prevail XL at 40°C	89.41%	> 158,000

Sensor Color Reference Table (SPBx)

Housing Finish	Sensor Color
AP=Grey	Grey
BZ=Bronze	Bronze
BK=Black	Black
DP=Dark Platinum	Grey
GM=Graphite Metallic	Black
WH=White	White

Lumen Multiplier

Ambient Temperature	Lumen Multiplier
10ºC	1.02
15ºC	1.01
25ºC	1.00
40ºC	0.99

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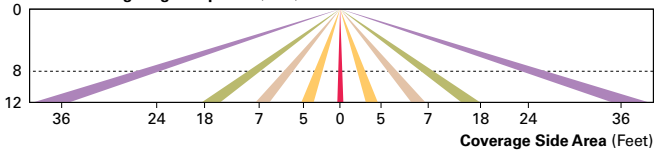
Control Options

0-10V This fixture provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

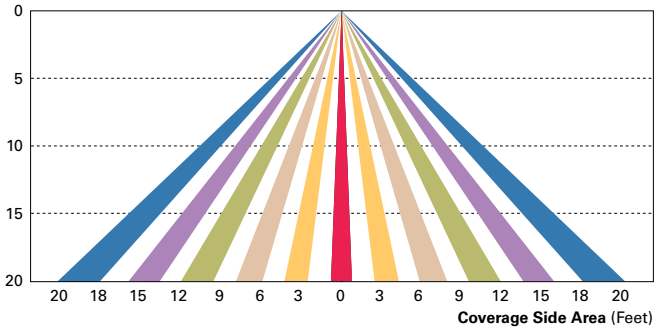
Photocontrol (PER and PER7) Photocontrol receptacles provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-PIN standards can be utilized with the PER7 receptacle.

Dimming Occupancy Sensor (SPB, MS/DIM-LXX and MS-LXX) These sensors are factory installed in the luminaire housing. When the SPB or MS/DIM sensor options are selected, the luminaire will dim down after five minutes of no activity detected. When activity is detected, the luminaire returns to full light output. When a sensor for ON/OFF operation (MS-LXX) is selected, the luminaire will turn off after five minutes of no activity. These occupancy sensors include an integral photocell for "dusk-to-dawn" control or "daylight harvesting." Factory default is enabled for the MS sensors and disabled for the SPB. SPB motion sensors require the Sensor Configuration mobile application by Wattstopper to change factory default dimming level, time delay, sensitivity and other parameters. Available for iOS and Android devices. The SPB sensor is factory preset to dim down to approximately 10% power with a time delay of five minutes.

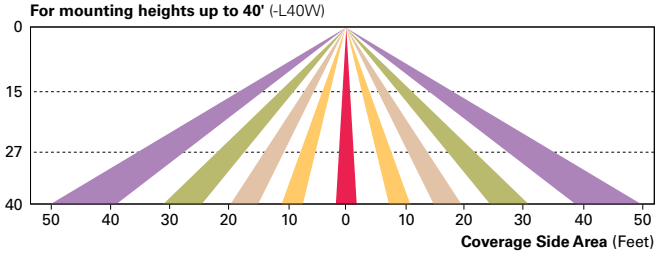
For mounting heights up to 8' (-L08)



For mounting heights up to 20' (-L20)



For mounting heights up to 40' (-L40W)

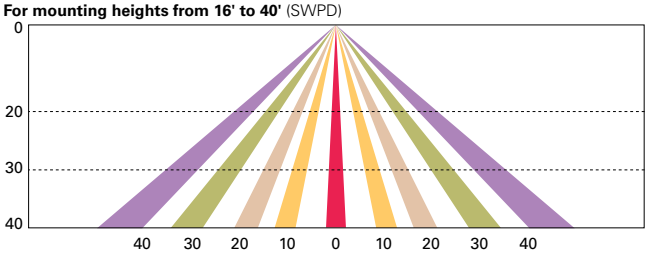


WaveLinx Wireless Control and Monitoring System Available in 7-PIN or 4-PIN configurations, the WaveLinx Outdoor control platform operates on a wireless mesh network based on IEEE 802.15.4 standards enabling wireless control of outdoor lighting. At least one Wireless Area Controller (WAC) is required for full functionality and remote communication (including adjustment of any factory pre-sets).

WaveLinx Outdoor Control Module (WOLC-7P-10A) A photocontrol that enables astronomic or time-based schedules to provide ON, OFF and dimming control of fixtures utilizing a 7-PIN receptacle. The out-of-box functionality is ON at dusk and OFF at dawn.

WaveLinx Wireless Sensor (SWPD4 and SWPD5) These outdoor sensors offer passive infrared (PIR) occupancy sensing and a photocell for closed-loop daylight sensing. These sensors can be factory installed or field-installed via simple, tool-less integration into luminaires equipped with the Zhaga Book 18 compliant 4-PIN receptacle (ZD or ZW). These sensors are factory preset to dim down to approximately 50 percent power after 15 minutes of no activity detected, and the photocell for "dusk-to-dawn" control is default enabled. A variety of sensor lenses are available to optimize the coverage pattern for mounting heights from 7'-40'.

For mounting heights from 16' to 40' (SWPD)



LumenSafe (LD) The LumenSafe integrated network camera is a streamlined, outdoor-ready camera that provides high definition video surveillance. This IP camera solution is optimally designed to integrate into virtually any video management system or security software platform of choice. No additional wiring is needed beyond providing line power to the luminaire. LumenSafe features factory-installed power and networking gear in a variety of networking options allowing security integrators to design the optimal solution for active surveillance.

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Specifications and dimensions subject to change without notice.

HALO

DESCRIPTION

The Halo Surface LED Downlight (SLD) incorporates WaveStream™ technology to create an ultra-low profile surface mounting luminaire with the performance and look of a traditional downlight. SLD4 is designed for installation in many 3-1/2" and 4" round or octagon junction boxes. May also retrofit in 4" aperture IC and Non-IC recessed housings*. Dedicated LED wiring connector meets high-efficacy code requirement in recessed downlighting. Suitable for residential or commercial installations. Ideal for closets, storage areas, attics and basements. Compliant with NFPA® 70, NEC® Section 410.16 (A)(3) and 410.16 (C)(5).

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

CONSTRUCTION
- Die cast aluminum trim ring and die formed aluminum frame

OPTICS
- WaveStream™ technology provides uniform luminance from a low profile flat lens
- AccuAim™ optics provide directional control for the "cone-of-light" beam distribution of a traditional downlight
- Precision molded lens features high transmission polymer with UV stabilized protecting film

DESIGNER TRIMS
Accessories (sold separately)
SLD designer trims are accessory rings that attach to the SLD for a permanent finish. Refer to SLD accessories specification sheet for details.
- White (Paintable)
- Satin Nickel
- Tuscan Bronze

ELECTRICAL JUNCTION BOX MOUNTING
- SLD may be used in compatible electrical junction boxes in direct contact with insulation including spray foam insulation
- Suitable for installation in many 3-1/2" and 4" octagon and round electrical junction boxes.
  Note: Driver consumes 3 cubic inches of junction box.
- Installer must ensure compatibility of fit, wiring and proper mounting in the electrical junction box. This includes all applicable national and local electrical and building codes.
- Proprietary Slot-N-Lock quick installation system for junction box installation
- T-bracket with Slot-N-Lock mounting tabs included.

RECESSED HOUSING MOUNTING
Friction Blade
- Pre-installed precision formed friction blades included
- Friction blade design allows the SLD to be installed in any position within the housing aperture (360 degrees)

* **Note:** Not for use in recessed housings in direct contact with spray foam insulation refer to NEMA LSD 57-2013

LED
- Trilateral linear LED assembly is integrated in trim perimeter.
- Color Temperature: 2700K, 3000K, 3500K, 4000K
- CRI options: 80 and 90†
  - 90 CRI can be used to comply with California Title 24 High Efficacy requirements. Certified to California Appliance Efficiency Database under JA8
- L70 at 50,000 hours projected in accordance with TM-21

WARRANTY
Cooper Lighting Solutions provides a five year limited warranty on the SLD LED

LED CHROMATICITY
- A tight chromaticity specification ensures LED color uniformity, sustainable Color Rendering Index (CRI) and Correlated Color Temperature (CCT) over the useful life of the LED
- LED chromaticity of 3 SDCM exceeds ENERGY STAR® color standards per ANSI C78.377-2008
- 90 CRI model features high color performance with R9 greater than 50
- Every Halo LED is quality tested, measured, and serialized in a permanent record to register lumens, wattage, CRI and CCT.
- Halo LED serialized testing and measurement ensures color and lumen consistency on a per-unit basis, and validates long-term product consistency over time

ELECTRICAL CONNECTIONS
Junction Box
- Compatible with many 3-1/2" x 2" and 4" x 1-1/2" round and octagon boxes (2-1/8" deep boxes recommended)
- Supply Wire Adapter with LED quick connector included

Recessed Housings
- LED connector is compatible with Halo 4" H995 and H245 Series LED Housings
- LED Connector meets California Title-24 high-efficacy luminaire standard as a non-screw base
- The included E26 Edison screw-base adapter provides capability for retrofit*
- LED connector is a non-screwbase luminaire disconnect for tool-less installation

LED DRIVER
- Driver is a 120V input high efficiency, dimmable electronic power supply providing DC power to the LED array
- Driver features high power factor, low THD, and has integral thermal protection in the event of over temperature or internal failure.
- Driver is replaceable if it should be required

SLD4058xxWH
80CRI
2700K, 3000K, 3500K, and 4000K

SLD4059xxWH
90CRI
2700K, 3000K, 3500K, and 4000K

4" Surface LED Downlight

Suitable for ceiling or wall electrical junction boxes

Suitable for 4" recessed housing retrofit (IC, Non-IC & AIR-TITE™)

ENERGY DATA

	80 CRI	90 CRI
Lumens (4000K models)	800	710
Input Voltage	120V	120V
Frequency	50/60 Hz	50/60 Hz
Input Current	0.10 A	0.10 A
Input Power	12.2 W	12 W
Efficiency (4000K models)	66 lm/W	59 lm/W
THD	≤ 20%	
Power Factor	≥ 0.90	
T Ambient	-30 - +40°C	
Sound Rating	Class A	

NOMENCLATURE

SLD 405 8 30 WH
405 = 4" SLD
8 = >80 CRI
30 = 3000K
WH = Matte White

80 CRI nominal CCT 2700K 3000K 3500K 4000K

ENERGY STAR — Can be used for IECC International Energy Conservation Code High Efficacy Compliance — RoHS — airtite — Shoulderlight

Refer to ENERGY STAR® Certified Products List.

90 CRI nominal CCT 2700K 3000K 3500K 4000K 5000K

ENERGY STAR — Can be used for IECC International Energy Conservation Code High Efficacy Compliance — Efficiency Standards T24 California Title 24 Residential and Non-Residential Compliant — RoHS — airtite — Shoulderlight

Refer to ENERGY STAR® Qualified Products List.
Can be used to comply with California Title 24 High Efficacy requirements.
Certified to California Appliance Efficiency Database under JA8.
Indoor LED nominal CCT of 4000K or less.

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*Non-California Product Only

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DIMMING

- Designed for continuous dimming capability to nominally 5% with many 120V Leading Edge (LE) and Trailing Edge (TE) phase control dimmers. Dimming to 5% is best assured using dimmers with low end trim adjustment. Consult dimmer manufacturer for compatibility and conditions of use. (Note some dimmers require a neutral in the wallbox.)

COMPLIANCE

- cULus Listed ceiling and wall
- cULus Damp Location listed ceiling and wall
- cULus Wet Location Listed, ceiling only (shower rated)
- Suitable for use in closets, compliant with NFPA® 70, NEC® Section 410.16 (A)(3) and 410.16 (C)(5)
- SLD may be used in compatible electrical junction boxes in direct contact with insulation including spray foam insulation
- May be installed in IC recessed housings in direct contact with insulation (Not for use in recessed housings in direct contact with spray foam insulation. Refer to NEMA LSD 57-2013)
- UL Classified when used in retrofit with listed housings (See Housing Compatibility)
- EMI/RFI: meets FCC 47CFR Part 15 Class B limits, and is suitable for use in residential and commercial installations
- Airtight certified per ASTM E283 (not exceeding 2.0 CFM under 57 Pascals pressure difference)
- 90 CRI: Can be used to comply with California Title 24 High Efficacy requirements.
- 80 CRI: Can be used to comply with California Title 24 Non-Residential Lighting Controls requirements as a LED luminaire.
- Can be used for International Energy Conservation Code (IECC)
- ENERGY STAR® Certified luminaire - consult ENERGY STAR® Certified Product List
- Contains no mercury or lead and RoHS compliant.
- Photometric testing in accordance with IES LM-79
- Lumen maintenance projections in accordance with IES LM-80 and TM-21

SLD4058xxWH
80CRI
2700K, 3000K, 3500K, and 4000K

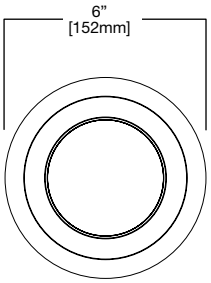
SLD4059xxWH
90CRI
2700K, 3000K, 3500K, and 4000K

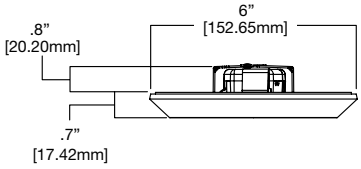
4" Surface LED Downlight

Suitable for ceiling or wall electrical junction boxes

Suitable for 4" recessed housing retrofit (IC, Non-IC & AIR-TITE™)

DIMENSIONS





ORDERING INFORMATION

SAMPLE NUMBER: SLD405927WH SLD4TRMSN
Junction Box Installation: Order junction box separately, as supplied by others, to complete installation.
Recessed Installation: Order Halo recessed housing separately to complete installation.

Models	Color Rendering Index	Color Temperature (CCT)	Finish	Accessories
SLD405= 4" Surface LED Downlight, 120V California non-E26 Models **SLD405927WH**-CA **SLD405930WH**-CA **SSLD405935WH**-CA **SSLD405940WH**-CA	**8**=80 CRI **9**=90 CRI	**27**=2700K **30**=3000K **35**=3500K **40**=4000K	**WH**=White	Designer Trims Fit over the SLD4 for a designer finish **SLD4TRMSN**=4" SLD Satin Nickel **SLD4TRMTBZ**=4" SLD Tuscan Bronze **SLD4TRMWH**=4" SLD White (paintable) J-Box Spacer Extension Ring Add 15/16" depth when SLD driver cannot fit into installed junction box **SLD4EXT**=4" Surface LED J-Box Extender, 7.75" O.D. RAD Adapters When junction box is mounted flat on a ceiling or beam surface (not recessed in ceiling) **SLD4RAD**=4" SLD Round Surface J-Box Adapter, 6.15" O.D. (For 4-inch round or octagon junction boxes) Spare Parts **SLD4ACCKIT**=4" Accessory Parts Replacement Kit (Screwbase adapter, torsion springs, friction blades) **SLD4BRKT**=4" Junction Box Bracket & Screws Refer to SLD Accessories specification sheet for further information.

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HOUSING COMPATIBILITY

The SLD4 is UL Listed in Halo recessed housings, and is UL Classified for use with any 4 inch diameter recessed housing constructed of steel or aluminum with an internal volume that exceeds 62.3 in³ in addition to those noted below:

Compatible Halo LED Housings with LED luminaire connector (high-efficacy compliant)		
HALO LED	Recessed Can Size	Catalog Number
	4"	H995ICAT, H995RICAT, H245ICAT, H245RICAT
Compatible Halo Incandescent E26 Screwbase Housings		
HALO	Recessed Can Size	Catalog Number
	4"	H99ICAT, H99TAT, H99RTAT, E4ICATSB, E4TATSB, E4RTATSB

COMPATIBLE WITH COOPER LIGHTING SOLUTIONS' CROUSE-HINDS JUNCTION BOXES

TP316
for non-metallic cable
4" x 4" x 2-1/8"
(102mm x 102mm x 54mm)

TP317
for metal clad cable
4" x 4" x 2-1/8"
(102mm x 102mm x 54mm)

- **TP316 -** for non-metallic cable
- **TP317 -** for metal clad cable
- UL Listed
- Refer to www.crouse-hinds.com

COMPATIBLE WITH MANY OTHER JUNCTION BOXES*

4" octagon light fixture/fan steel box
4" x 4" x 2-1/8"
(102mm x 102mm x 54mm)

4" octagon steel box
4" x 4" x 1-1/2"
(102mm x 102mm x 38mm)

4" round new work non-metallic box with hanger bar assembly
4" diameter x 2-3/16" (102mm x 56mm)

4" round new work non-metallic light fixture/fan box
4" diameter x 2-3/16"
(102mm x 56mm)

3-1/2" round new work non-metallic ceiling box
3-1/2" diameter x 2-3/4"
(89mm x 70mm)

3-1/2" round old work non-metallic box
4-1/4" O.D. flange, 3-1/2" I.D. x 2-5/8"
(108mm O.D., 89mm I.D. x 67mm)

4" round surface mount box
4" diameter x 1-1/2"
(102mm x 38mm)
Requires SLD4RAD adapter

*This is a representative list of compatible junction boxes only. Information contained in this literature about other manufacturers' products is from published information made available by the manufacturer and is deemed to be reliable, but has not been verified. Cooper Lighting Solutions makes no specific recommendation on product selection and there are no warranties of performance or compatibility implied. Installer must determine that site conditions are suitable to allow proper installation of the SLD mounting bracket in the box.

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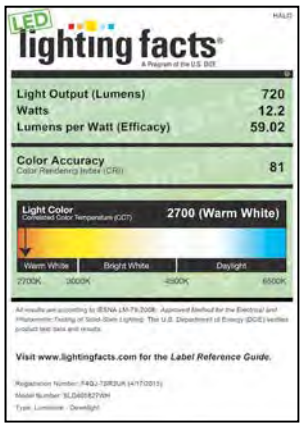
PRODUCT DATA

Cat No.	CRI	CCT	Lumens	Power (W)	LPW
SLD405827WH	81	2700	720	12.2	59
SLD405830WH	81	3000	750	12.2	61
SLD405835WH	81	3500	780	12.2	64
SLD405840WH	81	4000	800	12.2	66
SLD405927WH	92	2700	650	12	54
SLD405930WH	92	3000	670	12	56
SLD405935WH	92	3500	690	12	58
SLD405940WH	92	4000	710	12	59

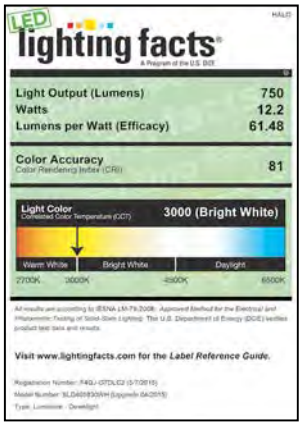
Performance values are presented as typical for the model(s) indicated. Field results may vary.

LIGHTING FACTS®

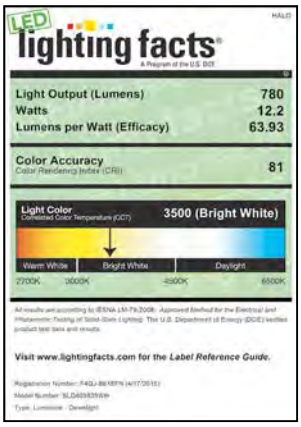
SLD405827WH - 80 CRI



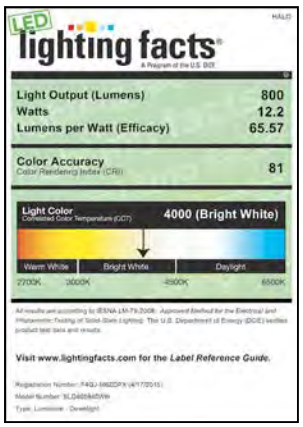
SLD405830WH - 80 CRI



SLD405835WH - 80 CRI

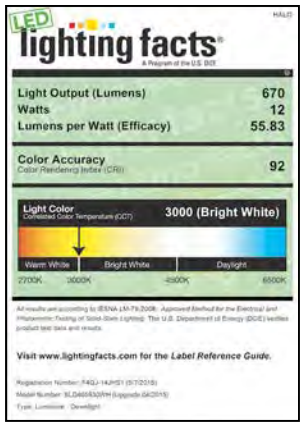


SLD405840WH - 80 CRI

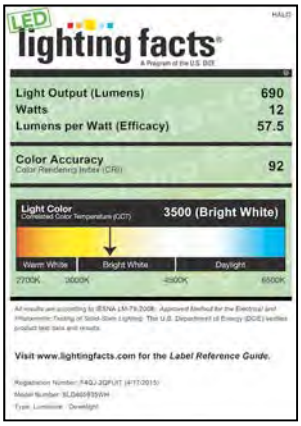


SLD405927WH - 90 CRI

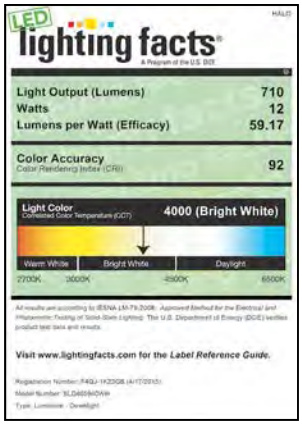
SLD405930WH - 90 CRI



SLD405935WH - 90 CRI



SLD405940WH - 90 CRI



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Catalog #: _____ Project: _____

Prepared By: _____ Date: _____ Type: _____

Scottsdale® Legacy (CRUS)

LED Canopy Luminaire

IP66

OVERVIEW	
Lumen Package	5,000 - 22,000
Wattage Range	38 - 152
Efficacy Range (LPW)	114 -156
Weight lbs(kg)	23 (10.4)

QUICK LINKS

Ordering Guide | Performance | Photometrics | Dimensions

FEATURES & SPECIFICATIONS

Construction

- Features a ultra-slim 11/16" profile die-cast housing, with flat clear or diffused tempered glass lens. Unit is water-resistant, sealed and IP66 rated. Integral designed heat sink does not trap dirt and grime, ensuring cool running performance over the life of the fixture.
- Standard color is white and is finished with LSI's DuraGrip® polyester powder coat process. DuraGrip withstands extreme weather changes without cracking or peeling.
- Luminaire assembly incorporates a pressure stabilizing vent breather to prevent seal fatigue and failure.

Optical System

- Features an array of select, mid-power, high brightness, high efficiency LED; 3000K, 4000K, 5000K color temperature, 80 CRI (nominal).
- Choice of Symmetric or Asymmetric distribution. Asymmetric provides a wider distribution pattern. Optional symmetric with diffused lens also available.
- Diffuse lens available as an option to soften brightness of the luminaire.
- Six Lumen Packages: 5,000, 9,000, 10,000, 13,000, 18,000 and 22,000 Lumens.

Electrical

- High performance factory programmable driver features over-voltage, under voltage, short-circuit and over temperature protection with integral 6kV surge protection that meets IEEE C62.41.2 and ANSI C82.77-5 Location Category C Low standards. Additional field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2). Custom lumen and wattage packages available.
- Driver components are fully encased in potting for moisture resistance. Complies with IEC and FCC standards. 0-10 V dimming supplied standard with all drive currents.
- Die-cast aluminum, wet location rated driver/electrical enclosure is elevated above canopy deck to prevent water entry, provide easy "knock-out" connection of primary wiring and acts as the primary heatsink ensuring cool operation of internal components for longer life. Seals to optical housing via one-piece molded silicone gasket.
- Universal voltage power supply, 120-277 VAC, 50/60 HZ and 347-480 VAC, 50/60 HZ input.
- -40°C to 55°C (-40°F to 131°F) ambient operating temperature. (Varies based on lumen package and mounting style see performance data for specifics.)
- Minimum 60,000 to 100,000 hours depending upon the ambient temperature of the installation location (see performance data for specifics.)

Hazardous Location

- Designed for lighter than air fuel applications. Product is suitable for Class 1 Divisions 2 only when properly installed per LSI installation instructions. See lsicorp.com for specific guidance. Not available on SLW.

Installation

- One-person installation.
- Installs in a 12" or 16" deck pan. Deck penetration consists of a 4" hole, simplifying installation and water sealing. Unit is designed to quickly retrofit into existing Scottsdale (4") hole as well as openings for Encore and Encore Top Access and to reconnect wiring for the SC/ECTA without having to relocate the conduit.
- Retro panels are available for existing Encores as well as kits for recessed and 2x2 installations (see separate spec sheets). Support brackets are provided standard, to prevent sagging of deck.

Warranty

- LSI LED fixtures carry a 5-year warranty (contact your LSI representative for extended warranty options.)

Listings

- UL and ETL listed to UL 1598, UL 8750 and other U.S. and International safety standards. Suitable for wet locations.
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.
- Meets Buy American Act requirements.
- IDA compliant with 3000K or lower color temperature.

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Type: _____

Scottsdale® Legacy LED Canopy Luminaire (CRUS)

ORDERING GUIDE

Back to Quick Links

TYPICAL ORDER EXAMPLE: **CRUS SC LED SS 50 UE WHT**

Prefix	Distribution	Light Source	Drive Current	Color Temp	Input Voltage	Finish	Options
CRUS - LED Canopy Luminaire	**SC** - Symmetric **AC**[1] - Asymmetric	**LED**	**SLW -** 5,000 Lumens **VLW -** 9,000 Lumens **LW -** 11,000 Lumens **SS -** 13,000 Lumens **HO -** 19,000 Lumens **VHO -** 22,000 Lumens **Custom Lumen Packages**[3]	**50** - 5,000K **40** - 4,000K **30** - 3,000K	**UE** - Universal Voltage (120 - 277V) **HV -** High Voltage 347 - 480V	**WHT** - White **BRZ** - Bronze **BLK** - Black	**HL**[2] - Hazardous Location **DFL** - Diffuse Lens

FOOTNOTES:
1. AC distribution utilizes a reflector which alters the look from a standard SC distribution.
2. Not available on SLW.
3. Custom lumen and wattage packages available consult factory. Values are within industry standard tolerances but not DLC listed.

Accessory Ordering Information (Accessories are field installed)

Description	Order Number
Retrofit Panels - EC / ECTA / SCF to CRUS, for 16" Deck Panel	525946
Retrofit Panels - ECTA / SCF to CRUS, for 12" Deck Panel	530281
Retrofit 2x2 Cover Panel Blank (no holes)	357282

Description	Order Number
Retrofit RIC Cover Panel Blank (no holes)	354702
Kit - Hole Plugs and Silicone (enough for 25 retrofits)[1]	1320540

1 - Consists of (25) 7/8" hole plugs, (100) 5/16" hole plugs and (1) tube of RTV

PERFORMANCE

Back to Quick Links

DELIVERED LUMENS

Lumen Package	Distribution	3000K CCT			4000K CCT			5000K CCT			Wattage
		Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	
VHO	SC	21301	140	B4-U0-G2	21835	144	B4-U0-G2	22697	150	B4-U0-G2	152
	AC	17355	114	B3-U0-G3	17799	117	B3-U0-G3	18502	122	B3-U0-G3	
HO	SC	17889	143	B3-U0-G1	18346	146	B3-U0-G2	19071	152	B4-U0-G2	125
	AC	14582	116	B3-U0-G2	14955	119	B3-U0-G2	15546	124	B3-U0-G2	
SS	SC	13113	141	B3-U0-G1	13449	144	B3-U0-G1	13980	150	B3-U0-G1	93
	AC	11468	123	B3-U0-G2	11761	126	B3-U0-G2	12226	131	B3-U0-G2	
LW	SC	10457	144	B3-U0-G1	10724	148	B3-U0-G1	11148	154	B3-U0-G1	73
	AC	9145	126	B2-U0-G2	9379	129	B2-U0-G2	9749	134	B2-U0-G2	
VLW	SC	8783	146	B3-U0-G1	9008	149	B3-U0-G1	9364	155	B3-U0-G1	60
	AC	7681	127	B2-U0-G1	7878	131	B2-U0-G1	8189	136	B2-U0-G1	
SLW	SC	5585	146	B2-U0-G1	5728	150	B2-U0-G1	5954	156	B2-U0-G1	38
	AC	4884	128	B1-U0-G1	5009	131	B1-U0-G1	5207	136	B1-U0-G1	

*LEDs are frequently updated therefore values are nominal.

ELECTRICAL DATA (AMPS)

Lumen Package	Wattage	120V	208V	240V	277V	347V	480V
VHO	152	1.27	0.73	0.64	0.55	0.44	0.32
HO	124	1.03	0.6	0.52	0.45	0.36	0.26
SS	92	0.77	0.44	0.38	0.33	0.27	0.19
LW	72	0.6	0.35	0.3	0.26	0.21	0.15
VLW	60	0.5	0.29	0.25	0.22	0.17	0.13
SLW	38	0.32	0.18	0.16	0.14	0.11	0.08

*Electrical data at 25C (77F). Actual wattage may differ by +/-10%.

OPERATING TEMPERATURE

LUMEN PACKAGE	MOUNTING	Max
VHO	Metal/Wood Canopy	45 C
HO	Metal/Wood Canopy	45 C
SS	Metal/Wood Canopy	55 C

CITY OF WORTHINGTON

DRAWINGS NO. ARB 109-2022
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Recommended Lumen Maintenance[1] CRUS VHO

Ambient Temp C	Initial [2]	25k hr [2]	50k hr [2]	75k hr [3]	100k hr [3]
0 C	102%	97%	92%	88%	84%
10 C	102%	97%	92%	88%	84%
20 C	102%	97%	92%	88%	84%
25 C	102%	97%	92%	88%	84%
30 C	102%	97%	92%	88%	84%
40 C	101%	95%	90%	85%	80%
50 C	101%	94%	89%	83%	78%

Recommended Lumen Maintenance[1] CRUS SS

Ambient Temp C	Initial [2]	25k hr [2]	50k hr [2]	75k hr [3]	100k hr [3]
0 C	102%	97%	92%	88%	84%
10 C	102%	97%	92%	88%	84%
20 C	102%	97%	92%	88%	84%
25 C	102%	97%	92%	88%	84%
30 C	102%	97%	92%	88%	84%
40 C	102%	97%	92%	88%	84%
50 C	101%	95%	91%	86%	82%

FOOTNOTES:
1 - Lumen maintenance values at 25˚C are calculated per TM-21 based on LM-80 data and in-situ luminaire testing.
2 - In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times (6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing (DUT) i.e. the packaged LED).
3 - In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times NA LM-80-08 total test duration (in hours) for the device under testing (DUT) i.e. the packaged LED).

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Type: _____

Scottsdale® Legacy LED Canopy Luminaire (CRUS)

PHOTOMETRICS

Back to Quick Links

Luminaire photometry has been conducted by an accredited testing laboratory in accordance with IESNA LM-79-08. As specified by IESNA LM-79-08 the entire luminaire is tested as the source resulting in a luminaire efficiency of 100%.

See http://www.lsi-industries.com/products/led-lighting-solutions.aspx for detailed photometric data.

CRUS-SC-SS-50

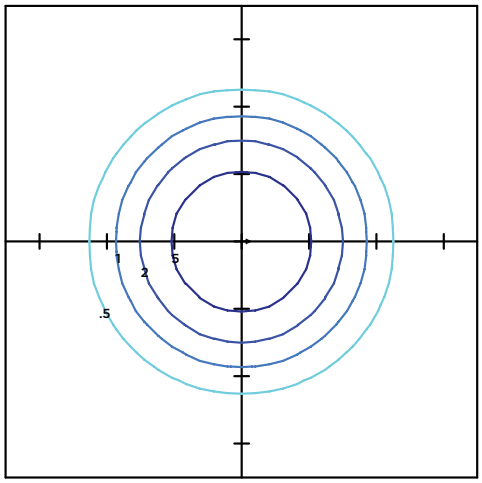
LUMINAIRE DATA

Type 5 Distribution	
Description	5000 Kelvin, 80 CRI
Delivered Lumens	13,980
Watts	93
Efficacy	150
IES Type	Type VS - Very Short
BUG Rating	B3-U0-G1

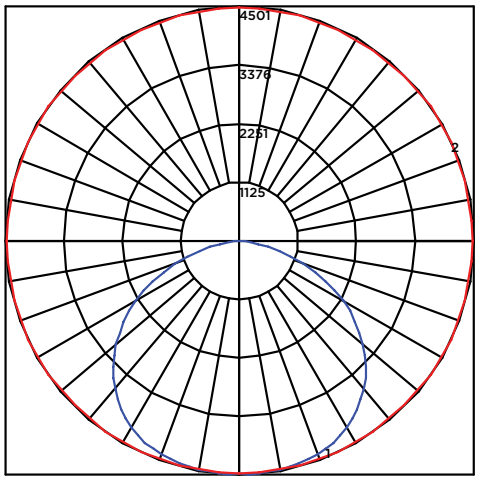
Zonal Lumen Summary

Zone	Lumens	%Luminaire
Low (0-30°)	3654.2	26%
Medium (30-60°)	7541.2	54%
High (60-80°)	2641.4	19%
Very High (80-90°)	143.2	1%
Uplight (90-180°)	0	0%
Total Flux	13980	100%

ISO FOOTCANDLE



POLAR CURVE



15' Mounting Height/15' Grid Spacing

5 FC **2 FC** **1 FC** **.5 FC**

CRUS-AC-SS-50

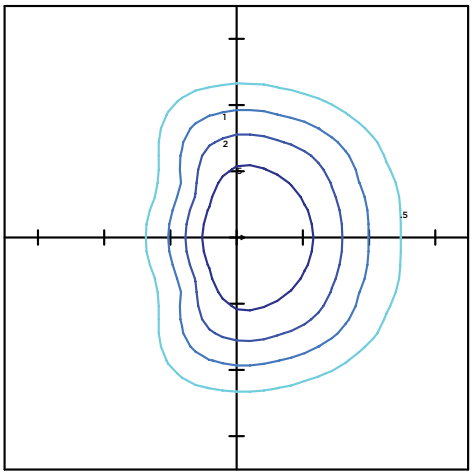
LUMINAIRE DATA

Type 3 Distribution	
Description	5000 Kelvin, 80 CRI
Delivered Lumens	12,226
Watts	93
Efficacy	131
IES Type	Type III, Very Short
BUG Rating	B3-U0-G2

Zonal Lumen Summary

Zone	Lumens	%Luminaire
Low (0-30°)	3240.3	27%
Medium (30-60°)	6245.5	51%
High (60-80°)	2594.6	21%
Very High (80-90°)	146.1	1%
Uplight (90-180°)	0	0%
Total Flux	12227	100%

ISO FOOTCANDLE



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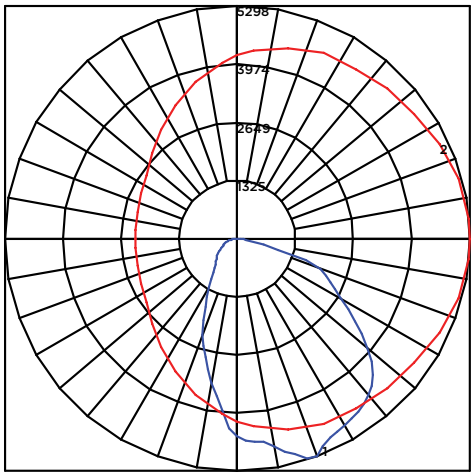

15' Mounting Height/15' Grid Spacing

5 FC **2 FC** **1 FC** **.5 FC**

CITY OF WORTHINGTON

DRAWINGS NO. ARB 109-2022
CU 09-2022

DATE 12/13/2022

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Type: _____

Scottsdale® Legacy LED Canopy Luminaire (CRUS)

PRODUCT DIMENSIONS

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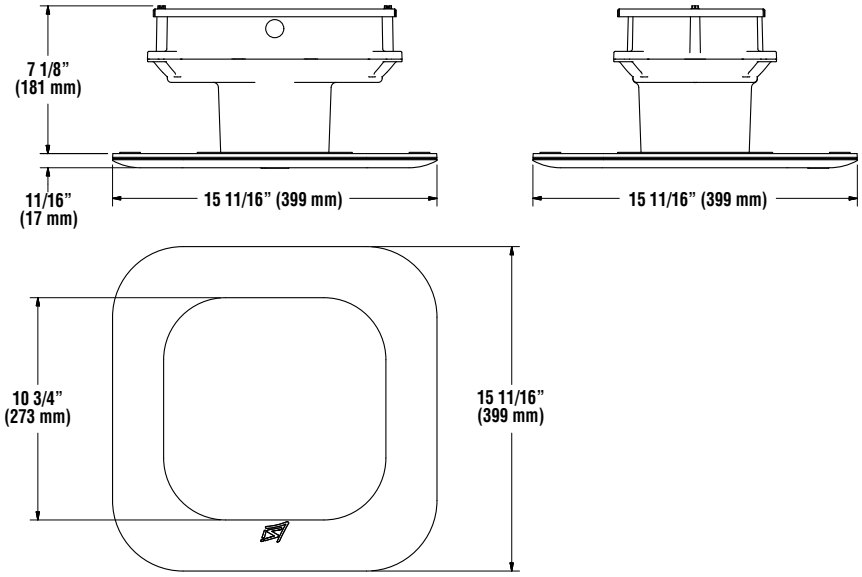

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DRAWINGS NO. ARB 109-2022
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SSP Square Non-Tapered Steel Poles

Pole Shaft
The pole shaft is one piece construction, being fabricated from a weldable grade carbon steel structural tubing which has a uniform wall thickness of 7 gauge (0.1793"). The pole shaft material shall conform to ASTM A500 Grade C with a minimum yield strength of 50,000 psi. The pole shaft has a full length longitudinal resistance weld and is uniformly square in cross-section with flat sides, small corner radii and excellent torsional properties.

Base Plate
The anchor base is fabricated from a structural quality hot rolled carbon steel plate that meets or exceeds a minimum yield strength of 36,000 psi. The anchor base telescopes the pole shaft and is circumferentially welded top and bottom. All welds are performed in accordance with the American Welding Society specification AWS D1.1, latest edition.
Bolt Circle: 8.00 (in.) **Dimension :** 8.00 (in.) **Thickness:** 0.75 (in.) **Conduit Opening:** 3"
Consult KW representative for non-standard dimensions.

Anchor Bolts
Anchor bolts are fabricated from commercial quality hot rolled carbon steel bar that meets or exceeds a minimum yield strength of 55,000 psi. Four properly sized anchor bolts, each with two regular hex nuts and washers, are furnished and shipped with all poles unless otherwise specified. Anchor bolts shall have the threaded end galvanized a minimum of 8 inches in accordance with ASTM A153. Fully galvanized anchor bolts are available upon request.

Handhole
An oval reinforced gasketed handhole, having a nominal 3 '' x 5 '' inside opening, located 1' - 6" above base, is standard on all poles. A grounding provision is located inside the handhole ring.

Finish
Standard - The exterior surface is cleaned with an alkaline rinse to remove surface contaminants and shot blasted to specifications as published by the Steel Structures Painting Council Standards SSPC-SP10 (near white). The exterior surface is chemically pretreated with an iron phosphate conversion coating then rinsed with ambient fresh water containing special surfactants and sealers forming a dry tight micro-crystalline coating. A polyester thermosetting powder coating applied to the surface of the substrate to a minimum of 3 mils is standard on all color finishes. The internal surface including the powder coated area at the base-end is coated with K-SEAL., a thermoplastic hydrocarbon resin system specially formulated for application over untreated steel surfaces, to a thickness of 3 mils. The internal coating shall contain special corrosion inhibitors and is capable of passing 1000 hours of salt spray exposure (ASTM B117).

Series:**SSP -** *Square Non-Tapered Steel Poles*
Nominal Height: **25'** Base Diameter: **4.0''** Gauge: **7**
Finish: **BRZ -** *Standard - Bronze*
Options: **BC -** *Base Cover*

Height (ft.)	Pole Shaft (in.) x (ft.)	Gauge	Handhole Size (in.)	Anchor Bolt (in.) x (in.) x (in.)	Bolt Circle (in.)	80 MPH (ft.)	90 MPH (ft.)	100 MPH (ft.)	Ship WT. (lbs.)
25	4.0 x 25.0	7	3 x 5	0.75 x 30 x 3	8	12.2	8.7	6	266
SSP25-4.0-7-BRZ-BC									

Print This Page Main Menu

Terms and Conditions of Sale

TERMS
Net 30 days from the date of Company's invoice unless otherwise specified. A 1-1/2% per month late charge will be added to accounts past due.

PRICES
Published prices are subject to change without notice. Possession of price sheets in no way obligates Company to sell to the Purchaser possessing such price sheet. All orders are subject to final approval and acceptance by the Company. Once accepted and approved, orders will be billed at prices currently in effect at the time of invoicing, or at prices quoted by the Company and accepted by the Purchaser if the order involves an item or items covered by special quotation. THE MINIMUM INVOICE CHARGE SHALL BE $50.00 NET.

DELIVERY
All goods sold are deliverable F.O.B. KW Industries, Inc., Sugar Land, Texas 77478.

CITY OF WORTHINGTON

DRAWINGS NO. ARB 109-2022
CU 09-2022

DATE 12/13/2022

TAXES
The Company's prices do not include Federal, State or municipal sales, use, excise, or similar taxes. Consequently, the Company reserves the right to add to the sales price of its product any present or future sales, use, excise or other similar tax which shall be paid by the Purchaser, or in lieu thereof, the Purchaser shall provide the Company with a tax exemption certificate acceptable to the taxing authorities.

FREIGHT
All of the Company's products are priced and sold F.O.B. KW Industries, Inc., Sugar Land, Texas 77478. Transportation charges will be prepaid by the Company and added to the net sales price unless specified by the Purchaser.

ROUTING
The Company will specify the method and routing of all products to ensure the most efficient and economical shipment in behalf of the Purchaser. The Purchaser will assume charges for special services such as cartage, air freight, express or multiple deliveries on one order.

CANCELLATION
The written consent of the Company shall be obtained prior to a cancellation of any order. Cancellation of an order may subject the Purchaser to a cancellation charge based upon expenses already incurred and commitments made by the Company.

RETURNED GOODS
Specific written request and arrangements must be made in advance for Purchaser to obtain credit or replacement on material returned. On material accepted for return, Purchaser must prepay return shipment and pay minimum restocking charge of 40% plus any charge necessary to rework goods to a resaleable condition. Custom fabricated products by special order are not subject to return.

DELAYS, DAMAGE OR LOSS
The Company is not and shall not be liable for delays in shipment or delivery of its products when caused by strikes, riots, hurricanes, civil disorder, fires, material shortage, breakdown in manufacturing facilities or any other cause beyond its reasonable control. Any claims for damages, loss or shortage in transit must be made by the Purchaser to the delivering carrier. The risk of loss passes to the Purchaser upon delivery to the carrier.

LIMITED WARRANTY
The Company warrants to Purchaser that its products will be free from defects in material and workmanship for a period of one year from the date of shipment by the Company (*the "Warranty Period"*). This Warranty specifically excludes fatique failure or similar phenomena resulting from induced vibration, harmonic oscillation or resonance associated with the movement of air currents around the product. If during the Warranty period, the product proves defective in material or workmanship, the Company shall correct any defect, at its option, either by repairing any defective parts or by making available at the Company's plant a repaired or replacement part at no charge to the Purchaser, if the Purchaser promptly notifies the Company and furnishes proof of Purchase. The liability of the Company under this Warranty, or for any loss or damage arising out of, or connected with, the design, manufacturing, sale or use of its products, whether the claim is based on contract or negligence, shall not exceed the price allocable to the value of the product or part which gives rise to the claim and upon expiration of the Warranty Period all such liability shall terminate. The Company shall not be liable for special or consequential damages including, but not limited to, loss of profits or revenue, loss of use of the product, cost of substitute products or labor charges to remove or reinstall the defective product, nor any product transportation expenses to and from the Company's plant if factory repair or replacement is necessary. No warranty is made with respect to parts or auxiliary equipment not manufactured by the Company. The foregoing Warranty is exclusive and in lieu of all other warranties whether written, oral, express or implied and shall constitute the sole and exclusive remedy of the Purchaser and liability of the Company. NO WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE SHALL APPLY. The Company's products are not sold as a "consumer product" under 15 U.S.C. 62301.

GENERAL
KW Industries, Inc. reserves the right to change any feature of its published specifications without notice to promote product improvement and/or allow for material availability. The contract for the sale of goods by KW shall be performable in Fort Bend County, Texas.
Prices subject to change without notice

CITY OF WORTHINGTON

DRAWINGS NO. ARB 109-2022
CU 09-2022

DATE 12/13/2022

Item	Description	Qty	Sign Area	Allowed
A1	Renovate Existing Main ID Sign	1	EXISTING	EXISTING
A2	Renovate Existing Main ID Sign	1	EXISTING	EXISTING
B	Wall Sign - Script 5.0'	1	58.75	BELOW
C	Wall Sign - Script 5.0'	1	58.75	BELOW
D	Wall Sign - Icon 6.0'	1	36.00	BELOW
E	Wall Sign - Script 5.0'	1	58.75	BELOW
Aggregate Totals			212.25	100.00

Item	Description	Qty
K1	DOT - Handicapped Parking	3
K2	DOT - Handicapped Parking (Van)	1
L	DOT - Pedestrian Sign	2
M	DOT - Stop	1
N	DOT - Stop / Do Not Enter	2
H1-H2	Menu Board (Lane 1 and 2)	2
CB-1	Clearance Bar (single) 13.00'	2
FP	Flag pole (50')	1

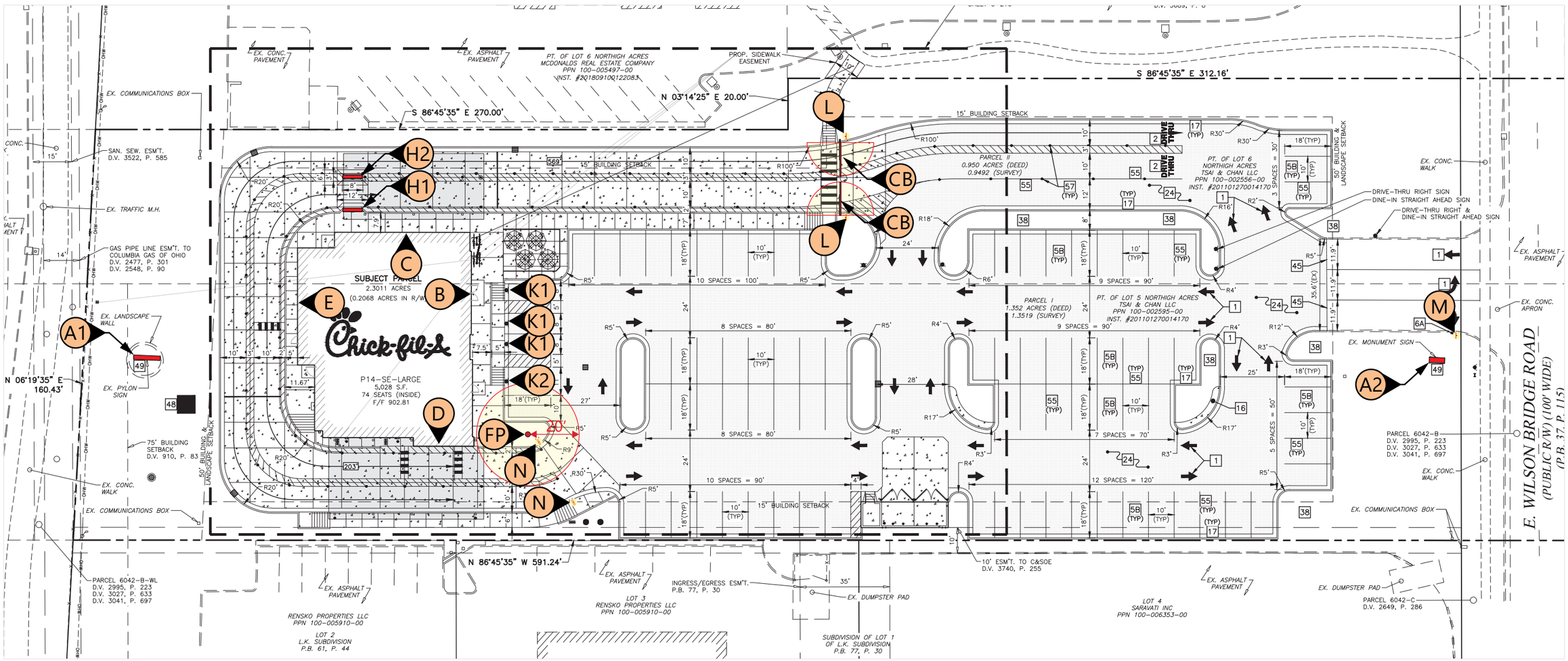
40 20 0 40 80

GRAPHIC SCALE - 1" = 40'

CITY OF WORTHINGTON

DRAWINGS NO. ARB 109-2022
CU 09-2022

DATE 12/13/2022



CLAYTON Signs 50 YEARS SINCE 1965

5198 North Lake Drive
Lake City, GA 30260
404.361.3800
www.claytonsigns.com

SITE PLAN

DRAWING FILE - CFA - WORTHINGTON, OH SIGNAGE.CDR

ALL ELECTRICAL SIGNS ARE 120 VOLTS UNLESS OTHERWISE INDICATED

DRAWN BY	Ben Holliday
ACCOUNT REP.	Ben Holliday
DRAWING DATE	August 23, 2022
REVISION DATE	December 14, 2022

STORE NUMBER	STORE ADDRESS
L05269	Chick-fil-A at Worthington, OH 60 E. Wilson Bridge Road Worthington, OH 43085

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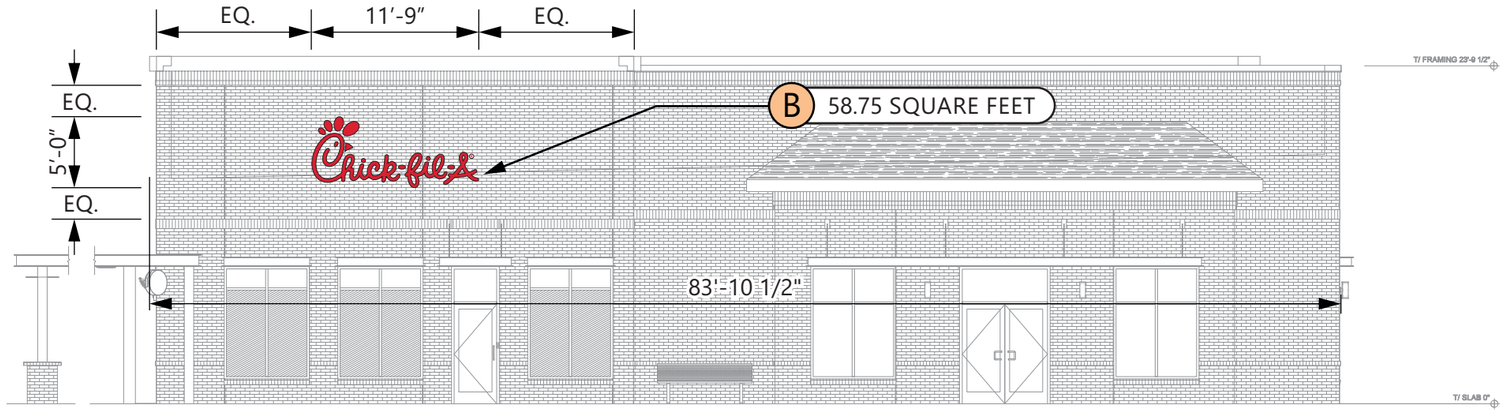
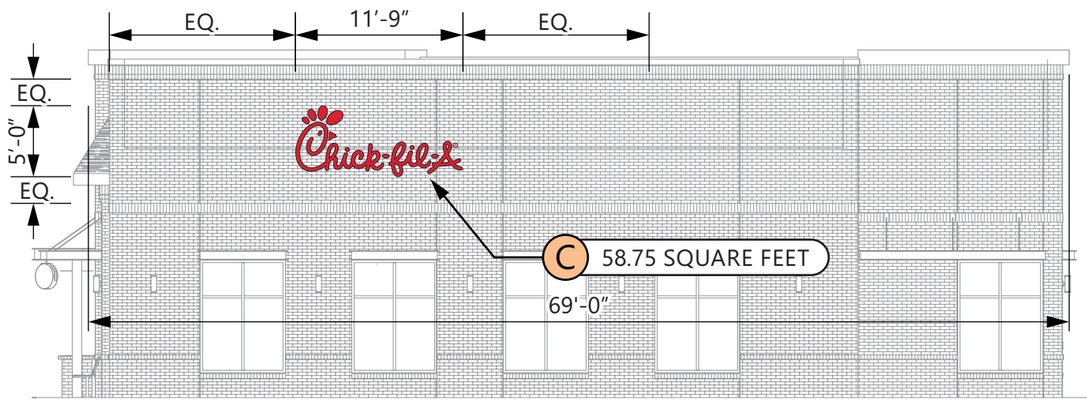
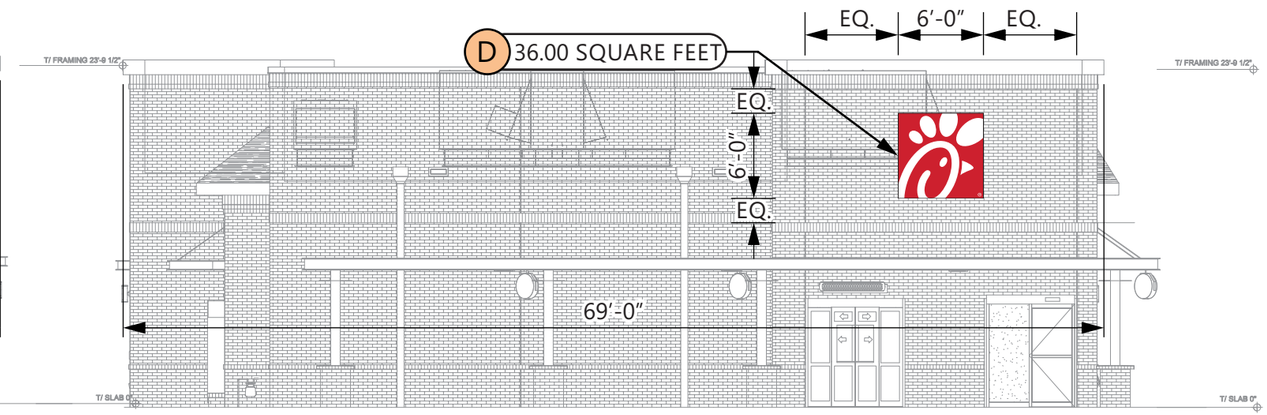
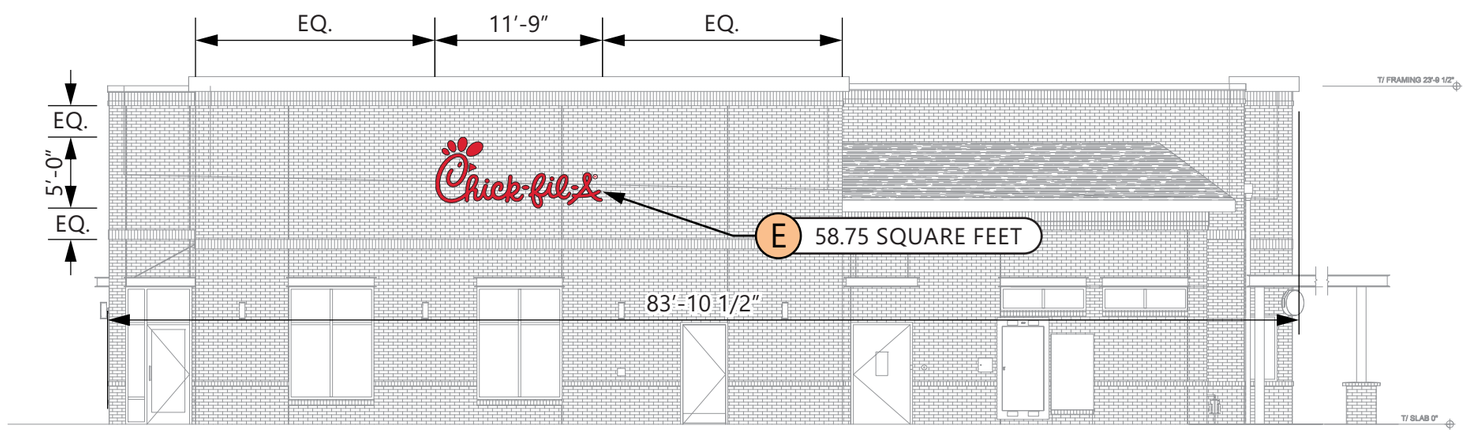
SITE PLAN









CITY OF WORTHINGTON

DRAWINGS NO. ARB 109-2022
CU 09-2022

DATE 12/13/2022

ELEVATIONS

SCALE - 3/32" = 1'- 0"

5198 North Lake Drive
Lake City, GA 30260
404.361.3800
www.claytonsigns.com

ELEVATIONS

DRAWING FILE - CFA - WORTHINGTON, OH SIGNAGE.CDR

ALL ELECTRICAL SIGNS ARE 120 VOLTS UNLESS OTHERWISE INDICATED

DRAWN BY	Ben Holliday
ACCOUNT REP.	Ben Holliday
DRAWING DATE	August 23, 2022
REVISION DATE	December 14, 2022

STORE NUMBER	STORE ADDRESS
L05269	Chick-fil-A at Worthington, OH 60 E. Wilson Bridge Road Worthington, OH 43085

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BUILDING ELEVATIONS

SPECIFICATIONS

RENOVATE EXISTING SIGN WITH THE FOLLOWING:
REPLACE FACES IN BOTH CABINETS ON BOTH SIDES
REPAINT CABINETS AND POLES
REPLACE INTERIOR LIGHTING WITH LED'S
UPPER CABINET FACES ARE WHITE acrylic FACE DECORATED WITH VINYL FILM GRAPHICS.

3M #3630-53 TRANSLUCENT CARDINAL RED

WHITE FLEX
7328 WHITE ACRYLIC

MATTHEWS #74155 DARK BRONZE

BEFORE

AFTER

ELEVATION

SCALE - 1/2" = 1'- 0"

CITY OF WORTHINGTON

DRAWINGS NO. ARB 109-2022
CU 09-2022

DATE 12/13/2022

CLAYTON Signs 50 YEARS SINCE 1962
5198 North Lake Drive
Lake City, GA 30260
404.361.3800
www.claytonsigns.com

RENOVATE EXISTING SIGN

DRAWING FILE - CFA - WORTHINGTON, OH SIGNAGE.CDR

ALL ELECTRICAL SIGNS ARE 120 VOLTS UNLESS OTHERWISE INDICATED

DRAWN BY	Ben Holliday
ACCOUNT REP.	Ben Holliday
DRAWING DATE	August 23, 2022
REVISION DATE	December 14, 2022

STORE NUMBER	STORE ADDRESS
L05269	Chick-fil-A at Worthington, OH 60 E. Wilson Bridge Road Worthington, OH 43085

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LOCATION
A1

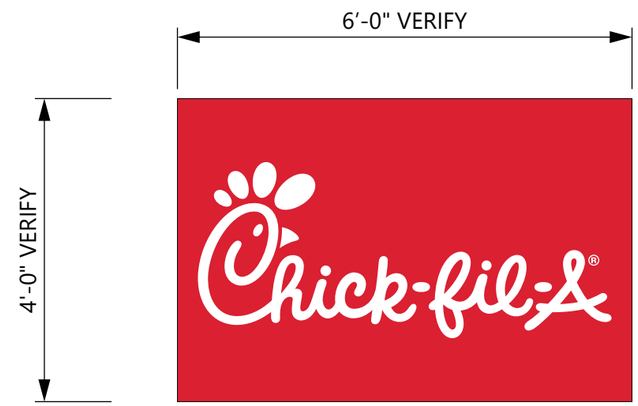
SPECIFICATIONS

RENOVATE EXISTING SIGN WITH THE FOLLOWING:
REPLACE FACES IN BOTH CABINETS ON BOTH SIDES
REPAINT CABINET
REPLACE INTERIOR LIGHTING WITH LED'S

3M #3630-53 TRANSLUCENT CARDINAL RED

WHITE FLEX
7328 WHITE ACRYLIC

MATTHEWS #74155 DARK BRONZE



ELEVATION

SCALE - 1/2" = 1'- 0"

BEFORE

AFTER

CITY OF WORTHINGTON

DRAWINGS NO. ARB 109-2022
CU 09-2022

DATE 12/13/2022

CLAYTON Signs 50 YEARS SINCE 1963

5198 North Lake Drive
Lake City, GA 30260
404.361.3800
www.claytonsigns.com

RENOVATE EXISTING SIGN

DRAWING FILE - CFA - WORTHINGTON, OH SIGNAGE.CDR

ALL ELECTRICAL SIGNS ARE 120 VOLTS UNLESS OTHERWISE INDICATED

DRAWN BY	Ben Holliday
ACCOUNT REP.	Ben Holliday
DRAWING DATE	August 23, 2022
REVISION DATE	December 14, 2022

STORE NUMBER	STORE ADDRESS
L05269	Chick-fil-A at Worthington, OH 60 E. Wilson Bridge Road Worthington, OH 43085

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LOCATION
A2

SPECIFICATIONS

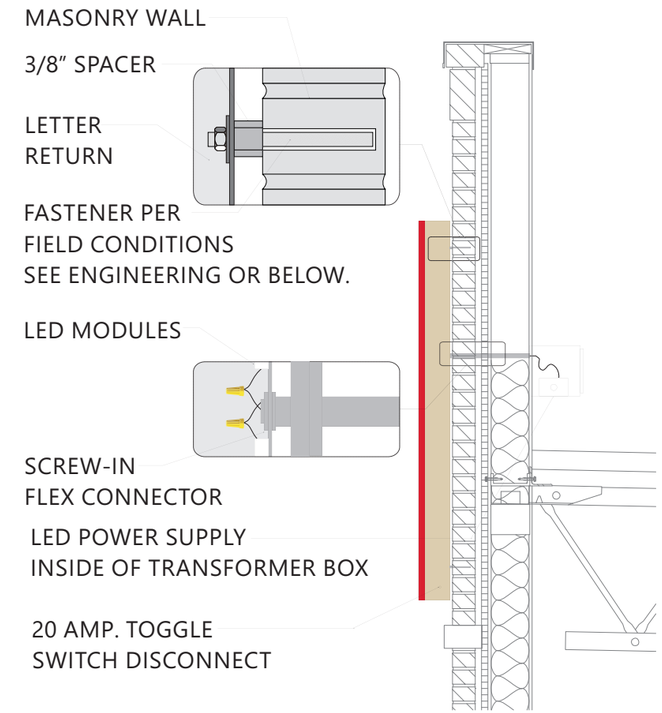
CHICK-FIL-A SCRIPT LETTERS
LETTERS ARE LED-ILLUMINATED
CHANNEL LETTERS MOUNTED
ON ALUMINUM SURFACE OF BUILDING
WITH TRANSFORMERS REMOTELY
LOCATED BEHIND THE WALL IN
UL APPROVED TRANSFORMER BOXES.
FACES ARE 3/16" ACRYLIC
RETURNS ARE .063 ALUMINUM
BACKS ARE .080 ALUMINUM
ALL RETURNS ARE ARC-WELDED TO
LETTER BACKS

CHANNEL LETTER FACES
2793 RED ACRYLIC
TRIMCAP RETAINER-
1" RED JEWELITE TRIMCAP

ALUMINUM RETURNS
PAINTED TO MATCH
SHERWIN WILLIAMS
SW6108 LATTE

ELEVATION

SCALE - 1/2" = 1'- 0"



FASTENER NOTE:
USE 18-8 STAINLESS STEEL BOLTS W/ SPACERS THRU EIFS.
EXPANSION BOLTS IN CONCRETE OR BRICK WALLS.
TOGGLE BOLTS IN CONCRETE BLOCK OR PANEL WALLS.
TEK SCREWS IN METAL STUDS. LAG-BOLTS IN WOOD STUDS.
ALL THREAD BOLTS WITH BLOCKING BETWEEN STUDS.

CROSS-SECTION

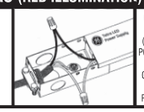
SCALE - 1/2" = 1'- 0"

CHANNEL LETTERS (RED ILLUMINATION) — WET LOCATION

CLAYTON Signs — c UL us LISTED

LED's
JTSLS016R-0.4 RED LED

POWER SUPPLY
BL-120-12-60 POWER SUPPLY



CONNECT THE AC LINE TO THE BLACK (LINE) AND WHITE (NEUTRAL) INPUT WIRES OF THE POWER SUPPLY USING 18-14 AWG TWIST ON WIRE CONNECTORS. GROUND POWER SUPPLY GREEN WIRE TO GROUNDING SCREW. REPLACE JUNCTION BOX COVER.

THIS SIGN IS ITENDED TO BE INSTALLED IN ACCORDANCE WITH REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING & BONDING OF THE SIGN.

CITY OF WORTHINGTON

DRAWINGS NO. ARB 109-2022
CU 09-2022

DATE 12/13/2022

CLAYTON Signs 50 YEARS SINCE 1965
5198 North Lake Drive
Lake City, GA 30260
404.361.3800
www.claytonsigns.com

LED-ILLUMINATED
CHANNEL LETTERS

DRAWING FILE - CFA - WORTHINGTON, OH SIGNAGE.CDR

ALL ELECTRICAL SIGNS ARE 120 VOLTS UNLESS OTHERWISE INDICATED

DRAWN BY	Ben Holliday
ACCOUNT REP.	Ben Holliday
DRAWING DATE	August 23, 2022
REVISION DATE	December 14, 2022

STORE NUMBER	STORE ADDRESS
L05269	Chick-fil-A at Worthington, OH 60 E. Wilson Bridge Road Worthington, OH 43085

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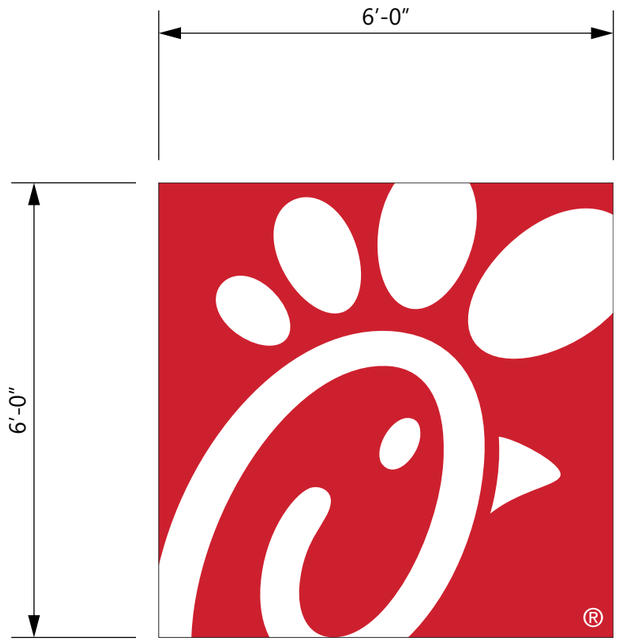
LOCATION
B,C,E

SPECIFICATIONS

CABINET
ALUMINUM CABINET HAS EXTRUDED ALUMINUM
FACES
FLEX FACES DECORATED WITH TRANSLUCENT VINYL
FILM ON SURFACE OF ACRYLIC.
INTERNALLY ILLUMINATED WITH WHITE LED 6500K LIGHTS.
DISCONNECT SWITCH AS REQUIRED PER NEC.

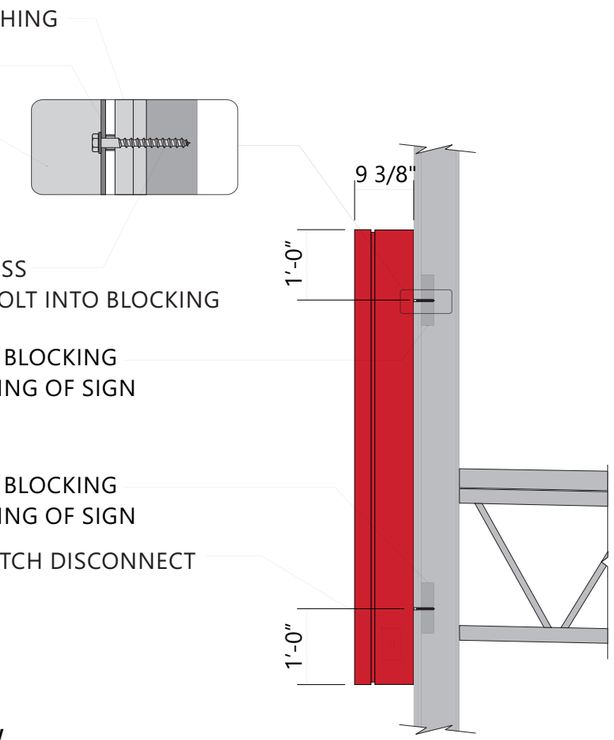
FACES
3M #3630-53 CARDINAL
RED TRANSLUCENT VINYL
CABINET
GENESIS M SINGLE STAGE
(G2-SERIES) RED #48247

3M PANOGRAPHIC III FLEX FACE



36.00 SQUARE FEET

ELEVATION
SCALE - 1/2" = 1'- 0"



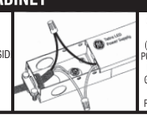
END VIEW
SCALE - 1/2" = 1'- 0"

SINGLE FACED CABINET — WET LOCATION

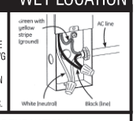
CLAYTON Signs — c UL us LISTED

LED's
GEWHSSPS3 - 71K - SINGLED SID

POWER SUPPLY
GEPS12 - 12V POWER SUPPLY



CONNECT THE AC LINE TO THE BLACK (LINE) AND WHITE (NEUTRAL) INPUT WIRES OF THE POWER SUPPLY USING 18-14 AWG TWIST ON WIRE CONNECTORS. GROUND POWER SUPPLY GREEN WIRE TO GROUNDING SCREW. REPLACE JUNCTION BOX COVER.



THIS SIGN IS ITENDED TO BE INSTALLED IN ACCORDANCE WITH REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING & BONDING OF THE SIGN.

CITY OF WORTHINGTON

DRAWINGS NO. ARB 109-2022
CU 09-2022

DATE 12/13/2022

CLAYTON Signs 50 YEARS SINCE 1965
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Lake City, GA 30260
404.361.3800
www.claytonsigns.com

WALL SIGN

DRAWING FILE - CFA - WORTHINGTON, OH SIGNAGE.CDR

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LOCATION
D

SPECIFICATIONS

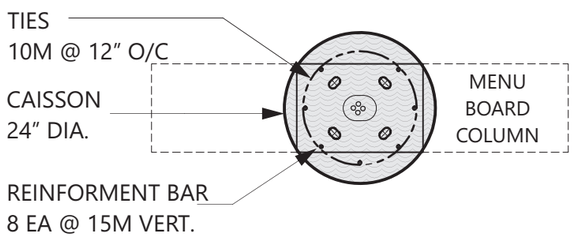
ALUMINUM CONSTRUCTION CABINETS
WITH DIGITAL DISPLAY BOARDS
WITH STATIC IMAGES

MENU BOARDS FURNISHED
BY COATES GROUP AND
INSTALLED BY HONOR BUILT
MENU BOARD COLUMN AND FRAMING
FURNISHED AND INSTALLED BY
PATTISON SIGN GROUP
ANCHOR CAGES AND FOOTINGS
FURNISHED AND INSTALLED BY
CLAYTON SIGNS

COLORS

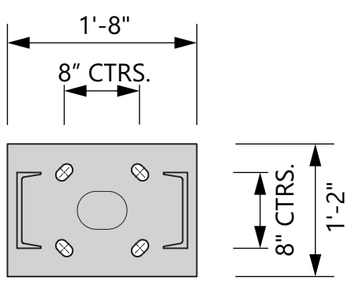
CHICK-FIL-A DARK BRONZE

WHITE REFLECTIVE VINYL FILM



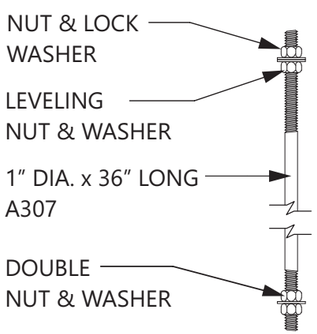
PLAN VIEW

SCALE - 1/2" = 1'- 0"



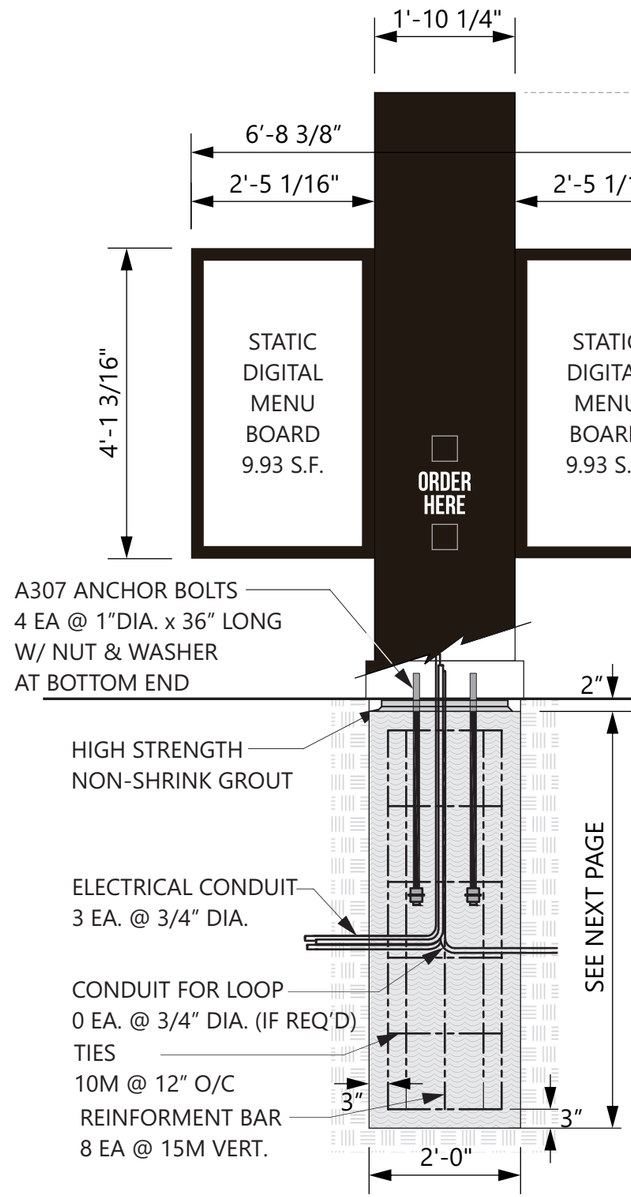
BASE PLATE DETAIL

SCALE - 3/4" = 1'- 0"



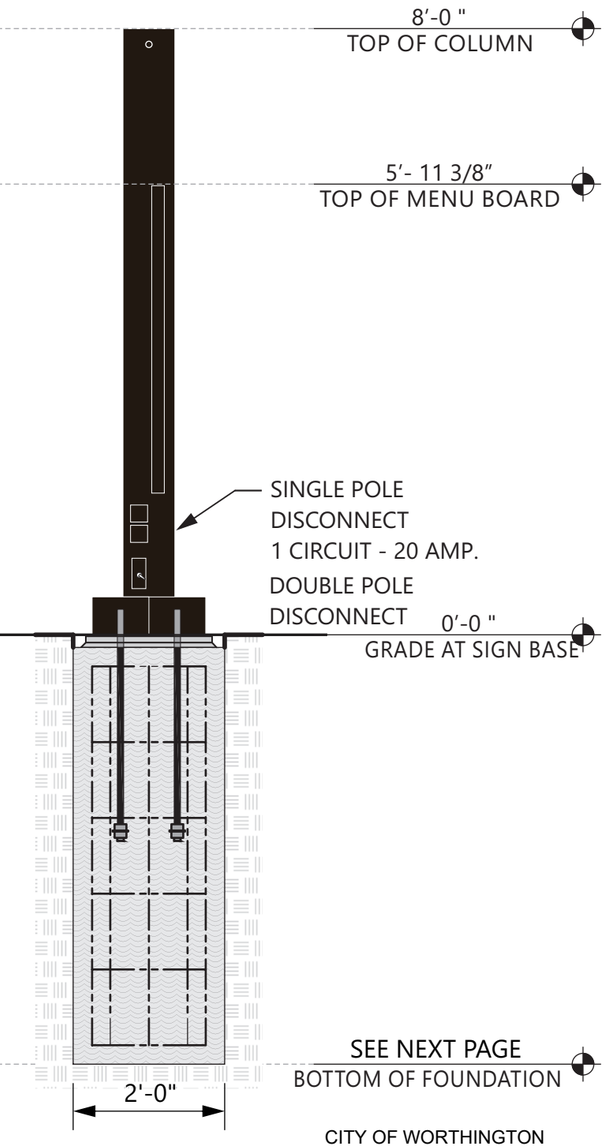
ANCHOR BOLT - QTY. 4

NOT TO SCALE



ELEVATION

SCALE - 1/2" = 1'- 0"



END VIEW

SCALE - 1/2" = 1'- 0"

CITY OF WORTHINGTON

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DATE 12/13/2022

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STATIC DIGITAL DRIVE-THRU
MENU BOARDS

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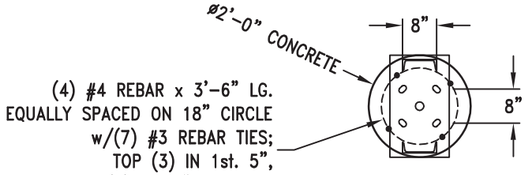
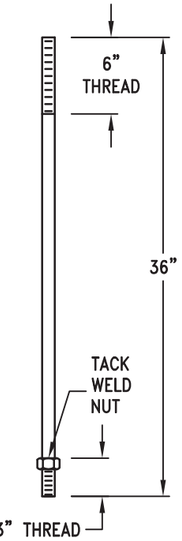
LOCATION
H1/H2



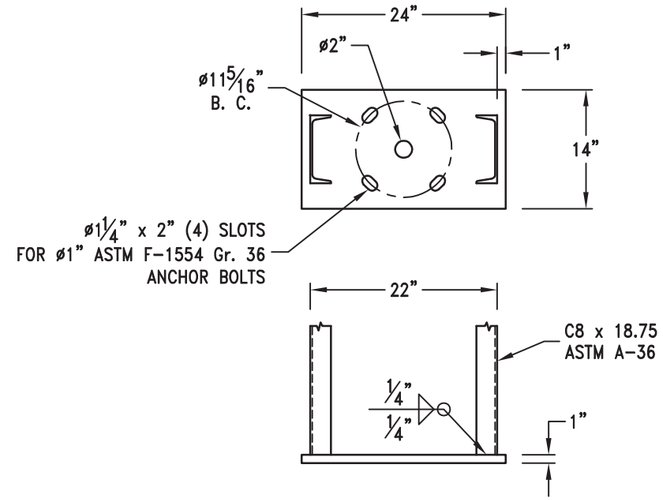
PLAN VIEW

QTY. CONCRETE: 0.5 CU. YDS.



ANCHOR BOLT DETAIL

ø1" ASTM F-1554 Gr. 36 STEEL



BASE PLATE DETAIL

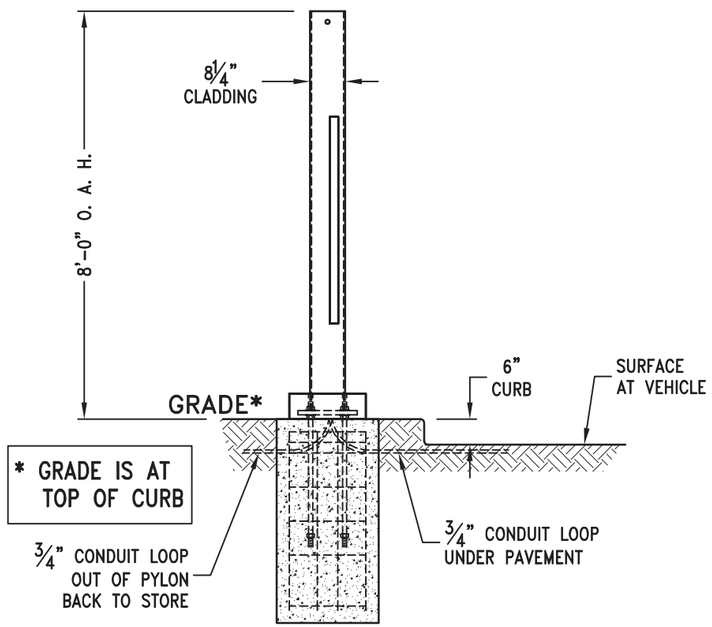
1" ASTM A-36 STEEL

FOUNDATION DESIGN NOTES:

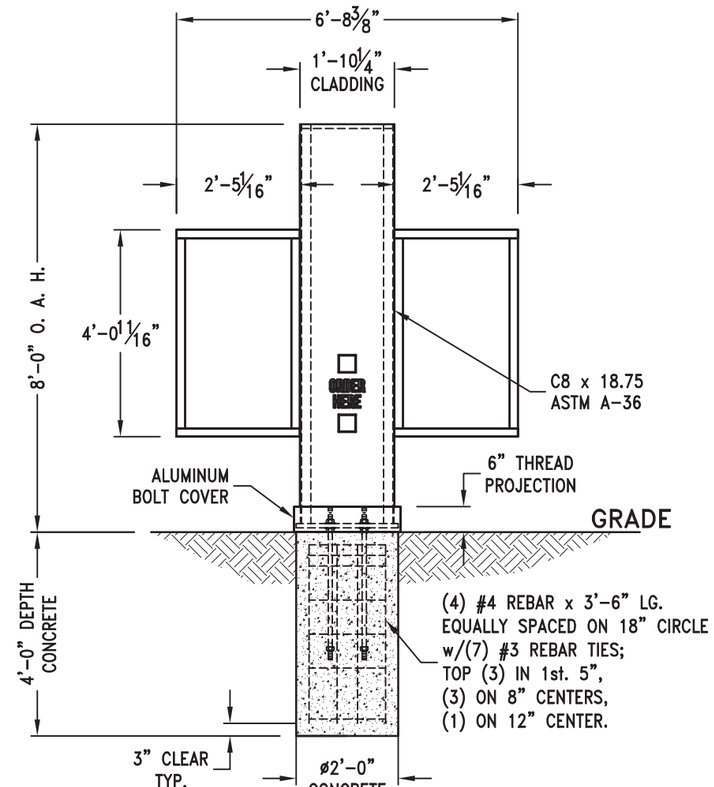
1. Concrete shall have a minimum compressive strength of 3000 PSI at 28 days.
2. Reinforcing steel shall be ASTM A-615 Gr. 60.
3. Caisson footing designed using a soil bearing force of 150 PSF per foot Lateral. If this soil condition does not exist, it is the Erector's responsibility to have a new footing designed for the existing soil conditions by a Licensed Engineer.
4. Anchor bolts shall be ASTM F-1554 Gr. 36 steel.

DESIGN WIND LOAD:

Based on the 2015 International Building Code (ASCE 7-10) using Risk Category II, Exposure C and 115 mph wind speed.



SIDE VIEW



CITY OF WORTHINGTON

DRAWINGS NO. ARB 109-2022
CU 09-2022

DATE 12/13/2022

SITE:
Chick-Fil-A

REV	DATE	DESCRIPTION	APPROVED
A	26 Apr 21	RELEASED FOR PERMITTING	J. HOGAN

Robert-James & Associates, Inc.
12255 West 187th Street, Mokena Illinois 60448-9737
phone: 708-479-8385 fax: 708-479-8395 email: rja37@comcast.net

ALL ELECTRICAL SIGNS ARE 120 VOLTS UNLESS OTHERWISE INDICATED

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ACCOUNT REP.	Ben Holliday
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'-0" OAH CLADDED SINGLE POLE DRIVE-
HRU MENUBOARD, TWO (2) REQUIRED

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DRAWN BY	DATE	SCALE	DRAWING NUMBER	SHEET	REV.
J. GREENAN	26 Apr 21	NONE	2104156	1 OF 1	A
CHECKED BY J. HOGAN	DATE 26 Apr 21				

DRAWING FILE - CFA - WORTHINGTON, OH SIGNAGE.CDR

TWO (2) MENUBOARDS WILL BE INSTALLED AT THIS SITE: ONE AT EACH OF THE TWO DRIVE-THRU LANES

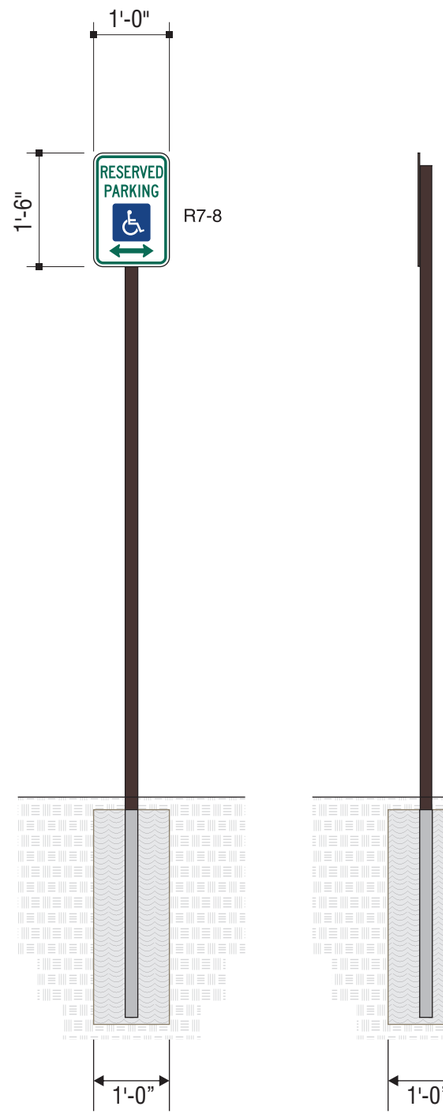
SPECIFICATIONS

SIGN PANELS
PANELS ARE .080 ALUMINUM
WITH REFLECTIVE BACKGROUND
AND GRAPHICS.
SIGN POSTS
POSTS ARE 2" x 2" SQUARE
ALUMINUM TUBING CAPPED ON TOP

[redacted]

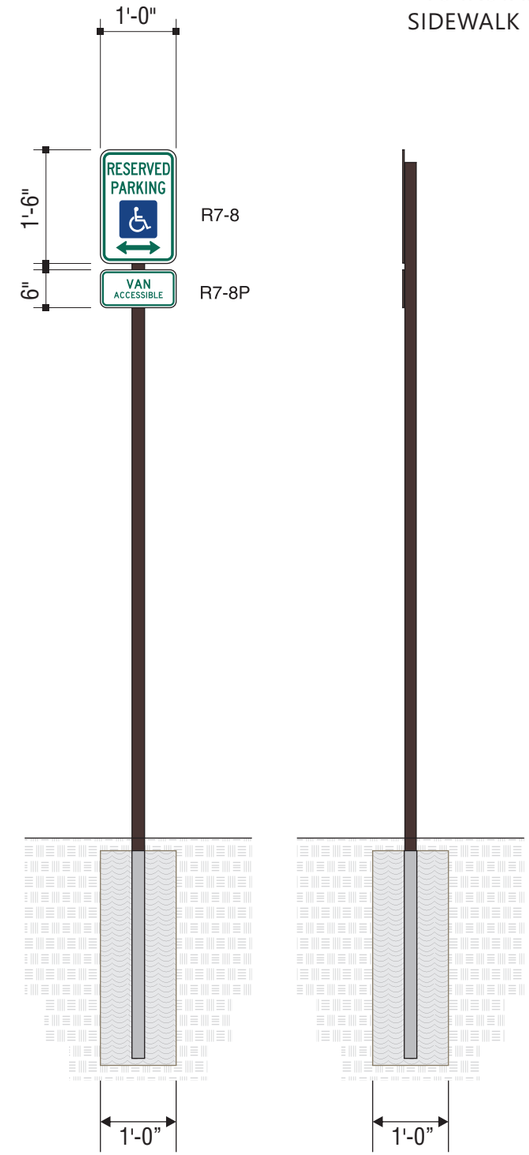
BACK OF SIGN PANEL AND POST
MP 20181 DARK BRONZE
SW #DDM460012

NOTE: IF THIS SIGN IS LOCATED ON THE SIDEWALK THEN IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INSTALL A PVC SLEEVE INTO THE CONCRETE WHEN THE SIDEWALK IS POURED PRIOR TO INSTALLATION OF THE SIGN' BY CLAYTON SIGNS.



ELEVATION
SCALE - 1/2" = 1'- 0"

END VIEW
SCALE - 1/2" = 1'- 0"



ELEVATION
SCALE - 1/2" = 1'- 0"

END VIEW
SCALE - 1/2" = 1'- 0"

7'-0"
BOTTOM OF PANEL

0'-0 "
GRADE AT SIGN BASE

-3'-0 "
BOTTOM OF FOUNDATION

CITY OF WORTHINGTON

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DATE 12/13/2022

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DOT REGULATORY TRAFFIC SIGNS

DRAWING FILE - CFA - WORTHINGTON, OH SIGNAGE.CDR

ALL ELECTRICAL SIGNS ARE 120 VOLTS UNLESS OTHERWISE INDICATED

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LOCATION
K1/K2

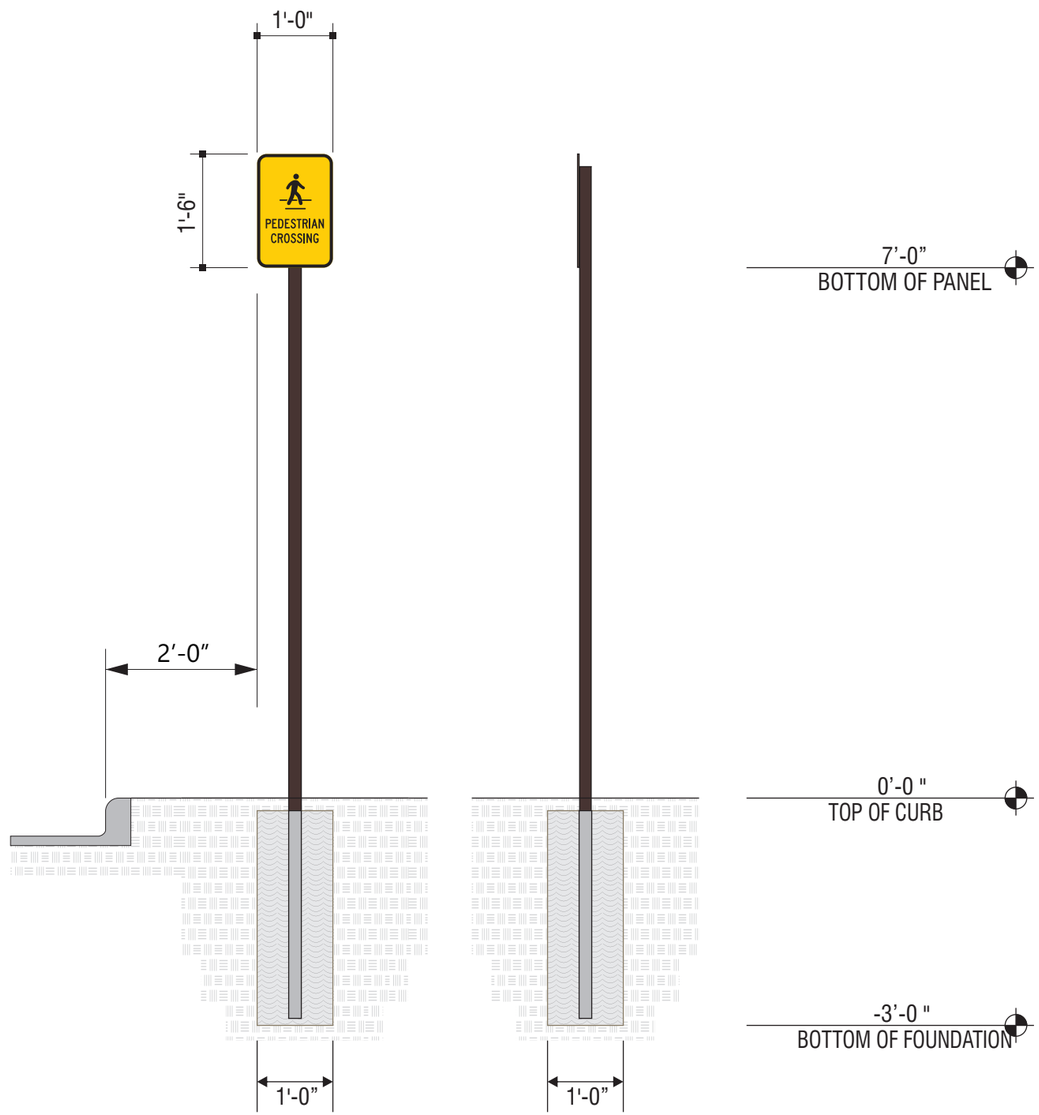
SPECIFICATIONS

SIGN PANELS
SIGNS PANELS
PANELS ARE .080" ALUMINUM. BACKS TO BE PAINTED
TO MATCH POSTS.
POSTS ARE 2" x 2" SQUARE ALUMINUM TUBING CAPPED ON TOP

BACK OF SIGN PANEL AND POST
MP 20181 DARK BRONZE
SW #DDM460012

SIGN PANEL (IF SHOWN)
BLACK REFLECTIVE

SIGN PANEL (IF SHOWN)
3M 680-81 YELLOW REFLECTIVE



ELEVATION
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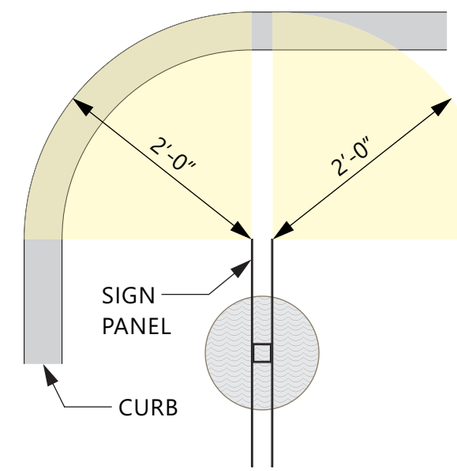
END VIEW
SCALE - 1/2" = 1'- 0"



PLAN VIEW
SCALE - 3/4" = 1'- 0"

CITY OF WORTHINGTON

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CU 09-2022

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LOCATION
L

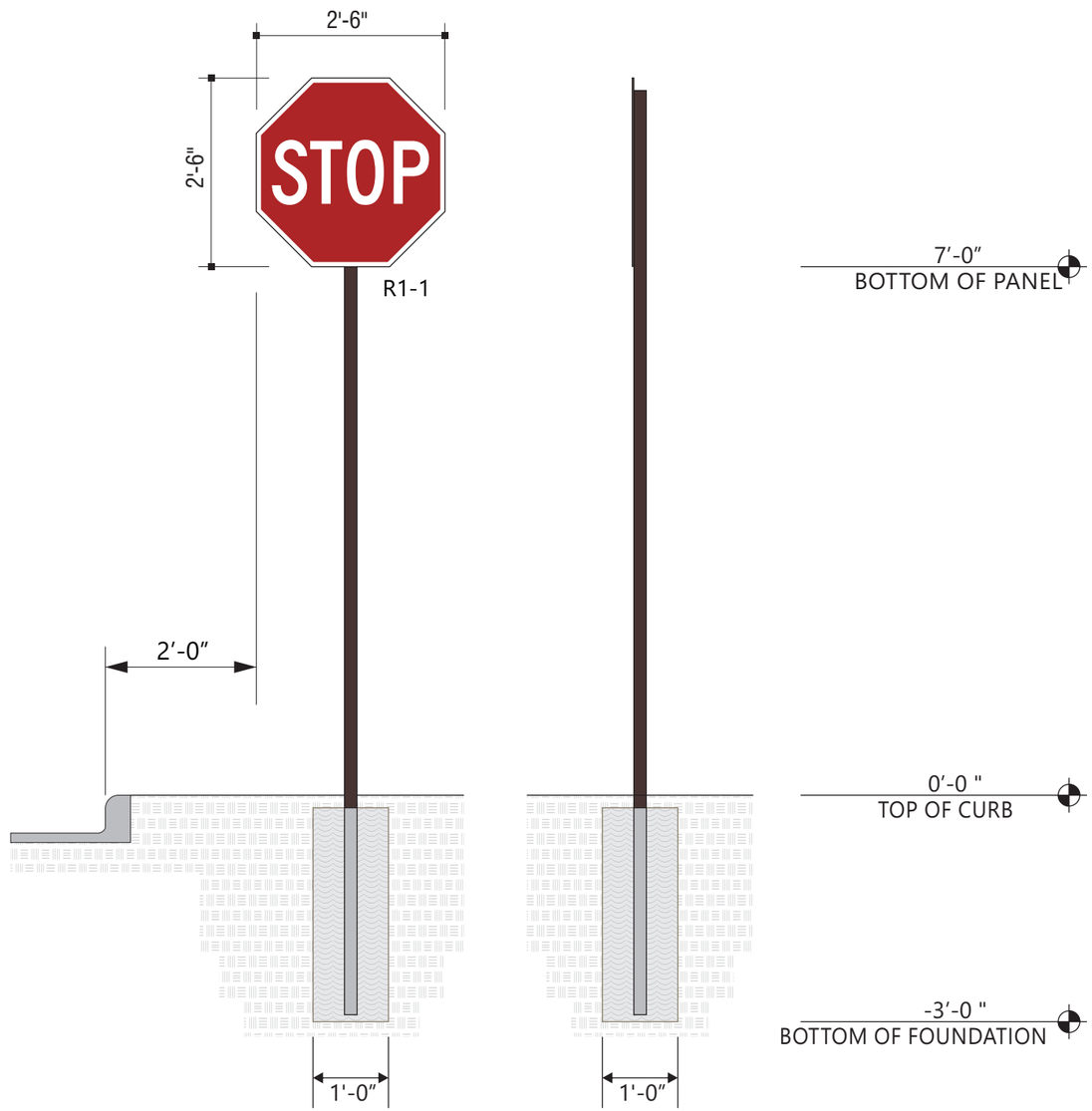
SPECIFICATIONS

SIGN PANELS
PANELS ARE .080 ALUMINUM
WITH REFLECTIVE BACKGROUND
AND GRAPHICS.
SIGN POSTS
POSTS ARE 2" x 2" SQUARE
ALUMINUM TUBING CAPPED ON TOP

SIGN PANEL
3M #680-82 REFLECTIVE RED.

SIGN PANEL
3M #680-10 REFLECTIVE WHITE

BACK OF SIGN PANEL AND POST
MP 20181 DARK BRONZE
SW #DDM460012



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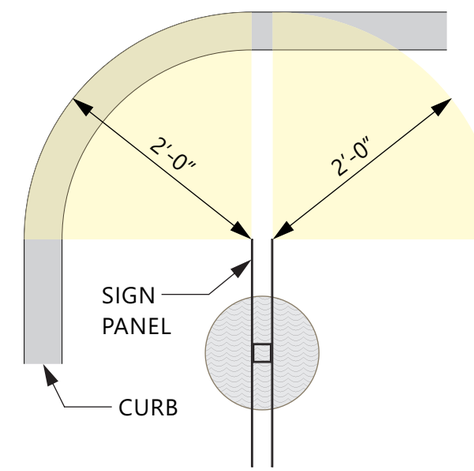

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LOCATION
M

SPECIFICATIONS

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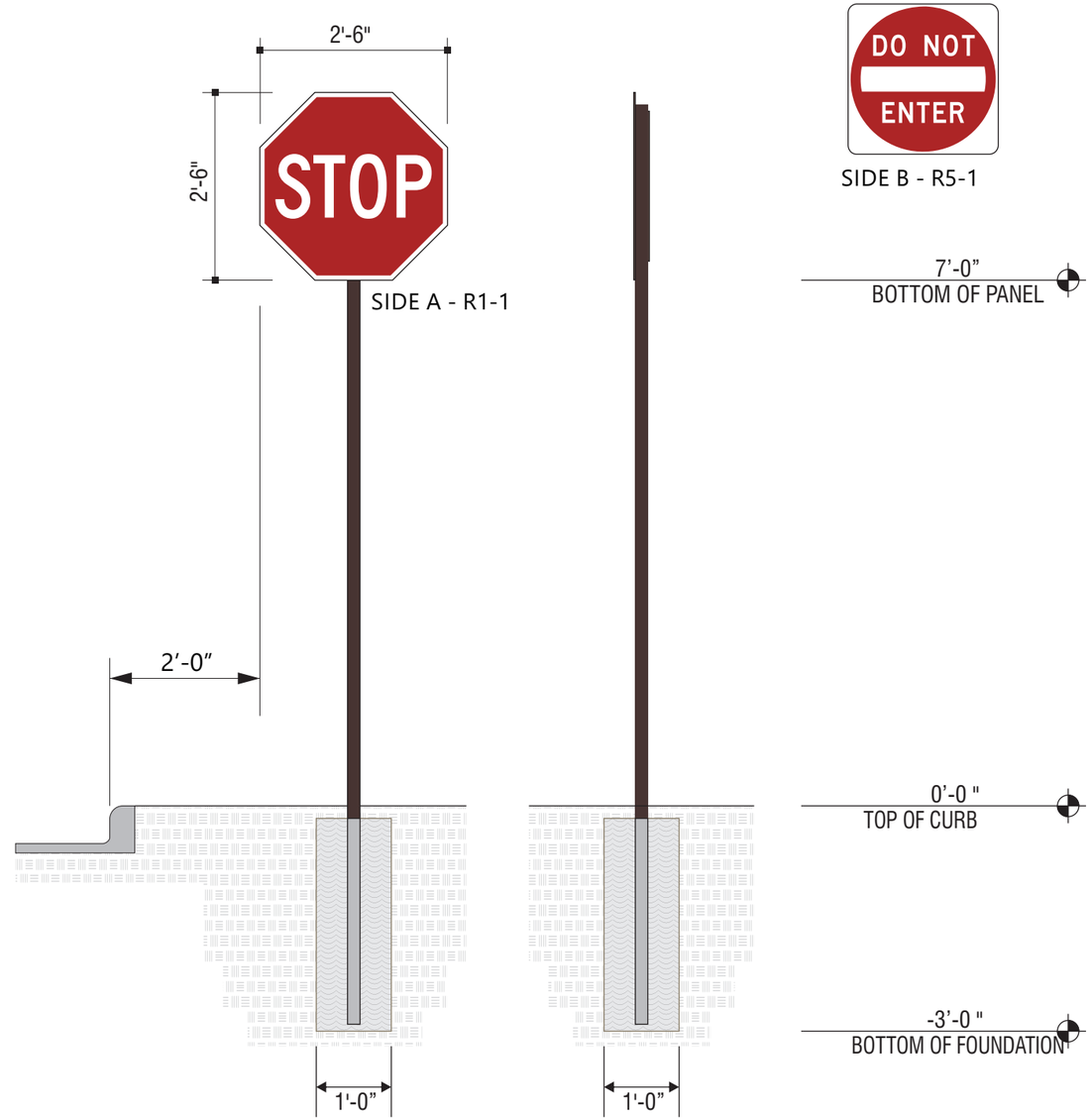
3M #680-82 REFLECTIVE RED.

SIGN PANEL
3M #680-10 REFLECTIVE WHITE

BACK OF SIGN PANEL AND POST
MP 20181 DARK BRONZE
SW #DDM460012



ELEVATION
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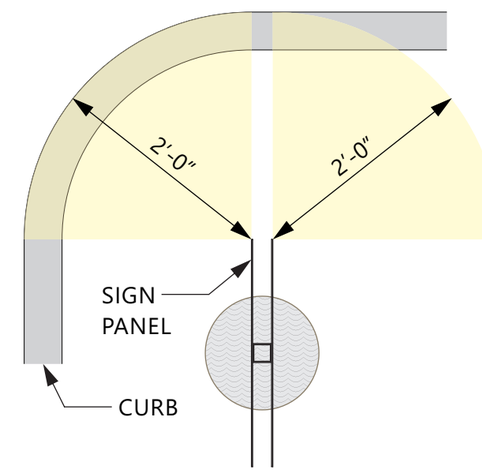
END VIEW
SCALE - 1/2" = 1'- 0"



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LOCATION
N

SPECIFICATIONS

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ALUMINUM TUBING CAPPED ON TOP

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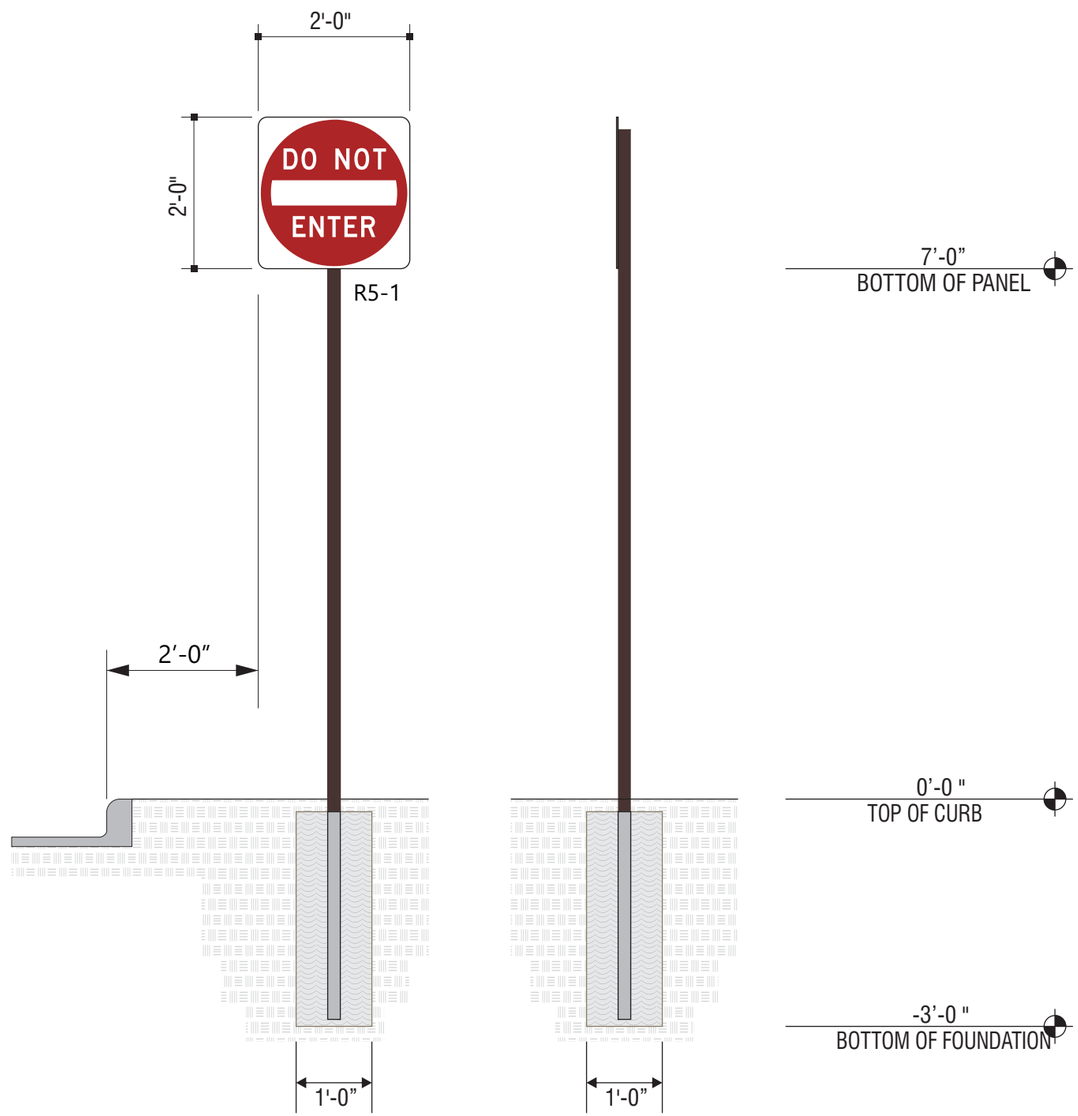
3M #680-82 REFLECTIVE RED.

SIGN PANEL
3M #680-10 REFLECTIVE WHITE

BACK OF SIGN PANEL AND POST
MP 20181 DARK BRONZE
SW #DDM460012



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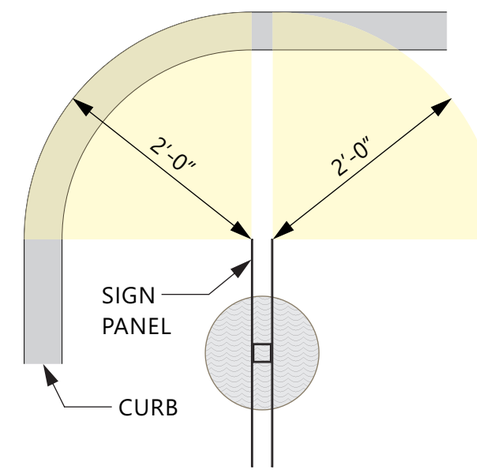
END VIEW
SCALE - 1/2" = 1'- 0"



PLAN VIEW
SCALE - 3/4" = 1'- 0"

CITY OF WORTHINGTON

DRAWINGS NO. ARB 109-2022
CU 09-2022

DATE 12/13/2022

5198 North Lake Drive
Lake City, GA 30260
404.361.3800
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DOT REGULATORY TRAFFIC SIGNS

DRAWING FILE - CFA - WORTHINGTON, OH SIGNAGE.CDR

ALL ELECTRICAL SIGNS ARE 120 VOLTS UNLESS OTHERWISE INDICATED

DRAWN BY	Ben Holliday
ACCOUNT REP.	Ben Holliday
DRAWING DATE	August 23, 2022
REVISION DATE	December 14, 2022

STORE NUMBER	STORE ADDRESS
L05269	Chick-fil-A at Worthington, OH 60 E. Wilson Bridge Road Worthington, OH 43085

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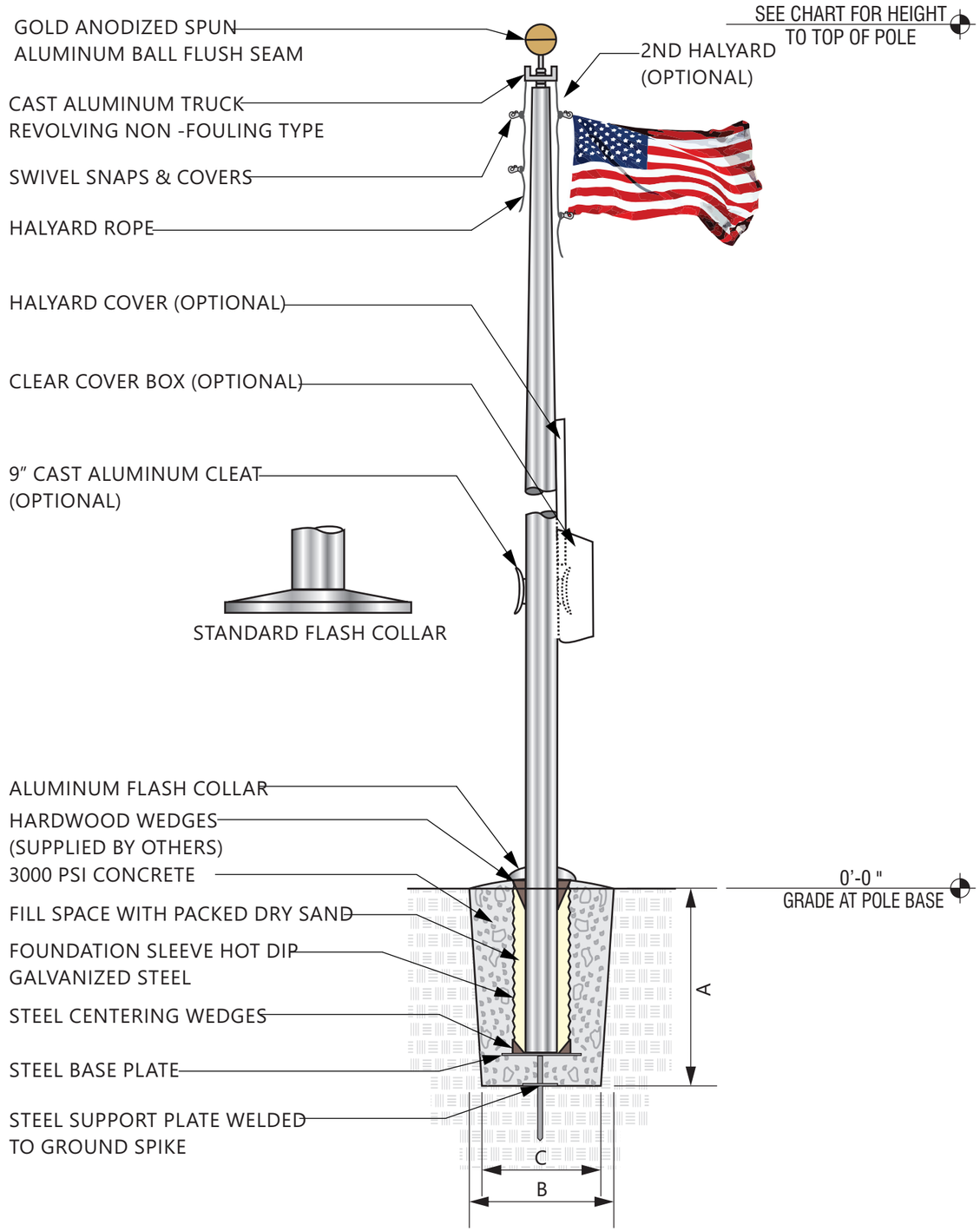
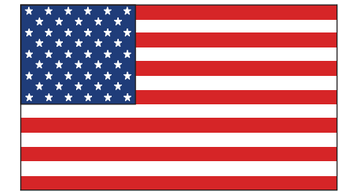
LOCATION
O





FLAG SIZES

POLE	A	B	MATERIAL
20'	3'0"	5'0"	POLYESTHER
25'	4'0"	6'0"	POLYESTHER
30'	5'0"	8'0"	POLYESTHER
35'	6'0"	10'0"	POLYESTHER
40'	8'0"	12'0"	POLYESTHER
45'	8'0"	12'0"	POLYESTHER
50'	12'0"	18'0"	POLYESTHER

FOUNDATION SIZES

HEIGHT	A	B	C
20'	3'6"	30"	24"
25'	3'6"	30"	24"
30'	3'6"	30"	24"
35'	4'0"	36"	30"
40'	4'6"	42"	36"
45'	5'0"	48"	42"
50'	5'6"	48"	42"

GROUND SLEEVE AND CONCRETE INSTALLED
BY THE GENERAL CONTRACTOR
POLE INSTALLED ON PRE-INSTALLED GROUND
SLEEVE BY SIGN CONTRACTOR

CITY OF WORTHINGTON

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FLAG POLE

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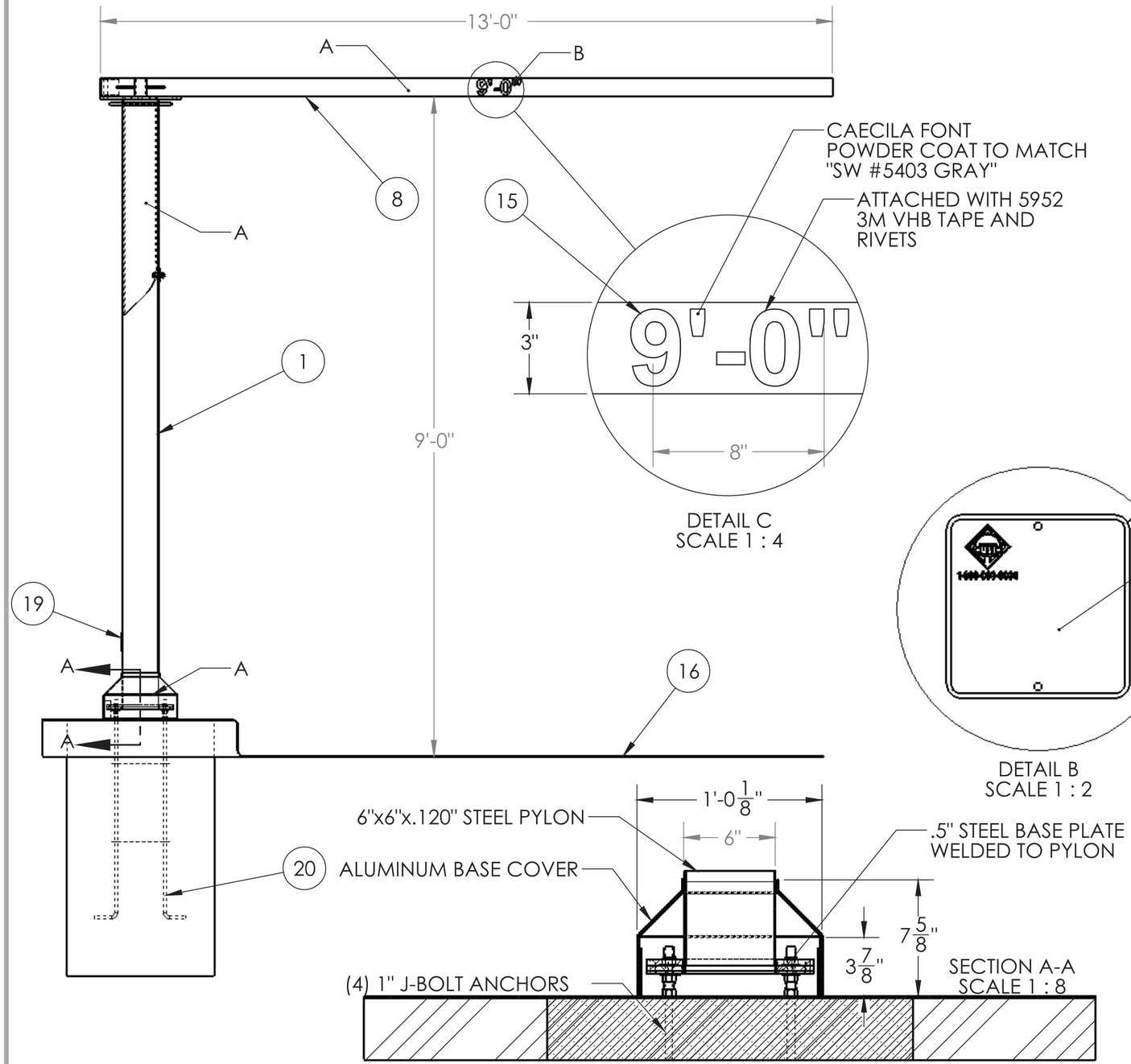
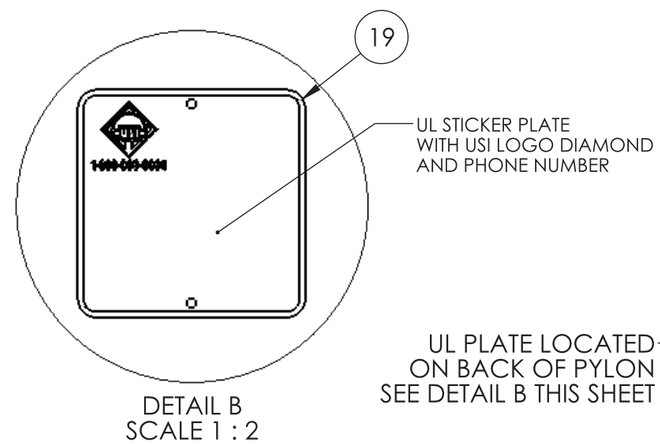
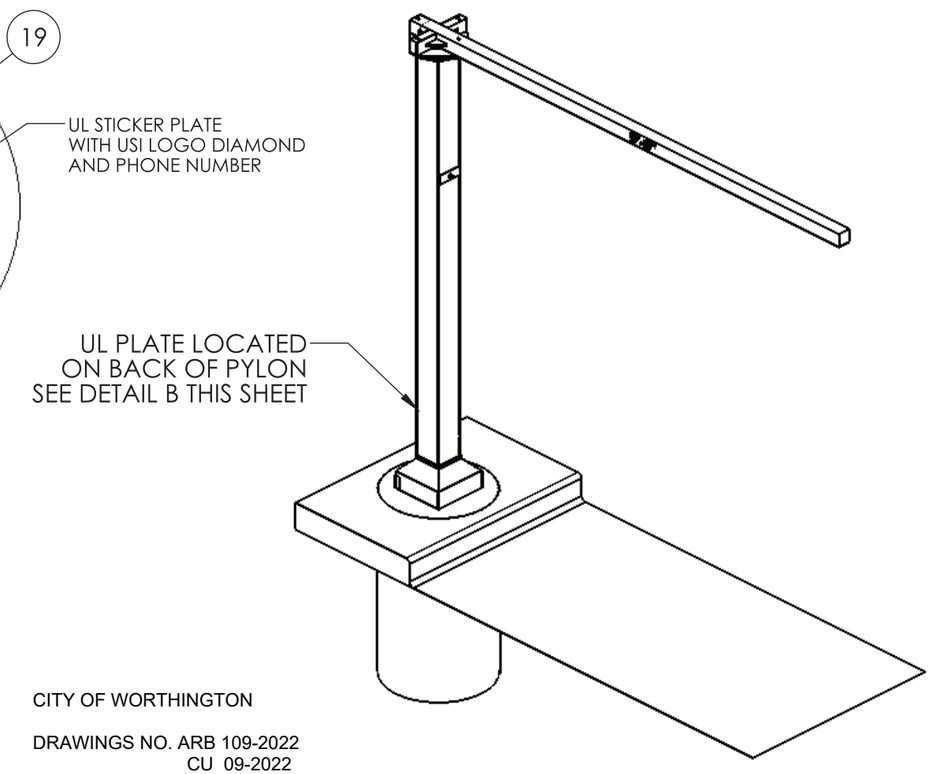
LOCATION
FP

	COLOR
A	MATTE BLACK TEXTURED
B	SW #5403 "GRAY"







CITY OF WORTHINGTON

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404.361.3800
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DRIVE-THRU
CLEARANCE BAR

DRAWING FILE - CFA - WORTHINGTON, OH SIGNAGE.CDR

ALL ELECTRICAL SIGNS ARE 120 VOLTS UNLESS OTHERWISE INDICATED

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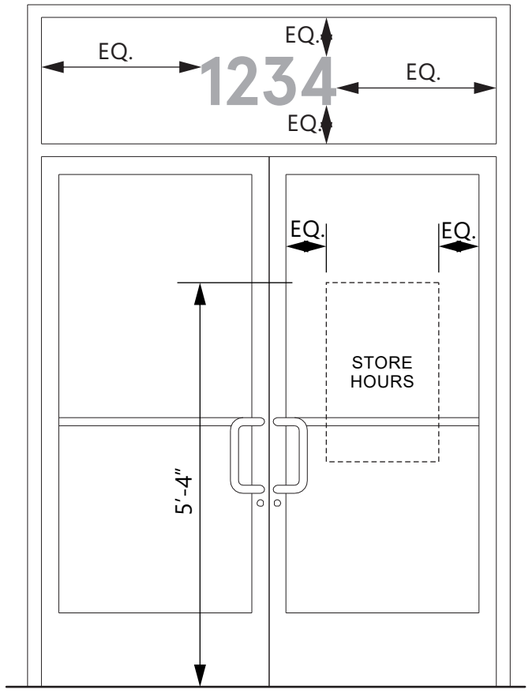
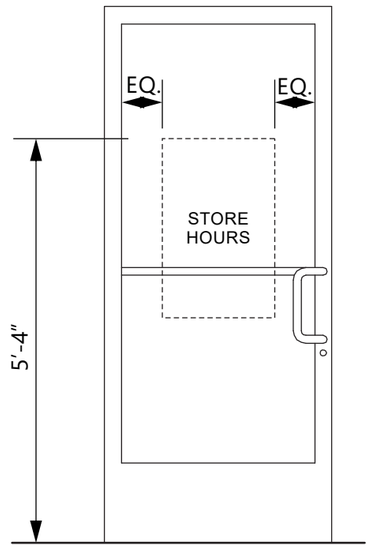
LOCATION
CB



ELEVATION

SCALE - 1/2" = 1'- 0"



ELEVATION

SCALE - 1/2" = 1'- 0"

ELEVATION

SCALE - 1 1/2" = 1'- 0"

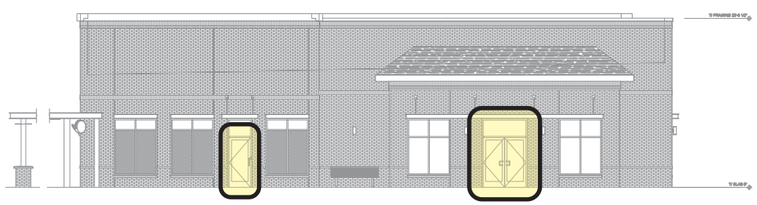
LETTERING IS 3M #7725-10 OPAQUE WHITE VINYL FILM (SHOWN IN GREY FOR ILLUSTRATION)
CREDIT CARD LOGOS ARE INDIVIDUAL PRINTED DECALS ON CLEAR FILM.
ALL GRAPHICS ARE APPLIED TO EXTERIOR SURFACE OF GLASS.
STORE HOURS MAY BE DIFFERENT PER STORE.
SUNDAY HAS RED VINYL FILM STRIKE THROUGH ON IT.
PROVIDE EXTRA 6:00 PER EACH SET.

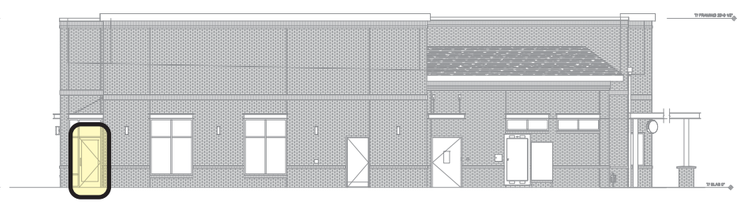
8" TALL ADDRESS NUMBERS ARE 3M #7725-10 OPAQUE WHITE VINYL FILM APPLIED TO EXTERIOR SURFACE OF GLASS. (SHOWN IN GREY FOR ILLUSTRATION)
APERCU BOLD FONT

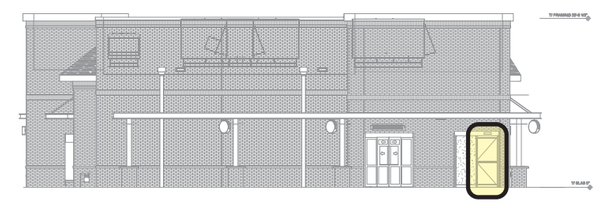
VERIFY ADDRESS BEFORE MAKING NUMBERS

ELEVATION

NOT TO SCALE







CITY OF WORTHINGTON

DRAWINGS NO. ARB 109-2022
CU 09-2022

DATE 12/13/2022

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WINDOW GRAPHICS

DRAWING FILE - CFA - WORTHINGTON, OH SIGNAGE.CDR

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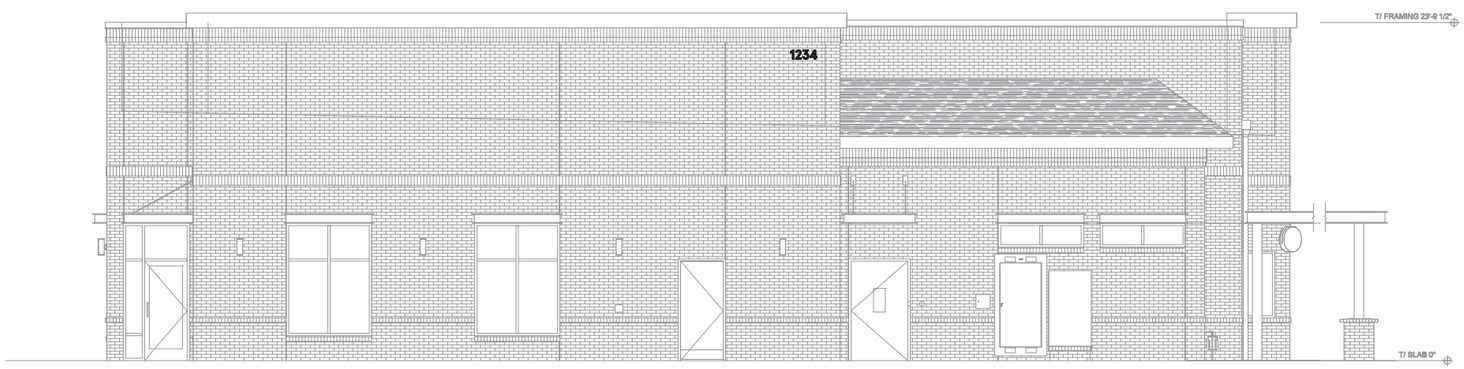

ELEVATION

SCALE - 3/32" = 1'- 0"

8"

1234

8" TALL ADDRESS NUMBERS ARE 1/4" DEEP FLAT CUTOUT ALUMINUM NUMBERS PIN-MOUTED TO WALL.

VERIFY ADDRESS BEFORE MAKING NUMBERS

ELEVATION

NOT TO SCALE

MP 20181 DARK BRONZE
SW #DDM460012

CITY OF WORTHINGTON

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CU 09-2022

DATE 12/13/2022

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ADDRESS NUMBERS

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City of Worthington

CONDITIONAL USE PERMIT APPLICATION

Case # CU 10-2022
Date Received 12-15-2022
Fee $25.00 pd
Meeting Date
Filing Deadline

1. Property Location 400 E. Wilson Bridge Rd. Worthington, OH 43085 Suite O
2. Zoning District
3. Applicant Dugout Baseball & Performance
   Address 400 E. Wilson Bridge Rd Suite O, Worthington
   Home Phone Work Phone 937-423-3053
   Email markerja@wohio.com
4. Property Owner Weston Inc.
   Address 4700 Richmond Rd Cleveland, OH. 44128
   Home Phone Work Phone 614-684-8909
   Email linda.osterloh@lee-associates.com
5. Business Name Dugout Baseball & Performance
6. Type of Business/ Conditional Use Indoor Baseball Complex

PLEASE READ THE FOLLOWING STATEMENT AND SIGN:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

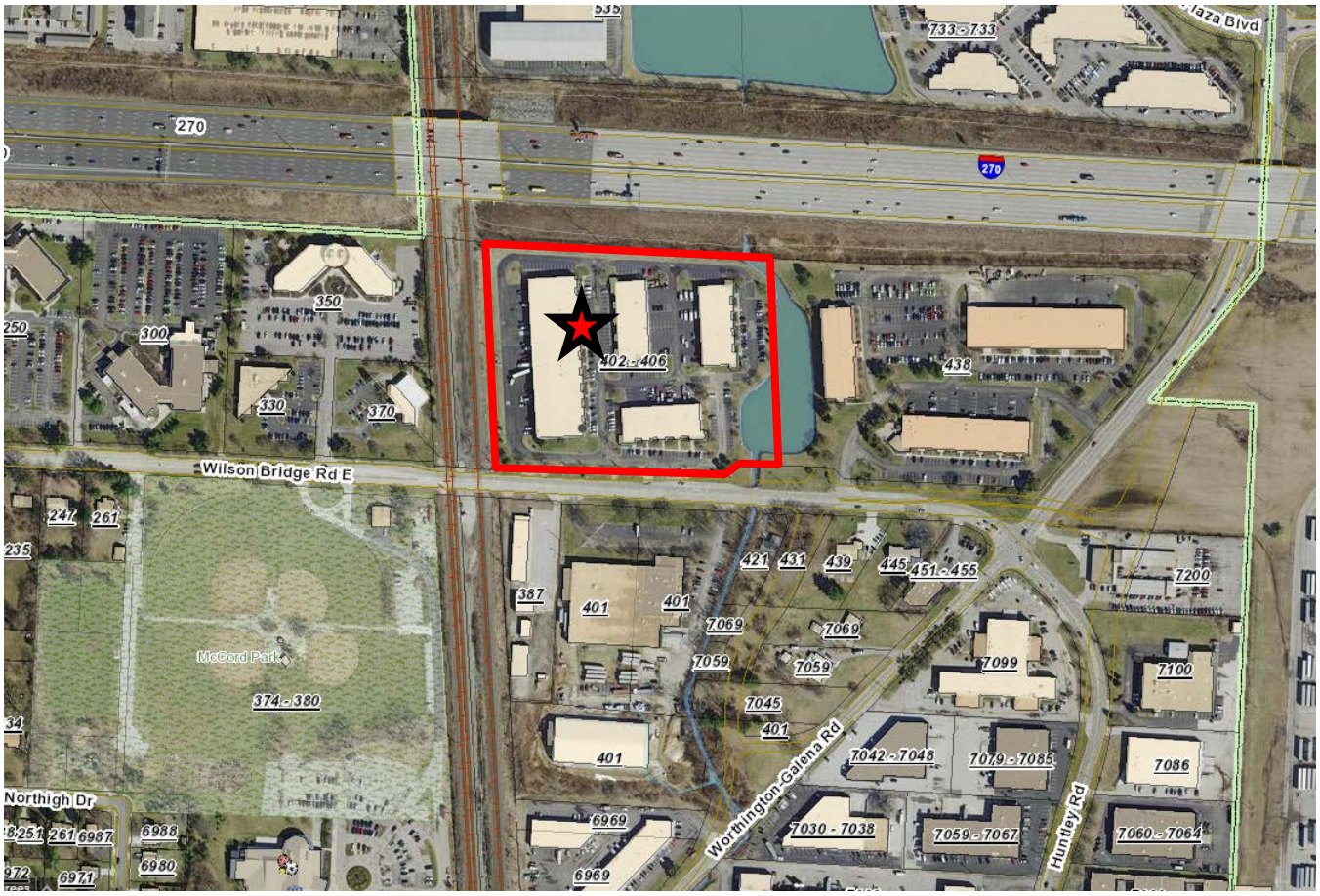
Joe Marlen
Applicant (Signature)

11-21-22
Date

Property Owner (Signature)

Date

400 E. Wilson Bridge Rd.



markerja

To: 'markerja@woh.rr.com'
Subject: city paperwork

Dugout Baseball & Performance
400 E. Wilson Bridge Rd Suite O
Worthington, OH. 43085

Contact: Joe Marker 937-423-3053

Indoor Baseball Facility

Staff: 6 part time instructors

We share parking lot with other tenants. We typically use 6 parking stalls per day.

Hours: 5am—9pm By appointment only

Floor Plan attached

In March of 2020 we purchased an existing business from Big League Baseball who occupied this space from 2013-2020.
It was brought to our attention after a routine inspection, that the property is not zoned for our type of business.

Our hope is that this space can be rezoned to fit our current business model and become compliant with the City of Worthington.

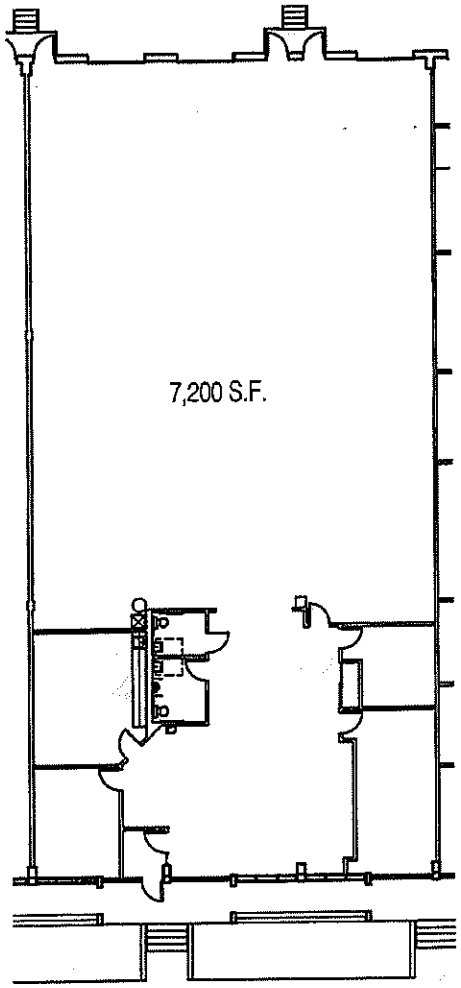
Thanks for your time!

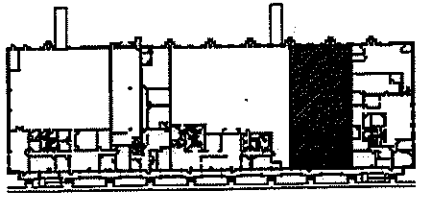
Joe Marker, Owner
Dugout Baseball & Performance
937-423-3053 CP
www.dugoutbaseballperformance.com

CITY OF WORTHINGTON

DRAWING NO. CU 10-2022

DATE 12/15/2022





building key plan
48,507 S.F.

N

400 E. Wilson Bridge Rd. - Suite O 'As Built'

Big League Baseball

n.t.s.

As Builts For
400 E. Wilson Bridge Road
Worthington, Ohio

04-05-17

CARNEY • RANKER
ARCHITECTS LTD
6916 Wilson Mills Rd. E Dublin, OH 43016
Ph. 614-792-0000 Fax 614-792-0001
mail@carneyrankar.com

O
17-088

CITY OF WORTHINGTON

DRAWING NO. CU 10-2022

DATE 12/15/2022

Amendment to Development Plan

Application

Case # ADP 05-2022
Date Received 11/10/2022
Fee $50 pd
Meeting Date
Filing Deadline

1. **Property Location** 550 Schrock Rd., Columbus, OH 43229
2. **Present Use & Proposed Use** Full service plumbing, HVAC
3. **Present & Proposed Zoning** I-Industrial (no change proposed)
4. **Applicant** Zappa Engineering
   Address 1255 North Hamilton Road, #122
   Phone 614/595-4656
   Email glennhalm@aol.com
5. **Property Owner** Water Works (TFH-EB Inc)
   Address 550 Schrock Rd., Columbus, OH 43229
   Phone 614/505-8212
   Email Alli Murray <amurray@thewaterworks.com
6. **Project Description** Parking lot addition along Shrock Road
7. **Variances Requested** Parking setback variance

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Applicant (Signature) — Date 12/13/2022

Property Owner (Signature) — Date 12/13/2022

MPC Approval Date:

City Council Approval Date:

550 Schrock Rd.

December 14, 2022

Water Works Statement in Support of Amendment to Development

Background Information on Water Works:

This is the Corporate Office located at 550 Schrock Rd, Columbus, OH 43229. It is Zoned I-1 (Industrial) built in 1971 with 29791 square feet of building on a 2.631 acre lot (PID 100-0013927-00).

As Central Ohio's largest full-service plumbing, drain cleaning, heating and cooling company, The Waterworks offers a variety of plumbing and HVAC services to both our residential and commercial customers. We handle over 35,000 service calls per year and have the largest fleet of service vehicles in the area.

Founded in 1935, The Waterworks is privately owned and focused on providing each and every customer with truly unique, superior customer service, including speedy response times, the strongest guarantees in Central Ohio, and a well-trained, certified technical team.

Request for Additional Parking:

We would like to grow our company within Worthington, as the company increases in size and inter-departmental lines are adjusted, we would be moving additional employees to this location. We are requesting additional parking spaces along the front southerly side of our property, parallel to Schrock Road. A 5' sidewalk would be constructed adjacent to the Schrock Road curb. Additional parking spaces would be used for personal employee vehicles, not service trucks. The existing monument sign, flagpole, and existing four parking spaces in front of the building would be removed. There would be no revisions to the structure or security fence. All revisions to the site would be contained to the front of the building.

We currently have operations in two facilities in the Columbus area: a 16,000 square foot building in Grove City and the 29,000 square feet we have here on Schrock Road in Worthington.

Currently 116 employees work out of our Worthington office. We anticipate moving approximately 30 employees from our Grove City location to our Schrock Rd location.

The northwest section of our west lot is utilized for staging, raw material, dumpsters, and truck traffic, so remains unavailable for additional parking. The patio and shelter remain for employee use. The fence remains for security purposes.

New landscaping would run along intermittent sections of the right-of-way, to improve the view from the street. Perhaps a few sections of Japanese Barberry (Berberis Thunbergii) or a similar shrub that might reach a mature height of 3-4'. We are flexible on landscaping.

Similarly Granted Requests:

The property situated adjacent to the west has been approved for added angle parking spaces in front of the building in much the same angled layout and one-way aisle as we are proposing. Being consistent with what has been previously approved, we request the same consideration.

CITY OF WORTHINGTON

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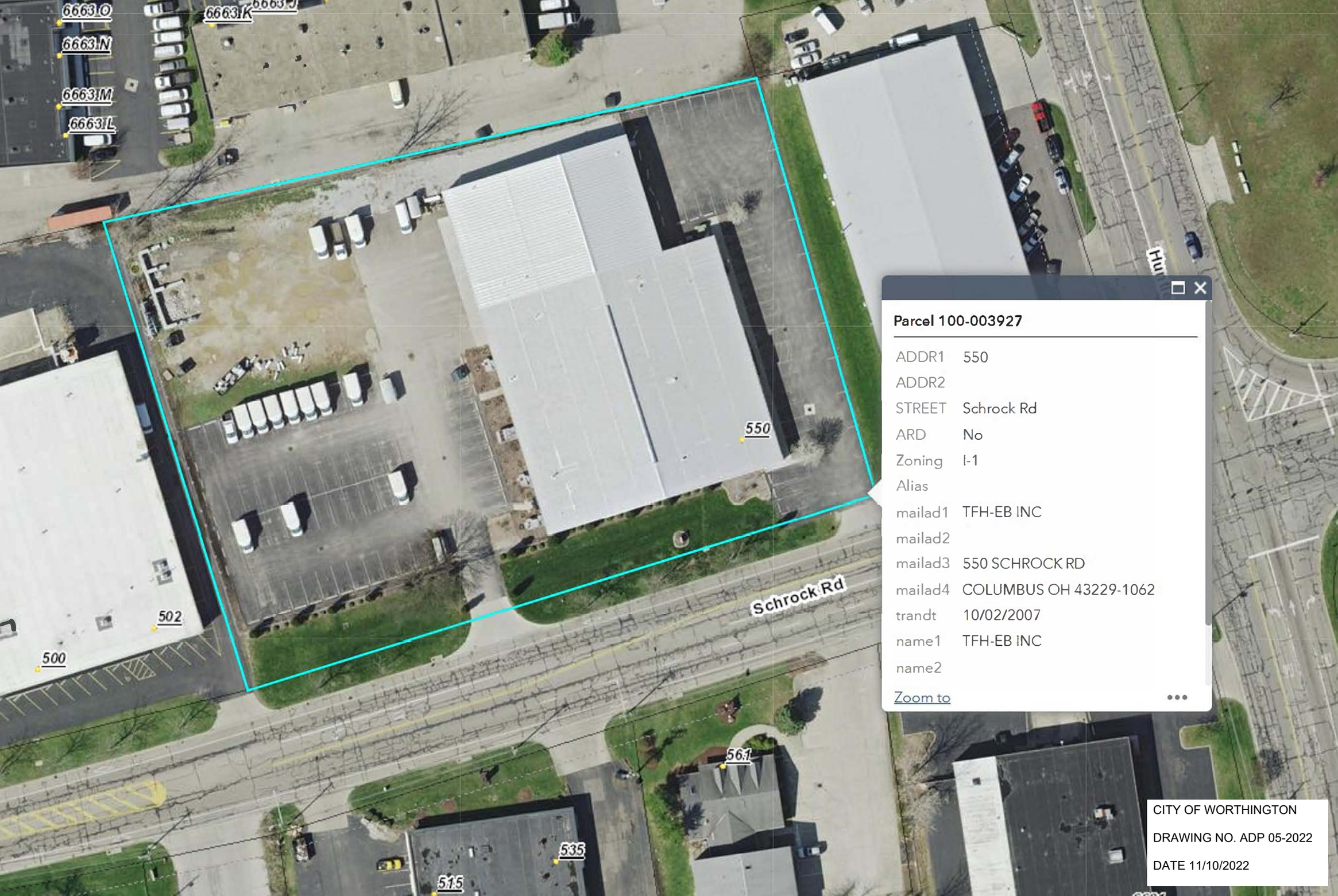
DATE 11/10/2022



CITY OF WORTHINGTON

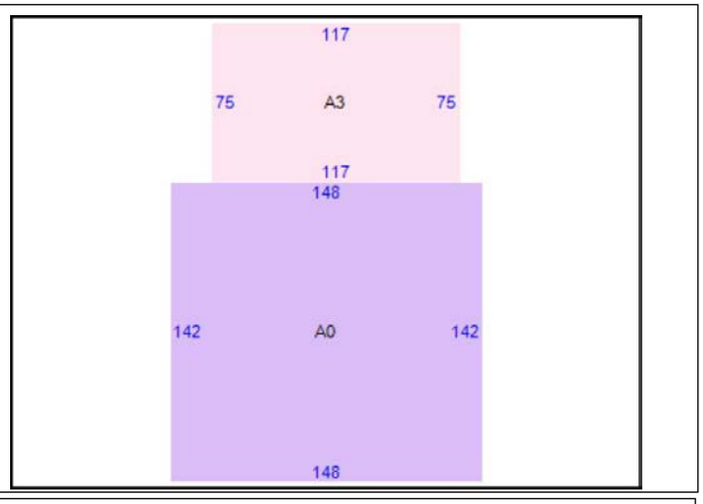
DRAWING NO. ADP 05-2022

DATE 11/10/2022

Franklin County Auditor - Michael Stinziano 100-003927-00

Owner Name	TFH-EB INC	Prop. Class	I - Industrial
		Land Use	354 - WAREHOUSE: 36% TO 50% OFC
		Tax District	100 - CITY OF WORTHINGTON
Site Address	550 SCHROCK RD	Sch. District	2516 - WORTHINGTON CSD
		App Nbrhd	X3500
		Tax Lein	No
LegalDescriptions	550 SCHROCK RD 2.631 ACRES SCHROCK ROAD	CAUV Property	No
		Owner Occ. Credit	2022: No 2023: No
		Homestead Credit	2022: No 2023: No
		Rental Registration	No
Owner Address		Board of Revision	No
		Zip Code	43229
		Annual Taxes	.00
Transfer Date	10/02/2007	Taxes Paid	.00
Transfer Price	1,150,000.00	Calculated Acreage	2.63
Instrument Type	GW	Legal Acreage	.00

	Current Market Value			Taxable Value		
	Land	Improv	Total	Land	Improv	Total
Base	$247,800	$1,179,800	$1,427,600	$86,730	$412,930	$499,660
TIF	$0	$0	$0	$0	$0	$0
Exempt	$0	$0	$0	$0	$0	$0
Total	$247,800	$1,179,800	$1,427,600	$86,730	$412,930	$499,660
CAUV	$0					



Building Data

Land Use	354-WAREHOUSE: 36% TO 50% OFC
Year Built	1971
Total Sq Ft	29791
Stories	01
Grade	AVERAGE QUALITY

CITY OF WORTHINGTON

DRAWING NO. ADP 05-2022

DATE 11/10/2022

Sketch Legend

3 A3 - SKE:SKETCH ONLY 8775 Sq. Ft.
4 A0 - SKE:SKETCH ONLY 21016 Sq. Ft.
1 - 044:UTILITY SHOP 21385 Sq. Ft.
2 - 082:MULTI-USE OFFICE 8406 Sq. Ft.
1 - EN1:ENCLOSURE FD OFC 400 Sq. Ft.
1 PAVING ASP - PA1:PAVING ASPHALT 56500 Sq. Ft.
2 PAVING CON - PC1:PAVING CONCRETE 2000 Sq. Ft.
2 - SS3:SPRINKLER W/S FD & FO 21016 Sq. Ft.
3 FENCE CL 6 - FN1:FENCE CHAIN LINK LF -6 884 Sq. Ft.
5 - SS1:SPRINKLER W/S UNF 8775 Sq. Ft.

100-003927 06/10/2021

Disclaimer:The information on this web site is prepared from the real property inventory maintained by the Franklin County Auditor's Office. Users of this data are notified that the primary information source should be consulted for verification of the information contained on this site. The county and vendors assume no legal responsibilities for the information contained on this site. Please notify the Franklin County Auditor's Real Estate Division of any discrepancies.

THE WATER WORKS – GOOGLE EARTH BIRD'S EYE VIEW OF EXISTING FACILITY

CITY OF WORTHINGTON

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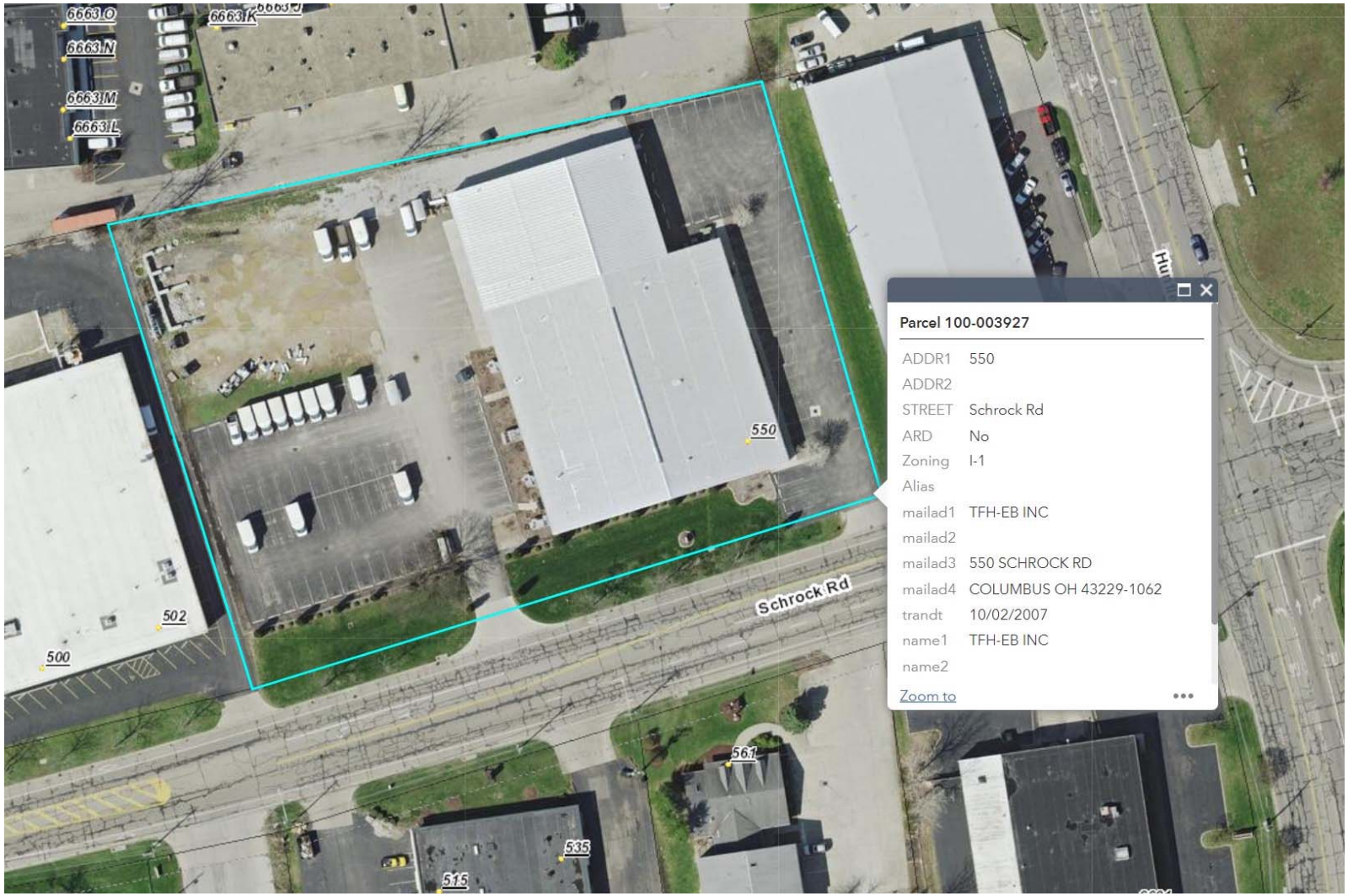

AUDITOR'S GIS MAP BOUNDARY, OWNER, AND ZONING INFORMATION

CITY OF WORTHINGTON

DRAWING NO. ADP 05-2022

DATE 11/10/2022

EXISTING FOUR PARKING SPACES IN FRONT TO BE REMOVED

CITY OF WORTHINGTON

DRAWING NO. ADP 05-2022

DATE 11/10/2022

EXISTING SIGN, FLAGPOLE, AND PARKING SPACES TO BE REMOVED

CITY OF WORTHINGTON

DRAWING NO. ADP 05-2022

DATE 11/10/2022

PROPOSED PARKING TO RUN ALONG THE FRONT OF THE BUILDING

CITY OF WORTHINGTON

DRAWING NO. ADP 05-2022

DATE 11/10/2022

PROPOSED PARKING TO RUN ALONG THE FRONT OF THE BUILDING

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DATE 11/10/2022

UPDATED LIGHTING **PROPOSED FOR THE FRONT OF THE BUILDING.**
PLEASE SEE SPEC SHEET FOR LIGHTING.
WHAT IS SHOWN IS WHAT IS CURRENTLY USED **ON THE SIDE & REAR OF THE BUILDING.**

EXISTING SECURITY FENCE TO REMAIN

CITY OF WORTHINGTON

DRAWING NO. ADP 05-2022

DATE 11/10/2022

EXISTING WEST SIDE LANDSCAPING PARTIALY REMOVED FOR PARKING

CITY OF WORTHINGTON

DRAWING NO. ADP 05-2022

DATE 11/10/2022

PROPOSED PARKING TO BE ADJACENT TO EXISTING DRIVEWAY

CITY OF WORTHINGTON

DRAWING NO. ADP 05-2022

DATE 11/10/2022

PROPOSED 5’ WIDE SIDEWALK AT CURB – EXIST TREES REPLACED

CITY OF WORTHINGTON

DRAWING NO. ADP 05-2022

DATE 11/10/2022

EXISTING PARKING ON ADJACENT LOT TO WEST WITH PARKING IN FRONT-STREET VIEW

CITY OF WORTHINGTON

DRAWING NO. ADP 05-2022

DATE 11/10/2022

EXISTING PARKING ON ADJACENT LOT TO WEST WITH PARKING IN FRONT-AERIAL VIEW

CITY OF WORTHINGTON

DRAWING NO. ADP 05-2022

DATE 11/10/2022

CITY OF WORTHINGTON

DRAWING NO. ADP 05-2022

DATE 11/10/2022

0' 30' 60' 90'

1"=30'

ALL SPACES 10' X 20'

ALL SPACES 10' X 20'

ALL SPACES 9' X 18'

EXISTING BUILDING

SHELTER ON SLAB

PAVER PATIO

SECURITY FENCE

LANDSCAPING ALONG SECURITY FENCE

LANDSCAPING ALONG BUILDING FRONTAGE

FLAG POLE

GATE CONTROL

8" WAT

MON SIGN

FOUR EXISTING PARKING SPACES IN FRONT OF BUILDING

10" SAN @ 0.2%

NO PARKING

NO PARKING

SPEED LIMIT 35

BIKE LANE

SCHROCK RD (85')

No.	DATE	INITIAL	REVISION DESCRIPTION

ZAPPA ENGINEERING
1255 NORTH HAMILTON ROAD, #122
GAHANNA, OHIO 43230
WWW.ZAPPAENGINEERING.COM

THE WATER WORKS - CORPORATE OFFICE AMENDMENT TO DEVELOPMENT PLAN

EXISTING CONDITION

PROJECT NO. #22-10

2

4

Water Works.dwg EXIST COND 12/20/2022 15:53:03 1:1

CITY OF WORTHINGTON

DRAWING NO. ADP 05-2022

DATE 11/10/2022

N 16°28'10" W
297.87'

S 14°37'50" E
265.59'

ALL SPACES
10' X 20'

ALL SPACES
9' X 18'

EXIST BUILDING

INSTALL (3) BUILDING ATTACHED LIGHTS (TYP TO EXIST ON SIDE)

SIDEWALK

SECURITY FENCE

402.22'
S 73°30'50" W

REMOVE FOUR EXISTING PARKING SPACES

PROPOSED 5' SIDEWALK

PROPOSED LANDSCAPE

R/W

0' 30' 60' 90'

1"=30'

SCHROCK RD (85')

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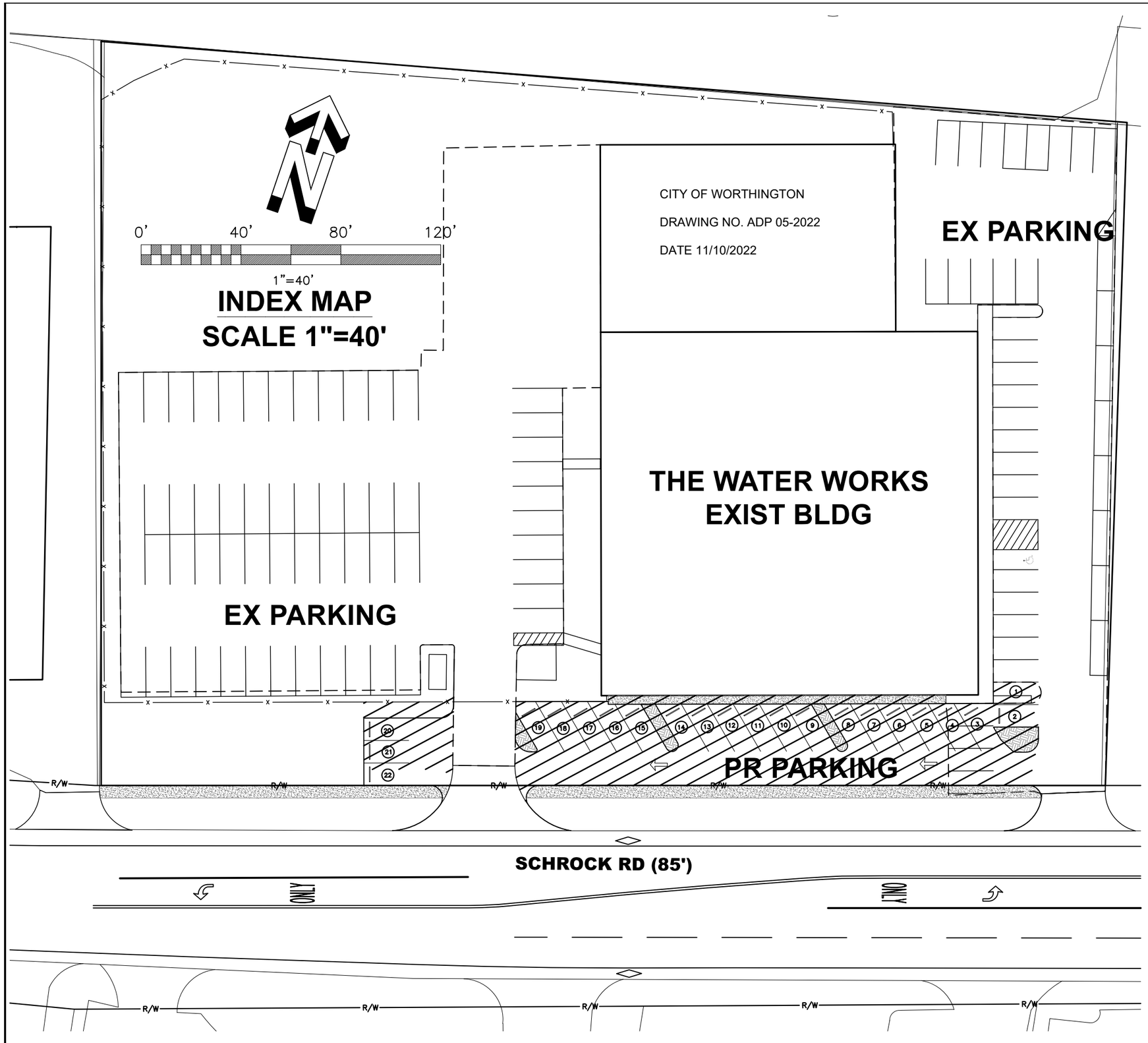
THE WATER WORKS - CORPORATE OFFICE
AMENDMENT TO DEVELOPMENT PLAN

PROPOSED PARKING

PROJECT NO.
#22-10

3
4



CITY OF WORTHINGTON, OHIO
THE WATER WORKS

550 SCHROCK ROAD, COLUMBUS, OH 43229

DEVELOPMENT AMENDMENT
DECEMBER 2022

ZONING & SITE INFORMATION

PARCEL NUMBER: 100–003927–00

ZONING: I–1 INDUSTRIAL

BUILDING DATA: 29791 SF EXISTING BUILDING BUILT IN 1971

PROJECT ADDRESS: 550 SCHROCK RD, COLUMBUS, OH 43229

LEGAL DESCRIPTION: 2.631 ACRES IN STATE OF OH, FRANKLIN CO, CITY OF WORTHINGTON, BEING IN QT2, T2, R18, USM LANDS

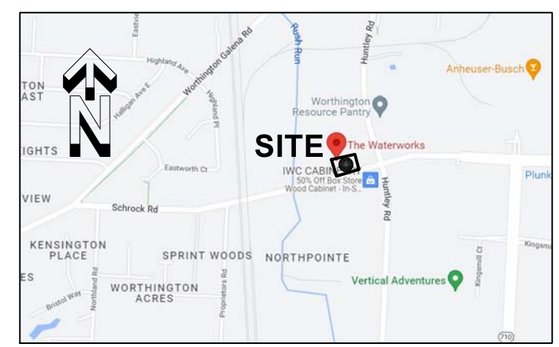
DESCRIPTION OF WORK: CONSTRUCT 22 PARKING SPACES IN FRONT OF THE EXISTING BUILDING.

OWNER

THE WATER WORKS
(TFH–EB INC)
550 SCHROCK RD
COLUMBUS, OH 43229
SALLY CROCE–REDPATH
(614) 505–8125
scroceredpath@thewaterworks.com

ENGINEER

ZAPPA ENGINEERING, LLC
GLENN HALMBACHER, PE, PS
1255 N HAMILTON RD
GAHANNA, OH 43230
(614) 595–4656
GLENNHALM@AOL.COM



VICINITY MAP
NO SCALE

SHEET INDEX

SHEET 1:	INDEX MAP
SHEET 2:	EXIST CONDITIONS
SHEET 3:	PROPOSED PARKING
SHEET 4:	LANDSCAPE/LIGHTING

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THE WATER WORKS - CORPORATE OFFICE
AMENDMENT TO DEVELOPMENT PLAN

INDEX MAP

PROJECT NO. #22–10

1
4

CITY OF WORTHINGTON

DRAWING NO. ADP 05-2022

DATE 11/10/2022

ALL SPACES 10' X 20'

ALL SPACES 10' X 20'

ALL SPACES 9' X 18'

ALL SPACES 9' X 18'

7' X 22' TYP

EXISTING BUILDING

0' 30' 60' 90'

1"=30'

SHELTER ON SLAB

PAVER PATIO

SECURITY FENCE

LANDSCAPING ALONG SECURITY FENCE

LANDSCAPING ALONG BUILDING FRONTAGE

FLAG POLE

FOUR EXISTING PARKING SPACES IN FRONT OF BUILDING

MON SIGN

GATE CONTROL

8" WAT

10" SAN @ 0.2%

NO PARKING

10" SAN @ 0.28%

NO PARKING

SPEED LIMIT 35

BIKE LANE

R/W

SCHROCK RD (85')

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THE WATER WORKS - CORPORATE OFFICE
AMENDMENT TO DEVELOPMENT PLAN

EXISTING CONDITION

PROJECT NO. #22-10

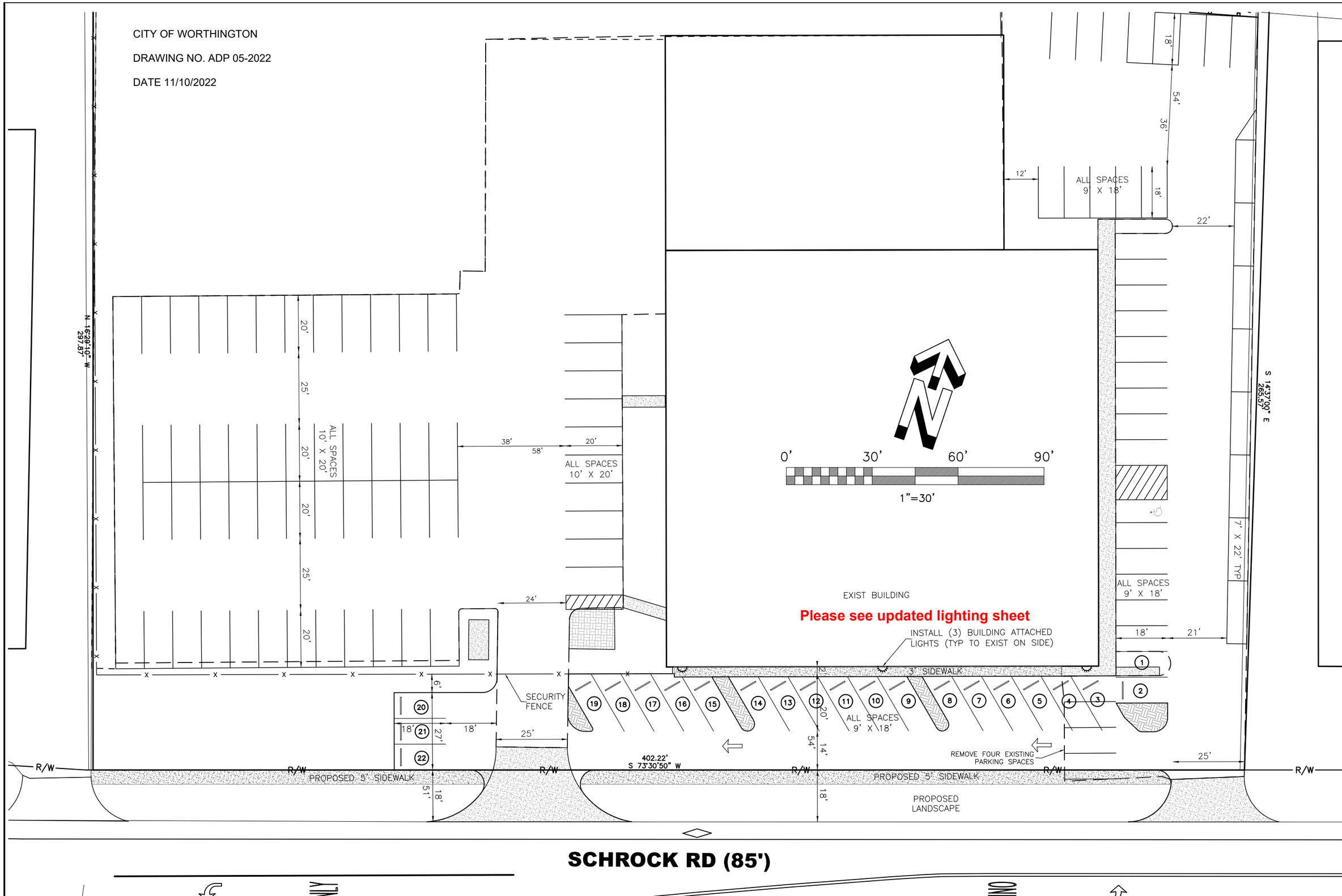
2
4

Water Works.dwg EXIST COND 12/20/2022 15:30:09 1:1

CITY OF WORTHINGTON

DRAWING NO. ADP 05-2022

DATE 11/10/2022



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PROPOSED PARKING

PROJECT NO. #22-10

3

4

CITY OF WORTHINGTON

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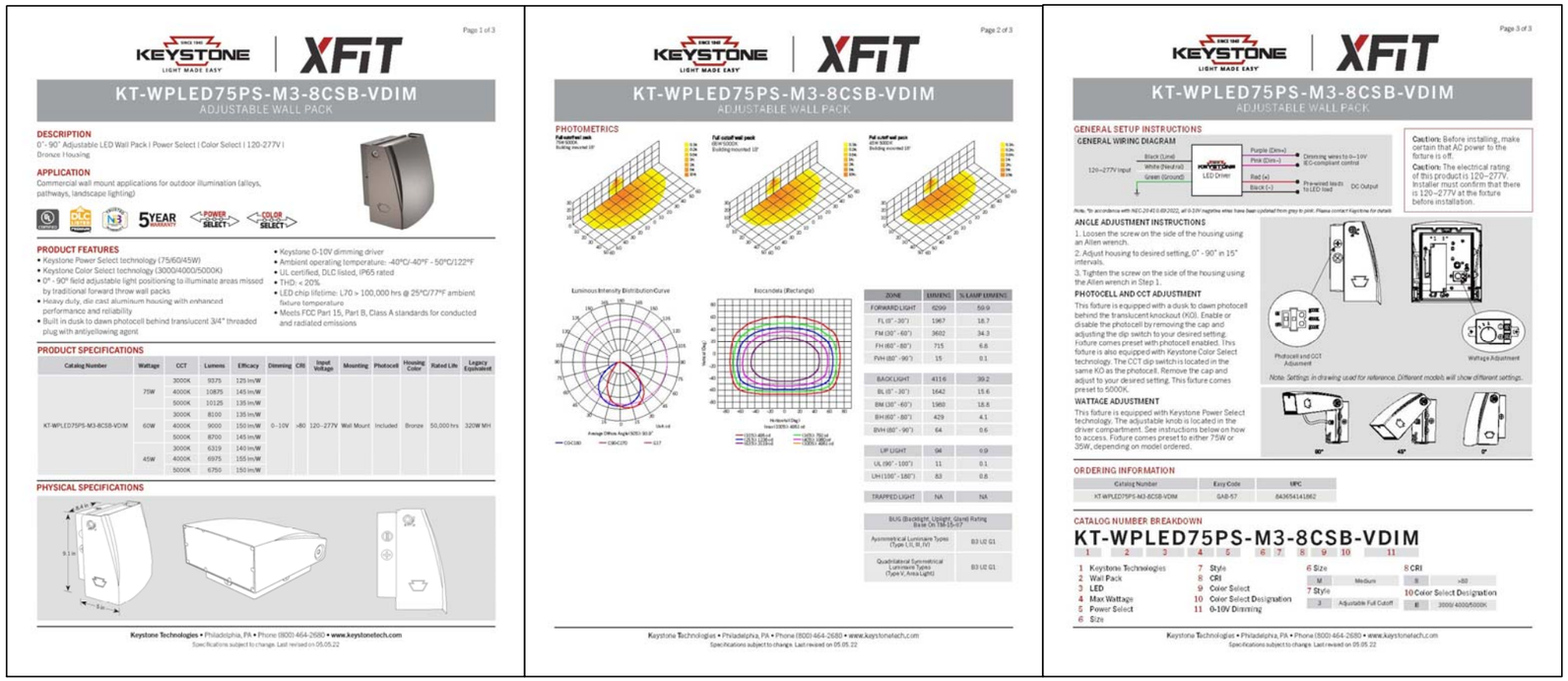

Page 1 of 3

KEYSTONE LIGHT MADE EASY | XFiT

KT-WPLED75PS-M3-8CSB-VDIM

ADJUSTABLE WALL PACK

DESCRIPTION

0° - 90° Adjustable LED Wall Pack | Power Select | Color Select | 120-277V | Bronze Housing

APPLICATION

Commercial wall mount applications for outdoor illumination (alleys, pathways, landscape lighting)

5 YEAR WARRANTY · POWER SELECT · COLOR SELECT

PRODUCT FEATURES

- Keystone Power Select technology (75/60/45W)
- Keystone Color Select technology (3000/4000/5000K)
- 0° - 90° field adjustable light positioning to illuminate areas missed by traditional forward throw wall packs
- Heavy duty, die cast aluminum housing with enhanced performance and reliability
- Built in dusk to dawn photocell behind translucent 3/4" threaded plug with antiyellowing agent
- Keystone 0-10V dimming driver
- Ambient operating temperature: -40°C/-40°F - 50°C/122°F
- UL certified, DLC listed, IP65 rated
- THD: < 20%
- LED chip lifetime: L70 > 100,000 hrs @ 25°C/77°F ambient fixture temperature
- Meets FCC Part 15, Part B, Class A standards for conducted and radiated emissions

PRODUCT SPECIFICATIONS

Catalog Number	Wattage	CCT	Lumens	Efficacy	Dimming	CRI	Input Voltage	Mounting	Photocell	Housing Color	Rated Life	Legacy Equivalent
KT-WPLED75PS-M3-8CSB-VDIM	75W	3000K	9375	125 lm/W	0-10V	>80	120-277V	Wall Mount	Included	Bronze	50,000 hrs	320W MH
		4000K	10875	145 lm/W								
		5000K	10125	135 lm/W								
	60W	3000K	8100	135 lm/W								
		4000K	9000	150 lm/W								
		5000K	8700	145 lm/W								
	45W	3000K	6319	140 lm/W								
		4000K	6975	155 lm/W								
		5000K	6750	150 lm/W								

PHYSICAL SPECIFICATIONS

Keystone Technologies • Philadelphia, PA • Phone (800) 464-2680 • www.keystonetech.com

Specifications subject to change. Last revised on 05.05.22

Page 2 of 3

KEYSTONE LIGHT MADE EASY | XFiT

KT-WPLED75PS-M3-8CSB-VDIM

ADJUSTABLE WALL PACK

PHOTOMETRICS

Luminous Intensity Distribution/Curve

Isocandela (Rectangle)

ZONE	LUMENS	% LAMP LUMENS
FORWARD LIGHT	6299	56.9
FL (0°-30°)	1967	18.7
FM (30°-60°)	3602	34.3
FH (60°-80°)	715	6.8
FVH (80°-90°)	15	0.1
BACK LIGHT	4116	39.2
BL (0°-30°)	1642	15.6
BM (30°-60°)	1980	18.8
BH (60°-80°)	429	4.1
BVH (80°-90°)	64	0.6
UP LIGHT	94	0.9
UL (90°-100°)	11	0.1
LH (100°-180°)	83	0.8
TRAPPED LIGHT	NA	NA

BUG (Backlight, Uplight, Glare) Rating Base On TM-15-07	
Asymmetrical Luminaire Types (Type I, II, III, IV)	B3 U2 G1
Quadrilateral Symmetrical Luminaire Types (Type V, Area Light)	B3 U2 G1

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Page 3 of 3

KEYSTONE LIGHT MADE EASY | XFiT

KT-WPLED75PS-M3-8CSB-VDIM

ADJUSTABLE WALL PACK

GENERAL SETUP INSTRUCTIONS

GENERAL WIRING DIAGRAM

120–277V Input · Black (Line) · White (Neutral) · Green (Ground) · KEYSTONE LED Driver · Purple (Dim+) · Pink (Dim–) · Dimming wires to 0–10V IEC-compliant control · Red (+) · Black (–) · Pre-wired leads to LED load · DC Output

Caution: Before installing, make certain that AC power to the fixture is off.

Caution: The electrical rating of this product is 120–277V. Installer must confirm that there is 120–277V at the fixture before installation.

ANGLE ADJUSTMENT INSTRUCTIONS

1. Loosen the screw on the side of the housing using an Allen wrench.
2. Adjust housing to desired setting, 0° - 90° in 15° intervals.
3. Tighten the screw on the side of the housing using the Allen wrench in Step 1.

PHOTOCELL AND CCT ADJUSTMENT

This fixture is equipped with a dusk to dawn photocell behind the translucent knockout (KO). Enable or disable the photocell by removing the cap and adjusting the dip switch to your desired setting. Fixture comes preset with photocell enabled. This fixture is also equipped with Keystone Color Select technology. The CCT dip switch is located in the same KO as the photocell. Remove the cap and adjust to your desired setting. This fixture comes preset to 5000K.

WATTAGE ADJUSTMENT

This fixture is equipped with Keystone Power Select technology. The adjustable knob is located in the driver compartment. See instructions below on how to access. Fixture comes preset to either 75W or 35W, depending on model ordered.

Photocell and CCT Adjustment · Wattage Adjustment

Note: Settings in drawing used for reference. Different models will show different settings.

90° · 45° · 0°

ORDERING INFORMATION

Catalog Number	Easy Code	UPC
KT-WPLED75PS-M3-8CSB-VDIM	GAB-57	843654141862

CATALOG NUMBER BREAKDOWN

KT-WPLED75PS-M3-8CSB-VDIM

1 2 3 4 5 6 7 8 9 10 11

1 Keystone Technologies
2 Wall Pack
3 LED
4 Max Wattage
5 Power Select
6 Size
7 Style
8 CRI
9 Color Select
10 Color Select Designation
11 0-10V Dimming

6 Size: M Medium
7 Style: 3 Adjustable Full Cutoff
8 CRI: 8 >80
10 Color Select Designation: E 3000/4000/5000K

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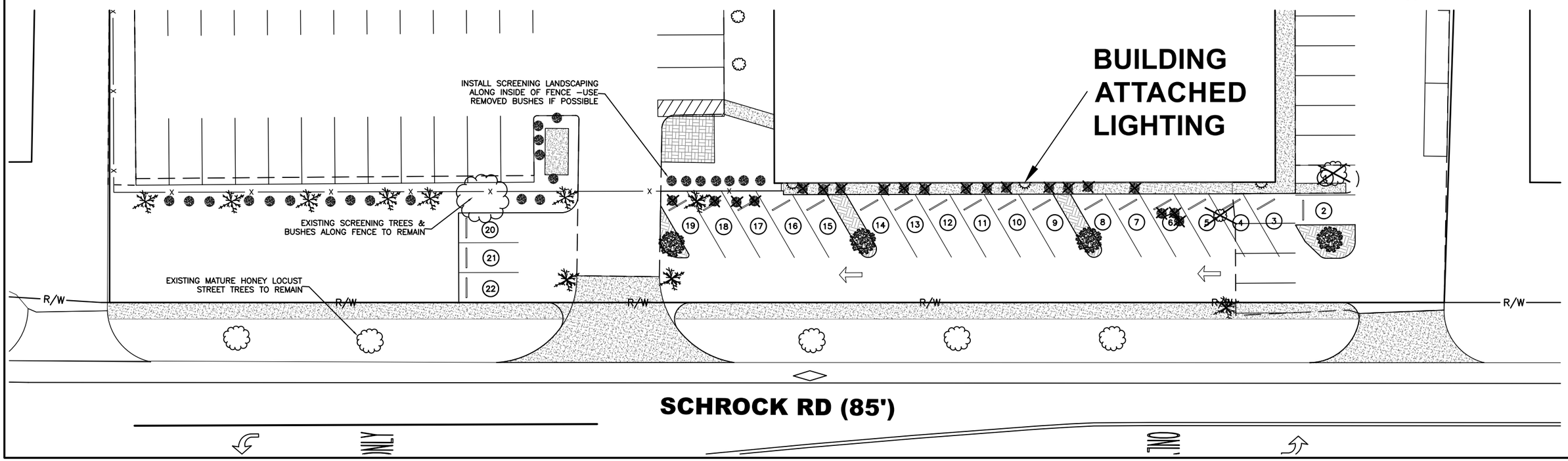
BUILDING ATTACHED LIGHTING

0' 30' 60' 90'

1"=30'



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THE WATER WORKS - CORPORATE OFFICE
AMENDMENT TO DEVELOPMENT PLAN

LANDSCAPE AND LIGHTING

PROJECT NO. #22-10

4
4

Water Works.dwg LANDSCAPE AND LIGHTING 1/6/2023 02:17:08 1:1