



**ARCHITECTURAL REVIEW BOARD
MUNICIPAL PLANNING COMMISSION
-AGENDA-
Thursday, February 23, 2023 at 7:00 P.M.**

Louis J.R. Goorey Worthington Municipal Building
The John P. Coleman Council Chamber
6550 North High Street
Worthington, Ohio 43085

Watch online at worthington.org/live and comment in person or at worthington.org/meeting-public-input

A. Call to Order - 7:00 pm

1. Roll Call
2. Pledge of Allegiance
3. Oath of Office
4. Approval of minutes of the January 26, 2023 meeting
5. Affirmation/swearing in of witnesses

B. Architectural Review Board – Consent Agenda

There will be no separate discussion of Consent Agenda items as they are considered to be routine by the Board and Commission and will be adopted by one motion. If a member of the Board & Commission, staff, or public requests discussion on a particular item, that item will be removed from the Consent Agenda and considered separately on the agenda. Approval of Consent Agenda items includes conditions as listed in the staff memo.

1. Fence – **594 Harford St.** (Robert Huffman) **ARB 04-2023**

C. Architectural Review Board – New Business

1. New Deck – **38 Short St.** (Justin Del Col/Carrie King and Scott Sumi) **ARB 03-2023**
2. Patio Furniture – **7105 N. High St.** (Rachel Russell/Five Guys) **ARB 05-2023**
3. Revisions to Approval of New House – **99 E. North St.** (Josh Myers) **ARB 06-2023**

4. Addition – **577 Hartford St.** (James Ross/Puckett) **ARB 07-2023**
5. Greenhouse – **2075 W. Dublin-Granville Rd.** (Monica Shaner/Linworth Experiential Program) **ARB 08-2023**

D. Municipal Planning Commission – New Business

1. Subdivision Without Plat

- a. Property Transfer – **1890 W. Dublin-Granville Rd.** (Joe Myers/Benjamin Price)
SUB 01-2023

E. Other

F. Adjournment



MEMORANDUM

TO: Members of the Architectural Review Board
Members of the Municipal Planning Commission

FROM: Lynda Bitar, Planning Coordinator

DATE: February 17, 2023

SUBJECT: Staff Memo for the Meeting of February 23, 2023

B. Architectural Review Board – Consent Agenda

There will be no separate discussion of Consent Agenda items as they are considered to be routine by the Board and Commission and will be adopted by one motion. If a member of the Board & Commission, staff, or public requests discussion on a particular item, that item will be removed from the Consent Agenda and considered separately on the agenda. Approval of Consent Agenda items includes conditions as listed in the staff memo.

1. Fence – 594 Harford St. (Robert Huffman) ARB 04-2023

Findings of Fact & Conclusions

Background & Request:

The house on this 100' wide x 253' deep property was constructed in the early 1900's. In 2007, aluminum siding was removed and the original clapboard siding was restored. Also, a front porch was added which was similar to the front porch originally constructed with the house and removed in the early 1970's. In 2012 the windows were replaced with simulated divided light vinyl clad wood windows. An addition and garage were approved for this Dutch colonial house in 2014, as was the removal of the barn. Construction of a carriage house/new barn was also approved. The front porch was replaced in 2020.

A section of fencing to match the other fencing on the property is proposed to help screen the condensing unit.

Project Details:

1. A 10' section of fencing would be installed at the northwest corner of the house.
2. White wood picket fencing 3 ½' high with 3 ½" wide pickets and equal openings between to match the other fencing on the property is proposed.

Land Use Plans:Worthington Design Guidelines and Architectural District Ordinance

Fences and walls can be used and are strongly encouraged as effective screening for utility boxes, trash containers, and the like. Design and materials should be compatible with the existing structure.

Recommendation:

Staff is recommending approval of this application, as the fencing matches the existing and it is appropriate to screen trash cans.

Motion:

THAT THE REQUEST BY ROBERT HUFFMAN FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL FENCING AT 594 HARTFORD ST., AS PER CASE NO. ARB 04-2023, DRAWINGS NO. ARB 04-2023, DATED FEBRUARY 4, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

C. Architectural Review Board – New Business

1. New Deck – **38 Short St.** (Justin Del Col/Carrie King and Scott Sumi) **ARB 03-2023**

Findings of fact & Conclusions**Background & Request:**

This property has a Gothic Revival style house that was originally built in 1848 and reconstructed with new materials in 2004. Timing of the deck construction is not clear, but it is apparently in poor condition and in need of replacement.

Project Details:

1. The existing deck at the northwest corner of the house would be removed and a new larger deck is proposed. The deck would be 15'2" from the north property line and as close as 7'6" from the west property line. A variance would be needed for placement in the required rear yard, Steps are proposed along the north side of the house.
2. The deck materials have not been identified but it appears as a combination of gray material resembling wood and a black metal railing.
3. A landscape plan is included in the packet and shows a mixture of existing and proposed plant material, including retention of a tree that will be in the middle of the main deck area.

Land Use Plans:Worthington Design Guidelines and Architectural District Ordinance

There are recommendations in the Worthington Design Guidelines for additions and decks to be located as far to the rear as possible. Design and materials should be traditional, and compatible with the existing structure.

Recommendations:

Staff is recommending approval of this application. The placement of the deck to the rear and the retention and addition of landscaping are appropriate. If the material is a composite that looks like wood that would be compatible with the house and District.

Motion:

THAT THE REQUEST BY JUSTIN DEL COL ON BEHALF OF CARRIE KING AND SCOTT SUMI FOR A CERTIFICATE OF APPROPRIATENESS TO REPLACE THE DECK AT 577 HARTFORD ST. AS PER CASE NO. ARB 03-2023, DRAWINGS NO. ARB 23-2023, DATED JANUARY 19, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

2. Patio Furniture – 7105 N. High St. (Rachel Russell/Five Guys) ARB 05-2023**Findings of Fact & Conclusions****Background & Request:**

This site is the 1.33 acre parcel abutting N. High St. that was created by the subdivision of the former Holiday Inn property at the northwest corner of N. High St. and Caren Ave. The land was used as a parking lot for the former hotel. In addition to the rest of the hotel site, this parcel is part of the Worthington Gateway Planned Use District (PUD). A multi-tenant building was approved in 2019 and is being constructed at this location. Five Guys restaurant is planning to locate in the suite at the south end of the building. Although the signs still need approval, this is an application for just the patio furniture and umbrellas.

Project Details:

1. Four 36” square and 30” high tables with four chairs and one umbrella each are proposed on the patio along the south side of the building.
2. The metal tables and chairs would be red with black bases.
3. Red umbrellas with Coca-Cola and Five Guys logos are proposed. The bases, poles and hardware would be aluminum.
4. Six foot high Arborvitae are proposed to be planted along the south side of the patio.

Land Use Plans:**Worthington Design Guidelines and Architectural District Ordinance**

The Worthington Design Guidelines and Architectural District Ordinance recommend signs be efficient and compatible with the age and architecture of the building. Use of traditional sign materials such as painted wood, or material that looks like painted wood, is the most appropriate material for projecting and wall signs. While the regulations permit a certain maximum square footage of signs for a business, try to minimize the size and number of signs. Place only basic names and graphics on signs along the street so that drive-by traffic is not bombarded with too much information. Signs must be distinctive enough to be readily visible, but avoid incompatible modern colors such as “fluorescent orange” and similar colors. Bright color shades generally are discouraged in favor more subtle and toned-down shades.

The Design Guidelines recognizes seating and tables for use by patrons makes an area feel more open and pedestrian-friendly. The Architectural District Ordinance calls for design and materials to be compatible.

PUD Development Text:

Landscaping and screening shall be installed in compliance with the Landscaping Plan included in this application. Landscaping may be added along the southwestern corner of the site and along the southern property boundary if deemed necessary by the City of Worthington.

Worthington Comprehensive Plan

The 2005 Worthington Comprehensive Plan identifies the High Street Corridor (Extents Area) as a place where consistent site design should be encouraged such as landscape screening and interior planting of surface parking areas, and the location of large parking areas should be to the rear of the site. The corridor could accommodate redevelopment at a higher density, with such projects meeting the needs of the City, providing green setbacks and meeting the Architectural Design Guidelines. The plan recommends promoting a high quality physical environment, encouraging the City to continue to emphasize strong physical and aesthetic design, and high-quality development. Also recommended is encouraging the private market to add additional commercial office space within the City.

Recommendation:

Staff is recommending *partial approval* of this application. The patio furniture is appropriate. Signage on the umbrellas is not appropriate and should not be approved. Black should be considered as the color for the umbrella shaft to better complement the furniture.

Motion:

THAT THE REQUEST BY THE RACHEL RUSSELL ON BEHALF OF FIVE GUYS FOR A CERTIFICATE OF APPROPRIATENESS TO ADD PATIO FURNITURE AT 7105 N. HIGH ST., AS PER CASE NO. ARB 05-2023, DRAWINGS NO. ARB 05-2023, DATED FEBRUARY 7, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING AND AS AMENDED:

- **SIGNS/GRAPHICS ARE NOT ALLOWED ON THE UMBRELLAS.**

5. Revisions to Approval of New House – **99 E. North St.** (Josh Myers) **ARB 06-2023**

Findings of fact & Conclusions

Background & Request:

This vacant parcel was established in 1938, being part of lot 2 of the original plat of Worthington. The property is 60' wide x 134.2' deep (8052 square feet in area) and is considered an existing lot of record which can accommodate a single-family dwelling per the Code.

A new house was approved at the January 12, 2023 ARB meeting with amendments that added 2 windows to the second floor on the east side of the house, and modified the fence style to be 4' high and open style. This application is a request to modify that approval.

Project Details:

1. Garage:
Reduction in size was needed so the garage would still be 30' from the rear property line. An 18' double garage door is now proposed instead of 2 single garage doors.
2. Building:
 - a. Vinyl 7" lap siding with a smooth finish in Linen made by Westlake was proposed for the house. The applicant would like to change to 5" siding.
 - b. Windows would not be installed: one on the rear of the house; on the first floor of the west side of the rear gable; and on the east side second floor only one window would be installed toward the front of the house.
 - c. The kitchen windows on the rear would be changed to double hung.
 - d. 1" x 6" tongue and groove Cypress siding is now proposed around the front door. The stain color would be Cabot Dark Grey.

Land Use Plans:

Windows: For new buildings, multiple-paned windows generally are not appropriate. The exception is a building being built in a particular style -- such as Federal, Greek Revival or Colonial Revival -- that would have employed this window type. When in doubt, simple 1 over 1 double-hung sash windows are usually the simplest, least expensive and most appropriate choice. Using the excellent precedents of Worthington's many historic structures, carefully design the pattern of window openings; window sizes and proportions (they must be appropriate for the size and proportions of the wall in which they are placed); pattern of windowpanes and muntins; and trim around the windows. Good quality wood windows are readily available and more affordable than in the past. True wood windows are always the first preference. Aluminum- or vinyl-clad windows can be appropriate, but primarily on secondary facades and less conspicuous locations. All-aluminum or vinyl windows are not prohibited but are not encouraged. Avoid blank walls.

Entries: For newly built buildings, simpler designs usually look better than more ornate ones. Avoid heavy ornamentation on doors and entrances. Observe entry placement on existing buildings. Whether located symmetrically or asymmetrically, entries usually are aligned with a window on the second floor so that a regular rhythm of openings is maintained on both floors. Entries should be located so they are easily visible, and they should be oriented toward the street.

Recommendation:

Staff is recommending approval of this application as the modifications seem acceptable based on the Design Guidelines.

Motion:

THAT THE REQUEST BY JOSH MYERS FOR A CERTIFICATE OF APPROPRIATENESS TO MODIFY THE APPROVED PLANS FOR THE NEW HOUSE AT 99 E. NORTH ST. AS PER CASE NO. ARB 06-2023, DRAWINGS NO. ARB 06-2023,

DATED FEBRUARY 10, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

6. Addition – 577 Hartford St. (James Ross/Puckett) ARB 07-2023

Findings of fact & Conclusions

Background & Request:

This property has a Dutch Colonial style house built in the early 1900's and a detached garage that are contributing buildings in the Worthington Historic District. The gambrel roof on the front quickly transforms to a gable roof with shed dormer type sides that extend to the same gambrel treatment at the rear of the house. The property backs up to the Worthington United Methodist Church parking lot.

The applicant would like to build a 1047 square foot two-story addition to accommodate the owner as she ages and allow her daughter and her family to move into the house.

Project Details:

1. Site:

- The addition is proposed to extend south from the rear part of the existing house 11' to a point 6' 3/8" from the south property line. A variance would be required for that placement as it extends into the 8' side yard required by Code.
- The wall on the south side would run 46'8" to the rear, stopping about 6.5' from the garage.
- The addition would "stair step" further from the garage as it heads north, with the north wall ending 15' further east or 17'4" from the house.
- A landscape plan was not submitted.

2. Building:

- An existing one-story addition constructed in the late 1970's and a deck to the rear would be removed at part of this proposal.
- The new two-story addition would have a new kitchen and a family room attached behind the main part of the house.
- The southern part of the addition would be comprised of a bedroom suite, lounge and kitchen.
- The rear entrance would be through a covered porch that allows access to both living areas.
- The addition would continue the height of the main house gable to the rear and for a cross gable to the south, then would lower in two sections to one-story in the rear.
- On the southern part of the addition, a small shed roof with asphalt shingles would extend across between the stories on the east side.
- Double hung windows in 6 over 6 pattern are proposed for the addition.
- Gray vinyl siding with white trim are proposed to match the existing house.
- Asphalt shingles would match the existing house roof.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

- Residential additions are recommended to maintain similar roof forms; be constructed as far to the rear and sides of the existing residence as possible; be subordinate; and have walls set back from the corners of the main house. Design and materials should be traditional, and compatible with the existing structure.
- New structures should complement the form, massing and scale of existing nearby structures. Also, building placement and orientation are important design considerations. Most main entrances should face the street and garages should avoid facing the street.
- Roof: Roof shapes for new buildings should be appropriate to the style or design of the building. If a new building does not follow a particular style but is instead a vernacular design, then roof shapes and heights similar to those in the neighborhood or nearby would be most appropriate.
- Materials: Contemporary materials that simulate traditional ones are appropriate, but the preferred option is to use true traditional materials such as wood siding. Incompatible contemporary materials should be avoided. Brick has long been a traditional material in Worthington. Prepare a sample board for review by the Architectural Review Board.
- Windows: For new buildings, multiple-paned windows generally are not appropriate. The exception is a building being built in a particular style -- such as Federal, Greek Revival or Colonial Revival -- that would have employed this window type. When in doubt, simple 1 over 1 double-hung sash windows are usually the simplest, least expensive and most appropriate choice. Using the excellent precedents of Worthington's many historic structures, carefully design the pattern of window openings; window sizes and proportions (they must be appropriate for the size and proportions of the wall in which they are placed); pattern of window panes and muntins; and trim around the windows. Good quality wood windows are readily available and more affordable than in the past. True wood windows are always the first preference. Aluminum- or vinyl-clad windows can be appropriate, but primarily on secondary facades and less conspicuous locations. All-aluminum or vinyl windows are not prohibited but are not encouraged. Avoid blank walls.
- Ornamentation: Observe Worthington's excellent historic architecture for information on the kinds and amounts of ornamentation employed on various building styles and periods. Use ornamentation conservatively. It will be most successful if used in traditional locations: around windows and doors; along a building's cornice or at the corners; in gables; or on gates and fences. Most ornamentation historically was made of simple forms built up to a desired level of complexity. When in doubt, follow the old rule that "less is more." Sometimes just a little ornamentation, well placed, can have a major impact without the need for more extensive (and expensive, and hard-to-maintain) ornamentation. Use compatible materials in ornamental elements. Frame houses should have wood ornamentation, although in cases where the ornamental elements are some distance from the viewer it may be possible to use substitute materials such as fiberglass.
- Color: In general, avoid bright colors not typical in Worthington neighborhoods, such as various shades of purple or orange. For infill buildings being placed in an existing streetscape, select colors compatible with those already used along the streetscape. Many buildings follow a pattern of light colors for the building body and darker colors for the trim. Following this pattern is encouraged. In Worthington, the use of white or cream-colored trim also is common

and would be appropriate for new construction. Avoid using too many colors. Usually one body color and one trim color are sufficient.

- Landscaping: Worthington's mature shade trees are the primary landscaping feature throughout the community. They are a major contributor to its character and help define its neighborhoods as stable, desirable places to live. In general, lawns are generous but not overly large, which contributes to the sense of human scale that is one of Worthington's important attributes. Other landscaping elements tend to be properly scaled and well-tended, which also tends to enhance neighborhood character. Maintain and nurture mature trees to prolong their lives. Plant and maintain street trees in planting areas between the street and sidewalk. Paving can sometimes reduce water absorption of the soil so much that trees do not get the moisture they require.

The standards of review in the Architectural District ordinance are:

1. Height;
2. Building massing, which shall include the relationship of the building width to its height and depth, and its relationship to the viewer's and pedestrian's visual perspective;
3. Window treatment, which shall include the size, shape and materials of the individual window units and the overall harmonious relationship of window openings;
4. Exterior detail and relationships, which shall include all projecting and receding elements of the exterior, including but not limited to, porches and overhangs and the horizontal or vertical expression which is conveyed by these elements;
5. Roof shape, which shall include type, form and materials;
6. Materials, texture and color, which shall include a consideration of material compatibility among various elements of the structure;
7. Compatibility of design and materials, which shall include the appropriateness of the use of exterior design details;
8. Landscape design and plant materials, which shall include, in addition to requirements of this Zoning Code, lighting and the use of landscape details to highlight architectural features or screen or soften undesirable views;
9. Pedestrian environment, which shall include the provision of features which enhance pedestrian movement and environment and which relate to the pedestrian's visual perspective;
10. Signage, which shall include, in addition to requirements of Chapter 1170, the appropriateness of signage to the building;
11. Sustainable Features, which shall include environmentally friendly details and conservation practices.

Recommendations:

Although the proposed addition does not match all the Design Guidelines, it is complementary to the existing house and should not overwhelm the main house. The addition is to the rear and the materials match the existing house. Plus, the addition will allow the owner to stay in the house as she ages.

Motion:

THAT THE REQUEST BY JAMES ROSS ON BEHALF OF MICHELLE PUCKETT FOR A CERTIFICATE OF APPROPRIATENESS TO CONSTRUCT AN ADDITION AT 577

HARTFORD ST. AS PER CASE NO. ARB 07-2023, DRAWINGS NO. ARB 07-2023, DATED FEBRUARY 10, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

7. Greenhouse – **2075 W. Dublin-Granville Rd.** (Monica Shaner/Linworth Experiential Program) **ARB 08-2023**

Findings of Fact & Conclusions

Background & Request:

Linworth Experiential Program (formerly Linworth Alternative High School) was originally constructed in 1940, and is located on a 5 acre property on the south side of W. Dublin-Granville Rd. Various structures have been constructed on the school property over the years to further the student experience including a greenhouse in the 1970's. This is a request to install a new greenhouse on the property.

Project Details:

1. An 8' x 12' greenhouse is proposed north of the garden about 70' from the front property line in the east lawn of the school.
2. A foundation is proposed for the metal framed structure with clear polycarbonate panels.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

New outbuildings should use design cues from older nearby structures, including form, massing, roof shape, roof pitch and height, materials, window and door types and detailing.

Recommendation:

Staff is recommending approval of this application. The proposed greenhouse is appropriate for the school property.

Motion:

THAT THE REQUEST BY MONICA SHANER FOR A CERTIFICATE OF APPROPRIATENESS TO ADD A GREENHOUSE AT 2075 W. DUBLIN-GRANVILLE RD., AS PER CASE NO. ARB 08-2023, DRAWINGS NO. ARB 08-2023, DATED FEBRUARY 10, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

D. Municipal Planning Commission – New Business

1. Subdivision Without Plat

- a. Property Transfer – **1890 W. Dublin-Granville Rd.** (Joe Myers/Benjamin Price) **SUB 01-2023**

Findings of Fact & Conclusions

Background & Request:

The applicant is proposing transferring the rear of this W. Dublin Granville Rd. property to 6533 Plesenton Dr. S. Both properties are in the R-16 Zoning District, have single family houses, and are owned by the same property owner.

Project Details:

1. The W. Dublin Granville Rd. property is 165' wide; 441.16' deep on the east side; 432.46' deep on the west side; and 1.655 acres in area.
2. The Plesenton Dr. S property is ~165' wide; ~466' deep on the east side; ~491' deep on the west side; and 1.85 acres in area.
3. The property to be transferred is 165.15' wide on the north side; 72.44' deep on the east side; 100' deep on the west side; 168.73' wide on the south side; and 0.327 acres in area.
4. The 0.327 acre tract would need to be combined with the lot on Plesenton Dr. S.
5. Dimensions of the lots and the location of the houses on the lots would meet the dimensional requirements of the Code with this transfer.
6. Sidewalks or recreation paths would be required on both parcels as part of the subdivision. Neither street has curb and gutter or other sidewalks/recreation paths.

Land Use Plans:

Worthington Subdivision Regulations

"Subdivision" means the division or combination of any parcel or parcels of land shown as a unit or as contiguous units on the latest tax roll. A proposed Subdivision of a parcel of land along an existing Public Street in any R-16 or R-10 Zoning District, not involving the opening, widening or extension of any street, road or access point and involving a tract of land from which no more than five Lots can be created after the original tract has been completely subdivided may be submitted to the Municipal Planning Commission for approval without Plat. The Commission may establish reasonable necessary procedures and requirements to be met by the owner desiring to subdivide property.

Sidewalks shall be provided on both sides of all streets in any Subdivision, except that along streets without curb and gutter either Recreation Paths or Sidewalks shall be constructed, and none are required in Alleys. Monuments and stakes, and street trees shall be required.

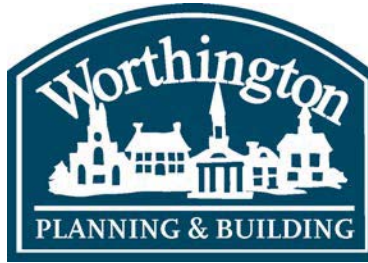
Recommendation:

Staff is recommending *approval* of this application be recommended to the City Council, with a variance so sidewalks/recreation paths would not have to be constructed along the two rights-of-way. The property transfer does not impact the rights-of-way, and installation does not seem practical for either street.

Motion:

THAT THE REQUEST BY JOE MYERS ON BEHALF OF BENJAMIN PRICE FOR APPROVAL OF A SUBDIVISION WITHOUT PLAT TO TRANSFER PROPERTY FROM 1890 W. DUBLIN GRANVILLE RD. TO 6533 PLESENTON DR. S AS PER CASE NO. SWOP 01-2023, DRAWINGS NO. SWOP 01-2023, DATED JANUARY 27, 2023, BE

RECOMMENDED TO CITY COUNCIL FOR APPROVAL BASED ON THE PLANNING GOALS OF THE CITY, AS REFERENCED IN THE LAND USE PLANS, AND THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.



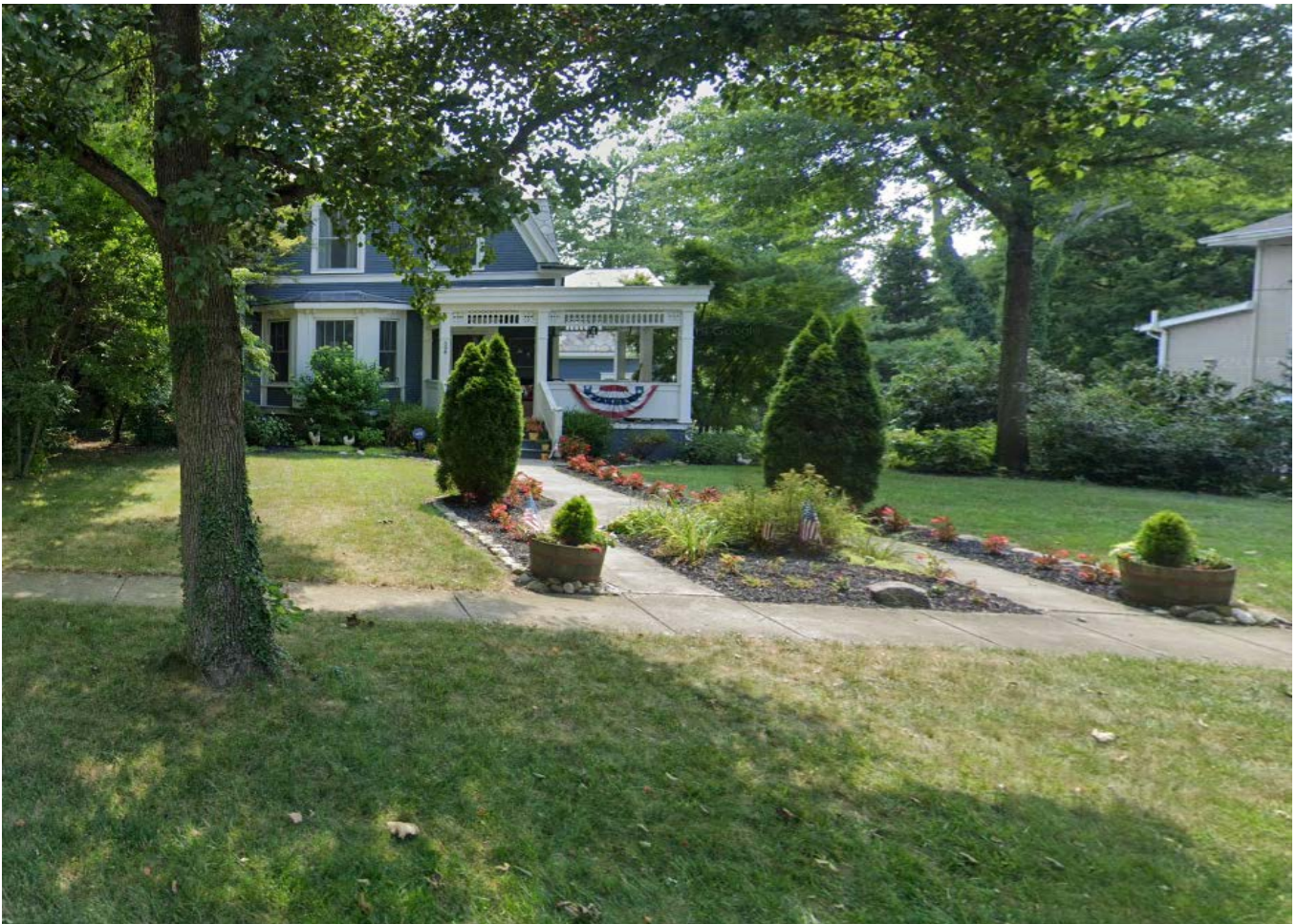
ARB APPLICATION ARB 04-2023 594 Hartford St.

Plan Type:	Architectural Review Board	Project:		App Date:	02/05/2023
Work Class:	Certificate of Appropriateness	District:	City of Worthington	Exp Date:	
Status:	In Review			Completed:	
Valuation:	\$20.00			Approval	
Description:	Adding 10' white picket fence on NW corner of house. The pickets are 3.5' high. Each picket is 3.5" wide. The spacing between the pickets is also 3.5". The fence is more for aesthetics as it will block the view of the air conditioner. It will also match the other white picket fence we have on the property as we are just reusing extra fence. The fence also provide extra privacy as well as adding to the charm of the house.				
				Expire Date:	

Parcel:	100-000012	Main	Address:	594 Hartford St Worthington, OH 43085	Main	Zone:	R-10(Low Density Residence)
Applicant / Owner		Owner					
Robert L Huffman		Tera Huffman					
594 Hartford St		594 Hartford St					
Worthington, OH 43085		Worthington, OH 43085					
Mobile: (614) 460-0361							

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003488	Architectural Review Board	\$2.00	\$2.00
		Total for Invoice INV-00003488	\$2.00
		Grand Total for Plan	\$2.00

594 Hartford St.

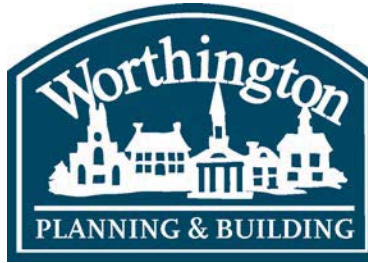












ARB APPLICATION ARB 03-2023 38 Short St.

Plan Type: Architectural Review Board	Project:	App Date: 01-19-2023
Work Class: Certificate of Appropriateness	District: City of Worthington	Exp Date:
Status: In Review		Completed:
Valuation: \$32,000		Approval
Description: Replace existing deck which is falling apart. New deck will be a little larger than current deck.		Expire Date:

Parcel: 100-006584	Main	Address: 38 Short St Worthington, OH 43085	Main	Zone: AR-4.5(Low Density Apartment Residence)
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Applicant	Owner	Owner
Justin Del Col	Carrie King	Scott Sumi
3362 Marcliff Dr	38 W SHORT ST	38 W SHORT ST
Lewis Center, OH 43035	Worthington , OH 43085	Worthington , OH 43085
Business: 17408157179		Home: (720) 261-8748

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003432	Architectural Review Board	\$32.00	\$0.00
Total for Invoice INV-00003172		\$32.00	\$0.00
Grand Total for Plan		\$32.00	\$0.00

38 Short St.



HOY LAND SURVEYING
39 Village Green Drive
Westerville, Ohio 43082
Phone: 614-679-1186



JOB NUMBER #: 3865-2018 S DATE OF DRAWING 09-25-18

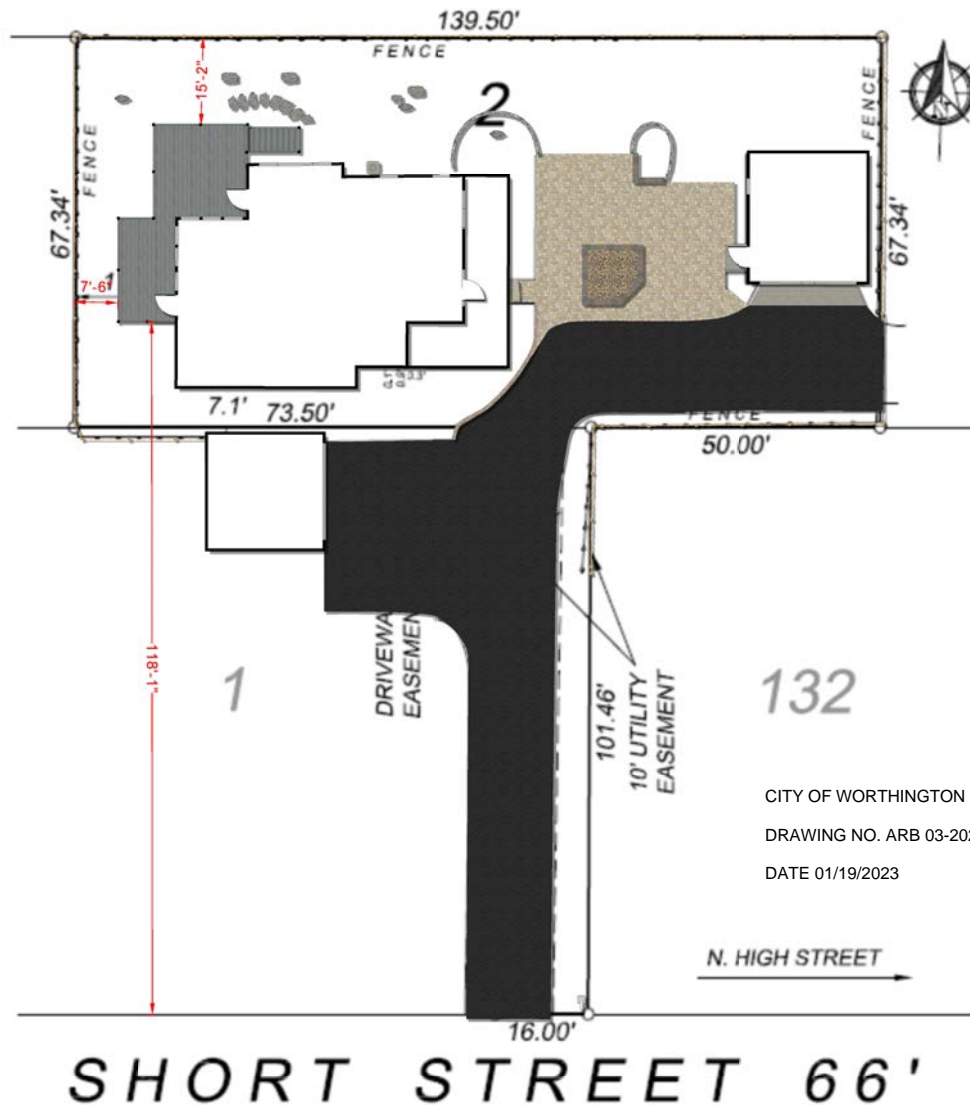
CERTIFIED TO NORTHWEST SELECT TITLE AGENCY

LENDER N / A BUYER MAHLER

LEGAL DESC. LOT 2 ~ BROGANS SUBDIVISION AMENDED P.B. 106 PG. 33

CITY/TWP. WORTHINGTON COUNTY FRANKLIN DRN. SJH CK. SS DRAWING SCALE 1" = 25'

FEMA INFORMATION: FLOOD ZONE X MAP PANEL INFO 39049C 0159K MAP DATE 6-17-08



CITY OF WORTHINGTON
DRAWING NO. ARB 03-2023
DATE 01/19/2023

ENCROACHMENT INFORMATION
NONE NOTED

I / WE HAVE RECEIVED A COPY OF THIS SURVEY
AND FIND THE CONDITIONS ACCEPTABLE.

BUYER / OWNER

BUYER / OWNER

We hereby certify that the foregoing MORTGAGE LOCATION SURVEY was prepared in accordance with Chapter 4733-38, Ohio Administrative Code, and is not a Boundary Survey pursuant to Chapter 4733-37, Ohio Administrative Code. This plat is prepared for mortgage loan and title purposes only and is not to be construed as having been prepared for the owner and is not to be used to erect fences or other structures. Easements shown on this plat were taken from the subdivision plat of record. Additional easements affecting this property may exist.

By 



Texture
Not Found

3362 Marcliff Drive
Lewis Center, OH 43035
Phone: 614-889-9981
Email: info@shearerlandscaping.com

Sumi Residence

PROJECT: Deck and landscape design
DATE: Fall 2022
DRAWN BY: JDI/AD

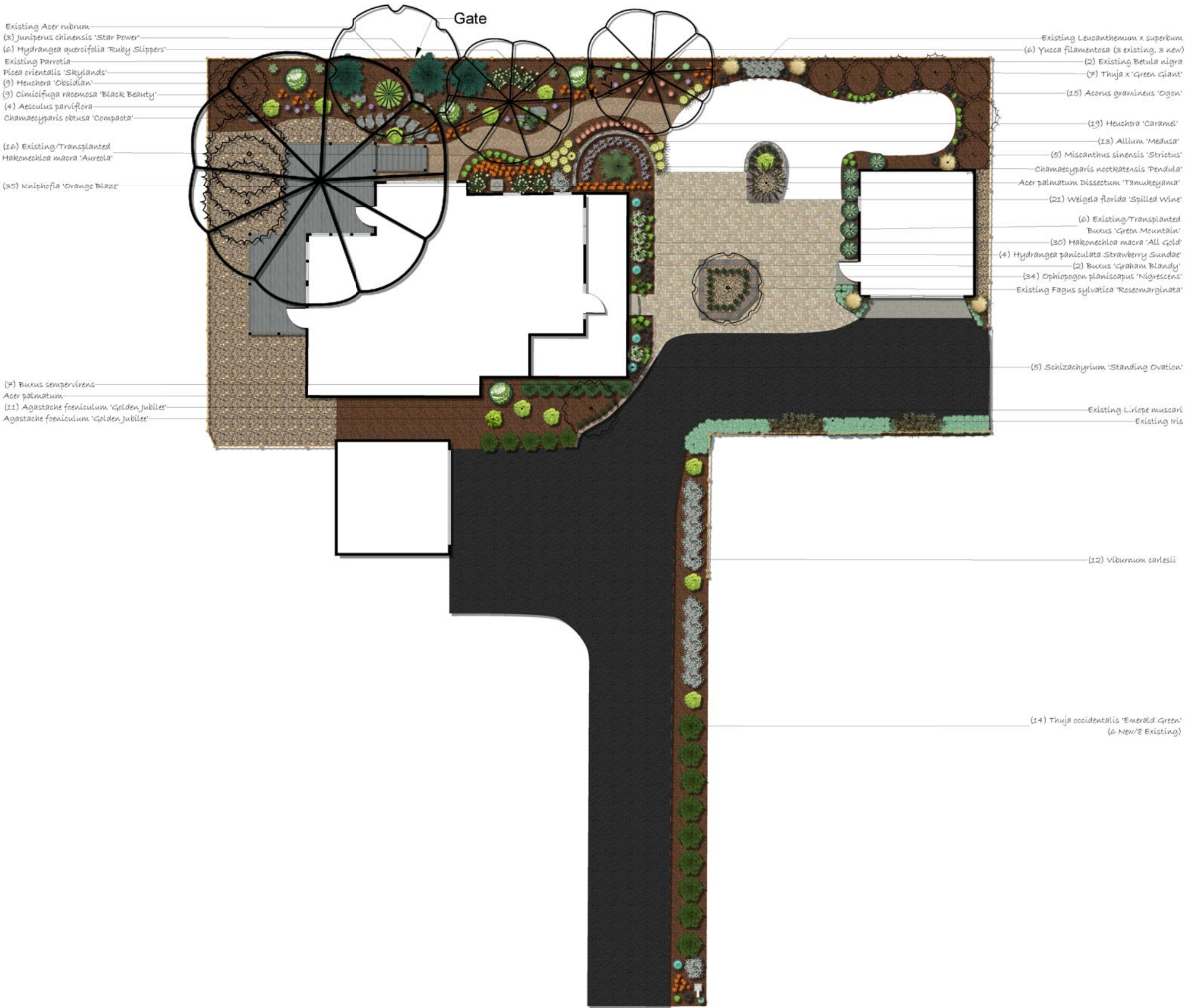
38 West Short Street

Scale 1" = 10'









CITY OF WORTHINGTON
DRAWING NO. ARB 03-2023
DATE 01/19/2023

Texture
Not Found

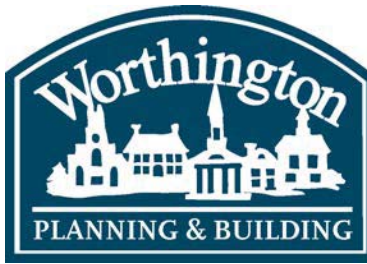
3362 Marcliff Drive
Lewis Center, OH 43035
Phone: 614-889-9981
Email: info@shearerlandscaping.com

Sumi Residence

PROJECT: Deck and landscape design
DATE: Fall 2022
DRAWN BY: JD/AD

38 West Short Street
Scale 1" = 10'





ARB APPLICATION ARB 05-2023 7105 N. High St.

Plan Type: Architectural Review Board	Project:	App Date: 02/07/2023
Work Class: Certificate of Appropriateness	District: City of Worthington	Exp Date:
Status: In Review		Completed:
Valuation: \$13,000.00		Approval
Description: patio furniture for Five Guys restaurant		Expire Date:

Parcel: 100-006793	Main	Address: 7105 N High St	Main	Zone: PUD 01-18(Planned Unit District)
		Worthington, OH 43085		

Contractor Witness Construction LLC 600 Enterprise Drive Lewis Center, OH 43085 Business: 6148466600 Mobile: 6144035358	Owner High Gateway LLC 600 Enterprise Dr. Lewis Center, OH 43035	Applicant Rachel Russell 520 S. Main St. 2531 Akron, OH 44311 Mobile: 3305723535
---	--	---

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003491	Architectural Review Board	\$13.00	\$13.00
Total for Invoice INV-00003491		\$13.00	\$13.00
Grand Total for Plan		\$13.00	\$13.00

7105 N. High St.





P.O. Box 1700 • Hendersonville, NC 28793 • Tel: (800) 633-8241 • (828) 693-8241
Fax: (828) 693-8777 • www.leisurecraftinc.com • sales@leisurecraftinc.com

SPEC SHEET: C1-PERF

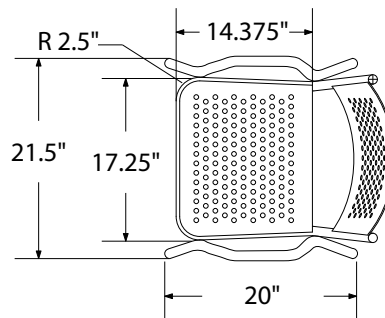
STACKABLE PERFORATED CHAIR

Wt. 45 lbs

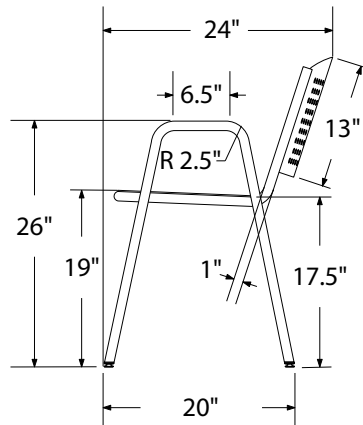
photo



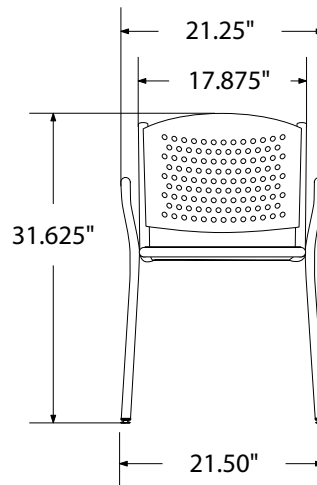
top view



side view



front view



product details



Coated Surfaces:

- Thermoplastic coated
- Copolymer-based, environmentally safe
- Does not fade, crack, peel warp
- Applied at a thickness of 25-30 mils.
- 5 Year warranty on coating

Construction:

- 11 Gauge steel seat/back
- 1" Galvanized steel tubing frame

CITY OF WORTHINGTON
DRAWING NO. ARB 05-2023
DATE 02/07/2023





P.O. Box 1700 • Hendersonville, NC 28793 • Tel: (800) 633-8241 • (828) 693-8241
Fax: (828) 693-8777 • www.leisurecraftinc.com • sales@leisurecraftinc.com

SPEC SHEET: SQ36TAB30-PERF

36' SQUARE PERFORATED PEDESTAL TABLE 30" high

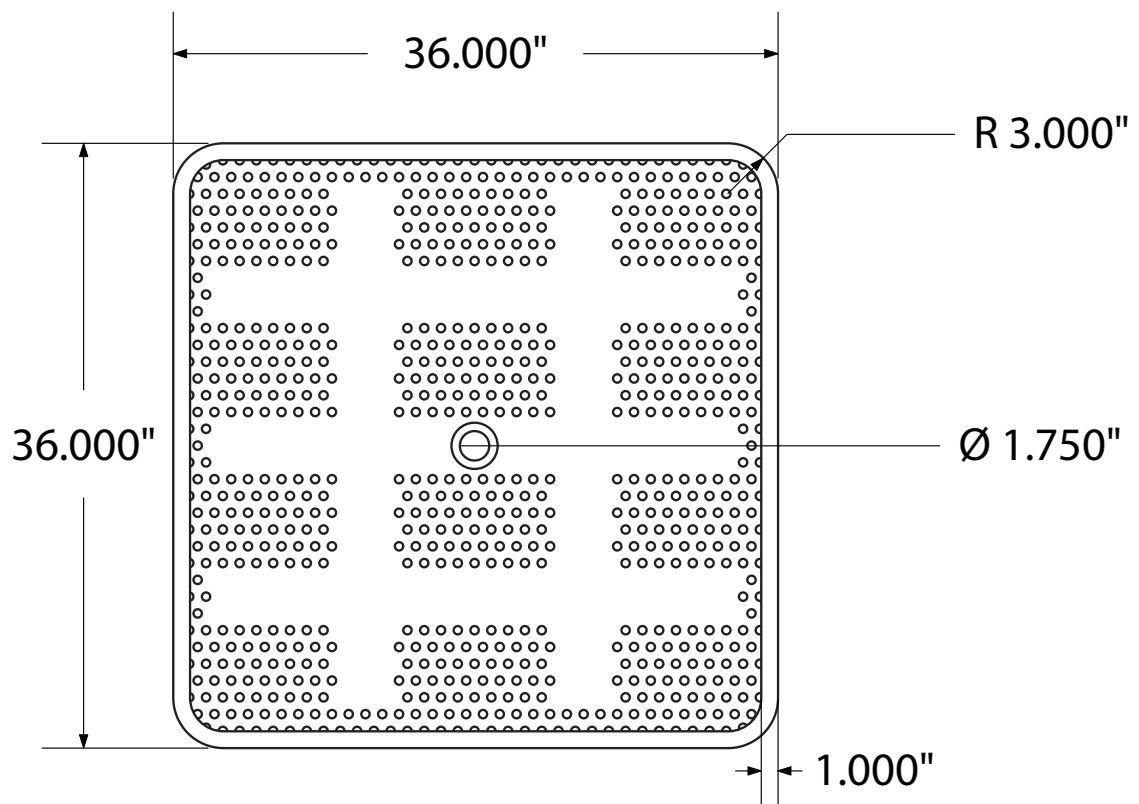
Wt. 100 lbs

photo

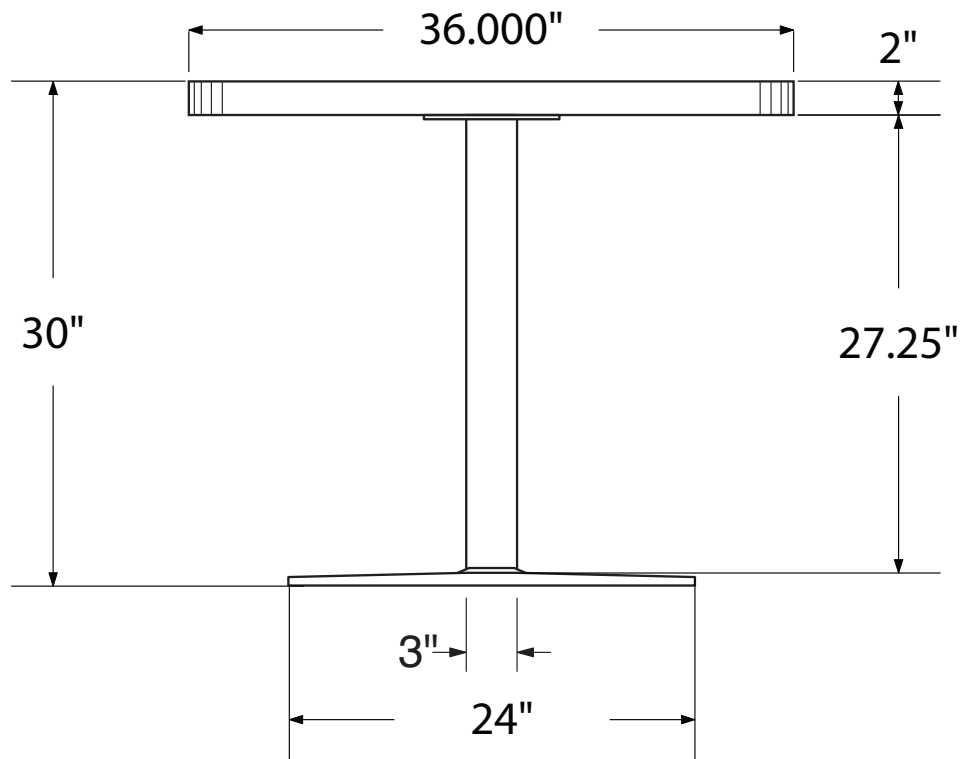


CITY OF WORTHINGTON
DRAWING NO. ARB 05-2023
DATE 02/07/2023

top view



side view



product details



Coated Surfaces:

- Thermoplastic coated
- Copolymer-based, environmentally safe
- Does not fade, crack, peel or warp
- Applied at a thickness of 25-30 mils.
- 5 Year warranty on coating

Construction:

- Table tops - 11 gauge steel
- 3" Tubular steel support
- Cast iron base
- Nuts, washers and bolts - galvanized steel

CITY OF WORTHINGTON

DRAWING NO. ARB 05-2023

DATE 02/07/2023





leisurecraft INC.

P.O. Box 1700 • Hendersonville, NC 28793 • Tel: (800) 633-8241 • (828) 693-8241
Fax: (828) 693-8777 • www.leisurecraftinc.com • sales@leisurecraftinc.com

SPEC SHEET: 3642-ADA-PED

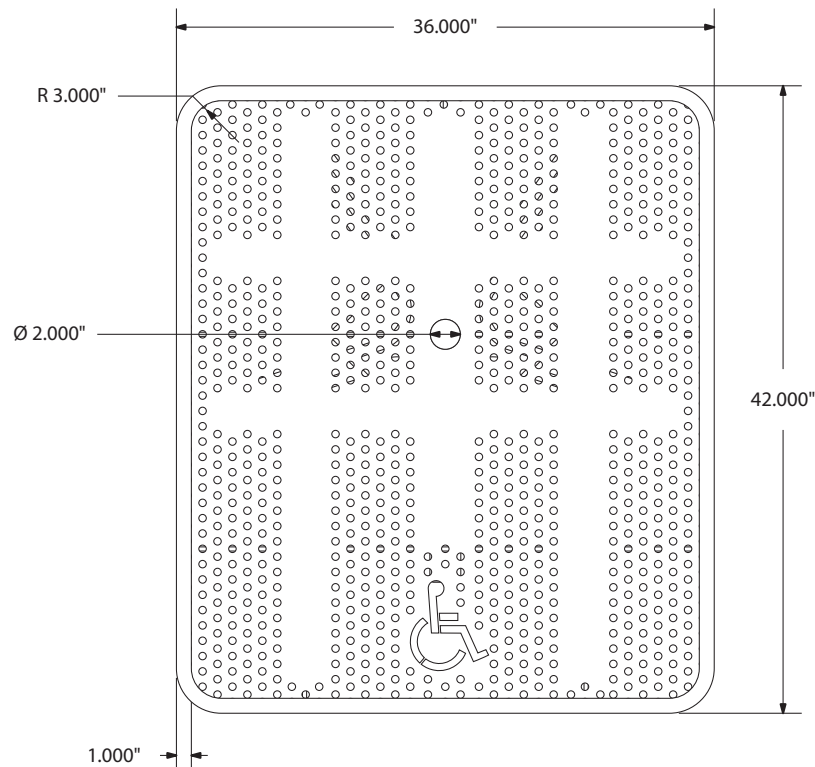
36" x 42" PERFORATED PEDESTAL ADA TABLE 30" high

Wt. 165 lbs

photo



top view

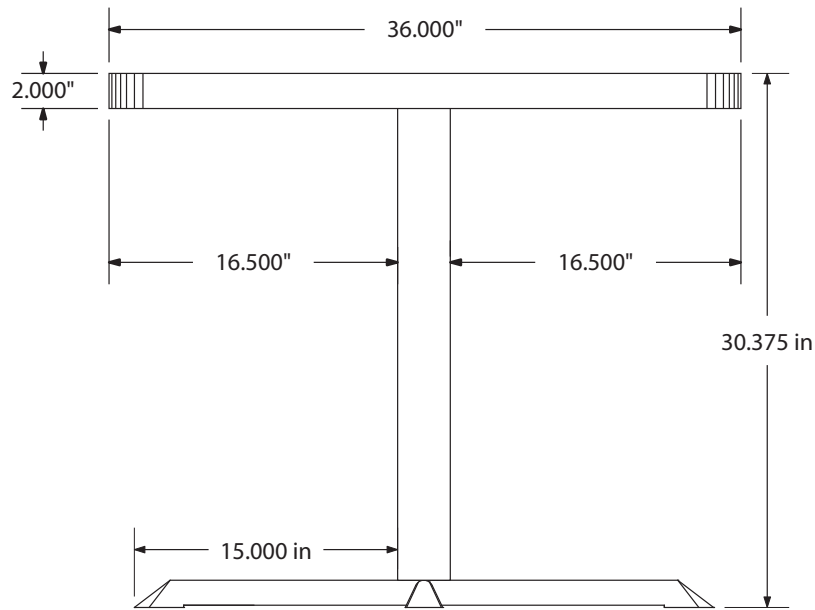


CITY OF WORTHINGTON

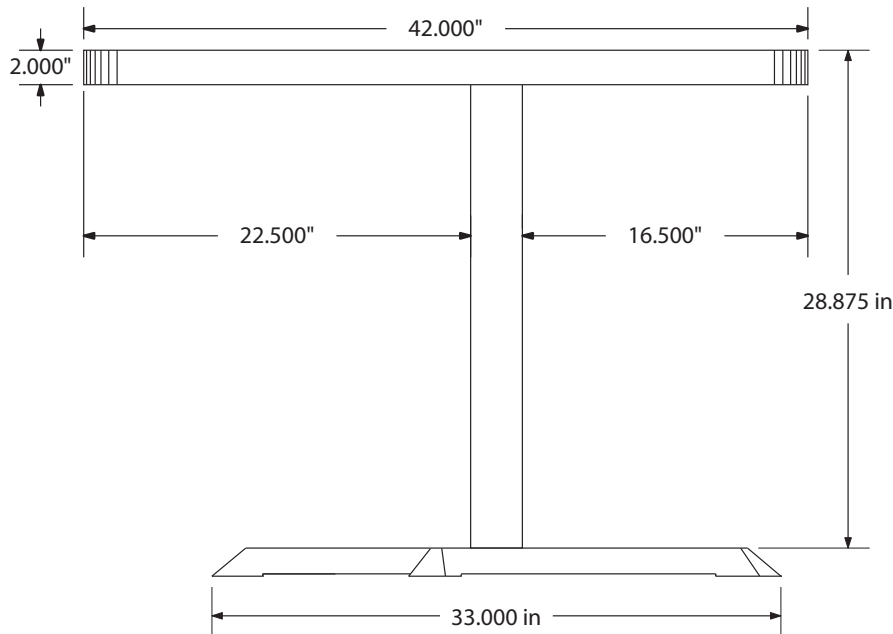
DRAWING NO. ARB 05-2023

DATE 02/07/2023

front view



side view



CITY OF WORTHINGTON
DRAWING NO. ARB 05-2023
DATE 02/07/2023

product details



Coated Surfaces:

- Thermoplastic coated
- Copolymer-based, environmentally safe
- Does not fade, crack, peel or warp
- Applied at a thickness of 25-30 mils.
- 5 Year warranty on coating



Construction:

- Table tops - 11 gauge steel
- 3" Tubular steel support
- Heavyweight 5 star base
- Black polyester powder coated base
- Nuts, washers and bolts - galvanized steel



FIVE GUYS®

BURGERS and FRIES



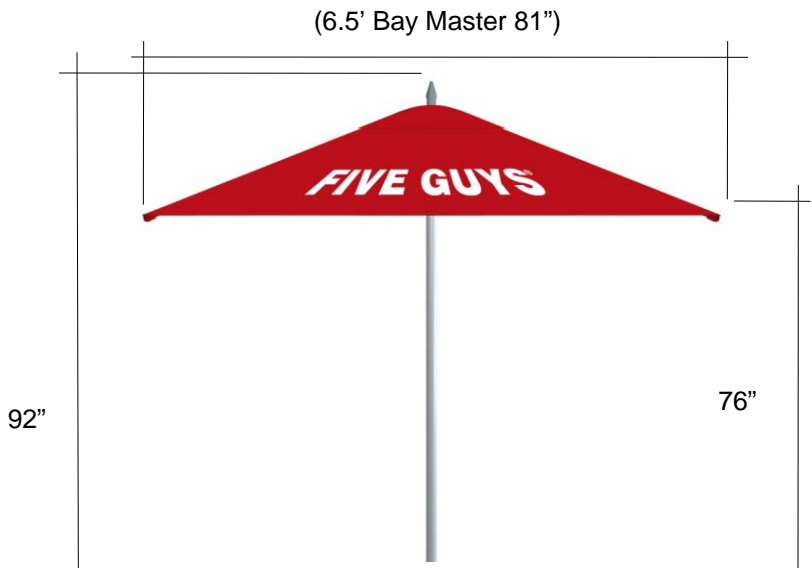
Commercial Umbrella, Base Description & Order Form

2900 NW 35TH STREET, MIAMI, FLORIDA 33142
T: 305.634.5116 F: 305.634.5119 WWW.TUUCI.COM

CITY OF WORTHINGTON
DRAWING NO. ARB 05-2023
DATE 02/07/2023

Five Guys Commercial Umbrella and Base Description

EQUIPMENT TAG: F030
PAGE: 2 OF 3



TUUCI 6.5' Square Bay Master Parasol

Frame Construction:

- Aluminum Marine Satin Anodized Finish
- TUUCI's Patented Independent Bracket Hub System
- Manual Lift with Stainless Steel Security Pin
- Stainless Steel Hardware
- Modular Design Allows for Easy Parts Replacement

Canopy Construction:

- Sunbrella® 100% Solution Dyed Acrylic Fabric Canopy. Sunbrella 5477-Logo Red Canopy with Matching Vent and Binding
- Ballistic-Reinforced Vent and Pocket Construction
- Market Profile Canopy with **Single Vent**
- FIVE GUYS (1) Color Logo on Alternating Panels

BASE: 24" round, 75 lb galvanized steel base with stainless steel security plate and "star" handle security knob.

CITY OF WORTHINGTON

DRAWING NO. ARB 05-2023

DATE 02/07/2023



**Five Guys TUUCI Commercial Umbrella and Base Order Form**

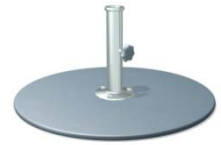
GENERAL INFORMATION			
CORPORATE NAME		STORE #	ORDER #
SHIPPING ADDRESS			
CITY	STATE	ZIPCODE	PH
FAX	EMAIL		
MANAGER		CHOOSE ONE: FRANCHISE <input type="checkbox"/> CORPORATE <input type="checkbox"/>	
DATE			
BILLING INFORMATION			
BILLING ADDRESS			
CITY	STATE	ZIPCODE	PH
CHOOSE ONE: Check <input type="checkbox"/> VISA <input type="checkbox"/> MASTER CARD <input type="checkbox"/> AMEX <input type="checkbox"/>		NAME ON CARD	
CREDIT CARD #			EXP. DATE
CVG SECURITY CODE			PO #

Authorization _____

(Signature) _____



PRODUCT INFORMATION		
TUUCI 6.5' Bay Master Umbrella <ul style="list-style-type: none">• Aluminum Marine Satin Anodized Finish• TUUCI's Patented Independent Bracket Hub System• Manual Lift with Stainless Steel Security Pin• Stainless Steel Hardware• Modular Design Allows for Easy Parts Replacement		
Canopy Construction: <ul style="list-style-type: none">• Sunbrella® 100% Solution Dyed Acrylic Fabric Canopy. Sunbrella 5477-Logo Red Canopy with Matching Vent• Ballistic-Reinforced Vent and Pocket Construction• Market Profile Canopy with Single Vent• FIVE GUYS (1) Color Logo on Alternating Panels		
BASE: 24"75 lb galvanized steel base with stainless steel security plate and "star" handle security knob.		
ITEM	PRICE	QUANTITY
TUUCI 6.5 Square Bay Master Parasol	\$246.00	
Galvanized steel Bases-75 pounds	\$142.00	



* Please note freight or tax charges are not included in the price.

COMMENTS:

Fax completed form back to 305.634.5119 or email to orders@tuuci.com
Account Contact: Ricardo Morales –Tel# 305-637-6893
2900 NW 35TH Street, Miami, FL 33142 / www.tuuci.com

CITY OF WORTHINGTON

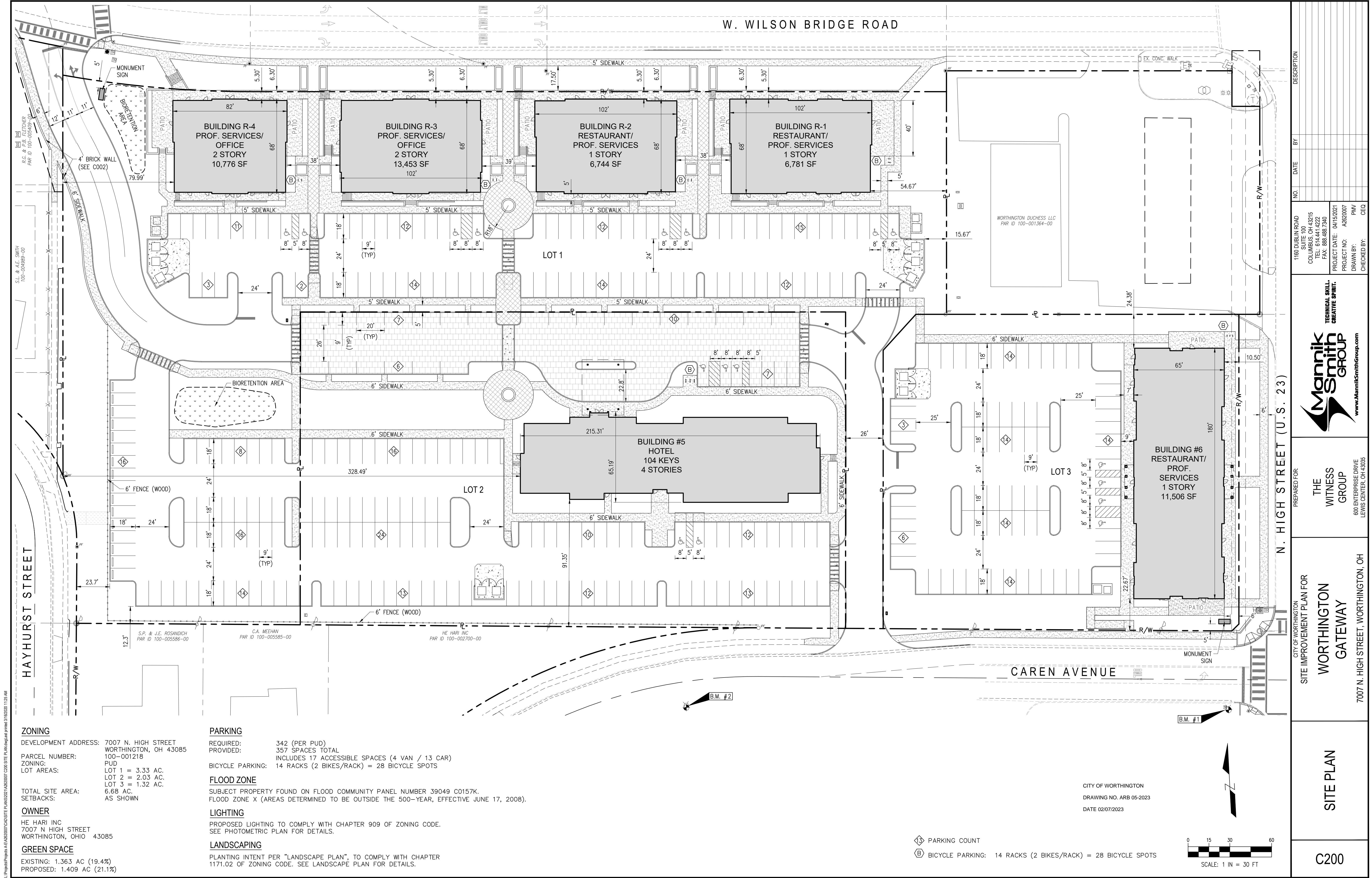
DRAWING NO. ARB 05-2023

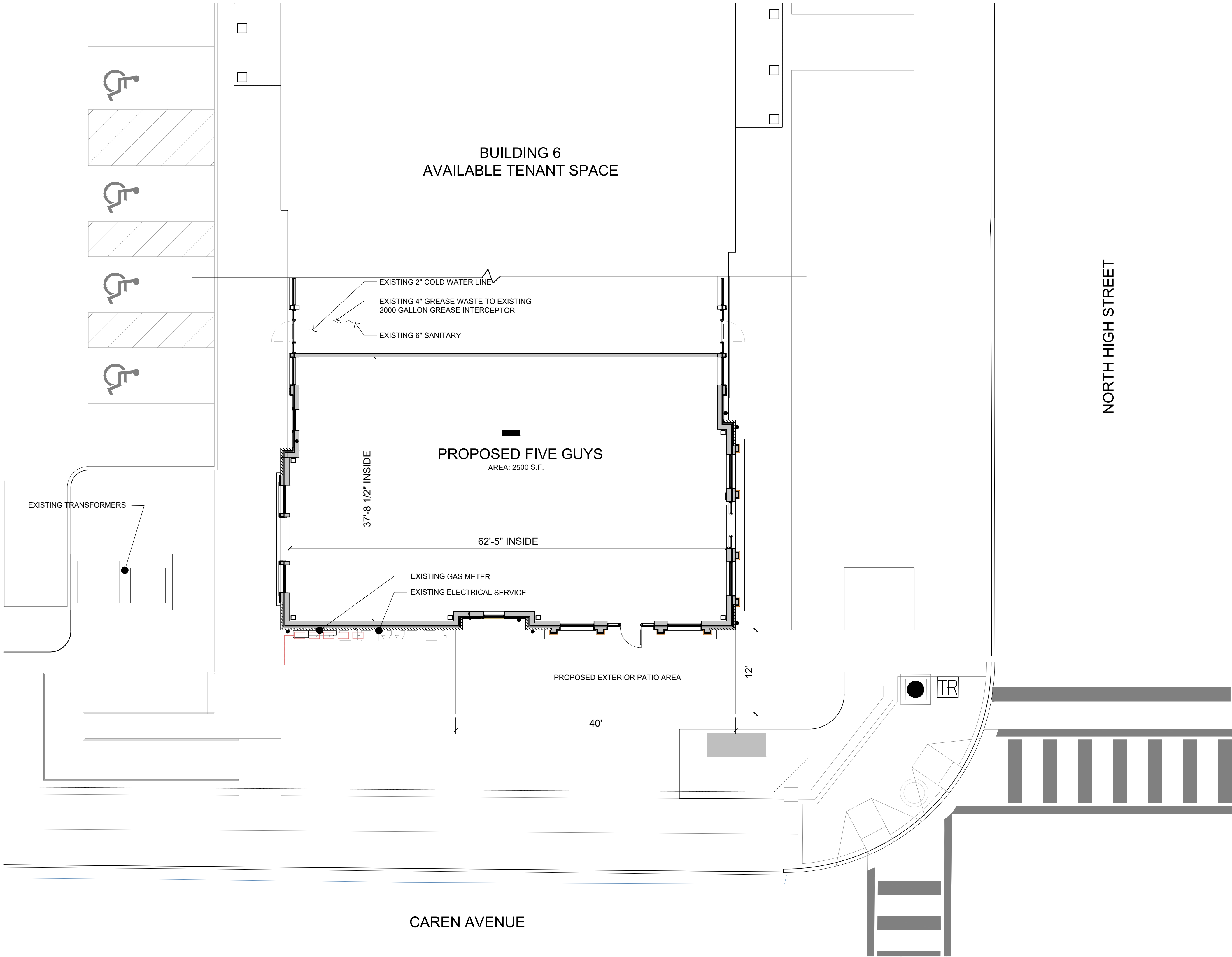
DATE 02/07/2023



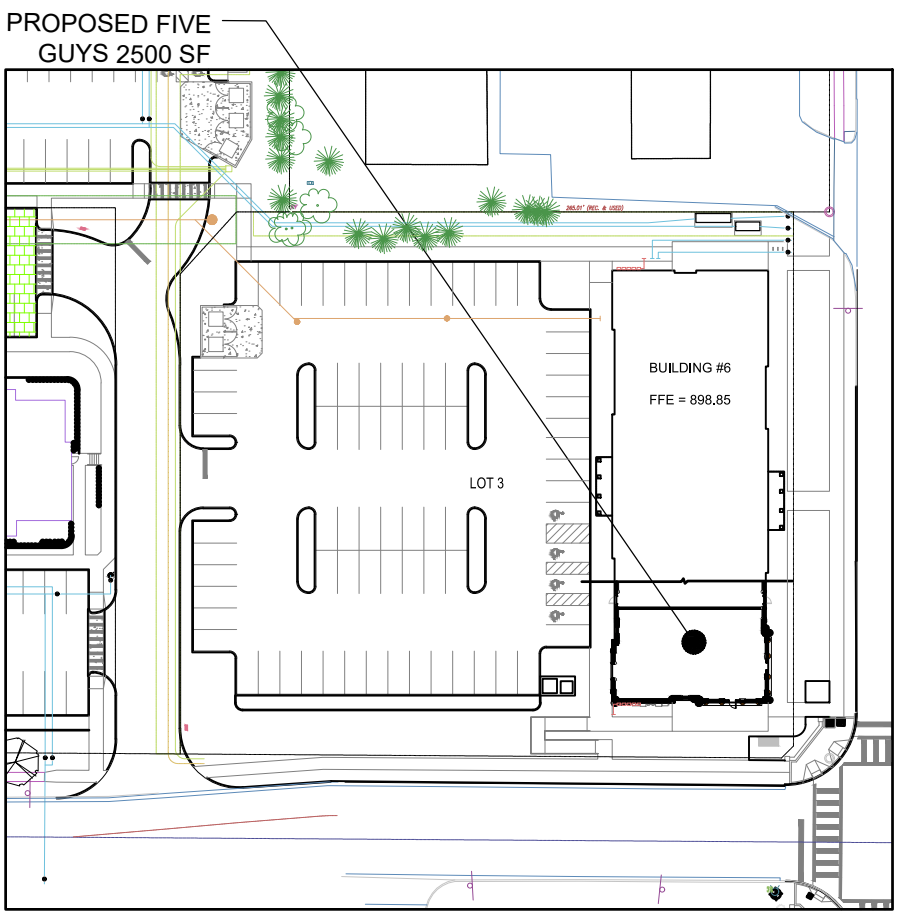








CITY OF WORTHINGTON
DRAWING NO. ARB 05-2023
DATE 02/07/2023



1 SITE PLAN
1/8" = 1'-0"

2 KEY PLAN
NTS

ARCHITECT OF RECORD

CONSULTANT

**FIVE GUYS WORTHINGTON, OH.
7105 N. HIGH STREET
WORTHINGTON, OH. 43085**

PROJECT NUMBER: 2021236.17

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ISSUE DATE		
REV	ISSUE	DATE
	95% REVIEW SET	12.21.2021
	PERMIT	01.03.2022
1	REVISION 1	07.15.2022
	GREEN SET	02.02.2023

SHEET TITLE

**SITE
PLAN**

SHEET NUMBER

C1.0



1 FFE PLAN

1/4" = 1'-0"

CITY OF WORTHINGTON
DRAWING NO. ARB 05-2023
DATE 02/07/2023

KEYNOTES

- GC TO APPLY "FIVE GUYS" ARROW DECAL TO INSIDE OF VESTIBULE GLASS, @ 48" AFF O.C. ORDER ARROW "LEFT" OR "RIGHT" TO POINT TO VESTIBULE DOOR LEADING TO QUEUE LINE
- SANITIZER BUCKET SHELF TO BE INSTALLED SUCH THAT BOTTOM OF BUCKET ON SHELF IS 12" ABOVE FINISHED FLOOR. KEEP SHELF CLEAR OF REQUIRED HAND SINK CLEARANCES
- 34" CENTER CABINET (ITEM E100) COMES STANDARD WITH VARIETY TEA TOWER (VTT) CUT OUT FOR SYRUP LINES
- NOT USED
- PHONE BACK BOARD MOUNTED @36" AFF
- NOT USED
- FIVE GUYS ILLUMINATED SIGN. SEE 1/A5.1 FOR MORE INFORMATION
- SCITEC 2554E PHONE, RED W/SST WALL MOUNT PLATE
- MOUNT THE 6" BRACKETS, SUPPLIED BY VENDOR, TO THE BACK OF THE GRIDDLES TO PROVIDE A 6" CLEARANCE BEHIND THE GRIDDLES & THE HOOD WALL
- GC TO PROVIDE & INSTALL PAPER TOWEL HOLDER ON END OF MILKSHAKE ENCLOSURE, 18" A.F.F.
- GC TO PROVIDE & INSTALL PAPER TOWEL HOLDER, 30" A.F.F.
- SANITARY BUCKET & CLIP, 30" A.F.F., BY ECOLAB.
- STAGGER SANITARY COMPONENT OF COMPLIANCE MATE SO AS NOT TO BE DIRECTLY ABOVE SANITIZER SHELF
- SOAP DISPENSER TO BE MOUNTED ON OPPOSITE SIDE OF SANITIZER SHELF
- LARGE BACKLIT "FIVE GUYS" SIGN BY SIGN VENDOR. SEE INTERIOR ELEVATIONS FOR SPACING INFO. COORDINATE ELECTRICAL J-BOX LOCATION/HEIGHT AND BLOCKING REQUIREMENTS WITH SIGN MANUFACTURER.

EQUIPMENT PLAN NOTES

- SEE A1.9-A1.13 EQUIPMENT SCHEDULE FOR MORE INFO
- GC TO VERIFY KITCHEN EQUIPMENT REQ'S, LOCATIONS, ETC. WITH KEC CONSULTANT PRIOR TO INSTALLATION.
- ALL EQUIPMENT SPECIFIED, INCIDENTAL OR CUSTOM, NEW OR RECONDITIONED, INCLUDING ANY APPROVED SUBSTITUTIONS, SHALL BE COMMERCIAL QUALITY AND SHALL MEET ALL APPLICABLE IBC, NSF, AGA AND UL STANDARDS.
- NSF APPROVED STAINLESS STEEL SHELVING, WORK TABLES AND EQUIPMENT STANDS IN KITCHEN, SERVICE AREA AND WALK-IN BOXES.
- ALL FLOOR MOUNTED EQUIPMENT SHALL BE PLACED ON NSF APPROVED 4" LEGS OR CASTERS. ALL COUNTER MOUNTED EQUIPMENT IN EXCESS OF 80 LBS. SHALL BE PLACED ON NSF APPROVED 4" LEGS. COOK LINE EQUIPMENT TO BE ON NSF APPROVED CASTERS WITH FLEXIBLE UTILITY LINE CONNECTORS.
- HANGING STORAGE RACK SHALL BE PROVIDED ABOVE MOP SINK FOR BROOMS AND MOPS. ALL CLEANING SUPPLIES SHALL BE STORED SEPARATE FROM ANY FOOD PRODUCTS.
- SURFACE MOUNTED LIQUID SOAP, PAPER TOWEL DISPENSERS AND WASTE RECEPTACLE SHALL BE PROVIDED FOR ALL HAND SINKS
- SPLASH GUARDS ARE REQ'D ON ALL SINKS THAT ARE WITHIN 6" OF POTENTIAL SPLASH CROSS CONTAMINATION OR FOOD PRODUCTS, AND ON ALL HAND SINKS.
- 3-COMPARTMENT SINK TO HAVE (1) FAUCET AND (1) PRE-RINSE NOZZLE; 4-COMPARTMENT SINK TO HAVE (2) FAUCETS AND (2) PRE-RINSE NOZZLES.
- 4-COMPARTMENT SINK & MOP SINK TO HAVE CHEMICAL SYSTEM. SEE INTERIOR ELEVATIONS & SEE PLUMBING DWGS FOR MORE INFORMATION.
- 4" PVC SLEEVE FOR SODA LINES FROM ABOVE CEILING TO INSIDE CABINET. PROVIDE ONE SLEEVE FOR EACH SODA MACHINE.
- REFER TO ELEVATION SHEETS FOR WALL MOUNTED STORAGE SHELF HEIGHTS.
- LOCKERS TO BE MOUNTED 6" ABOVE CONCRETE PAD, & SECURED TO WALL W/O LEGS. PROVIDE BLOCKING AS REQUIRED.
- PROVIDE ALL INDOOR TABLES WITH TABLE SHOX. FRANKLIN MACHINE PRODUCTS, 121-1147, GLIDE, TABLE SHOX (1/4-20)
- MOUNT THE 6" BRACKETS, SUPPLIED BY VENDOR, TO THE BACK OF THE GRIDDLES TO PROVIDE A 6" CLEARANCE BEHIND THE GRIDDLES & THE HOOD WALL
- CAULK JOINT BETWEEN SST SINKS & WALL USING KASON CAULK - 3700 SERIES RUBBSEAL, COLOR: ALUMINUM, NSF APPROVED. CONTACT U.S. REGIONAL SALES: 800.93.KASON (800.935.2766).

NOTE: ALL OVERHEAD SHELVING SHALL BE APPROVED BY DISTRICT MANAGER IN EACH MARKET PRIOR TO INSTALLATION.



ARCHITECT OF RECORD

CONSULTANT

FIVE GUYS WORTHINGTON, OH.
7105 N. HIGH STREET
WORTHINGTON, OH. 43085

PROJECT NUMBER: 2021236.17

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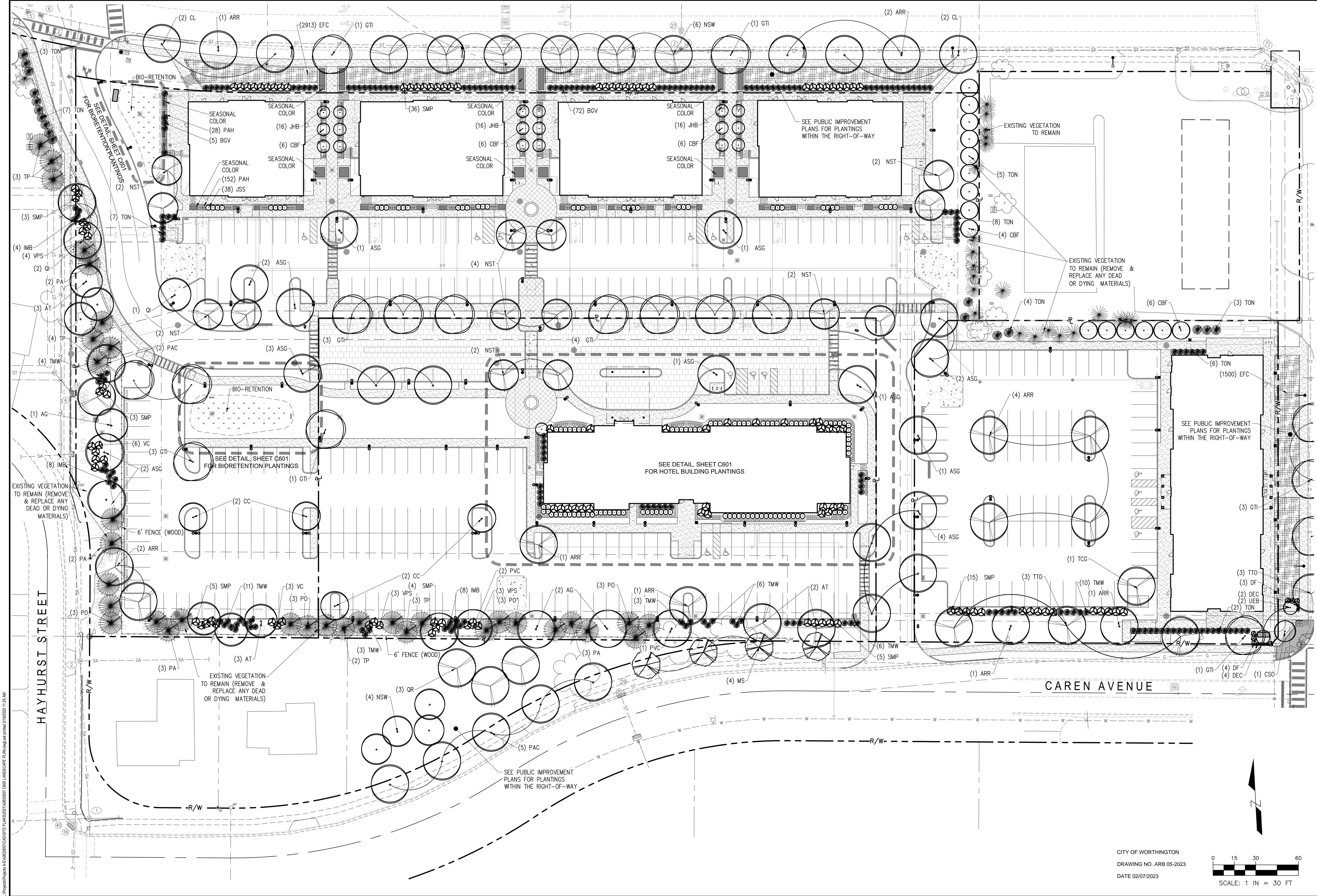
ISSUE DATE		
REV	ISSUE	DATE
	95% REVIEW SET	12.21.2021
	PERMIT	01.03.2022
1	REVISION 1	07.15.2022
	GREEN SET	02.02.2023

SHEET TITLE

FFE
PLAN

SHEET NUMBER

A1.8



L:\projects\Worthington Gateway\Worthington Gateway.dwg (2/7/2023 11:13 AM)

DESCRIPTION			
NO.	DATE	BY	
1160 DUBLIN ROAD SUITE 100 COLUMBUS, OH 43215 TEL: 614.441.4222 FAX: 614.441.4222			
PROJECT NO: 04/15/2021 DRAWN BY: NAF CHECKED BY: MDL			
TECHNICAL SKILL: CREATIVE SPIRIT.			
Mannik Smith Group www.MannikSmithGroup.com			
PREPARED FOR: THE WITNESS GROUP 600 ENTERPRISE DRIVE LEWIS CENTER, OH 43035			
CITY OF WORTHINGTON SITE IMPROVEMENT PLAN FOR WORTHINGTON GATEWAY 7007 N. HIGH STREET, WORTHINGTON, OH			
LANDSCAPE PLAN			
C600			



ARB APPLICATION ARB 06-2023 99 E. North St.

Plan Type: Architectural Review Board	Project:	App Date: 02/10/2023
Work Class: Certificate of Appropriateness	District: City of Worthington	Exp Date:
Status: In Review		Completed:
Valuation: \$500,000.00		Approval
Description: New Residential Home - this is a resubmission for the added windows requested by the ARB in our approval from 1/12/23.		Expire Date:

Parcel: 100-000711	Main	Address: 99 E North St	Main	Zone: R-10(Low Density Residence)
		Worthington, OH 43085		

Owner Ashley Myers 99 E NORTH ST Worthington , OH 43085	Applicant Josh Myers 248 E 4th Ave Columbus, OH 43201 Mobile: (937) 416-1456	Owner Josh Myers 248 E 4th Ave Columbus, OH 43201 Mobile: (937) 416-1456
--	--	--

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003509	Architectural Review Board	\$2.00	\$2.00
Total for Invoice INV-00003509		\$2.00	\$2.00
Grand Total for Plan		\$2.00	\$2.00

99 E. North St.



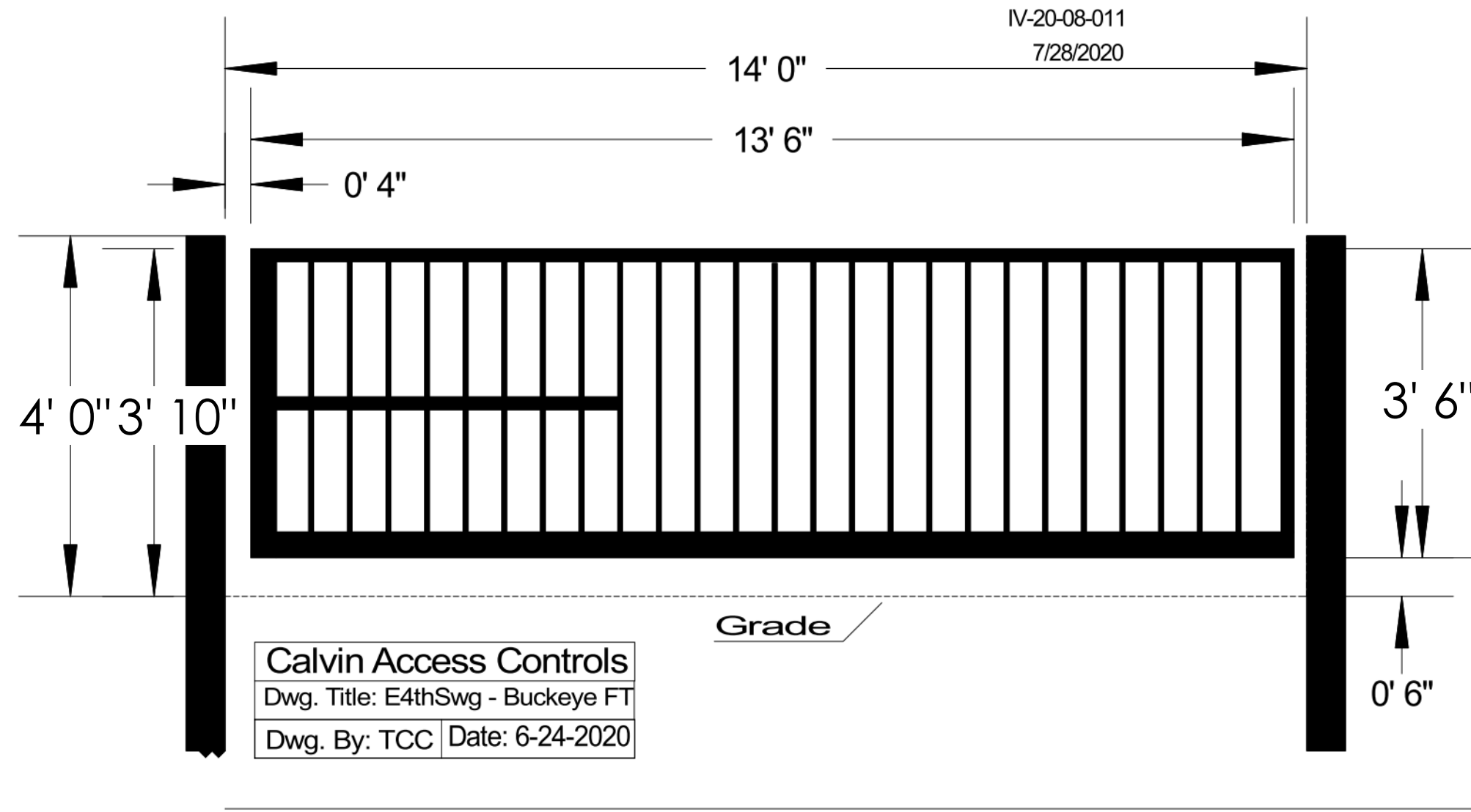
Worthington ARB Supporting Statement
99 E NORTH ST
Ashley & Josh Myers
J. Carter Bean Architect, Nate Wendling

After working through final floor plan layout, site layout, construction drawings, and initial pricing we are submitting an updated packet with the following changes:

[changes from the ARB approval received on 1/12/2023 – corresponds with revision clouds on plans]

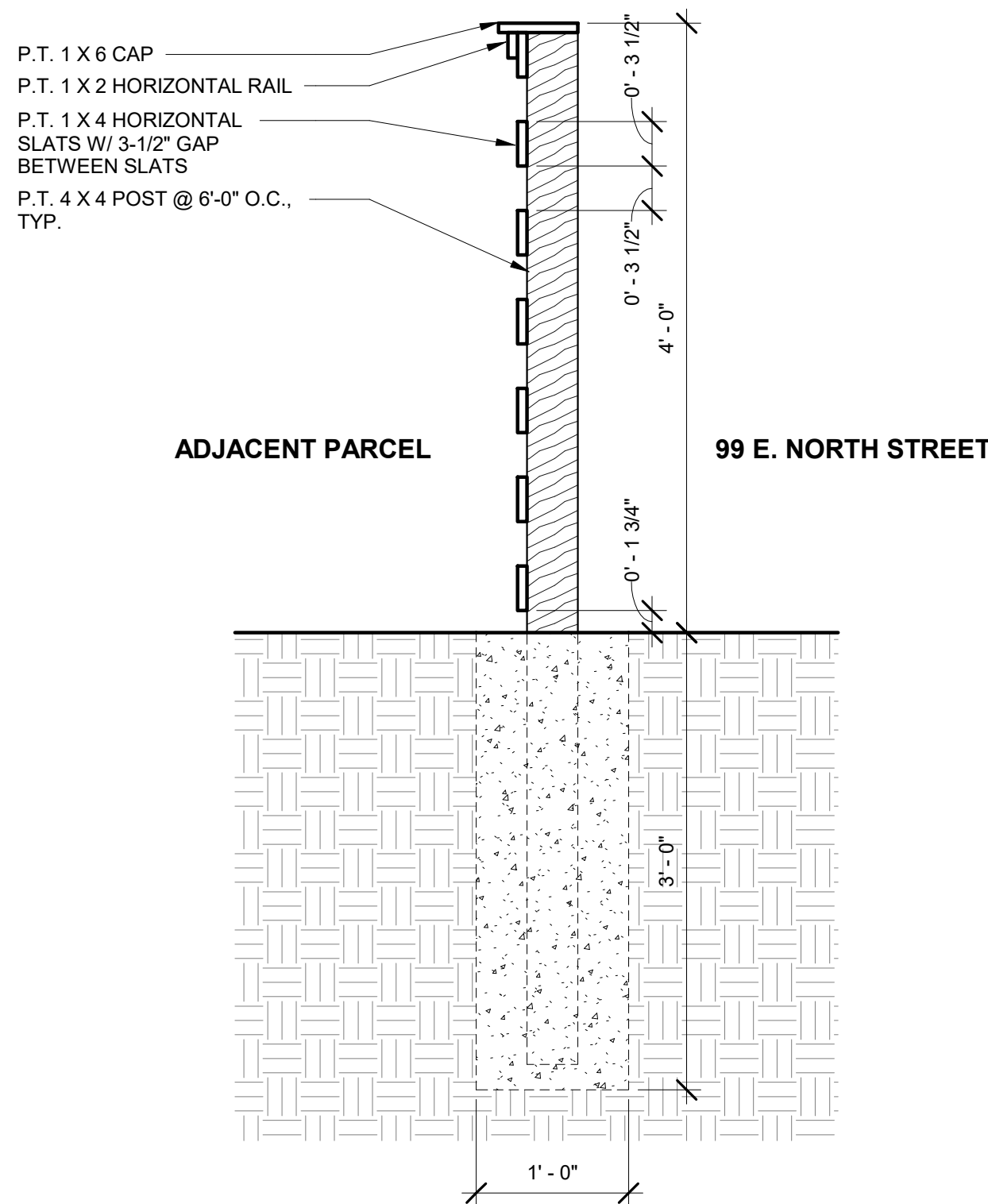
- 1) Site Plan:
 - The garage was reduced in size due to on site field measurement. In order to maintain required setbacks, the two garage doors were re-configured to a single 18ft wide door.
- 2) Proposed Building:
 - Delete stair windows that conflicted with risers.
 - Change lap siding size from 7" to all 5" at all locations. We have included a wood siding detail at the recessed front entrance.
 - Change Kitchen windows from awning to double hung, with muntins.
 - Added window on east elevation 2nd floor (further north in primary bedroom) per ARB direction. We did not add the second window to the east elevation 2nd floor (south), as it conflicts with the closet and primary bathroom and is a privacy concern.

We are requesting ARB approval.



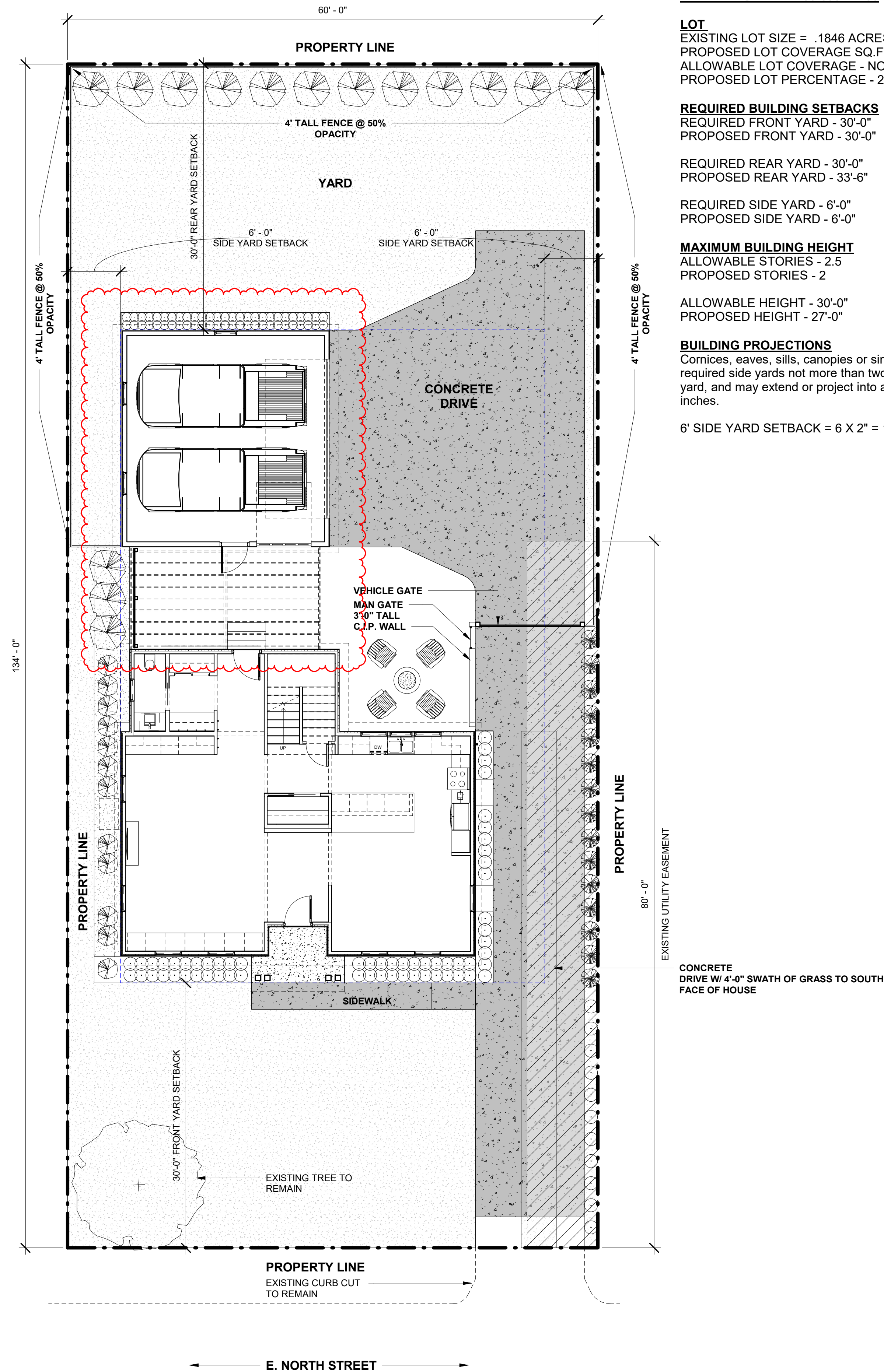
VEHICLE GATE ELEVATION - N.T.S.

NOTE:
* TYPICAL METAL GATE ELEVATION. PROJECT SPECIFIC DRAWINGS TO BE PROVIDED FOR APPROVAL
* MAX GATE HEIGHT TO BE @ 4'-0"



2 PERIMETER FENCING DETAIL
1" = 1'-0"

NOTE: FENCE BOARDS TO FACE OUT TOWARD ADJACENT PARCELS



1 SITE PLAN
1/8" = 1'-0"

PARCEL NUMBER: 100-000711-00

LOT
EXISTING LOT SIZE = .1846 ACRES
PROPOSED LOT COVERAGE SQ.FT - 2055 SQ.FT. (.047 ACRES)
ALLOWABLE LOT COVERAGE - NOT APPLICABLE
PROPOSED LOT PERCENTAGE - 25%

REQUIRED BUILDING SETBACKS
REQUIRED FRONT YARD - 30'-0"
PROPOSED FRONT YARD - 30'-0"

REQUIRED REAR YARD - 30'-0"
PROPOSED REAR YARD - 33'-6"

REQUIRED SIDE YARD - 6'-0"
PROPOSED SIDE YARD - 6'-0"

MAXIMUM BUILDING HEIGHT
ALLOWABLE STORIES - 2.5
PROPOSED STORIES - 2

ALLOWABLE HEIGHT - 30'-0"
PROPOSED HEIGHT - 27'-0"

BUILDING PROJECTIONS
Cornices, eaves, sills, canopies or similar projections may extend or project into required side yards not more than two inches for each one foot of width of such side yard, and may extend or project into a required front or rear yard not more than thirty inches.

6' SIDE YARD SETBACK = 6 X 2" = 12" MAX PROJECTION

PLANT LIST



AREA 1
Alternating rows of Gold Pillar Barberry and Helmond Pillar Barberry
Mature height 3-4 ft
Spaced every 2 ft on center

Helmond Pillar Barberry
Mature height 4'-5' ft
Spaced every 2 feet on center



AREA 2
West property line along drive, starting +/- 30ft from sidewalk.
Japanese Plum Yew
Mature height 4' feet
Width 2 feet
Space every 2 feet on center



AREA 2
West proper line along drive, starting at sidewalk to north edge of house.
Dwarf fountain grass
Mature height 24"
Width 24"
Spaced every 20"



AREA 3
Astilbe Japonica Europa
Mature height 24"
Width 24"
Spaced every 20"



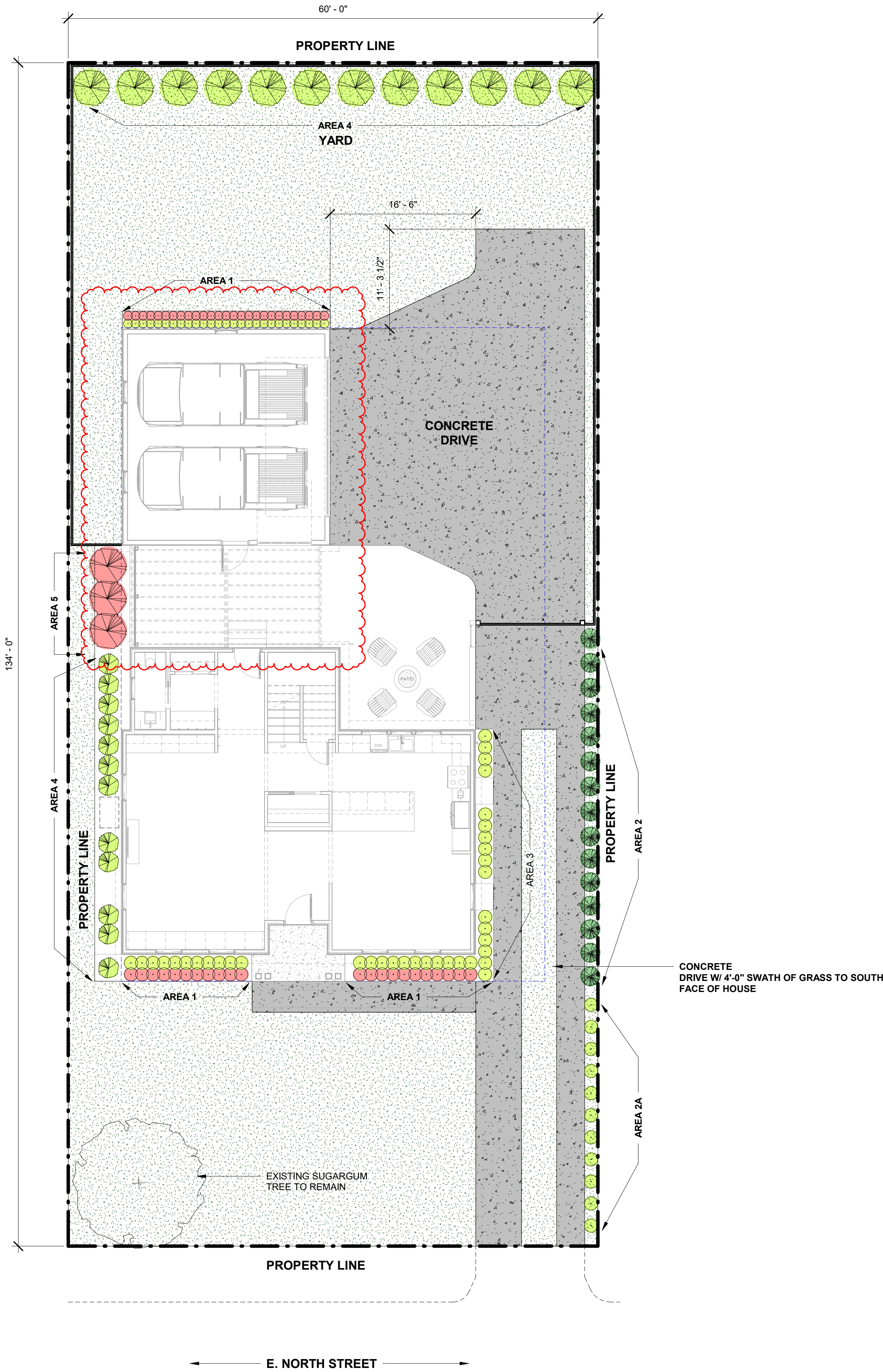
AREA 3
Lungwort
mature height 12"
Width 12-18"
Spaced every 24"
Gravel base



AREA 4
Chinese Silver Grass
Height 5-7 feet
Width 5-7 feet
Spaced every 6 feet on center
Gravel base



AREA 5
Sneezy rhododendron
Height 4 feet
Width 4 feet
Spaced every 3-4 feet
Gravel base



1 LANDSCAPE PLAN
1/8" = 1'-0"

CITY OF WORTHINGTON
DRAWING NO. ARB 06-2023
DATE 02/10/2023



MYERS SINGLE FAMILY RESIDENCE
99 E. NORTH STREET, WORTHINGTON, OH 43085
FOR
JOSH & ASHLEY MYERS

1	Date 1	Revision 1
No.	Date	Description
02.10.2023		75% CONST. DOCS.

DRAWING TITLE
LANDSCAPE PLAN

DRAWING NUMBER

A-0.3

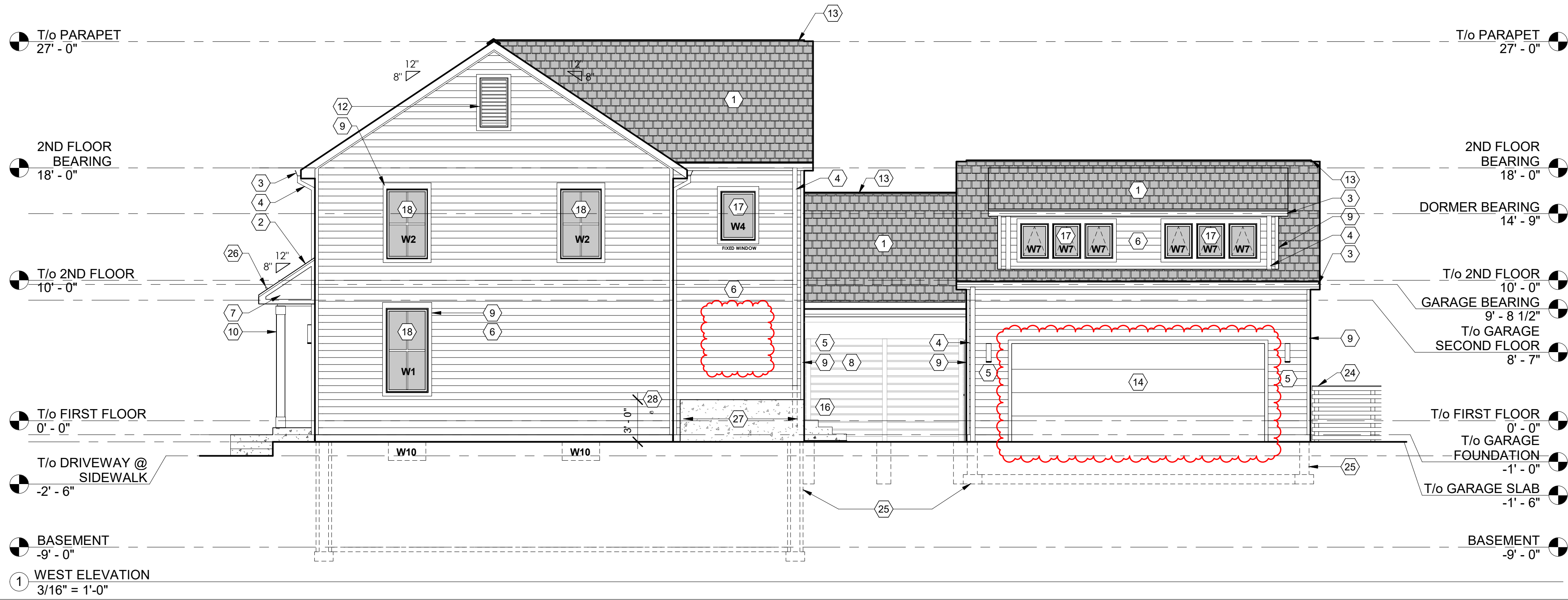
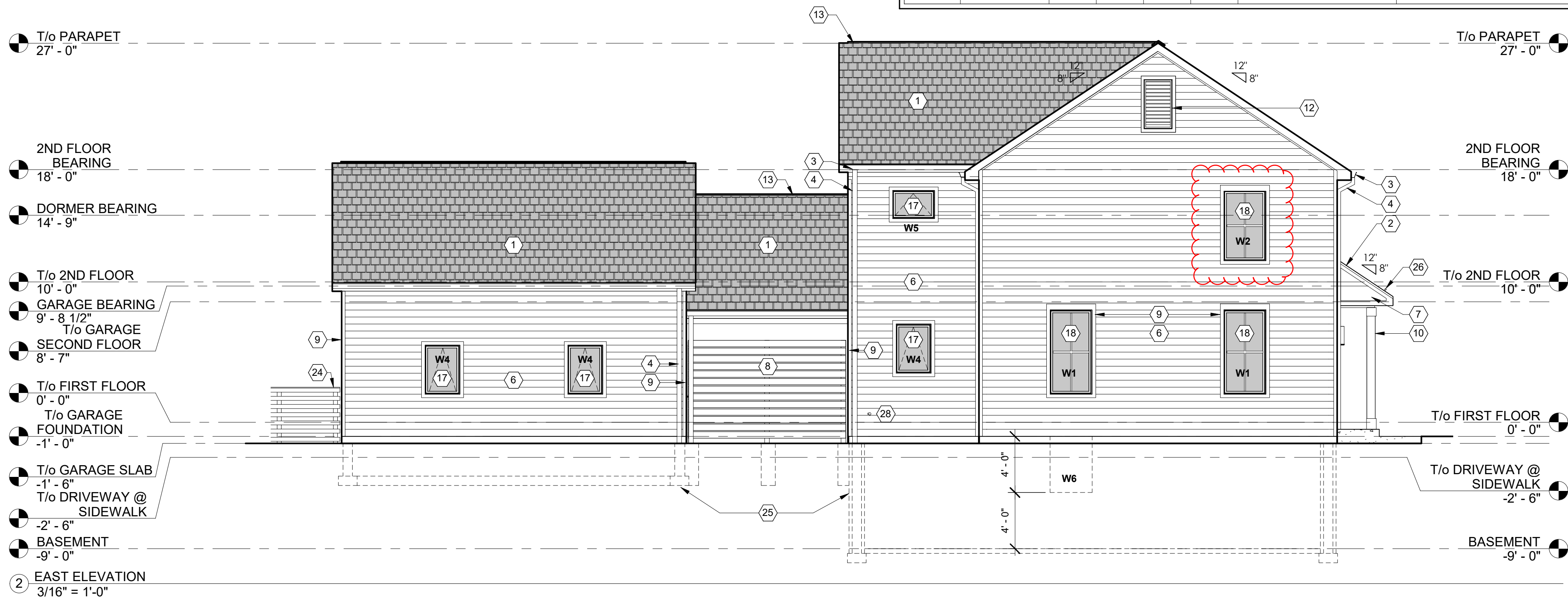
BEAN-Project Number

WINDOW SCHEDULE							
TYPE	SIZE	LOCATION				MANUFACTURER	FUNCTION / COMMENTS
		NORTH	EAST	SOUTH	WEST		
W1	3'-0" W X 6'-0" H R.O.	4	2	-	1	MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALTERNATE	DOUBLE HUNG WINDOW
W2	3'-0" W X 5'-0" H R.O.	4	1	-	2	MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALTERNATE	DOUBLE HUNG WINDOW
W3	3'-0" W X 2'-6" H R.O.	1	-	-	-	MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALTERNATE	AWNING WINDOW
W4	2'-6" W X 3'-6" H R.O.	-	3	2	1	MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALTERNATE	AWNING WINDOW, FIXED WINDOW IN STAIR ON LEVEL 2 WEST ELEVATION, DOUBLE HUNG IN KITCHEN
W5	3'-0" W X 2'-0" H R.O.	-	1	1	-	MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALTERNATE	AWNING WINDOW
W6	3'-0" W X 4'-0" H R.O.	-	1	-	-	MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALTERNATE	BASEMENT EGRESS - CASEMENT WINDOW
W7	2'-0" W X 2'-6" H R.O.	-	-	-	6	MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALTERNATE	GARAGE DORMER - AWNING WINDOW
W8	3'-4" W X 1'-0" H R.O.	-	-	-	1	MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALTERNATE	ENTRY TRANSOM - FIXED WINDOW HEIGHT TO BE CONFIRMED. WINDOW HEAD TO ALIGN WITH ADJACENT 'W1' WINDOWS @ 8'-0" A.F.F.
W9	3'-0" W X 3'-6" H R.O.	-	-	2	-	MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALTERNATE	DOUBLE HUNG
W10	2'-8" W X 1'-4" H R.O.	-	-	-	2	MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALTERNATE	AWNING WINDOW

EXTERIOR FINISH KEY		
MARK	TYPE	NOTES
AS-1	DIMENSIONAL ASPHALT SHINGLE ROOFING	MANUFACTURER: CERTANTEED, LANDMARK SERIES COLOR: GEORGETOWN GRAY
VS-1	VINYL - 5" LAP SIDING	MANUFACTURER: WESTLAKE, SMOOTH - 5" COLOR: LINEN
WS-1	WOOD - 6" SIDING	MANUFACTURER: WESTLAKE, SMOOTH CYPRESS SIDING COLOR: NATURAL STAIN AND SEAL
VS-3	VINYL - TRIM	MANUFACTURER: WESTLAKE, SMOOTH - COLOR: LINEN
MTL-1	STANDING SEAM ROOF	MANUFACTURER: DIMENSIONAL METALS, INC. (DMH) INTER- LOCK 1L20 SMOOTH, 16" O.C. COLOR: MUSKET GREY
MTL-2	PREFINISHED METAL FLASHING/ FASCIA, GUTTER/DOWNSPOUT	DIMENSIONAL METALS INC. COLOR: CLAY
W-1	FIBERGLASS DOORS AND WINDOWS	MANUFACTURER: MARVIN ESSENTIAL COLOR: CLAY
OH-1	ALUMINUM OH-1 DOOR	TUBELITE T-14000 SERIES, 2" X 4 1/2" FRAMING WITH GLAZING AS SCHEDULED COLOR: CLAY

ELEVATION CODED NOTES	
1	DIMENSIONAL ASPHALT SHINGLE ROOFING
2	PREFINISHED STANDING SEAM METAL ROOF (12" OC), INTER-LOCK 1L20 - 24 GA., SMOOTH
3	5" METAL (24 GA.) OGEE GUTTER, PTD
4	4X3 METAL (24 GA.) DOWNSPOUT, HOLD TIGHT TO FACE OF CONSTRUCTION.
5	EXTERIOR WALL MOUNTED SCONCE LIGHT FIXTURE
6	VINYL LAP SIDING (5" SMOOTH FINISH), PTD
7	FIBER CEMENT PANEL SIDING AND TRIM (SMOOTH FINISH), PTD
8	1 x 6" PREFINISHED CYPRESS T&G SIDING
9	VINYL EDGE TRIM (SMOOTH FINISH), PTD
10	8 X 8 P.P.T. WOOD POST (SEE STRUCTURAL DRAWINGS)
11	1 X 6 P.P.T. WOOD SLATS, PTD
12	2'-6" WIDE X 4'-0" TALL PREFINISHED ALUMINUM LOUVER w/ INSECT SCREEN, PTD TO MATCH TRIM
13	RIDGE VENT
14	FLUSH METAL GARAGE DOOR
15	NOT USED
16	CONCRETE ENTRY STOOP, COORDINATE EXTENT WITH OWNER
17	ULTREX AWNING WINDOW, CLAY FINISH
18	ULTREX DOUBLE HUNG WINDOW WITH MUNTINS, CLAY FINISH
19	FIBERGLASS FULL-LITE DOOR, CLAY FINISH
20	FIBERGLASS HALF LIGHT-LITE DOOR, CLAY FINISH
21	NOT USED
22	EXPOSED WOOD RAFTER UNDER BREEZEWAY, PTD.
23	UTLREX AWNING WINDOW WITH MUNTINS, CLAY FINISH
24	4'-0" TALL 50% OPEN WOOD SLAT PERIMETER FENCING.
25	LINE OF FOUNDATION WALL / FOOTER BELOW
26	CONTINUOUS METAL SNOW RAIL TO MATCH STANDING SEAM ROOF FINISH. INSTALL PER MANUFACTURER SPECIFICATIONS
27	8" WIDE X 3'-0" TALL EXPOSED CONCRETE SCREEN WALL
28	WALL MOUNTED FROST PROOF HOSE BIBB
29	EXPOSED WOOD BEAM UNDER BREEZEWAY, PTD.

NOTE: CONTRACTOR TO COORDINATE FINAL
GRADING AROUND PERIMETER OF HOUSE WITH
OWNER



MYERS SINGLE FAMILY RESIDENCE
99 E. NORTH STREET, WORTHINGTON, OH 43085
FOR
JOSH & ASHLEY MYERS

1	Date 1	Revision 1
No.	Date	Description

02.10.2023 75% CONST. DOCS.

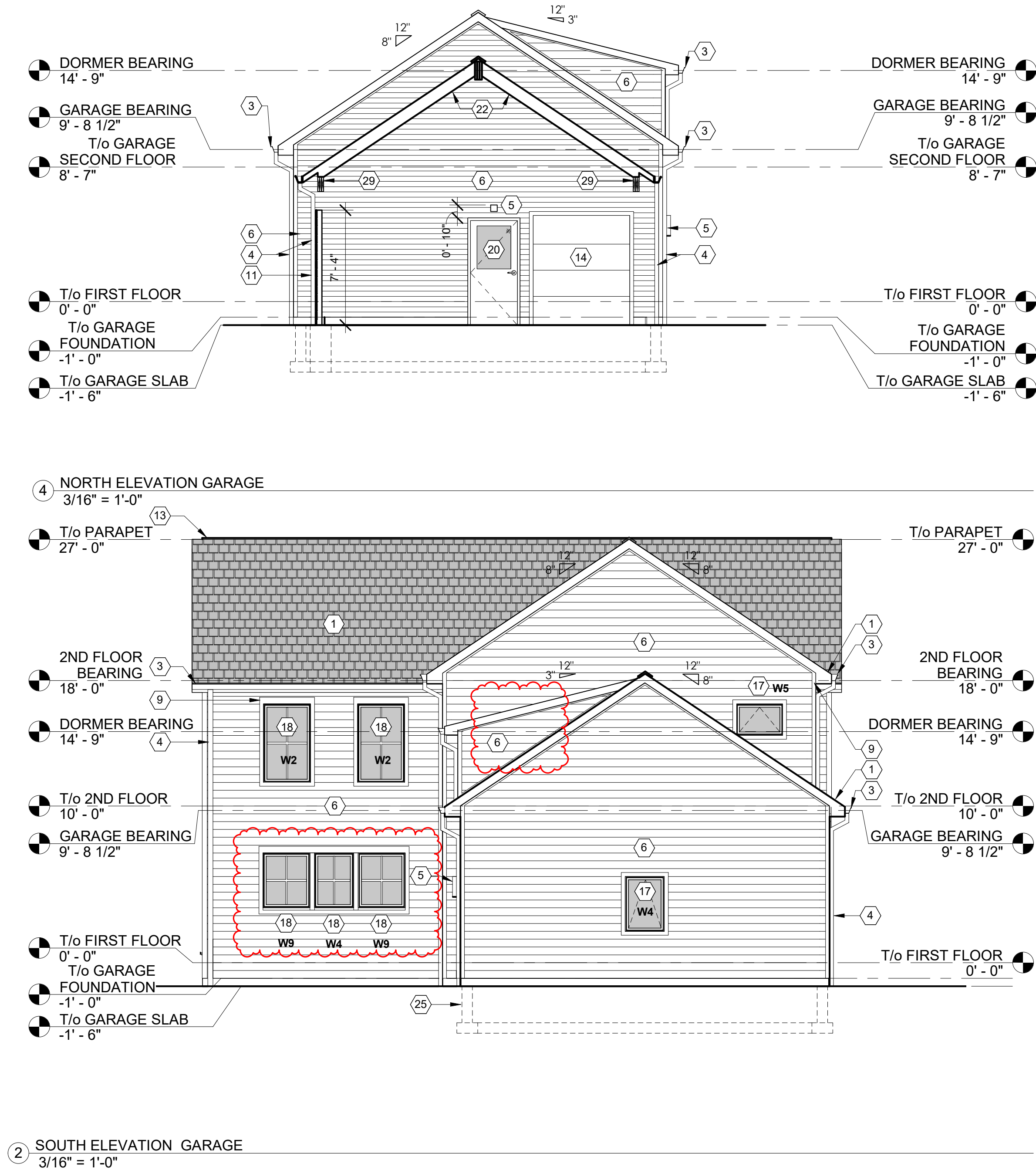
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EXTERIOR ELEVATIONS

DRAWING NUMBER

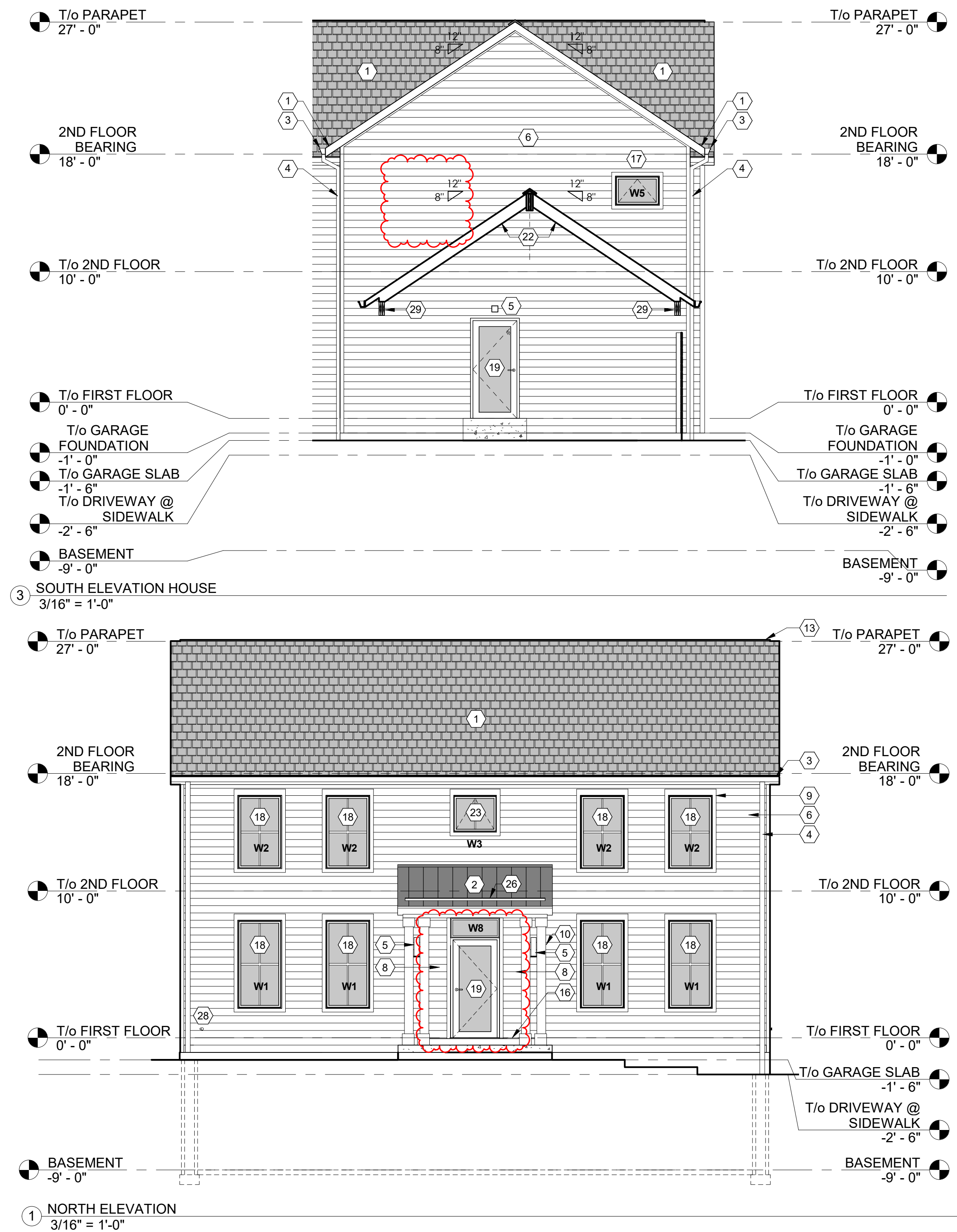
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BEA-Project Number

CITY OF WORTHINGTON
DRAWING NO. ARB 06-2023
DATE 02/10/2023



WINDOW SCHEDULE							
TYPE	SIZE	LOCATION				MANUFACTURER	FUNCTION / COMMENTS
		NORTH	EAST	SOUTH	WEST		
W1	3'-0" W X 6'-0" H R.O.	4	2	-	1	MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALTERNATE	DOUBLE HUNG WINDOW
W2	3'-0" W X 5'-0" H R.O.	4	1	-	2	MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALTERNATE	DOUBLE HUNG WINDOW
W3	3'-0" W X 2'-6" H R.O.	1	-	-	-	MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALTERNATE	AWNING WINDOW
W4	2'-6" W X 3'-6" H R.O.	-	3	2	1	MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALTERNATE	AWNING WINDOW. FIXED WINDOW IN STAIR ON LEVEL 2 WEST ELEVATION. DOUBLE HUNG IN KITCHEN
W5	3'-0" W X 2'-0" H R.O.	-	1	1	-	MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALTERNATE	AWNING WINDOW
W6	3'-0" W X 4'-0" H R.O.	-	1	-	-	MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALTERNATE	BASEMENT EGRESS - CASEMENT WINDOW
W7	2'-0" W X 2'-6" H R.O.	-	-	-	6	MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALTERNATE	GARAGE DORMER - AWNING WINDOW
W8	3'-4" W X 1'-0" H R.O.	-	-	-	1	MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALTERNATE	ENTRY TRANSOM - FIXED WINDOW HEIGHT TO BE CONFIRMED. WINDOW HEAD TO ALIGN WITH ADJACENT 'W1' WINDOWS @ 8'-0" A.F.F.
W9	3'-0" W X 3'-6" H R.O.	-	-	2	-	MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALTERNATE	DOUBLE HUNG
W10	2'-8" W X 1'-4" H R.O.	-	-	-	2	MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALTERNATE	AWNING WINDOW



EXTERIOR FINISH KEY		
MARK	TYPE	NOTES
AS-1	DIMENSIONAL ASPHALT SHINGLE ROOFING	MANUFACTURER: CERTAINTED, LANDMARK SERIES COLOR: GEORGETOWN GRAY
VS-1	VINYL - 5" LAP SIDING	MANUFACTURER: WESTLAKE, SMOOTH - 5" COLOR: LINEN
WS-1	WOOD - 6" SIDING	MANUFACTURER: 6" PREFINISHED CYPRESS SIDING COLOR: NATURAL STAIN AND SEAL
VS-3	VINYL - TRIM	MANUFACTURER: WESTLAKE, SMOOTH - COLOR: LINEN
MTL-1	STANDING SEAM ROOF	MANUFACTURER: DIMENSIONAL METALS, INC (DM) INTER- LOCK 1/2" SMOOTH 16" O.C. COLOR: WISSET GREY
MTL-2	PREFINISHED METAL FLASHING/ FASCIA, GUTTER/DOWNSPOUT	DIMENSIONAL METALS INC. COLOR: CLAY
W-1	FIBERGLASS DOORS AND WINDOWS	MANUFACTURER: MARVIN ESSENTIAL COLOR: CLAY
OH-1	ALUMINUM O.H. DOOR	TUBELITE 1-14000 SERIES, 2" X 4 1/2" FRAMING WITH GLAZING AS SCHEDULED COLOR: CLAY

ELEVATION CODED NOTES	
1	DIMENSIONAL ASPHALT SHINGLE ROOFING
2	PREFINISHED STANDING SEAM METAL ROOF (12" OC), INTER-LOCK IL20 - 24 GA. - SMOOTH
3	5" METAL (24 GA.) OGEE GUTTER, PTD
4	4X3 METAL (24 GA.) DOWNSPOUT. HOLD TIGHT TO FACE OF CONSTRUCTION.
5	EXTERIOR WALL MOUNTED SCONCE LIGHT FIXTURE
6	VINYL LAP SIDING (5" SMOOTH FINISH), PTD
7	FIBER CEMENT PANEL SIDING AND TRIM (SMOOTH FINISH), PTD
8	1 x 6" PREFINISHED CYPRESS T&G SIDING
9	VINYL EDGE TRIM (SMOOTH FINISH), PTD
10	8 X 8 P.P.T. WOOD POST (SEE STRUCTURAL DRAWINGS)
11	1 X 6 P.P.T. WOOD SLATS, PTD
12	2'-6" WIDE X 4'-0" TALL PREFINISHED ALUMINUM LOUVER w/ INSECT SCREEN, PTD TO MATCH TRIM
13	RIDGE VENT
14	FLUSH METAL GARAGE DOOR
15	NOT USED
16	CONCRETE ENTRY STOOP, COORDINATE EXTENT WITH OWNER
17	ULTREX AWNING WINDOW, CLAY FINISH
18	ULTREX DOUBLE HUNG WINDOW WITH MUNTINS, CLAY FINISH
19	FIBERGLASS FULL-LITE DOOR, CLAY FINISH
20	FIBERGLASS HALF LIGHT-LITE DOOR, CLAY FINISH
21	NOT USED
22	EXPOSED WOOD RAFTER UNDER BREEZEWAY, PTD.
23	ULTREX AWNING WINDOW WITH MUNTINS, CLAY FINISH
24	4'-0" TALL 50% OPEN WOOD SLAT PERIMETER FENCING.
25	LINE OF FOUNDATION WALL / FOOTER BELOW
26	CONTINUOUS METAL SNOW RAIL TO MATCH STANDING SEAM ROOF FINISH. INSTALL PER MANUFACTURER SPECIFICATIONS
27	8" WIDE X 3'-0" TALL EXPOSED CONCRETE SCREEN WALL
28	WALL MOUNTED FROST PROOF HOSE BIBB
29	EXPOSED WOOD BEAM UNDER BREEZEWAY, PTD.

NOTE: CONTRACTOR TO COORDINATE FINAL
GRADING AROUND PERIMETER OF HOUSE WITH
OWNER



MYERS SINGLE FAMILY RESIDENCE
99 E. NORTH STREET, WORTHINGTON, OH 43085
FOR
JOSH & ASHLEY MYERS

1	Date 1	Revision 1
No.	Date	Description
02.10.2023	75% CONST. DOCS.	
DRAWING TITLE		
EXTERIOR ELEVATIONS		
DRAWING NUMBER		
A-1.8		
BEAN-Project Number		

CITY OF WORTHINGTON
DRAWING NO. ARB 06-2023
DATE 02/10/2023

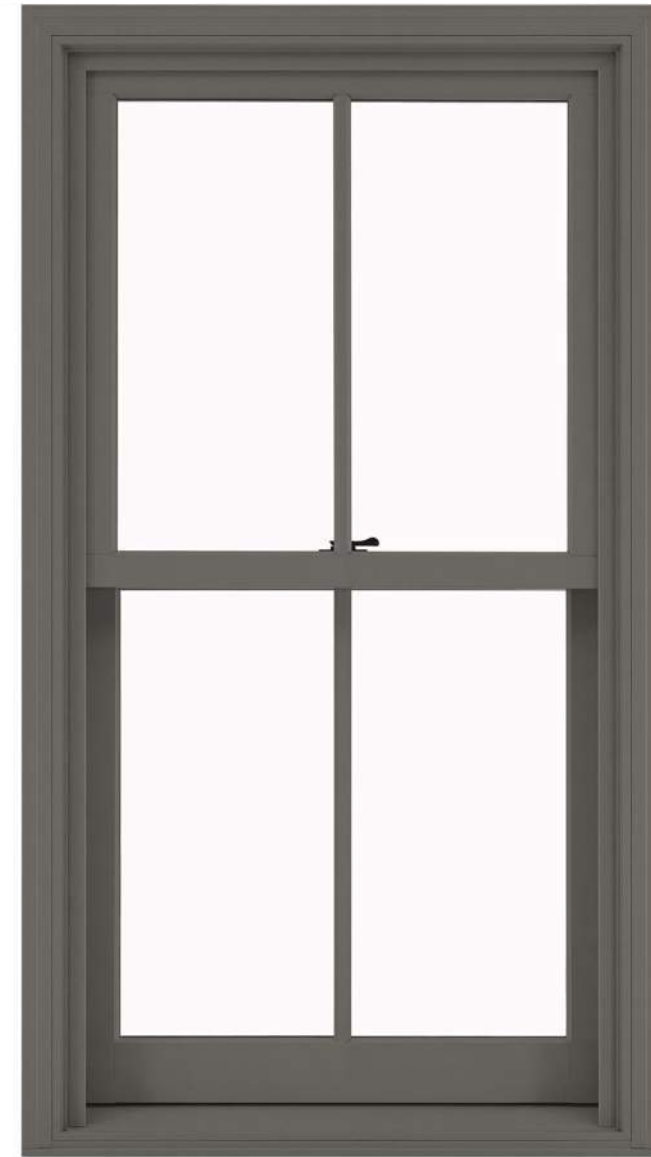
ROOFING



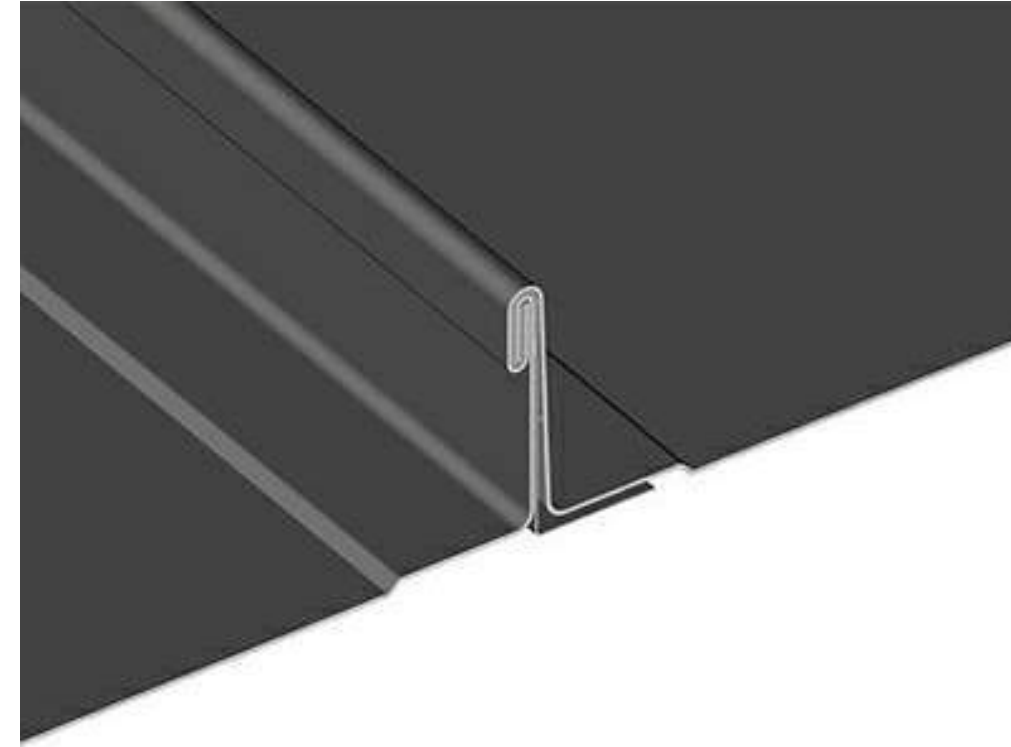
SIDING & TRIM



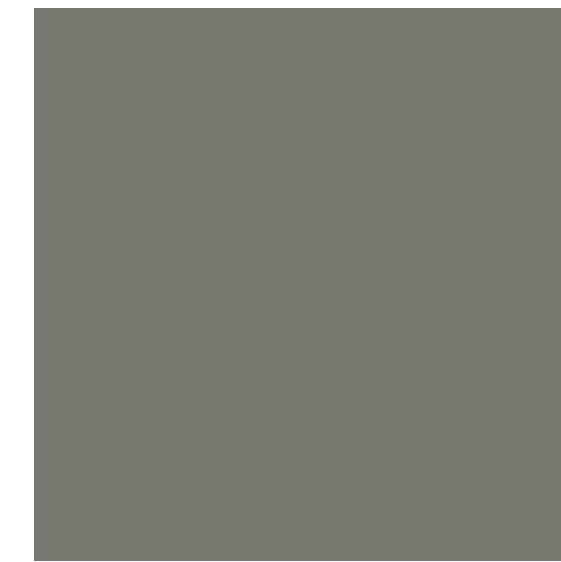
WINDOWS



ROOFING



GUTTERS & DOWNSPOUTS



ACCENT LIGHTING

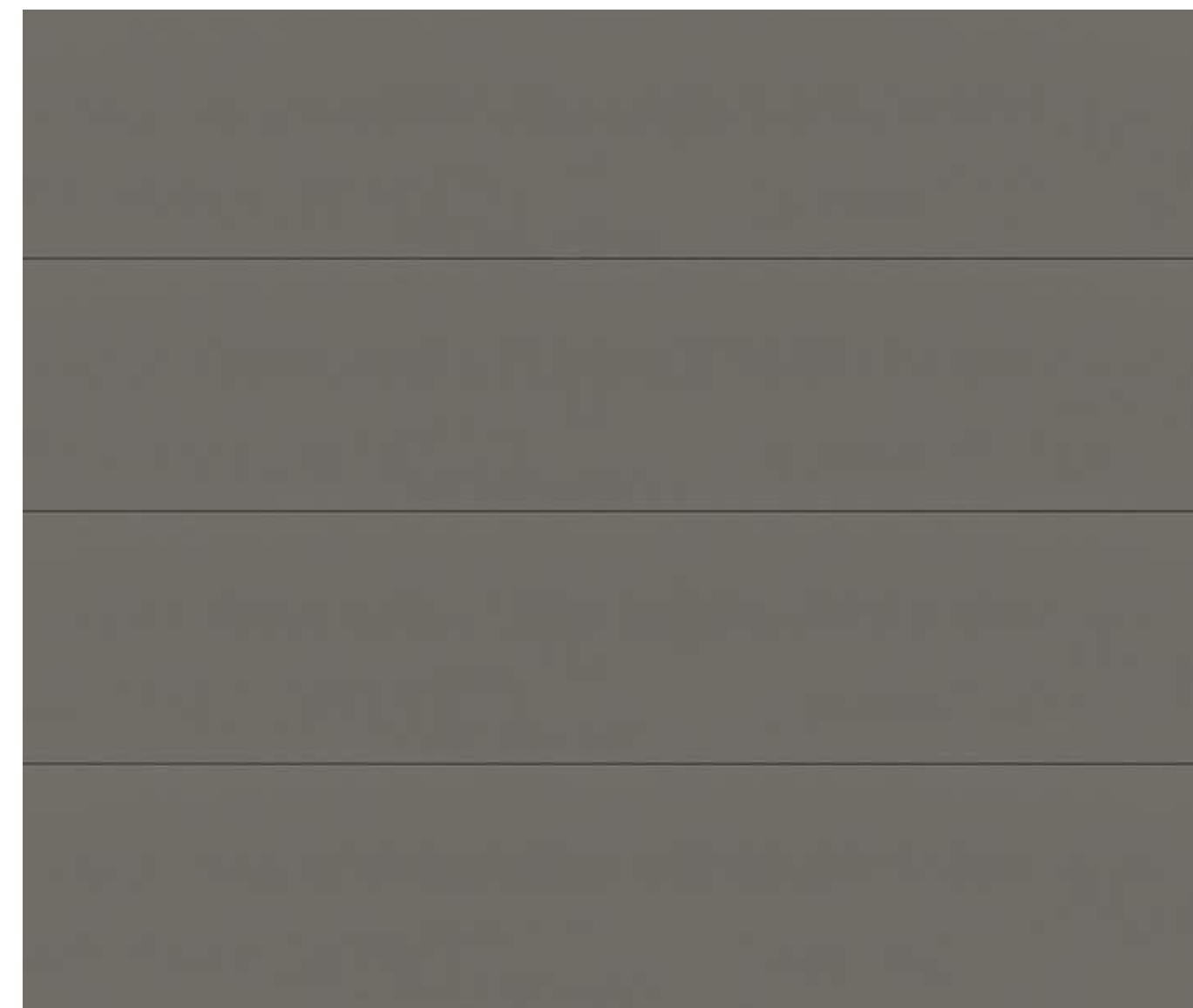


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CITY OF WORTHINGTON
DRAWING NO. ARB 06-2023
DATE 02/10/2023



OVERHEAD DOORS



Bean

J. CARTER BEAN ARCHITECT
4400 NORTH HIGH STREET
SUITE 401 • COLUMBUS
OHIO • 43214
TEL 614 262 5711
FAX 614 262 2329



MYERS SINGLE FAMILY RESIDENCE
O E. NORTH STREET, WORTHINGTON, OH 43085
FOR
JOSH & ASHLEY MYERS

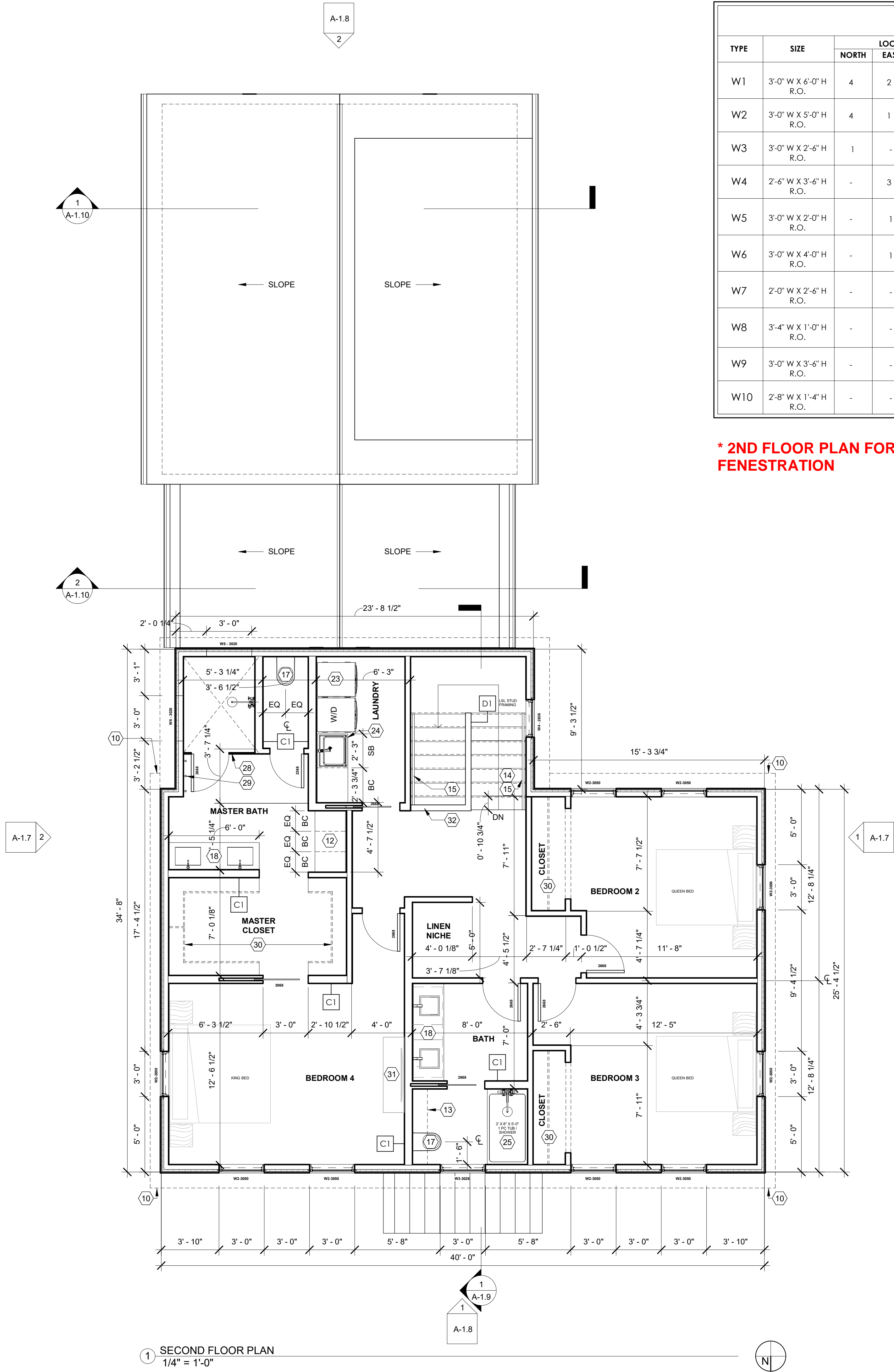
1	Date 1	Revision 1
No.	Date	Description
02.10.2023	75% CONST. DOCS.	

DRAWING TITLE
CONCEPTUAL MATERIAL
INDEX

DRAWING NUMBER

I-1.2

REANProject Number



*** 2ND FLOOR PLAN FOR REFERENCE ONLY RELATED TO WINDOW FENESTRATION**

WINDOW SCHEDULE							
TYPE	SIZE	LOCATION				MANUFACTURER	FUNCTION / COMMENTS
		NORTH	EAST	SOUTH	WEST		
W1	3'-0" W X 6'-0" H R.O.	4	2	-	1	MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALTERNATE	DOUBLE HUNG WINDOW
W2	3'-0" W X 5'-0" H R.O.	4	1	-	2	MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALTERNATE	DOUBLE HUNG WINDOW
W3	3'-0" W X 2'-6" H R.O.	1	-	-	-	MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALTERNATE	AWNING WINDOW
W4	2'-6" W X 3'-6" H R.O.	-	3	2	1	MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALTERNATE	AWNING WINDOW. FIXED WINDOW IN STAIR ON LEVEL 2 WEST ELEVATION. DOUBLE HUNG IN KITCHEN
W5	3'-0" W X 2'-0" H R.O.	-	1	1	-	MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALTERNATE	AWNING WINDOW
W6	3'-0" W X 4'-0" H R.O.	-	1	-	-	MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALTERNATE	BASEMENT EGRESS - CASEMENT WINDOW
W7	2'-0" W X 2'-6" H R.O.	-	-	-	6	MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALTERNATE	GARAGE DORMER - AWNING WINDOW
W8	3'-4" W X 1'-0" H R.O.	-	-	-	1	MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALTERNATE	ENTRY TRANSOM - FIXED WINDOW HEIGHT TO BE CONFIRMED. WINDOW HEAD TO ALIGN WITH ADJACENT 'W1' WINDOWS @ 8'-0" A.F.F.
W9	3'-0" W X 3'-6" H R.O.	-	-	2	-	MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALTERNATE	DOUBLE HUNG
W10	2'-8" W X 1'-4" H R.O.	-	-	-	2	MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALTERNATE	AWNING WINDOW

FLOOR PLAN CODED NOTES							
1	6" METAL (24 GA.) GUTTER ABOVE. PTD.						
2	5" METAL (24 GA.) DOWNSPOUT. HOLD TIGHT TO FACE OF CONSTRUCTION.						
3	WALL MOUNTED SCONCE LIGHT FIXTURE ABOVE						
4	WOOD POST AND FOOTER BELOW (SEE STRUCTURAL DRAWINGS)						
5	4'-0" TALL METAL PEDESTRIAN GATE.						
6	4'-0" TALL METAL VEHICULAR GATE.						
7	1 x 6 SLAT SCREEN WALL (SEE I-1.1 FOR FINISH)						
8	8" WIDE X 3'-0" TALL EXPOSED CONCRETE SCREEN WALL						
9	LINE OF EXPOSED STRUCTURE ABOVE						
10	LINE OF ROOF ABOVE						
11	WALL MOUNTED FROST PROOF HOSE BIBB						
12	BUILT-IN / MODULAR CASEWORK - BY OWNER						
13	WALL MOUNTED SHELVING - BY OWNER						
14	WOOD STAIRS. COORDINATE FINISH WITH OWNER AND ARCHITECT						
15	1-1/2" X 1-1/2" SQ. METAL TUBE HANDRAIL, PTD BLACK						
16	NOT USED						
17	WATER CLOSET						
18	COUNTER, SINK, FAUCET, SINK BASE, AND MIRROR						
19	REFRIGERATOR - BY OWNER						
20	COOKTOP AND ROOF VENTED HOOD						
21	DISHWASHER						
22	FAUCET AND SINK						
23	WASHER / DRYER						
24	UTILITY SINK						
25	1 PIECE BATHTUB / SHOWER INSERT						
26	WALL MOUNTED WATER HEATER. COORDINATE WITH PLUMBING CONTRACTOR						
27	FURNACE. COORDINATE WITH MECHANICAL CONTRACTOR						
28	1/2" TEMPERED BUTT GLAZING & DOOR W/ TOP AND BOTTOM TRACK						
29	WALL MOUNTED COAT / TOWEL HOOKS. PROVIDE BLOCKING AS NECESSARY						
30	WARDROBE SHELVING BY OWNER						
31	WALL MOUNTED TV BY OWNER. CONTRACTOR TO PROVIDE BLOCKING AS NECESSARY.						
32	42" TALL PARTITION ABOVE 2ND FLOOR WITH METAL PLATE CAP BY OWNER.						
33	42" TALL ISLAND COUNTER W/ CABINERY BELOW						
34	FUTURE SINK / COUNTER / CABINERY/ BUILT-IN. PROVIDE PLUMBING STUB FOR FUTURE CONSTRUCTION						
35	SUMP PUMP. COORDINATE FINAL LOCATION WITH OWNER						
36	ELECTRICAL PANEL. ELECTRICAL CONTRACTOR TO COORDINATE FINAL LOCATION WITH OWNER						
37	CONCRETE STOOP. SEE SECTION DETAILS						
38	FIBER CEMENT WRAPPED WOOD POST, SEE SECTION DETAILS						
39	LINE OF BULKHEAD ABOVE						
40	WINDOW WELL						

WALL SCHEDULE							
TYPE	DIAGRAM		COMPOSITION		TERMINATION	STC RATING	COMMENTS
	SIDE 1	SIDE 2	SIDE 1	SIDE 2			
A1			7" VINYL LAP SIDING o/ 1 X 4 FURRING o/ ZIP R9.2 SHEATHING & INSULATION	2X4 WOOD STUDS AT 16" O.C. R-13 PAPER FACED BATT INSULATION	1/2" GYP. BRD.	SEE SECTIONS	LOAD BEARING WALL
A2			1 X 6 T&G PREFINISHED CYPRESS SIDING o/ 1 X 4 FURRING o/ ZIP R9.2 SHEATHING & INSULATION	2X4 WOOD STUDS AT 16" O.C. R-15 PAPER FACED BATT INSULATION	1/2" GYP. BRD.	SEE SECTIONS	LOAD BEARING WALL
A3			5" VINYL LAP SIDING o/ 1 X 4 FURRING o/ ZIP R9.2 SHEATHING & INSULATION	2X6 WOOD STUDS AT 16" O.C. R-15 PAPER FACED BATT INSULATION	1/2" GYP. BRD.	SEE SECTIONS	LOAD BEARING WALL. GARAGE WALLS NOT TO HAVE 1 X 4 FURRING ON OUTSIDE OF ZIP R9.2
B1			2 5/8" NUDURA ICF INSULATION FORM	8" C.I.P. IN FORM BY NUDURA	1/2" GYP. ON 2 5/8" NUDURA ICF INSULATION FORM	SEE SECTIONS	LOAD BEARING WALL
B2			--	8" C.I.P.	--	SEE SECTIONS	LOAD BEARING WALL

NOTE: ALL EXTERIOR WALLS TO BE A1 UNLESS NOTED OTHERWISE

PARTITION SCHEDULE							
TYPE	DIAGRAM		COMPOSITION		TERMINATION	STC RATING	COMMENTS
	SIDE 1	SIDE 2	SIDE 1	SIDE 2			
C1			1/2" GYP. BRD.	2 X 6 WOOD STUDS AT 16" O.C. W/ R-19 BATT INSULATION BETWEEN	1/2" GYP. BRD. TO EXTEND FULL HEIGHT TO UNDERSIDE OF STRUCTURE.	SEE SECTIONS	PROVIDE 4" SOUND ATTENUATION BATT. INSULATION
D1			1/2" GYP. BRD.	2 X 4 WOOD STUDS AT 16" O.C. W/ R-19 BATT INSULATION BETWEEN	1/2" GYP. BRD. TO EXTEND FULL HEIGHT TO UNDERSIDE OF STRUCTURE.	SEE SECTIONS	PROVIDE 3 1/2" SOUND ATTENUATION BATT. INSULATION

NOTE: ALL INTERIOR PARTITIONS TO BE D1 UNLESS NOTED OTHERWISE

CRISTINA BEAN
4200 LORAIN AVE. STE. 200 COLUMBUS, OHIO 43214
TEL 614 262 5111
FAX 614 262 2529

MYERS PROPERTY SOLUTIONS

MYERS SINGLE FAMILY RESIDENCE
99 E. NORTH STREET, WORTHINGTON, OH 43085
FOR
JOSH & ASHLEY MYERS

No. Date Description

02.10.2023 75% CONST. DOCS.

DRAWING TITLE
SECOND FLOOR PLAN

DRAWING NUMBER
A-1.3

BEAN-Project Number



City of Worthington
ARCHITECTURAL REVIEW BOARD
Certificate of Appropriateness
Application

Case # ARB 07-2023
Date Received 2.10.2023
Fee \$200 pd
Meeting Date 02/23/2023
Filing Deadline _____
Receipt # _____

1. Property Location 577 Hartford St.
2. Present/Proposed Use Single family home
3. Zoning District R-10
4. Applicant James Ross
Address 6120 Crystal Valley Dr. Galena Ohio 43021
Phone Number(s) 614 204 5661
Email Jimr.rbd@gmail.com
5. Property Owner Michelle Puckett
Address 577 Hartford St.
Phone Number(s) 614 226-5792
Email _____
6. Project Description Add 2 story addition for assisted living suite,
new kitchen / family room, 2 new bedrooms, new full bath, plus new basement
and crawl foundation.
7. Project Details:
 - a) Design Exterior to match exist color scheme ~ Gray Vinyl siding with white trim
 - b) Color gray & white Trim
 - c) Size 1600 sq ft +/-
 - d) Approximate Cost \$450,000 Expected Completion Date DEC 2023

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

James Ross
Applicant (Signature)

2-8-23
Date

Michelle Puckett
Property Owner (Signature)

1-24-23
Date

577 Hartford St.

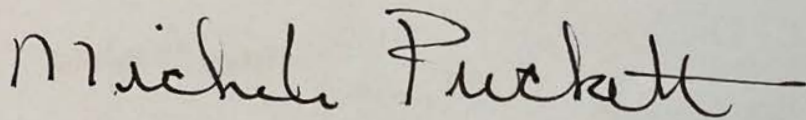


February 3, 2023

To: Worthington City,

I have lived in my home on Hartford Street for the last 35 years, and I have loved being here. My family and grandchildren are in Olde Worthington, as well. As I am getting older, I know there will come a time when I will need support living on my own. This renovation will allow my daughter and her family to move into my home, giving me my own living space, yet having help to maintain the home and yard. Our family's hope is that this will allow me to stay here for another 30 years.

Sincerely,

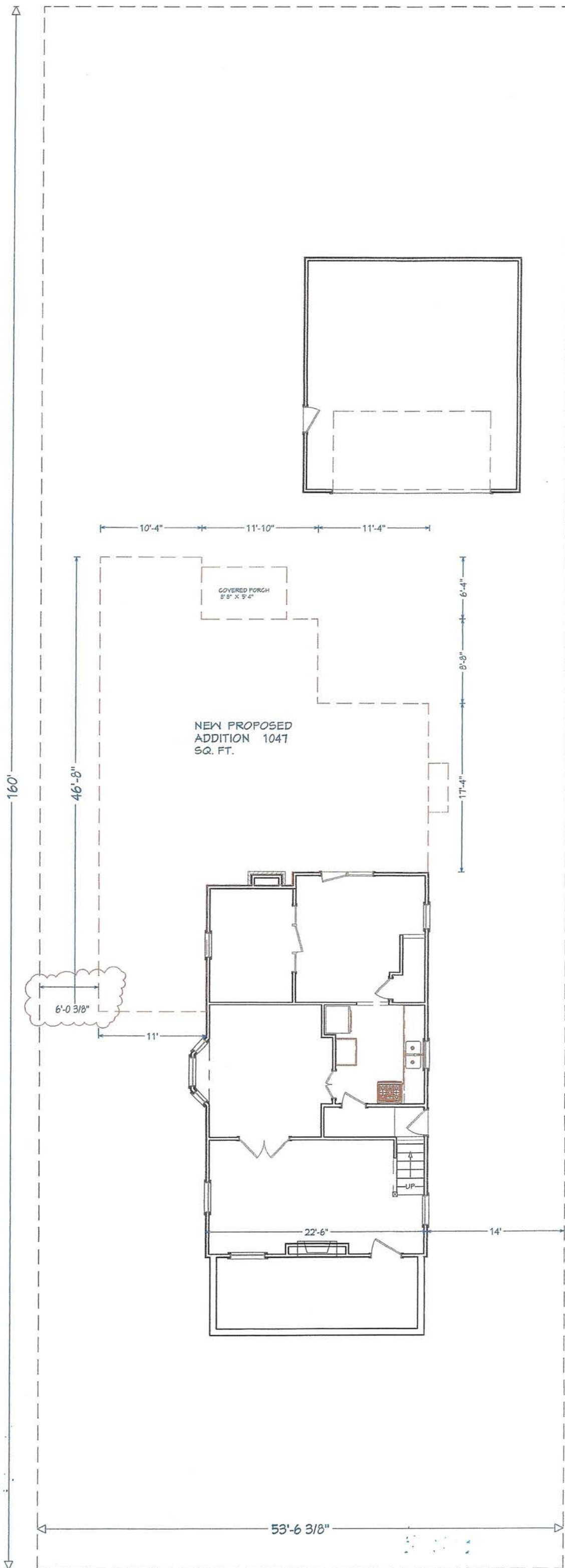
A handwritten signature in cursive script that reads "Michele Puckett". The signature is written in dark ink and has a fluid, personal style.

Michele Puckett

NEW PROPOSED SITE PLAN
577 HARTFORD ST.
WORTHINGTON OHIO 43085

DATE : 1 - 30 - 23

SCALE : 1" = 10'



CITY OF WORTHINGTON
DRAWING NO. ARB 07-2023
DATE 02/10/2023

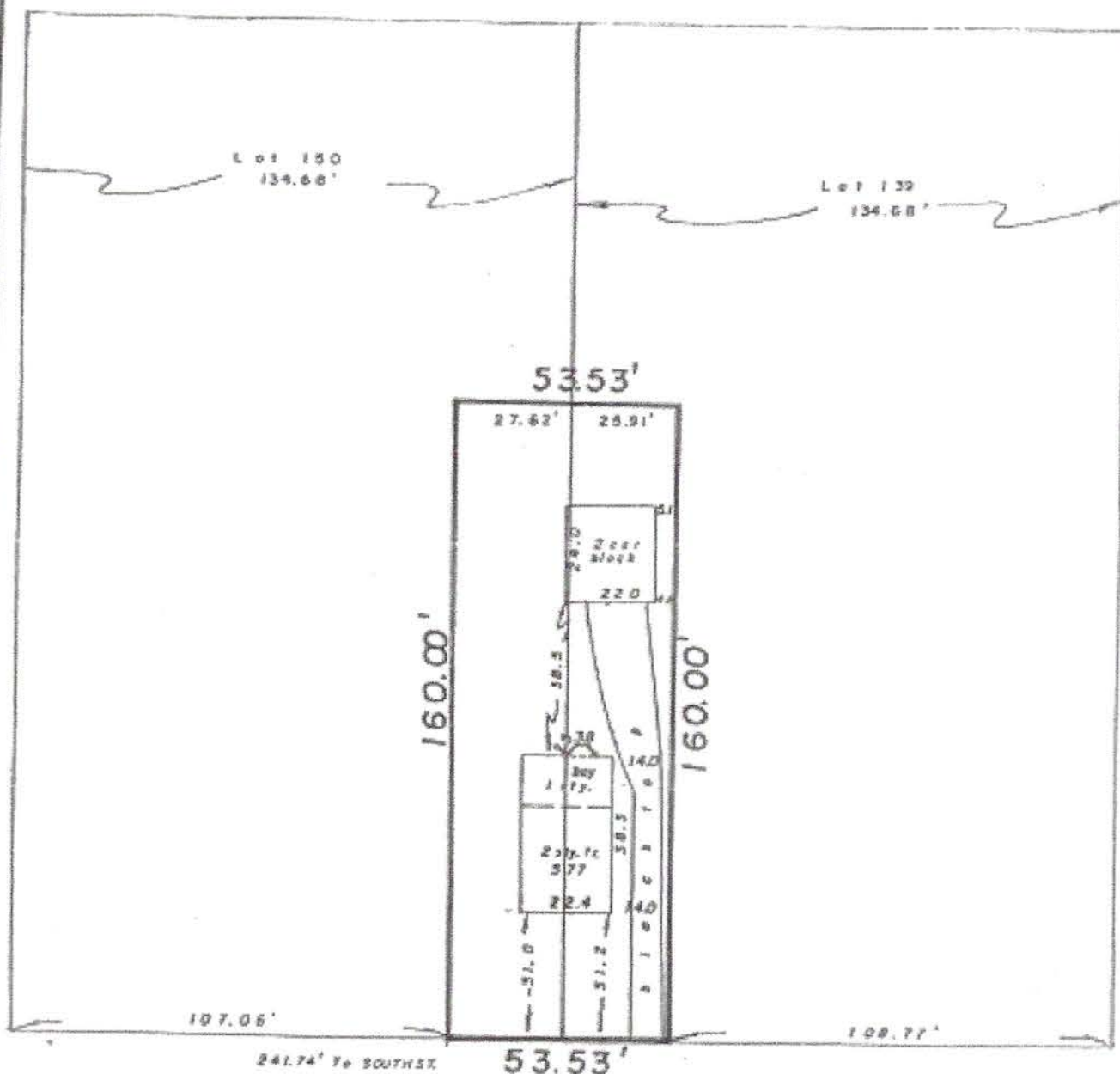
2740 East Main Street, Columbus 43209 (Bexley), Ohio

CITY OF WORTHINGTON,
OHIO

FOR
AMERICAN REALTY TITLE ASSUR. CO.
AND/OR
EQUITABLE FEDERAL SAVINGS BANK

P.B. 3 Page 330
Scale 1" = 40'

Franklin Co. Rec. Office
2 · 21 · '85



HARTFORD ST. 66'

NOT TO BE USED TO ERECT FENCES

We hereby certify that the foregoing plat was prepared from an actual survey of the premises. No side line of principal building is less than dimension shown. Iron pins not set unless indicated thus —0—. For Mortgage Loan & Title Insurance purposes only.

PUCKETT

HILLS CO. #1000H

1 - 07 - 2011, 18:45

MYERS SURVEYING CO.

BY Albert Meyer
Registered Surveyor



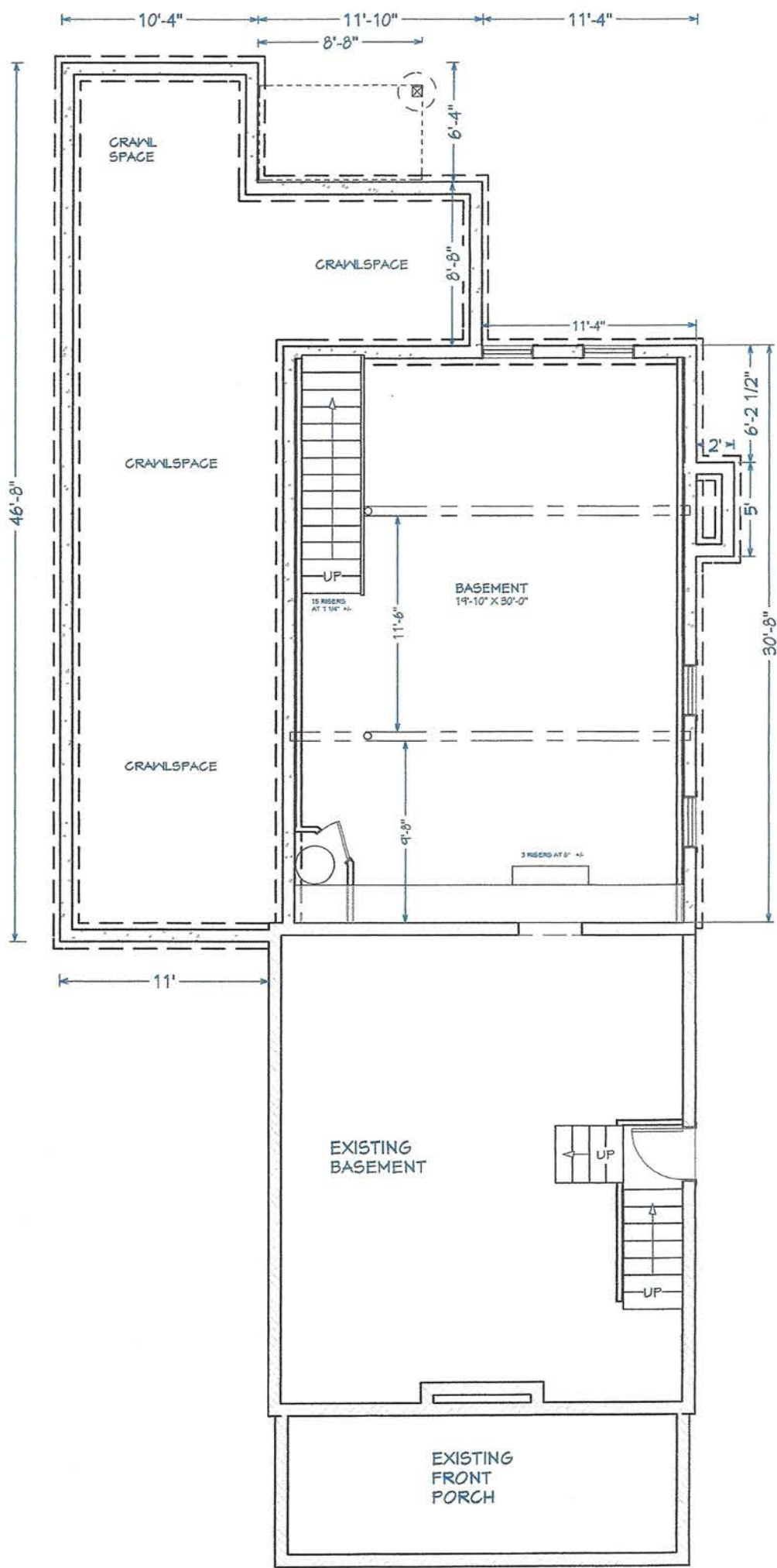
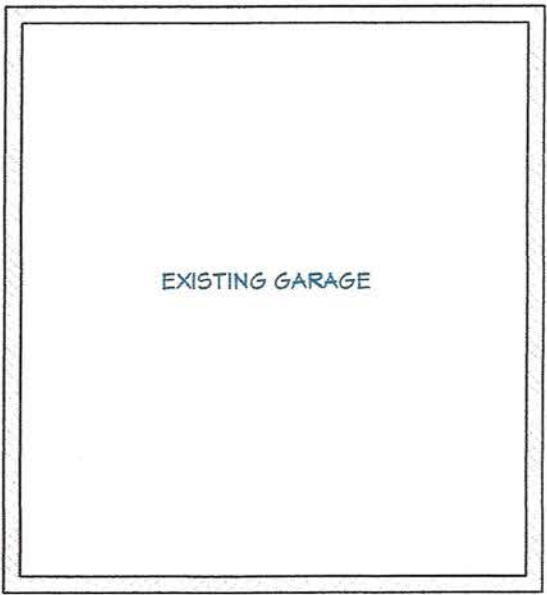
EXISTING SITE PLAN

CITY OF WORTHINGTON

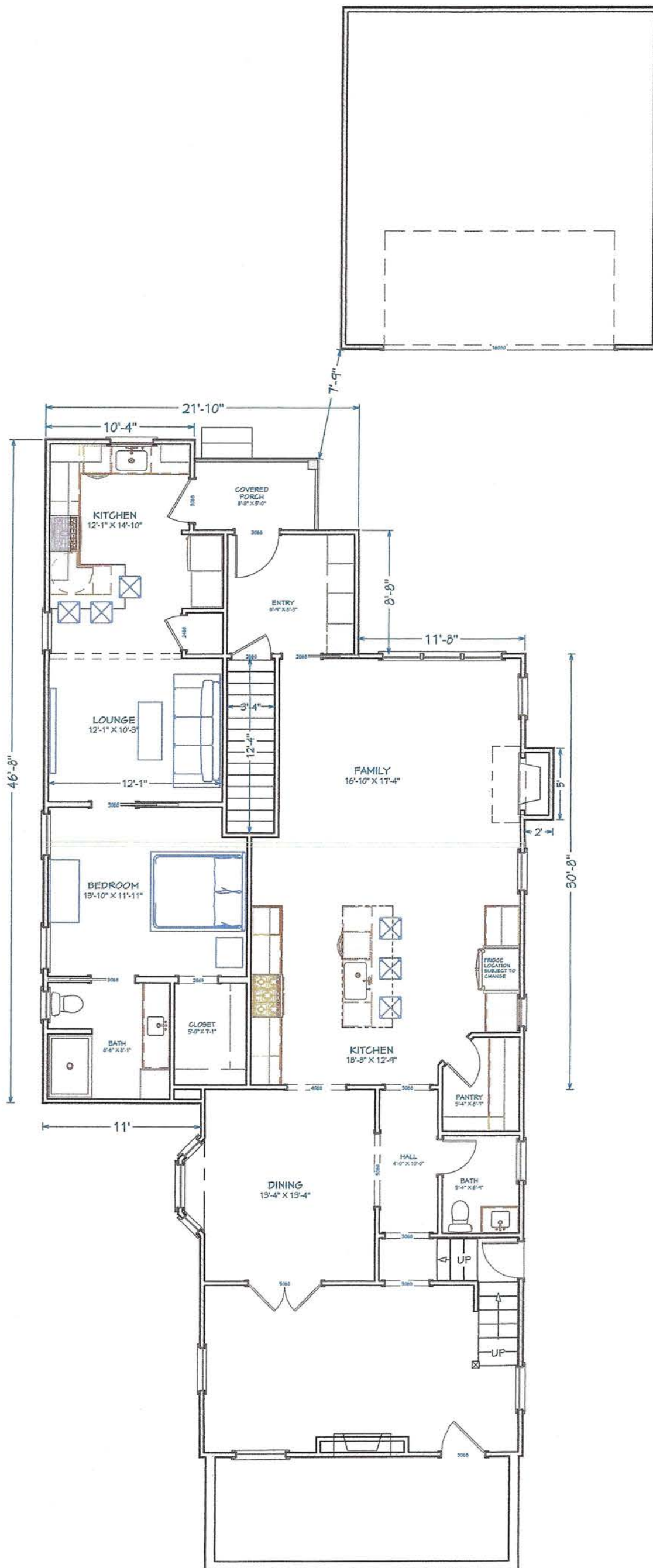
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DATE 02/10/2023

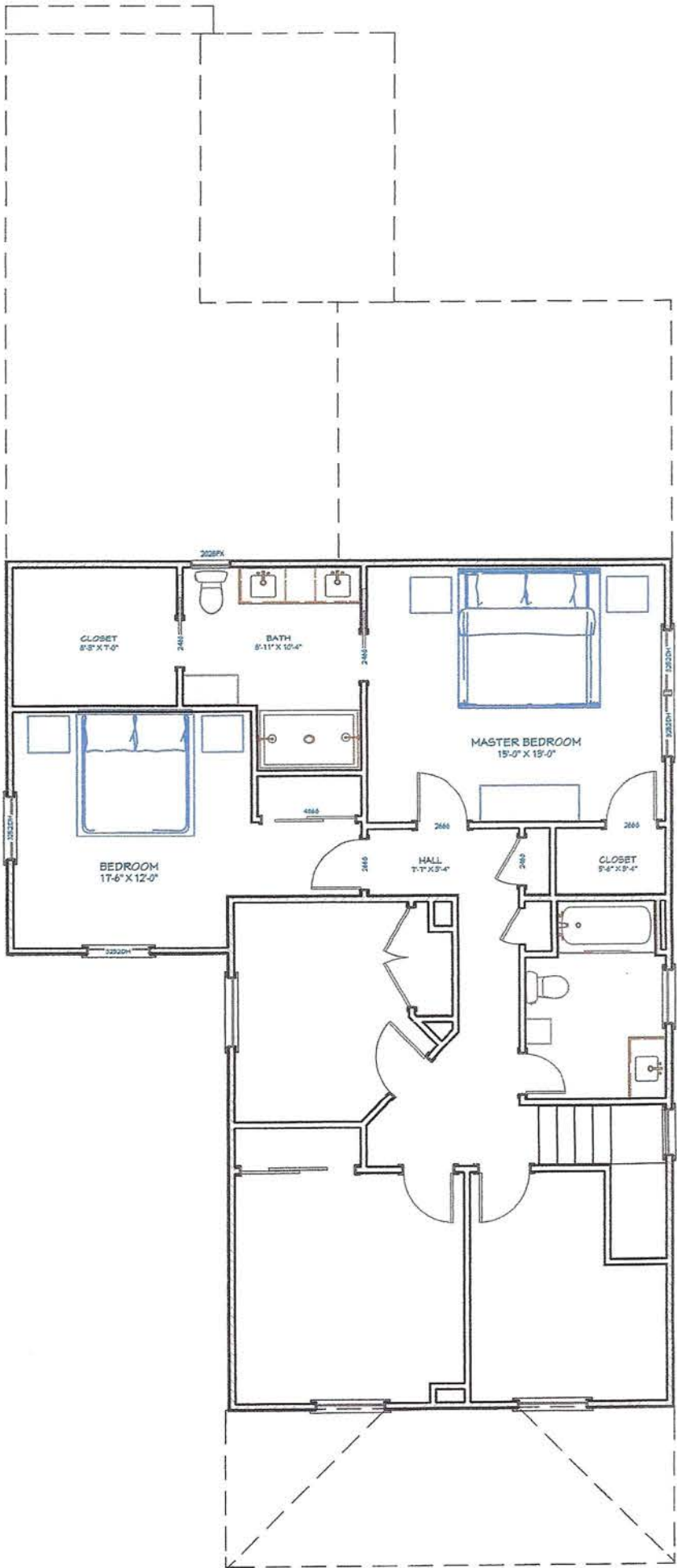
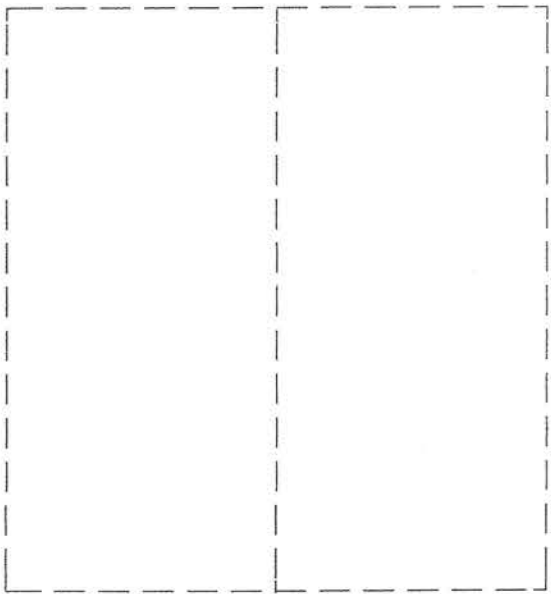
p2



CITY OF WORTHINGTON
DRAWING NO. ARB 07-2023
DATE 02/10/2023



CITY OF WORTHINGTON
 DRAWING NO. ARB 07-2023
 DATE 02/10/2023



CITY OF WORTHINGTON
DRAWING NO. ARB 07-2023
DATE 02/10/2023



EAST ELEVATION



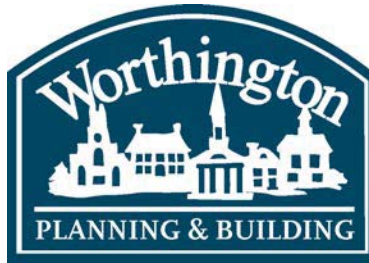
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



ARB APPLICATION
ARB 08-2023
2075 W. Dublin-Granville Rd.

Plan Type: Architectural Review Board	Project:	App Date: 02/10/2023
Work Class: Certificate of Appropriateness	District: City of Worthington	Exp Date:
Status: In Review		Completed:
Valuation: \$2,000.00		Approval
Description: 8'x12' greenhouse kit installation in garden area of property.		Expire Date:

Parcel: 100-003049	Main	Address: 2075 W Dublin-Granville Rd	Main	Zone: S-1(Special)
		Worthington, OH 43085		

Applicant	Owner	Chris Hasebrook
Monica Shaner	Worthington City Schools	2075 W DUBLIN-GRANVILLE RD
185 Medick Way	Trent Bowers	Worthington , OH 43085
Worthington, OH 43085-3089	200 Wilson Bridge E RD	Business: (614) 450-6900
Mobile: (614) 595-5138	Worthington, OH 43085	
	Business: 6144506000	

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003518	Architectural Review Board	\$2.00	\$2.00
Total for Invoice INV-00003518		\$2.00	\$2.00
Grand Total for Plan		\$2.00	\$2.00

2075 W. Dublin-Granville Rd.



Linworth School- Community Garden

Greenhouse Construction Plan

Overview: The Linworth School Community Garden Program received a grant for expansion and development from the Harding-Buller Foundation in conjunction with the Worthington Farmers Market. We decided to add a greenhouse as part of this grant and to meet our continued programming plans and needs.

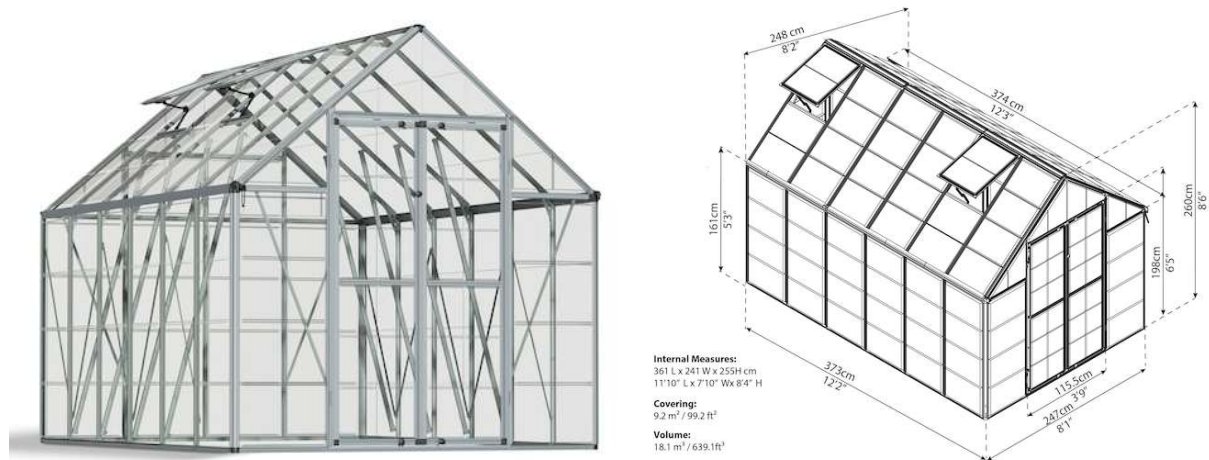
Greenhouse kit: We plan to purchase an 8'x12' ready to assemble kit available through Lowes Home Improvement. We will assemble it according to instructions, but will add a foundation for greater stability.

Foundation: In order to secure the greenhouse and for added safety, we will dig a foundation of about 6 inches, level that, then build a wooden frame from 4 x 4s along the inside of the foundation to anchor the greenhouse. We will then put down a polypropylene tarp across the bottom, and fill the foundation with gravel.

To prevent corrosion, we will apply weather stripping to the pressure treated 4x4s prior to assembling the greenhouse onto the wooden frame.

Utilities: This greenhouse is for season extension, and will employ passive heating techniques. No electrical or plumbing elements will be included.

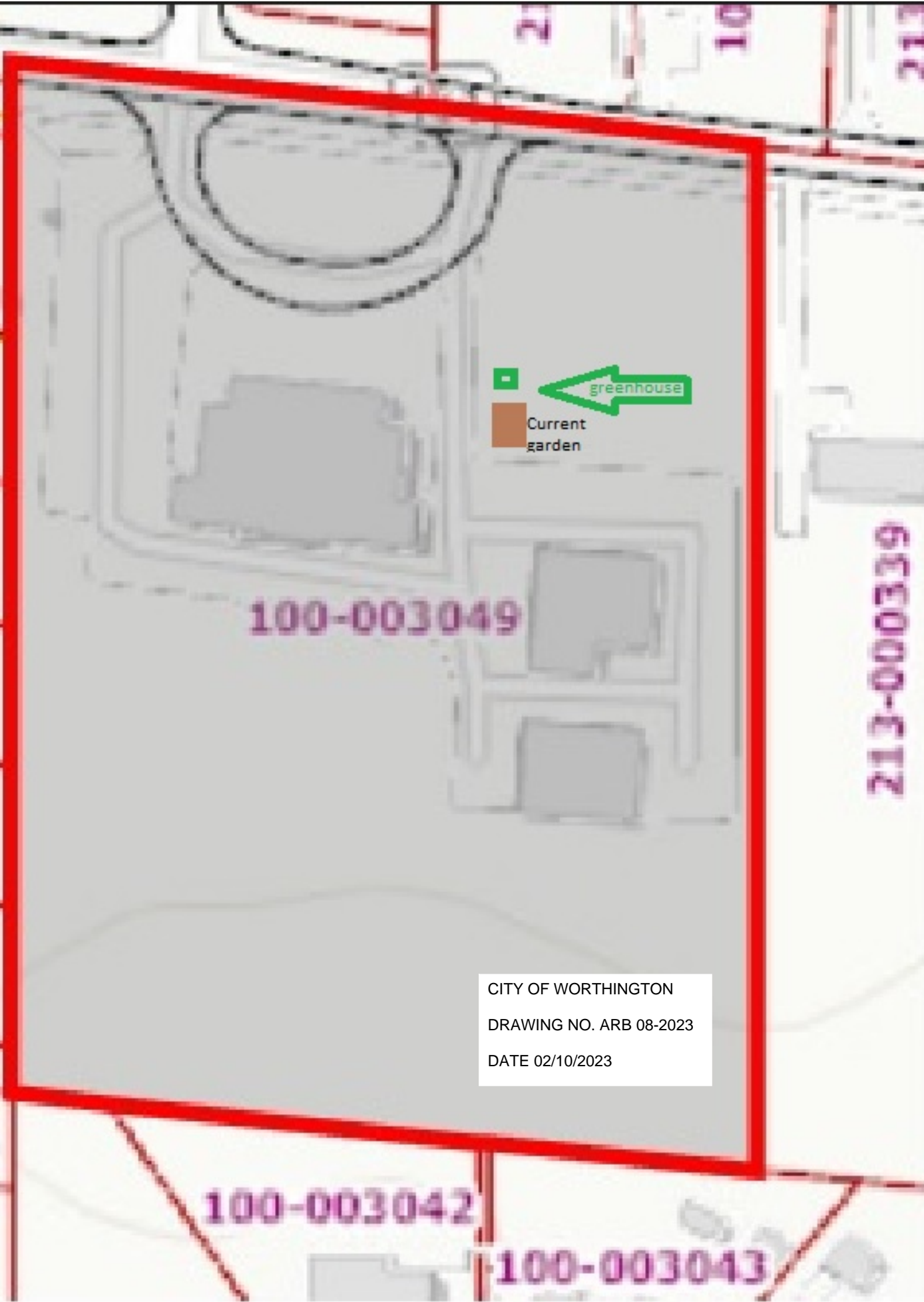
[Palram-Snap-and-Grow-Greenhouse](#)



CITY OF WORTHINGTON

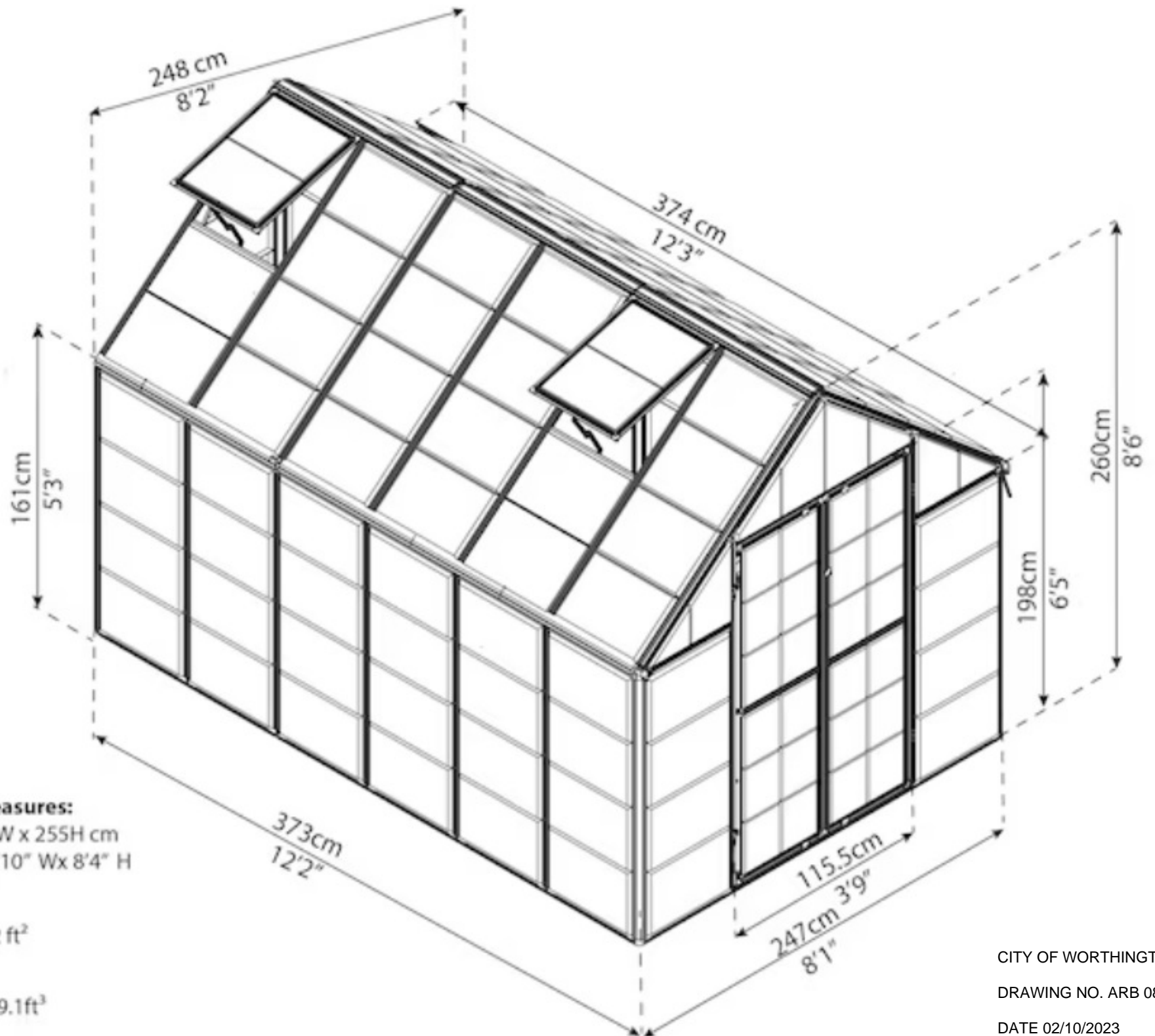
DRAWING NO. ARB 08-2023

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DATE 02/10/2023





Internal Measures:

361 L x 241 W x 255H cm
11'10" L x 7'10" W x 8'4" H

Covering:

9.2 m² / 99.2 ft²

Volume:

18.1 m³ / 639.1ft³



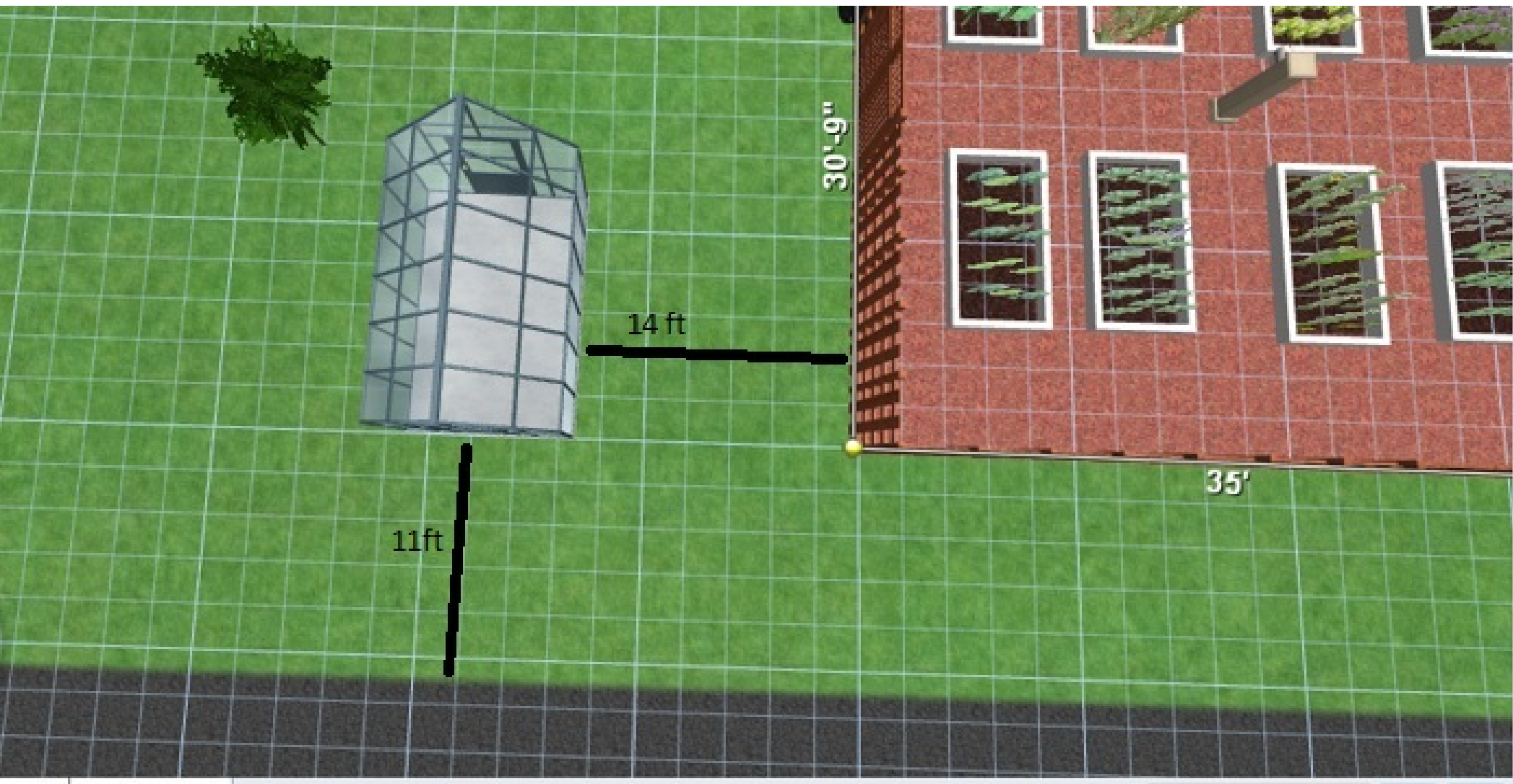
CITY OF WORTHINGTON

DRAWING NO. ARB 08-2023

DATE 02/10/2023



CITY OF WORTHINGTON
DRAWING NO. ARB 08-2023
DATE 02/10/2023





**MPC APPLICATION
SUB 01-2023
1890 W. Dublin-Granville Rd.**

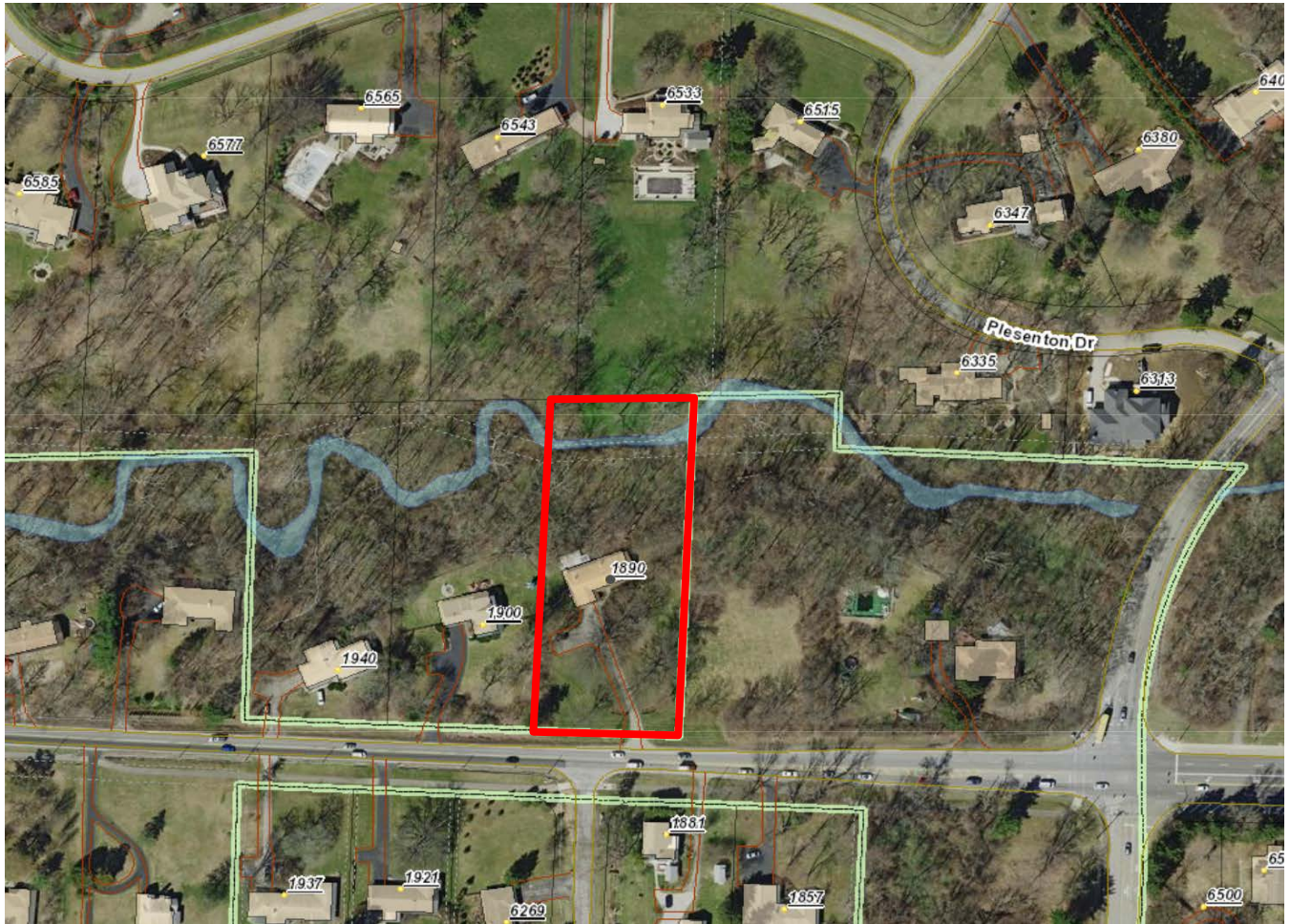
Plan Type: Subdivision	Project:	App Date: 01/27/2023
Work Class: Without Plat Residential	District: City of Worthington	Exp Date:
Status: In Review		Completed:
Valuation: \$0.00		Approval
Description: Tax Parcel Split		Expire Date:

Parcel: 100-006315	Main	Address: 1890 W Dublin-Granville Rd	Main	Zone: R-16(Very Low Density Residential)
		Worthington, OH 43085		

Owner	Applicant
Benjamin Price	Joe Myers
1890 W DUBLIN-GRANVILLE RD	2740 E. Main Street
Worthington , OH 43085	Bexley, OH 43209
Home: (614) 846-9452	Business: (614) 235-8677

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003474	(Subdivision)Without Plat	\$50.00	\$50.00
Total for Invoice INV-00003474		\$50.00	\$50.00
Grand Total for Plan		\$50.00	\$50.00

1890 W. Dublin-Granville Rd.





2740 East Main Street
Bexley, Ohio 43209-2577
(614) 235-8677
Telefax (614) 235-4559
Email: info@myerssurveying.com

January 27, 2023

To Whom It May Concern:


RE: Tax Parcel Split in rear of 1890 W. Dublin Granville Road
Subdivision Without Plat review/approval

Background:

The owner would like to convey a small tract of vacant ground that contains the drainage ditch/creek that currently is situated on the 1890 site to his adjacent property at 6533 Plesenton Drive South.

There will be no new construction or buildings added as part of this process on either parcel.

Thank you,


Joe Myers, P.E., P.S.
Myers Surveying Company

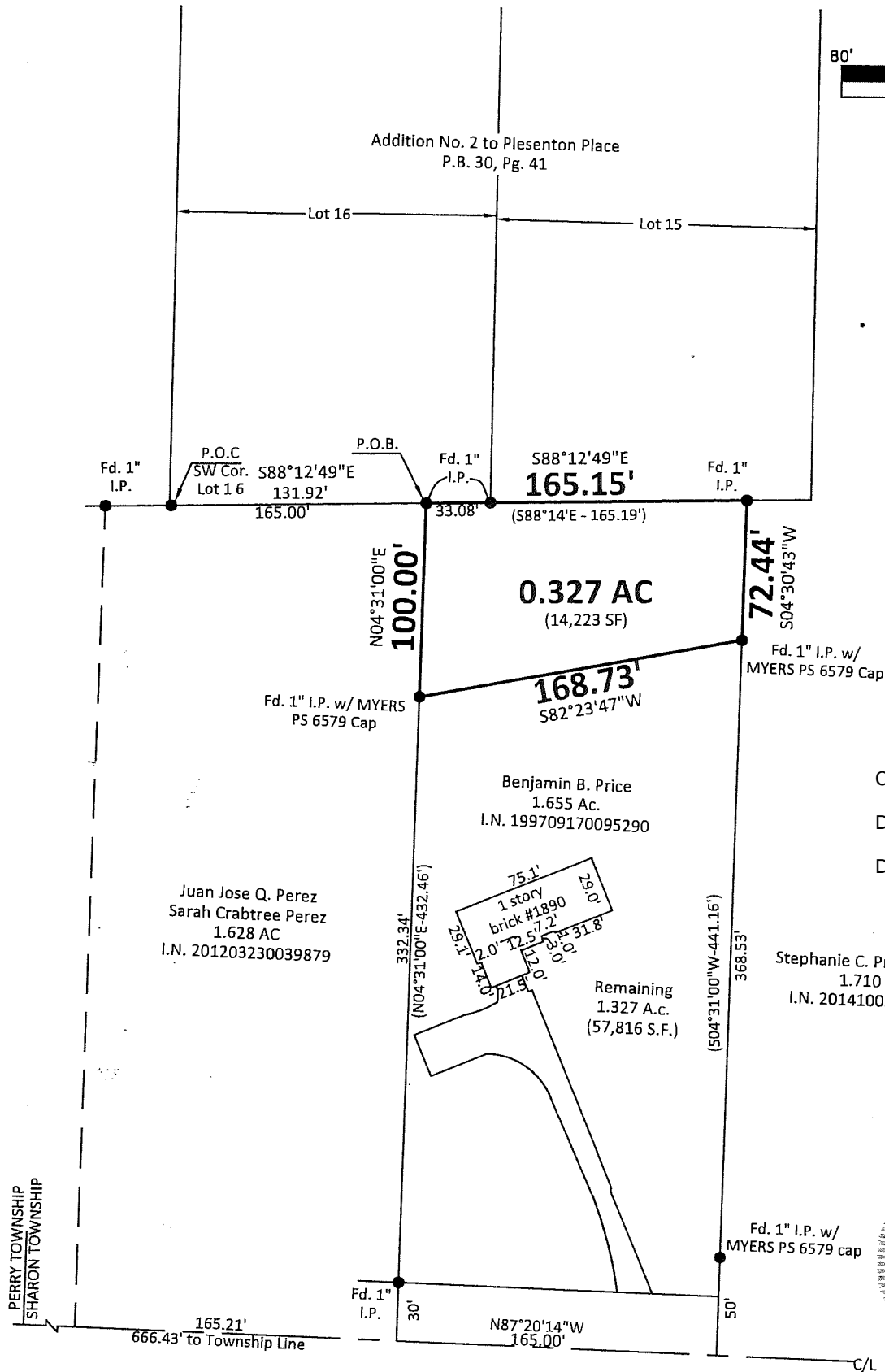
CITY OF WORTHINGTON

DRAWING NO. SUB 01-2023

DATE 01/27/2023

FAX:614-235-4559

Posted Address: 1890 W. Dublin Granville Rd., Worthington, Ohio



Stephanie C. Price, Trustee
1.710 AC.
I.N. 201410030131351



By Adam T. W.
1/2/2023
Professional Surveyor

We hereby certify that the foregoing Boundary Survey was prepared from actual field measurements in accordance with Chapter 4733-37 Ohio Administrative Code. Iron pipes set are 30"x1" O.D. with an orange plastic plug inscribed "MYERS P.S. 6579", unless otherwise noted. Basis of bearings is the west line of L.N. 199709170095290 held as North 04°31'00" East.

Myers Order No.-4-02/02/2022	Rec.	Field	DWG.	Ltr.	Ck.
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2740 East Main Street
Bexley, Ohio 43209-2577
(614) 235-8677
Telefax (614) 235-4559
Email: info@myerssurveying.com

0.327 Acres (14,223 Square Feet)

Situated in the State of Ohio, County of Franklin, City of Worthington, being in the Third Quarter of Township 2, Range 18, United States Military Lands and part of Lot No. 1 designated on the plat made by the Commissioners in partition in case wherein Arthur S. Vining was plaintiff and Sarah J. Vining, et.al., were defendants, in the Court of Common Pleas, Franklin County, Ohio, as it appears in the record of said Case in the Records of said Court in Complete Record 54, Page 1, also being part of the 1.655 Acre tract conveyed to Benjamin B. Price as shown of record in Instrument Number 199709170095290, Franklin County Recorder's Office and being more particularly described as follows:

Commencing at a found 1" diameter iron pipe at the southwest corner of Lot 16 of the Addition No. 2 to Plesenton Place (Plat Book 30 Page 41), also being on the north line of the 1.628 Acre tract conveyed to Juan Jose Q. Perez and Sarah Crabtree Perez (Instrument Number 201203230039879);

Thence, along part of the south line of said Lot 16, part of the north line of said 1.628 Acre tract, South 88° 12' 49" East, 131.92 feet to a found 1" diameter iron pipe at the northwest corner of said 1.655 Acre tract, the northeast corner of said 1.628 Acre tract and being the TRUE POINT OF BEGINNING;


Thence, along the north line of said 1.655 Acre tract, along part of the south line of said Lot 16 and part of the south line of Lot 15 of said Addition, South 88° 12' 49" East, 165.15 feet to a found 1" diameter iron pipe at the northeast corner of said 1.655 Acre tract, the northwest corner of a 1.710 Acre tract conveyed to Stephanie C. Price, Trustee (Instrument Number 201410030131351), passing a found 1" diameter iron pipe at the southeast corner of said Lot 16, the southwest corner of said Lot 15 at 33.08 feet;

Thence, along part of the east line of said 1.655 Acre tract, along part of the west line of said 1.710 Acre tract, South 04° 30' 43" West, 72.44 feet to a found 1" diameter iron pipe with an orange cap inscribed MYERS, P.S. #6579;

Thence, across said 1.655 Acre tract, South 82° 23' 47" West, 168.73 feet to a found 1" diameter iron pipe with an orange cap inscribed MYERS, P.S. #6579 on the west line of said 1.655 Acre tract, the east line of said 1.628 Acre tract;

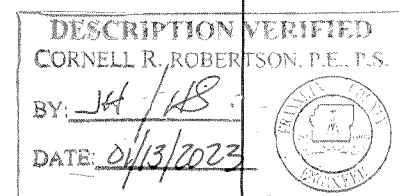
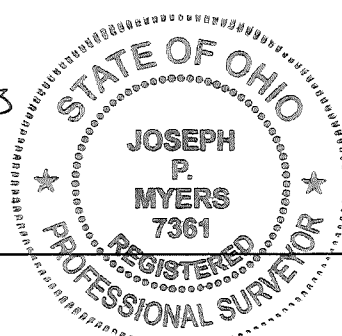
Thence, along part of the west line of said 1.655 Acre tract, along part of the east line of said 1.628 Acre tract, North 04° 31' 00" East, 100.00 feet to the place of beginning **CONTAINING 0.327 ACRES**, subject, however to all legal highways, easements, leases, restrictions of record and of records in the respective utility offices. Iron pipes set are 1" O.D. x 30" long with an orange cap inscribed MYERS P.S. #6579. Basis of bearings is the west line of said 1.655 Acre tract held as North 04° 31' 00" East per Instrument Number 199709170095290. The foregoing description was based by a boundary survey by Myers Surveying in October 2013.

Myers Surveying Company, Inc.


Joseph P. Myers, P.S. #7361

JPM/kms (402022022legal)

1/2/2023



D-099-A
SPLIT
0.327 Acres
OUT OF
(100)
006315

CITY OF WORTHINGTON

DRAWING NO. SUB 01-2023

DATE 01/27/2023