



**BOARD OF ZONING APPEALS
-AGENDA-
Thursday, July 6, 2023 at 7:00 P.M.**

Louis J.R. Goorey Worthington Municipal Building
The John P. Coleman Council Chamber
6550 North High Street
Worthington, Ohio 43085

A. Call to Order - 7:00 pm

1. Roll Call
2. Pledge of Allegiance
3. Approval of minutes of the June 1, 2023 meeting
4. Affirmation/swearing in of witnesses

B. Items of Public Hearing – Regular Agenda

1. **Variance** – Rear Yard Setback – Pergola – **236 E. Stafford Ave.** (Jeffrey E. Klukas) **VAR 17-2023**
2. **Variance** – Accessory Building Area – Shed – **782 Hartford St.** (Brian Hudson) **VAR 18-2023**
3. **Variance** – Side Yard Setback – Shed – **771 Morning St.** (Kasey E. Karafa) **VAR 19-2023**
4. **Variance** – Accessory Building Area – Garages & Pool House – **510 Tucker Dr.** (Bob Skinner/Camillus) **VAR 20-2023**
5. **Variance** – Setback from Alley – Fence – **72 Sharon Springs Dr.** (Chase E. Pitman) **VAR 21-2023**
6. **Variances** – Side & Rear Yard Setback – Shed – **5545 N. High St.** (Meghan Colleli) **VAR 22-2023**

7. **Variance** – Setback from Alley – Fence – **114 E. Riverglen Dr.** (Sherry J. Hubbard) **VAR 23-2023**

8. **Variance** – Rear Yard Setback – New House – **120 Caren Ave.** (James A. Wright/Patel) **VAR 24-2023**

C. Other

D. Adjournment



MEMORANDUM

TO: Members of the Board of Zoning Appeals

FROM: Lynda Bitar, Planning Coordinator
Kenny Ganter, Planning & Building Assistant

DATE: June 30, 2023

SUBJECT: Staff Memo for the Meeting of July 6, 2023

B. Items of Public Hearing – Consent Agenda

1. **Variance** – Rear Yard Setback – Pergola – **236 E. Stafford Ave.** (Jeffrey E. Klukas) **VAR 17-2023**

Findings of Fact and Conclusions

Background:

This property is a .13 acre lot in the R-10 (Low Density Residential) Zoning District, and is from an amended plat of the Tuller & Rileys Subdivision. The lot is 60' wide and about 97' deep. The house was built in 1957 and in 2004 a variance was granted to allow a detached garage to be constructed 3' from the east property line.

The property owners would like to install a patio and pergola behind the house in place of an existing deck.

Worthington Codified Ordinances:

[1149.01 Yard, Area and Height for Dwellings and Accessory Structures.](#)

The required rear yard in the R-10 Zoning District is 30'.

Request:

The applicant would like approval to construct a pergola 15' feet from the rear property line. A variance of 15' feet is requested.

Project Details:

1. The pergola, having a latticework top and no walls, would be made of cedar and installed on 6" x 6" cedar posts above a new paver patio.
2. The pergola is proposed to be 17' 6" wide x 18' deep x 8' high.

3. The pergola would not extend as close to the rear property line as the garage.

Conclusions:

Pergolas are common in Worthington and this structure would be behind the house. The proposed location should not alter the essential character of the neighborhood.

Motion:

THAT THE REQUEST BY JEFFREY E. KLUKAS FOR A VARIANCE FROM CODE REQUIREMENTS TO ALLOW FOR A PERGOLA TO BE CONSTRUCTED IN THE REQUIRED REAR YARD AT 236 E. STAFFORD AVE., AS PER CASE NO. VAR 17-2023, DRAWINGS NO. VAR 17-2023, DATED MAY 24, 2023, BE APPROVED, BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND/OR PRESENTED AT THE MEETING.

2. **Variance** – Accessory Building Area – Shed – **782 Hartford St.** (Brian Hudson) **VAR 18-2023**

Findings of Fact & Conclusions

Background:

This property has 186.22' of frontage along Hartford St. and is 252.25' deep in the northern section; 202.5' deep in the middle section; and 126.12' deep in the southern section. Total lot area is about 0.85 acres. While the property is currently comprised of two tax parcels, the owner has made application to combine them into one parcel. Both parcels are in the AR 4.5 Zoning District.

The front part of this house was originally erected in the late 1830's or 40's on the west side of High St. facing the Village Green. The house was moved to its current location in the 1930's and restored and added onto in the mid 1980's. In 1998, the owner was approved to construct another addition to the south. In 2006, approval was gained for construction of a deck, a garage addition, and a rear screened porch.

The Architectural Review Board approved installation of a shed on the property at its June 8, 2023 meeting.

Worthington Codified Ordinances:

1149.08 Special Yard Requirements.

(b) In any "R" District the total area for accessory buildings shall be limited to 850 square feet and must be compatible in materials and appearance to the other buildings in the area.

Request:

The applicant would like approval to construct a 200 square foot shed. Along with the existing 782 square foot 3-car garage, total accessory building area would be 982 square feet for a requested variance of 132 square feet.

Project Details:

1. The shed is proposed to be 10' from the north side property line and 155' from the rear property line on part of a concrete pad formerly used as a basketball court.
2. The proposed Weaver Barns shed would be 10' x 20' with a gable roof finished in metal, a dormer, windows with window boxes and doors with 6 lights. The colors are shown as Bear Beige, Caramel, Brown and Copper.

Recommendations:

The total accessory building area would be reasonable for this size property. Also, the shed would be complimentary to the house and should not alter the essential character of the neighborhood.

Motion:

THAT THE REQUEST BY BRIAN HUDSON FOR A VARIANCE TO EXCEED ALLOWABLE ACCESSORY BUILDING AREA WITH INSTALLATION OF A SHED AT 782 HARTFORD ST. AS PER CASE NO. VAR 18-2023, DRAWINGS NO. VAR 18-2023, DATED MAY 30, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

3. **Variance – Side Yard Setback – Shed – 771 Morning St. (Kasey E. Karafa) VAR 19-2023**

Findings of Fact & Conclusions**Background:**

This lot is 54.4' wide in the front and 46.4' wide at the rear. Lot area is 0.14 acres. The property is in the AR 4.5 Zoning District.

This 1,820 sq. ft. wood Cottage was constructed in 1908. There is an existing 240 sq. ft. 1-car detached garage to the rear of the home. In 1971 the Board approved a 200 sq. ft. addition to the rear of the existing home; in 1991 the Board permitted the property owner to cover the existing soffit and fascia with vinyl covering; and in 2022 a first-floor rear and side addition was approved.

The Architectural Review Board approved installation of a shed on the property at its June 8, 2023 meeting.

Worthington Codified Ordinances:**1149.08 Special Yard Requirements.**

- (b) Accessory buildings of 120 square feet or less in area must be set back at least five feet from the side and rear lot lines.

Request:

The applicant would like approval to install an 80 square foot shed 22" from the south property line for a variance of 38".

Project Details:

1. The shed is proposed to be installed behind the garage about 22" from the south property line to match the garage setback.

2. The shed would be 8' x 10' with a gable roof and painted to match the house.
3. A shadowbox style fence surrounds the rear of the property.

Recommendation:

Especially with the placement of the existing garage and fence, proposed shed placement should not alter the essential character of the neighborhood.

Motion:

THAT THE REQUEST BY KASEY E. KARAFI FOR A VARIANCE TO INSTALL A SHED IN THE REQUIRED SIDE YARD AT 771 MORNING ST., AS PER CASE NO. VAR 19-2023, DRAWINGS NO. VAR 19-2023, DATED MAY 30, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

4. **Variance** – Accessory Building Area – Garages & Pool House – **510 Tucker Dr.** (Bob Skinner/Camillus) **VAR 20-2023**

Findings of Fact and Conclusions

Background:

This house sits on 1.67 acres in the R-16 (Very Low Density Residential) Zoning District in Medick Estates. The lot is 140' wide and 517.49' deep. The property owner would like to demolish an existing house that was built in 1958 and construct a new 10,398 sq. ft. single-family residence. The property owners are wanting to build a new house with two garages, pool house, and porte cochere.

Worthington Codified Ordinances:

[Section 1123.11\(a\) Building:](#)

"Building" means any structure having a roof supported by columns or by walls and intended for the shelter, housing or enclosure of persons, animals or materials.

[Section 1149.08 \(b\) Special Yard Requirements:](#)

In any "R" District the total area for accessory buildings shall be limited to 850 square feet and must be compatible in materials and appearance to the other buildings in the area.

Request:

The applicant is requesting to construct two attached garages, pool house, porte cochere, and keep the existing pottery barn for a total accessory building area of 2,171 sq. ft. A variance of 1,321 sq. ft. is required.

Project Details:

1. The applicant has stated that they are planning to keep the existing pottery barn (264 sq. ft.) for garden storage. The barn is located at the rear of the house towards the northwest side of the lot.
2. The main attached garage (542 sq. ft.) would be located on the west elevation of the house with an overhead door.

3. The south attached garage (708 sq. ft.) would be attached to the primary residence by a porte cochere (239 sq. ft.) and have panel barn doors on the south elevation and an overhead door on the north elevation.
4. The pool house (420 sq. ft.) would be located at the rear of the house towards the northeast side of the lot.
5. The proposed materials for the accessory buildings are comprised of clapboard siding – 6” exposure, standing seam metal roofing, asphalt shingles, cedar shingles, and vertical shiplap siding. Casement and double hung windows are proposed to match the primary residence.
6. The proposed accessory buildings meet the minimum setback requirements.

Conclusions:

The essential character of the neighborhood should not be altered as the style and materials of the accessory buildings are similar to the new single-family residence.

The variance request for total building area is substantial, although the size of this 1.67 acre property could accommodate the additional buildings.

Motion:

THAT THE REQUEST BY BOB SKINNER ON BEHALF OF JOHN AND COURTNEY CAMILLUS FOR A VARIANCE FROM CODE REQUIREMENTS TO ALLOW THE TOTAL ACCESSORY BUILDING AREA TO EXCEED 850 SQ. FT. AT 510 TUCKER DR., AS PER CASE NO. VAR 20-2023, DRAWINGS NO. VAR 20-2023 DATED MAY 31, 2023, BE APPROVED, BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND/OR PRESENTED AT THE MEETING.

5. **Variance** – Setback from Alley – Fence – **72 Sharon Springs Dr.** (Chase E. Pitman) **VAR 21-2023**

Findings of Fact & Conclusions

Background:

This 0.15 acre property is in the R-10 Zoning District. The property abuts an unimproved alley that runs from Emerson Ave. behind houses on Emerson and Sharon Springs Dr. The alley is only being used by the first homeowner to the north of the alley for access to a garage. It appears fencing has been installed in the right-of-way by two neighboring property owners. The owner to the east has a fence corner in the right-of-way. The owner with the garage installed a split rail PVC fence across the alley to stop anyone from driving through past the garage. Beyond the garage the homeowners have yards extending into the alley.

The applicant would like to install fencing to finish enclosing the rear yard. The site plan does not accurately show the fence location which would be on the property line.

Worthington Codified Ordinances:**1149.01 Yard, Area and Height for Dwellings and Accessory Structures.**

Any dwelling or structure accessory to a dwelling must be setback at least 30 feet from the public right-of-way.

1180.02 "R" District (Fences)

(a) "In any 'R' District, no fence or wall shall be erected in the area between the right-of-way line and the building setback line".

Request:

This request is to allow new fencing across the rear property line. The variance would be 30'.

Project Details:

1. There is existing chain link fencing along the northwest property line and existing 6' vinyl fencing along the southeast property line. There is also vinyl fencing in the alley.
2. The owner would like to add 49'7" of fencing across the back of the property connecting to the existing fences. The fence would be on or inside the rear property line.
3. Fencing is also proposed on both sides of the house. Gates are shown on the north side of the house and the north side of the yard.
4. The style of the proposed fence is 4' high solid white vinyl.

Conclusions:

The essential character of the neighborhood should not be substantially altered as neighboring properties have fences that enclose the rear yard and are located at the right-of-way line or actually in the right-of-way.

The delivery of governmental services should not be affected as there are no utilities in the alley right-of-way.

Motion:

THAT THE REQUEST BY CHASE E. PITMAN FOR A VARIANCE FROM CODE REQUIREMENTS TO ALLOW INSTALLATION OF A FENCE IN THE REQUIRED REAR YARD AT 72 SHARON SPRINGS DR., AS PER CASE NO. BZA 21-2023, DRAWINGS NO. BZA 21-2023 DATED JUNE 5, 2023, BE APPROVED, BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND/OR PRESENTED AT THE MEETING.

6. **Variances – Side & Rear Yard Setback – Shed – 5545 N. High St. (Meghan Colleli) VAR 22-2023**

Findings of Fact & Conclusions**Background:**

Villa Nova Ristorante was started in 1977. The building and site have been renovated over the years, including the addition of parking to the south with the demolition of the former Just Pies building, and upgraded lighting. The parcel is .89 acres and has mixed zoning. Included is a 12' x

14' piece at the northwest corner of the property that has been the location of a shed for a long time. The shed is in the C-4 Zoning District. The back of the property is adjacent to an alley.

The owner would like to replace the shed.

Worthington Codified Ordinances:

[Code Section 1149.02 Yard, Area and Height for all Buildings other than Dwellings](#)

C-4 Zoning District: Required Rear Yard Adjacent to an Alley – 50'.

[1149.08 Special Yard Requirements.](#)

(b) Accessory buildings of 120 square feet or less in area must be set back at least five feet from the side and rear lot lines.

Ohio Building Code

Although [OBC 102.10](#) exempts sheds not exceeding 120 sf in area from approval by the building official, it still requires the owner to comply with all of the applicable provisions of the rules of the [Ohio] Board [of Building Standards]. In this particular case the shed is less than 5' from the property line. In that case, [OBC 602.1](#) and [Table 602](#) requires the exterior walls be of 1 hour, fire-resistance rated construction for a Group U occupancy. The building official does not have authority to enforce this requirement, but the owner has a duty to comply with the requirement.

Request:

The applicant is seeking approval to install a new shed 2' from the west property line for a variance of 48'; 1' from the north property line for a variance of 4'; and 2' from the east property line for a variance of 3'.

Project Details:

1. The proposed shed would be the same size as the existing which is 8' x 12' (96 square feet in area). Location of the shed would be on the 12' x 14' section of property, with placement 1' from the north property line and 2' from the east and west property lines. Variances were never granted for the previous shed, so variances are now needed with the replacement.
2. The new shed is planned to match the existing with a gable roof and brown exterior. The siding would be LP Smartside and the roof would be brown metal. A double barn door is proposed for the rear.
3. Ohio Building Code requirements could be met with the addition of fire-resistant material on the inside of the shed.

Conclusions:

The essential character of the neighborhood should not be substantially altered with the replacement shed, as it would look similar and be in the same location.

The delivery of governmental services should not be adversely affected as the shed would be in the same location and no problems have ever been identified.

Motion:

THAT THE REQUEST BY MEGHAN COLLELI ON BEHALF OF THE VILLA NOVA RISTORANTE FOR VARIANCES TO REPLACE A SHED IN THE REQUIRED YARDS AT 5545 N. HIGH ST. AS PER CASE NO. BZA 22-2023, DRAWINGS NO. BZA 22-2023, DATED JUNE 6, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

7. Variance – Setback from Alley – Fence – 114 E. Riverglen Dr. (Sherry J. Hubbard) VAR 23-2023

Findings of Fact & Conclusions**Background:**

This property on the north side of E. Riverglen is 62.5' wide and 158.65' deep (9915 square feet in area) and in the R-10 (Low Density Residential) Zoning District. The back of the property abuts an unimproved alley that runs between Hartford and Granby Streets. Replacement of an existing chain link fence at the rear of the property is proposed, however, that fence is in the alley right-of-way. Any new fence would need to be at the rear property line unless the alley was vacated.

Worthington Codified Ordinances:**[1149.01 Yard, Area and Height for Dwellings and Accessory Structures.](#)**

Any dwelling or structure accessory to a dwelling must be setback at least 30 feet from the public right-of-way.

[1180.02 "R" District \(Fences\)](#)

(a) "In any 'R' District, no fence or wall shall be erected in the area between the right-of-way line and the building setback line".

Request:

The applicant would like to install new fencing along the rear and east property lines for a variance of 30'.

Project Details:

1. Due to the existing chain link fence being in the alley, replacement would not be allowed. The owner is considering removal of that fence or possibly petitioning to vacate the alley. In the meantime, a variance to place the new fence on the property line (~8' south of the chain link) would allow the owner to proceed with installing a 6' fence if desired.
2. The proposed fence would be 6' high red cedar shadowbox style. In addition to location along the rear property line, the fence would head south from the northeast corner of the lot and end at the rear of the house with a gate. A gate is also proposed between the northwest corner of the house and an existing fence along the west property line.
3. There are no City utilities in the 16' wide alley, only overhead electric, and no vehicular access points. Others have installed planting beds, play equipment, garages and fencing in and adjacent to the alley.

Conclusion:

The essential character of the neighborhood should not be substantially altered as neighboring properties also have structures in and adjacent to the alley right-of-way.

Motion:

THAT THE REQUEST BY SHERRY J. HUBBARD FOR A VARIANCE FROM CODE REQUIREMENTS TO ALLOW LOCATION OF A FENCE IN THE REQUIRED REAR YARD AT 114 E. RIVERGLEN DR., AS PER CASE NO. VAR 23-0023, DRAWINGS NO. VAR 23-2023 DATED JUNE 6, 2023, BE APPROVED, BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND/OR PRESENTED AT THE MEETING.

8. **Variance – Rear Yard Setback – New House – 120 Caren Ave. (James A. Wright/Patel)**
VAR 24-2023

Findings of Fact & Conclusions**Background:**

This R-10 Zoning District property is 0.29 acres in size and irregularly shaped due to the curve of the street. The property is adjacent to the Worthington Gateway commercial development to the north and east; a commercial development across Caren Ave. to the south; and a single-family residential property to the west.

The lot is currently vacant due to the previous house being demolished in 2016. That house was about 25' from the front and rear property lines. A new house is now proposed.

Worthington Codified Ordinances:

[1149.01 Yard, Area and Height for Dwellings and Accessory Structures.](#)

The required minimum rear yard in the R-10 Zoning District is 30'.

Request:

The applicant is requesting to locate the new house 23' from the north property line for a variance of 7'.

Project Details:

1. The applicant feels a salable house cannot be constructed without a variance due to the shape of the lot.
2. The proposed two-story house would be 3056 square feet in area total, with the first floor being 1196 square feet.

Conclusions:

The rear yard variance would not be substantial and should not impact the commercial property to the north.

With the shape of the lot, it may be difficult to construct any home without a variance.

Motion:

THAT THE REQUEST BY JAMES A. WRIGHT ON BEHALF OF OHM PATEL FOR A VARIANCE FROM CODE REQUIREMENTS TO CONSTRUCT A NEW HOUSE IN THE REQUIRED REAR YARD AT 120 CAREN AVE., AS PER CASE NO. VAR 24-2023, DRAWINGS NO. VAR 24-2023, DATED JUNE 8, 2023, BE APPROVED, BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND/OR PRESENTED AT THE MEETING.

1129.05 Powers and Duties.

(b) Exceptions. In hearing and deciding appeals, the Board shall have the power to grant an exception in the following instances:

(5) Temporary use permits. A temporary use permit may be granted where the temporary use of a structure or premises in any district where such temporary use shall be for a period of more than ninety days is proposed for a purpose or use that does not conform to the regulations prescribed elsewhere in this Zoning Ordinance for the district in which it is located, provided that such use be of a temporary nature and does not involve the erection of a substantial structure. A temporary use permit for such use shall be granted in the form of a temporary and revocable permit, for not more than a six-month period, subject to a six months' renewal and such conditions as will safeguard the public health, safety, convenience, and general welfare.

(6) Extension and construction completion periods. The Board may authorize, for good cause shown, extension of the time period provided for the completion of structures in the Building Code. However, the Board may not authorize extension of the period for greater than a one-year extension of time subject to one-year renewals and such conditions as will safeguard the public health, safety, convenience, and general welfare.

(c) Area Variances. The Board shall have the power to hear and decide appeals and authorize variances from the provisions or requirements of this Zoning Ordinance. In authorizing a variance, the Board may attach conditions and require such guarantee or bond as it may deem necessary to assure compliance with the objective of this Zoning Ordinance. The Board may grant a variance in the application of the provisions of the Zoning Ordinance when it is determined that practical difficulty exists based on the following factors:

(1) Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance;

(2) Whether the variance is substantial;

(3) Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer a substantial detriment as a result of the variance;

(4) Whether the variance would adversely affect the delivery of governmental services (e.g. water, sewer, garbage).

(5) Whether the property owner purchased the property with knowledge of the zoning restriction;

(6) Whether the property owner's predicament feasibly can be obviated through some method other than a variance; and,

(7) Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting the variance.

(d) Interpretation of District Map. In case of any questions as to the location of any boundary line between zoning districts, a request for interpretation of the Zoning District Map may be made to the Board which shall interpret the Map in such a way as to carry out the intent and purpose of this Zoning Ordinance.

(e) Extension of Nonconforming Use. The Board shall have the authority to grant an extension of a building or the expansion of the use of a lot devoted to a nonconforming use upon a lot occupied by such building or use, or on a lot adjoining, provided that such lot was under the same ownership as the lot in question on the date such building or use became nonconforming, and where such extension is necessary and incidental to the existing use of such building or lot. However, the floor areas or lot areas of such extensions shall not exceed, in all, 100 percent (100%) of the area of the existing building or lot devoted to a nonconforming use.



MINUTES OF THE REGULAR MEETING
BOARD OF ZONING APPEALS

June 1, 2023

A. Call to Order – 7:00 p.m.

1. Roll Call - the following members were present: Cynthia Crane, Chair; Brian Seitz, Secretary; and Beth Benzenberg. Also present were Mikel Coulter, Representative of the MPC; Lynda Bitar, Development Coordinator; and Kenny Ganter, Planning and Building Assistant. Board member Garrett Guillozet, Vice-Chair, was absent.
2. Pledge of Allegiance
3. Approval of Minutes of May 4, 2023 meeting
Mr. Coulter moved to approve the minutes and Mr. Guillozet seconded the motion. All members voted "Aye" and the minutes were approved.
4. Affirmation/swearing in of witnesses

B. Items of Public Hearing – Consent Agenda

Mrs. Crane said there has been a request to remove item #1 from the consent agenda so it will be heard afterward.

1. **Extension of Construction Completion Period – Renovation – 325 E. North St. (Jeff Stone)**
EXCP07-2023 (See below)
2. **Temporary Use Permit – Event Space – 862 Proprietors Rd., Suite B (Vibe Venue LLC)**
TUP 02-2023

Findings of Facts and Conclusions

Information that has not changed is italicized.

Background:

This property is in the I-1 (Restricted Light Industrial) Zoning District and was developed as part of the Worthington Station Office Condominium project. The building is 3600 square feet in area and has two suites. The tenant in Suite A is Kevin S. Huelsman, DDS.

A business called Vibe Venue is seeking approval to continue to operate at this location. The City became aware of the business in October 2022 and determined the use would be considered an

Entertainment Facility. Since the use is not a permitted or conditional use in the I-1 Zoning District, the business could only be allowed with a Temporary Use Permit.

The Board of Zoning Appeals approved a Temporary Use Permit for six months at their January 5, 2023 meeting. The permit expires on July 5, 2023. The applicant is wanting another six months to operate the business at this location.

Worthington Codified Ordinances:

[Section 1129.059\(5\) – Temporary Use Permits](#)

A temporary use permit may be granted where the temporary use of a structure or premises in any district where such temporary use shall be for a period of more than ninety days is proposed for a purpose or use that does not conform to the regulations prescribed elsewhere in this Zoning Ordinance for the district in which it is located, provided that such use be of a temporary nature and does not involve the erection of a substantial structure. A temporary use permit for such use shall be granted in the form of a temporary and revocable permit, for not more than a six-month period, subject to a six months' renewal and such conditions as will safeguard the public health, safety, convenience, and general welfare.

[Section 1123.31 Entertainment Facility.](#)

“Entertainment facility” means any permanent or temporary building, structure or premises in which or upon which:

- (a) Live performances are conducted by dancers, singers, musicians, comics and similar entertainers whether as the primary or incidental use of such building, structure or premises; or
- (b) Activities are located such as bowling alleys, dance halls, live theaters, motion picture theaters, nightclubs, video arcades, and similar activities whether as the primary or incidental use of such building, structure or premises.

[Section 1147.01 Permitted Uses.](#)

Light manufacturing and assembly
Automotive services
Animal hospitals
Plant production
Equipment sales/storage
Offices

Essential services
Accessory uses
Warehousing
Veterinary Care Center
Sexually Oriented Business

[Section 1147.01 Conditional Uses.](#)

Ancillary retail/service
Restaurants
Printing and publishing
Wholesale business
Heliports
Public service facilities
Agriculture
Recreational facilities
Laboratories, research and development, and
clinical testing facilities
Vocational instruction

Unit storage facility
Resident manager's residence
Automotive services - major
Sale and storage of building materials
Dog and cat day care center
Breweries, distilleries and wineries

Request:

An additional Temporary Use Permit is requested to allow an entertainment facility (Vibe Venue) to remain operating in the I-1 Zoning District for six months.

Project Details:

1. Vibe Venue hosts events in the space typically on weekends and limited hours during the week, at times when the neighboring businesses are in operation.
2. Ample parking exists at this location and there is no residential near the site.
3. Staff has not been made aware of any complaints regarding this use.

Conclusion:

Another Temporary Use Permit for six months for this use is appropriate. Should the Board approve this application, the tenant would then have to re-locate after expiration.

Motion:

THAT THE REQUEST BY AMBER AND SAMUEL FULLAH FOR A TEMPORARY USE PERMIT FOR SIX MONTHS TO OPERATE AN ENTERTAINMENT FACILITY IN THE I-1 ZONING DISTRICT AT 862 PROPRIETORS RD., AS PER CASE NO. TUP 02-2023, DRAWINGS NO. TUP 02-2023, DATED MAY 1, 2023, BE APPROVED, BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND/OR PRESENTED AT THE MEETING.

Mr. Coulter moved to approve the Consent Agenda, and Mr. Seitz seconded the motion. All Board members voted, "Aye," and the motion was approved.

1. Extension of Construction Completion Period – Renovation – 325 E. North St. (Jeff Stone) EXCP07-2023

Findings of Fact and Conclusions**Background:**

This property is in the R-10 (Low Density Residential) Zoning District in Tuller and Riley's Addition. The existing house was built in 1961 and is 1,196 sq. ft. The owner is completing an interior renovation and constructing a new addition to the existing house.

The permit was issued on November 29, 2021 and expired on May 30, 2023. Since the owner is completing all the work themselves and working through hip and knee replacements, it is taking longer than expected. This is the applicant's first time extension request.

Worthington Codified Ordinances:**[Section 1305.06\(b\) Compliance with Ordinances](#)**

The permit authorizing the work as shown on the approved construction documents is invalid if the work is not completed, inspected, and approved within eighteen months of the issuance of the permit.

Section 1305.06(c) Compliance with Ordinances

Before any work authorized by a permit may continue for which the permit is invalid, the owner shall make application to the Board of Zoning Appeals for an extension of time as required under Chapter 1129 of the Planning and Zoning Code. Failure to complete work within said time period or any additional time granted by the Board of Zoning Appeals shall constitute a violation of this code.

Request:

The applicant is requesting to extend the construction completion period for one year.

Project Details:

1. The last inspection was completed in April 2022. Rough and final inspections are needed to complete the project.
2. Remaining work includes a basement well window installation, patio deck, and plumbing alterations.
3. The front deck has not been approved and information is required to be submitted to get full plan approval.

Conclusions:

Staff feels a one-year time extension should provide ample time to complete the remaining work, call for inspections, and close the permit.

Discussion:

Mrs. Crane: Is the applicant here?

Yes, please come forward to the microphone and state your name and address for the record.

Mr. Jeff Stone, 325 East North Street

Mrs. Crane: And what do you have to add to staff's presentation?

Mr. Stone: Just one correction that front porch that Ken has mentioned that I did mention to Don last year that that part of the project is not going to be. That's why no plans have been presented for that. We're not doing a front porch. We're just doing new paver pad on top of the existing concrete so that is not part of what's going to be extended.

Mrs. Crane: All that is left to complete is the window well and what was the other thing?

Mr. Stone: The window well is built as shown on the picture but it's basement windows to go into that area and that has not been completed yet.

Mrs. Crane: So the well is done but not the windows?

Mr. Stone: The two small basement windows that currently exist will become one plus taller that way they become full ingress/egress windows which now allows for ultimately basement finish at some point in time. And then there is a small addition onto the deck that is shown there too that has to be completed in the one picture that showed the flowers on the fence shows the wood material on the sawhorses for the completion. There's about three more feet of deck to be built onto what's there. Right there it is, 90 percent complete. Well, the basement windows are considered interior so that's there and then there are just a few small things and then I have final plumbing and final electrical permit. It's nice to walk again. Two hip surgeries. It's interesting the surgeon says as soon as you have the first hip done four weeks you'll need the second and then

you'll be to do the knee which caused it to begin with. So, I'm going the whole rotation so that's it's great to walk again so that's nice.

Mrs. Crane: Anyone in the audience who would like to speak for or against this proposal? Yes please come forward state your name and address.

Mrs. Tiffany Copley: I am Tiffany Copley. I live at 335 directly next door to the applicant. Sorry 335 East North Street. I guess I'm concerned about a whole other year of construction. They moved in. We've basically had two years of almost continuous noise. Besides the you know with the permitted items we've got enclosed the back porch to make it more of like a room. Added the back deck. There's two additions that were put on the garage. Fencing the whole yard. When they're doing the interior work too a lot of times they're doing stuff outside you know cutting things and stuff like that that will be taken in to do the work inside. Besides the things that required permit there's a lot of things that went on that don't require a permit but still cause significant disruption in the general area. We've got they re-graveled the driveway. They completely resurfaced like the back half of the yard. So those all required you know large trucks coming in dropping loads of stuff. You know with they he's got extensive raised garden beds that cover probably half of that very large backyard. You know these are almost two-thirds acres yards so that's a big area and we're not talking little you know buy them at Lowe's raised beds. They're like three feet tall with like things on top and you know building those again sawing hammering you know things like that dirt to fill those. You know there's machinery bobcats stuff going on back there. There's a metal roof on the garage that they put in new siding on the house. Solar panel installation in the backyard a ton of tree work that were multi-day all-day projects. Then the trees are like that got cut down or in the back of the property and get cut you know random at assorted times to do other things with them. And you know all of those things again like those things don't require a permit but they add on to the amount of you know disruption that we have. We have a pool in our backyard. I was pregnant last summer. I just wanted to go be in my pool and be a manatee okay and it was so loud out there that myself and my children you know didn't use our backyard and our pool. You know and we were trying to be patient because you know they moved in they want to get this stuff done but it's just at this point it's excessive and it's impeding on the use you know our enjoyment of our own property. You know we bought a house in a quiet neighborhood for a reason you know that could torn the whole house down and started over again you know by now. And you know it's nice and it's nice and it's not personal you know they're nice people you know but it's just at this point you know a whole other year of it like I can't you know my husband also works swing shift. You know there's a week he works overnight there's a week that he works you know afternoon and he comes home at 12:30 or 1 o'clock in the morning you know so he sleeps odd hours. I have a nine-month-old baby now you know and napping and stuff like that and it's just been hard. You know and I'm not the only one who isn't happy with it but I'm the only one willing to speak up around us that I know of. You know there's a few other people who have said something but they're afraid to say something you know out loud. So you know and you know of course they need to get the stuff done like I'm not saying let's just you know leave make them leave things half done that's not right. But I feel like rather than just grant hey you know here you go from seven to seven you for another year you can do whatever you want. I would like to you know maybe just you know is there something in between that we can do that makes it fair to the neighbors as well because all this stuff is stuff that people normally do in more of a span of like five to ten years or more. You know like they've completely overhauled everything on their property you know in two years so

it's just been a lot. You know I don't know if like you know maybe we can just put a hold on it till school's back in session so the kids can be outside and not have to you know hear that. Can we limit the number of hours. You know is there an in between option for something like that?

Mrs. Crane: I mean I really don't think we can put that kind of condition on it if we want the project done. Now we're not living next door but from what we see here it's not an unusual request. We've been getting especially since the pandemic kind of ended enough for people to pick up their construction projects again. I mean a lot of extension construction completion periods because for various reasons involved in not too many hip operations but you know supply problems.

Mrs. Copley: For sure and if it was just the construction you know the stuff that you guys are approving you know then I don't think that that would be you know that but like it's the combination of everything now that you know it's just like free reign to you know be another year of.

Mrs. Crane: It sounds like there is not that much left to do hopefully.

Mrs. Copley: I mean hopefully not.

Mrs. Crane: But you know we have some we've seen projects where people have come back multiple times.

Mrs. Copley: I know. I'm sure.

Mrs. Crane: Do we have hours?

Mr. Ganter: No, not with construction projects.

Mrs. Copley: No, I mean it's seven to seven for noise regulations but I mean that's when you want to be outside you know doing things too so.

Mrs. Crane: Whatever the regulations are that's what would have to be met I think.

Mrs. Bitar: Have you spoken directly to your neighbors?

Mrs. Copley: I mean I haven't spoken you know that directly to them but there have been you know assorted you know some concerns raised here and there and I don't feel like I really get much of a solid response from you guys so you know and again like this it's not personal it's not and we haven't been you know like we haven't tried to be like you know be problematic because we've been hoping that it's just been getting going to get done.

Mrs. Crane: Oh okay first of all any discussion is going to have to be in front of the microphone because it's on tape and it you know it's being recorded. Secondly, I think any discussion between the parties involved between you and your neighbors that's not really something that we would discuss here that's something that you should discuss.

Mrs. Copley: Right yeah mostly like I said I was just hoping that you know there would be like maybe some sort of you know some sort of negotiation on you know what you might be know allowed just to to give us something of a break but you know I don't know how you know how it is on your end so.

Mrs. Crane: Well as I said that that's not you know we have limits to what we can approve and not approve and what I'm seeing is kind of a run of the mill project request. I mean like I said we've seen a number of these kinds of requests. I think it might be a good idea to talk with your neighbors. I have a feeling that they maybe didn't have any idea that this was going on and maybe he wasn't aware of you know your concerns with your children and you weren't aware of his medical concerns and I don't know.

Mrs. Copley: All right thank you

Mrs. Crane: Are there any other comments, is there anyone else in the audience who would like to

Speak for or against this, yes, sir please come forward state your name and address.

Mr. William Roberts: My name is William Roberts I live at 305 East North which is the opposite side and one of the things I would note we purchased our lot from Harry and June Todd the late Harry and June Todd in 2013 and one of the things that has been very evident is there was an awful lot of work not done at 325 because Harry just wasn't up to it. The trees in the back the reason for tree work we did a whole bunch of it on our lot when in the construction process. That all needed to be done on Harry's old lot and a number of other things of that nature. So in terms of the volume of tree work yeah I have no clue when Harry last had those trees looked at but I know it was before 2013 so there is a lot of work, there has been a lot of work there so in terms of cramming five or ten years worth of effort into two years that's kind of what's happening because nothing was done for so many years. Thank you.

Mrs. Crane: Is there anyone else who would like to speak about this proposal? Board members do you have any further thoughts or motions?

Mr. Seitz: I will add just one additional thought. The good news is that you were heard today right. The good news is you know that there's somebody that lives right next door to you that has some concerns. So start the dialogue - you're right there.

Motion:

Mr. Seitz moved:

THAT THE REQUEST BY JEFF STONE FOR AN EXTENSION OF CONSTRUCTION COMPLETION PERIOD UNTIL JUNE 1, 2024 AT 325 E. NORTH ST., AS PER CASE NO. EXCP 07-2023, DRAWINGS NO. EXCP 07-2023, DATED MAY 2, 2023, BE APPROVED, BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO/OR PRESENTED AT THE MEETING.

Mr. Coulter seconded the motion. Mr. Ganter called the roll. Mrs. Benzenberg, aye; Mr. Coulter, aye; Mr. Seitz, aye; and Mrs. Crane, aye. The motion was approved.

B. Items of Public Hearing – Regular Agenda

1. Variance – Side Yard Setback – Hot Tub – 688 Hartford St. (Marcus Hitt) VAR 12-2023

Mrs. Bitar reviewed the following from the staff memo:

Findings of Fact & Conclusions

Background:

This house is a Cape Cod that was built in 1938 and is a contributing building in the Worthington Historic District. The property is 43' wide and extends roughly 252' to the east. In recent years the owners have constructed a rear addition; replaced the siding and windows; renovated the garage; constructed a shed; replaced existing fencing; replaced the front porch and drive; and installed a

rear patio. A hot tub was approved at the end of 2022 and was placed in a temporary location; and the ARB approved the permanent location at its April 27, 2023 meeting.

Worthington Codified Ordinances:

Code Section 1173.05 Portable and Nonportable Swimming Pools

(a) For the purposes of this section, the following terms are defined as follows:

"Portable swimming pool" means a container which is designed or used for wading purposes; which will not permit filling with water to a depth greater than 24 inches; and which may be dismantled, stored or moved from one place to another without the use of tools other than those normally found in a household workshop.

"Nonportable swimming pool" means any artificial body of water, whether inground or above-ground which conforms to the following criteria.

- (1) It is supplied with water from a controlled water source.
- (2) It is not enclosed within a building.
- (3) The depth of water exceeds 24 inches at any point.

(b) Portable swimming pools shall be considered as a conforming use in any "R" or "AR" District.

(c) Nonportable swimming pools may be allowed as an accessory use only in "R" and "AR" Districts provided that they comply with the following conditions and requirements:

- (1) The pool is intended and used solely for the enjoyment of the occupants of the principal use of the property on which it is located.
- (2) The pool may not be located, including any walks or paved areas or accessory structures adjacent thereto, closer than 10' to any property line of the property on which it is located.
- (3) The swimming pool or the property as hereinafter defined on which it is located, shall have a barrier as required by Chapter [1305](#) to prevent uncontrolled access by children or other persons from the street or other adjacent properties.

Request:

The proposed permanent location for the hot tub is 5' from the south property line. A variance of 5' is requested.

Project Details:

1. The 84" x 84" x 36" hot tub was originally placed on the north side of the rear patio. The unit is a Master Spas, Clarity Spas Balance 7. An additional Arborvitae was planted to help with privacy.
2. The proposed permanent location is 5' from the south property line and just east of the patio. A concrete pad is planned for the placement and a paver walkway would lead to the hot tub.
3. A fence is planned to screen the hot tub on the north side. The proposed fence is an 8.5' wide section that is 66" tall with 4" cedar boards spaced 2-3" apart.

Conclusion:

If the hot tub was considered an accessory structure the Code would allow placement to be 5' from the property line. Because hot tubs meet the swimming pool definition 10' is required. Installation

should not alter the character of the neighborhood as there are accessory buildings that are as close to the property line but substantially taller than a hot tub.

Discussion:

Mrs. Crane: This is a 43' wide lot which is quite narrow.

Mrs. Bitar: Right. And due to the height of the hot tub it really won't be seen from the right-of-way or the neighbors to the south, and there will be a screen on the north. It should blend in.

Mrs. Crane: The applicant come forward, please, to the microphone. State your name and address.

Mr. Marcus Hitt: Marcus Hitt, 688 Hartford Street.

Mrs. Crane: Anything to add to staff's presentation?

Mr. Hitt: I mean, I think they covered the facts. The hot tub will be right at 5 feet off the property line. Mr. Browning is the neighbor to the south. I walked him back, talked him through it. He's totally comfortable and has no objections. The reason why we're asking for the variance is it's a really narrow lot. So if you move the hot tub 10 feet out, it just obstructs the property. And also I think just aesthetically would look strange. The hot tub got delivered dramatically earlier than we thought, which is why we placed it or replaced it. So the intent was to actually do this patio originally. But things work out the way that they do.

Mrs. Crane: Is there anyone in the audience who would like to speak about this proposal, board members, any further thoughts?

Mr. Seitz: I have a question. I should probably know this. I apologize for not knowing this, but the fence. Are there any variance requirements for the fence?

Mrs. Bitar: No, it's not over 6 feet in height, which is really the requirement that it has to meet. It is not in the required 10 foot setback. It's on the north side.

Mrs. Crane: So the height, I was wondering about that too when I was reading this, but the height of the fence is something that ARB looks at.

Mrs. Bitar: It looked at the height and the style.

Mrs. Crane: As long as it's within the 6 foot limit.

Mrs. Bitar: Then it meets code requirements.

Mr. Coulter: We've approved hot tubs within that distance before, so we didn't say it was anything outside that we haven't done in the past.

Motion:

Mr. Coulter moved:

THAT THE REQUEST BY MARCUS W. HITT FOR A VARIANCE FROM REQUIRED SIDE YARD TO INSTALL A HOT TUB AT 688 HARTFORD ST., AS PER CASE NO. VAR 12-2023, DRAWINGS NO. VAR 12-2023, DATED APRIL 18, 2023 BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

Mrs. Benzenberg seconded the motion. Mr. Ganter called the roll. Mr. Seitz, aye; Mrs. Benzenberg, aye; Mr. Coulter, aye; and Mrs. Crane, the motion was approved.

2. **Variance – Front Yard Setback – Fence – 357 W. Dublin-Granville Rd. (Hannalora Brown)**
VAR 13-2023

Mrs. Bitar reviewed the following from the staff memo:

Findings of Fact & Conclusions

Background:

This split-level was constructed in 1962 and is on a 0.24 acre lot in the R-10 Zoning District on the south side of the W. Dublin-Granville Rd. access drive. Dublin-Granville Rd. is considered a regional thoroughfare.

An application for a 6' tall privacy fence was heard by the ARB on October 13, 2022 and tabled. At that meeting, the Board encouraged the applicant to install a lower, more open style fence and possibly use landscaping to help with screening. The ARB then heard and approved a request to install a 4' tall black aluminum picket fence at its May 11, 2023 meeting.

Worthington Codified Ordinances:

[Section 1149.07 Setback of Buildings on Principal Streets and Highways.](#)

The setback for all buildings and accessory buildings along major traffic routes shall be:

- | | |
|---|----------|
| (a) Along freeways and expressways: | 50 feet |
| (b) Along regional thoroughfares: | 50 feet |
| (c) Along High Street northward from Worthington-Galena Road: | 100 feet |

[Section 1180.02 "R" Districts \(Fences\)](#)

(a) In any "R" District, no fence or wall shall be erected in the area between the right of way line and the building setback line except for a wall necessary to accommodate differences in grade. No fence or wall in an "R" district shall exceed a height of six feet.

(b) Solid fences and walls shall be constructed of brick, stone, wood or other compatible material as determined by the Building Inspector. No barbed wire fences or a fence having cutting edges of any kind shall be constructed or maintained within this district. Supporting members for walls or fences shall be installed so as not to be visible from any other property which adjoins or faces the fences or walls. This shall not apply to fences with vertical supporting members where the fence is designed to be identical in appearance from either side.

Request:

The owners would like to install the fence 48' from the right-of-way line for a requested variance of 2'.

Project Details:

1. The fence is proposed to extend from the east side of the house to the side property line at a location 48' from the front property line to enclose the chimney.
2. The fence would then enclose the rear of the property.

3. A gate is proposed near each side of the house.
4. Proposed fence style is a 4' tall black aluminum picket fence.

Conclusions:

The requested variance is not substantial and should not alter the character of the neighborhood.

Discussion:

Mrs. Bitar: She is not able to be here this evening and we were hoping because it's a pretty simple request that the board might consider it anyway. I'm sorry I forgot to tell you that before.

Mrs. Crane: That case is there anyone in the audience who would like to speak for or against this proposal? Thoughts or motions from the board?

Motion:

Mrs. Benzenberg:

THAT THE REQUEST BY HANNALORA BROWN FOR A VARIANCE FROM CODE REQUIREMENTS FOR FRONT YARD TO INSTALL FENCING AT 357 W. DUBLIN-GRANVILLE RD. AS PER CASE NO. VAR 13-2023, DRAWINGS NO. VAR 13-2023, DATED MAY 2, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

Mr. Seitz seconded the motion. Mr. Ganter called the roll. Mr. Coulter, aye; Mr. Seitz, aye; Mrs. Benzenberg, aye; and Mrs. Crane, aye. The motion was approved.

3. Variance – Sign Code – 6121 Huntley Rd. (Karen Juricic/DLZ) VAR 14-2023

Mr. Ganter reviewed the following from the staff memo:

Findings of Fact and Conclusions

Information that has not changed is italicized.

Background:

This property is in the I-2 (General Industrial) Zoning District and is 5.993 acres located on the west side of Huntley Road. The properties to the north and east are also zoned as I-2; to the west there are railroad tracks and I-1(Restricted Light Industrial) zoned property; and to the south there is a car dealership in the C-4 (Highway and Automotive Services) Zoning District and another I-2 property.

The Board of Zoning Appeals approved variances for a freestanding sign and wall signs for DLZ (architecture and engineering firm) in June 2020. DLZ currently has one freestanding sign that is 12' high and 2'9" wide for a sign area of 66 sq. ft. and two awning signs on the south and west side of the building totaling approximately 24 sq. ft. The total sign area for the parcel is 90 sq. ft.

The property owner is wanting to install a sign on a privately owned hydrogen fueling station located in the rear parking lot of DLZ.

Worthington Codified Ordinances:

1170.03 Design Requirements:

- (c) Styles. Signs shall be comprised of not more than two styles of lettering plus one logo. A logo is an emblem, character, pictograph, trademark or symbol used alone to represent a business, organization, entity or product. There shall be not more than three sizes of all such lettering, including a logo.
- (d) Colors. Not more than four colors, including black and white, shall be used on any sign.

1170.05 Commercial and Industrial District Requirements:

- (a) Sign area. Allowable permanent sign area for any single business shall be limited according to the widths of the building or part of the building occupied by such enterprise. For the purposes of this section, width shall be measured along the building face nearest parallel to the street line. In the case of a corner lot, either frontage may be used in determining maximum area for signage. The area of all permanent signs for any single business shall be equivalent to one and one-half square feet of sign area for each lineal foot of width of the building or part of the building but shall not exceed a maximum area of 100 square feet per business.
- (b) Wall-mounted signage. Each business shall be permitted one wall-mounted sign.
- (c) Freestanding Signage. There shall be no more than one freestanding sign per parcel. No part of any freestanding sign shall exceed an above-grade height of fifteen feet. Freestanding signs shall not be larger than sixty percent (60%) of the total sign area allowed for under Section 1170.05 (a). Freestanding signs shall be located not closer than ten feet to a public right of way or thirty-five feet to an adjoining property line

Request:

- a. A variance is requested to install an additional wall sign.
- b. The proposed wall sign is 37.4 sq. ft. so total sign area would be 127 sq. ft. A variance of 27 sq. ft. is requested.
- c. The applicant is requesting a variance to allow five colors on the wall sign.

Project Details:

- 1. This will be the first hydrogen fueling station of its kind in Ohio.
- 2. The proposed sign would be 9'9" wide and 3'10" high. This sign will be attached to a structural steel frame that stands 17' above ground at its highest point. The structure will be curved to allow coverage for fueling pumps.

3. The total sign area for the parcel will be approximately 127 sq. ft., thus exceeding the 100 sq. ft. maximum requirement.
4. The sign is comprised of five colors. The sign code only allows four colors for signs including black and white.

Conclusions:

Since the proposed wall sign is located towards the rear of the property and facing east, it will be out of view from Huntley Rd. and E. Dublin-Granville Rd. The essential character of the neighborhood should not be altered.

The variances are not substantial.

Discussion:

Mrs. Crane: Is the applicant here? Please come forward. State your name and address.

Ms. Karen Juricic: I'm Karen Juricic 6121 Huntley Rd.

Mr. Bruce Bauchmeyer: DLZ corporation.

Ms. Juricic: I think he just about covered it. I mean the sign will most likely really only be lit at night. And it is set pretty far back into our property.

Mr. Bauchmeyer: And it's behind the office building as well.

Mrs. Crane: What exactly is a hydrogen refueling station? Briefly.

Mr. Bauchmeyer: Briefly our company is very renewable energy while we're in hydropower we're developing hydrokinetic turbine. Our owner feels that electric is in between. That the ultimate fuel that we'll be going to will be hydrogen. So, we are doing the first commercial private company hydrogen refueling station. We plan on buying, switching out our corporate fleet from gas to hydrogen. And just our company's vehicles. It's only about initially five, probably in two or three years, probably pickup trucks for our construction services with total of 15, but it would not be to the public. It would just be internally. And more or less this is a demonstration model trying to show that hydrogen is capable. And we're looking at actually from a commercial standpoint doing much bigger hydrogen production.

Mr. Coulter: Hydrogen?

Mr. Bauchmeyer: Yes, it's a small amount like about 15 kilograms, so it's not a big production because we don't plan on having huge fleet there.

Mr. Coulter: I'm actually excited about it for a couple of reasons. One is some of you may know that the city is undertaking, getting ready to undertake a study of the industrial district. And it's things like this that I think are going to help bring positive notoriety to that area. And things like this will help enforce that or emphasize that. So I appreciate what you're doing. I'm also a big proponent of hydrogen. I wish they were everyday vehicles, unfortunately they are not.

Mr. Bauchmeyer: I'm probably going out in July buying five hydrogen cars.

Mr. Coulter: I'll let you convert mine.

Ms. Juricic: Yeah, maybe I'll give you a test drive.

Mr. Coulter: I'm up for it.

Mr. Bauchmeyer: So initially it would be about five cars of our corporate fleet for our administrative, and then I think Ford's supposed to come out with a hydrogen pickup in the end of 2024.

Mr. Ganter: Madam Chair, I did have one question for the applicant. Are the letters just going to be lit and not the background? Will that be opaque?

Ms. Juricic: That would match the rest of the steel structure. So that'll just pretty much look like a sheet metal, and then it'll just be the letters, just the faces will be like a clear acrylic with the colors while the actual casing boxes around the letters will be, it'll be a matching color to the face, but it won't, it'll be metal.

Mr. Seitz: All four colors will be illuminated?

Ms. Juricic: Yes.

Mrs. Crane: Is there anyone in the audience who would like to speak?

Mr. Seitz: Yes, I have one more question. So the rendering shows a fence. Is that an existing fence on the property?

Mr. Bauchmeyer: Yes. Actually, that fence goes the whole width of our property and that divides our drilling operation. There's a smaller building, you can see the building back there, that's for our drilling operation.

Ms. Juricic: There are privacy slats behind just our structure, but it'll still be using the existing fence.

Mrs. Crane: Any other questions? Is there anyone in the audience who would like to speak for against this proposal? Any further thoughts or motions from the board?

Motions:

Mr. Coulter:

THAT THE REQUEST BY KAREN JURICIC ON BEHALF OF DLZ FOR VARIANCES FROM CODE REQUIREMENTS FOR SIGNAGE AT 6121 HUNTLEY RD. AS PER CASE NO. VAR 14-2023, DRAWINGS NO. VAR 14-2023 DATED MAY 3, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND/OR PRESENTED AT THE MEETING.

Mr. Seitz seconded the motion. Mr. Ganter called the roll. Mrs. Benzenberg, aye; Mr. Seitz, aye; Mr. Coulter, aye; and Mrs. Crane, aye. The motion was approved.

4. Variance – Side & Front Yard Setbacks – Garage Addition & Columns – 590 Morning St. (Britney Cider) VAR 15-2023

Mrs. Bitar reviewed the following from the staff memo:

Findings of fact & Conclusions

Background:

This property has a Colonial Revival style house that was built in 1948 on an existing lot of record in the R-10 Zoning District. The house is a contributing building in the Worthington Historic District. The property is 60' wide and 330' deep and the house sits on the front part of the lot. In the 1980's, the owners added to the rear of the house and attached the existing garage. In 1998, a dormer addition was added as was a front porch roof.

The ARB granted approval to convert and expand the existing attached garage for use as living space; construct a new attached garage with a carport; and add new front and side entry porches and landscape features.

Worthington Codified Ordinances:

[1149.01 Yard, Area, and Height for Dwellings and Accessory Structures.](#)

The required front yard in the R-10 Zoning District is 30’.

[1149.05 Existing Lots of Record.](#)

The side yard setback for a building addition to an existing primary structure may be reduced to no less than six feet and the sum of side yards reduced to no less than twelve feet if the addition projects no further into the side yard than the existing structure.

Request:

The proposed addition would be at the same location as the rear of the existing house which is 3.7’ from the north property line for a requested variance of 2.3’. Two columns are proposed in the required front yard about 25’ from the right-of-way for a variance of 5’.

Project Details:

1. Site:

- On the north side, the existing house is 6.3’ from the property line at the front but goes to 3.7’ from the property line starting at the 1980’s addition. This application proposes the new two-car garage and carport addition be in line with existing rear of the house, 3.7’ from the north property line.
- The addition on the south side would provide additional living space and a new entry porch. The porch structure is proposed 18’ from the property line and a patio would be adjacent to the addition.
- A new porch on the front would be 30’ from the property line.
- On the south side a fence would enclose yard area adjacent to the front of the house. The fence is proposed to be 4’ high with 6” wide pickets and 3” or less spacing between pickets.
- The existing shared gravel driveway is proposed to expand north at the rear to meet the new garage and carport, and a turnaround area is planned.
- Brick columns with lanterns on top are proposed at four locations along the fence and patio on the south side, and two are shown in front of the house. A variance would be needed for the two in the required front yard.

2. Building:

- Conversion of the existing garage into living space and the addition to the south would allow for a great room, a den, and a mudroom. A new porch with a flat roof supported by columns is also proposed on the south side.
- The new garage would attach by way of a door and hallway between the great room and new mudroom. Columns are proposed on the front of the garage and to support the east end of the carport.

- Nested gables would cover the addition and conversion area, the garage and the carport.
- The front porch would extend to the south side of the house and a larger gable supported by columns would make up the roof.
- The gable faces on the front and the rear are proposed with Hardie shake siding.
- Dark gray lap siding (Hardie or LP) is proposed for the additions, and the existing house would be painted the same color. The trim color would be a shade of white.
- The columns are proposed to be a PVC composite material.
- New asphalt shingle roofing would match the existing.

Conclusion:

The character of the neighborhood should not be substantially altered due to the requested variances.

Discussion:

Mrs. Crane: Questions for staff? Is the applicant here.

Mrs. Britney Cider: 590 Morning St.

Mr. Ron Cider: 590 Morning St.

Mr. Dustin Mondrach 300 East Long Street.

Mrs. Crane: Do you have anything to add to staff's presentation?

Mrs. Cider: I mean I think she covered it primarily but it just made more sense to continue the same line that our existing structure is on. Also since our lot is narrower and our shared driveway already absorbs a portion of it. Space is kind of at a premium so bumping it the additional however many feet that is I don't do math sorry would just kind of eat up a little bit extra space so that was the request there. As far as the light peers I did include in my comment for the filing for this hearing. Those two light peers at the street facing the street on the property we decided not to do those two so that's no longer an issue.

Mrs. Crane: Any questions for you? Is there anyone in the audience who would like to speak about this proposal.

Motion:

Mr. Seitz moved:

THAT THE REQUEST BY BRITNEY CIDER FOR A VARIANCE FROM CODE REQUIREMENTS FOR SIDE YARD TO CONSTRUCT AN ADDITION AT 590 MORNING ST. AS PER CASE NO. VAR 15-2023, DRAWINGS NO. VAR 15-2023, DATED MAY 3, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

Mrs. Benzenberg seconded the motion. Mr. Ganter called the roll. Mr. Coulter, aye; Mrs. Benzenberg, aye; Mr. Seitz, aye; and Mrs. Crane, aye. The motion was approved.

5. Variance – Rear Yard Setback – Addition – 6719 Evening St. (Valerie Halas/Snediker-Morscheck) VAR 16-2023

Findings of Fact and Conclusions

Background:

This property is a pie shaped lot on .42 acres in the R-10 (Low Density Residential) Zoning District in Worthington Estates. The existing house was built in 1963 and has 1,824 sq. ft. of finished space. The property owners would like to construct an addition on the south side of the house for an in-law suite. The applicant has stated that the addition is needed to support the owner's elderly parents, one of whom has Alzhemier's Disease.

Worthington Codified Ordinances:

[1149.01 Yard, Area and Height for Dwellings and Accessory Structures.](#)

The required rear yard in the R-10 Zoning District is 30'.

Request:

The applicant is requesting approval to construct an addition 15' from the south property line for a variance of 15'.

Project Details:

1. The proposed addition is one-story and 1,090 sq. ft. The addition will include an office, laundry room, bedroom, bathroom, and two porches. The applicant has indicated that a potential future ramp would be installed as well. The ramp has railings and is in the required rear yard setback.
2. The existing home will also receive improvements such as new siding, trim, and standing seam metal roofing. The addition will have the same style of materials as the new improvements of the existing house.
3. A new sidewalk is proposed on the southeast corner of the garage extending to the new porch on the addition.
4. An A/C unit is proposed on the rear of the addition.
5. There is an existing shed on the property as well.

Conclusions:

Due to the pie shaped lot and the existing house placed at an angle, the variance is not substantial.

The essential character of the neighborhood should not be altered, as the proposed style and materials are similar to other houses in the area.

Discussion:

Mrs. Crane: Is the applicant here? Hello state your name and address please.

Ms. Valerie Halas: Valerie Halas, 285 South Cassingham Rd., Bexley, but this is for 6719 Evening Street.

Mrs. Crane: Do you have anything to add to staff's presentation?

Ms. Halas: Not really. I mean so you know we just have the placeholder for a potential future

wheelchair but that wouldn't be part of the scope right now for the ramp. I just wanted to kind of, you know, illustrate where that would go for the future but it doesn't really affect the variance request substantially.

Mrs. Crane: Are there any questions for the applicant?

Mrs. Benzenberg: So would we be approving the wheelchair ramp also today as part of this variance or would they need to come back?

Mr. Ganter: Yes you would be approving the wheelchair ramp as well since it's a part of the addition.

Mrs. Crane: Is there anyone in the audience who would like to speak for or against this proposal? Board members?

Motion:

Mr. Seitz moved:

THAT THE REQUEST BY VALERIE HALAS ON BEHALF OF CHRISTIAN AND HEATHER SNEDIKER-MORSHECK FOR A VARIANCE TO CONSTRUCT AN ADDITION IN THE REQUIRED REAR YARD AT 6719 EVENING ST. AS PER CASE NO. VAR 16-2023, DRAWINGS NO. VAR 16-2023, DATED MAY 5, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

Mr. Coulter seconded the motion. Mr. Ganter called the roll. Mrs. Benzenberg, aye; Mr. Coulter, aye; Mr. Seitz, aye; and Mrs. Crane, aye. The motion was approved.

C. Other – No other business

D. Adjournment

Mr. Coulter moved to adjourn the meeting and Mr. Seitz seconded the motion. All Board members voted, "Aye," and the meeting adjourned at 7:52 p.m.



BZA APPLICATION VAR 0017-2023 236 E. Stafford Ave.

Plan Type: Variance	Project:	App Date: 05/24/2023
Work Class: Variance Residential	District: City of Worthington	Exp Date:
Status: In Review		Completed:
Valuation: \$0.00		Approval
		Expire Date:

Description: We have applied (permit BLDR2023-0300) to replace our existing back yard deck with a smaller 357 sq. ft. paver patio with a 306 sq. ft. freestanding pergola. The pergola requires a variance because it will be closer than 30 ft. from the property line.

Being able to build a pergola that extends more than 6 ft. from the house will relieve a hardship as it will provide shade and privacy. Currently, the back yard goes largely unused because of those restrictions.

We do not believe the variance is substantial. The pergola will stand next to the detached garage which already has a variance to sit 14.5 feet from the property line and will be harmonious with that structure.

The pergola is in keeping with the essential character of the neighborhood and offers no detriment to adjoining properties. We expect that it will be beneficial in offering some additional privacy to neighbors. It will not affect delivery of any government services.

We did not have a thorough understanding of the zoning restrictions when purchasing the property, but we believe the pergola will be in keeping with the spirit of the restriction, as the area remains essentially a yard, but becomes more usable by means of a shaded area. We see way to meet this need other than through a variance.

Parcel: 100-001128	Main	Address: 236 E Stafford Ave	Main	Zone: R-10(Low Density Residence)
		Worthington, OH 43085		

Owner	Applicant / Owner
Karen M Obee	Jeffrey E Klukas
236 E STAFFORD AVE	236 E Stafford Ave
Worthington , OH 43085	Worthington, OH 43085
Mobile: 4194949407	Mobile: (937) 215-5061


Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003963	(Residential) Board of Zoning Appeals	\$25.00	\$25.00
Total for Invoice INV-00003963		\$25.00	\$25.00
Grand Total for Plan		\$25.00	\$25.00

236 E. Stafford Ave.




Copyright by Landmark Survey Group Incorporated. This document is made exclusively for the certified parties and may not be copied, reproduced or altered in any form without permission in writing from the copyright owner.

PREPARED EXCLUSIVELY FOR:

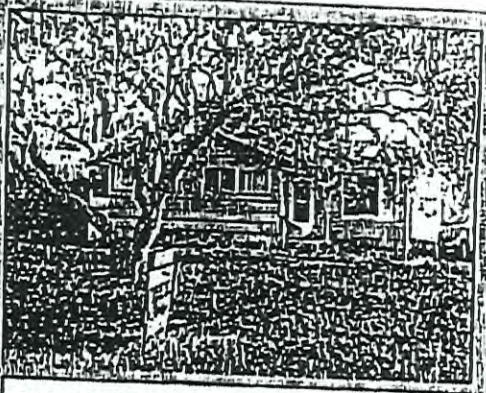


TITLE
FIRST
AGENCY

POWERED BY




STARS
SURVEY TRACKING
AND
RETRIEVAL SYSTEM
www.surveystars.com



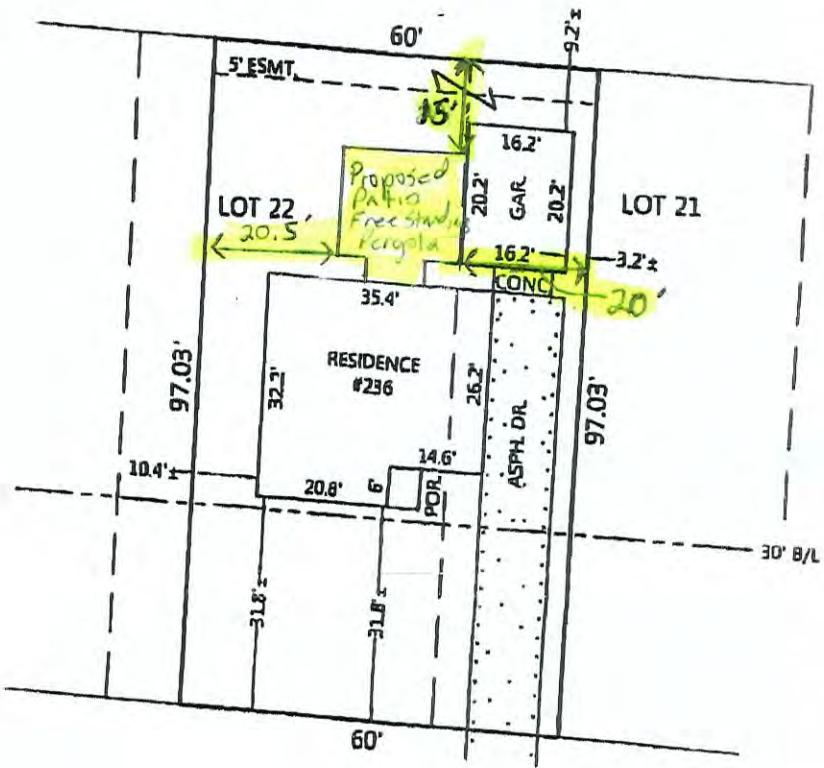
PROPERTY ADDRESS: 236 EAST STAFFORD AVENUE WORTHINGTON, OHIO 43085


SURVEY NUMBER: 168641



City of Worthington, Ohio
Division of Building Regulation
Reviewed for Code Compliance

Reviewed by:
Don Phillips
05/22/2023






STAFFORD AVENUE
We have received a copy
of this survey and find the
conditions acceptable.

Scott D. Grunder

THIS PLAT IS NOT TO BE USED TO ERECT
FENCES OR OTHER STRUCTURES, AND MAY
NOT SHOW ALL EASEMENTS AFFECTING THE
SUBJECT TRACT

LSGI#: 168641



SCALE: 1" = 30'

POINTS OF INTEREST: NONE VISIBLE.

CLIENT NUMBER: 1598955

DATE: 4/23/2015

BUYER: KAREN M OBEE AND JEFFREY E KLUKAS

SELLER: ANNE VP LAMOUREUX

SUBLOT / ORIGINAL LOT: PART 21-22

SUBDIVISION: TULLER AND RILEY'S ADD

PLAT: 27

PG: 55


COUNTY: FRANKLIN

CERTIFIED TO: COMMERCE PARK TITLE AGENCY +

THIS PLAT DEPICTS THE SUBJECT PROPERTY IN ACCORDANCE WITH THE OHIO
ADMINISTRATIVE CODE, CHAPTER 4733-38, MINIMUM STANDARDS FOR MORTGAGE
SURVEYS IN THE STATE OF OHIO, AND IS NOT A BOUNDARY SURVEY PURSUANT TO
CHAPTER 4733-37, OHIO ADMINISTRATIVE CODE.

THIS MORTGAGE LOAN IDENTIFICATION SURVEY IS NOT TO BE USED
FOR THE INSTALLATION OR BUILDING OF FENCES, SHEDS, GARAGES,
ADDITIONS OR ANY OTHER STRUCTURE. TO DETERMINE EXACT
BOUNDARY LINES, A BOUNDARY SURVEY IS REQUIRED.

Landmark Survey
is proud to support:



susan g.
komen
FOR THE
cure.

LANDMARK
Survey Group

Landmark Survey Group
2099 West Fifth Avenue
Columbus, Ohio 43212
Phone: 614.485.9000
Fax: 614.485.9003



OUTDOOR LIFE, LLC.
d.b.a. Archadeck of West Columbus

ALL CONSTRUCTION PLANS ARE PROVIDED AS IS. ARCHADECK FRANCHISING CORPORATION DISCLAIMS ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, INCLUDING MERCHANTABILITY OR FITNESS OF PURPOSE. ARCHADECK FRANCHISING CORPORATION IS NOT LIABLE FOR INCIDENTAL, SPECIAL, CONSEQUENTIAL OR INDIRECT DAMAGES OF ANY KIND, INCLUDING BUT NOT LIMITED TO, LOSS OF ANTICIPATED PROFITS, BUSINESS OPPORTUNITY OR OTHER ECONOMIC LOSS ARISING OUT OF THE USE OF SERVICES OR ANY CONSTRUCTION PLANS RECEIVED FROM ARCHADECK FRANCHISING CORPORATION. EVEN IF ARCHADECK FRANCHISING CORPORATION HAS BEEN ADVISED OF THE POSSIBILITY OF SUCH DAMAGE IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE THE ACCURACY, COMPLIANCE WITH APPLICABLE STATUTE(S) OR REGULATION(S), AND FITNESS OF PURPOSE OF ANY PLANS OR CONSTRUCTION INFORMATION RECEIVED FROM ARCHADECK FRANCHISING CORPORATION PRIOR TO THE USE THEREOF.

ARCHADECK FRANCHISING CORPORATION IS NOT ENGAGED IN RENDERING PROFESSIONAL SERVICES OR ADVICE. USE OF ANY CONSTRUCTION INFORMATION PROVIDED BY ARCHADECK FRANCHISING CORPORATION IS SUBJECT TO THE ADDITIONAL DISCLAIMERS AND CAVEATS THAT MAY APPEAR THROUGHOUT THE CONSTRUCTION PLANS, CONTRACTS AND OTHER DOCUMENTS PROVIDED TO THE BUILDER AND CUSTOMER.

DESIGN LOAD CRITERIA				
FOOTING/FOUNDATION LOADS		P.S.F.	CEILING	P.S.F.
LIVE LOAD		50	WITH STORAGE (L/240)	20
DEAD LOAD		10	WITHOUT STORAGE (L/240)	10
TOTAL DESIGN LOAD		60		
DECK LOADS (L/240)		P.S.F.	WITH STORAGE (L/360)	20
(DECK FRAMING)			WITHOUT STORAGE (L/360)	10
FRAMING DESIGN LIVE LOAD		60	DEAD LOAD	10
FRAMING DESIGN DEAD LOAD		10		
TOTAL FRAMING DESIGN LOAD		70	ROOF LOADS (L/240)	P.S.F.
FLOOR LOADS (L/360)		P.S.F.	SNOW LOAD	20
LIVE LOAD (LIVING)		40	DEAD LOAD	10
LIVE LOAD (SLEEPING)		30	TOTAL DESIGN LOAD	30
DEAD LOAD		10	PERGOLA LOADS (L/240)	P.S.F.
SPA LOADS (L/240)		P.S.F.	LIVE LOAD	10
LIVE LOAD		100	DEAD LOAD	5
DEAD LOAD		10	TOTAL DESIGN LOAD	15
TOTAL DESIGN LOAD		110	**ASSUMED OPEN FRAMED PERGOLA, NOT DESIGNED FOR SNOW LOADS**	
ASSUMED SPA LOADING, VERIFY w/ SPA MANUFACTURER				

- NOTES:**
- DESIGN CRITERIA:**
- THIS PROJECT HAS BEEN DESIGNED FOLLOWING THE REGULATIONS OF THE 2019 ORC (OHIO RESIDENTIAL CODE).
 - WORK TO MEET LOCAL, STATE AND APPLICABLE RULES AND REGULATIONS.
 - IN-GRADE DESIGN VALUES BASED ON AF&PA.
 - PROVIDE JOIST HANGERS @ ALL FLUSH FRAME CONDITIONS.
 - PRESUMPTIVE SAFE SOIL BEARING CAPACITY = 1500 PSF.
 - FROST LINE = 36".
 - CONNECTIONS TO EXISTING STRUCTURE FLASHED PER LOCAL CODE
- LUMBER:**
- ALL FRAMING LUMBER TO BE #2 S.P. (SOUTHERN PINE) OR BETTER, TREATED FOR EXTERIOR USE, PER LOCAL CODE U.N.O.
 - ALL GLULAM ENGINEERED TYPE LUMBER TO BE TREATED FOR EXTERIOR USE: GLULAM STRESS CLASS (24F - 1.7E) P.S.I.
 - ALL LVL/MICROLLAM ENGINEERED TYPE LUMBER TO BE INTERIOR USE ONLY: LVL STRESS CLASS (2.0E, 2600Fb) P.S.I.
 - ALL PWT LVL ENGINEERED TYPE LUMBER TO BE TREATED FOR EXTERIOR USE: LVL STRESS CLASS (2.0E, 2800Fb) P.S.I.
 - ALL PSL ENGINEERED TYPE LUMBER TO BE TREATED FOR EXTERIOR USE: PSL STRESS CLASS (2.0E, 2900Fb) P.S.I.

- CONCRETE:**
- MINIMUM 28 DAY COMPRESSIVE STRENGTH = 3000 PSI.

Climatic and Geographic Design Criteria (2013 RCO Table 301.2 (1))					
Roof Snow Load (lb per sq ft)	Wind Design	Seismic Design Category	Ice Shield Required	Flood Hazards	Winter Design Temp.
20	90 mph	A	Yes	A 7/16/79 B 10/18/83	6 deg. F

Subject to Damage From				Ar Freezing Index	Mean Actual Temp.
Weathering	Frost Depth	Termites	Decay		
Severe	36"	Yes	Yes	1396	50.1 F.

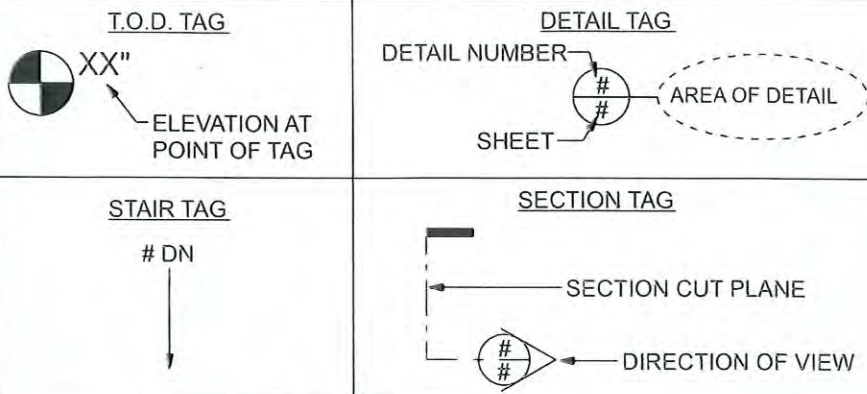
KLUKAS & OBEE
#56-104340
236 E. STAFFORD AVE
WORTHINGTON, OH, 43085

ABBREVIATIONS:

#B	- BEAM	GLU.	- GLULAM
#BB	- BAND BOARD	H.D.G.	- HOT DIPPED GALVANIZED
#C	- RAIL CAP LENGTH	HDR.	- HEADER
#CB	- COLLAR BEAM	INT.	- INTERIOR
#DB	- DOUBLE BAND	IN.	- INCH
#DJ	- DOUBLE JOIST	LBS.	- POUNDS
#DR	- DOUBLE RAFTER	L.L.	- LIVE LOAD
#F	- FENCE CAP LENGTH	L.V.L.	- LAMINATED VENEER LUMBER
#G	- GIRDER	LWR.	- LOWER
#HB	- HOUSE BAND	MANUF.	- MANUFACTURER
#HBE	- HOUSE BAND EXTENSION	MAX.	- MAXIMUM
#KB	- KING BEAM	MIN.	- MINIMUM
#QJ	- QUAD JOIST	MOD.	- MODIFIED
#RB	- RIDGE BEAM	N.T.S.	- NOT TO SCALE
#RP	- ROOF PLATE	O.C.	- ON CENTER
#TB	- TRIPLE BAND	OPT.	- OPTIONAL
#TJ	- TRIPLE JOIST	O.S.B.	- ORIENTED STRAND BOARD
ALT.	- ALTERNATE	P.L.	- POINT LOAD
ALUM.	- ALUMINUM	P.L.F.	- POUNDS PER LINEAR FOOT
APPROX.	- APPROXIMATE	P.S.F.	- POUNDS PER SQUARE FOOT
BD.	- BOARD	P.S.I.	- POUNDS PER SQUARE INCH
B.O.B.	- BOTTOM OF BEAM	P.S.L.	- PARALLEL STRAND LUMBER
CL	- CENTER LINE	P.T.	- PRESSURE TREATED
CJ	- CEILING JOIST	P.T.T.	- POUR TO TOP
C.M.U.	- CONCRETE MASONRY UNIT	P.V.C.	- POLY VINYL CHLORIDE
CONC.	- CONCRETE	RBD.	- RIDGE BOARD
CONT.	- CONTINUOUS	REQD.	- REQUIRED
DBL.	- DOUBLE	R.O.	- ROUGH OPENING
DIA.	- DIAMETER	RSW	- RIDGE SUPPORT WALL
DIM.	- DIMENSION	S.F.	- SQUARE FOOT/FEET
D.L.	- DEAD LOAD	S.S.	- STAINLESS STEEL
DN.	- DOWN	SQ.	- SQUARE
DTL.	- DETAIL	T&G	- TONGUE & GROOVE
ELEC.	- ELECTRICAL	T.O.B.	- TOP OF BEAM
ELEV.	- ELEVATION (SEE T.O.D.)	T.O.C.	- TOP OF CONCRETE
EQUIV.	- EQUIVALENT	T.O.D.	- TOP OF DECK
EXT.	- EXTERIOR	TYP.	- TYPICAL
FIN.	- FINISH	U.N.O.	- UNLESS NOTED OTHERWISE
FLR.	- FLOOR	UPR.	- UPPER
FND.	- FOUNDATION	W/	- WITH
FT.	- FOOT/FEET	W/O	- WITHOUT
F.V.	- FOUNDATION VENT		

DRAWINGS PREPARED BY: ARCHADECK FRANCHISING CORPORATION
CONSTRUCTION & DRAFTING DEPARTMENT
2426 OLD BRICK RD
GLEN ALLEN, VA 23060
© 2023 ARCHADECK FRANCHISING CORPORATION
UNAUTHORIZED DUPLICATION IS A VIOLATION OF ALL APPLICABLE LAWS

SYMBOL LEGEND



SHEET INDEX

S101 - FOUNDATION PLAN
S105 - FLOOR PLAN
S109 - ROOF PLAN

FOR ANY QUESTIONS OR CONCERNS PLEASE CONTACT:

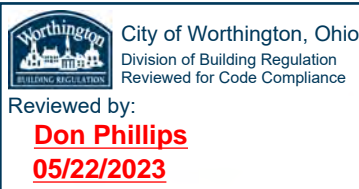
OUTDOOR LIFE, LLC.
1491 Polaris Parkway, Suite #172, Columbus, OH 43240
PHONE: (740) 879-3730

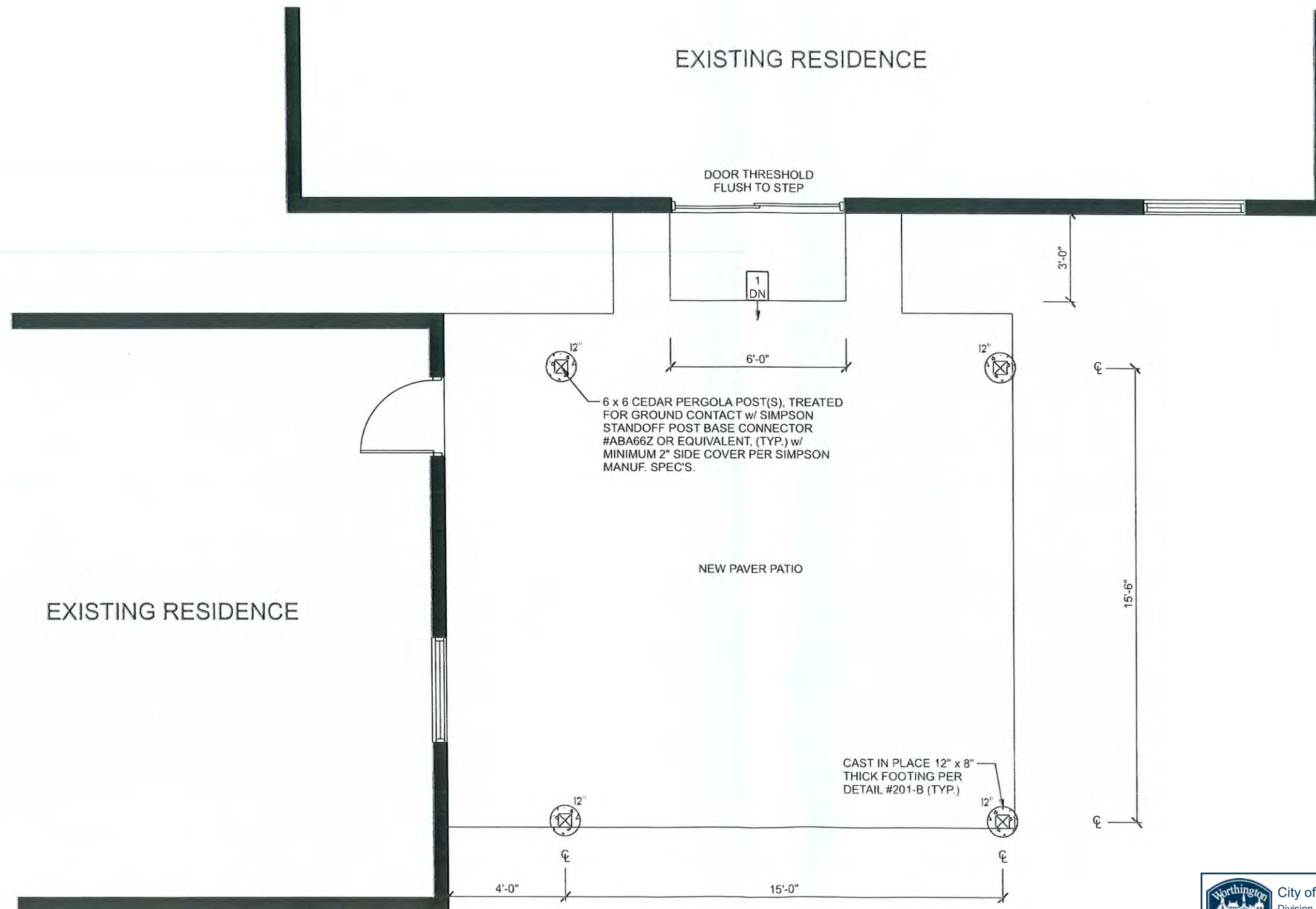
ENGINEER OF RECORD
(AS APPLICABLE)

CITY OF WORTHINGTON


DRAWING NO. VAR 0017-2023

DATE 05/24/2023





CITY OF WORTHINGTON
DRAWING NO. VAR 0017-2023
DATE 05/24/2023

 City of Worthington, Ohio
Division of Building Regulation
Reviewed for Code Compliance
Reviewed by:
Don Phillips
05/22/2023

archadeck®
outdoor living
of
West Columbus

PROJECT NAME AND ADDRESS
#56-KLUKAS & OBEE-104340
236 E. STAFFORD AVE
WORTHINGTON, OH 43085
DRAWN BY: DMB EXT: #234

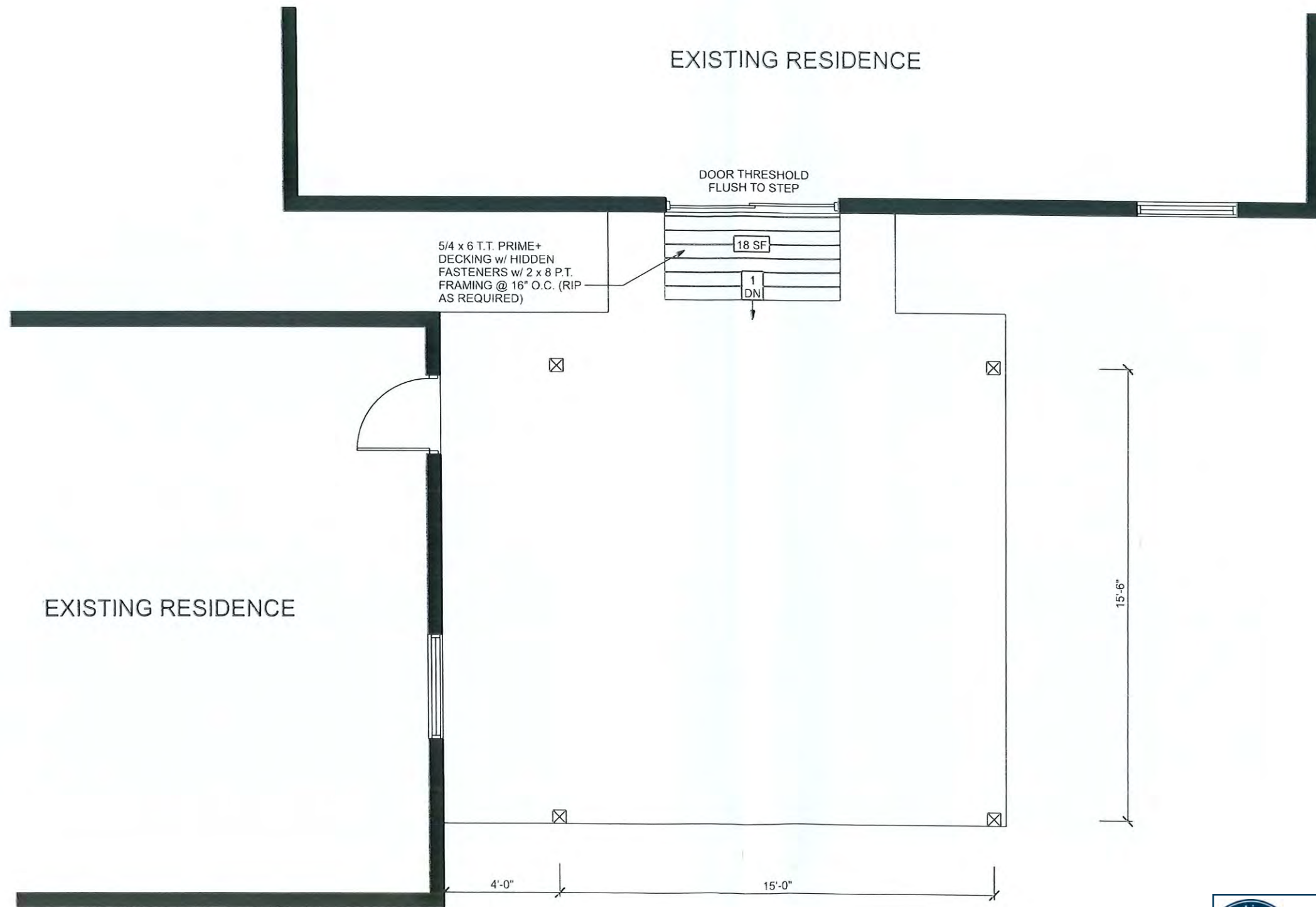
Prepared by:
Archadeck Franchising Corporation
2426 Old Brick Rd
Glen Allen, VA 23060
Construction & Drafting Department
©2023 Archadeck Franchising Corporation
All rights reserved. Unauthorized
duplication is a violation of
all applicable laws.

PAGE
2/4


SCALE: 1/4" = 1'-0"

ISSUE
DATE APRIL 14, 2023
REVISION:

SHEET # SHEET TITLE
S101 FOUNDATION PLAN



CITY OF WORTHINGTON
DRAWING NO. VAR 0017-2023
DATE 05/24/2023



City of Worthington, Ohio
Division of Building Regulation
Reviewed for Code Compliance

Reviewed by:
Don Phillips
05/22/2023

archadeck
outdoor living
of
West Columbus

PROJECT NAME AND ADDRESS

#56-KLUKAS & OBEE-104340
236 E. STAFFORD AVE
WORTHINGTON, OH 43085
DRAWN BY: DMB EXT: #234

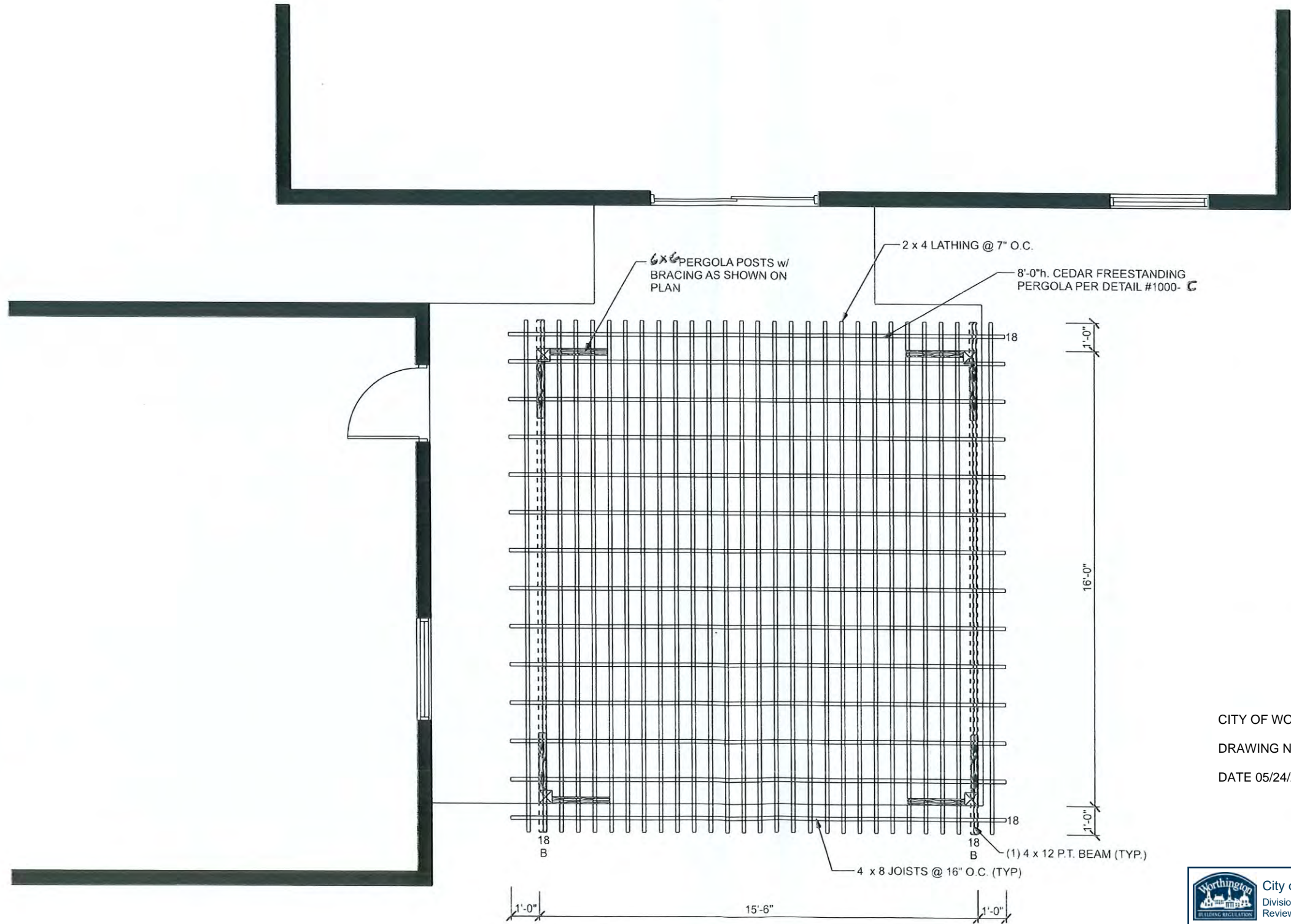
Prepared by:
Archadeck Franchising Corporation
2426 Old Brick Rd
Glen Allen, VA 23060
Construction & Drafting Department
©2023 Archadeck Franchising Corporation
All rights reserved. Unauthorized
duplication is a violation of
all applicable laws.

PAGE
3/4


SCALE: 1/4" = 1'-0"

ISSUE
APRIL 14, 2023
REVISION:

SHEET # SHEET TITLE
FLOOR PLAN
S105



CITY OF WORTHINGTON
DRAWING NO. VAR 0017-2023
DATE 05/24/2023



City of Worthington, Ohio
Division of Building Regulation
Reviewed for Code Compliance

Reviewed by:
Don Phillips
05/22/2023

PROJECT NAME AND ADDRESS

#56-KLUKAS & OBEE-104340
236 E. STAFFORD AVE
WORTHINGTON, OH 43085
DRAWN BY: DMB EXT: #234

Prepared by:
Archadeck Franchising Corporation
2426 Old Brick Rd
Glen Allen, VA 23060
Construction & Drafting Department
©2023 Archadeck Franchising Corporation
All rights reserved. Unauthorized
duplication is a violation of
all applicable laws.

PAGE
4 / 4

SCALE: 1/4" = 1'-0"

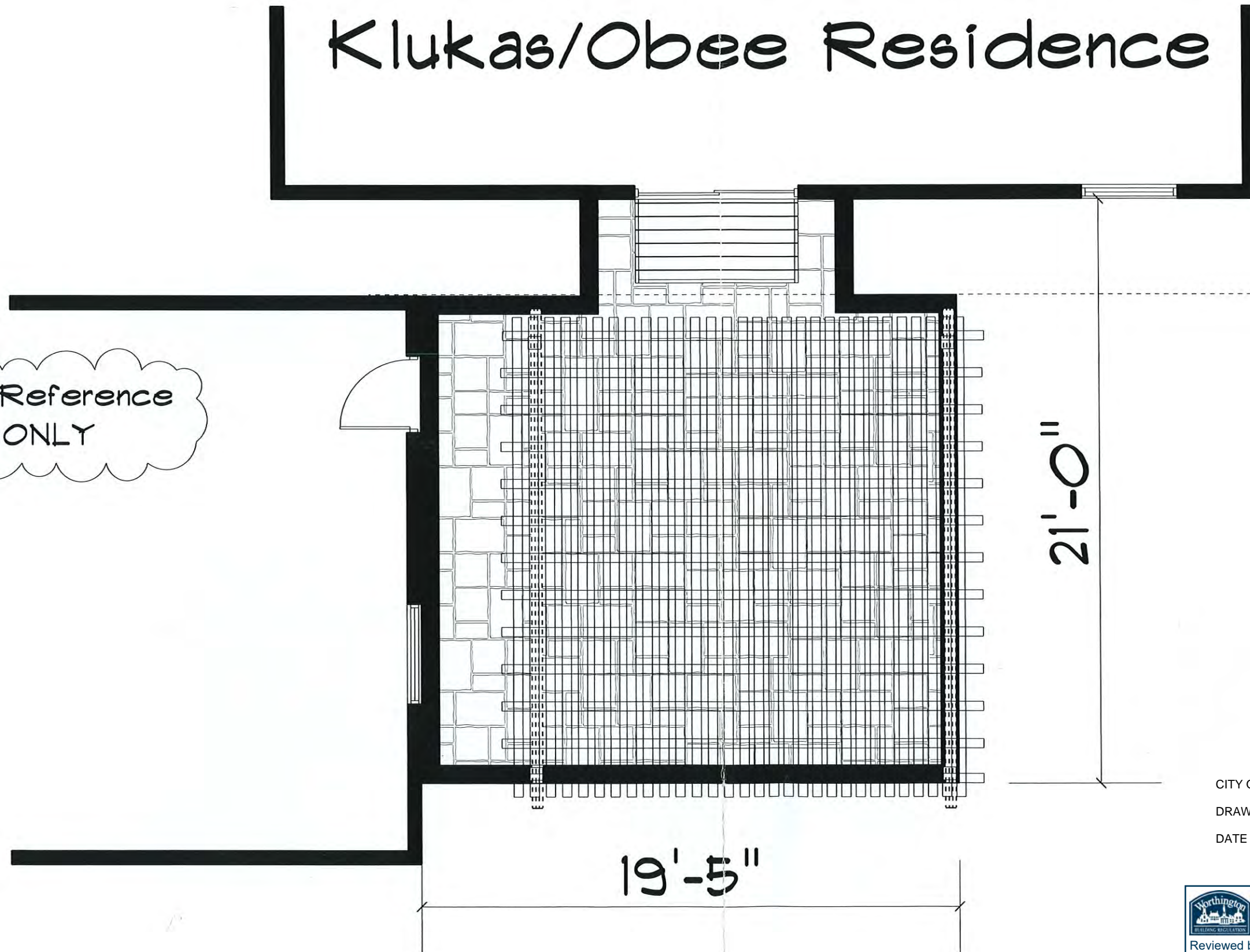
ISSUE
APRIL 14, 2023
REVISION:

SHEET # SHEET TITLE
S109 ROOF PLAN


All Dimensions are approximate. In the event of a difference between the drawn dimensions and the written dimensions, the written dimensions shall prevail. Due to local building codes and regulations, and specific site conditions, these drawings may need to be modified by the builder to comply with such local codes, regulations, or site conditions.

Klukas/Obee Residence

Sales Reference
Copy ONLY



CITY OF WORTHINGTON
DRAWING NO. VAR 0017-2023
DATE 05/24/2023

 City of Worthington, Ohio
Division of Building Regulation
Reviewed for Code Compliance
Reviewed by:
Don Phillips
05/22/2023

archadeck[®]
of
West Columbus

PROJECT PROPOSAL

Plan View

SCALE = 1/4"

Approved By:

Purchaser

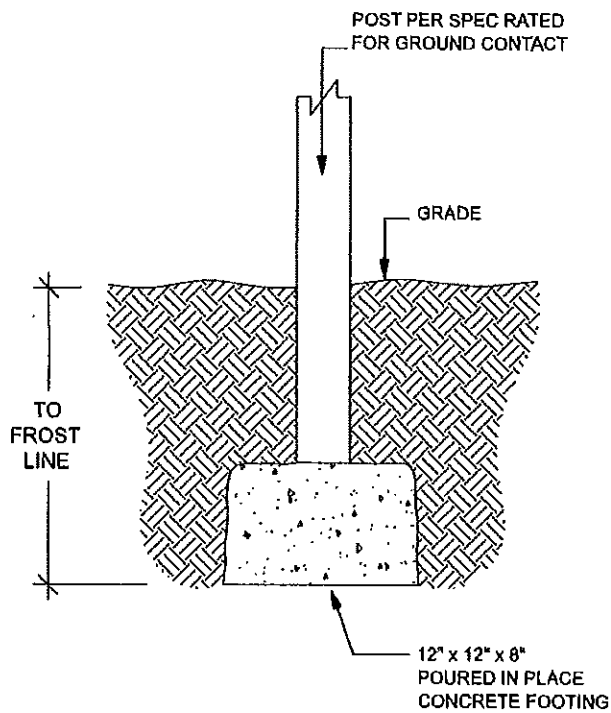
Rep

Prepared by
Outdoor Life, LLC
dba Archadeck of West Columbus
1491 Polaris Parkway, Suite #172
Columbus, Ohio 43240
740-879-3730
Unauthorized duplication
is prohibited

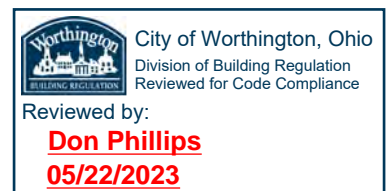
DESIGN A

MAR/14/2023

Klukas/ Obee Residence
236 E. Stafford Avenue
Worthington Ohio 43085



CITY OF WORTHINGTON
DRAWING NO. VAR 0017-2023
DATE 05/24/2023



archadeck®

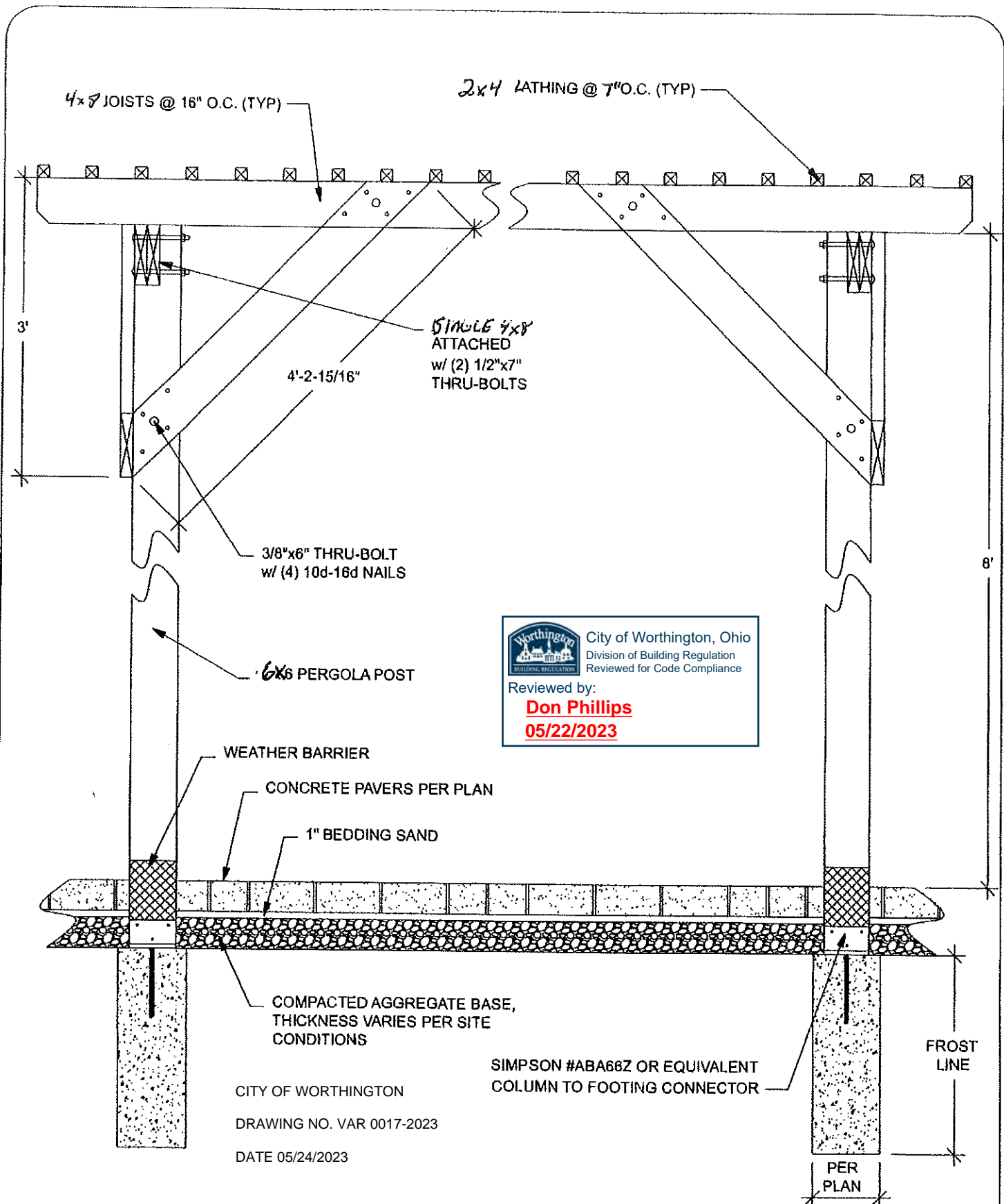
©2016 Archadeck Franchising Corporation


DETAIL #201-B POUR IN PLACE FOOTING

SCALE: N.T.S.

REVISION DATE: 01/15/2018

These drawings are intended only as a guide for the construction of certain generic elements in building codes and regulations, and specific site conditions. These drawings may need to be modified by the builder to comply with such local codes, regulations, and site conditions. Due to the generic nature of these drawings certain items may not be intended for use on a specific project.




 City of Worthington, Ohio
 Division of Building Regulation
 Reviewed for Code Compliance
 Reviewed by:
Don Phillips
 05/22/2023

CITY OF WORTHINGTON
 DRAWING NO. VAR 0017-2023
 DATE 05/24/2023

SIMPSON #ABA66Z OR EQUIVALENT
 COLUMN TO FOOTING CONNECTOR

archadeck®

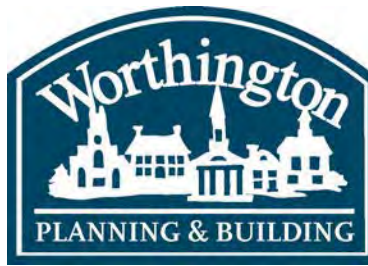
©2018 Archadeck Franchising Corporation

DETAIL #1000-C TYPICAL FREESTANDING
 PERGOLA @ PATIO

SCALE: 3/4" = 1'-0"

REVISION DATE: 01/15/2018

These drawings are intended only as a guide for the construction of certain general elements in building codes and regulations, and specific site conditions. These drawings may need to be modified by the builder to comply with such local codes, regulations, and site conditions. Due to the general nature of these drawings certain items may not be intended for use on a specific project.



BZA APPLICATION VAR 0018-2023 782 Hartford St.

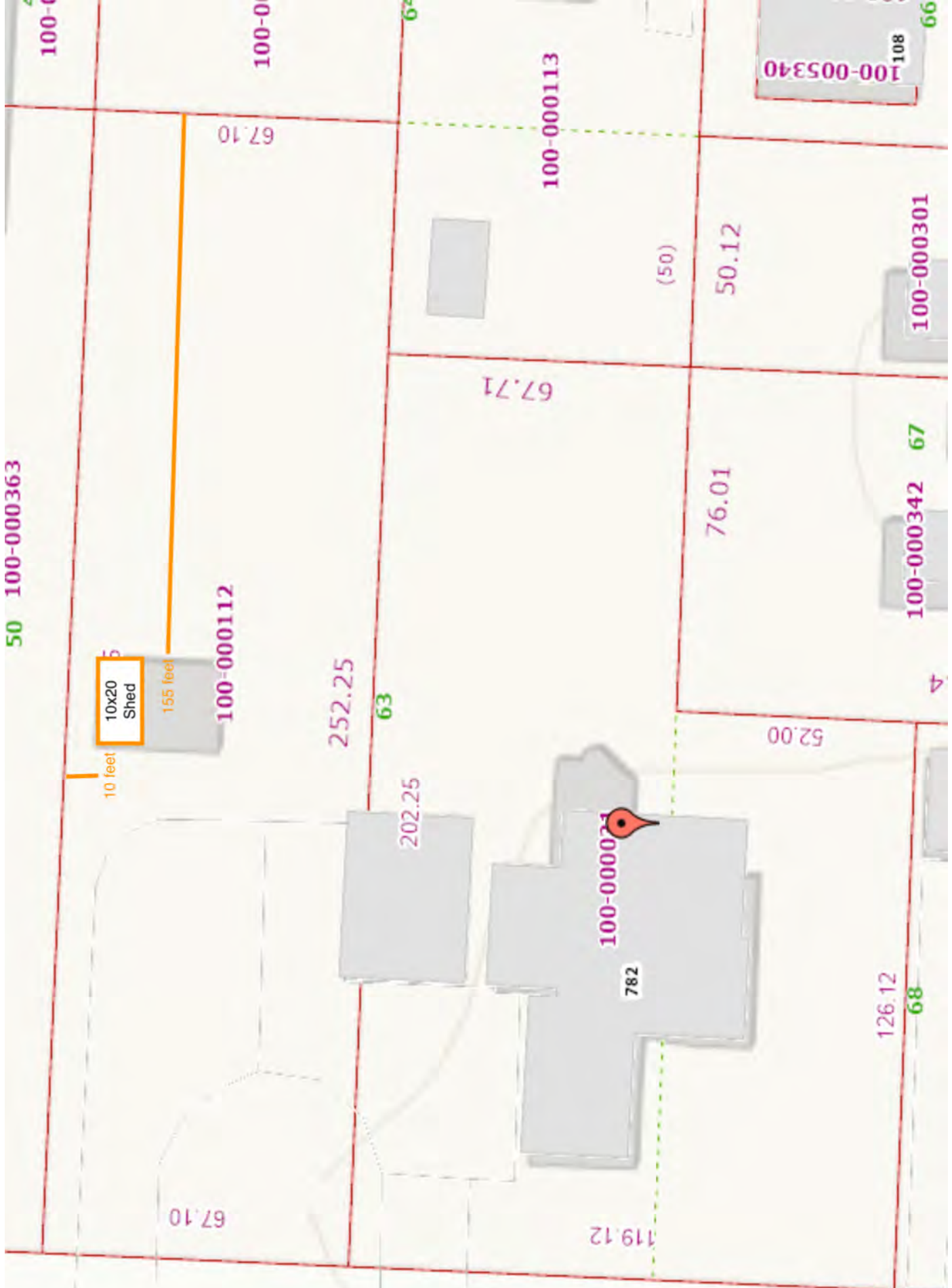
Plan Type: Variance	Project:	App Date: 05/30/2023
Work Class: Variance Residential	District: City of Worthington	Exp Date:
Status: In Review		Completed:
Valuation: \$0.00		Approval
Description: Applying for variance on accessory space. Current garage is 23x34 = 782sqft. I want to install 200sqft shed on property to make space in 3rd car bay for home gym		Expire Date:
Parcel: 100-000031 Main	Address: 782 Hartford St Main Worthington, OH 43085	Zone: AR-4.5(Low Density Apartment Residenc

Applicant / Owner
Brian Hudson
782 HARTFORD ST
Worthington , OH 43085
Business: 6142822872
Mobile: (614) 282-2872

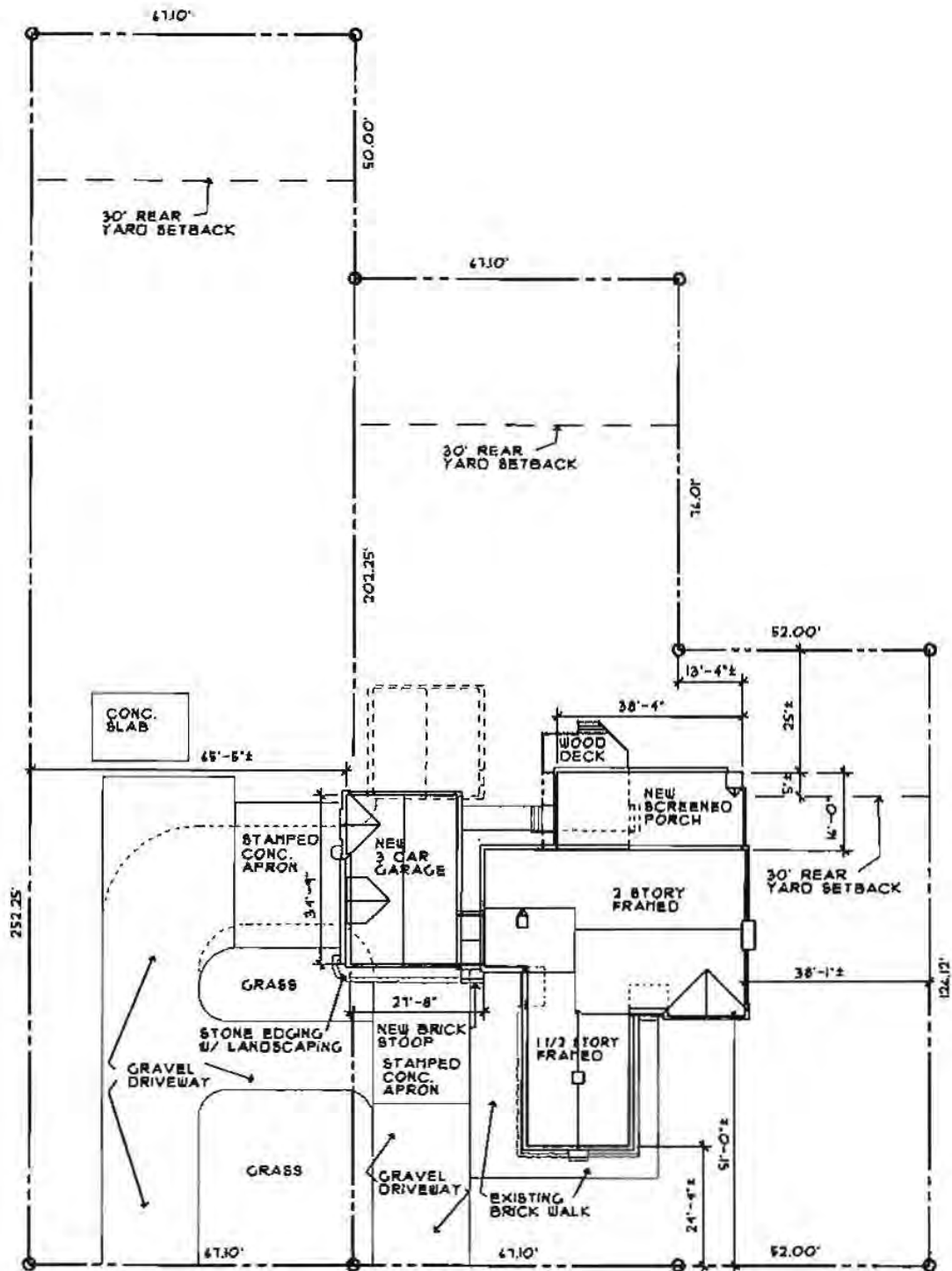
Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004013	(Residential) Board of Zoning Appeals	\$25.00	\$25.00
Total for Invoice INV-00004013		\$25.00	\$25.00
Grand Total for Plan		\$25.00	\$25.00

782 Hartford St.





CITY OF WORTHINGTON
DRAWING NO. VAR 0018-2023
DATE 05/30/2023

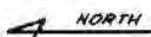


HARTFORD STREET 66' R/W

2006

SITE PLAN

1" = 20'-0"



CITY OF WORTHINGTON

DRAWING NO. VAR 0018-2023

DATE 05/30/2023

Name Brian Hudson
 Name Brian Hudson
 Phone 614.282.2872
 Phone
 Email 614.282.2872
 Email
 Salesperson Michael Troyer



Weaver Barns ltd.
 "everyone needs a little structure in their life"

Weaver Barns
 1696 State Route 39
 Sugarcreek, OH 44681
 330-852-2103

Quote 35038

Quote Date 5/22/2023

Site Ready

Delivery Date

Arrival Time

Crew

Bill To 782 Hartford Street
 Worthington, OH 43085

Ship To 782 Hartford Street
 Worthington, OH 43085

Structure

Structure				Sidewall	Roof Pitch	
10x20	Craftsman	Duratemp	Assembled on Site	7	7	\$12,124.00
						Finish / Features
Paint	Body	Trim	Trim Style			
	Non Stock Color	Bear Beige	Craftsman	\$1533.00		
Doors						
1	36" #100-SD Wood Single Door			\$285.00	-\$285.00	
1	5' #100 Wood Double Door			\$495.00	-\$495.00	
1	36" #203-SD Wood Single Door			Caramel	\$430.00	\$430.00
1	5' #203-LW Wood Double Door			Caramel	\$805.00	\$805.00
Windows						
3	2' x 3' Aluminum Single Hung Window with screen & grids			Brown	\$150.00	\$450.00
1	Wood Shutter Set			Bear Beige	\$85.00	\$85.00
3	Wood Flowerbox			Bear Beige	\$65.00	\$195.00
Shelves						
3	10' x 1' Shelf (2 x 4 Joists)				\$70.00	\$210.00
1	10' x 2' Shelf (2 x 4 Joists)				\$100.00	\$100.00
Lofts						
2	10' x 48" Craftsman Loft				\$0.00	\$0.00
Roof						
1	Drip Edge			Metal Roof	\$0.00	\$0.00
1	Oakridge Shingles				\$0.00	\$0.00
1	Metal Roof - Manchester & Craftsman			Copper	\$5.80	\$1,160.00
Paint						
1	Bracket Color			Caramel	\$0.00	\$0.00
200	0752 Cactus Valley Paint / Wild Grass Color TBD				\$0.50	\$100.00

CITY OF WORTHINGTON

DRAWING NO. VAR 0018-2023

DATE 05/30/2023

Nam Brian Hudson



Weaver Barns ltd.
"everyone needs a little structure in their life"

Quote
35038

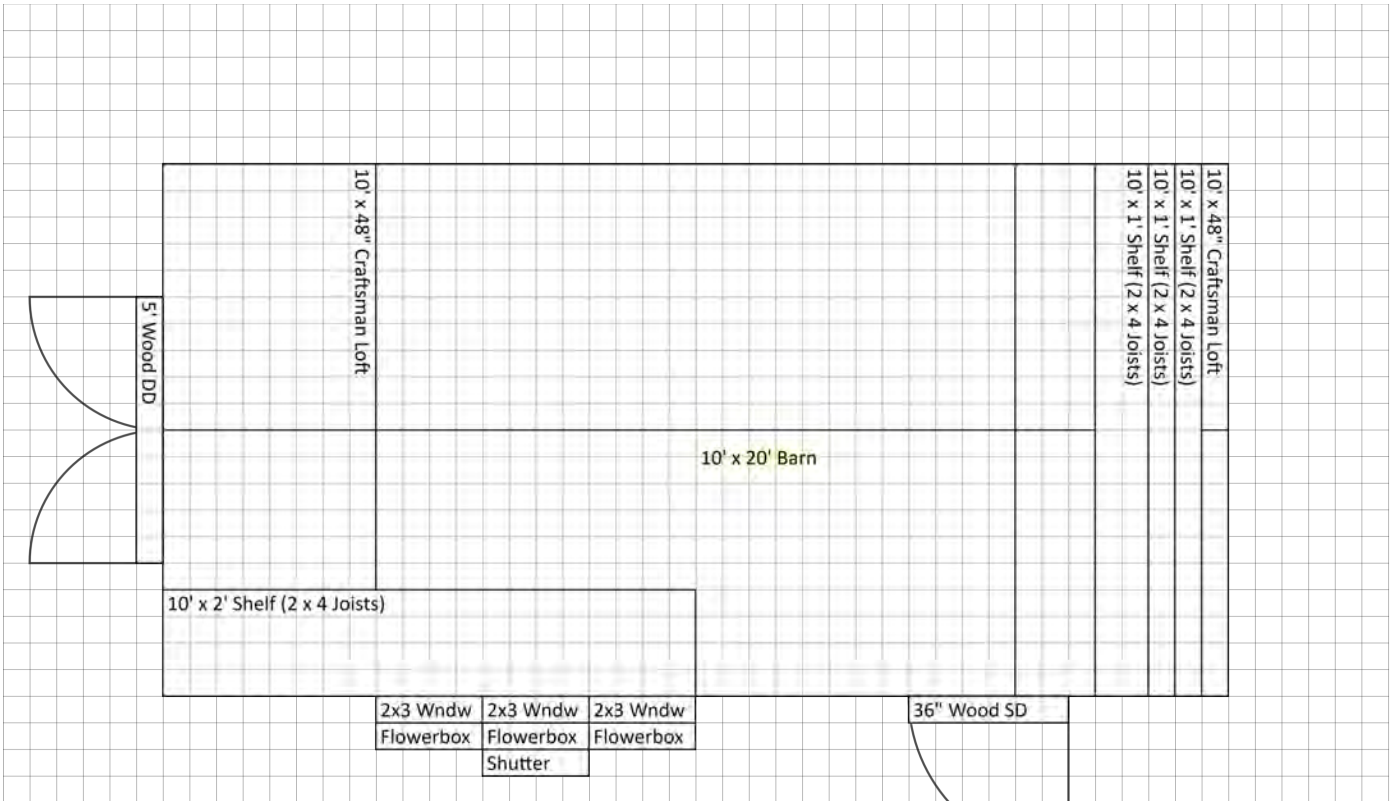
Payments			
Transaction	Type	M.O.P	Amount

Options Total	\$5,068.00
Options Credits	-\$780.00
Sub Total After Options	\$16,412.00
May special	-\$1,641.20
Delivery	\$0.00
Sub Total Before Tax	\$14,770.80
Tax (.07)	\$1,033.96
Sub Total After Tax	\$15,804.76
Deposit	
Balance Due	\$15,804.76

Notes



Visual Design





Example Construction Contract

This Agreement is made between Weaver Barns and Brian Hudson on 5/22/2023 appearing on the order to perform the work as listed on the order form attached. You certify that you are qualified to and authorize Weaver Barns and its employees, dealers and subcontractors' access to the property on the ship- too address on the order to fulfil any needs. You also release them from any and all liabilities including but not limited to damage to your driveway, lawn, septic systems, piping etc. You acknowledge that you have the right to enter into this contract and your electronic signature is as binding as a physical one.

Permits: Customer is responsible for all Building Permits.

Quote: Free

Placing the Order: A 10% Deposit is required to place an order.

Final Payment: Final payment is due (COD) on the day of the delivery. Please remit payment to Weaver Barns and deliver to the onsite Builder or Delivery Person. All pricing on an order with a deposit, is good for 6 Months from the time which the order was placed.

Delivery Complications: If the product has been loaded for delivery for the following day and needs to be postponed due to your request a \$150 'reloading fee' will apply. If your site is inadequate when we arrive and we need to return on a different day there will be a 'return trip' fee assessed of a minimum of \$250 and a maximum of \$550 depending on your location.

Cancellation: If an order is canceled within 6 months of the initial Order the deposit will be refunded in full if the order has not been finalized*. Once the order has been finalized or 6 months has passed from the original order date (Whichever comes first) the 10% Deposit (of the subtotal before tax) becomes nonrefundable. These funds are available to be used towards Weaver Barns product for 2 years after the deposit was given, after 2 years it will become the property of Weaver Barns and is not usable towards any product.

*If internal drawings or stamped drawings were made (within the 6 months period or pre finalization) for this project a fee will be assessed which the deposit will be applied to.

- **Assemble on Site Delivery:** The crew delivering this structure will back in to the building site. Unless a carry charge is selected, you give your consent to do this while releasing them from any liabilities with ruts or damage to your yard. If this is not an option, a carry charge fee will apply.



CITY OF WORTHINGTON

DRAWING NO. VAR 0018-2023

DATE 05/30/2023



BZA APPLICATION VAR 0019-2023 771 Morning St.

Plan Type:	Variance	Project:		App Date:	05/30/2023
Work Class:	Variance Residential	District:	City of Worthington	Exp Date:	
Status:	In Review			Completed:	
Valuation:	\$0.00			Approval	
Description:	We would like a variance to place a 8x10 shed behind our garage, 22 inches from the southern side yard. This would be the same set back as our current garage. See attachments for visualization.				
	1) Yes				
	2) Yes, 3 ft				
	3) No				
	4) No				
	5) No				
	6) No, we have a small yard and the shed would essentially be in the middle of our backyard following the existing 5 ft.				
	7) Yes, we would have a shed. Without the variance we will not be able to place a shed in our yard				

Parcel:	100-000290	Main	Address:	771 Morning St Worthington, OH 43085	Main	Zone:	AR-4.5(Low Density Apartment Residence)
----------------	------------	------	-----------------	---	------	--------------	---

Owner	Applicant
Nicholas M Karafa	Kasey E Karafa
771 MORNING ST	771 MORNING ST
Worthington , OH 43085	Worthington , OH 43085
Mobile: 4193491159	Mobile: (419) 350-4488

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004004	(Residential) Board of Zoning Appeals	\$25.00	\$25.00
		<u>\$25.00</u>	<u>\$25.00</u>
Total for Invoice INV-00004004		\$25.00	\$25.00
Grand Total for Plan		\$25.00	\$25.00

771 Morning St.





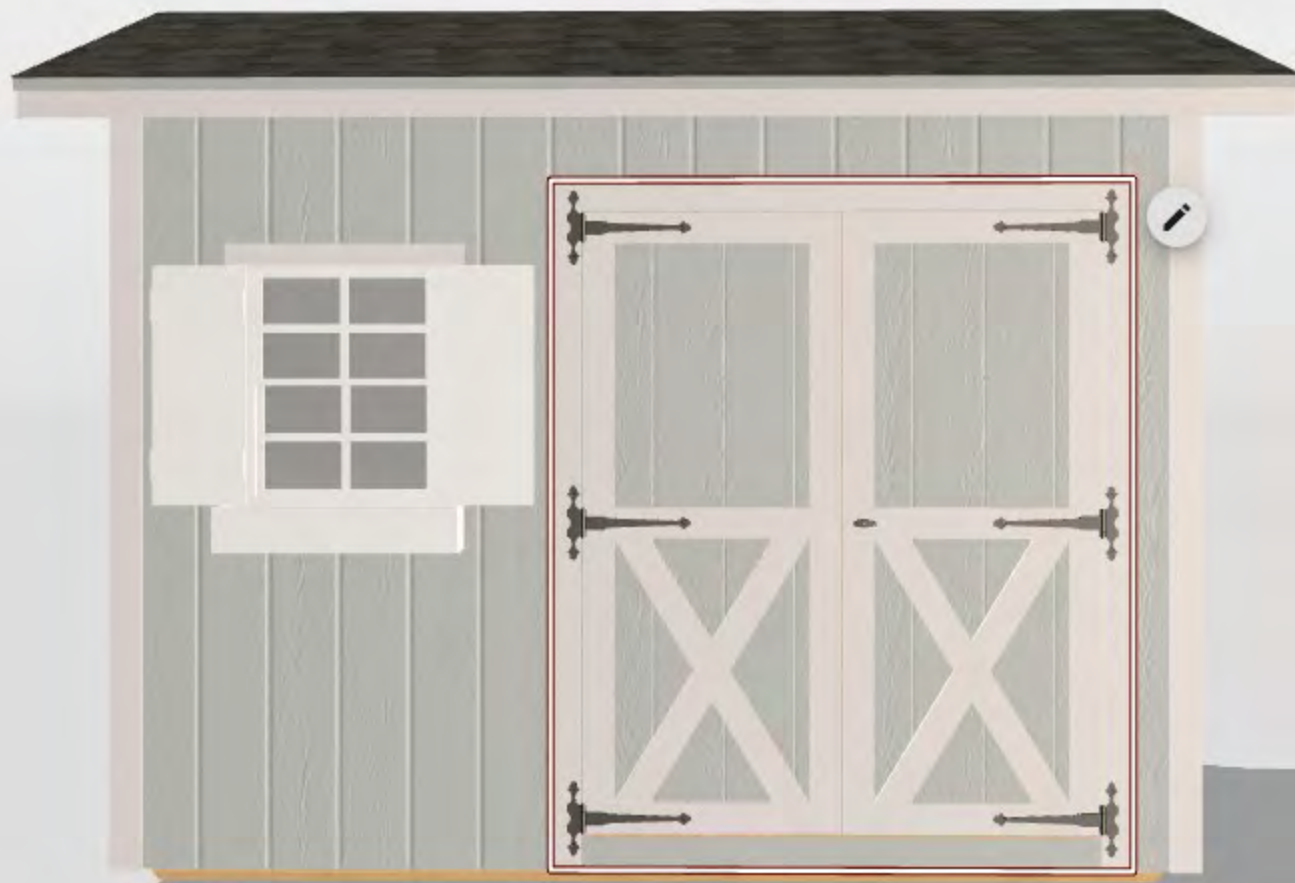
CITY OF WORTHINGTON
DRAWING NO. VAR 0019-2023
DATE 05/30/2023



CITY OF WORTHINGTON

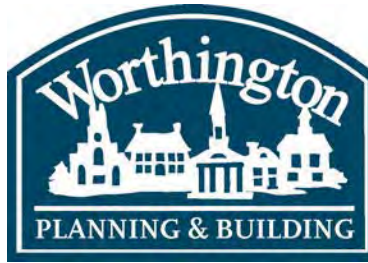
DRAWING NO. VAR 0019-2023

DATE 05/30/2023



Gable
8x10

CITY OF WORTHINGTON
DRAWING NO. VAR 0019-2023
DATE 05/30/2023



BZA APPLICATION VAR 0020-2023 510 Tucker Dr.

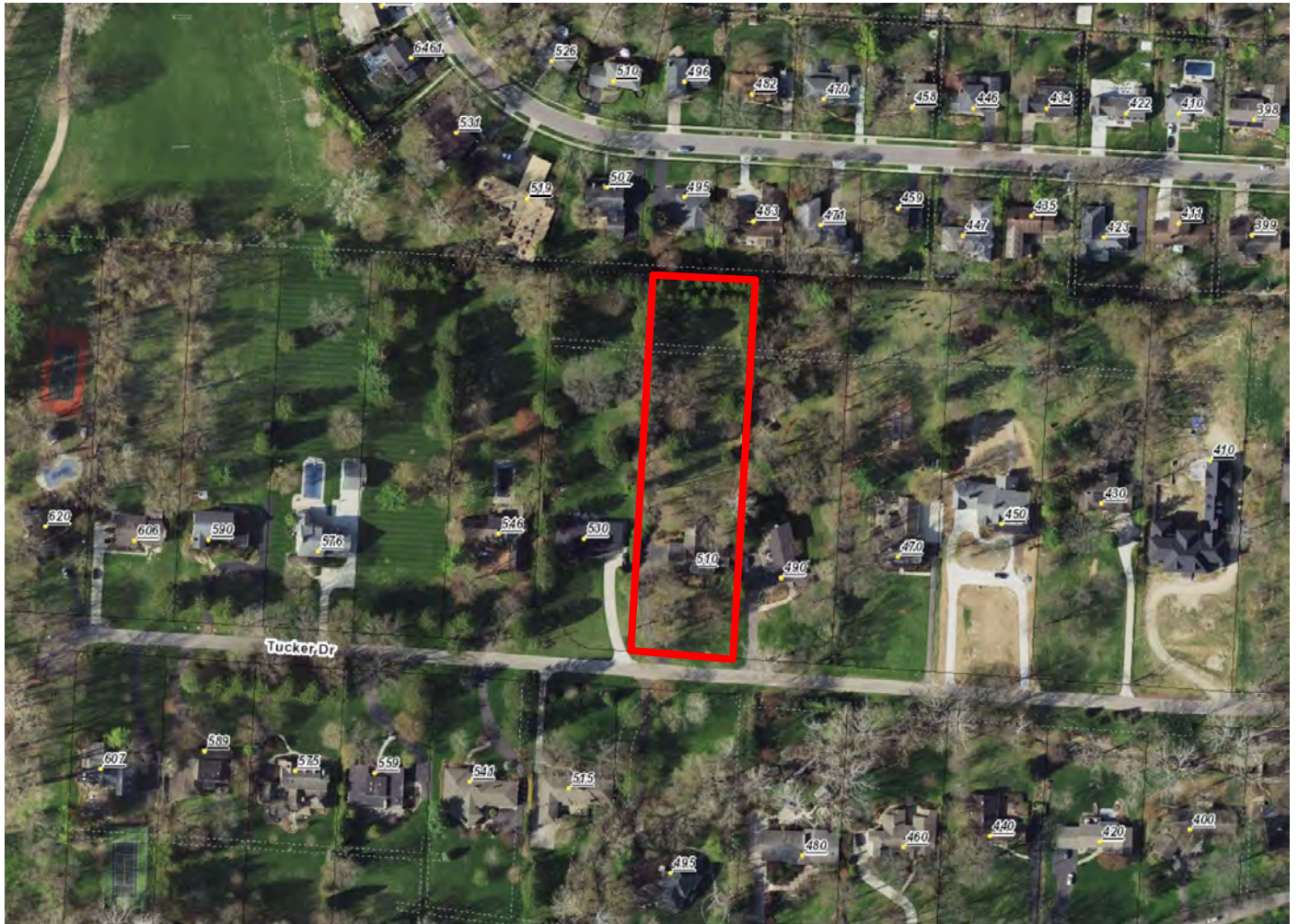
Plan Type: Variance	Project:	App Date: 05/31/2023
Work Class: Variance Residential	District: City of Worthington	Exp Date:
Status: In Review		Completed:
Valuation: \$0.00		Approval
Description: We have applied for a building permit to start on new home and have been informed that we have exceeded the allowed sq footage for the garage/detached building code 1149.08. The plans have been approved by the building department and can be issued once the variance is approved		Expire Date:

Parcel: 100-001161	Main	Address: 510 Tucker Dr	Main	Zone: R-16(Very Low Density Residential)
		Worthington, OH 43085		

Owner	Owner	Applicant
John C Camillus	Courtney M Camillus	Bob Skinner
6017 Post Rd.	510 TUCKER DR	27 Glengary Dr
Dublin, OH 43017	Worthington , OH 43085	Delaware, OH 43015
Business: 6142649837		Mobile: (614) 395-7034

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004014	(Residential) Board of Zoning Appeals	\$25.00	\$25.00
		Total for Invoice INV-00004014	\$25.00
		Grand Total for Plan	\$25.00

510 Tucker Dr.



GENERAL NOTES:

- The use of these documents are restricted to the original site for which they were prepared. Reuse or reproduction of these documents, (whole or in part) for any other purpose is prohibited. Ownership of these documents remains with Brian Kent Jones Architects Inc.
- The general contractor and sub-contractors shall be solely responsible for complying with all federal, state, local, and safety requirements together with exercising precautions at all times for the protection of persons including employees and property. It is the sole responsibility of the general contractor and sub-contractors to initiate, maintain, and supervise all safety requirements, precautions, and programs in connection with the work. The general contractor and sub-contractors are responsible for securing and maintaining all necessary insurance including workers compensation.
- The architect is not responsible for the method of construction. The general contractor shall be responsible for coordination of all work and for the means, methods, procedures, techniques, and sequence of construction.
- The general contractor shall provide all required permits, fees, and inspections as may be required by governing bodies having legal jurisdiction.
- When the general contractor accepts delivery of all items noted on the plans either in contract or not in contract he shall be responsible for loss and / or damage of these items.
- The general contractor shall verify all dimensions and existing field conditions with the drawings. In particular: soil conditions, incoming utilities, etc. The general contractor shall report immediately to the architect any variances or field conditions that may cause construction problems prior to commencing work.
- All work including plumbing, hvac, and electrical work not detailed herein, shall comply with applicable state and local building codes and the building standards referenced therein.
- Plan dimensions are to the face of rough framing or masonry unless noted otherwise. Dimensions of exterior frame walls include ½" thick sheathing. All interior stud walls are dimensioned at 3 ½" unless noted otherwise.
- Drawings are not to be scaled. Written dimensions govern. All partition locations, all door and opening locations shall be as shown on floor plan. Any discrepancies between field dimensions and / or observations with those indicated on the drawings should be brought to the immediate attention of the architect for clarification / correction before proceeding with work in affected areas.
- If conflicts between the building material specifications and their design characteristics arise, the greater specification shall take precedence as determined by the architect.
- The contractor is responsible for keeping the premises in a neat and orderly fashion. Construction debris removal from the site shall be the responsibility of the contractors.
- All material used in the construction of this project shall be new unless otherwise noted. Reject and replace any damaged material resulting from warpages, weather damage, or other causes.
- The contractor is responsible for coordination of all work including adequate per-review of all shop drawings. Errors due to lack of review and / or coordination shall be corrected at the expense of the contractor.
- The contractor is responsible for maintaining a secure site at all times. The contractor shall cover and secure any exposed pits, trenches, etc. at the end of each work day.
- All garages must be separated from the residence (walls, ceiling, attic space, etc.) with ½" Type X gypsum board.
- It is the sole responsibility of the contractor to provide and coordinate all flashing, waterproofing, damp-proofing, and management of water distribution (i.e. gutters, downspouts, internal drains, thru-wall flashing, sub-surface drainage, etc.) associated with the structure.
- It is the sole responsibility of the contractor to notify the owner that all houses have a potential to have radon levels that exceed the recommended levels established by the United States EPA. It is not the responsibility of Brian Kent Jones Architects, Inc. or the structural engineer to determine if radon abatement system is needed. Radon resistant construction techniques meeting the requirements of the RCO AF103.1 are to be used.
- The site development plan included in this set may not identify all known easements, set-backs, walls, utilities, grading, flood plain analyses or additional civil engineering evaluations with regard to the impact of any adjacent waterways.
- It is the responsibility of the general contractor to verify all subsurface conditions associated with the site and to confirm the bearing criteria of the soils.
- Sites in proximity to water features require familiarity on the contractor's part to manage any associated risks. It is the sole responsibility of the general contractor to assess and inform the client of the recommended analysis, evaluation and troubleshooting including but not limited to: flood plain analysis, management of hydraulic risks, subsurface geotechnical analyses (groundwater, soils) and utilities.
- The design of this house is based on the following:
A. The contractor understanding and applying all applicable building codes.
B. The contractor understanding and applying building principles used for residential construction.
C. The contractor being experienced with construction of a residence of the size, complexity, and expected quality of this residence.
D. The contractor being knowledgeable and experienced with various building materials and how they interact with each other.
E. The contractor proceeding with the work in a timely manner so that the residence is subjected to a minimum amount of rain, snow, and wind.
F. The contractor being experienced enough to execute details not shown on these documents.

FOUNDATION NOTES:

- Reference structural engineers foundation wall design details and general notes for additional information.
- Minimum footing depth to be 36" below grade or to firm bearing, whichever is greater.
- All lumber in contact with any masonry surface is to be treated wood. Maintain ½" air space between any stud wall and masonry wall.
- The finished grade away from foundation walls shall fall a minimum of 6" within the first 10'-0".
- Concrete for interior floor slabs shall be 3500 psi. Concrete for garage slabs and exterior slabs shall be 4500 psi with air entrainment. All interior slabs, place a vapor barrier over base course in accordance with applicable codes.
- Concrete for footings shall be 3000 psi. Concrete for foundation walls shall be 4000 psi with air entrainment.
- It is solely the contractor's responsibility to follow all applicable safety codes and regulations during all phases of construction.
- Footings have been designed for a load-bearing value of soil of 1500 pcf. It is the responsibility of the general contractor to verify actual site conditions.

GENERAL FRAMING NOTES:

- Reference structural engineers general notes and details for additional criteria.
- All new lumber used in the construction of this project shall meet the values of No. 1 Southern Pine. (When material specifications vary between these values and the structural engineer's drawings, the greater value shall govern.)
- Minimum bearing of all structural members shall be 1 ½" unless noted otherwise.
- All interior dimensions to face of stud (3½") unless noted otherwise.
- All exterior dimensions to face of sheathing (4" or 6" to be noted on plans) unless noted otherwise.
- All I/II beams shall bear on minimum (3") solid 2x4's glued and nailed unless noted otherwise.
- All exterior wall headers to be 2-2x10's (4" walls) 3-2x10's (6" walls) at height specified on the plans unless noted otherwise.
- Sheathing on roof, floors and walls - Use 8d nails at 6" o.c. at panel edges and 12" o.c. at intermediate supports unless noted otherwise. Glue and nail floor sheathing. Use adhesive meeting APA specification AFG-01 and applied in accordance with manufacturer's recommendations.
- Apply continuous bead of glue on joists and groove of tongue-and-groove panels.
- Provide attic access per code requirements. Any attic space over 30" in height shall have a framed 22" x 30" opening. (These locations are not exhaustively indicated on the drawings.)
- Ceiling soffits and coffered ceilings to be determined by owner and architect at a later date.
- Dashed areas indicate soffits. Soffit heights are either noted on the plans or are to be determined by the owner and architect at a later date.
- R502.14 Fire resistance of floors. Floor assemblies, not required elsewhere in this code to be fire resistance rated, shall be provided with a ¾" gypsum board membrane or a 5" wood structural panel membrane or an equivalent material on the underside of the floor framing member which complies with Section 302.14

TREATED LUMBER:

Due to the discontinued production of CCA (chromated copper arsenate) type preservative treatment, newer preservative treatments will require that all metal fasteners that come in contact with these types of treated lumber, be of corrosive-resistant material. Industry standards recommend stainless steel or not less than G185 or hot-dipped galvanized anchors and fasteners to be used.

ROOM FINISH SCHEDULE:

- Floor finishes and ceiling heights are indicated on the floor plan.
- All walls: painted drywall, color to be selected by owner.
- All ceilings: smooth painted drywall, color to be selected by owner.
- All base and casing: wood base and casings per owner's specifications.

INSULATION INFORMATION:

Follow RES Check Compliance Report on M4.1

HVAC NOTES:

- HVAC to be in full compliance with current code.
- HVAC contractor to submit manual J calculations.

ATTIC VENTILATION:

Soffit vents and roof or ridge vents are to be used. The required total sq. ft. of attic ventilation is determined by the requirements of Section R806 Roof Ventilation.

R806.1 Ventilation required. Enclosed attics and enclosed rafter spaces formed where ceilings are applied directly to the underside of roof rafters shall have cross ventilation for each separate space by ventilating openings protected against the entrance of rain or snow. Ventilating openings shall be provided with corrosion-resistant wire mesh, with ⅛ inch minimum to ½ inch maximum openings.

R806.2 Minimum area. The total net free ventilating area shall not be less than 1 to 150 of the area of the space ventilated except that the total area is permitted to be reduced to 1 to 300, provided at least 50 percent and not more than 80 percent of the required ventilating area is provided by ventilators located in the upper portion of the space to be ventilated at least 3 feet above eave or cornice vents with the balance of the required ventilation provided by eave or cornice vents. As an alternative, the net free cross-ventilation area may be reduced to 1 to 300 when a vapor barrier having a transmission rate not exceeding 1 perm (57.4 mg/s.m² Pa) is installed on the warm side of the ceiling.



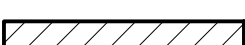


WINDOW INFORMATION:

- Window designations shown on the drawings are based on Windsor Pinnacle Clad series.
- In rooms with inadequate window ventilation (storage rooms, bathrooms, etc.) The mechanical ventilation system provided shall be capable of producing 0.35 air change per hour in the room or a whole-house mechanical ventilation system is installed capable of supplying outdoor ventilation air of 15 cubic feet per minute (cfm)(7.08 L / s) per occupant computed on the basis of two occupants for the first bedroom and one occupant for each additional bedroom.
- Glazing in hazardous locations as defined in Section R308.4 shall be provided with a manufacturer's or installer's label, designating the type and thickness of glass and the safety glazing standard with which it complies, which is visible in the final installation.
- R310.1 Emergency escape and rescue required. Basements with habitable space and every sleeping room shall have at least one openable emergency escape and rescue window or exterior door opening for emergency escape and rescue. Where openings are provided as a means of escape and rescue they shall have a sill height of not more than 44 inches above the floor. R310.1.1 All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet. R310.1.2 The minimum net clear opening height shall be 24 inches. R310.1.3 The minimum net clear opening width shall be 20 inches.
- Fenestration should be in compliance with R1102.1

DOOR INFORMATION:

- Interior doors: Style and finish by owner. Hardware selected by owner.
- Door designation example: 2668 indicates a door 2'-6" wide X 6'-8" high.
- Glass in exterior doors, interior doors, shower doors, and tub enclosures shall comply with the requirements of R308.3 Human impact loads.
- Doors between the garage and residence shall be equipped with solid wood not less than 1 ½" in thickness, solid or honeycomb core steel doors not less than 1 ½" thick, or 20-minute fire-rated doors.

WALL LEGEND:

	2x4 or 2x6 Wood Stud Wall
	Stone
	Concrete Block Wall
	Poured Concrete Wall
	Alternates

ELECTRIC NOTES:

- Electric to be in full compliance with the 2014 National Electric Code.
- 400 amp electric service to be grounded.
- Smoke alarms shall be installed per RCO 314.3
A. Smoke detectors and CO2 detectors shall be installed in:
A.A. All sleeping rooms
A.B. Outside and in the immediate vicinity of each sleeping room
A.C. On each additional story including basements and habitable attics
B. All detectors shall be interconnected
C. Where the interior floor area for a given level of a dwelling unit is greater than 1,000 s.f., smoke alarms shall be installed so all points on the ceiling shall have a smoke alarm within a distance of 30 feet travel distance or shall have an equivalent of one smoke alarm per 500 s.f. of floor area. Per NFPA 72 29.5.1.3
D. Smoke alarms and smoke detectors shall not be installed within a 36" horizontal path from a door to a bathroom containing a shower or tub. Per NFPA 72 29.8.3.4(5)
E. All smoke alarms shall be listed in accordance with UL 217 and installed in accordance with provisions of this code and the house hold fire warning equipment provisions of NFPA 72. On each level within each dwelling unit smoke alarms utilizing photoelectric and ionization technologies shall be installed. Separate or dual-sensing smoke alarms may be used. A smoke alarm located in accordance with section 314.3(2) shall include photoelectric technology. Per RCO 314.1
- CO alarms shall be installed outside each sleeping room Per RCO 315



CODE DATA:

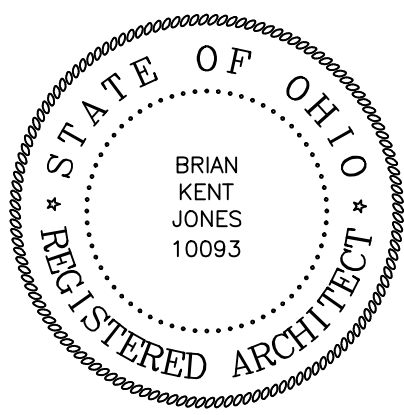
GOVERNING CODE: 2019 RESIDENTIAL CODE OF OHIO

SQUARE FOOTAGE (BASE):

FIRST FLOOR:	3,750 S.F.
SPORT COURT:	1,117 S.F.
SECOND FLOOR:	4,201 S.F.
FINISHED LOWER LEVEL:	1,330 S.F.
TOTAL:	10,398 S.F.
MAIN GARAGE:	542 S.F.
SOUTH GARAGE:	708 S.F.
POOL HOUSE	420 S.F.
EXISTING POTTERY BARN	264 S.F.

SHEET INDEX:

SHEET NUMBER	DESCRIPTION
GN-1	General Notes
SP-1	Architectural Site Plan
A0.1	Foundation Plan
A1.1	Lower Level Plan
A2.1	First Floor Plan
A3.1	Second Floor Plan
A4.1	Roof Plan
A5.1	Exterior Elevations
A5.2	Exterior Elevations
A5.3	Exterior Elevations
A5.4	Pool House
A6.1	Building Sections
A6.2	Building Sections
A7.1	Wall Sections
A7.2	Wall Sections
A7.3	Wall Sections
S0.1	Structural Notes and Details
E1.1	Lower Level Electrical Plan
E2.1	First Floor Electrical Plan
E3.1	Second Floor Electrical Plan



CAMILLUS RESIDENCE
510 TUCKER DRIVE
WORTHINGTON, OHIO 43085

JONES
BRIAN KENT JONES ARCHITECTS, INC.
500 CITY CENTER DRIVE, SUITE 400
COLUMBUS, OHIO 43215
PH: 614.585.2729 FAX: 614.496.7015

GENERAL NOTES

20007
17 MAY 2023

CONSTRUCTION DOCUMENTS

REVISIONS

GN-1



510 TUCKER DRIVE

SERVICES, ARE AND SHALL REMAIN THE PROPERTY OF THE COMPANY FOR WHATEVER PURPOSE WHATSOEVER, WITHOUT THE NECESSITY OF NOTICE.

JONES

303 CITY PARK AVENUE, COLUMBUS, OH 43215
P 614-358-3729 F 614-340-7015

ARCHITECTURAL SITE PLAN

17 MAY 2023

CONSTRUCTION DOCUMENTS

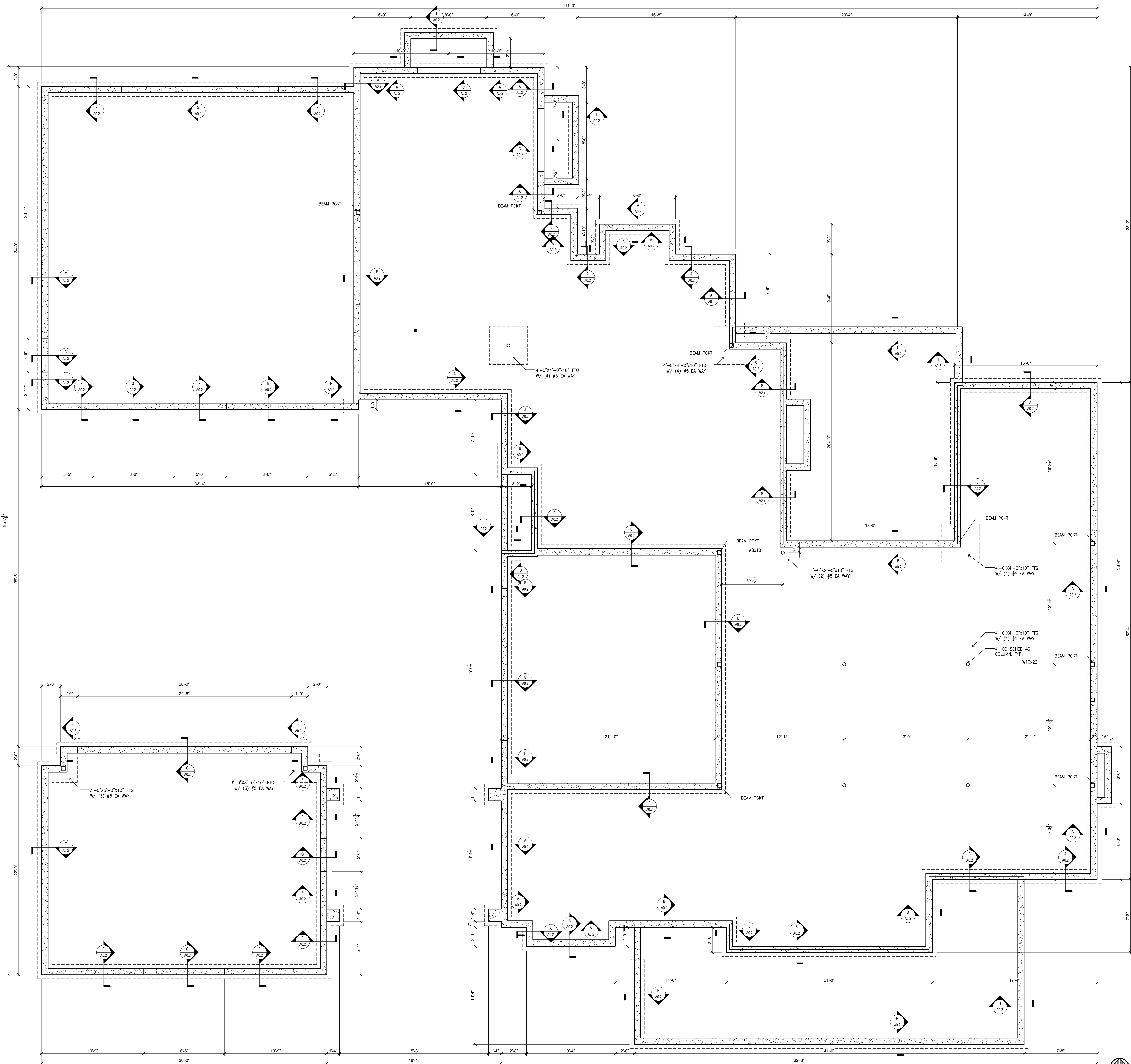
SP.1



ARCHITECTURAL SITE PLAN
Scale : 1" = 40' - 0"

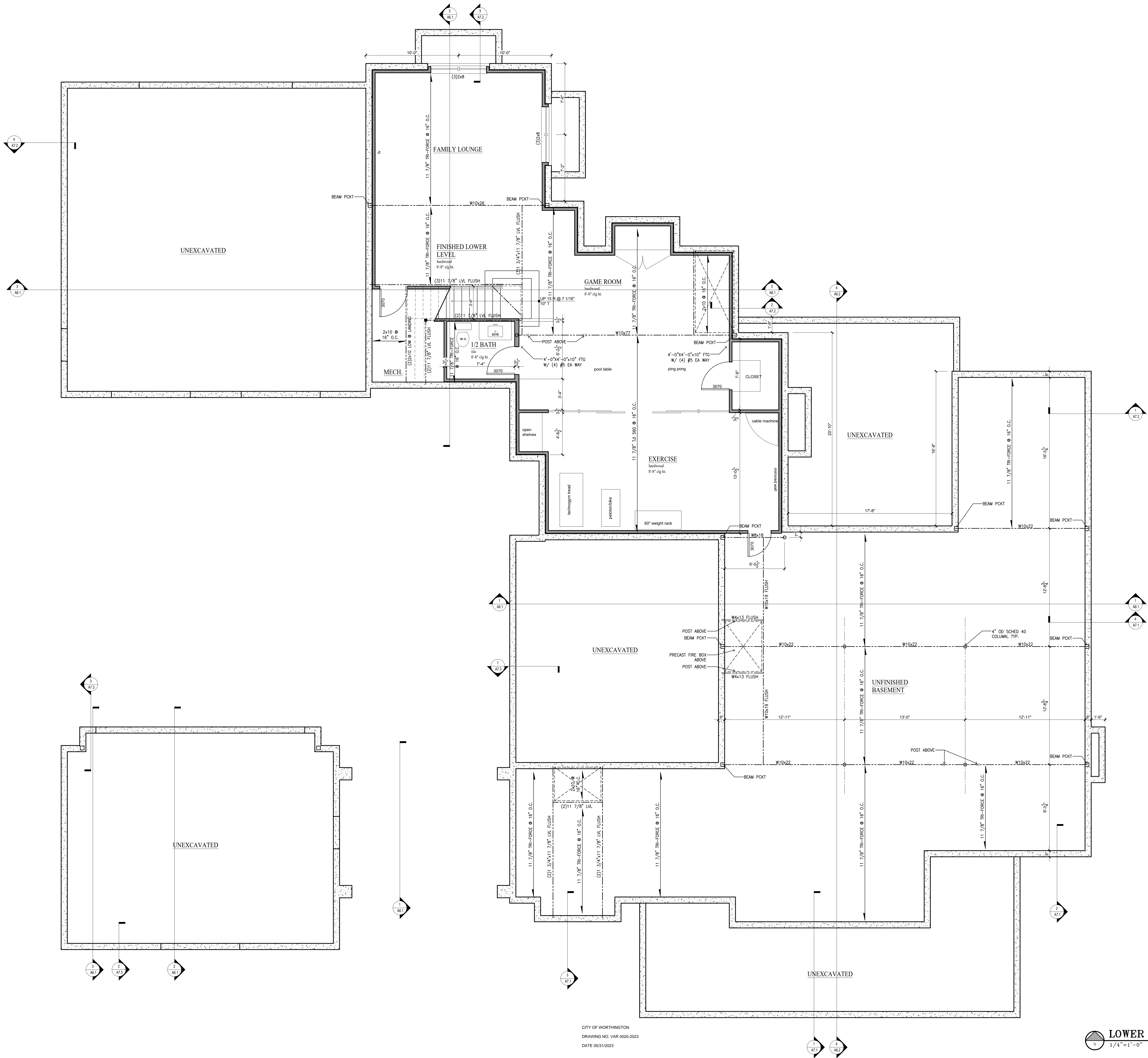
Scale : 1" = 40' - 0"

CITY OF WORTHINGTON
DRAWING NO. VAR 0020-2023
DATE 05/31/2023



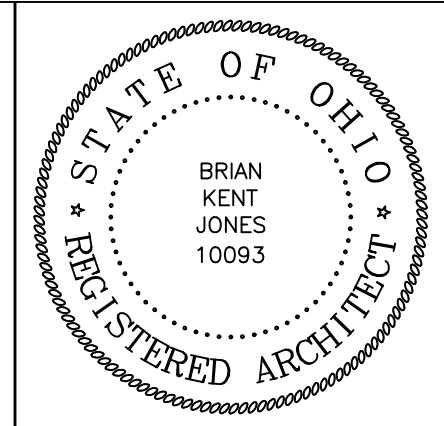
FOUNDATION PLAN
1/4"=1'-0"

REVISIONS	FOUNDATION PLAN		JONES BRIAN KENT JONES ARCHITECTS, INC. 50 CITY CENTER DRIVE, SUITE 400 P.O. BOX 3729 WORTHINGTON, OHIO 43085 P: 614.486.3729 F: 614.486.3012	CAMILLUS RESIDENCE 510 TUCKER DRIVE WORTHINGTON, OHIO 43085	BRIAN KENT JONES REGISTERED ARCHITECT STATE OF OHIO 10093
	20007 17 MAY 2023				
	CONSTRUCTION DOCUMENTS				



CITY OF WORTHINGTON
DRAWING NO. VAR 0020-2023
DATE 05/31/2023

LOWER LEVEL FLOOR PLAN
1/4"=1'-0"



CAMILLUS RESIDENCE
510 TUCKER DRIVE
WORTHINGTON, OHIO 43085

JONES
BRIAN KENT JONES ARCHITECTS, INC.
50 CITY CENTER DRIVE
P.O. BOX 3729 W. LEBANON, OHIO 43085-0729

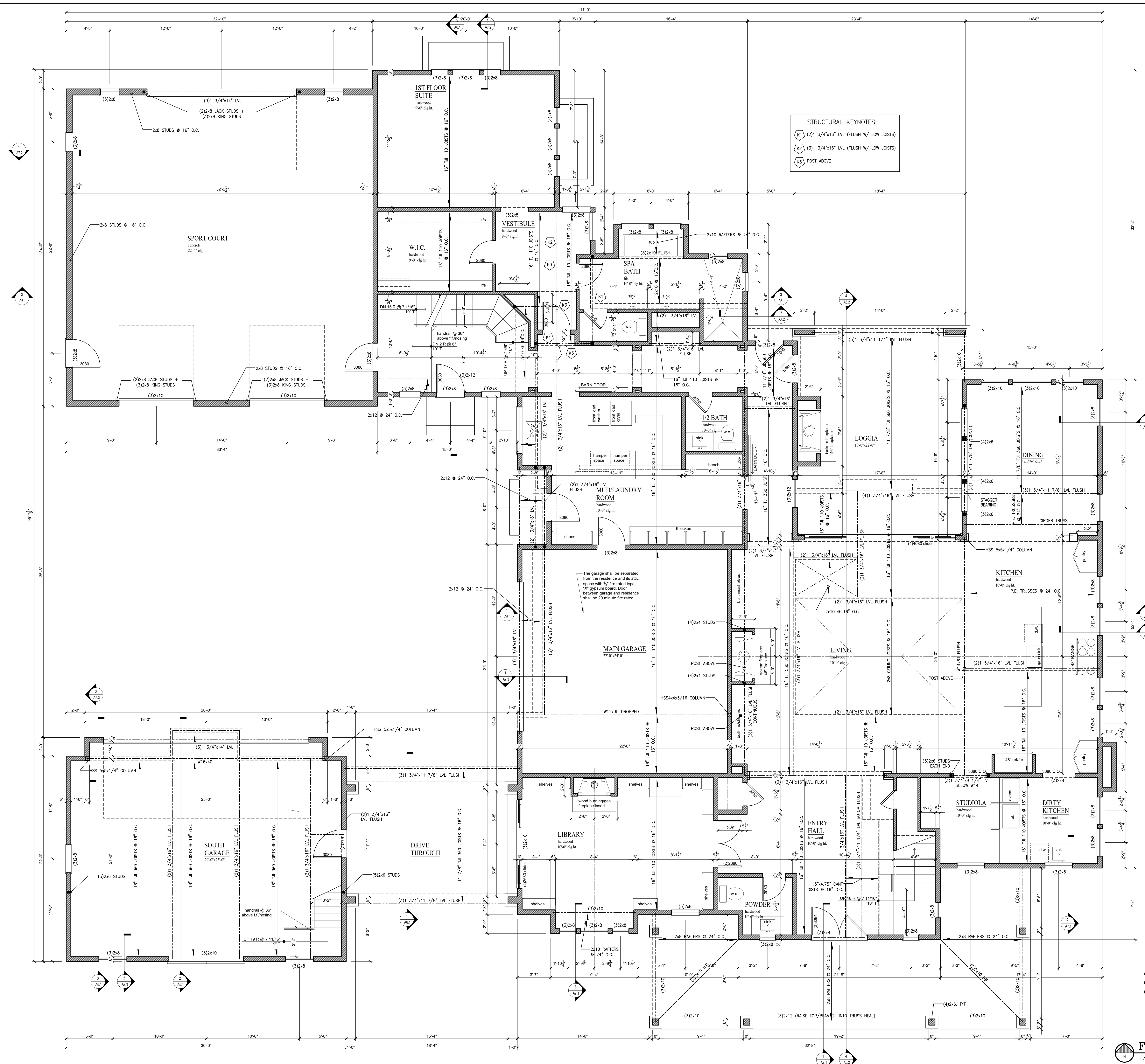
LOWER LEVEL FLOOR PLAN

2007
17 MAY 2023

CONSTRUCTION DOCUMENTS

REVISIONS

A1.1



CITY OF WORKINGTON
DRAWING NO. VAR 0020-2023
DATE 05/31/2023

FIRST FLOOR PLAN
1/4"=1'-0"

STATE OF OHIO

BRIAN KENT JONES

10093

REGISTERED ARCHITECT

WORKINGTON, OHIO 43085

CAMILLUS RESIDENCE

510 TUCKER DRIVE

JONES

BRIAN KENT JONES ARCHITECTS, INC.

50 CITY CENTER DRIVE, SUITE 200
P.O. BOX 335, 43085-0335
WORKINGTON, OHIO 43085

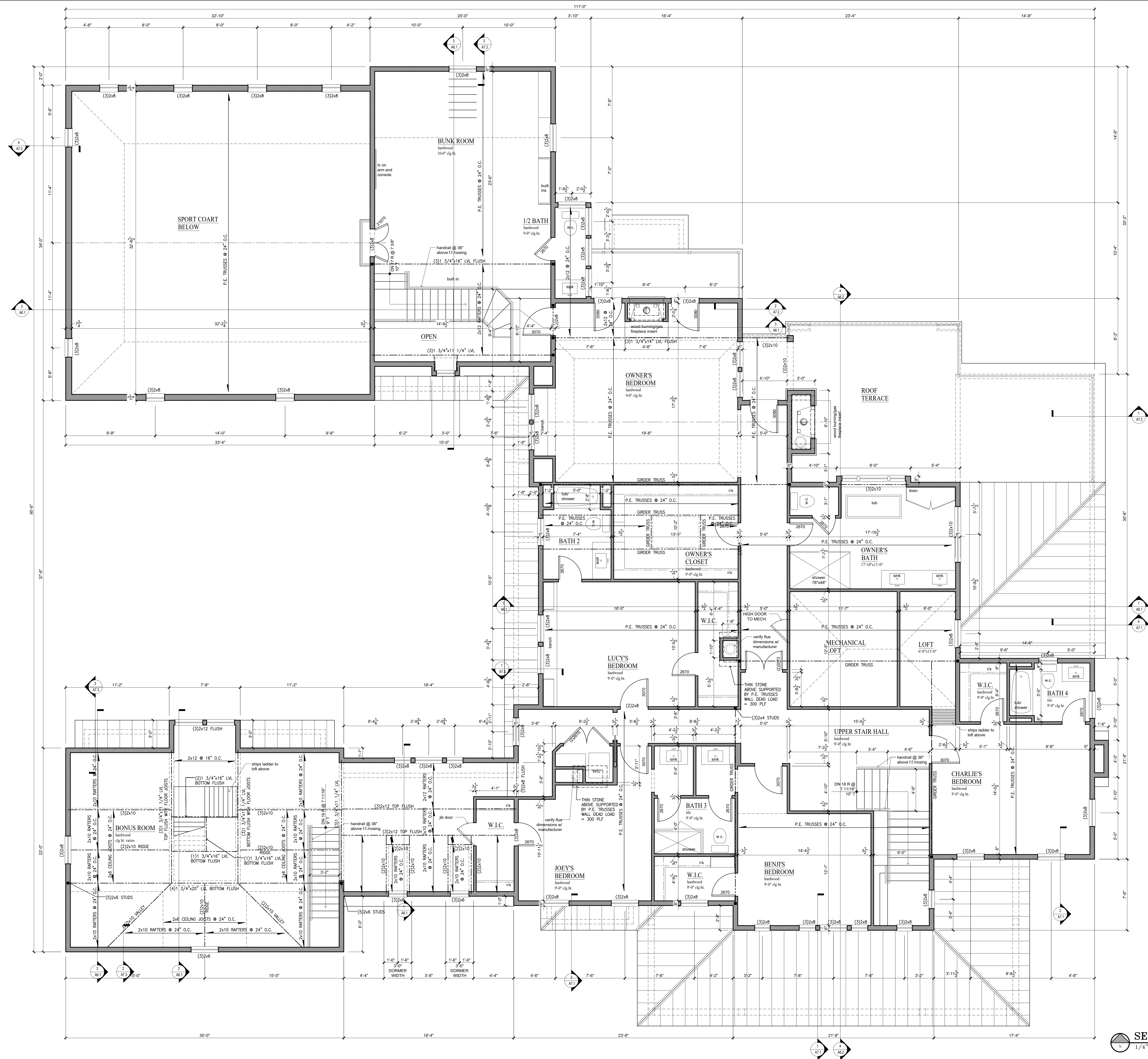
2007

17 MAY 2023

CONSTRUCTION DOCUMENTS

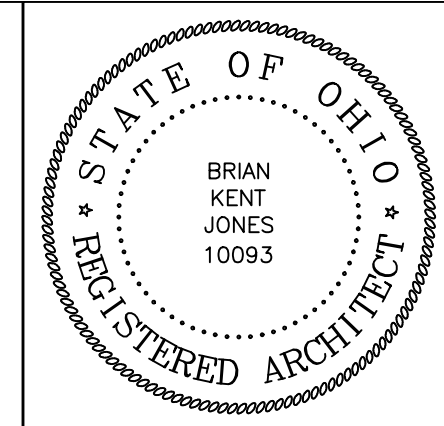
REVISIONS

A2.1



CITY OF WORTHINGTON
DRAWING NO. VAR 0020-2023
DATE 05/31/2023

SECOND FLOOR PLAN
1/4"=1'-0"



CAMILLUS RESIDENCE
510 TUCKER DRIVE
WORTHINGTON, OHIO 43085

JONES
BRIAN KENT JONES ARCHITECTS, INC.
50 CITY CENTER DRIVE, SUITE 400
COLUMBUS, OHIO 43215
614.458.3729 • 614.458.3015

REVISIONS	SECOND FLOOR PLAN	
	DATE	DESCRIPTION
	20007	
	17 MAY 2023	
	CONSTRUCTION DOCUMENTS	

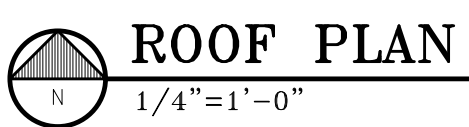
A3.1



17 MAY 2023

CONSTRUCTION DOCUMENTS

A4.1





1 SOUTH ELEVATION
1/4"=1'-0"



2 WEST ELEVATION
1/4"=1'-0"

Exterior Finish Coded Notes:

1. Board and Batten siding
2. Thin stone veneer
3. Aluminum clad, simulated divided lite windows
4. Asphalt shingles
5. Standing seam metal roof
6. Cat limestone
7. Aluminum 1/2 round gutters on 1x8 fascia board
8. Round aluminum downspouts with collector
9. 1x4 window and door trim
10. 1x4 corner boards
11. Stone porch decks and treads
12. Built up wood column wraps
13. Cedar shingle siding
14. Decorative wood bracket
15. Copper finial
16. 1x8 rake boards
17. Vertical shiplap siding
18. Composite sill on 1x8 trim board
19. Wood shutters w/ hardware and shutter dogs
20. Steel railing system
21. Fiber cement panels
22. Clapboard siding - 6" exposure
23. Bileco door system

WINDOW & EXTERIOR DOOR SCHEDULE

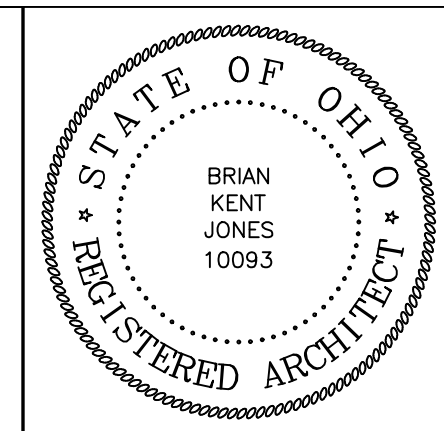
SIZES ARE BASED ON MARVIN ULTIMATE CLAD WINDOWS AND DOORS

NUMBER	SIZE	WINDOW / DOOR TYPE
1	3028	DOUBLE HUNG
2	1628	DOUBLE HUNG
3	2036	CASEMENT
4	2440	CASEMENT
5	3636	CASEMENT
6	2024	CASEMENT
7	(2)3636	(2)CASEMENT
8	3620	CASEMENT - CUSTOM WIDTH TO MATCH DOUBLE HUNG BELOW
9	2220	CASEMENT - CUSTOM WIDTH TO MATCH DOUBLE HUNG BELOW
10	2828	DOUBLE HUNG
11	3672	CASEMENT
12	5064	CASEMENT
13	5020	CASEMENT
14	3654	CASEMENT
15	2054	CASEMENT
16	(2)3660	(2)CASEMENT
17	3642	CASEMENT
18	1542	CASEMENT
19	(2)3'-0"x8'-4"	(2)3/4 LITE ENTRY DOORS
20	3'-0"x8'-0"	FULL LITE ENTRY DOOR
21	(4)4'-0"x8'-0"	4 PART SLIDING DOOR
22	3'-0"x8'-0"	3/4 LITE ENTRY DOOR
23	3'-0"x8'-0"	2 PANEL ENTRY DOOR
24	(4)2'-6"x8'-0"	4 PART SLIDING DOOR
25	(2)5'-0"x10'-0"	(2)2 PANEL BARN DOORS
26	16'-0"x8'-0"	OVERHEAD GARAGE DOOR
27	20'-0"x8'-0"	OVERHEAD GARAGE DOOR
28	8'-0"x8'-0"	OVERHEAD GARAGE DOOR

WINDOW AND DOOR NOTES:

1. VERIFY ALL ROUGH OPENING SIZES WITH WINDOW MANUFACTURER
2. SEE SHOP DRAWINGS FOR SAFETY GLAZING (S.G.) WINDOW LOCATIONS
3. WINDOW TYPE 1 MEETS OR EXCEEDS EMERGENCY ESCAPE AND RESCUE REQUIREMENTS FOR SLEEPING ROOMS
4. ALL DOORS AND SIDE LITES TO HAVE TEMPERED SAFETY GLAZING

CITY OF WORTHINGTON
DRAWING NO. VAR 0020-2023
DATE 05/31/2023



WORTHINGTON, OHIO 43085

CAMILLUS RESIDENCE
510 TUCKER DRIVE

JONES
BRIAN KENT JONES ARCHITECTS, INC.
50 CITY CENTER
PARLASS, OHIO 43085-2729
P: 614.496.7015
F: 614.496.7015

EXTERIOR ELEVATIONS

20007
17 MAY 2023

CONSTRUCTION DOCUMENTS

REVISIONS

A5.1



NORTH ELEVATION
1/4"=1'-0"



EAST ELEVATION
1/4"=1'-0"

Exterior Finish Coded Notes:

1. Board and Batten siding
2. Thin stone veneer
3. Aluminum clad, simulated divided lite windows
4. Asphalt shingles
5. Standing seam metal roof
6. Cat limestone
7. Aluminum 1/2 round gutters on 1x8 fascia board
8. Round aluminum downspouts with collector
9. 1x4 window and door trim
10. 1x4 corner boards
11. Stone porch decks and treads
12. Built up wood column wraps
13. Cedar shingle siding
14. Decorative wood bracket
15. Copper finial
16. 1x8 rake boards
17. Vertical shiplap siding
18. Composite sill on 1x8 trim board
19. Wood shutters w/ hardware and shutter dogs
20. Steel railing system
21. Fiber cement panels
22. Clapboard siding - 6" exposure
23. Bilco door system

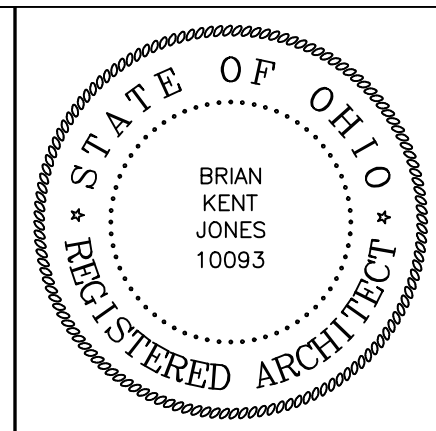
WINDOW & EXTERIOR DOOR SCHEDULE

SIZES ARE BASED ON MARVIN ULTIMATE CLAD WINDOWS AND DOORS

NUMBER	SIZE	WINDOW / DOOR TYPE
1	3028	DOUBLE HUNG
2	1628	DOUBLE HUNG
3	2036	CASEMENT
4	2440	CASEMENT
5	3636	CASEMENT
6	2024	CASEMENT
7	(2)3636	(2)CASEMENT
8	3620	CASEMENT - CUSTOM WIDTH TO MATCH DOUBLE HUNG BELOW
9	2220	CASEMENT - CUSTOM WIDTH TO MATCH DOUBLE HUNG BELOW
10	2828	DOUBLE HUNG
11	3672	CASEMENT
12	5064	CASEMENT
13	5020	CASEMENT
14	3654	CASEMENT
15	2054	CASEMENT
16	(2)3660	(2)CASEMENT
17	3642	CASEMENT
18	1542	CASEMENT
19	(2)3'-0"x8'-4"	(2)3/4 LITE ENTRY DOORS
20	3'-0"x8'-0"	FULL LITE ENTRY DOOR
21	(4)4'-0"x8'-0"	4 PART SLIDING DOOR
22	3'-0"x8'-0"	3/4 LITE ENTRY DOOR
23	3'-0"x8'-0"	2 PANEL ENTRY DOOR
24	(4)2'-6"x8'-0"	4 PART SLIDING DOOR
25	(2)2'-0"x10'-0"	(2)2 PANEL BARN DOORS
26	16'-0"x8'-0"	OVERHEAD GARAGE DOOR
27	20'-0"x8'-0"	OVERHEAD GARAGE DOOR
28	8'-0"x8'-0"	OVERHEAD GARAGE DOOR

WINDOW AND DOOR NOTES:

1. VERIFY ALL ROUGH OPENING SIZES WITH WINDOW MANUFACTURER
2. SEE SHOP DRAWINGS FOR SAFETY GLAZING (S.G.) WINDOW LOCATIONS
3. WINDOW TYPE 1 MEETS OR EXCEEDS EMERGENCY ESCAPE AND RESCUE REQUIREMENTS FOR SLEEPING ROOMS
4. ALL DOORS AND SIDE LITES TO HAVE TEMPERED SAFETY GLAZING



WORKINGTON, OHIO 43085

CAMILLUS RESIDENCE
510 TUCKER DRIVE

JONES
BRIAN KENT JONES ARCHITECTS, INC.
50 CITY CENTER DRIVE, SUITE 400
COLUMBUS, OHIO 43215
PH: 614.583.2729 FAX: 614.583.2013

EXTERIOR ELEVATIONS

20007
17 MAY 2023

CONSTRUCTION DOCUMENTS

REVISIONS

A5.2

CITY OF WORTHINGTON
DRAWING NO. VAR 0020-2023
DATE 05/31/2023



CITY OF WORTHINGTON
DRAWING NO. VAR 0020-2023
DATE 05/31/2023

COURTYARD ELEVATION
1/4"=1'-0"

- Exterior Finish Coded Notes:
- Board and Batten siding
 - Thin stone veneer
 - Aluminum clad, simulated divided lite windows
 - Asphalt shingles
 - Standing seam metal roof
 - Car limestone
 - Aluminum 1/2 round gutters on 1x8 fascia board
 - Round aluminum downspouts with collector
 - 1x4 window and door trim
 - 1x4 corner boards
 - Stone porch decks and treads
 - Built up wood column wraps
 - Cedar shingle siding
 - Decorative wood bracket
 - Copper finial
 - 1x8 rake boards
 - Vertical shiplap siding
 - Composite sill on 1x8 trim board
 - Wood shutters w/ hardware and shutter dogs
 - Steel railing system
 - Fiber cement panels
 - Clapboard siding - 6" exposure
 - Bileo door system

WINDOW & EXTERIOR DOOR SCHEDULE		
SIZES ARE BASED ON MARVIN ULTIMATE CLAD WINDOWS AND DOORS		
NUMBER	SIZE	WINDOW / DOOR TYPE
1	3028	DOUBLE HUNG
2	1628	DOUBLE HUNG
3	2036	CASEMENT
4	2440	CASEMENT
5	3636	CASEMENT
6	2024	CASEMENT
7	(2)3636	(2)CASEMENT
8	3620	CASEMENT - CUSTOM WIDTH TO MATCH DOUBLE HUNG BELOW
9	2220	CASEMENT - CUSTOM WIDTH TO MATCH DOUBLE HUNG BELOW
10	2828	DOUBLE HUNG
11	3672	CASEMENT
12	5064	CASEMENT
13	5020	CASEMENT
14	3654	CASEMENT
15	2054	CASEMENT
16	(2)3660	(2)CASEMENT
17	3642	CASEMENT
18	1542	CASEMENT
19	(2)3'-0"x8'-4"	(2)3/4 LITE ENTRY DOORS
20	3'-0"x8'-0"	FULL LITE ENTRY DOOR
21	(4)4'-0"x8'-0"	4 PART SLIDING DOOR
22	3'-0"x8'-0"	3/4 LITE ENTRY DOOR
23	3'-0"x8'-0"	2 PANEL ENTRY DOOR
24	(4)2'-6"x8'-0"	4 PART SLIDING DOOR
25	(2)5'-0"x10'-0"	(2)2 PANEL BARN DOORS
26	16'-0"x8'-0"	OVERHEAD GARAGE DOOR
27	20'-0"x8'-0"	OVERHEAD GARAGE DOOR
28	8'-0"x8'-0"	OVERHEAD GARAGE DOOR

- WINDOW AND DOOR NOTES:**
- VERIFY ALL ROUGH OPENING SIZES WITH WINDOW MANUFACTURER
 - SEE SHOP DRAWINGS FOR SAFETY GLAZING (S.G.) WINDOW LOCATIONS
 - WINDOW TYPE 1 MEETS OR EXCEEDS EMERGENCY ESCAPE AND RESCUE REQUIREMENTS FOR SLEEPING ROOMS
 - ALL DOORS AND SIDE LITES TO HAVE TEMPERED SAFETY GLAZING



CAMILLUS RESIDENCE
510 TUCKER DRIVE
WORTHINGTON, OHIO 43085

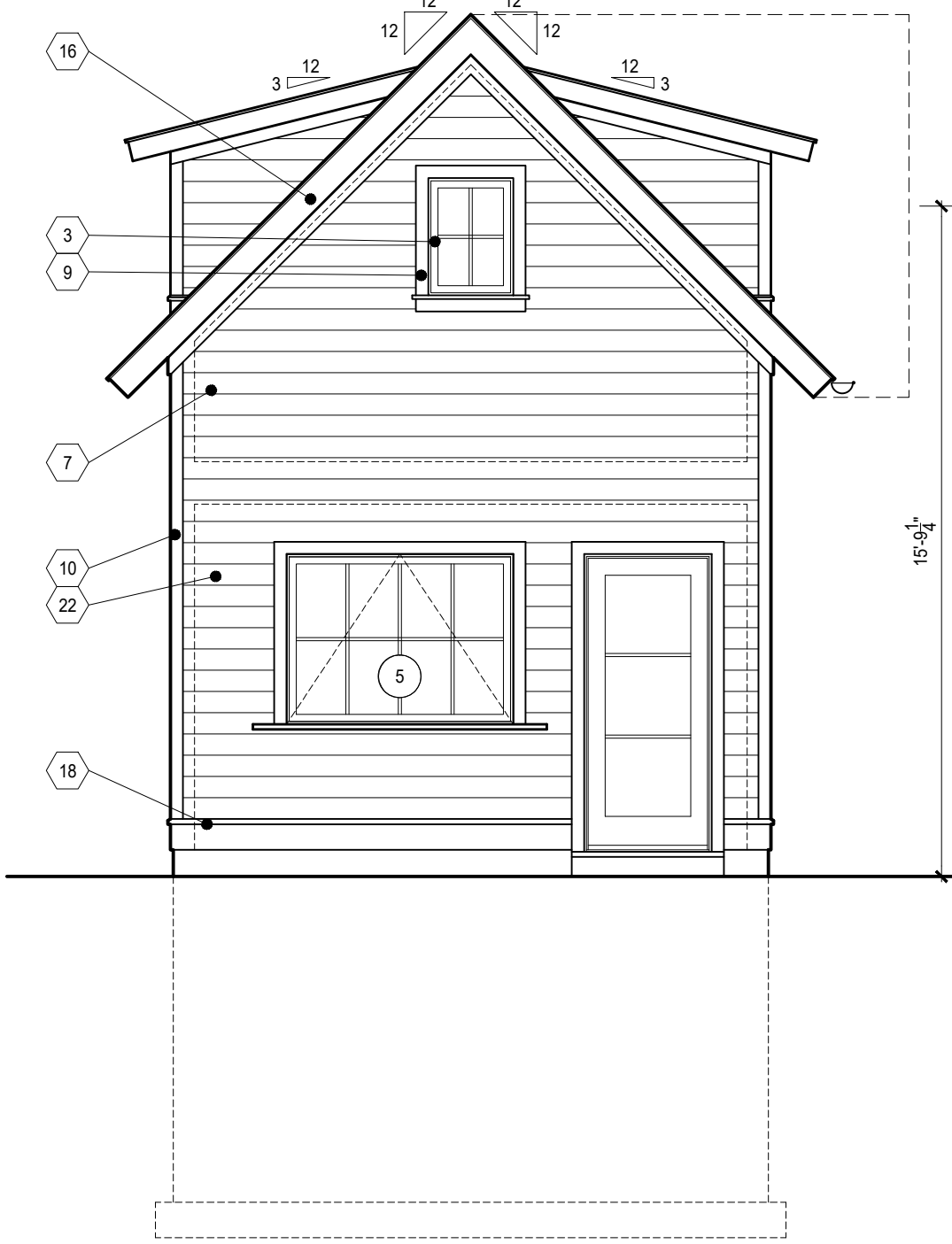
JONES
BRIAN KENT JONES ARCHITECTS, INC.
20 CITY PARKWAY, SUITE 400
COLUMBUS, OHIO 43215
PH: 614.585.2729 FAX: 614.496.7015

EXTERIOR ELEVATIONS
20007
17 MAY 2023
CONSTRUCTION DOCUMENTS

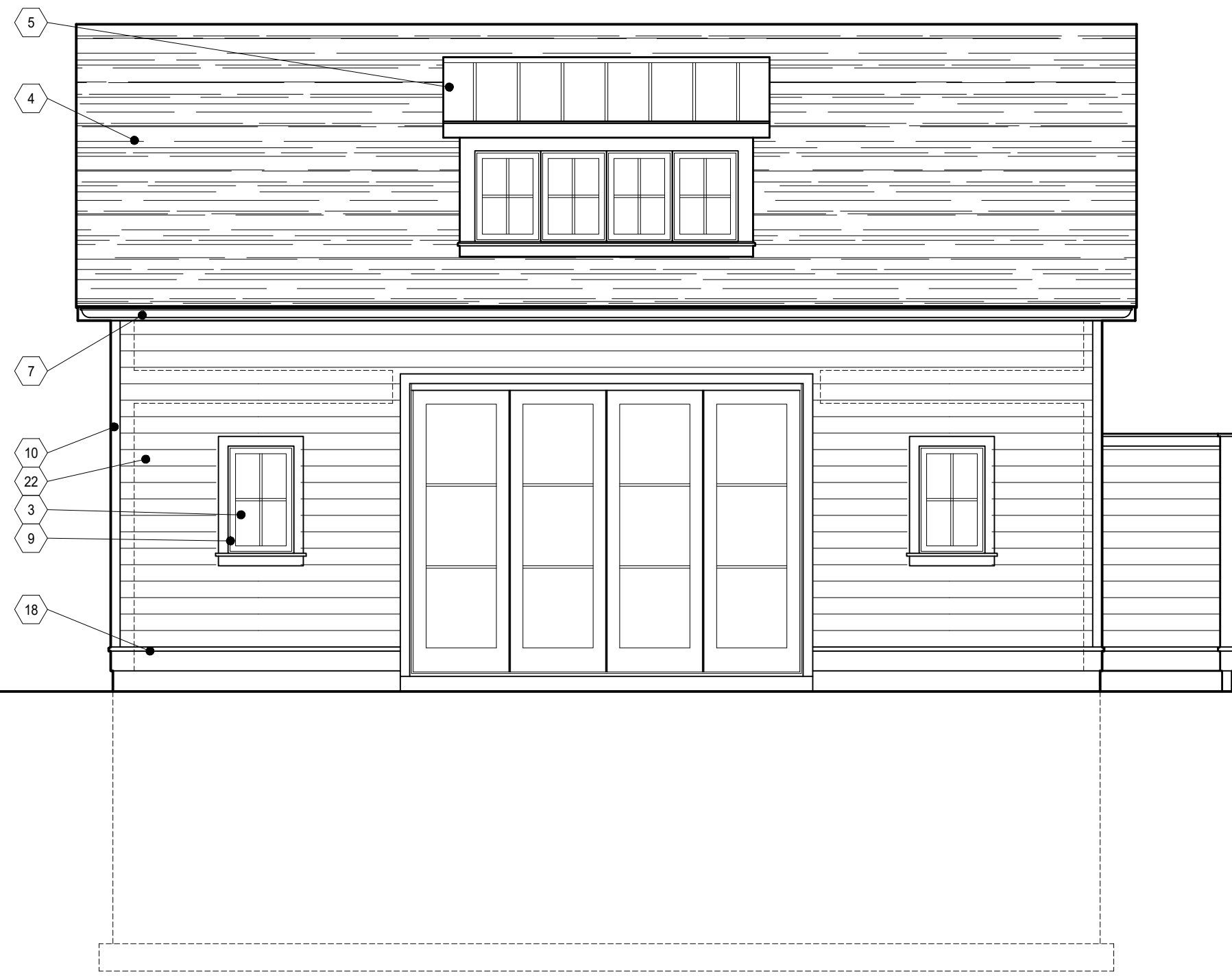
REVISIONS
A5.3



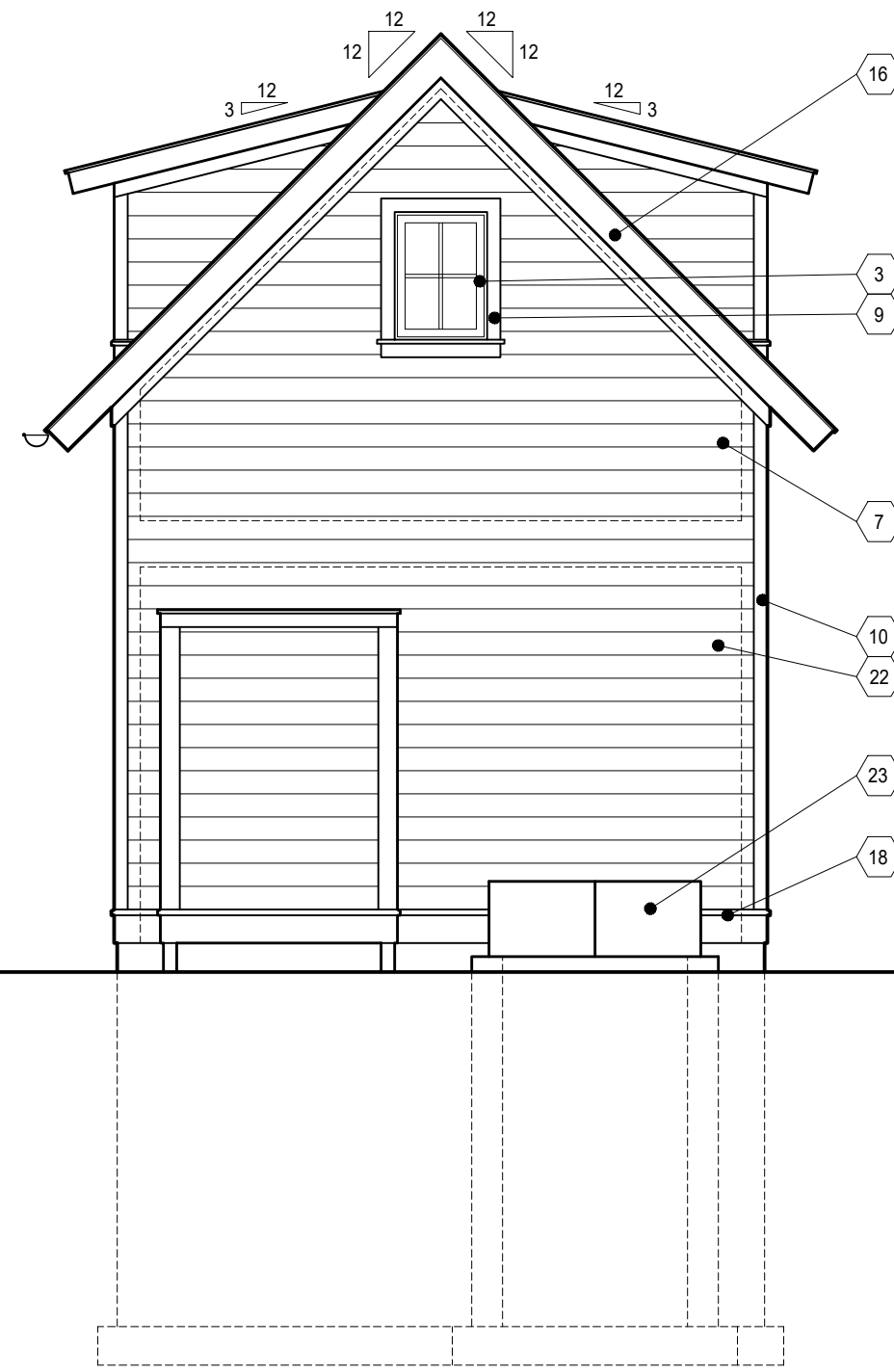
4 POOL HOUSE - NORTH ELEVATION
1/4"=1'-0"



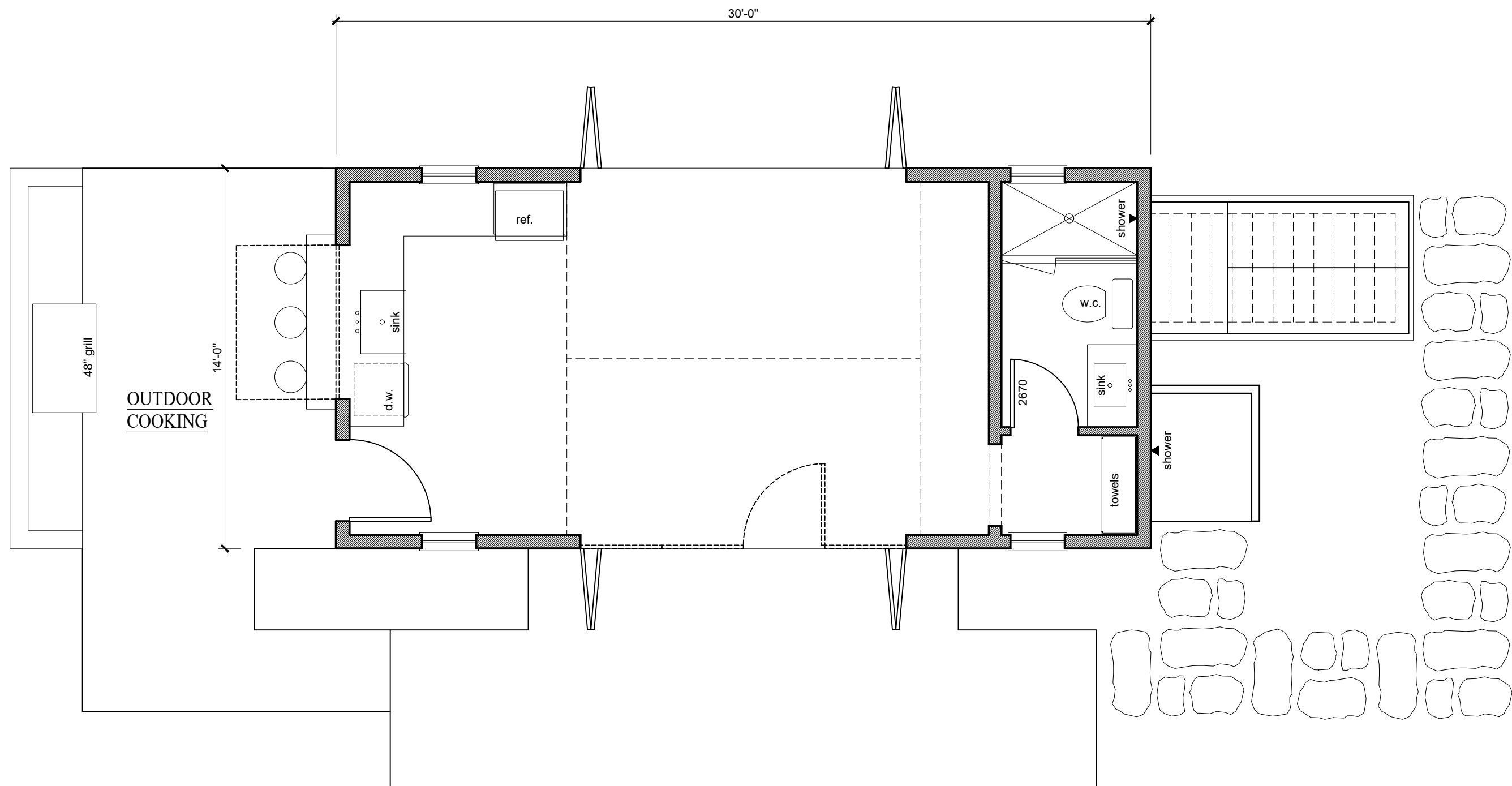
3 POOL HOUSE - WEST ELEVATION
1/4"=1'-0"



2 POOL HOUSE - SOUTH ELEVATION
1/4"=1'-0"



1 POOL HOUSE - EAST ELEVATION
1/4"=1'-0"



POOL HOUSE FLOOR PLAN
1/4"=1'-0"

Exterior Finish Coded Notes:

1. Board and Batten siding
2. Thin stone veneer
3. Aluminum clad, simulated divided lite windows
4. Asphalt shingles
5. Standing seam metal roof
6. Cat limestone
7. Aluminum 1/2 round gutters on 1x8 fascia board
8. Round aluminum downspouts with collector
9. 1x4 window and door trim
10. 1x4 corner boards
11. Stone porch decks and treads
12. Built up wood column wraps
13. Cedar shingle siding
14. Decorative wood bracket
15. Copper finial
16. 1x8 rake boards
17. Vertical shiplap siding
18. Composite sill on 1x8 trim board
19. Wood shutters w/ hardware and shutter dogs
20. Steel railing system
21. Fiber cement panels
22. Clapboard siding - 6" exposure
23. Bileo door system

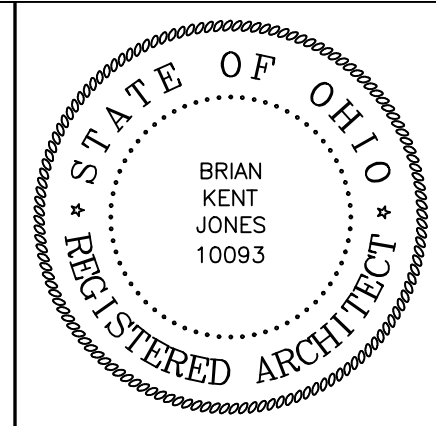
WINDOW & EXTERIOR DOOR SCHEDULE

SIZES ARE BASED ON MARVIN ULTIMATE CLAD WINDOWS AND DOORS

NUMBER	SIZE	WINDOW / DOOR TYPE
1	3028	DOUBLE HUNG
2	1628	DOUBLE HUNG
3	2036	CASEMENT
4	2440	CASEMENT
5	3636	CASEMENT
6	2024	CASEMENT
7	(2)3636	(2)CASEMENT
8	3620	CASEMENT - CUSTOM WIDTH TO MATCH DOUBLE HUNG BELOW
9	2220	CASEMENT - CUSTOM WIDTH TO MATCH DOUBLE HUNG BELOW
10	2828	DOUBLE HUNG
11	3672	CASEMENT
12	5064	CASEMENT
13	5020	CASEMENT
14	3654	CASEMENT
15	2054	CASEMENT
16	(2)3660	(2)CASEMENT
17	3642	CASEMENT
18	1542	CASEMENT
19	(2)3'-0"x8'-4"	(2)3/4 LITE ENTRY DOORS
20	3'-0"x8'-0"	FULL LITE ENTRY DOOR
21	(4)4'-0"x8'-0"	4 PART SLIDING DOOR
22	3'-0"x8'-0"	3/4 LITE ENTRY DOOR
23	3'-0"x8'-0"	2 PANEL ENTRY DOOR
24	(4)2'-6"x8'-0"	4 PART SLIDING DOOR
25	(2)5'-0"x10'-0"	(2)2 PANEL BARN DOORS
26	16'-0"x8'-0"	OVERHEAD GARAGE DOOR
27	20'-0"x8'-0"	OVERHEAD GARAGE DOOR
28	8'-0"x8'-0"	OVERHEAD GARAGE DOOR

WINDOW AND DOOR NOTES:

1. VERIFY ALL ROUGH OPENING SIZES WITH WINDOW MANUFACTURER
2. SEE SHOP DRAWINGS FOR SAFETY GLAZING (S.G.) WINDOW LOCATIONS
3. WINDOW TYPE 1 MEETS OR EXCEEDS EMERGENCY ESCAPE AND RESCUE REQUIREMENTS FOR SLEEPING ROOMS
4. ALL DOORS AND SIDE LITES TO HAVE TEMPERED SAFETY GLAZING



WORKINGTON, OHIO 43085

CAMILLUS RESIDENCE
510 TUCKER DRIVE

JONES
BRIAN KENT JONES ARCHITECTS, INC.
50 CITY CENTER DRIVE, SUITE 400
P.O. BOX 2729
COLUMBUS, OHIO 43215
(614) 496-7015

POOL HOUSE

2007
17 MAY 2023

CONSTRUCTION DOCUMENTS

REVISIONS

A5.4



CAMILIUS RESIDENCE
510 TUCKER DRIVE
WORKINGTON, OHIO 43085

JONES
BRIAN KENT JONES ARCHITECTS, INC.
250 CITY CENTER
P.O. BOX 585, 2720
P.O. BOX 400, 3015

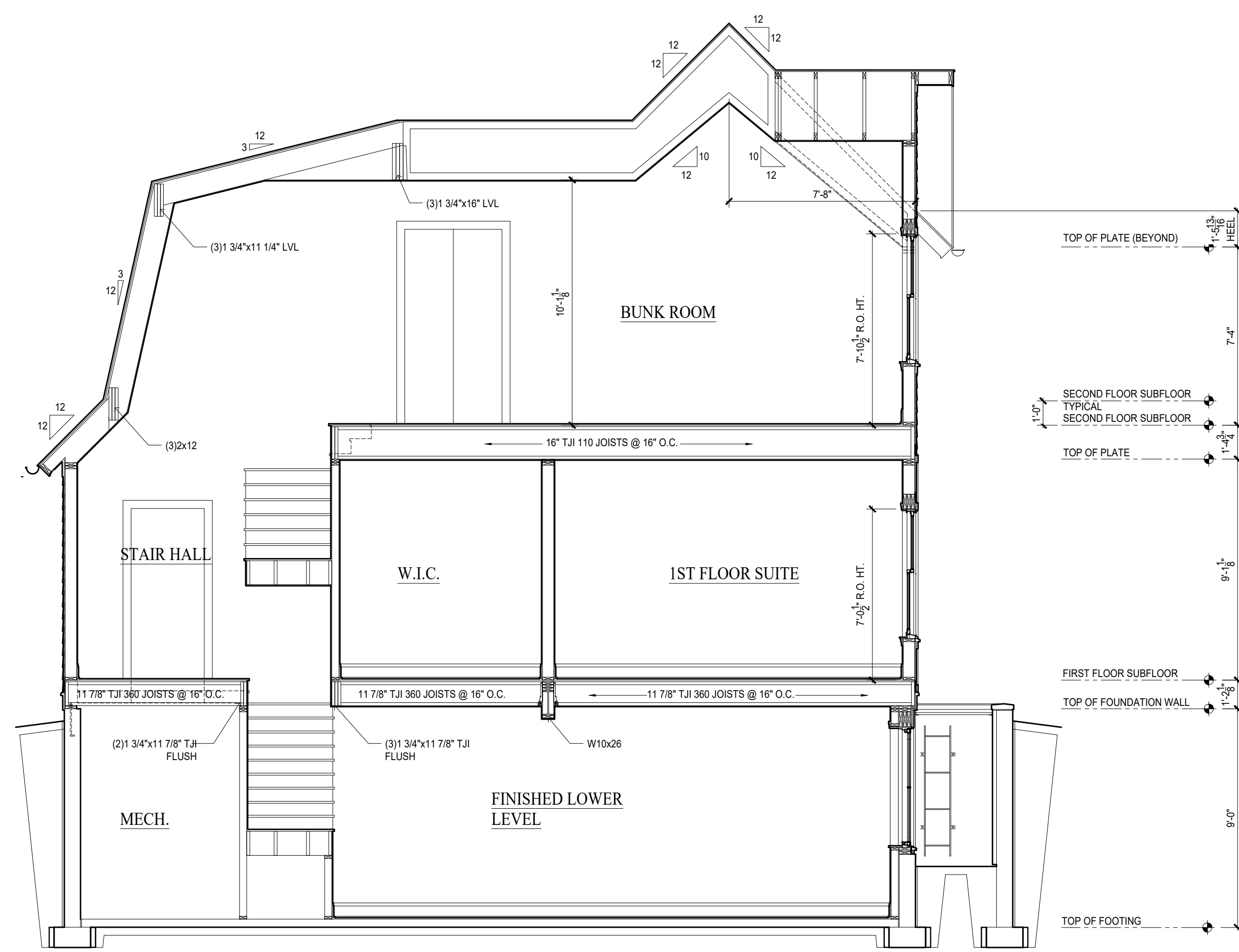
BUILDING SECTIONS

20007
17 MAY 2023

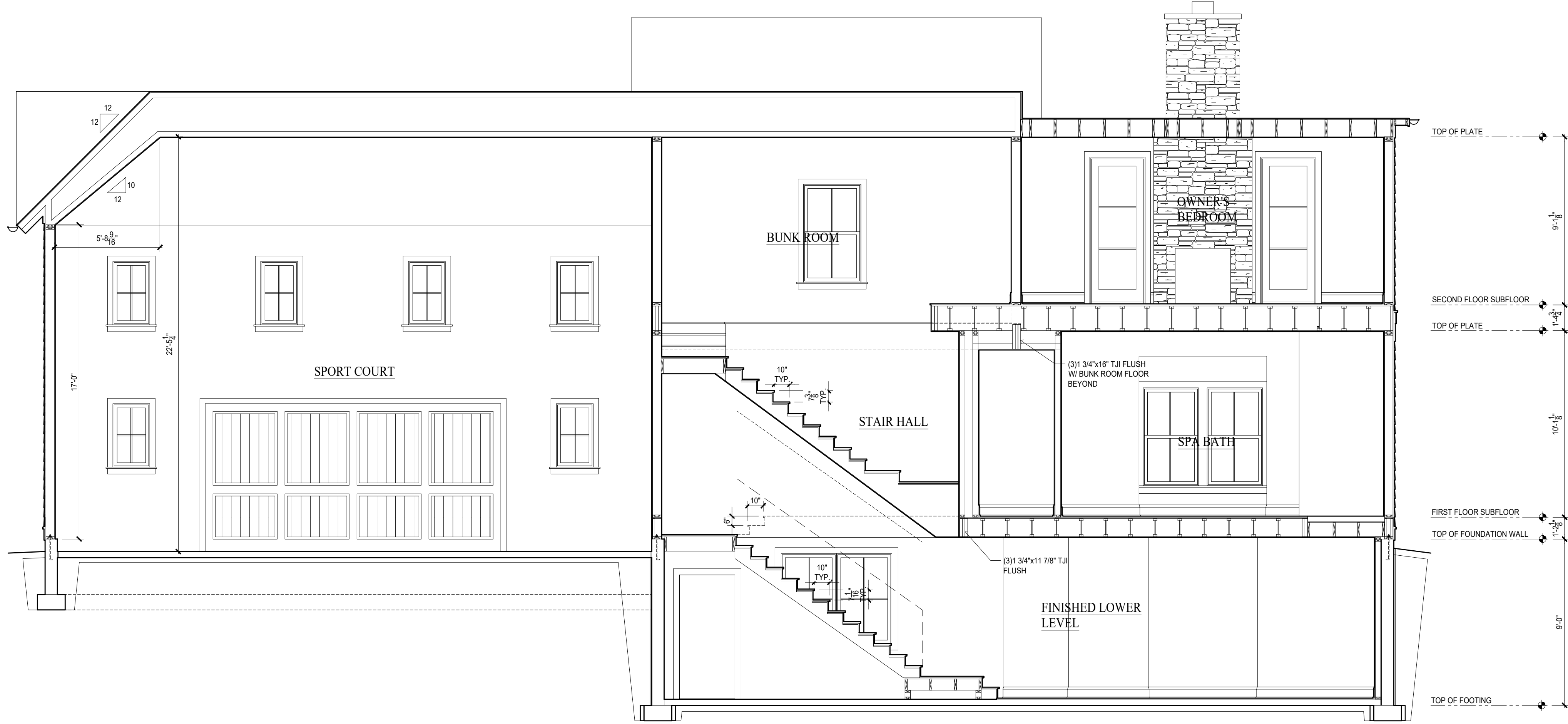
CONSTRUCTION DOCUMENTS

REVISIONS

A6.1



1 BUILDING SECTION
1/4"=1'-0"



2 BUILDING SECTION
1/4"=1'-0"



3 BUILDING SECTION
1/4"=1'-0"

CITY OF WORKINGTON
DRAWING NO. VAR 0020-2023
DATE 05/31/2023



CAMILIUS RESIDENCE
510 TUCKER DRIVE
WORKINGTON, OHIO 43085

OWNERSHIP AND USE OF DOCUMENTS:
DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF PROFESSIONAL SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE
ISSUED IN WHOLE OR PART FOR ANY PROJECT OR PROJECTS WITHOUT THE PRIOR WRITTEN NOTIFICATION OF THE ARCHITECT.

JONES
BRIAN KENT JONES ARCHITECTS, INC.
20 CITY CENTER
PO BOX 585, 2720
P.O. BOX 585, 2720

BUILDING SECTIONS

20007
17 MAY 2023

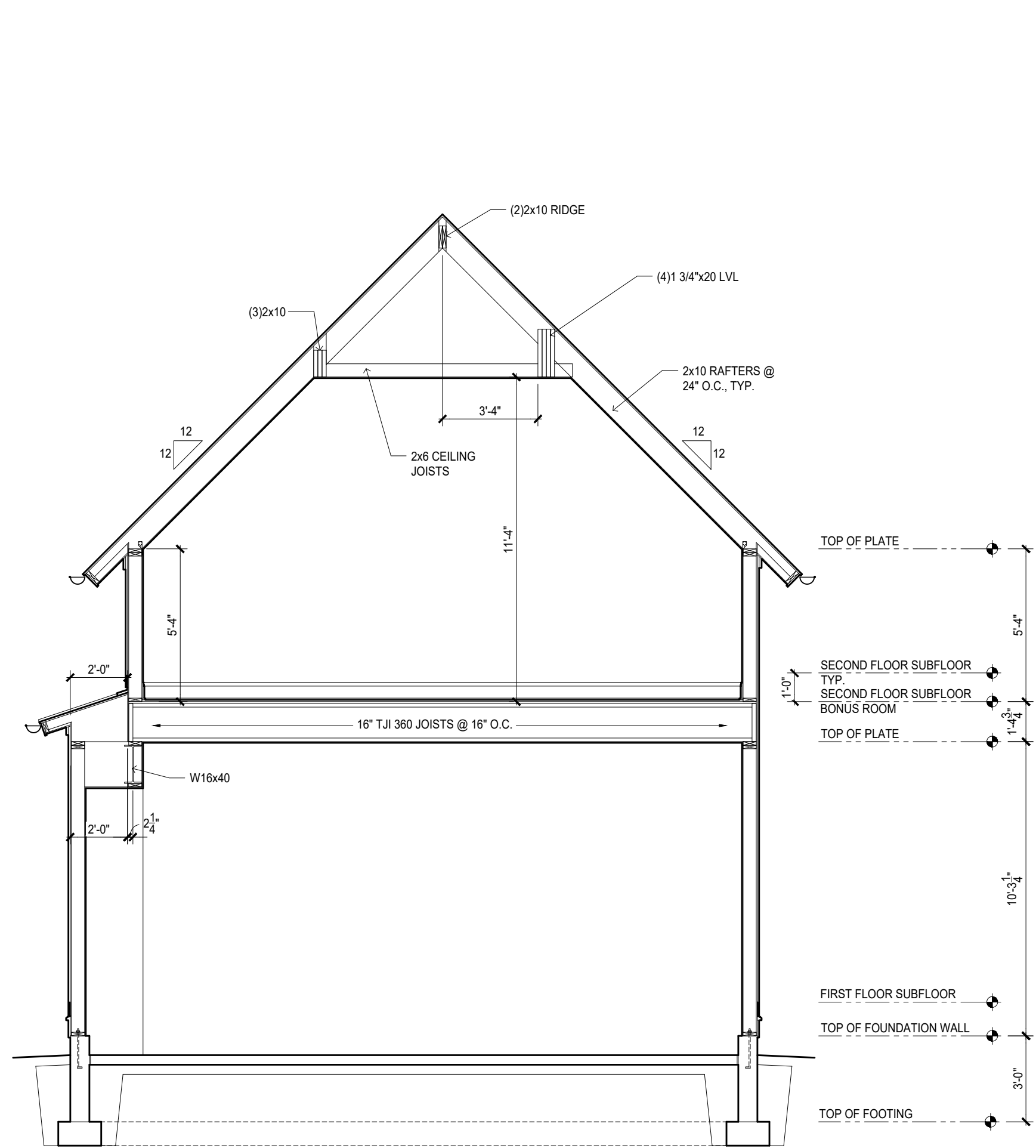
CONSTRUCTION DOCUMENTS

REVISIONS

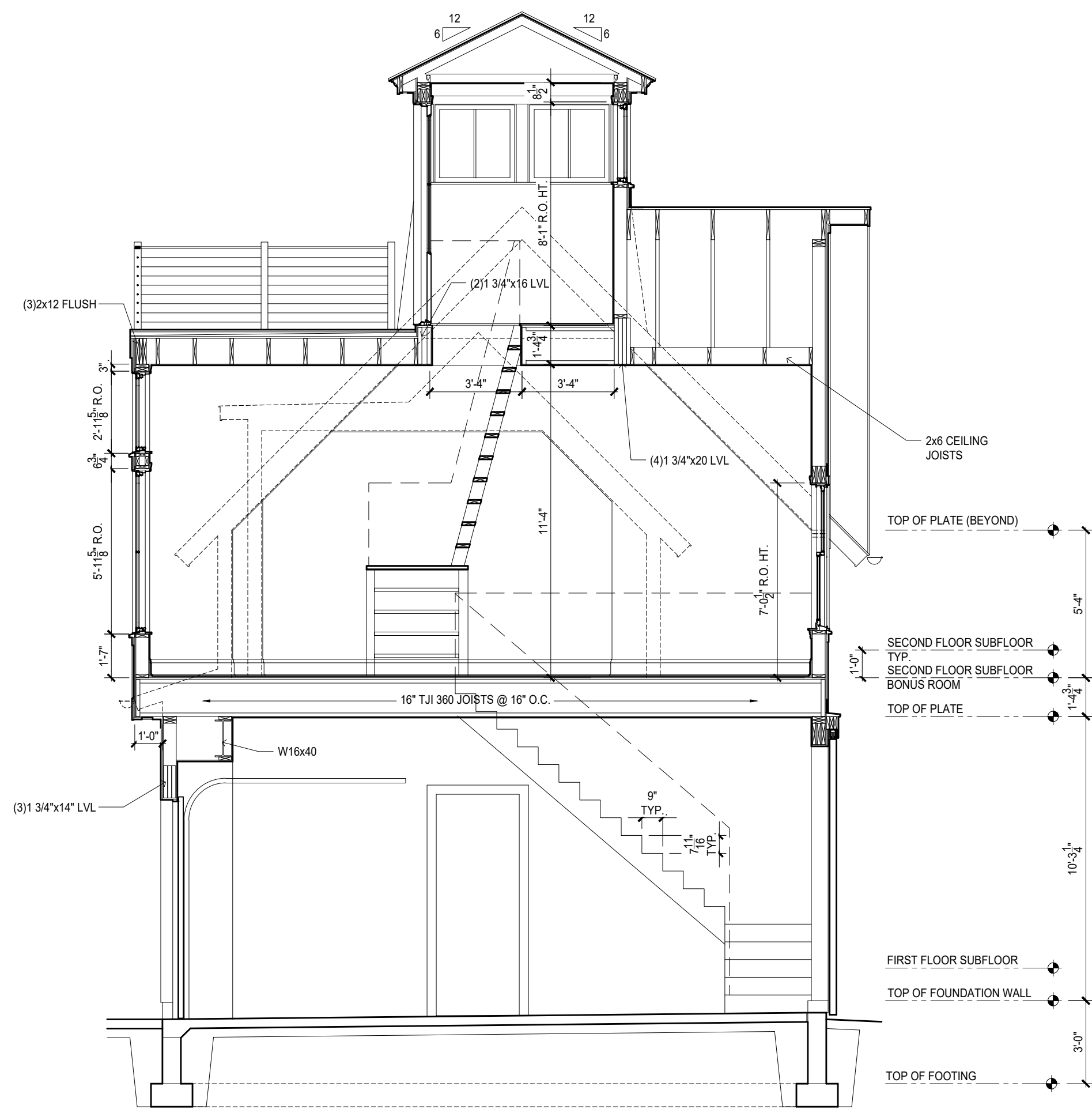
A6.2



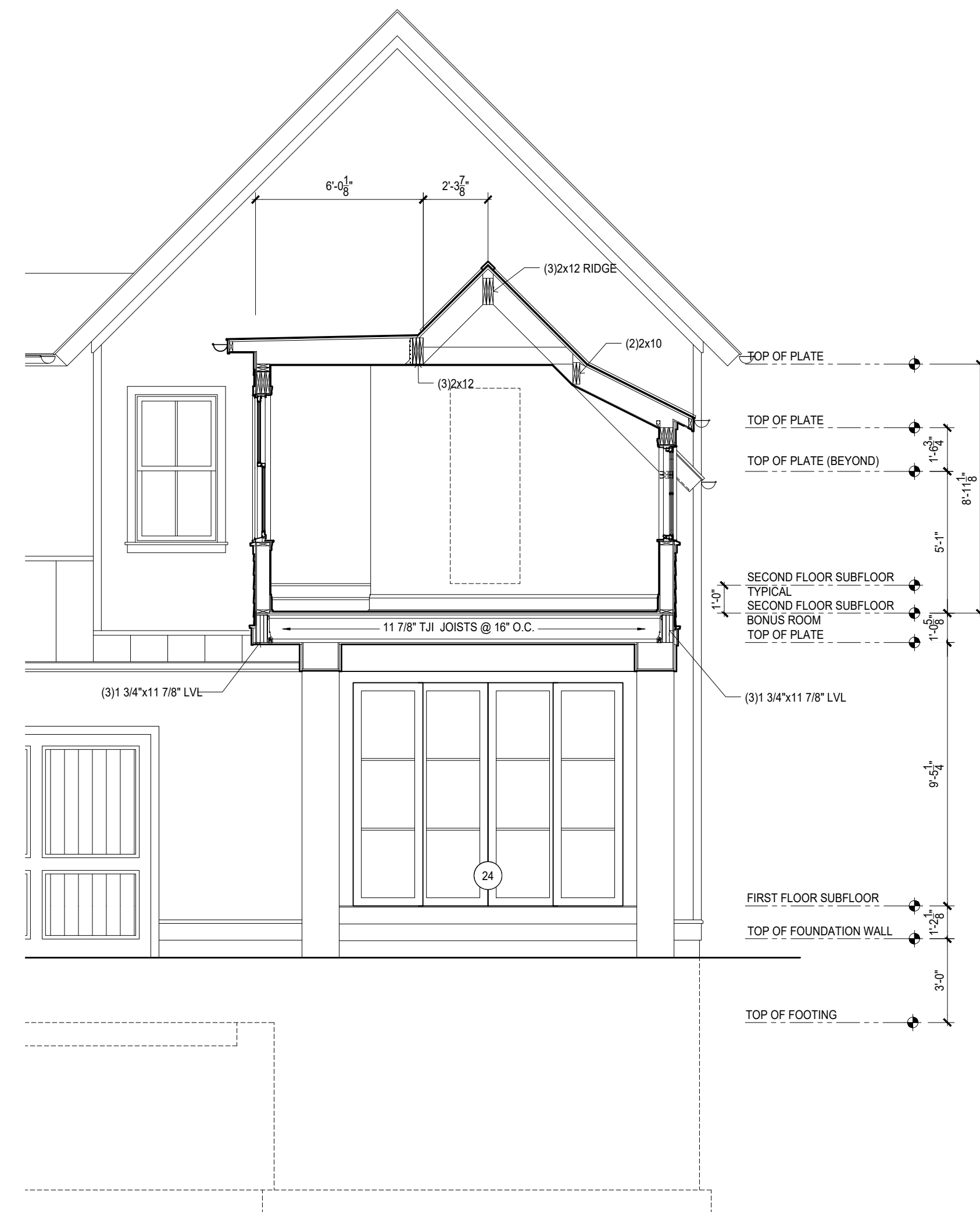
1
A6.2
BUILDING SECTION
1/4"=1'-0"



3
A6.2
BUILDING SECTION
1/4"=1'-0"

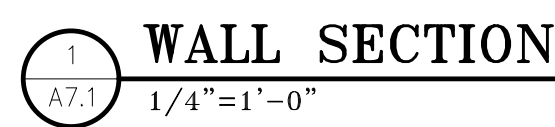
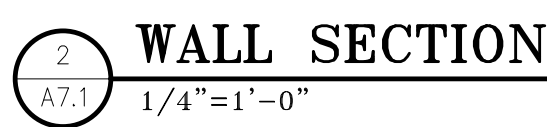
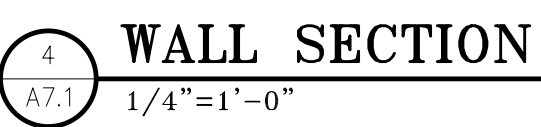
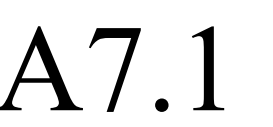


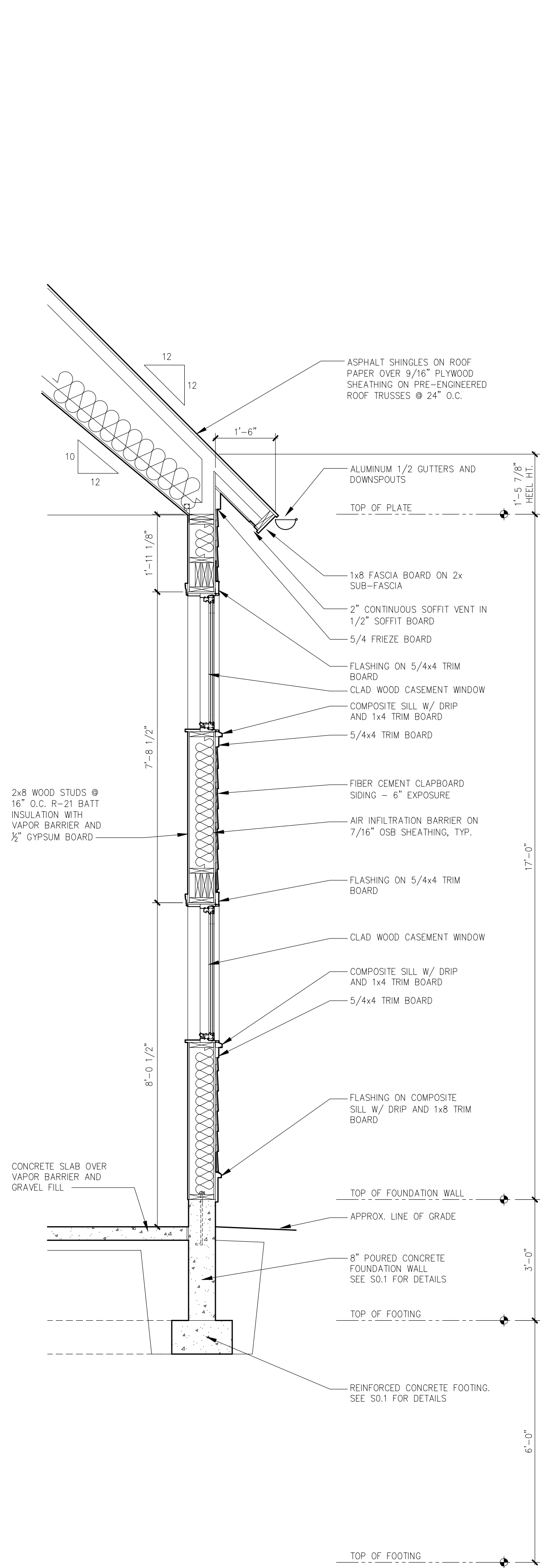
2
A6.2
BUILDING SECTION
1/4"=1'-0"



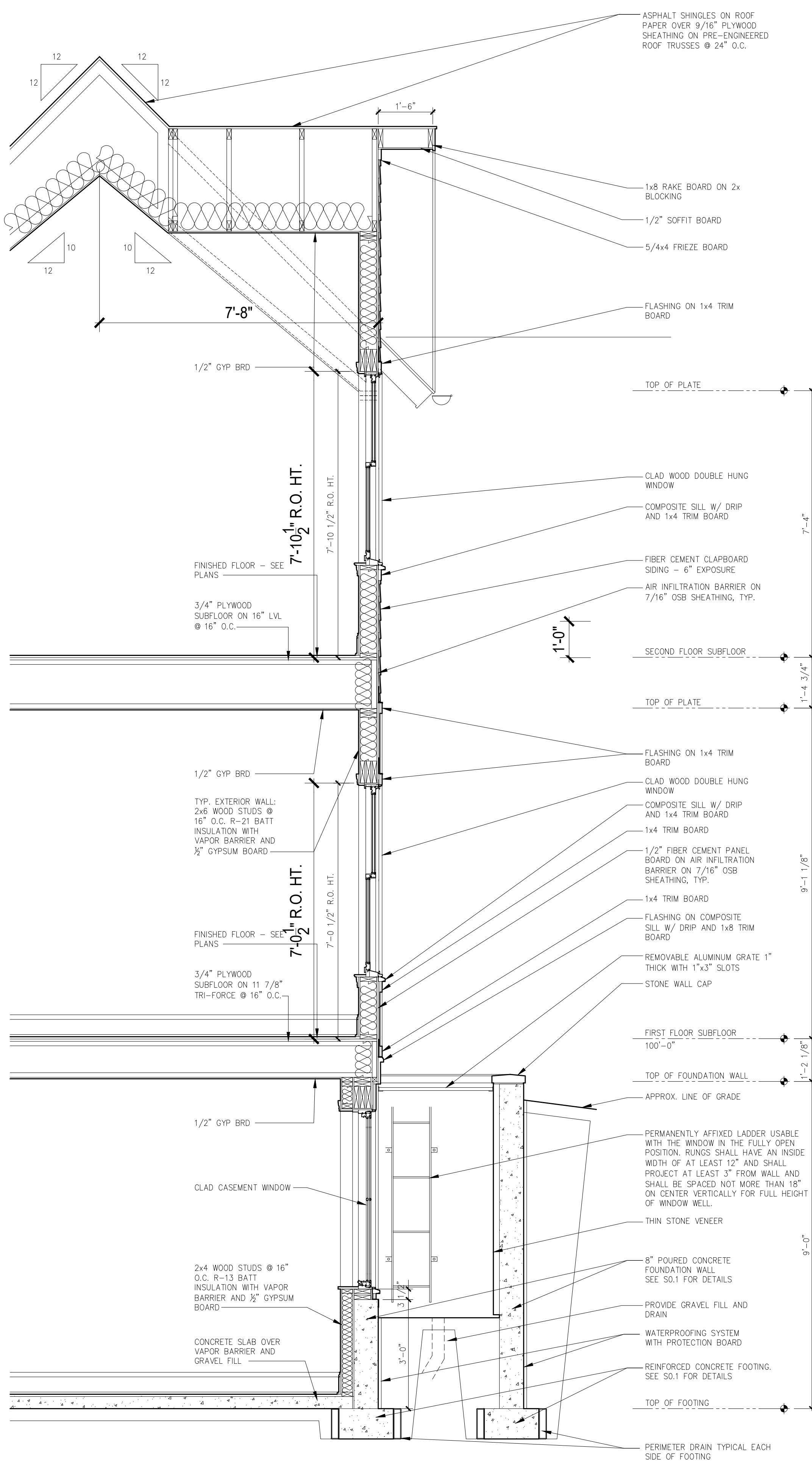
1
A6.2
BUILDING SECTION
1/4"=1'-0"

CITY OF WORKINGTON
DRAWING NO. VAR 0020-2023
DATE 05/31/2023

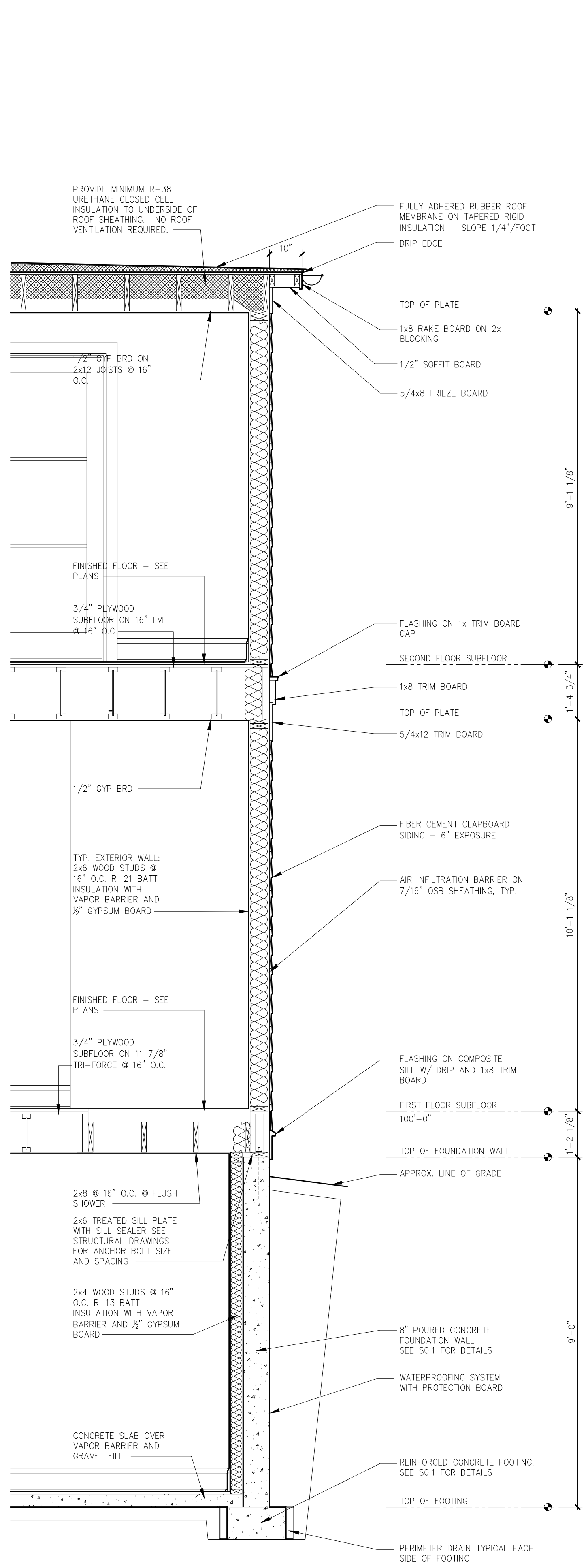




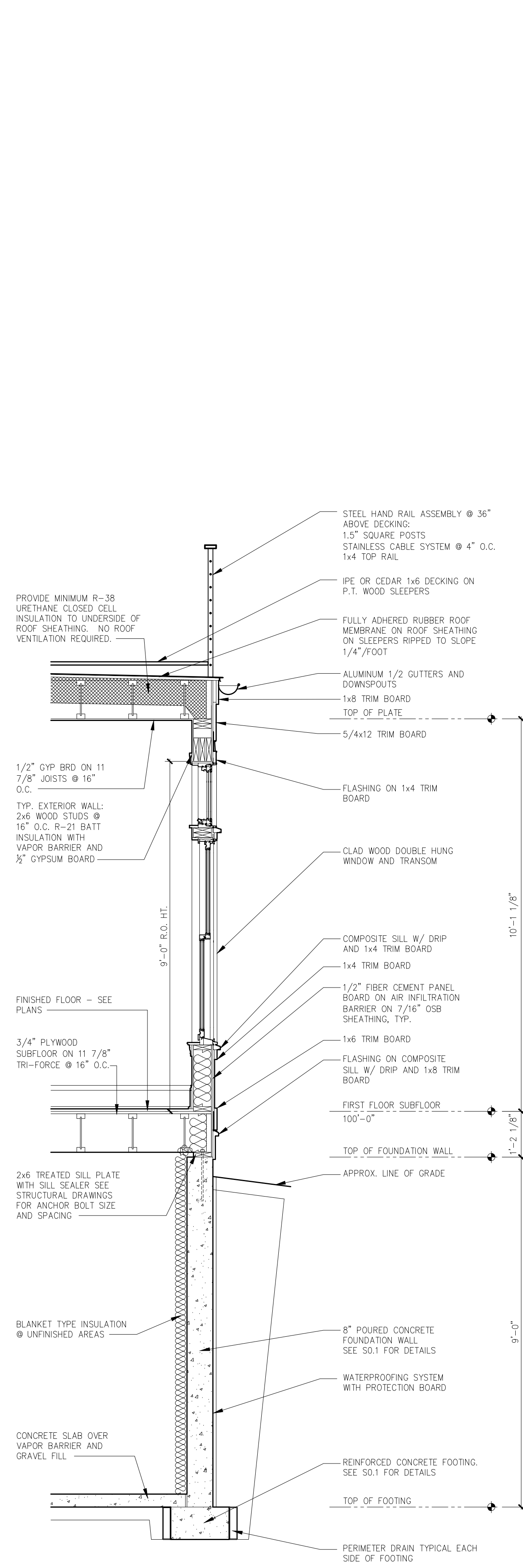
4 WALL SECTION
1/4"=1'-0"



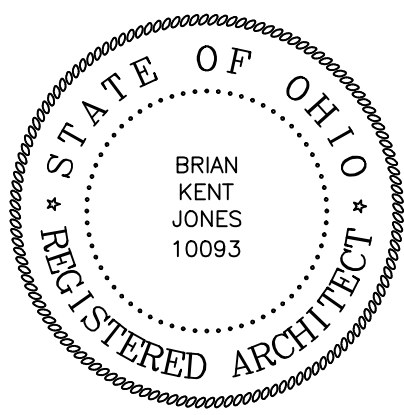
3 WALL SECTION
1/4"=1'-0"



2 WALL SECTION
1/4"=1'-0"



1 WALL SECTION
1/4"=1'-0"



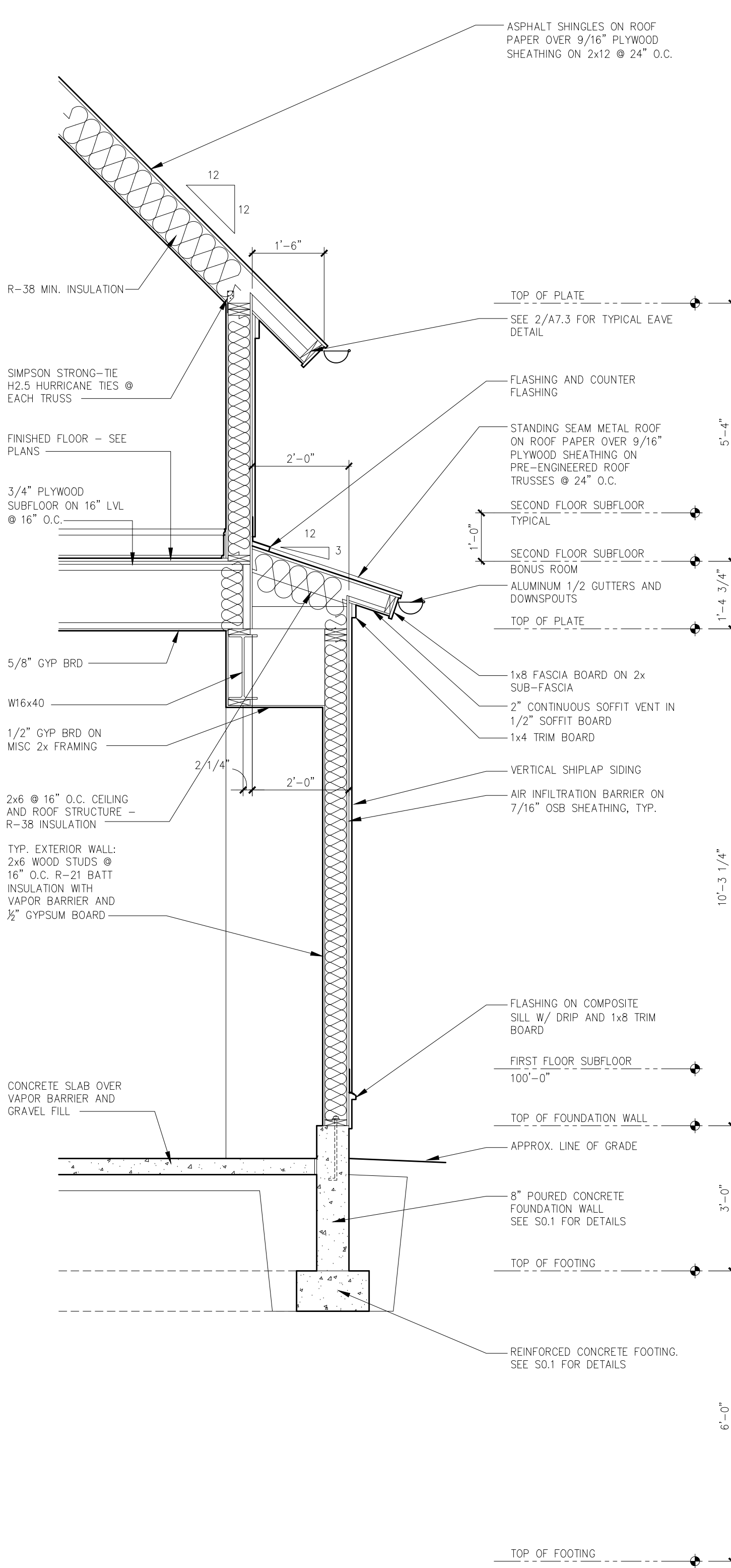
CAMILIUS RESIDENCE
510 Tucker Drive
WORKINGTON, Ohio 43085

JONES
BRIAN KENT JONES ARCHITECTS, INC.
50 CITY CENTER
PARADES 329 P 614.438.729 F 614.438.7015

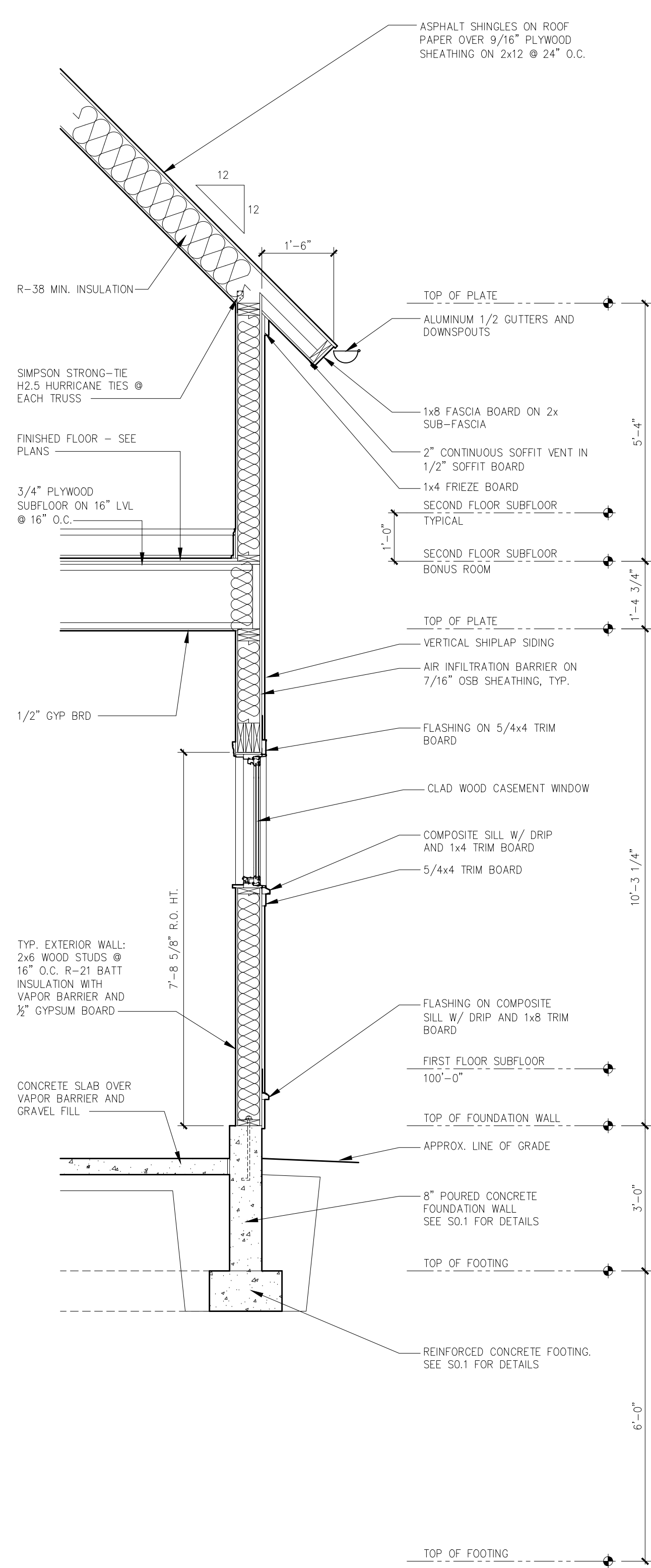
WALL SECTIONS
2007
17 MAY 2023
CONSTRUCTION DOCUMENTS

REVISIONS

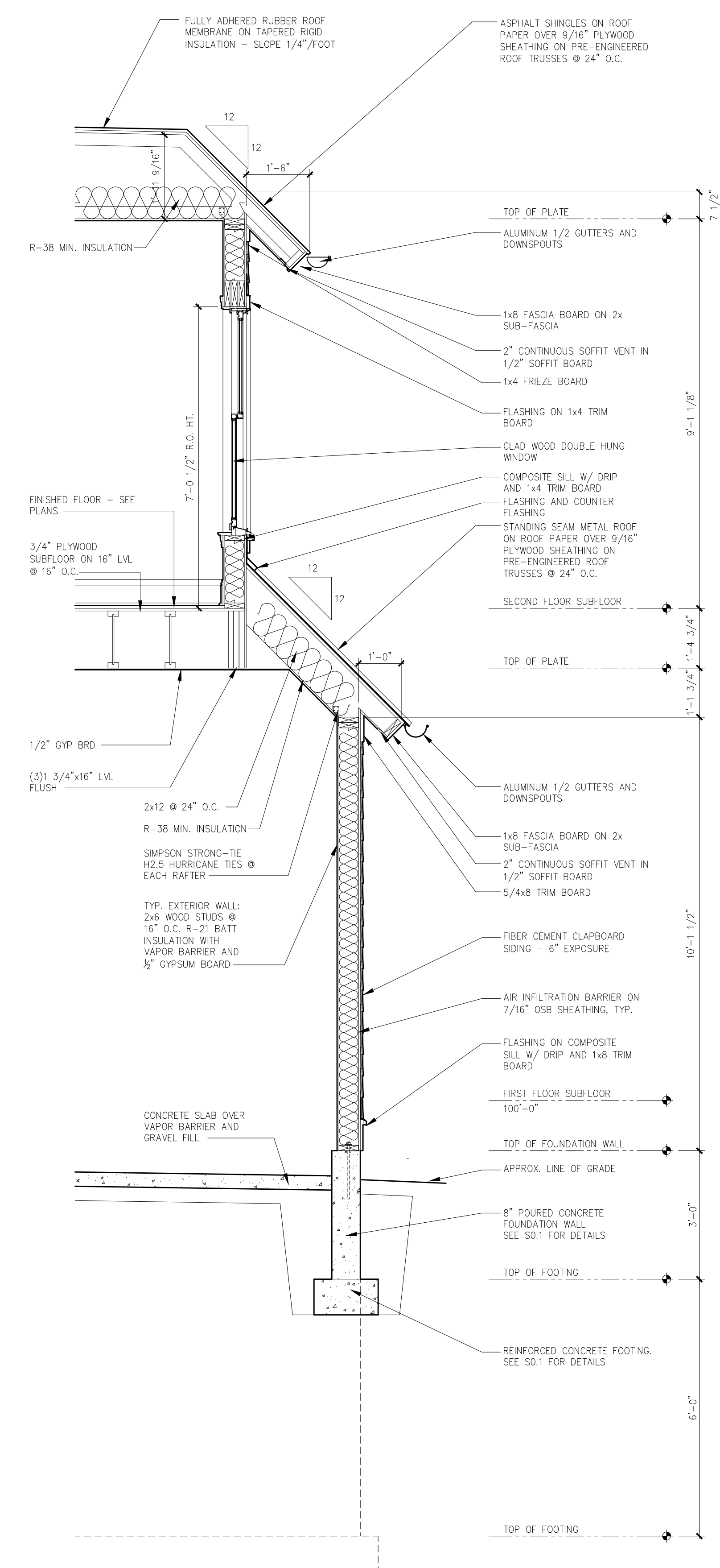
A7.3



3 WALL SECTION
1/4"=1'-0"



2 WALL SECTION
1/4"=1'-0"



1 WALL SECTION
1/4"=1'-0"

COPIES OF PUBLICATIONS REFERENCED IN THESE GENERAL STRUCTURAL NOTES ARE AVAILABLE FOR REVIEW AT SCHAFFER CONTRACTORS UNFAMILIAR WITH THESE PUBLICATIONS MUST REVIEW THEM PRIOR TO CONSTRUCTION.

GOVERNING CODE

2019 RESIDENTIAL CODE OF OHIO

DESIGN REQUIREMENTS

1. DESIGN LOADS
- A. FLOORS & STAIRS 40 PSF LIVE + 10 PSF DEAD
- B. ROOF TERRACES 40 PSF LIVE + 35 PSF DEAD
- C. ROOFS 25 PSF LIVE + 15 PSF DEAD
- D. GUARDRAILS AND HANDRAILS:
- a. TOP RAIL: 200 POUNDS CONCENTRATED LOAD AT ANY POINT IN ANY DIRECTION.
- b. INFILL COMPONENTS, BALUSTERS, AND PANEL FILLERS: HORIZONTALLY APPLIED NORMAL LOAD OF 50 POUNDS ON AN AREA EQUAL TO 1 SQUARE FT.
- E. WIND SPEED (3 SECOND GUST) $V_{50} = 115$ MPH, $V_{100} = 90$ MPH

CONSTRUCTION AND SAFETY

1. CONTRACTOR SHALL BRACE ENTIRE STRUCTURE AS REQUIRED TO MAINTAIN STABILITY UNTIL COMPLETE AND FUNCTIONING AS THE DESIGNED UNIT.
2. ARCHITECT/ENGINEER SHALL NOT BE RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION SELECTED BY CONTRACTOR.
3. THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. WHEN ON SITE, THE ARCHITECT/ENGINEER IS RESPONSIBLE FOR HIS OWN SAFETY BUT HAS NO RESPONSIBILITY FOR THE SAFETY OF OTHER PERSONNEL OR SAFETY CONDITIONS AT THE SITE.
4. CONTRACTOR AND HIS AGENT(S) SHALL VERIFY ALL INFORMATION AND DIMENSIONS CONTAINED WITHIN THESE CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, INCLUDING BUILDINGS, SITE CONDITIONS, AND ALLOWABLE SOIL BEARING PRESSURE. **ALL ERRORS, OMISSIONS, AND INCONSISTENCIES ARE TO BE REPORTED TO THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK. FAILURE TO DO SO WILL RELEASE THE ARCHITECT/ENGINEER OF ALL RESPONSIBILITY.** ANY CHANGES FROM THESE DOCUMENTS IS THE RESPONSIBILITY OF THE CONTRACTOR. **THESE DRAWINGS ARE NOT TO BE SCALED.** IF INSUFFICIENT INFORMATION EXISTS, CONTACT THE ARCHITECT/ENGINEER FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

FOUNDATIONS

1. FOUNDATION ELEVATIONS SHOWN ARE FOR BIDDING PURPOSES AND MAY VARY TO SUIT SUB-SURFACE SOIL CONDITION. ELEVATION AND BEARING STRATA SHALL BE APPROVED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACING CONCRETE.
2. ALL FOOTINGS SHALL BEAR ON LEVEL (WITHIN 1 IN 12) UNDISTURBED SOIL. DESIGN ALLOWABLE SOIL BEARING PRESSURE BELOW FOOTINGS = 1500 PSF.
3. PER CLIENT'S REQUEST, THE FOUNDATION DESIGN AND GENERAL FOUNDATION NOTES ARE BASED ON THE ASSUMPTION OF FAVORABLE SOIL CONDITIONS (i.e. CONDITIONS THAT ARE CONSISTENT WITH THE PARAMETERS ASSUMED FOR THE DESIGN) AND MUST BE VERIFIED BY A GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION. IF SOIL CONDITIONS AT THE BUILDING SITE HAVE NON-ENGINEERED FILL, SLOPES 4:1 OR STEEPER, A CREEK OR RIVER PRESENT AT THE BASE OF THE HILLSIDE, OR OTHER UNSTABLE CONDITION, PLEASE NOTIFY SCHAFFER IMMEDIATELY, AS THE FOUNDATION IS NOT DESIGNED FOR THESE CONDITIONS.
4. LATERAL SOIL PRESSURE PARAMETERS FOR THE DESIGN OF FOUNDATIONS: 45 PCF EQUIVALENT FLUID PRESSURE, TRIANGULAR DISTRIBUTION.
5. CONTRACTOR SHALL CONTACT UTILITY COMPANIES FOR LOCATING UNDERGROUND SERVICES AND IS RESPONSIBLE FOR THEIR PROTECTION AND SUPPORT.
6. BACKFILL ALONG EXTERIOR FACE OF ALL PERIMETER FOOTINGS, AND ALONG EXTERIOR RETAINING TYPE WALLS SHALL BE ASHOTO NO. 57 CRUSHED AGGREGATE COMPACTED TO 95% STANDARD PROCTOR DENSITY UP TO WITHIN 24 INCHES OF THE FINISHED GRADE. TOP 24" OF BACKFILL SHALL BE COMPACTED CLAYEY MATERIAL. AT THE BOTTOM OF THE GRANULAR MATERIAL, PLACE A 4" DIAMETER SCHD. 35 PVC (MIN.) PERFORATED FOUNDATION DRAIN PIPE WITH POSITIVE DRAINAGE TO SUMP OR TO DAYLIGHT. AT EXTERIOR RETAINING WALLS, 4" DIAMETER WEEP HOLES AT 8'-0" ON CENTER MAXIMUM MAY BE INSTALLED IN LIEU OF PERFORATED FOUNDATION DRAIN. PROVIDE CLAYEY BACKFILL FROM BOTTOM OF EXCAVATION UP TO BOTTOM OF WEEPHOLES OR DRAIN PIPE.
7. CONTRACTOR SHALL NOT INSTALL DRAIN PIPES THROUGH PERIMETER WALL FOOTINGS THAT CONNECT EXTERIOR FOUNDATION BACKFILL AND ITS DRAINAGE SYSTEM TO INTERIOR DRAIN PIPES OR TO INTERIOR SUBGRADE.
8. FILL BELOW INTERIOR SLAB AREAS SHALL BE C003 304 (GREATER THAN 5") OR #57 CRUSHED CRUSHED AGGREGATE (LESS THAN 6") WELL GRADED GRANULAR MATERIAL COMPACTED TO 95% STANDARD PROCTOR DENSITY. PEA GRAVEL IS NOT PERMITTED.
9. BACKFILL FOUNDATION WALLS ONLY AFTER THE FIRST FLOOR FRAMING AND SHEATHING IS IN PLACE, UNLESS THE WALLS HAVE BEEN CURED FOR AT LEAST 7 DAYS AND ARE BRACED TO RESIST THE LATERAL EARTH PRESSURE FROM THE BACKFILL.
10. DO NOT BACKFILL AGAINST RETAINING WALLS UNTIL CONCRETE STRENGTH HAS REACHED 0.75 f_c AND FOR A MINIMUM OF 7 DAYS.
11. APPLIED TECHNOLOGIES 'HYDRA-GUARD' WATERPROOFING SYSTEM (OR RUB-R-RAIN WATERPROOFING MEMBRANE SYSTEM) PLUS PROTECTION BOARD SHALL BE APPLIED ON ALL BASEMENT FOUNDATION WALLS AND FOOTINGS BELOW GRADE.
12. FINISHED GRADE SHALL SLOPE 6" IN THE FIRST 10' MINIMUM AWAY FROM THE PERIMETER FOUNDATION.

CONCRETE

1. CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301-99, "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS", EXCEPT AS MODIFIED BY THE SUPPLEMENTAL REQUIREMENTS BELOW, AND THE RECOMMENDED PRACTICE FOR RESIDENTIAL CONCRETE CONSTRUCTION ACI 308R-84.
2. MATERIALS:
- A. CONCRETE FOR INTERIOR SLAB ON GRADE: $f_c = 3500$ PSI, NORMAL AGGREGATE.
- B. CONCRETE FOR EXTERIOR FLAT WORK, WALKS, GARAGE SLABS, ETC.: $f_c = 4000$ PSI, (4.5% TO 7.5% ENTRAINED AIR), MINIMUM CEMENT CONTENT = 533 PCY, MAXIMUM WATER / CEMENTITIOUS RATIO = 0.45. LIMIT POZZOLAN CONTENT PER ACI 301-99 TABLE 4.2.2.8.
- C. CONCRETE FOR FOUNDATION WALLS: $f_c = 4000$ PSI, (5% TO 7% ENTRAINED AIR), MAXIMUM WATER / CEMENTITIOUS RATIO = 0.50.
- D. CONCRETE FOR FOOTINGS: $f_c = 3000$ PSI.
- E. REINFORCING STEEL: ASTM A615 60 KSI YIELD DEFORMED BARS AND ASTM A185 MESH (SHEETS ONLY).
- F. ADMIXTURES: ADMIXTURES CONTAINING CHLORIDE ARE NOT PERMITTED IN REINFORCED CONCRETE OR CONCRETE CONTAINING METALS.
3. IF CONCRETE ARRIVES AT THE SITE WITH A SLUMP BELOW THE SPECIFIED SLUMP AND IS UNSUITABLE FOR PLACING AT THAT SLUMP, THE SLUMP MAY BE ADJUSTED ONLY BY ADDING WATER UP TO THE AMOUNT ALLOWED IN THE ACCEPTED MIXTURE PROPORTIONS. ADDITION OF WATER SHALL BE IN ACCORDANCE WITH ASTM C94. DO NOT EXCEED THE SPECIFIED WATER-CEMENTITIOUS MATERIAL RATIO OR SLUMP IN THE APPROVED MIX DESIGN. DO NOT ADD WATER TO CONCRETE DELIVERED IN EQUIPMENT NOT ACCEPTABLE FOR MIXING.
4. WHEN THE AIR TEMPERATURE IS LESS THAN 40° F, THE TEMPERATURE OF THE CONCRETE SHALL BE MAINTAINED BETWEEN 50° AND 70° F FOR 7 DAYS.
5. DURING HOT WEATHER, WHEN NECESSARY, PROVIDE FOR PROTECTIVE MEASURES IN ADVANCE OF PLACEMENT.

6. AT CORNERS AND INTERSECTIONS OF WALLS AND GRADE BEAMS, PROVIDE BENT BARS OF EQUAL SIZE AND AT SAME SPACING AS TYPICAL REINFORCING AROUND CORNER AND/OR INTO ABUTTING WALL OR GRADE BEAM. BARS SHALL HAVE EMBEDMENT OF 30 DIAMETERS (18" MIN.).
7. LAP SPLICE REINFORCING BARS 48 BAR DIAMETERS. LAP WELDED WIRE FABRIC MESH 12".
8. AT SLAB AND WALL OPENING CORNERS AND REINTRAINT CORNERS, PROVIDE (1) #5 BAR IN EACH FACE PARALLEL TO EACH EDGE EXTENDING A MINIMUM OF 2'-0" PAST EDGE OF OPENING. THIS STEEL MAY BE OMITTED IF TYPICAL SLAB OR WALL STEEL EXCEEDS THIS MINIMUM REQUIREMENT.
9. ALL CAST-IN-PLACE CONCRETE WALLS SHALL BE PLACED CONTINUOUSLY WITH NO COLD JOINTS AND VIBRATED ADEQUATELY TO PREVENT AIR POCKETS. WHERE VERTICAL JOINT REQUIRED, CAST WALL FULL HEIGHT AND EXTEND HORIZONTAL REBAR 2'-0" BEYOND JOINT. WATERPROOF EXTERIOR FACE OF JOINT.
10. BEAM POCKETS IN CONCRETE WALLS SHALL HAVE A HEIGHT 2" DEEPER THAN BEAM, BE 1" WIDER THAN THE BEAM WIDTH, AND PROVIDE A MINIMUM 4" BEAM BEARING LENGTH. SOLID GROUT OR BOLD STEEL SHIMS SHALL BE PLACED BELOW BEAM BEARINGS.
11. INTERIOR CONCRETE SLABS SHALL BE 4" MINIMUM THICKNESS, WITH 6 MIL VAPOR BARRIER OVER 4" MINIMUM GRANULAR FILL USING GDOT ITEM 304. CONSOLIDATE STONE WITH A VIBRATORY PLATE COMPACTOR PRIOR TO INSTALLING UNDER SLAB VAPOR BARRIER OR PLACING SLAB CONCRETE. PLACE CONTRACTION JOINTS IN INTERIOR SLABS AND EXTERIOR FLAT WORK AT 10' O.C. MAXIMUM EACH WAY WITH A MINIMUM ASPECT RATIO OF 1:5.1. SLOPE TO DRAINS.
12. STEEL TROWEL FINISH FLOOR SLAB AND CURE USING "CURE AND SEAL" TYPE CURING COMPOUND MEETING FEDERAL SPECIFICATION TT-C-00800 VOC COMPLIANT, 30% MINIMUM SOLIDS CONTENT. FOR EXTERIOR FLAT WORK APPLICATIONS EXPOSED TO SUNLIGHT, USE LIGHT BROOM FINISH AND ACRYLIC BASTING COMPOUND. PRIOR TO APPLICATION, CONTRACTOR SHALL VERIFY COMPATIBILITY OF CURING COMPOUND WITH FINAL FLOOR FINISHES.
13. CONTRACTION JOINTS IN SLABS ON-GRADE SHALL BE HAND TROWELED OR SAW CUT WITHIN 6 HOURS OF PLACING CONCRETE OR WHEN CONCRETE IS STRONG ENOUGH TO WITHSTAND CUTTING WITHOUT RAVELING AT THE EDGES.
14. CAST IN CONTINUOUS DOVETAIL ANCHOR SLOTS ON VERTICAL SURFACES WHERE MASONRY ABUTS, 24" O.C. FOR PARALLEL SURFACES AND AT CENTERLINE OF MASONRY FOR PERPENDICULAR WALLS. DOVETAIL SLOTS SHALL BE 24 GAGE, HOT DIPPED GALVANIZED.
15. PROVIDE (2) #5 BARS 2" ABOVE ALL CONCRETE OPENINGS LESS THAN 5' WIDE. EXTEND BARS 2'-0" BEYOND EDGES OF OPENINGS.
16. THE NATIONAL ELECTRICAL CODE REQUIRES THAT THE BUILDING ELECTRICAL SYSTEM SHALL BE GROUNDED TO REINFORCING STEEL IN THE CONCRETE FOOTING. THE WORK ASSOCIATED WITH THIS REQUIREMENT AND THE METHOD USED SHALL BE COORDINATED BY THE CONTRACTOR. (N.E.C. 250.50)

MECHANICAL FASTENERS

1. EXPANSION ANCHORS TO CONCRETE: HILTI "Kwik Bolt 12" (ICC ESR-1917). INSTALL PER ICC REPORT AND MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS (MINTI). SUBSTITUTES COMPLYING WITH ACCEPTANCE CRITERIA AC 193 AND AO 355.2-07 FOR USE IN CRACKED CONCRETE MAY BE CONSIDERED, SUBMIT EVALUATION REPORT DEMONSTRATING COMPLIANCE WITH GOVERNING CODE PRIOR TO INSTALLATION.
2. POWDER DRIVEN FASTENERS ATTACHING WOOD TO STEEL: HILTI X-LU NAIL, 0.157" DIAMETER (ICC-ESR-2269). FASTENER LENGTH SHALL BE AS REQUIRED FOR MINIMUM SHANK PENETRATION THROUGH STEEL.

EPOXY ANCHORS

1. ANCHORAGE TO CONCRETE: HILTI "HIT-RE 900-S0" EPOXY (ICC ESR-2322). INSTALL MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- A. STEEL THREADED ROD ANCHORS SHALL BE HILTI "HAS-E" STANDARD RODS. SIZE AND EMBEDMENT SHALL BE AS INDICATED ON DRAWINGS.
2. CONTRACTOR SHALL VERIFY THAT THE SHELF LIFE OF THE ADHESIVE HAS NOT BEEN EXCEEDED ON THE DATE OF INSTALLATION.

STRUCTURAL STEEL

1. ALL DETAILING, FABRICATION, AND ERECTION SHALL CONFORM TO ALSO SPECIFICATIONS FOR "DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS", AND THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES", LATEST EDITION.
2. FIELD CONNECTIONS SHALL BE BOLTED EXCEPT WHERE WELDED CONNECTIONS ARE INDICATED ON THE DRAWINGS.
3. WELDING SHALL BE IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY (AWS D1.1:2002).
4. MATERIALS:
- A. W-SHAPES UNLESS NOTED: ASTM A992, $F_y = 50$ KSI.
- B. PLATES AND ROLLED SHAPES OTHER THAN W-SHAPES, UNLESS NOTED: ASTM A36.
- C. PIPE COLUMNS: ASTM A53, TYPES B OR S GRADE B.
- D. TUBULAR SHAPES: ASTM A500, GRADE B.
- E. BOLTS: ASTM A325-N, 3/4" DIAMETER UNLESS NOTED.
- F. ANCHOR BOLTS:
1. ANCHOR BOLTS FOR PRESSURE TREATED LUMBER SILLS: SEE WOOD SECTION OF RESIDENTIAL STRUCTURAL NOTES.
2. OTHER ANCHOR BOLTS: ASTM A36: 1/2" DIAMETER UNLESS NOTED.
- F. FIELD WELDS: AWS E70xx, LOW HYDROGEN ELECTRODES
- G. NON-SHRINK GROUT: ASTM C1107
5. PROVIDE A 2X WOOD PLATE BOLTED TO THE TOP FLANGE OF ALL STEEL BEAMS WITH 3/8" DIAMETER BOLTS STAGGERED AT 12'-0" O.C. OR POWDER DRIVEN FASTENERS AT 16" ON CENTER. PRE-PUNCH TOP FLANGE FOR BOLT HOLES.
6. CONTRACTOR SHALL SUBMIT ERECTION AND SHOP DRAWINGS FOR REVIEW BY ENGINEER. FABRICATION SHALL NOT BEGIN PRIOR TO SHOP DRAWING APPROVAL BY ENGINEER.
7. PREPUNCH HOLES IN WEB OF STEEL BEAMS REQUIRING WOOD BLOCKING.
8. AT CONCRETE BEARING, STEEL BEAMS SHALL BE SHIMMED WITH STEEL PLATES OR NON-SHRINK GROUT. ANCHOR TO WALL WITH TWO 1/2" DIAMETER ANCHOR BOLTS.
9. GALVANIZING FOR STEEL EXPOSED TO WEATHER: - HOT DIP GALVANIZE PER ASTM A123 AFTER FABRICATION. AFTER ERECTION, REPAIR DAMAGED AREAS AND WELDS MADE AFTER GALVANIZING IN ACCORDANCE WITH ASTM A780 WITH ORGANIC ZINC PAINT COMPLYING WITH DOD-P-21035 OR MIL-P-28915, MULTIPLE COATS TO DRY FILM THICKNESS OF 4 MILS.

WOOD

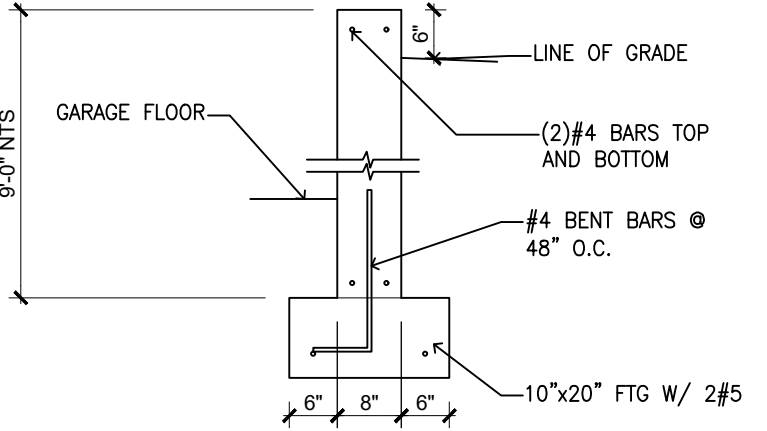
1. MATERIALS:
- A. FRAMING LUMBER:
1. 2x8 AND LARGER: NO. 1 GRADE OR BETTER SOUTHERN PINE KILN DRIED.
2. 2x4 AND 2x6: STUD GRADE OR BETTER SPRUCE PINE FIR KILN DRIED.
3. 4x4 AND 6x6: NO. 2 GRADE OR BETTER PRESSURE TREATED SOUTHERN PINE
4. PRESSURE TREATED LUMBER: NO. 1 GRADE OR BETTER SOUTHERN PINE WITH ACO (ALKALINE COPPER QUAT), CBA-A, CA-C, CA-B GRADE OR BORATE PRESSURE TREATED LUMBER (SILL PLATES ONLY). PRESSURE TREAT TO AMPA USE CATEGORY U2C FOR SILL PLATES; U2C3 FOR ABOVE GROUND EXTERIOR DECKING, STAIRS, RAILINGS, ETC.; AND U2C4 FOR GROUND CONTACT.
- B. SHEATHING & SUBFLOORING:
1. MATERIALS:
- a. FLOOR SHEATHING: 23/32" ADVANTECH SPAN RATING 48024 TONGUE & GROOVE SUBFLOOR MANUFACTURED BY HUBER ENGINEERED WOODS.

- b. ROOF SHEATHING: 19/32" APA SPAN RATING 4020 ROOF SHEATHING EXPOSURE 1. INSTALL PANEL CLIP THAT PRODUCES AN 1/8" SPACE BETWEEN PANELS AT MIDSPAN OF EACH TRUSS/RAFTER SPACE ALONG UNSUPPORTED SHEATHING EDGES.
- c. WALL SHEATHING: 7/16" APA SPAN RATING 24/16 WALL SHEATHING EXPOSURE 1.
2. CONNECTIONS: ALL SHEATHING SHALL BE NAILED TO WOOD FRAMING WITH #8 NAILS AT 6" ON CENTER AT PANEL EDGES, 12" ON CENTER AT INTERMEDIATE SUPPORTS UNLESS NOTED OTHERWISE.
- C. ADHESIVE FOR SUBFLOORING: SHALL CONFORM TO PERFORMANCE SPECIFICATION AFG-01 DEVELOPED BY APA.
- D. LVL (LAMINATED VENEER LUMBER) BEAMS: DISTRIBUTED AS MICRO-LAM LV, GONG-LAM LV, AND TIMBER MAX. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. LVL BEAMS SHALL HAVE DESIGN STRESS VALUES AS FOLLOWS:
1. $F_b = 2600$ PSI BENDING
2. $F_v = 285$ PSI HORIZONTAL SHEAR
3. $F_{c\perp} = 750$ PSI COMPRESSION PERPENDICULAR TO GRAIN
4. $E = 1,900,000$ PSI MODULUS OF ELASTICITY
- SEAL ALL FIELD CUTS WITH WATER-REPELLENT SEALER IMMEDIATELY AFTER CUTTING.
- E. LSL (LAMINATED STRAND LUMBER) RIM BOARDS: DISTRIBUTED AS TIMBERSTRAND. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. LSL'S SHALL HAVE DESIGN STRESS VALUES AS FOLLOWS:
1. RIM BOARDS:
- a. $F_b = 1700$ PSI BENDING
- b. $F_v = 400$ PSI HORIZONTAL SHEAR
- c. $F_c = 1400$ PSI COMPRESSION PARALLEL TO GRAIN
- d. $F_c = 680$ PSI COMPRESSION PERPENDICULAR TO GRAIN
- e. $E = 1,300,000$ PSI MODULUS OF ELASTICITY
- SEAL ALL FIELD CUTS WITH WATER-REPELLENT SEALER IMMEDIATELY AFTER CUTTING.
- F. MANUFACTURED WOOD JOISTS: DEPTH AS SHOWN ON DRAWINGS.

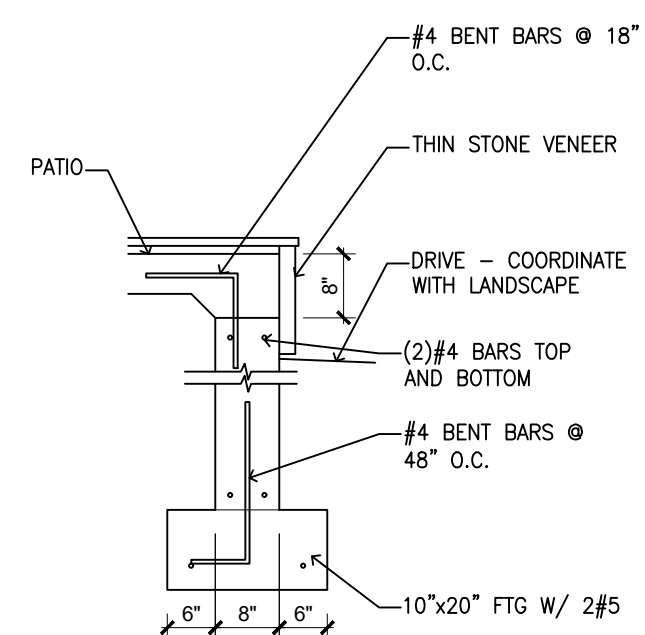
1. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
2. SHOP DRAWINGS ARE REQUIRED AND SHALL BEAR THE DESIGNER'S ENGINEERING SEAL FROM THE STATE THE PROJECT OCCURS. SHOP DRAWINGS SHALL SHOW ALL DESIGN AND FABRICATION DATA, TEMPORARY AND PERMANENT BRACING REQUIREMENTS, HANDLING AND ERECTION INSTRUCTIONS, AND ALL FIELD-CONNECTION REQUIREMENTS. JOISTS SHALL NOT BE FABRICATED UNTIL SHOP DRAWINGS ARE APPROVED BY ARCHITECT/ENGINEER.
3. SUPPLIER SHALL INDICATE ALL AREAS REQUIRING SQUASH BLOCKS OR OTHER TYPES OF BLOCKING. CONTRACTOR SHALL INSTALL BLOCKING WHERE INDICATED ON THE DRAWINGS, WHERE INDICATED BY THE SUPPLIER, AND BELOW ALL POINT LOADS.
- G. WOOD TRUSSES

1. ALL WORK TO CONFORM TO THE NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION (ANSI/TPI 1-2002) BY THE TRUSS PLATE INSTITUTE, INC.
2. UNLESS NOTED OTHERWISE, ALL ROOF TRUSSES SHALL BE DESIGNED FOR THE LOADS AS SHOWN IN THE DESIGN LOAD SECTION OF THESE NOTES. IN ADDITION TO THE LOADS SHOWN IN THE DESIGN SECTION, DESIGN ROOF TRUSSES FOR NET UPLIFT DUE TO WIND LOAD OF 15 PSF. SNOW LOADS SHALL BE CONSIDERED UNBALANCED PER ASCE 7 SECTION 7.6.1. TRUSS DESIGN LOAD COMBINATIONS SHALL BE PER RESIDENTIAL CODE OF OHIO. MAXIMUM TOTAL LOAD DEFLECTION NOT TO EXCEED $L/240$ AND MAXIMUM LIVESNOW LOAD DEFLECTION NOT TO EXCEED $L/960$.
3. SHOP DRAWINGS ARE REQUIRED AND SHALL BEAR THE DESIGNER'S ENGINEERING SEAL FROM THE STATE THE PROJECT OCCURS. PER IRC 802.10, SHOP DRAWINGS SHALL INCLUDE ALL DESIGN AND FABRICATION DATA, TEMPORARY AND PERMANENT BRACING REQUIREMENTS (CLEARLY SHOWING PERMANENT BRACING REQUIREMENTS FOR WEB COMPRESSION AND BOTTOM CHORD MEMBERS), HANDLING AND ERECTION INSTRUCTIONS, ALL FIELD-CONNECTION REQUIREMENTS, AND AN ERECTION PLAN LOCATING ALL TRUSSES. WOOD TRUSSES SHALL NOT BE FABRICATED UNTIL SHOP DRAWINGS ARE APPROVED BY ARCHITECT/ENGINEER.
4. LAP SPLICE PERMANENT TRUSS BRACING A MINIMUM OF ONE TRUSS SPACE.
5. FABRICATOR SHALL DESIGN ALL TRUSS TO TRUSS AND/OR TRUSS TO BEAM CONNECTIONS AND SHALL SPECIFY THE PROPER SIZED HANGER ON THE SHOP DRAWINGS.
6. ALL TRUSSES UNDER 60' LONG SHALL BE BRACED DURING ERECTION PER "COMMENTARY AND RECOMMENDATIONS FOR HANDLING, INSTALLING AND BRACING METAL PLATE CONNECTED WOOD TRUSSES" BOS-B1 SUMMARY SHEET BY THE TRUSS PLATE INSTITUTE, UNLESS MORE STRICT BRACING IS REQUIRED BY THE TRUSS MANUFACTURER. TRUSSES OVER 60' LONG SHALL HAVE TEMPORARY BRACING DESIGNED BY A PROFESSIONAL ENGINEER WHO IS REGISTERED IN THE STATE THE PROJECT OCCURS, AND SHALL HAVE DRAWINGS SUBMITTED, BEARING THE DESIGNER'S SEAL, SHOWING THE DETAILS OF THE TEMPORARY BRACING. THIS BRACING SHALL REMAIN AS PERMANENT BRACING IN THE PLANE OF THE TOP CHORD. THIS MAY BE REMOVED WHEN THE TOP CHORD IS LATERALLY BRACED BY PLYWOOD SHEATHING.
7. AT EXTERIOR GABLE ENDS:
- a. PROVIDE 2 X 4 X 10' LONG HORIZONTAL BRACES PERPENDICULAR TO GABLE END WALL AT 4' ON CENTER. NAIL BRACES TO GABLE END AND TO TOP OF THE BOTTOM CHORDS OF EACH TRUSS WITH (2) 10d NAILS.
- b. TOENAIL GABLE END TRUSS TO TOP PLATE OF STUD WALL WITH 10d TOENAILS AT 16" ON CENTER.
- c. BRACE NAILING STUDS IN GABLE END TRUSS PER MANUFACTURER'S DRAWINGS.
8. GABLE END TRUSSES SHALL NOT BE TALLER THAN 8'-0" GREATER THAN 8'-0" HIGH SHALL UTILIZE SLOPED STUD WALLS FOLLOWING THE PROFILE OF THE TRUSSES.
9. DESIGN WOOD TRUSSES TO BEAR ON THE EXTERIOR WALL UNLESS INDICATED OTHERWISE ON THE CONSTRUCTION DOCUMENTS.
10. TO ACCOMMODATE TRUSS UPLIFT CONDITIONS, INSTALL SIMPSON DTC ROOF TRUSS CLIPS TO BOTTOM CHORD OF ALL ROOF TRUSSES AND NAILED TO THE TOP PLATE OF ALL PERPENDICULAR NON-LOADBEARING STUD WALLS BELOW. DO NOT PLACE CEILING DRYWALL FASTENERS INTO TRUSSES WITHIN 16 INCHES OF STUD WALLS ORIENTED EITHER PARALLEL OR PERPENDICULAR TO TRUSSES.
11. ANCHOR ENDS OF DOUBLE GIRDER TRUSSES TO WALL STUDS WITH SIMPSON LGT2. ANCHOR 3 OR 4 PLY GIRDER TRUSSES TO WALL STUDS WITH (2) SIMPSON H7 HURRICANE TIES. ANCHOR BOTTOM OF EACH STUD SUPPORTING GIRDER TRUSS TO BAND JOIST WITH SIMPSON LST45 STRAPS.
12. AT HIP ROOFS WHERE STEP DOWN TRUSSES ARE USED TO FRAME THE HIP, A MANUFACTURED HIP FILLER TRUSS OR 2X4 BLOCKING SHALL BE INSTALLED BETWEEN THE STEP DOWN TRUSSES ALONG THE HIP LINES TO SUPPORT THE FREE EDGES OF THE ROOF SHEATHINGS.
- H. FASTENERS:
1. BOLTS:
- a. ANCHOR BOLTS FOR PRESSURE TREATED LUMBER SILLS (WITH THE EXCEPTION OF BORATE TREATED):
- (1) STAINLESS STEEL TYPE 304 OR 316.
- OR
- (2) HOT DIP GALVANIZED PER ASTM A123. ASTM A36, ASTM A307, OR ASTM F1554 GRADE 36.
- b. OTHER BOLTS: ASTM A307.
- c. PROVIDE STANDARD CUT WASHER BETWEEN BOTH HEAD AND NUT TO WOOD CONNECTION.
2. NAILS (CONTRACTOR SHALL CONFIRM NAIL SIZES INDICATED ON DRAWINGS AND NOTES MEET THE FOLLOWING DIAMETER AND LENGTH REQUIREMENTS):
- a. 8d = 0.131" DIA, 2 1/2" LG.
- b. 10d = 0.148" DIA, 3" LG.
- c. 16d = 0.182" DIA, 3 1/2" LG.

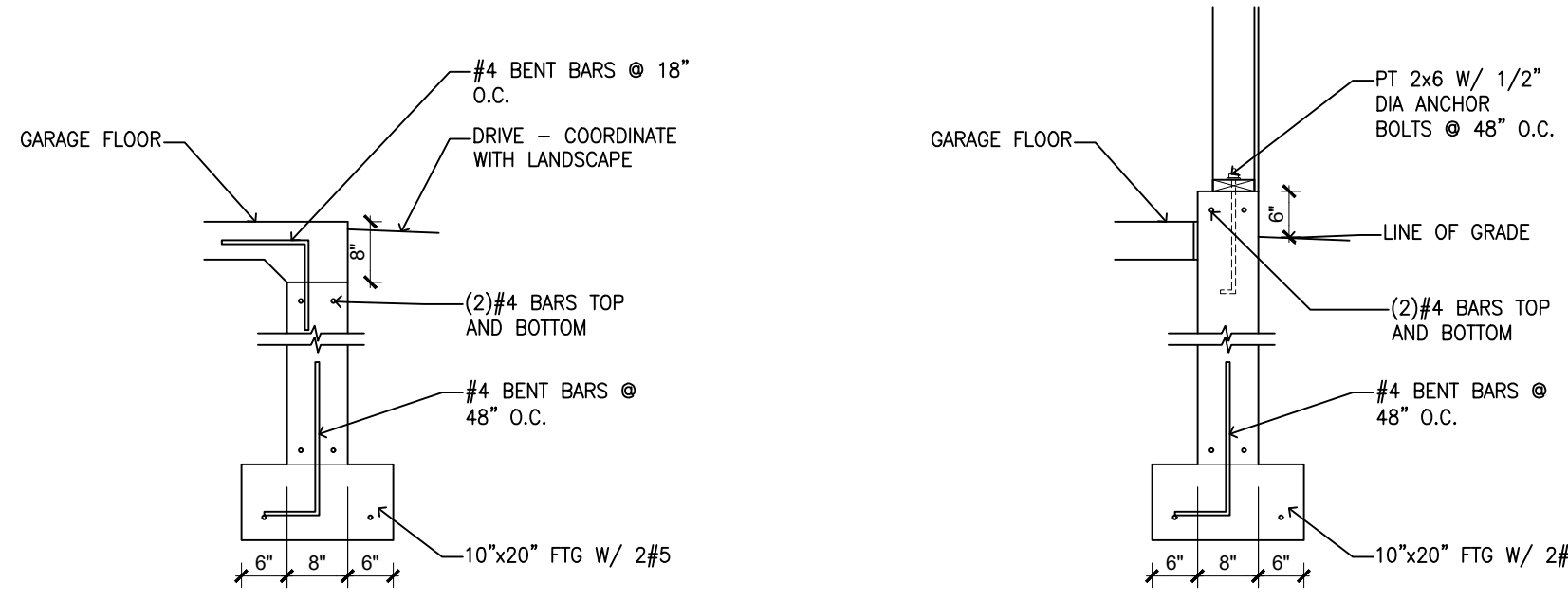
2. UNLESS NOTED OTHERWISE, CONNECTIONS SHALL BE MADE PER TABLE 602.3a(1), "FASTENING SCHEDULE FOR STRUCTURAL MEMBERS", IN REFERENCED BUILDING CODE. STAPLES NOT PERMITTED FOR FASTENING APA RATED SHEATHING AND SUBFLOORING.
3. ALL SUBFLOORING SHALL BE GLUED AND NAILED.
4. AT BOLTED 2x LEDGERS, PROVIDE NO LESS THAN 2" CLR. FROM CENTER OF BOLT TO TOP AND BOTTOM OF LEDGER.
5. ALL CONNECTION HARDWARE SPECIFIED ON THE STRUCTURAL DRAWINGS AS MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY SHALL BE FASTENED AS SPECIFIED IN THE SIMPSON PRODUCT AND INSTRUCTION MANUAL.
6. SIMPSON CONNECTORS USED IN ALL APPLICATIONS WITH ACO-C, ACO-D, CBA-A, OR CA-B, OR NON-DOT BORATE TREATED LUMBER SHALL BE 2MAX (3169) OR HOT DIPPED GALVANIZED. G80 AND G90 COATED PRODUCTS ARE NOT ALLOWED FOR APPLICATIONS WITH TREATED LUMBER. G90 CAN BE USED WITH BORATE TREATED LUMBER IN INTERIOR DRYER APPLICATIONS. ONLY USE GALVANIZED FASTENERS WITH 2MAX AND HOT DIP GALVANIZED CONNECTORS. AT OWNERS OPTION, STAINLESS STEEL TYPE 304 OR TYPE 316L WITH STAINLESS STEEL FASTENERS CAN BE USED TO INCREASE LIFE EXPECTANCY OF THE CONNECTOR. STAINLESS STEEL CONNECTORS SHOULD BE USED FOR LUMBER WITH CHEMICAL RETENTION LEVELS GREATER THAN 0.40 PCF FOR ACO, 0.41 PCF FOR CBA-A, OR 0.21 PCF FOR CA-B.
7. FOR WOOD ROOF RAFTERS AND TRUSSES, INSTALL SIMPSON H2.5T HURRICANE TIE AT EACH MEMBER AT EACH BEARING LOCATION IN ADDITION TO THE TYPICAL NAILING REQUIREMENT IN THE "FASTENINGS SCHEDULE".
8. WALL STUDS SHALL LINE UP WITH FLOOR JOISTS OF FLOORS ABOVE AND BELOW.
9. PROVIDE DOUBLE RIM JOIST WHERE FRAMING RUNS PARALLEL TO FOUNDATION OR STUD WALL.
10. PROVIDE A STUD AT ALL TOP PLATE SPLICE LOCATIONS.
11. PROVIDE DOUBLE JOISTS IN FLOOR CONSTRUCTION BELOW ALL INTERIOR PARTITIONS THAT RUN PARALLEL WITH THE JOISTS (SPREAD JOISTS AS NECESSARY TO ACCOMMODATE PLUMBING).
14. FOR BUILT-UP FREE-STANDING COLUMNS, USE THE FOLLOWING STUD CONNECTION PATTERNS:
- A. (2) 2X4: 10d NAILS AT 6" O.C. STAGGERED FRONT TO BACK, SET NAILS 1" FROM EDGE.
- B. (3) 2X4: SIMPSON SDWS22400D8 SCREWS AT 6" O.C. STAGGERED FRONT TO BACK, SET SCREWS 1 1/4" FROM EDGE.
- C. (3) 2X6: TWO ROWS OF SIMPSON SDWS22400D8 SCREWS AT 8" O.C. STAGGERED SIDE TO SIDE AND FRONT TO BACK, SET NAILS 1 1/4" FROM EDGE.
- D. (4) 2X6: TWO ROWS OF SIMPSON SDWS22200D8 SCREWS AT 8" O.C. STAGGERED SIDE TO SIDE AND FRONT TO BACK, SET NAILS 1 1/4" FROM EDGE.
12. NOTCHES IN EXTERIOR WALL OR INTERIOR BEARING WALL STUDS ARE NOT TO EXCEED ONE-FOURTH OF THE STUD WIDTH, AND NO HOLES ARE TO BE BORED GREATER THAN 40% OF THE STUD WIDTH OR WITHIN 58" OF STUD EDGE.
13. NOTCHES IN FLOOR JOISTS AND ROOF RAFTERS SHALL NOT BE LOCATED IN THE MIDDLE ONE-THIRD OF THE SPAN. DEPTH OF NOTCHES IN THE TOP OR BOTTOM OF THE MEMBER ARE NOT TO EXCEED ONE-SIXTH OF THE MEMBER DEPTH, AND LENGTH SHALL NOT EXCEED ONE-THIRD OF MEMBER DEPTH. HOLES SHALL NOT BE BORED LARGER THAN ONE-THIRD OF THE MEMBER DEPTH, OR WITHIN TWO INCHES OF THE TOP OR BOTTOM OF THE MEMBER, OR WITHIN TWO FEET OF BEARING. NO HOLES OR NOTCHES ARE ALLOWED IN BEAMS UNLESS APPROVED BY ARCHITECT/ENGINEER.
14. WHERE CONCENTRATED LOADS FROM BEAMS, GIRDER TRUSSES, ETC. BEAR ON STUD WALLS, PROVIDE THE NUMBER OF STUDS NECESSARY TO SUPPORT THE FULL WIDTH OF THE BEARING MEMBER, UNLESS NOTED OTHERWISE. THE REQUIRED NUMBER OF SUPPORTING STUDS SHALL CONTINUE FOR THE FULL HEIGHT OF WALL BELOW THE CONCENTRATED LOAD, WITH CONTINUOUS BLOCKING THRU FLOOR FRAMING AT EACH FLOOR LEVEL, DOWN TO SOLID BEARING ON FOUNDATION WALL, SILL PLATE OR INTERIOR STEEL OR WOOD BEAM.
15. MINIMUM BEARING STUD & FULL HEIGHT STUD REQUIREMENTS FOR SUPPORT OF HEADERS IN EXTERIOR WALLS AND INTERIOR BEARING WALLS:
- A. HEADER SPAN 6'-0" OR LESS: MINIMUM (1) 2x BEARING STUD NAILED TO (1) FULL HEIGHT STUD WITH 10d NAILS AT 24" O.C.
- B. HEADER SPAN GREATER THAN 6'-0": MINIMUM (2) 2x BEARING STUDS NAILED TO (1) FULL HEIGHT STUD WITH 10d NAILS AT 24" O.C., UNLESS OTHERWISE.
19. STEEL FLUTCH PLATE BEAMS SHALL BE THROUGH-BOLTED TOGETHER WITH 1/2" DIAMETER BOLTS AT 12" O.C. STAGGERED TOP TO BOTTOM, WITH (4) BOLTS MINIMUM AT EACH END, UNLESS NOTED OTHERWISE ON PLANS. PRE-PUNCH BOLT HOLES IN FLUTCH PLATES.
20. ALL MULTIPLE HEADERS AND BEAMS WITH DEPTH LESS THAN 14 INCHES SHALL BE FASTENED TOGETHER WITH MINIMUM (3) ROWS OF 10d COMMON NAILS AT 12" O.C., STAGGERED ON OPPOSITE SIDES. FOR DEPTHS EQUAL TO OR GREATER THAN 14 INCHES, FASTEN TOGETHER WITH (4) ROWS OF 10d NAILS AT 12" O.C. FOR FOUR OR MORE PLY BEAMS, THRU-BOLT WITH 1/2" DIAMETER BOLTS AT 12" O.C. STAGGERED TOP AND BOTTOM. ALL SIDE LOADED BEAMS SHALL BE THRU-BOLTED.
21. SHEATH ALL EXTERIOR WALLS WITH APA RATED WALL SHEATHING.
22. ALL NAILS AND FASTENERS WITH EXTERIOR EXPOSURE OR IN CONTACT WITH TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL. DO NOT MIX GALVANIZED AND STAINLESS STEEL PRODUCTS.



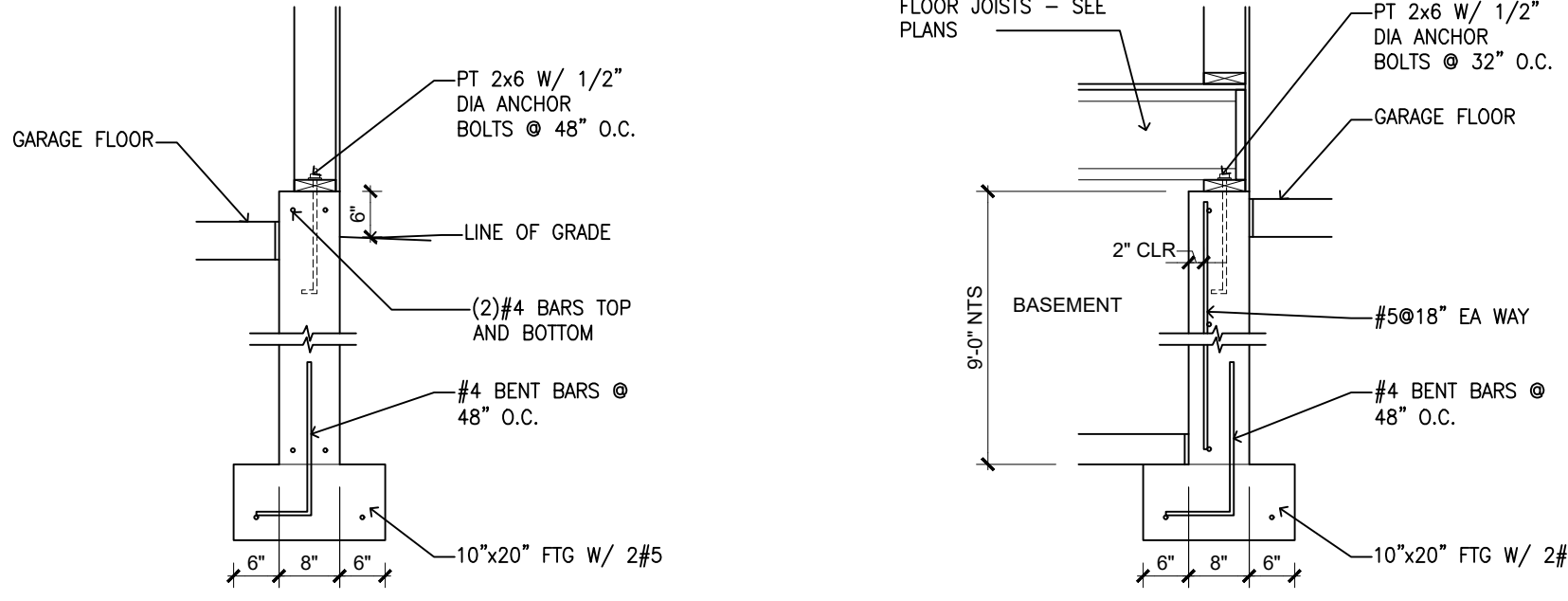
DETAIL S0.1 1/2"=1'-0"



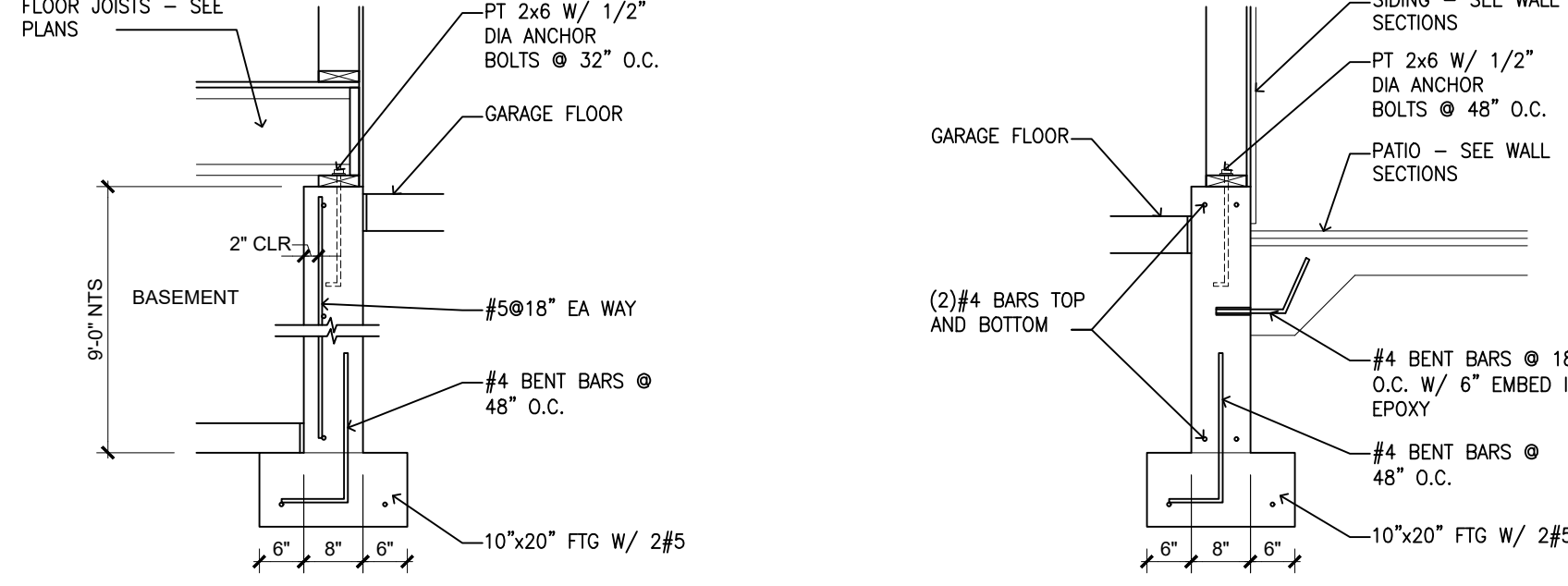
DETAIL S0.1 1/2"=1'-0"



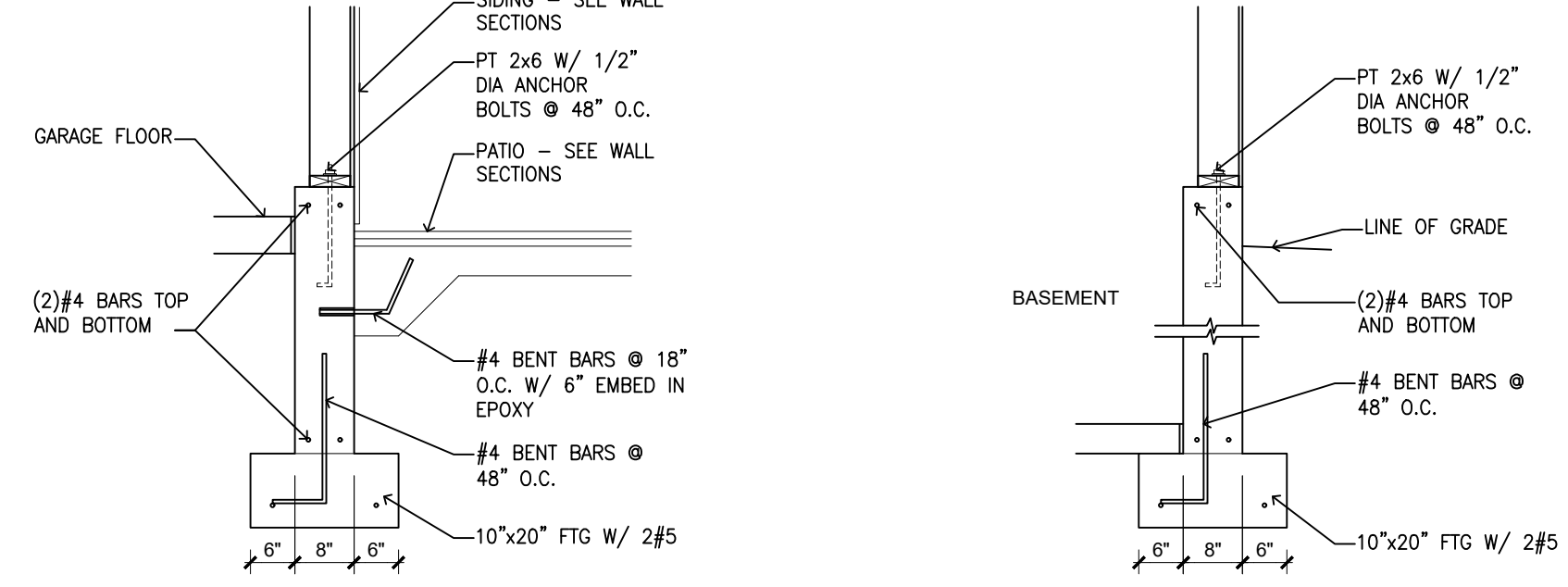
DETAIL G S0.1 1/2"=1'-0"



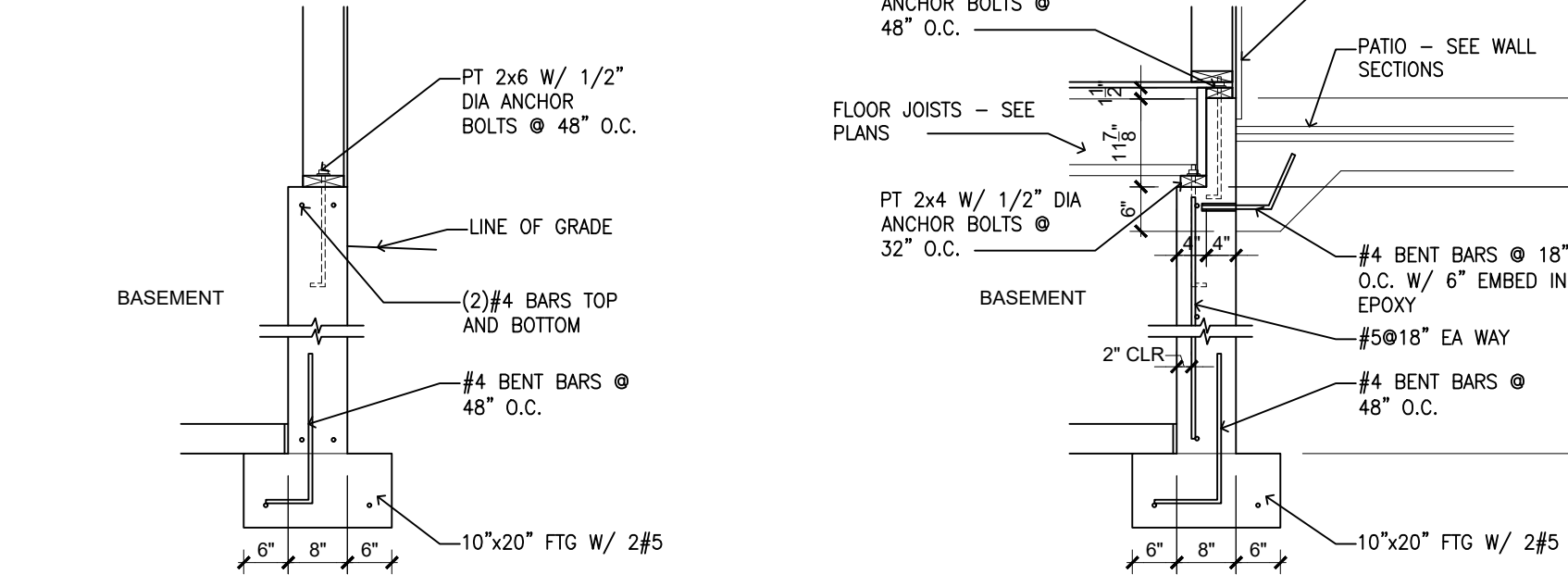
DETAIL F S0.1 1/2"=1'-0"



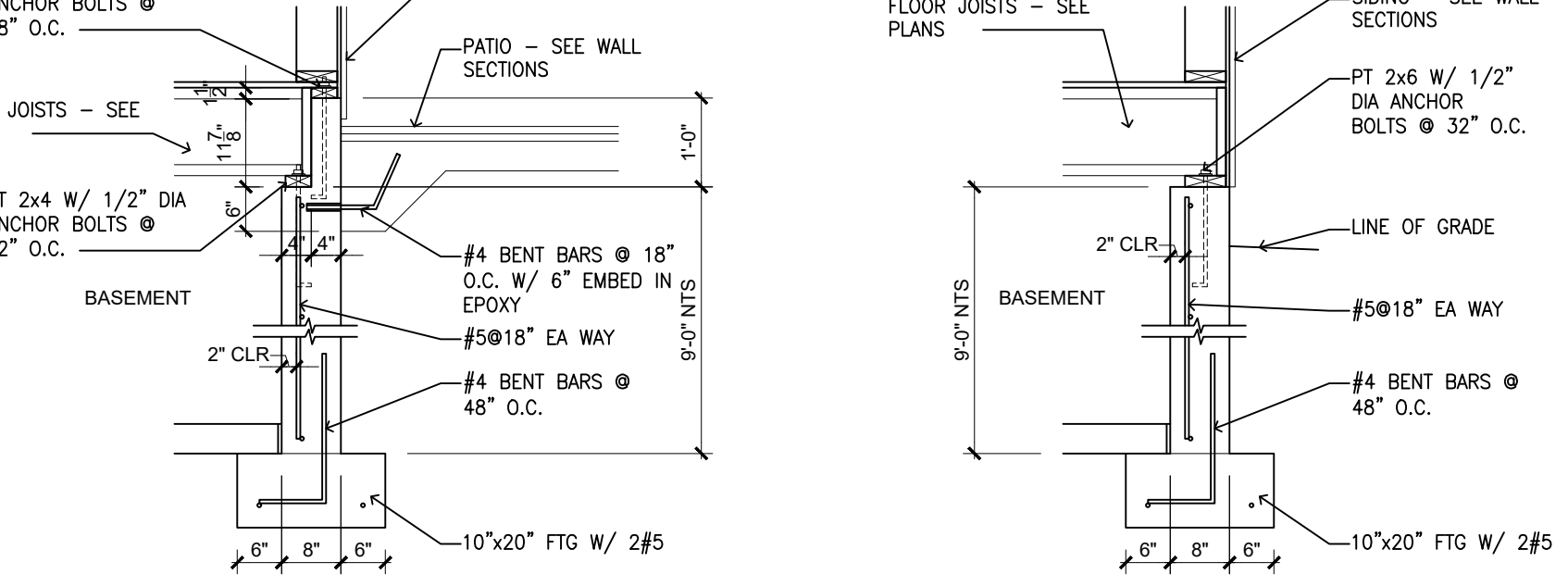
DETAIL E S0.1 1/2"=1'-0"



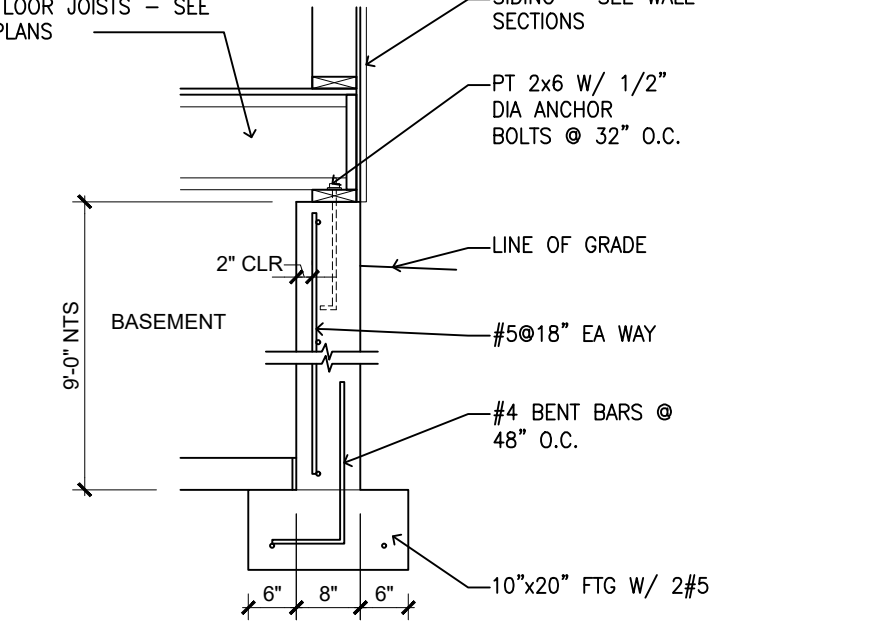
DETAIL D S0.1 1/2"=1'-0"



DETAIL C S0.1 1/2"=1'-0"



DETAIL B S0.1 1/2"=1'-0"



DETAIL A S0.1 1/2"=1'-0"

STATE OF OHIO
REGISTERED ARCHITECT
BRIAN KENT JONES
10093

WORKINGTON, OHIO 43085

CAMILLUS RESIDENCE
510 TUCKER DRIVE

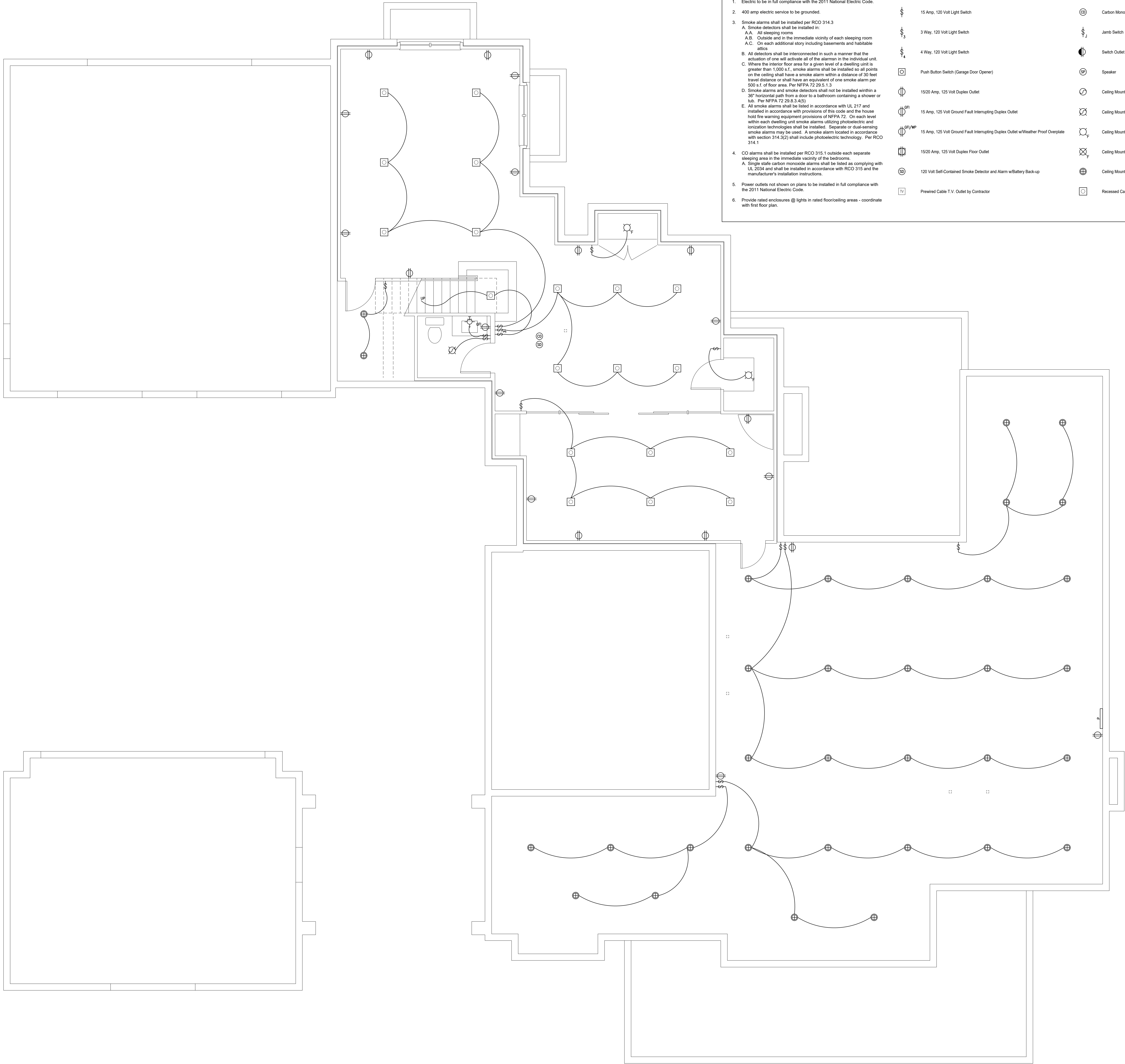
BRIAN KENT JONES ARCHITECTS, INC.
50 CITY CENTER, SUITE 1000
COLUMBUS, OHIO 43215
PH: 614.438.7292
F: 614.438.7013

20007
17 MAY 2023

CONSTRUCTION DOCUMENTS

REVISIONS

S0.1



General Notes

- Electric to be in full compliance with the 2011 National Electric Code.
- 400 amp electric service to be grounded.
- Smoke alarms shall be installed per RCO 314.3.
A. Smoke detectors shall be installed in:
A.A. All sleeping rooms.
A.B. Outside and in the immediate vicinity of each sleeping room.
A.C. On each additional story including basements and habitable attic.
B. All detectors shall be interconnected in such a manner that the actuation of one will activate all of the alarmers in the individual unit.
C. Where the interior floor area for a given level of a dwelling unit is greater than 1,000 s.f., smoke alarms shall be installed so all points on the ceiling shall have a smoke alarm within a distance of 30 feet travel distance or shall have an equivalent of one smoke alarm per 500 s.f. of floor area. Per NFPA 72 28.5.1.3.
D. Smoke alarms and smoke detectors shall not be installed within a 36" horizontal path from a door to a bathroom containing a shower or tub. Per NFPA 72 28.4.3.4(5).
E. All smoke alarms shall be listed in accordance with UL 217 and installed in accordance with provisions of this code and the house hold fire warning equipment provisions of NFPA 72. On each level within each dwelling unit smoke alarms utilizing photoelectric and ionization technologies shall be installed. Separate or dual-sensing smoke alarms may be used. A smoke alarm located in accordance with section 314.3(2) shall include photoelectric technology. Per RCO 314.1.
- CO alarms shall be installed per RCO 315.1 outside each separate sleeping area in the immediate vicinity of the bedrooms.
A. Single-stroke carbon monoxide alarms shall be listed as complying with UL 2034 and shall be installed in accordance with RCO 315 and the manufacturer's installation instructions.
- Power outlets not shown on plans to be installed in full compliance with the 2011 National Electric Code.
- Provide rated enclosures @ lights in rated floor/ceiling areas - coordinate with first floor plan.

Electrical Symbols Legend

	15 Amp, 120 Volt Light Switch		Carbon Monoxide Detector		Wall or Beam Mounted Track Light
	3 Way, 120 Volt Light Switch		Jamb Switch		Ceiling/Pendant Mounted Track Light
	4 Way, 120 Volt Light Switch		Switch Outlet		Ceiling Mounted Fan/Light
	Push Button Switch (Garage Door Opener)		Speaker		Puck Light in Cabinetry
	15/20 Amp, 125 Volt Duplex Outlet		Ceiling Mounted Exhaust Fan		Panel
	15 Amp, 125 Volt Ground Fault Interrupting Duplex Outlet		Ceiling Mounted Combination Light/Exhaust Fan		Exterior Mounted Security Light Fixture
	15 Amp, 125 Volt Ground Fault Interrupting Duplex Outlet w/Weather Proof Overplate		Ceiling Mounted Light Fixture		Wall Mounted Light Fixture
	15/20 Amp, 125 Volt Duplex Floor Outlet		Ceiling Mounted Pendant Light Fixture		Tread Lighting
	120 Volt Self-Contained Smoke Detector and Alarm w/Battery Back-up		Ceiling Mounted Utility Light Fixture		Under Cabinet Lighting
	Prewired Cable T.V. Outlet by Contractor		Recessed Can Fixture		In Cabinet Lighting

REVISIONS

E1.1

LOWER LEVEL ELECTRICAL PLAN

20007
17 MAY 2023
CONSTRUCTION DOCUMENTS

JONES

BRIAN KENT JONES ARCHITECTS, INC.
50 CITY CENTER DRIVE
P.O. BOX 2729
COLUMBUS, OHIO 43215
614.588.2729
614.588.7015

CAMILIUS RESIDENCE

510 TUCKER DRIVE

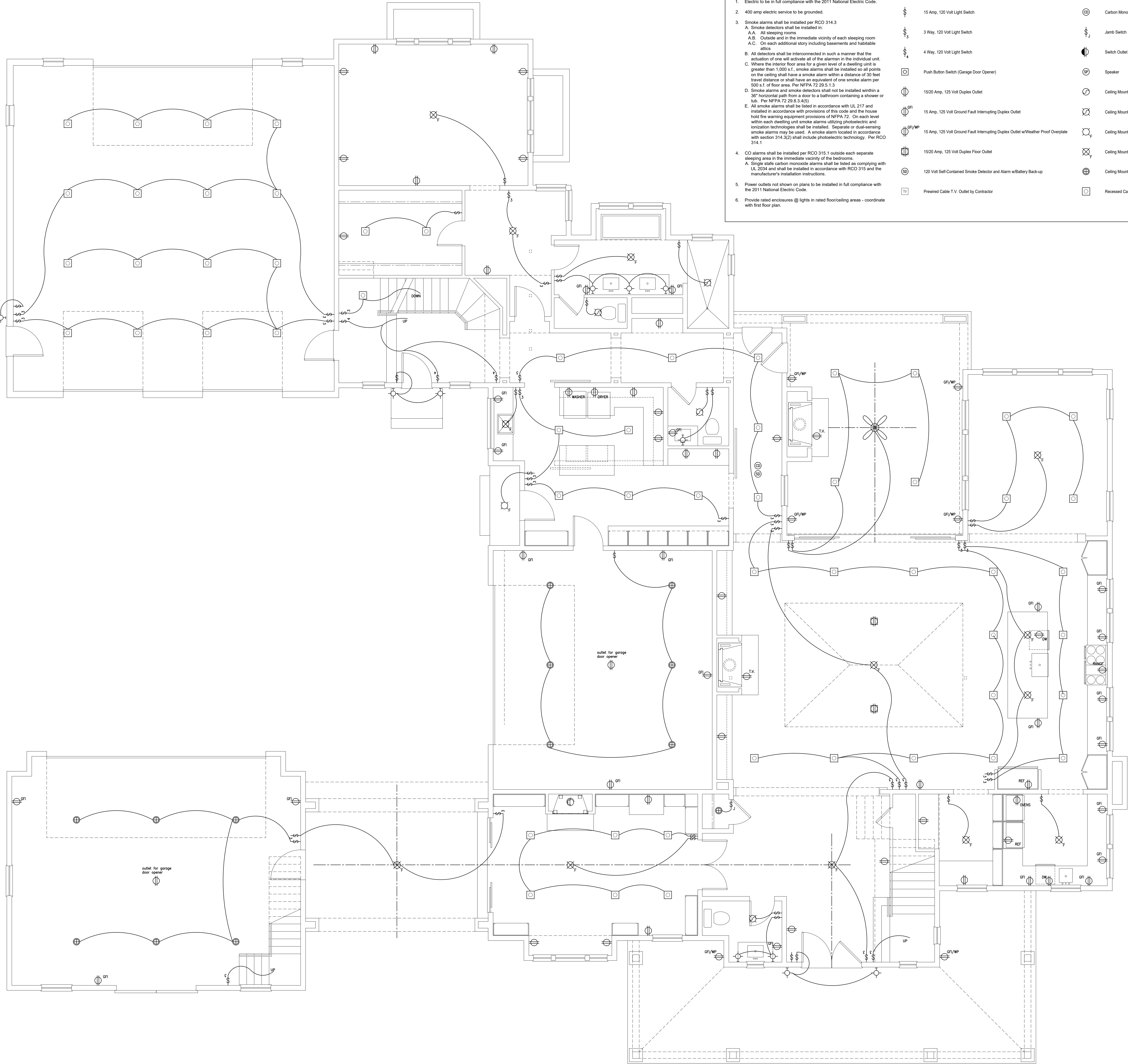
WORTHINGTON, OHIO 43085

REGISTERED ARCHITECT

BRIAN KENT JONES
10093

STATE OF OHIO

OWNERSHIP AND USE OF DOCUMENTS:
DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF PROFESSIONAL SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THESE DOCUMENTS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE PRIOR WRITTEN PERMISSION OF BRIAN KENT JONES ARCHITECT.



General Notes

- Electric to be in full compliance with the 2011 National Electric Code.
- 400 amp electric service to be grounded.
- Smoke alarms shall be installed per RCO 314.3.
 - All sleeping rooms.
 - Outside and in the immediate vicinity of each sleeping room.
 - On each additional story including basements and habitable attic.

B. All detectors shall be interconnected in such a manner that the actuation of one will activate all of the alarmers in the individual unit.

C. Where the interior floor area for a given level of a dwelling unit is greater than 1,000 s.f., smoke alarms shall be installed so all points on the ceiling shall have a smoke alarm within a distance of 30 feet travel distance or shall have an equivalent of one smoke alarm per 500 s.f. of floor area. Per NFPA 72 28.5.1.3.

D. Smoke alarms and smoke detectors shall not be installed within a 36" horizontal path from a door to a bathroom containing a shower or tub. Per NFPA 72 28.3.3.4(5).

E. All smoke alarms shall be listed in accordance with UL 217 and installed in accordance with provisions of this code and the house hold fire warning equipment provisions of NFPA 72. On each level within each dwelling unit smoke alarms utilizing photoelectric and ionization technologies shall be installed. Separate or dual-sensing smoke alarms may be used. A smoke alarm located in accordance with section 314.3(2) shall include photoelectric technology. Per RCO 314.1.
- CO alarms shall be installed per RCO 315.1 outside each separate sleeping area in the immediate vicinity of the bedrooms.
 - Single-stale carbon monoxide alarms shall be listed as complying with UL 2034 and shall be installed in accordance with RCO 315 and the manufacturer's installation instructions.
- Power outlets not shown on plans to be installed in full compliance with the 2011 National Electric Code.
- Provide rated enclosures @ lights in rated floor/ceiling areas - coordinate with first floor plan.

Electrical Symbols Legend

	15 Amp, 120 Volt Light Switch		Carbon Monoxide Detector		Wall or Beam Mounted Track Light
	3 Way, 120 Volt Light Switch		Jamb Switch		Ceiling/Pendant Mounted Track Light
	4 Way, 120 Volt Light Switch		Switch Outlet		Ceiling Mounted Fan/Light
	Push Button Switch (Garage Door Opener)		Speaker		Puck Light in Cabinetry
	15/20 Amp, 125 Volt Duplex Outlet		Ceiling Mounted Exhaust Fan		Panel
	15 Amp, 125 Volt Ground Fault Interrupting Duplex Outlet		Ceiling Mounted Combination Light/Exhaust Fan		Exterior Mounted Security Light Fixture
	15 Amp, 125 Volt Ground Fault Interrupting Duplex Outlet w/Weather Proof Overplate		Ceiling Mounted Light Fixture		Wall Mounted Light Fixture
	15/20 Amp, 125 Volt Duplex Floor Outlet		Ceiling Mounted Pendant Light Fixture		Tread Lighting
	120 Volt Self-Contained Smoke Detector and Alarm w/Battery Back-up		Ceiling Mounted Utility Light Fixture		Under Cabinet Lighting
	Prewired Cable T.V. Outlet by Contractor		Recessed Can Fixture		In Cabinet Lighting

CITY OF WORthington
DRAWING NO. VAR 0020-2023
DATE 05/31/2023

FIRST FLOOR ELECTRICAL PLAN
1/4"=1'-0"

FIRST FLOOR ELECTRICAL PLAN

20007
17 MAY 2023

CONSTRUCTION DOCUMENTS

REVISIONS

E2.1

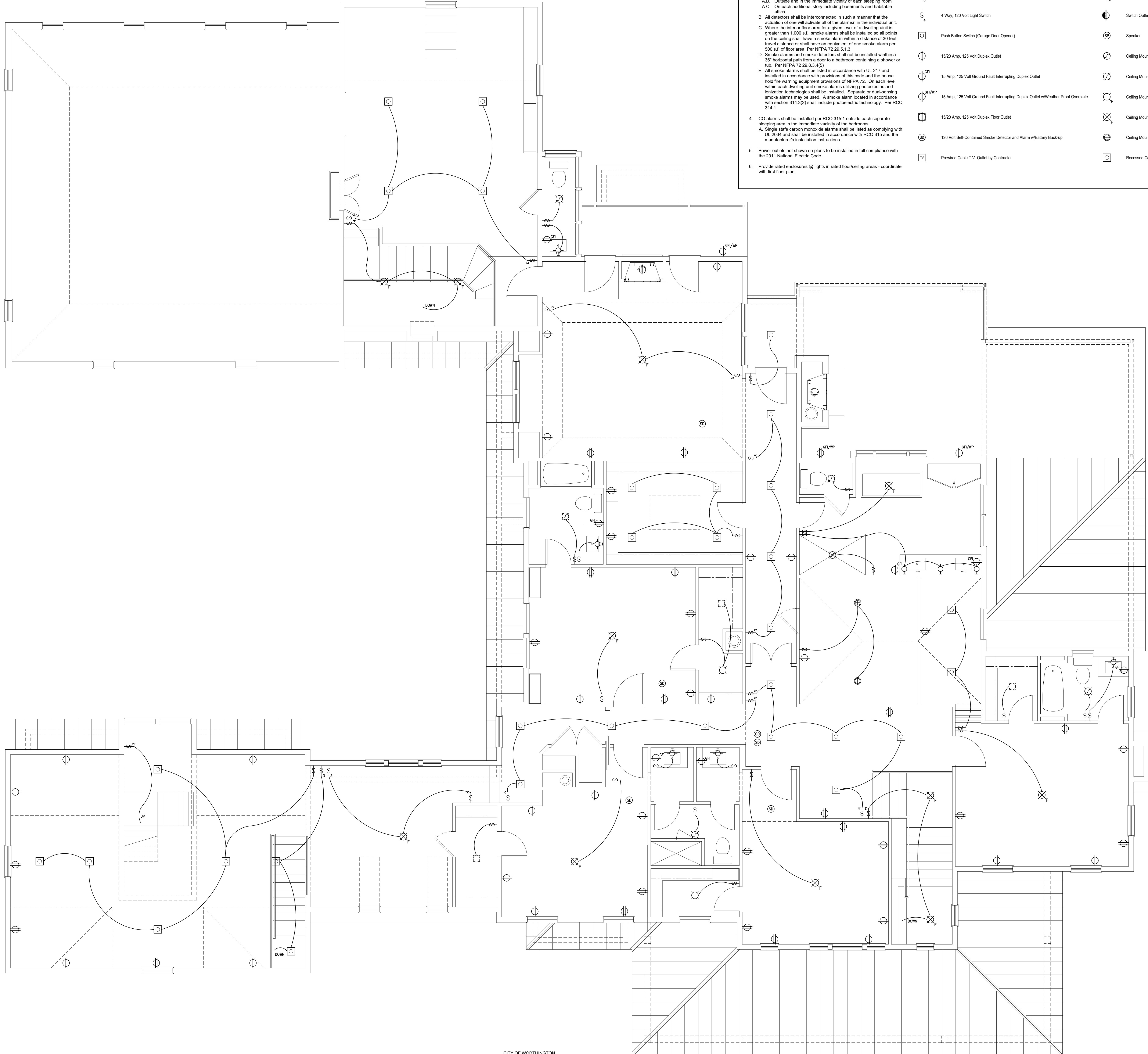
CAMILLUS RESIDENCE
510 TUCKER DRIVE

JONES
BRIAN KENT JONES ARCHITECTS, INC.
50 CITY CENTER
P.O. BOX 2729 COLUMBUS, OH 43215
P 614.585.2729 F 614.585.7015

WORKINGTON, OHIO 43085



OWNERSHIP AND USE OF DOCUMENTS:
DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF PROFESSIONAL SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THESE DOCUMENTS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE PRIOR WRITTEN PERMISSION OF BRIAN KENT JONES ARCHITECT.



General Notes

- Electric to be in full compliance with the 2011 National Electric Code.
- 400 amp electric service to be grounded.
- Smoke alarms shall be installed per RCO 314.3.
 - Smoke detectors shall be installed in:
 - All sleeping rooms.
 - Outside and in the immediate vicinity of each sleeping room.
 - On each additional story including basements and habitable attic.
 - All detectors shall be interconnected in such a manner that the actuation of one will activate all of the alarmen in the individual unit.
 - Where the interior floor area for a given level of a dwelling unit is greater than 1,000 s.f., smoke alarms shall be installed so all points on the ceiling shall have a smoke alarm within a distance of 30 feet travel distance or shall have an equivalent of one smoke alarm per 500 s.f. of floor area. Per NFPA 72 28.4.3.4(5).
 - Smoke alarms and smoke detectors shall not be installed within a 36" horizontal path from a door to a bathroom containing a shower or tub. Per NFPA 72 28.4.3.4(5).
 - All smoke alarms shall be listed in accordance with UL 217 and installed in accordance with provisions of this code and the house hold fire warning equipment provisions of NFPA 72. On each level within each dwelling unit smoke alarms utilizing photoelectric and ionization technologies shall be installed. Separate or dual-sensing smoke alarms may be used. A smoke alarm located in accordance with section 314.3(2) shall include photoelectric technology. Per RCO 314.1
- CO alarms shall be installed per RCO 315.1 outside each separate sleeping area in the immediate vicinity of the bedrooms.
 - Single-stale carbon monoxide alarms shall be listed as complying with UL 2034 and shall be installed in accordance with RCO 315 and the manufacturer's installation instructions.
- Power outlets not shown on plans to be installed in full compliance with the 2011 National Electric Code.
- Provide rated enclosures @ lights in rated floor/ceiling areas - coordinate with first floor plan.

Electrical Symbols Legend

	15 Amp, 120 Volt Light Switch		Carbon Monoxide Detector		Wall or Beam Mounted Track Light
	3 Way, 120 Volt Light Switch		Jamb Switch		Ceiling/Pendant Mounted Track Light
	4 Way, 120 Volt Light Switch		Switch Outlet		Ceiling Mounted Fan/Light
	Push Button Switch (Garage Door Opener)		Speaker		Puck Light in Cabinetry
	15/20 Amp, 125 Volt Duplex Outlet		Ceiling Mounted Exhaust Fan		Panel
	15 Amp, 125 Volt Ground Fault Interrupting Duplex Outlet		Ceiling Mounted Combination Light/Exhaust Fan		Exterior Mounted Security Light Fixture
	15 Amp, 125 Volt Ground Fault Interrupting Duplex Outlet w/Weather Proof Overplate		Ceiling Mounted Light Fixture		Wall Mounted Light Fixture
	15/20 Amp, 125 Volt Duplex Floor Outlet		Ceiling Mounted Pendant Light Fixture		Tread Lighting
	120 Volt Self-Contained Smoke Detector and Alarm w/Battery Back-up		Ceiling Mounted Utility Light Fixture		Under Cabinet Lighting
	Prewired Cable T.V. Outlet by Contractor		Recessed Can Fixture		In Cabinet Lighting

CITY OF WORTHINGTON
DRAWING NO. VAR 0020-2023
DATE 05/31/2023

SECOND FLOOR ELECTRICAL PLAN
1/4"=1'-0"

REVISIONS

E3.1

SECOND FLOOR ELECTRICAL PLAN

20007
17 MAY 2023
CONSTRUCTION DOCUMENTS

JONES

BRIAN KENT JONES ARCHITECTS, INC.
50 CITY CENTER DRIVE
P.O. BOX 2729
COLUMBUS, OHIO 43215
614.585.2729
614.585.7015

CAMILIUS RESIDENCE

510 TUCKER DRIVE

WORTHINGTON, OHIO 43085

REGISTERED ARCHITECT

BRIAN KENT JONES
10093

STATE OF OHIO



BZA APPLICATION VAR 0021-2023 72 Sharon Springs Dr.

Plan Type: Variance	Project:	App Date: 06/05/2023
Work Class: Variance Residential	District: City of Worthington	Exp Date:
Status: In Review		Completed:
Valuation: \$0.00		Approval
		Expire Date:

Description: I would like to install a fence along the back of my property line and two small portions off the side of my home in order to finish the fencing around my property. My main reasoning for this is to provide a safe and enclosed space for my dog. Currently, there are fences along both sides of my yard, so my desire is just to finish the enclosure.

I do not believe this would alter the character of the neighborhood or that there would be any detriment to adjoining properties as they already have fencing around their property.

I have already had 811 assess my property and there is no underground obstruction to any utilities.

I was not aware of the zoning restriction when I purchased the property in December of 2022, assuming a fence would be of no issue as it would complete fencing already in place. The "alleyway" in question is not visible and I was not aware of its existence.

I am unsure if this predicament can be feasibly obviated through another method. My application for a fence permit was denied and I was advised to apply for a variance by Mr. Don Phillips.

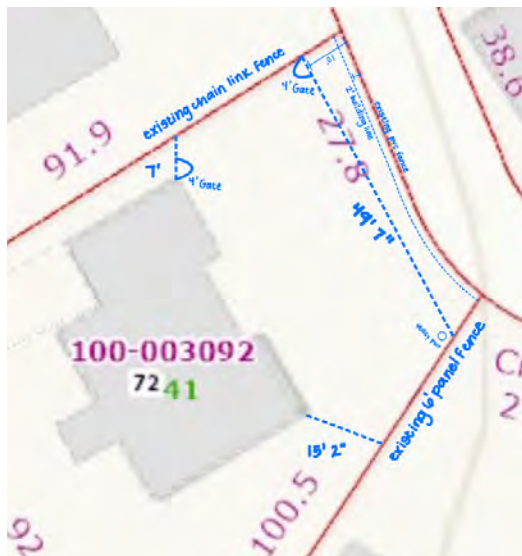
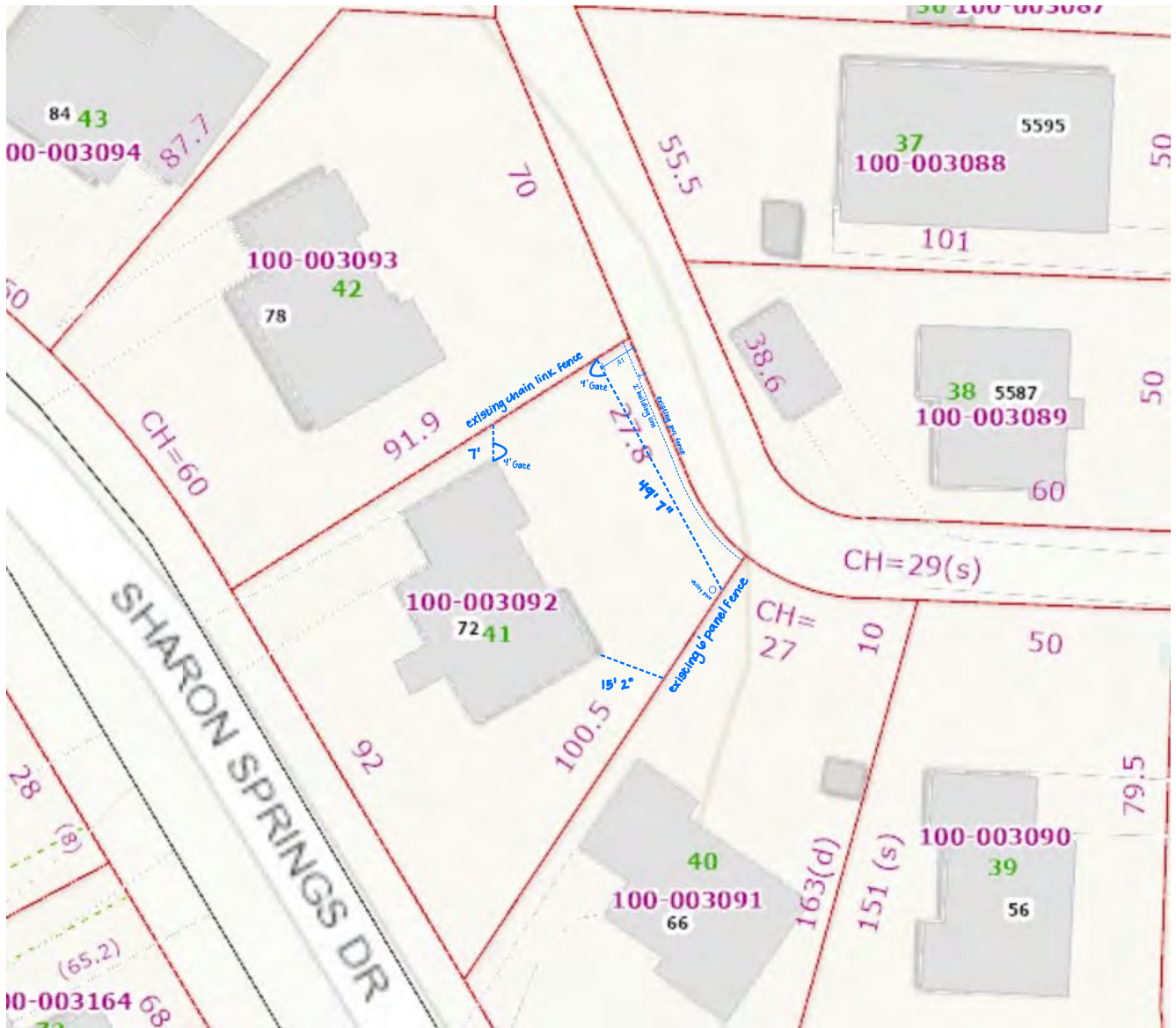
Parcel: 100-003092	Main	Address: 72 Sharon Springs Dr	Main	Zone: R-10(Low Density Residence)
		Worthington, OH 43085		

Applicant / Owner
Chase E Pitman
72 SHARON SPRINGS DR
Worthington, OH 43085
Mobile: (614) 296-1137

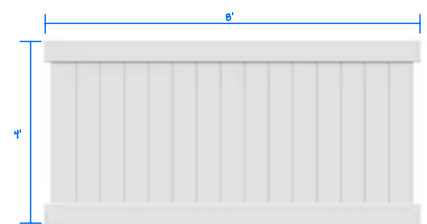
Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004040	(Residential) Board of Zoning Appeals	\$25.00	\$25.00
Total for Invoice INV-00004040		\$25.00	\$25.00
Grand Total for Plan		\$25.00	\$25.00

72 Sharon Springs Dr.





Freedom 4x8 Bottom Ready-to-Assemble Fence	
★★★★★ 20	
Freedom Bottom 4x8 H x 2x6 W White Vinyl Standard Fence Panel	
Number of Rail Holes	1000
Series Name	4x8
Actual Thickness (inches)	5.1
Top Style	1000
Panel Type	1000
Actual Width (Feet)	10.0
Hardware Included	X
Post and Accessories Included	X
Common Width Measurement	10.0
Common Height Measurement	8.0
UV Resistant	●
Style	1000
Manufacturer Color/Finish	1000
Type	1000
Weight (lbs.)	1000





BZA APPLICATION VAR 0022-2023 5545 N. High St.

Plan Type: Variance	Project:	App Date: 06/06/2023
Work Class: Variance Commercial	District: City of Worthington	Exp Date:
Status: In Review		Completed:
Valuation: \$0.00		Approval
Description: We would like to replace a shed on the northwest side of the Villa Nova property. We assumed that a variance had already been issued to a prior owner since there is already a shed located in this location. This shed has been located here for over 25 years so I do not believe that it will alter any adjoining properties or affect any government services.		Expire Date:

Parcel: 100-003069	Main	Address: 5545 N High St	Main	Zone:
		Worthington, OH 43214		

Applicant / Owner
Meghan Colleli
5545 N High St
Columbus, OH 43214
Business: (614) 846-5777
Mobile: (614) 975-3305

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004066	(Commercial/Industrial) Board of Zoning Appeals	\$50.00	\$50.00
Total for Invoice INV-00004066		\$50.00	\$50.00
Grand Total for Plan		\$50.00	\$50.00

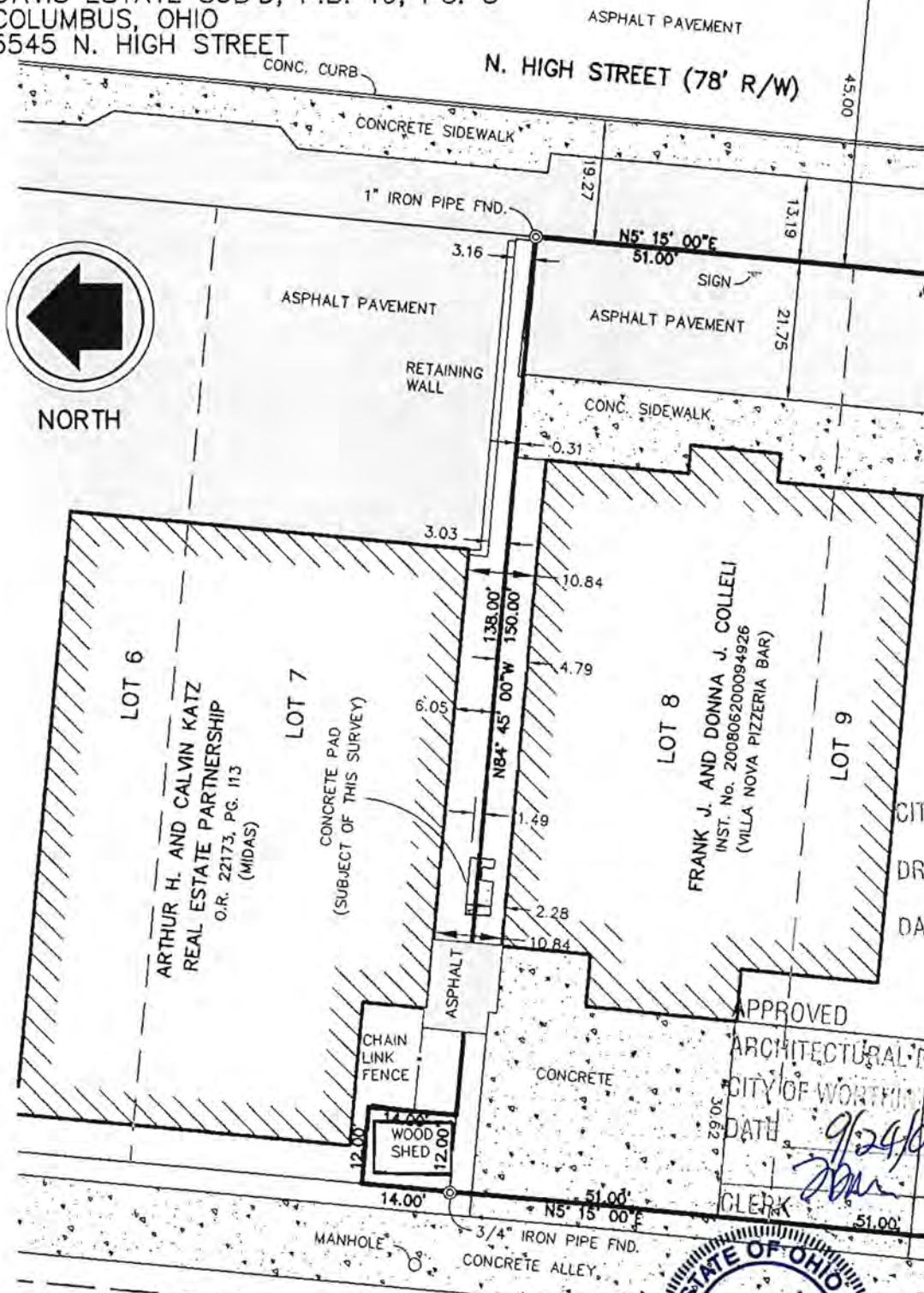
5545 N. High St.



ALS AMERICAN LAND SURVEYORS

1346 Hemlock Court N.E.
Lancaster, Ohio 43130
(740) 654-0600 - Lancaster
(614) 837-0800 - Columbus
(740) 670-0800 - Newark
(740) 455-2200 - Zanesville
(740) 654-0604 - Fax
Contact: Brett Adcock

SURVEY OF THE NORTH
LINE OF LOT 8
DAVIS ESTATE SUB'D, P.B. 19, PG. 5
COLUMBUS, OHIO
5545 N. HIGH STREET



CITY OF WORTHINGTON
DRAWING NO. AR46-09
DATE 9/24/09

APPROVED
ARCHITECTURAL REVIEW BOARD
CITY OF WORTHINGTON
DATE 9/24/09
CLERK [Signature]



CITY OF WORTHINGTON
DRAWING NO. VAR 0022-2023
DATE 06/06/2023

SCALE: 1"=20'

DATE 07/20/09 JOB# 09-008

SURV'D	DRAW	CHECKED
BA	BA	BA

REVIS'D DATES _____ JOB NUMBERS _____

BY _____ REGISTERED SURVEYOR No. _____

STIN S2305879

Front



Right



Back



8x12 Storage Series Shed

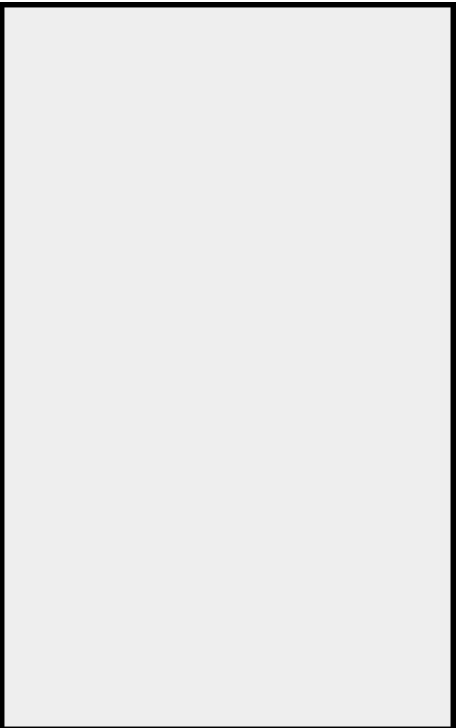
Left



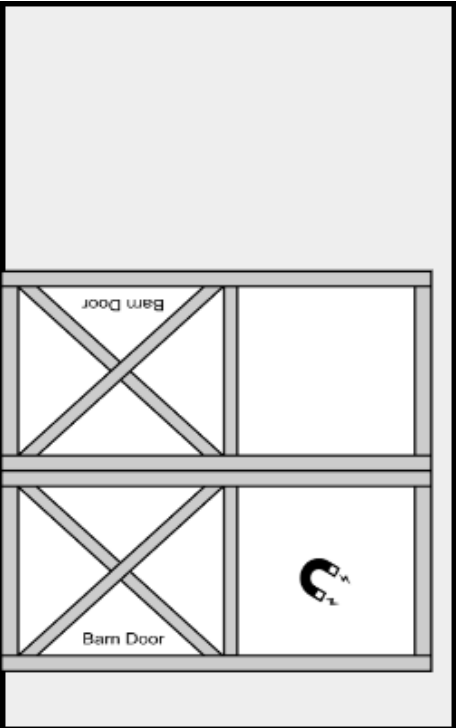
back



left



right



front






Customer

Villa Nova c/o John Colleli
5545 N High ST
Worthington, OH 43214
(614) 638-5990

Dealer

NuHaus Outdoors Online/Gene
330-390-1474

Builder

Size: 8 x 12
Roof: Shed (Metal)
Roof color: Brown 
Cladding: LP SmartSide-S
Cladding color: Brown 
Trim color: Brown 

DOUBLE DOORS	
1	72in Double Barn Door (Brown)
	1 Magnetic Door Stops (double door)
FLOORING OPTIONS	
1	16 in. O.C. floor joists
1	50 YEAR FLOORING
VENTS	
2	Rectangular Vent



VENT



VENT



BZA APPLICATION VAR 0023-2023 114 E. Riverglen Dr.

Plan Type: Variance	Project:	App Date: 06/06/2023
Work Class: Variance Residential	District: City of Worthington	Exp Date:
Status: In Review		Completed:
Valuation: \$0.00		Approval

Description: Without a variance to build the wood fence along the same line where there is an existing chain link fence, the wood fence would bisect the backyard, leaving a chain link fence in place and effectively creating a strip of land functionally and visually disconnected from the rest of the property. The variance is not substantial as there is already a chain link fence in place where the wood fence would be built. The essential character of the neighborhood would not change with the variance; the wood fence would follow the existing chain fence line and simply replace it. The water, sewer and garbage services are delivered from the front of the property; this variance relates to the back. As owner, I was unaware of any zoning restriction when I purchased the property in December, 2016. The obviating approach to build a shorter wood fence 30 feet away from the existing chain link would leave chain link on the alley right of way line and 30' of chain link from there to the proposed wood fence; this would be sub-optimal for the adjacent neighbor to the east. By granting the variance, there would be no change to access to the alleyway as there is currently a fence there; and the property at 114 E Riverglen would be improved.

Parcel: 100-000910	Main	Address: 114 E Riverglen Dr Worthington, OH 43085	Main	Zone: R-10(Low Density Residence)
---------------------------	------	---	------	--

Applicant / Owner
Sherry J Hubbard
114 E Riverglen Drive
Worthington, OH 43085
Mobile: (614) 625-9470

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004067	(Residential) Board of Zoning Appeals	\$25.00	\$25.00
Total for Invoice INV-00004067		\$25.00	\$25.00
Grand Total for Plan		\$25.00	\$25.00

114 E. Riverglen Rd.



[illegible]



CITY OF WORTHINGTON
DRAWING NO. VAR 0023-2023
DATE 06/06/2023





BZA APPLICATION VAR 0024-2023 120 Caren Ave.

Plan Type: Variance	Project:	App Date: 06/08/2023
Work Class: Variance Residential	District: City of Worthington	Exp Date:
Status: In Review		Completed:
Valuation: \$0.00		Approval
Description: Requesting a 7' variance in the rear yard setback The lot is odd shaped and a salable house can not be built w/o the variance. The curve of the street causes the front setback to push the house to the end and rear of the lot. The character of the neighborhood will not be altered and there will be no detriment to the neighbors		Expire Date:

Parcel: 100-002700	Main	Address: 120 Caren Ave. Worthington, OH 43235	Main	Zone: R-10(Low Density Residence)
---------------------------	------	---	------	--

Applicant James A Wright 7844 Flint Road Columbus, OH 43235 Business: 6144300027	Owner Ohm Patel Business: (614) 304-1912
--	--

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004099	(Residential) Board of Zoning Appeals	\$25.00	\$25.00
Total for Invoice INV-00004099		\$25.00	\$25.00
Grand Total for Plan		\$25.00	\$25.00

120 Caren Ave.



Market Residence

120 Caren Ave., Worthington, OH 43085

Living Area:

First Floor: 1,196.00 sq. ft.
Second Floor: 1,860.00 sq. ft.

TOTAL: 3,056.00 sq. ft.



Front Elevation



MOMENT

CITY OF WORTHINGTON

DRAWING NO. VAR 0024-2023

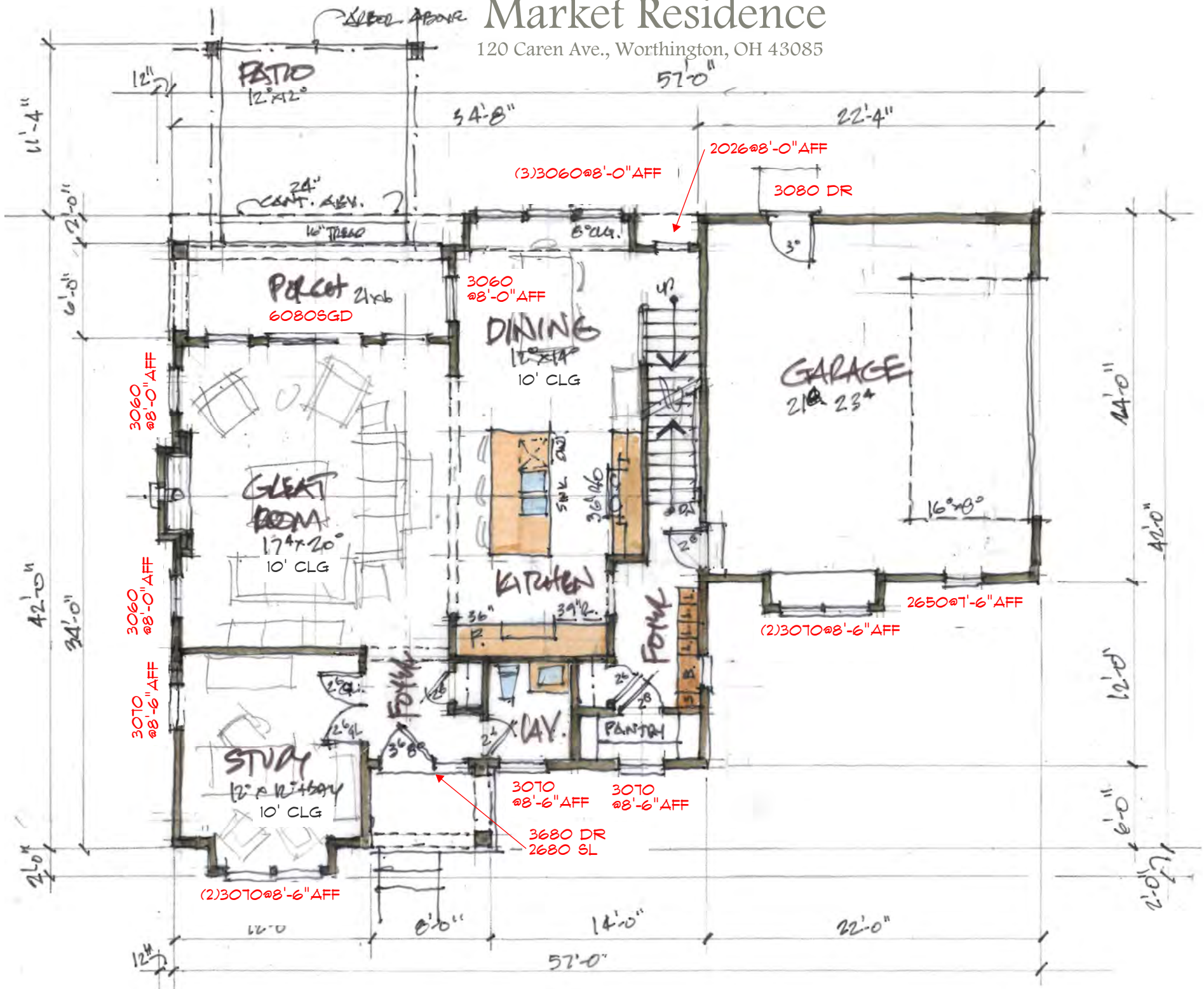
DATE 06/08/2023



The architectural works depicted herein are the sole property of Residential Designed Solutions, Inc. and may not be constructed or used without express written permission. No permission to modify or reproduce any of these architectural works, including without limitation the construction of any building, is expressed, or should be implied from delivery of preliminary drawings or unsealed construction documents. Permission to construct the building depicted in sealed construction drawings is expressly conditioned on the full and timely payment of fees otherwise due Residential Designed Solutions, Inc. and in the absence of any written agreement to the contrary, is limited to a one-time use on the site indicated on these plans. Any other reproduction, reuse, or modification of these plans or the architectural work depicted is prohibited.

Market Residence

120 Caren Ave., Worthington, OH 43085



First Floor Plan
Scale: 1/8"=1'-0"



MOMENT

CITY OF WORTHINGTON
DRAWING NO. VAR 0024-2023
DATE 06/08/2023

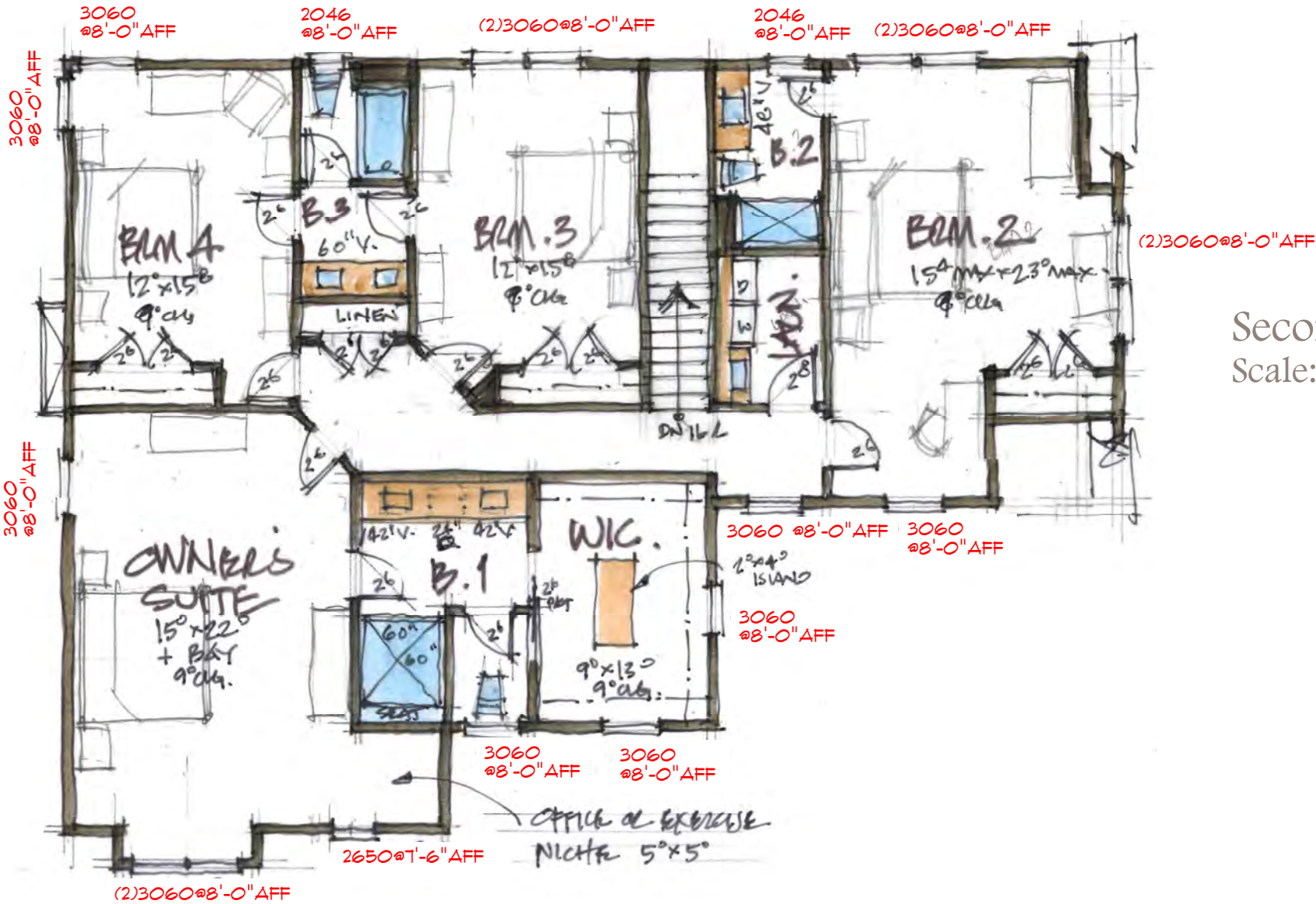


COPYRIGHT 2023

The architectural works depicted herein are the sole property of Residential Designed Solutions, Inc. and may not be constructed or used without express written permission. No permission to modify or reproduce any of these architectural works, including without limitation the construction of any building, is expressed, or should be implied from delivery of preliminary drawings or unsealed construction documents. Permission to construct the building depicted in sealed construction drawings is expressly conditioned on the full and timely payment of fees otherwise due Residential Designed Solutions, Inc. and in the absence of any written agreement to the contrary, is limited to a one-time use on the site indicated on these plans. Any other reproduction, reuse, or modification of these plans or the architectural work depicted is prohibited.

Market Residence

120 Caren Ave., Worthington, OH 43085



Second Floor Plan
Scale: 1/8"=1'-0"



MOMENT

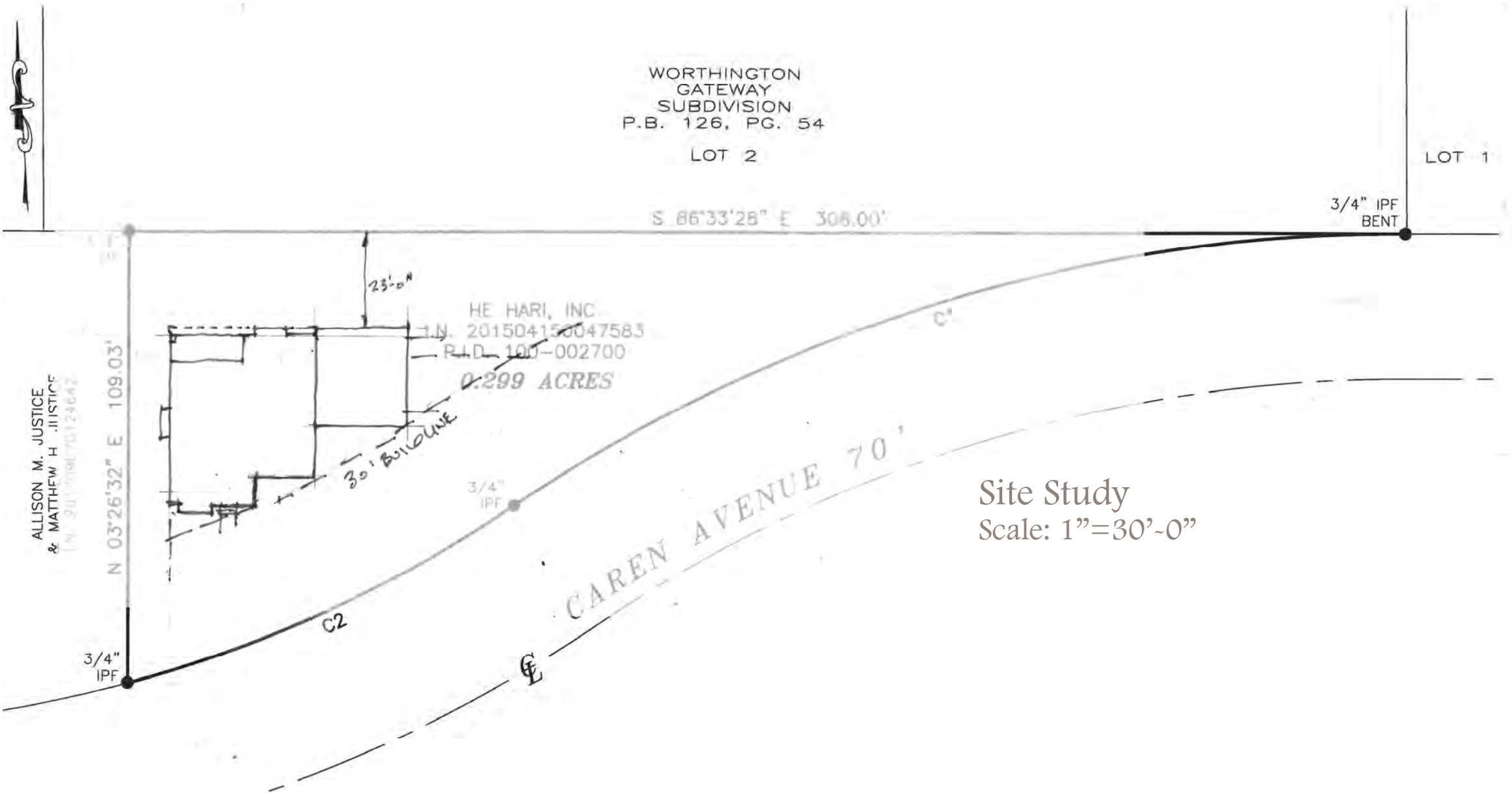
CITY OF WORTHINGTON
DRAWING NO. VAR 0024-2023
DATE 06/08/2023



The architectural works depicted herein are the sole property of Residential Designed Solutions, Inc. and may not be constructed or used without express written permission. No permission to modify or reproduce any of these architectural works, including without limitation the construction of any building, is expressed, or should be implied from delivery of preliminary drawings or unsealed construction documents. Permission to construct the building depicted in sealed construction drawings is expressly conditioned on the full and timely payment of fees otherwise due Residential Designed Solutions, Inc. and in the absence of any written agreement to the contrary, is limited to a one-time use on the site indicated on these plans. Any other reproduction, reuse, or modification of these plans or the architectural work depicted is prohibited.

Market Residence

120 Caren Ave., Worthington, OH 43085



MOMENT

CITY OF WORTHINGTON
DRAWING NO. VAR 0024-2023
DATE 06/08/2023



June 6, 2023

www.rdshomedesign.com