



**ARCHITECTURAL REVIEW BOARD
MUNICIPAL PLANNING COMMISSION
-AGENDA-
Thursday, July 13, 2023 at 7:00 P.M.**

Louis J.R. Goorey Worthington Municipal Building
The John P. Coleman Council Chamber
6550 North High Street
Worthington, Ohio 43085

Watch online at [worthington.org/live](https://www.worthington.org/live), and comment in person or at [worthington.org/meeting-public-input](https://www.worthington.org/meeting-public-input)

A. Call to Order - 7:00 pm

1. Roll Call
2. Pledge of Allegiance
3. Approval of minutes of the June 22, 2023 meeting
4. Affirmation/swearing in of witnesses.

B. Architectural Review Board – Consent Agenda

There will be no separate discussion of Consent Agenda items as they are considered to be routine by the Board and Commission and will be adopted by one motion. If a member of the Board & Commission, staff, or public requests discussion on a particular item, that item will be removed from the Consent Agenda and considered separately on the agenda. Approval of Consent Agenda items includes conditions as listed in the staff memo.

1. Replace Deck – **573 Oxford St.** (Cap City Decks & Patios/Overmyer) **ARB 49-2023**
2. New Roofing and Siding – **357 W. Dublin-Granville Rd.** (Ramos Roofing/Hodnett) **ARB 50-2023**
3. Modification – Additional Fencing and Columns – **590 Morning St.** (Britney Cider) **ARB 51-2023**
4. Fencing – **117 W. Clearview Ave.** (Eric M. Anderman) **ARB 55-2023**

C. Architectural Review Board – New Business

1. Pergola, Fireplace, Retaining Wall & Patio – **53 Short St.** (Jacob Laughrey) **ARB 48-2023**

2. New Deck with Roof, Patio and Hot Tub – **690 Evening St.** (Aaron Larsen/Kiner) **ARB 52-2023**

3. Paint Brick House – **159-161 E. Granville Rd.** (Andrew Silverman) **ARB 54-2023**

D. Municipal Planning Commission – No Business

E. Other

F. Adjournment



MEMORANDUM

TO: Members of the Architectural Review Board
Members of the Municipal Planning Commission

FROM: Lynda Bitar, Planning Coordinator

DATE: July 7, 2023

SUBJECT: Staff Memo for the Meeting of July 13, 2023

B. Architectural Review Board – Consent Agenda

There will be no separate discussion of Consent Agenda items as they are considered to be routine by the Board and Commission and will be adopted by one motion. If a member of the Board & Commission, staff, or public requests discussion on a particular item, that item will be removed from the Consent Agenda and considered separately on the agenda. Approval of Consent Agenda items includes conditions as listed in the staff memo.

1. Replace Deck – **573 Oxford St.** (Cap City Decks & Patios/Overmyer) **ARB 49-2023**

Findings of Fact & Conclusions

Background & Request:

This house is an American Four Square that was constructed in the early 1900's and is a contributing building in the Worthington Historic District. There are three outbuildings on the property: a two-car garage behind the house built in the early 2000's; a two-story cottage from the early 1900's on the parcel behind; and one story shelter house on that same parcel. Approval was granted in 2021 to allow renovation of the guest cottage.

The existing deck behind the house is likely over 35 years old and was last refurbished in 2008. This is a request to remove and replace the wood deck.

Project Details:

1. Removal of the decking, railing and side walls is proposed with this application. The lattice under the deck is to remain.
2. A new 22' wide x 10' deep deck is proposed that would have 7' wide stairs leading to a concrete path to the rear.
3. Timbertech composite decking in Stone Ash and Timbertech RadianceRail Express in White are the proposed materials. The look would be similar to the existing except in Timbertech instead of wood.

Land Use Plans:Worthington Design Guidelines and Architectural District Ordinance

Decks and patios should be limited to the rear of buildings. Decks should be built of wood and kept low to the ground. Finishes should be either paint or an opaque stain to match the color of the building or its trim. Consider the style of the house when designing decks and patios, since some styles and some designs are not compatible.

Recommendation:

Staff is recommending approval of this application as the new deck is appropriate for this house.

Motion:

THAT THE REQUEST BY CAP CITY DECKS AND PATIOS ON BEHALF OF DON & LORI OVERMYER FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL A NEW DECK AT 573 OXFORD ST. AS PER CASE NO. ARB 49-2023, DRAWINGS NO. ARB 49-2023, DATED JUNE 26, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

2. New Roofing and Siding – **357 W. Dublin-Granville Rd.** (Ramos Roofing/Hodnett) **ARB 50-2023**

Findings of Fact & Conclusions**Background & Request:**

This split-level was constructed in 1962 and is on a 0.24 acre lot that is on the south side of the W. Dublin-Granville Rd. access drive. The owner would like to install new roofing and siding.

Project Details:

1. The existing gray shingle roof is proposed to be replaced with IKO Dynasty Granite Black dimensional shingles.
2. The existing house has white aluminum lap siding that is 8” wide. Proposed is double 5” clapboard style vinyl siding in Cactus, which is a light green color. The siding is Woodsman Select by Norandex and is touted as having the look of rough-sawn cedar.
3. The shutters are proposed to be re-installed on the new siding.

Land Use Plans:Worthington Design Guidelines and Architectural District Ordinance

Siding: Contemporary materials that simulate traditional ones are appropriate, but the preferred option is to use true traditional materials such as wood siding. Wood siding is preferred, and should be used in one of its traditional forms: shingle, board-and-batten, shiplap or beveled siding. The new siding should match the thickness and width of the old as closely as possible.

Roofing: When installing a new roof on a building that currently has asphalt shingles, avoid the uneven, “staggered-butt” design or other shingle patterns that try to create an older look. Avoid

very light-colored shingles. When replacing gutters or downspouts, duplicate the existing as closely as possible. As with other building elements, the simplest design is usually the best. Compatibility of design and materials and exterior detail and relationships are standards of review in the Architectural District ordinance.

Recommendations:

Staff is recommending approval of this application. Although the roof color and siding width would be different than the existing, the proposed materials are appropriate for this structure.

Motion:

THAT THE REQUEST BY RAMOS ROOFING ON BEHALF OF GRIFFIN HODNETT FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL NEW ROOFING AND SIDING AT 357 W. DUBLIN-GRANVILLE RD. AS PER CASE NO. ARB 50-2023, DRAWINGS NO. ARB 50-2023, DATED JUNE 27, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

3. Modification – Additional Fencing and Columns – **590 Morning St. (Britney Cider) ARB 51-2023**

Findings of fact & Conclusions

Background & Request:

This property has a Colonial Revival style house that was built in 1948 and is a contributing building in the Worthington Historic District. The property is 60' wide and 330' deep and the house sits on the front part of the lot. In the 1980's, the owners added to the rear of the house and attached the existing garage. In 1998, a dormer addition was added as was a front porch roof.

In April, the Board approved conversion and expansion of the existing attached garage for use as living space; construction of a new attached garage with a carport; new front and side entry porches; and new columns and fencing on the side. The applicant is now proposing to extend the approved columns and fencing.

Project Details:

1. With the previous approval, fencing was approved that would enclose the yard area adjacent to the south side of the front of the house. The applicant is now proposing fencing to enclose the patio area to the east. Solid doors would line up with the house entry.
2. The fence is proposed to be 4' high with 6" wide pickets and 3" or less spacing between pickets.
3. Two additional brick columns with lanterns on top are proposed between the new fencing.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Fencing should be traditional in style; constructed with traditional materials; and of simple design,

appropriate for the house style. Side yard fences should be open in style (avoid solid, opaque fences that block all views) and three to four feet in height.

Recommendation:

Staff is recommending approval of this application as the extension of the previously approved fencing is appropriate.

Motion:

THAT THE REQUEST BY BRITNEY CIDER FOR A CERTIFICATE OF APPROPRIATENESS TO EXTEND THE FENCING AT 590 MORNING ST. AS PER CASE NO. ARB 51-2023, DRAWINGS NO. ARB 51-2023, DATED JUNE 28, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

4. Fencing – 117 W. Clearview Ave. (Eric M. Anderman) ARB 55-2023

Findings of Fact & Conclusions

Background & Request:

This house was originally constructed in 1937 and was renovate and added onto in the 1960's and 1980's. The house is an English Cottage Revival style and is a contributing property in the Worthington Historic District.

The property owner would now like to install a wood picket fence in the rear yard.

Project Details:

1. The proposed fence is 4' in height with dog eared pickets that are 3 ½" wide with 3 ½" spacing between pickets. The fence is designed to match the adjacent fence to the east.
2. New fencing would run along the rear and west property lines, returning to the rear of the house on the west side.
3. A double gate is proposed across the driveway between the house and the neighbors' fence along the east property line.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Fencing should be open in style; constructed with traditional materials; 3' to 4' in height; in the back yard; and of simple design, appropriate for the house style. Supporting members are required to face in on the property.

Recommendation:

Staff is recommending approval of the application as the proposed fences meets the Design Guidelines.

Motion:

THAT THE REQUEST BY ERIC M. ANDERMAN FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL FENCING AT 117 W. CLEARVIEW AVE. AS PER CASE NO. ARB 55-2023, DRAWINGS NO. ARB 55-2023, DATED JULY 3, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

C. Architectural Review Board – New Business

1. Pergola, Fireplace, Retaining Wall & Patio – **53 Short St. (Jacob Laughrey) ARB 48-2023**

Findings of fact & Conclusions**Background & Request:**

This house was constructed new in 2019 on this existing lot of record in Old Worthington. The small lot is 50' wide x 101.68' deep or 5084 square feet in area. The previous house was demolished. With the new house, a 22' x 20' freestanding garage was constructed 3' from the south and west property lines. An 8'-9' tall White Oak tree was to be planted at the southeast corner of the lot.

This is a request to install a pergola, a fireplace, and a patio with a retaining wall in the back yard.

Project Details:

1. A 22' wide x 20' deep patio is proposed that would line up with the garage, which is 3' from the rear property line. The pavers are proposed as Arcana 24" x 24" Modena. A retaining wall that would create a planter box is proposed on the east side of the patio. It is not clear what would hold the dirt at the east side of the box.
2. A 12' x 12' pergola would be installed centered on the patio at the south end. The pergola is proposed to be 5' from the rear property line and 7' from the side property line.
3. A U-Cara see-through fireplace in dark charcoal is also proposed at that south end, 2' from the property line. The fireplace would be 8' tall, 6'6" wide at the base and 3' deep.
4. Variances would be needed for the fireplace and pergola being too close to the property lines.
5. The impact on storm water has not been identified.
6. A tree was supposed to be planted in the rear yard when the house was approved. If it was planted, removal would be necessary with this plan.

Land Use Plans:**Worthington Design Guidelines and Architectural District Ordinance**

Decks and patios should be limited to the rear of buildings. Patios may be constructed of concrete, stone or brick. Consider the style of the house when designing decks and patios, since some styles and some designs are not compatible.

Compatibility of design and materials and exterior details and relationships are standards for review in the Architectural District ordinance.

Staff Comments:

Although the structures proposed for this property are typical of others in the District, this lot is smaller than most. The fireplace may be too close to the rear property line. It is not clear if the retaining wall would impede storm water or accommodate an existing change in grade.

Recommendation:

Staff is recommending *approval* of this application with the following considerations:

- The fireplace may not be appropriate in the proposed location.
- The retaining wall should be shown to not cause problems with storm water.

Motion:

THAT THE REQUEST BY JACOB LAUGHREY FOR A CERTIFICATE OF APPROPRIATENESS TO ADD A PATIO WITH RETAINING WALL, A PERGOLA AND A FIREPLACE AT 53 SHORT ST. AS PER CASE NO. ARB 48-2023, DRAWINGS NO. ARB 48-2023, DATED JUNE 20, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING CONDITIONED ON SETBACK VARIANCES BEING APPROVED BY THE BZA.

2. New Deck with Roof, Patio and Hot Tub – **690 Evening St.** (Aaron Larsen/Kiner) **ARB 52-2023**

Findings of fact & Conclusions

Background & Request:

This house was built in the early 1900's and is a two-story Colonial Revival style house. Approval was granted in 2015 and 2016 by the ARB to allow renovation of the house and replacement of the garage. In 2020 the ARB approved plans to construct an addition at the rear of the garage that functions as an enclosed sport court.

This application is a request to add a roof structure, deck, patio, and hot tub to the rear of the house.

Project Details:

1. A roof structure is proposed above a deck to the rear of the southern part of the house. The main roof would be an 18' wide x 14'6" deep gable (plus overhangs) that would connect to the house with a small gable (10' wide x 4' deep). The deck would be 18' wide x 19'6" deep and have steps at the southwest corner and along the north side to the patio.
2. The patio is proposed to be about 13'6" wide x 31'1" deep with a curve at the east end.
3. At the southwest corner of the patio and adjacent to the north side of the deck a 94" x 94" hot tub is proposed.
4. Materials include:

- Timbertech Coconut Husk for the deck
- Silver travertine for the patio
- Hardie board and batten for the interior gable ends - white
- Hardie shake siding on the exterior gable end – blue to match the house and garage
- Cedar tongue and groove ceiling
- Synthetic white trim on posts and beams
- Metal roof – Charcoal gray and 16” wide to match the garage addition.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Decks and patios should be limited to the rear of buildings. Decks should be built of wood and kept low to the ground. Finishes should be either paint or an opaque stain to match the color of the building or its trim. Patios may be constructed of concrete, stone or brick. Consider the style of the house when designing decks and patios, since some styles and some designs are not compatible.

Roof shape, compatibility of design and materials and exterior detail and relationships are standards of review in the Architectural District ordinance.

Recommendation:

Staff is recommending approval of this application as the proposed are compatible with the house and property.

Motion:

THAT THE REQUEST BY AARON LARSEN ON BEHALF OF CHAD KINER FOR APPROVAL TO INSTALL A ROOF, DECK, PATIO, AND HOT TUB AT 690 EVENING ST., AS PER CASE NO. ARB 52-2023, DRAWINGS NO. ARB 52-2023, DATED JUNE 28, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

3. Paint Brick House – **159-161 E. Granville Rd.** (Andrew Silverman) **ARB 54-2023**

Findings of Fact & Conclusions

Background & Request:

This brick Prairie style duplex was built in 1921 and is in the R-10 Zoning District. Approval was received in 2020 to construct an addition and new garages on the property and the work was completed in 2022.

This request is to allow the brick structure to be painted.

Project Details:

1. The brick needs tuckpointing, and the owner would like to paint the entire building afterward.
2. The proposed color is Platinum Gray and the trim would be painted white.

ARB-MPC Staff Memo

Meeting July 13, 2023

Page 7 of 8

3. The owner indicates previous owners made attempts to fix the brick and have created a mess. Apparently surrounding neighbors also feel the brick has become an eyesore.

Land Use Plan:

Worthington Design Guidelines and Architectural District Ordinance

Masonry which has been painted in the past should remain painted, since removal of paint can be difficult and damaging. However, walls that have not been painted in the past should remain unpainted.

Pointing of masonry should be done in a way that duplicates the color, texture, joint tooling, and physical composition of the building's historic pointing. Avoid high-cement mortar (more than about 1/2 part of cement, by volume), since it can create a rigid framework that can cause cracking and spalling of soft brick and limestone. A good starting point for re-pointing mortar is to use, by volume, one part lime, three to five parts sand, and as little Portland cement as is needed to make a durable mortar -- but no more than 1/2 part, as noted above. This should create a sufficiently "soft" mortar for typical older masonry, but the proportions may have to be varied a bit to get the right color, texture, and hardness. Tooling or finishing of mortar joints should match the original tooling as closely as possible. Be especially careful that historically recessed mortar joints remain recessed, and that flush joints are truly flush, without excess mortar smeared on the surfaces of the bricks or stone.

Recommendation:

Staff is recommending *denial* of this application. The Guidelines recommend brick walls that have not been painted to remain unpainted. This building is over 100 years old, so careful tuckpointing should be all the work that is done. Some irregularities should be expected in a structure of this age, especially because it has not been well maintained. Painting would not only change the look and character of the building but would also cover brick that has characteristics that are not seen in modern brick.

Motion:

THAT THE REQUEST BY ANDREW SILVERMAN FOR A CERTIFICATE OF APPROPRIATENESS TO PAINT THE BRICK AT 159-161 E. GRANVILLE RD. AS PER CASE NO. ARB 54-2023, DRAWINGS NO. ARB 54-2023, DATED JUNE 30, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.



ARB APPLICATION ARB 0049-2023 573 Oxford St.

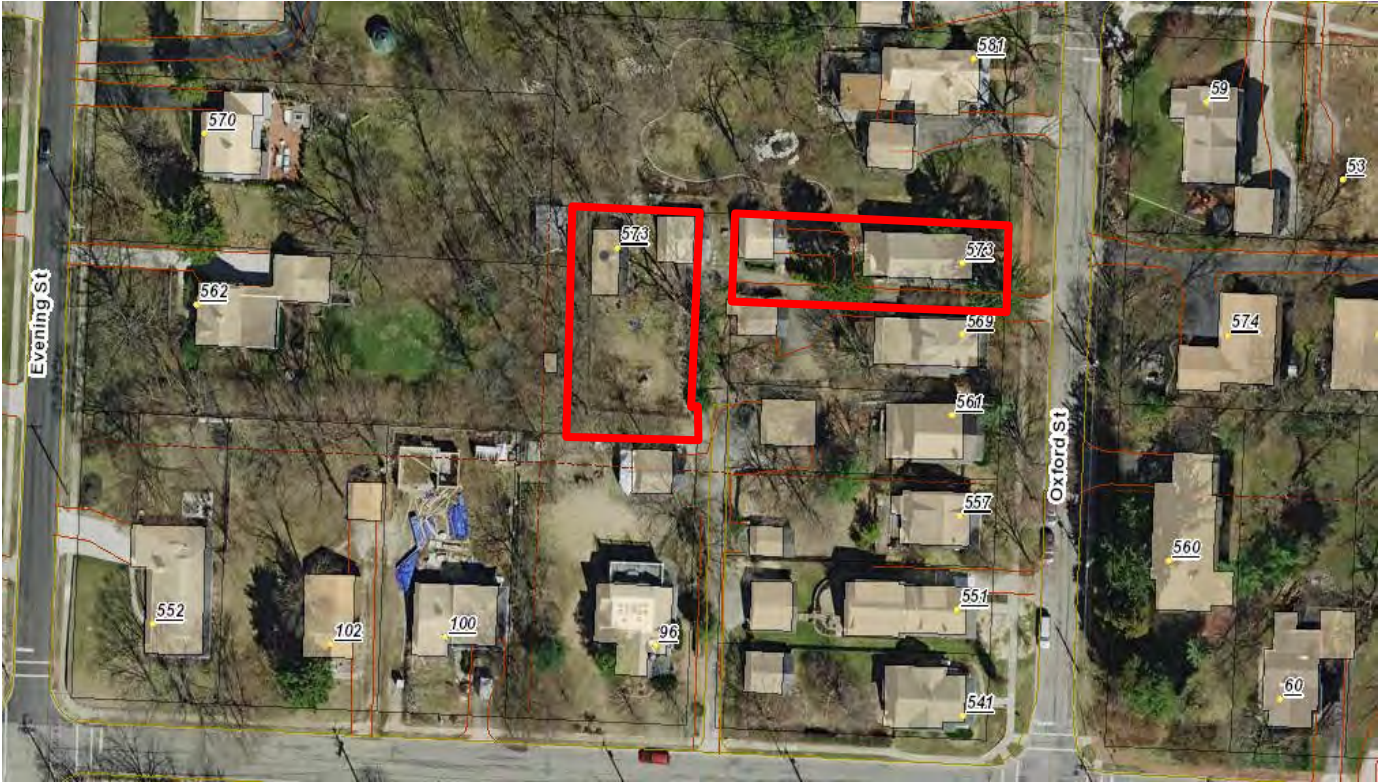
Plan Type: Architectural Review Board	Project:	App Date: 06/26/2023
Work Class: Certificate of Appropriateness	District: City of Worthington	Exp Date:
Status: In Review		Completed:
Valuation: \$16,000.00		Approval
Description: Tear out existing decking, railing, side wall, & steps -leave existing lattice. Construct new 22'x10' Timbertech composite deck in color Stone Ash with a Radiance Rail Express in color White. Add one set of steps, 7' wide, leading down to path.		Expire Date:

Parcel: 100-000200	Main	Address: 573 Oxford St Worthington, OH 43085	Main	Zone: R-10(Low Density Residence)
---------------------------	------	--	------	--

Owner Don P Overmyer, trustee 573 OXFORD ST Worthington , OH 43085	Owner Lori H Overmyer, trustee 573 OXFORD ST Worthington , OH 43085 Mobile: 614-301-4492	Applicant CAP CITY DECKS & PATIOS 1069 KENCHESTER DR COLUMBUS, OH 43220 Business: 6145700818 Mobile: (614) 496-2957
---	--	--

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004173	Architectural Review Board	\$16.00	\$16.00
Total for Invoice INV-00004173		\$16.00	\$16.00
Grand Total for Plan		\$16.00	\$16.00

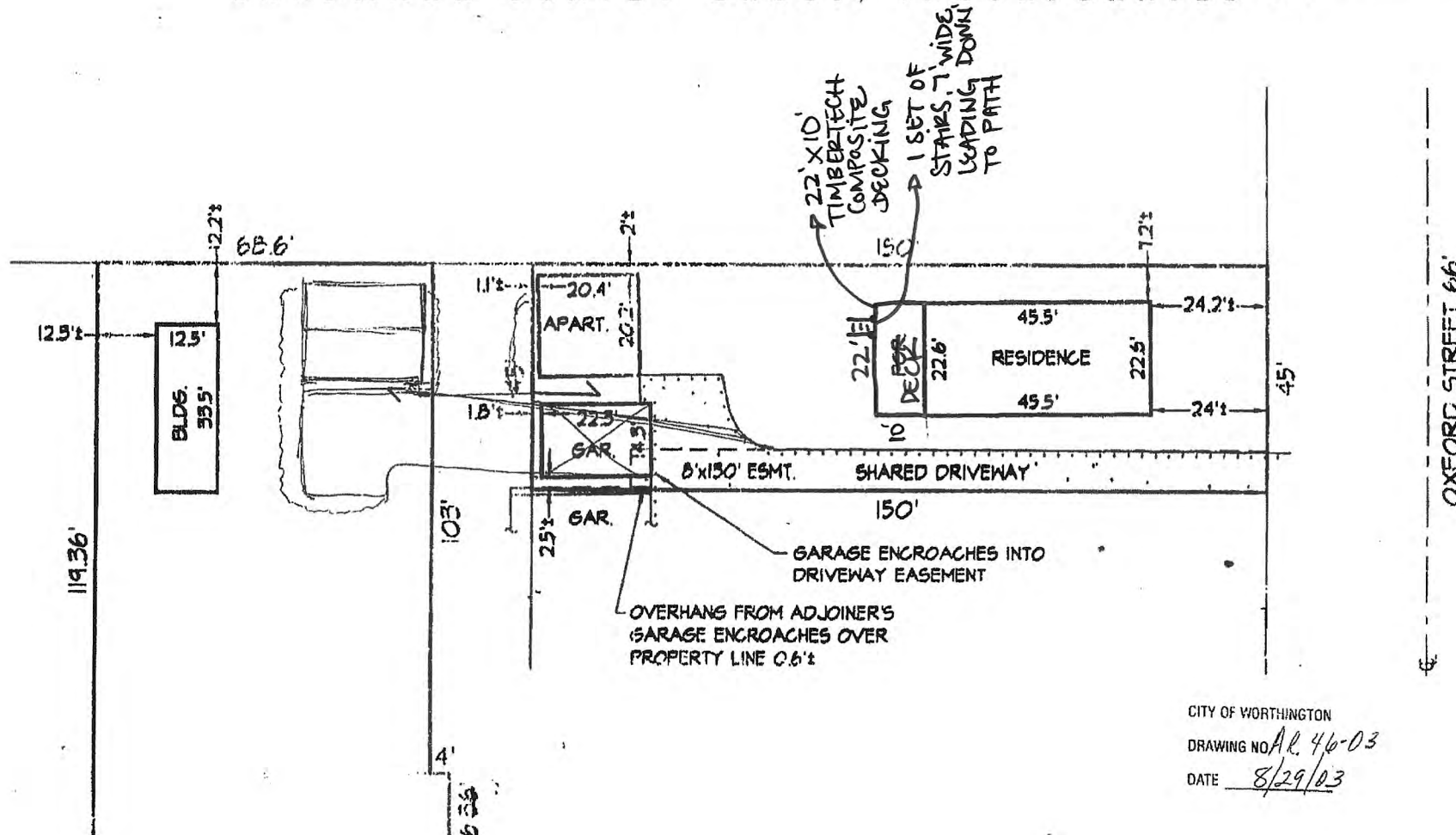
573 Oxford St.



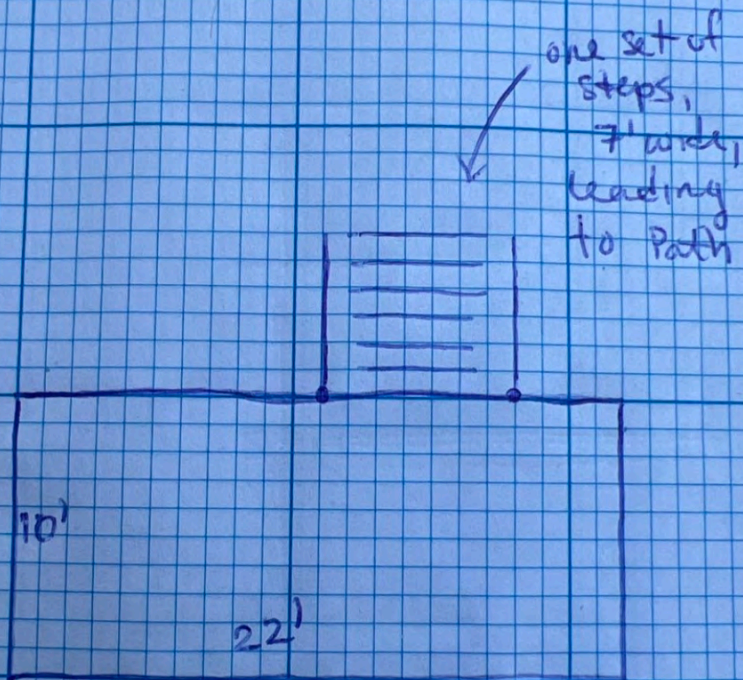


LANDMARK SURVEY GROUP, INCORPORATED

APPROVED
ARCHITECTURAL REVIEW BOARD
CITY OF WORTHINGTON
DATE 9/25/03
CLERK 202



CITY OF WORTHINGTON
DRAWING NO. AR 46-03
DATE 8/29/03



CITY OF WORTHINGTON

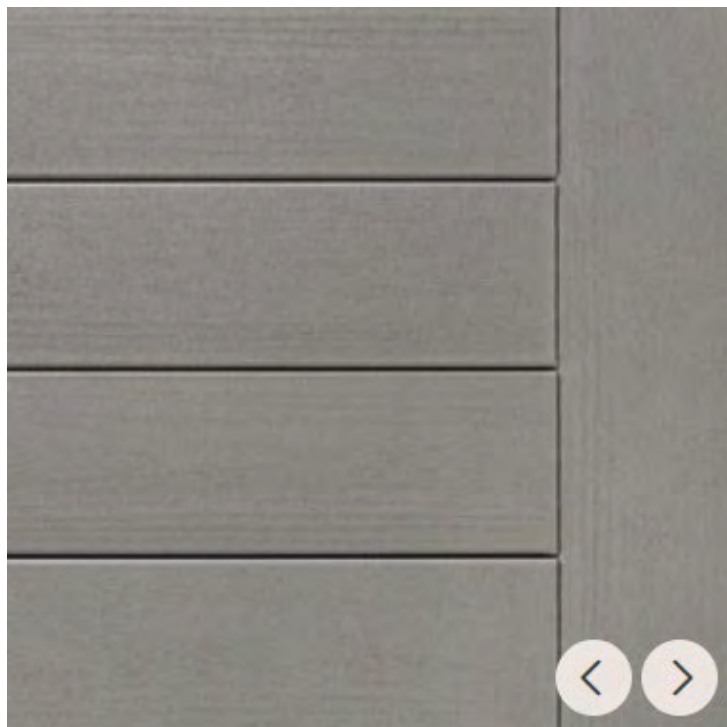
DRAWING NO. ARB 0049-2023

DATE 06/26/2023

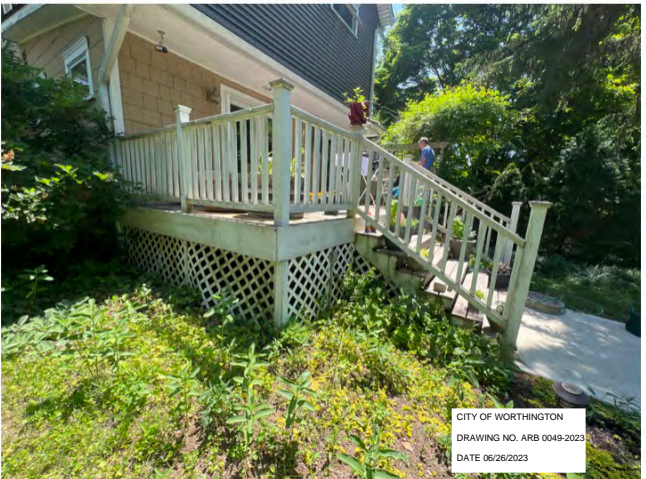
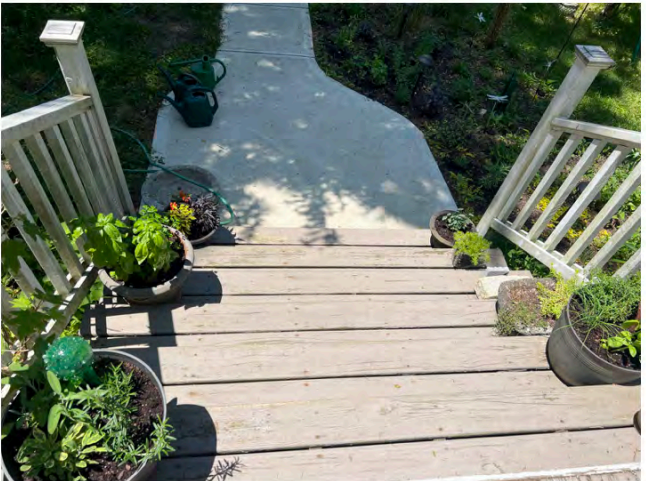
White Radiance Rail Express



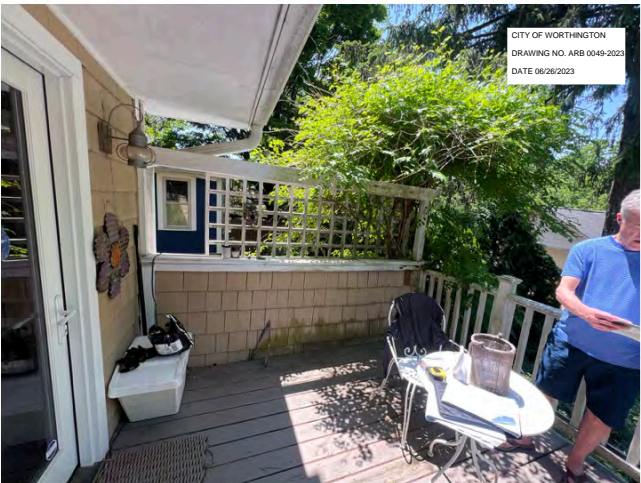
Timbertech Composite Deck – Stone Ash (color)



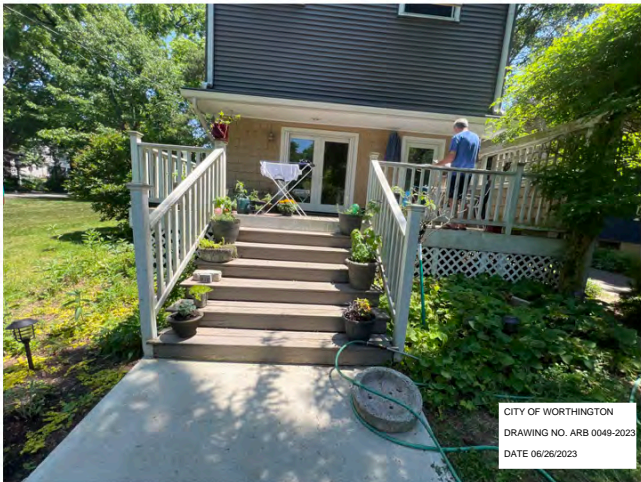
CITY OF WORTHINGTON
DRAWING NO. ARB 0049-2023
DATE 06/26/2023



CITY OF WORTHINGTON
DRAWING NO. ARB 0049-2023
DATE 06/26/2023



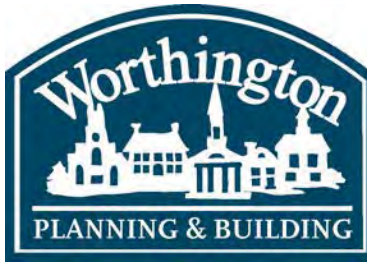
CITY OF WORTHINGTON
DRAWING NO. ARB 0049-2023
DATE 08/26/2023



CITY OF WORTHINGTON

DRAWING NO. ARB 0049-2023

DATE 06/26/2023



ARB APPLICATION
ARB 0050-2023
357 W. Dublin-Granville Rd.

Plan Type: Architectural Review Board	Project:	App Date: 06/27/2023
Work Class: Certificate of Appropriateness	District: City of Worthington	Exp Date:
Status: In Review		Completed:
Valuation: \$29,435.00		Approval
Description: re-roof & siding		Expire Date:

Parcel: 100-003243	Main	Address: 357 W Dublin-Granville Rd	Main	Zone: R-10(Low Density Residence)
		Worthington, OH 43085		

Applicant	Owner
Ramos Roofing	Griffin Hodnett
201 Oak St	357 DUBLIN-GRANVILLE RD
Columbus, OH 43235	Worthington , OH 43085
Business: (614) 761-7663	Home: (317) 771-2758
	Mobile: (317) 771-2758

Invoice No.	Fee	Fee Amount	Amount Paid
INVOICED	Architectural Review Board	\$30.00	\$30.00
	Total for Invoice INVOICED	\$30.00	\$30.00
	Grand Total for Plan	\$30.00	\$30.00

357 W. Dublin-Granville Rd.



**Ramos Roofing - Columbus**

201 Oak Street
Columbus, OH 43235

Job #: 23-1242
Order #: 23-1242-1

Supplier: **ABC Supply**
Customer #: **804867**
Branch ID: **190**
Branch Address: **3920 Groves Rd
Columbus, OH
43232-4137**
Submitted: **06/16/2023**
07/17/2023 -
Requested Delivery: **Anytime**

Order Total: **\$2,933.44**

Qty	U/M	SKU	Description	Price
57	BD	02IKDYARGB	IKO DYNASTY AR GRANITE BLACK 3/SQ	\$1,824.00 <i>\$32.00 / BD</i>
2	BD	04IKLEP123	IKO LEADING EDGE PLUS STARTER 123LF	\$104.00 <i>\$52.00 / BD</i>
2	BD	04IKHA12GB	IKO AR H&R 12 GRANITE BLACK 33LF	\$129.50 <i>\$64.75 / BD</i>
2	RL	05ABCPG20	ABC PRO GUARD 20 SYNTHETIC 10SQ	\$116.00 <i>\$58.00 / RL</i>
4	RL	11IKSS	IKO STORMSHIELD ICE&WATER 36"X65'	\$232.00 <i>\$58.00 / RL</i>
21	PC	ADE15BK	ALUM DRIP EDGE 1.5" F5 BLACK	\$115.50 <i>\$5.50 / PC</i>
16	EA	17LOORPR4S	LOMANCO PRO4SWN OMNIRIDGE PRO 4'	\$160.00 <i>\$10.00 / EA</i>
3	PK	0160000804	STAPLE 1/2X5/16 5M/B HT550 #ED5010C	\$16.77 <i>\$5.59 / PK</i>

23-1242-1

CITY OF WORTHINGTON

DRAWING NO. ARB 0050-2023

DATE 06/27/2023

2	BX	Unavailable	Roofing Coil Nails - 1 1/4" (7200 Cnt)	\$96.00 <i>\$48.00 / BX</i>
2	TB	7923966900	GEOCEL SEALANT PLAST TB #2300 CLEAR NOTE: Black	\$17.58 <i>\$8.79 / TB</i>
1	CN	0170030033	PAINT ABC ROOF ACCES BLACK	\$6.59 <i>\$6.59 / CN</i>
1	RL	ATCS24A17	ALUM TRIM CL SM 24" BLACK A17	\$101.25 <i>\$101.25 / RL</i>
1	PC	14MIPF34BK	NEVERLEAK FLASH PIPE 3-4 BLACK ALUM	\$14.25 <i>\$14.25 / PC</i>
Total				\$2,933.44

Site Information:

Customer Contact

Griffin Hodnett
357 West Dublin
Granville Road,
Worthington, OH 43085
ghodnett706@gmail.com
(317) 771-2758

Method: Ground Drop

Job

Type: --

Stories: 1

Pitch: 6/12

Accessible Sides of the Building

--

Obstructions

--

Product Placement

Right side of the right garage door

Job Contacts:

Primary Contact

Kevin Smith
Kevin@ramosroofingohio.com
(614) 206-0788

Company Rep

Richie Wilson
richie@ramosroofingohio.com
(614) 989-5695



Ramos Roofing - Columbus

201 Oak Street
Columbus, OH 43235

Job #: 23-1242
Order #: 23-1242-2

Submitted:	06/16/2023
Requested Delivery:	07/19/2023 - Anytime
Order Total:	\$0.00

Qty	U/M	Description	
20	sq	PO#1242 - Siding	-- \$0.00 / sq
Total			\$0.00

Site Information:

Customer Contact

Griffin Hodnett
357 West Dublin
Granville Road,
Worthington, OH 43085
ghodnett706@gmail.com
(317) 771-2758

Product Placement

Right side of the driveway

Method: Ground Drop

Job Contacts:

Primary Contact

Kevin Smith
Kevin@ramosroofingohio.com
(614) 206-0788

Company Rep

Richie Wilson
richie@ramosroofingohio.com
(614) 989-5695

Woodsman Select

PREMIUM VINYL SIDING

THE WARM, NATURAL LOOK
OF ROUGH-SAWN CEDAR

CITY OF WORTHINGTON

DRAWING NO. ARB 0050-2023

DATE 06/27/2023



VINYL SIDING, SOFFIT & ACCESSORIES



.042"



THE LOOK OF WOOD, THE VALUE OF VINYL

FEATURES AND BENEFITS



.042" Panel thickness with a low gloss natural cedar woodgrain pattern

A 5/8" panel projection provides rigidity and casts deep, appealing shadow lines



A heavy duty extended return leg snaps tightly into the TitanBar® Reinforced Nail Hem which is double the thickness of the siding panel under the nail head, for an installation that's solid, secure and protects against panel blow off in adverse weather conditions



XLOK® TECHNOLOGY **TitanBar™** **NailRIGHT®**
REINFORCED NAIL HEM SIDING INSTALLATION SYSTEM

XLoc® Technology combines the TitanBar, Reinforced Nail Hem and the NailRIGHT® Siding Installation System, two innovations that help ensure the siding is securely interlocked and properly affixed to the wall



COLORHOLD®
Lifetime Fade Protection

ColorHold is a highly-durable capstock that resists fading and discoloring and is backed by a Limited Lifetime Transferable Warranty* including Lifetime Fade Protection

*Visit www.norandex.com to view warranty details

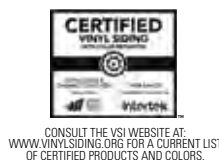


Matching and contrasting soffit, accessories, shakes and shingles available to give your home a one-of-a-kind look

CITY OF WORTHINGTON

DRAWING NO. ARB 0050-2023

DATE 06/27/2023



Profile & Color Shown: Double 4", Silver

Make Woodsman Select Premium Vinyl Siding the choice for the life of your home.

- Virtually maintenance free. Save time and money on upkeep costs.
- Because it's solid vinyl, it won't blister, crack, flake, peel or rot like wood exteriors.
- A sound investment that can help increase the resale value of your home.

• FOUR DISTINCTIVE PROFILES:

- Double 4" & 5" Clapboard
 - Double 4" & 5" Dutchlap
-

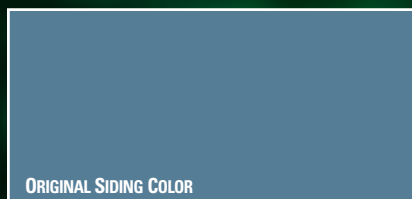
CITY OF WORTHINGTON

DRAWING NO. ARB 0050-2023

DATE 06/27/2023



15 Year COMPARISON OF FADE

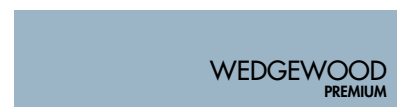
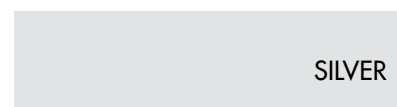
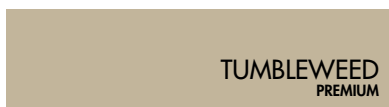
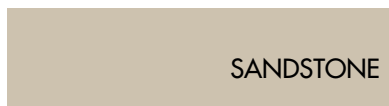
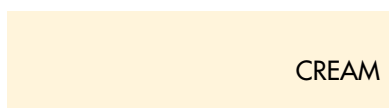
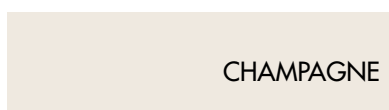
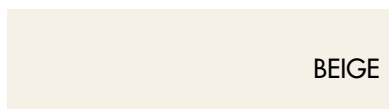


This is a visual representation of the actual fade that can be expected on standard vinyl siding vs. Woodsman Select Premium Vinyl Siding. Colors are mechanically reproduced.

NORANDEX
Woodsman Select
PREMIUM VINYL SIDING

COLOR AVAILABILITY

22 BEAUTIFUL COLORS



Colors are mechanically reproduced.
For color accuracy, please see actual product sample.



A beautiful collection of darker, richer colors with tremendous curb appeal, providing a real value for homeowners seeking a unique darker finish that stands out and stands apart from others in the neighborhood

CITY OF WORTHINGTON

DRAWING NO. ARB 0050-2023

DATE 06/27/2023

SAFE SECURE INSTALLATION

Your professional installation crew takes every possible precaution to make sure your new siding looks and performs its best.

They use the Norandex proprietary NailRIGHT® Siding Installation System to help them locate and precisely nail into the framing studs. This is a very important detail because misapplied nails can cause

siding to buckle, blow off in windy conditions, or be hazardous if they strike wiring or plumbing located between the studs.

NailRIGHT helps ensure an accurate and safe installation. It securely connects the siding to the wall for optimum performance. This means the beautiful siding you select will not only stand out, but will stay up, even in extreme weather conditions.

Beauty and Performance. It's the perfect siding combination to make the exterior of any home...perfect.

NailRIGHT[™]
SIDING INSTALLATION SYSTEM



THE "X" APPEARS EVERY 8" ON THE NAILING HEM AS A GUIDE TO HELP DETERMINE LOCATION OF HIDDEN WALL STUDS.

CITY OF WORTHINGTON
DRAWING NO. ARB 0050-2023
DATE 06/27/2023

SCOPE OF WORK ADDENDUM (RETAIL)

This Scope of Work Addendum is made by and between Ramos Roofing & Remodeling LLC and the undersigned Customer(s). This Addendum is expressly incorporated into the Retail Construction Agreement by reference, all Terms and Conditions stated therein are also expressly incorporated herein. For the Estimated Cost plus any future change orders per the Retail Construction Agreement, Customer(s) hereby engages Company to complete the following work:

ROOF

- Use tarps to protect the house, landscaping, driveway, deck, and AC Unit.
- Remove existing shingles down to the deck.
- If bad or rotten wood is discovered, it will be replaced at a price of \$74 per sheet / \$9 LF 1 x planking.
- Install drip edge around the perimeter of the house.
- Install ice and water shield at all gutter lines and valleys.
- Install synthetic underlayment to keep the roof dry.
- Install starter shingles along all gutter lines and rake edges.
- Install IKO Dynasty performance dimensional shingles per specifications using 1 ¼" roofing nails.
- Remove valley metal and close valley, California weave.
- Install new pipe & chimney flashings. (Black)
- Install new ridge vents.
- Install hip & ridge shingles.
- Paint all penetrations to match the roof. (Black)
- Magnetically sweep for nails.
- Clean up all job-related debris and haul it away.
- Color to be Granite Black

SIDING

- Remove existing siding on home and dispose of all materials.
- Inspect the current sheathing on home, if rotten or bad OSB sheathing is found it will be replaced at \$74 per sheet
- Install tyvek tape around all windows and doors on home and garage.
- Install vinyl starter strip around the base of the home.
- Install J-Channel around all the windows and doors and under all eaves and rakes.
- Install outside corner post as needed.
- Install new J-block light/electrical mounts, #1 split mini blocks for hose bib, #1 dryer exhaust vent as needed.
- Install new gable vents
- Detach and reset house number
- Detach and reset mailbox
- Install new Norandex - Woodsman Classic .042 Horizontal Siding on home.
- Profile to be Double 5" Straight lap , Color to be Cactus

ACKNOWLEDGEMENT: I have executed a copy of the Retail Construction Agreement and understand that this Scope of Work Addendum becomes a part of that Agreement. I have agreed to all Terms and Conditions outlined on both pages of the Retail Construction Agreement and understand those Terms and Conditions are expressly made part of this Addendum. Warranty not valid unless Company paid in full. In addition to any work stated on the Retail Construction Agreement, the above stated work accurately reflects the work I would like Company to complete on my property.

Customer Signature: _____ Dated: _____

Customer Signature: _____ Dated: _____

Company Signature: _____ By: _____ Dated: _____

HOMEOWNER IS ENTITLED TO A COPY OF THIS ADDENDUM AT THE TIME OF AFFIXING SIGNATURE



Ramos Roofing - Columbus
201 Oak Street
Columbus, OH 43235
Phone: 614-761-7663

Company Representative
Richie Wilson
Phone: (614) 989-5695
richie@ramosroofingohio.com

05/24/2023
Claim Information

Griffin Hodnett
357 West Dublin Granville Road
Worthington, OH 43085
(317) 771-2758

Job: Griffin Hodnett

Roofing Section

- Use tarps to protect the house, landscaping, driveway, deck, and AC Unit.
- Remove existing shingles down to the deck.
- If bad or rotten wood is discovered, it will be replaced at a price of \$74 per sheet / \$9 LF 1 x planking.
- Install drip edge around the perimeter of the house.
- Install ice and water shield at all gutter lines and valleys.
- Install synthetic underlayment to keep the roof dry.
- Install starter shingles along all gutter lines and rake edges.
- Install IKO Dynasty performance dimensional shingles per specifications using 1 1/4" roofing nails.
- Remove valley metal and close valley, California weave.
- Install new pipe & chimney flashings.
- Install new ridge vents.
- Install hip & ridge shingles.
- Paint all penetrations to match the roof.
- Magnetically sweep for nails.
- Clean up all job-related debris and haul it away.

Overhang: 24'
Smart Plugs: NONE
Shingle Color: TBD
Drip Edge Color: TBD
Caulk & Paint: TBD
Accessories Color: TBD
Pipe Boot: 2 - 3" to 4"
Chimney: 1, Trim Color: TBD

Materials: Right side of the driveway.
Dumpster: Left side of the driveway.
Satellite: NONE

- * Permit if needed for your city.
- Provide the owner with an IKO limited lifetime manufacturer warranty.
- Our Crews are licensed and insured.
- Crews will maintain safety requirements at all times during the construction process.

Qty Unit

Materials

Labor

\$11,308.77

TOTAL

\$11,308.77

CITY OF WORTHINGTON

DRAWING NO. ARB 0050-2023

DATE 06/27/2023



Ramos Roofing - Columbus
201 Oak Street
Columbus, OH 43235
Phone: 614-761-7663

Company Representative
Richie Wilson
Phone: (614) 989-5695
richie@ramosroofingohio.com

05/24/2023
Claim Information

Griffin Hodnett
357 West Dublin Granville Road
Worthington, OH 43085
(317) 771-2758

Job: Griffin Hodnett

Siding Section

- Remove existing siding on home and dispose of all materials (approx 2103 sq ft.)
- Inspect the current sheathing on home, if rotten or bad OSB sheathing is found it will be replaced at \$74 per sheet
- Install vapor barrier (house wrap) to the entire home.
- Install tyvek tape around all windows and doors on home.
- Install vinyl starter strip around the base of the home.
- Install J-Channel around all the windows and doors and under all eaves and rakes.
- Install outside corner post.
- Install new J-block light/electrical mounts, splits mini blocks for hose bib, #X dryer exhaust vent if needed
- Install new gable vents
- Install new Norandex - Woodsman Classic .042 Horizontal Siding on home
- Profile and color to be chosen by the homeowner.
- Detach and reset current window shutters or detach and dispose of: homeowner selection

This price includes only the unmarked color selection. If the homeowner would like to change to premium or designer colors the price will have to be re-worked based upon selection.

	Qty	Unit
materials & labor	1.00	EA
		\$17,727.00

TOTAL	\$17,727.00
--------------	--------------------

Company Authorized Signature

Date

Customer Signature

Date

Customer Signature

Date



ARB APPLICATION ARB 0051-2023 590 Morning St.

Plan Type:	Architectural Review Board	Project:		App Date:	06/28/2023
Work Class:	Certificate of Appropriateness	District:	City of Worthington	Exp Date:	
Status:	In Review			Completed:	
Valuation:	\$0.00			Approval	
Description:	Certificate of Appropriateness needed for modifications to previously approved plan. Changes include expanding the fenced area, adding a gate, and using the light columns as part of the fence/gate structure. No change in materials and the view from the street will not be altered in any significant way. The gate would be made of the same material as the fence (wood, dogeared pickets)				
				Expire Date:	

Parcel:	100-000880	Main	Address:	590 Morning St Worthington, OH 43085	Main	Zone:	R-10(Low Density Residence)
Architect	Owner	Applicant					
Dustin A Mondrach	Ronald A Cider	Britney N Cider					
300 E. Long St.	590 MORNING ST	590 MORNING ST					
Columbus, OH 43215	Worthington , OH 43085	Worthington , OH 43085					
Mobile: 614-596-8514	Mobile: (614) 394-2180	Mobile: (614) 314-7063					

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004174	Architectural Review Board	\$2.00	\$2.00
		Total for Invoice INV-00004174	\$2.00
		Grand Total for Plan	\$2.00

590 Morning St.



General Notes:

- All work to conform to 2019 Residential Code of Ohio.
- Contractor to pay for any necessary fees and permits.
- Any discrepancies between field dimensions and observations, and what is shown on the drawings should be brought to the attention of the Architect immediately for clarification/correction.
- Verify with utility companies locations of all utilities before start of construction.
- The Contractor is responsible for keeping the premises in a neat and orderly fashion. Construction debris removal from the site shall be the responsibility of the contractors.
- The Architect is not responsible for the methods of construction. This is the responsibility of the individual contractors and/or subcontractors.
- As per the request of the General Contractor, the Architect is responsible for basic layout and drafting services only. The General Contractor will procure the required engineering for all prefabricated systems. All additional drawings, diagrams, illustrations, and documents of like kind shall exhibit the seal of a registered professional and shall not be considered the responsibility of the Architect.
- Contractors are responsible for carrying all necessary insurance including workers compensation.
- All material used in the construction of this project shall be NEW unless noted otherwise. Reject and replace any damaged material resulting from warpages, weather damage, or other causes.
- Interior finishes not shown on the drawings shall be coordinated with the Owner.
- The Contractor is responsible for coordination of all work including adequate pre-review of all shop drawings. Errors due to lack of review and/or coordination shall be corrected at the expense of the contractor.
- All new lumber used in the construction of this project shall meet the values of #2 Spruce, Pine.
- Min. soil bearing capacity shall be 1500 lbs.
- Min. bearing of all structural members shall be 1-1/2" unless noted otherwise.

- Smoke Detectors & Carbon Monoxide Detectors shall be installed in all sleeping rooms, areas outside and adjacent to sleeping area, on each story including basement and cellars and all detectors shall be interconnected, hard wired and have a battery back-up.

- Insulation and facings exposed in attic, dwelling unit or crawl spaces shall have a flame spread rating not to exceed 25 and a smoke developed factor not to exceed 450.

- All frame walls and floors, and ceilings, not ventilated to allow moisture to escape, an approved vapor retarder having a max. perm rating of 1.0, and shall be installed on the warm-in-winter side of the thermal insulation.

- Handrails shall be provided on at least one side of stairs with 3 or more risers. Handrails will be measured between 30" and 38" vertically from the nosing of the treads. The hand grip portion shall not be more than 2-5/8" in cross section dimension or an appropriate shape which shall provide an equivalent gripping surface. The handgrip portion of the handrails shall have a smooth surface with no sharp edges.

- Porches, balconies or raised floors located more than 30" above the floor or grade shall have guardrails not less than 36" high. Open stairs with a rise of more than 30", shall have guard rails not less than 34" high. Distance between balusters to be less than 4".

Basement and Foundation notes:

- All 8" concrete walls to have 1'-4" x 8" thick poured concrete continuous spread footing.
- All 12" concrete walls to have 1'-8" x 10" thick poured concrete continuous spread footing.
- Fireplace foundation to have 12" thick poured concrete footing.
- Minimum footing depth to be 36" below grade or to firm bearing. Whichever is greater.
- Foundation of habitable rooms below grade shall be water proofed with membranes extending from edge of footing to finish grade. The membranes shall consist of either 2-ply hot mopped felts, 6-mill poly vinyl chloride, 55-pound roll roofing or equivalent material. Laps in membranes shall be sealed and firmly affixed to the wall.
- All lumber in contact with any masonry surface is to be treated wood. Maintain 1" air space between any stud wall and masonry wall.
- Foundation bolts must be embedded 15" into concrete block, spaced 6' O.C., 12" from corners. Anchor straps must be installed per manufacturer's specs.
- The bottom course of the foundation wall is to contain weeps holes for water to drain from the exterior of the foundation to the interior foundation drain
- Crawlspace are to have R-13 insulation on all cold walls, and are to be "CONDITIONED SPACES".
- Decay Protection, 18" clearance shall be maintained below floor joists over exposed earth in crawlspace. Vapor barrier must be applied over soil.
- The finished grade shall slope away from the foundation walls a min. 6" within the first 10'-0".
- Concrete slabs in basement shall be 2500 psi and garage shall be 4500 psi, and both shall be Air-Entrained concrete with a vapor barrier over base course in accordance with Residential Code of Ohio Table 402.2. All concrete slabs with habitable spaces shall have a vapor barrier over base course.


General Plumbing Notes:

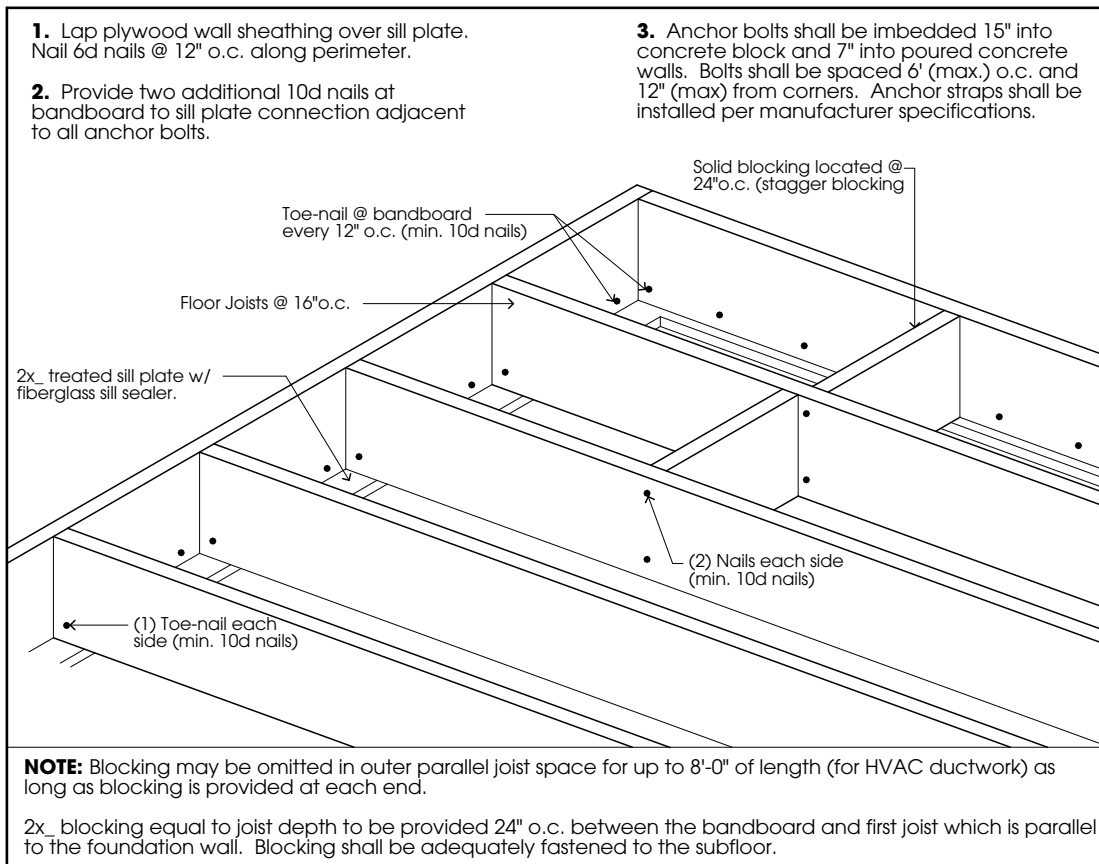
- All Plumbing work including but not limited to; fixtures, water heaters, water supply and distribution, sanitary drainage, vents, water heaters and traps shall be installed in accordance with the Ohio Plumbing Code.

General Electrical Notes:

- All Electrical work including but not limited to; services, branch circuit and feeder requirements, wiring methods, power and lighting distribution, devices and luminaires and appliance installation shall be installed in accordance with the National Electrical Code, NFPA 70.

General Framing Notes:

- Lumber to be #2 Spruce, Pine.
- Top of first floor subfloor = 100'-0"
-  Denotes stud column. Provide solid blocking under all stud columns and concentrated load conditions.
- All interior dimensions to face of stud (3 1/2") unless noted otherwise.
- All exterior dimensions to face of sheathing (4" or 6" to be noted on plans) unless noted otherwise.
- All LVL beams shall bear on minimum 3" solid studing.
- All floor joists shall be laterally restrained at support locations per RCO 502.7. (1) Row of perpendicular bridging between joists shall be installed for all nominal lumber spans 12'-0 or greater. (2) Rows of bridging shall be installed for all nominal lumber spans 16'-0" or greater. Bridging may be solid blocking equal to joist size nominal lumber or 1x4 "X" bridging.
- Floor joists & Roof Trusses shall be installed per manufacturer details and requirements. The manufacturer / supplier shall provide floor structure layout, details, hanger requirements, etc. bearing the seal of a registered professional, at the time of permit.
- Provide attic access per code requirements.
- Shaded areas indicate soffit or coffered ceiling. Soffit height or coffered ceiling layout is either noted on the plans or is to be determined by the Owner and Architect at a later date.
- Fire stopping shall be provided to cut off all concealed draft openings (vert. and horiz.) and to form an effective fire barrier between stories and between stories and the roof.
- Any attic space over 30" in height shall have a framed 22"x30" opening.
- Wall Bracing: All exterior walls shall have continuous 7/16" O.S.B. sheathing and be constructed using Method CS-WSP (Continuously Sheathed Wood Structural Panel) and CS-PF (Continuously Sheathed Portal Frame) of Table 602.10.4 and be fastened with 6d nails at 6'o.c. at the edges and 12'o.c. at intermediate supports.
- Roof sheathing shall be supported with blocking or edge clips when rafters or trusses are 24" o.c. or greater.



Ceiling Joist Schedule

Note: Use the following schedule for sizing ceiling joists unless noted otherwise.

Spacing	Size	Max. Span
16" o.c.	2 x 4	8' - 9"
16" o.c.	2 x 6	12' - 10"
16" o.c.	2 x 8	16' - 3"
16" o.c.	2 x 10	19' - 10"
16" o.c.	2 x 12	23' - 0"

Overframing Schedule

Valley and ridge boards to be one size larger than the rafters. Example: 2x4 rafters require 2x6 valley and ridge.

Spacing	Size	Max. Span
16" o.c.	2 x 4	8' - 9"
16" o.c.	2 x 6	12' - 9"
16" o.c.	2 x 8	16' - 0"
16" o.c.	2 x 10	19' - 6"
24" o.c.	2 x 4	6' - 0"
24" o.c.	2 x 6	9' - 0"
24" o.c.	2 x 8	12' - 0"
24" o.c.	2 x 10	15' - 0"

Smoke / Carbon Monoxide Detectors

314.1 Smoke detection and notification. All smoke alarms shall be listed in accordance with UL 217 and installed in accordance with the provisions of this code and the household fire warning equipment provisions of NFPA 72.

314.2 Smoke detection systems. Household fire alarm systems installed in accordance with NFPA 72 that include smoke alarms, or a combination of smoke detector and audible notification device installed as required by this section for smoke alarms, shall be permitted. The household fire alarm system shall provide the same level of smoke detection and alarm as required by this section for smoke alarms. Where a household fire warning system is installed using a combination of smoke detector and audible notification device(s), it shall become a permanent fixture of the occupancy and owned by the homeowner. The system shall be maintained in accordance with NFPA 72.

Exception: Where smoke alarms are provided meeting the requirements of Section 314.4.

- 314.3 Location.** Smoke alarms shall be installed in the following locations:
1. In each sleeping room.
 2. Outside each separate sleeping area in the immediate vicinity of the sleeping room.
 3. On each additional story of the dwelling, including basements and habitable attics but not including crawl space and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level. When more than one smoke alarm is required to be installed within an individual dwelling unit the alarm devices shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms in the individual unit.

314.4 Power source. Smoke alarms shall receive their primary power from the building wiring when such wiring is served from a commercial source, and when primary power is interrupted, shall receive power from a battery. Wiring shall be permanent and without a disconnecting switch other than those required for overcurrent protection. Smoke alarms shall be interconnected.

CARBON MONOXIDE ALARMS

315.1 Carbon monoxide alarms. For new construction, an approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances are installed and in dwelling units that have attached garages.

Roof Ventilation

Code Requirements:
Residential Code of Ohio section 806.1 Ventilation Required: Enclosed attics and enclosed rafter spaces formed where ceilings are applied directly to the underside of roof rafters shall have cross ventilation for each separate space by ventilating openings protected against the entrance of rain or snow. Ventilating openings shall have at least a dimension of 1/16 inch (1.6mm) minimum and 1/4 inch (6.4mm) maximum. Ventilation openings having at least a dimension larger than 1/4 inch (6.4mm) shall be provided with corrosion-resistant wire cloth screening, hardware cloth, or similar material with openings having a least dimension of 1/16 inch (1.6mm) minimum and 1/4 inch (6.4) maximum. Openings in roof framing members shall conform to the requirements of Section 802.7.

Residential Code of Ohio section 806.2 Minimum area: The total net free ventilating area shall not be less than 1 to 150 of the area of the space ventilated except that the total area is permitted to be reduced to 1 to 300, provided at least 50 percent and not more than 80 percent of the required ventilating area is provided by ventilators located in the upper portion of the space to be ventilated at least 3 feet (914mm) above eave or cornice vents. As an alternative, the net free cross-ventilation area may be reduced to 1 to 300 when a Class I or Class II vapor barrier is installed on the warm-in-winter side of the ceiling.

Residential Code of Ohio section 806.3 Vent Clearance: Where eave or cornice vents are installed, insulation shall not block the free flow of air. A minimum of 1-inch (25mm) space shall be provided between the insulation and the roof sheathing at the location of the vent.

Responsibilities:
The general contractor and subcontractors are responsible for constructing the building in accordance with all applicable codes.

The contractor and subcontractor are responsible for meeting all ventilating requirements set forth in all state and local codes.

Roof ventilation calculations are made from data from the original building plans. Unforeseen attic conditions or changes to the design, such as separation of attic space, may change the location and number of vents and ventilators. Correcting for these situations is the responsibility of the building contractor.

The Owner is responsible for the normal maintenance and upkeep of all aspects of the attic ventilation and the HVAC systems. These Responsibilities include, but are not limited to, maintaining a free flow of air through the attic space, keeping all vents and ventilators free from obstructions and monitoring that humidity levels in the building do not get too high.

Vents and Ventilators:

- Low Profile Shingle Vent II, Air Vent Inc. (Ridge vent)
18 sq. inches net free area per linear foot (0.125 sq. ft. net free area per linear foot)

- Airstream square metal roof vents, Air Vent Inc. (Roof vent)
50 sq. inches net free area each (0.347 sq. ft. net free area each)

- Aluminum or PVC Continuous Soffit Vent, Air Vent Inc. (Eave vent)
9 sq. inches net free area per linear foot (0.0625 sq. ft. net free area per linear foot)

- Undereave Vent - 16"x6", Air Vent Inc. (Eave vent)
42 sq. inches net free area each (0.292 sq. ft. net free area each)

Light and Ventilation:

All habitable rooms shall be provided with aggregate glazing area of not less than 8 percent of the floor area of such rooms. Natural ventilation shall be through windows, doors, louvers or other approved openings to the outdoor air. Such openings shall be provided with ready access or shall otherwise be readily controllable by the building occupants. The minimum openable area to the outdoors shall be 4 percent of the floor area being ventilated.

The glazed areas need not be openable where the opening is not required per Section R310 and an approved mechanical ventilation system (HVAC) shall be provided capable of producing 0.35 air change per hour in the room or a whole-house ventilation system is installed capable of supplying outdoor ventilation air of 15 cubic feet per minute (cfm) (7.08 L/s) per occupant computed on the basis of two occupants for the first bedroom and one occupant for each additional bedroom.

The glazed areas need not be provided in rooms where Note 1 above is satisfied and artificial light is provided capable of producing an average illumination of 6 foot-candles (64 lux) over the area of the room at a height of 30 inches (762 mm) above the floor level.

All bathrooms and powder rooms shall be provided with a light fixture and a mechanical ventilation system (exhaust fan). The minimum ventilation rates shall be 50 cfm (23.6 L/s) for intermittent ventilation or 20 cfm (9.4 L/s) for continuous ventilation. Ventilation air from the space shall be exhausted directly to the outside.

NOTE: Light & Vent. Schedule has been calculated with "Simonton 300 Series". Contractor window substitutions shall satisfy the requirements.

Design Criteria

Climatic & Geographic Design:
Soil bearing - 1500 lbs. per sq. ft.
First Floor Load - 50 lbs. per sq. ft.
Second Floor Load - 40 lbs. per sq. ft.
Roof Live Load (w/ clg. load) - 30 lbs. per sq. ft.
Roof Live Load (w/o clg. load) - 20 lbs. per sq. ft.
Roof Snow Load - 25 lbs. per sq. ft.
Deck Load - 50 lbs. per sq. ft. (add 50 psf for hot tub)
Wind Pressure - 90 mph wind
Seismic Condition by Zone - 1
Winter Design Temp. for Heating - 3 deg.

Subject to Damage from:
Weathering - Severe
Frost Line Depth - 32" (36" Delaware)
Termite - Yes
Decay - Yes

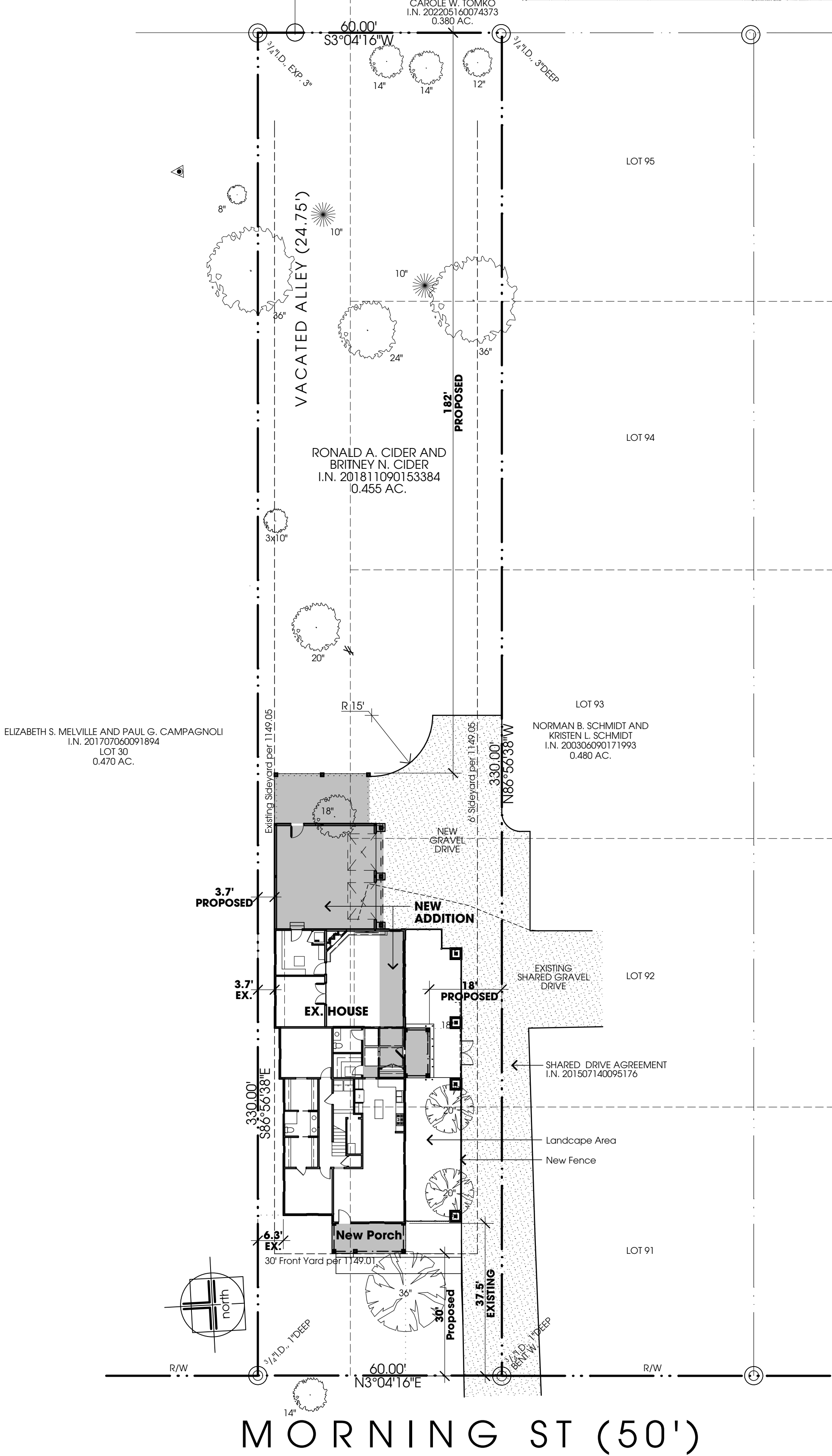
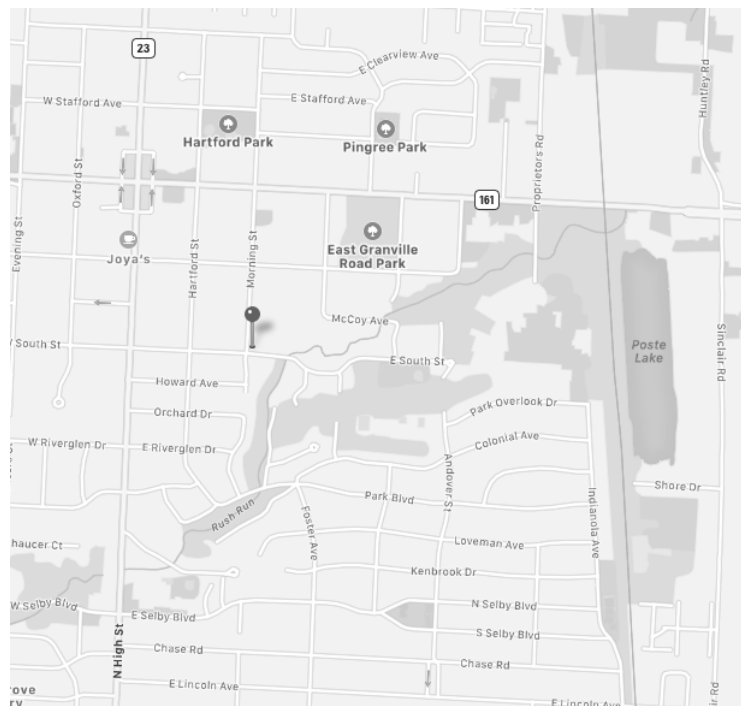
Square Footage

Existing First Floor: 1,216.96 Sq. Ft.
Existing Second Floor: 468.29 Sq. Ft.
New First Floor Addition: 1,004.60 Sq. Ft.

Sheet Index:

- C1 - Cover Page, Site Plan, General Notes
- C2 - Site Plan Detail
- A1 - Foundation Plan
- A2 - First Floor Demolition Plan
- A3 - New First Floor Plan
- A4 - New First Floor Plan
- A5 - Roof Plan
- A6 - Front/Rear Elevations
- A7 - Left/Right Elevations
- A8 - Building Sections
- A9 - Building Sections
- A10 - Wall Details
- E1 - Electrical

Location Plan No Scale



Site Plan Scale: 1" = 20'

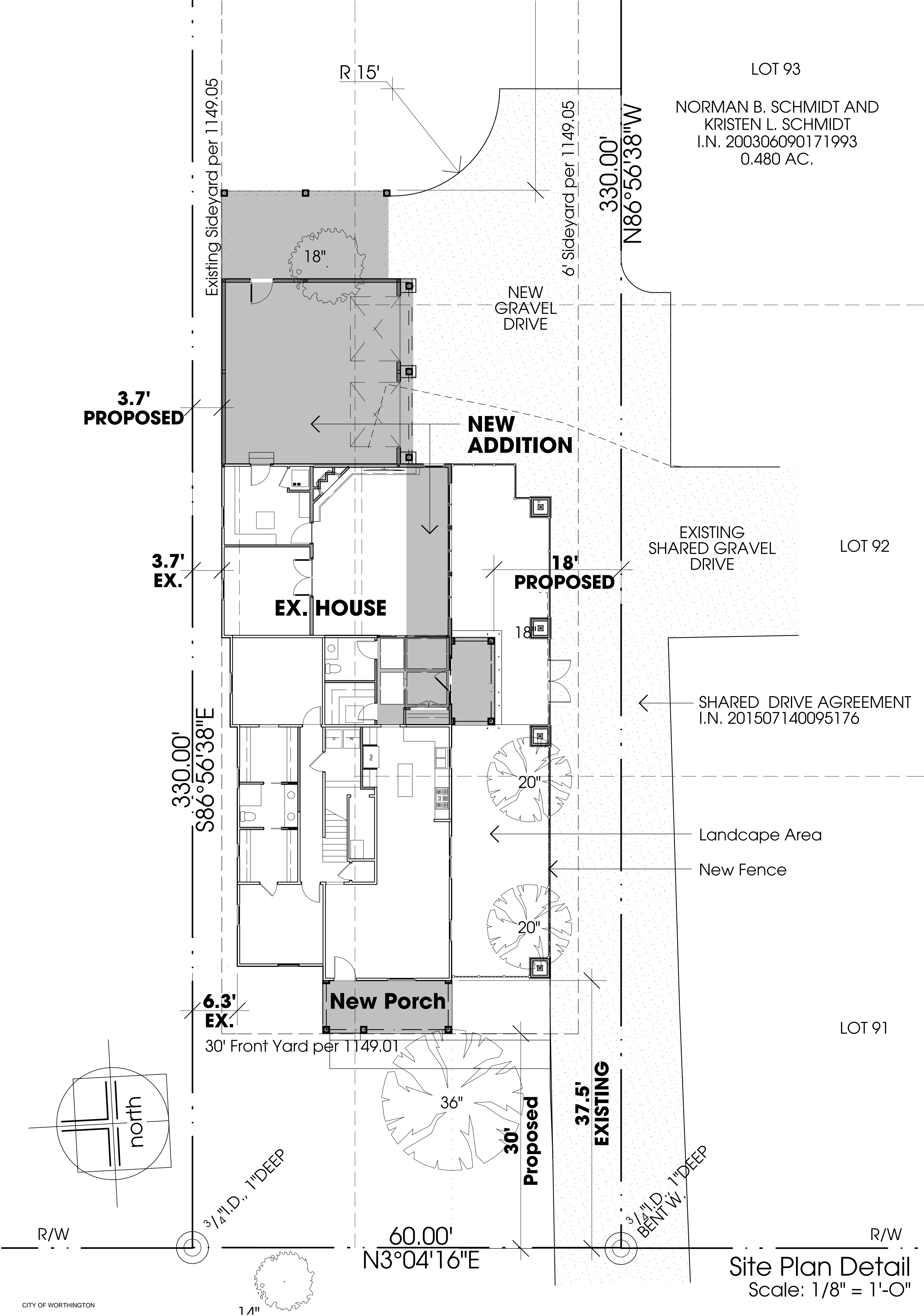
Cider Residence Garage Addition & Remodel 590 Morning St • Worthington • OH • 43085

MILHOAN
architects
LLC

Long Street Studio • 300 East Long Street
Columbus, Ohio 43215 • 614-222-5000

DRAWN By: DAM / AIC
CHECKED By: DAM
PROJECT NO.: CDR-01
DATE: 06.15.23 Permit
REVISIONS:

OF SHEETS



Cider Residence
Garage Addition & Remodel
590 Morning St • Worthington • OH • 43085

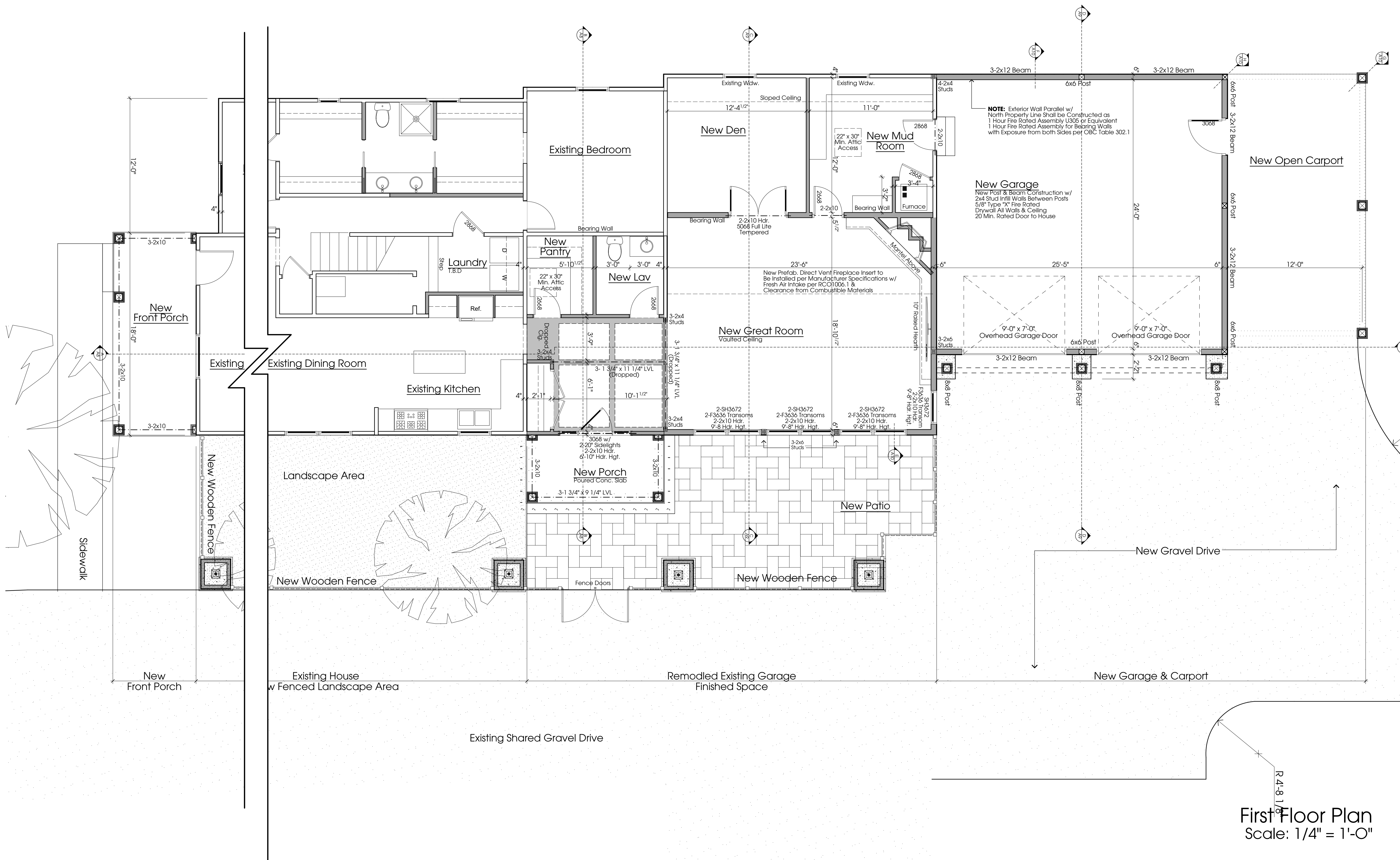
MILHOAN
architects
LLC

Long Street Studio • 300 East Long Street
Columbus, Ohio 43215 • 614.222.5000

DRAWN By: DAM / AIC
CHECKED By: DAM
PROJECT NO.: CDR-01
DATE: 06.15.23 Permit
REVISIONS:

C2

OF SHEETS



First Floor Plan
Scale: 1/4" = 1'-0"

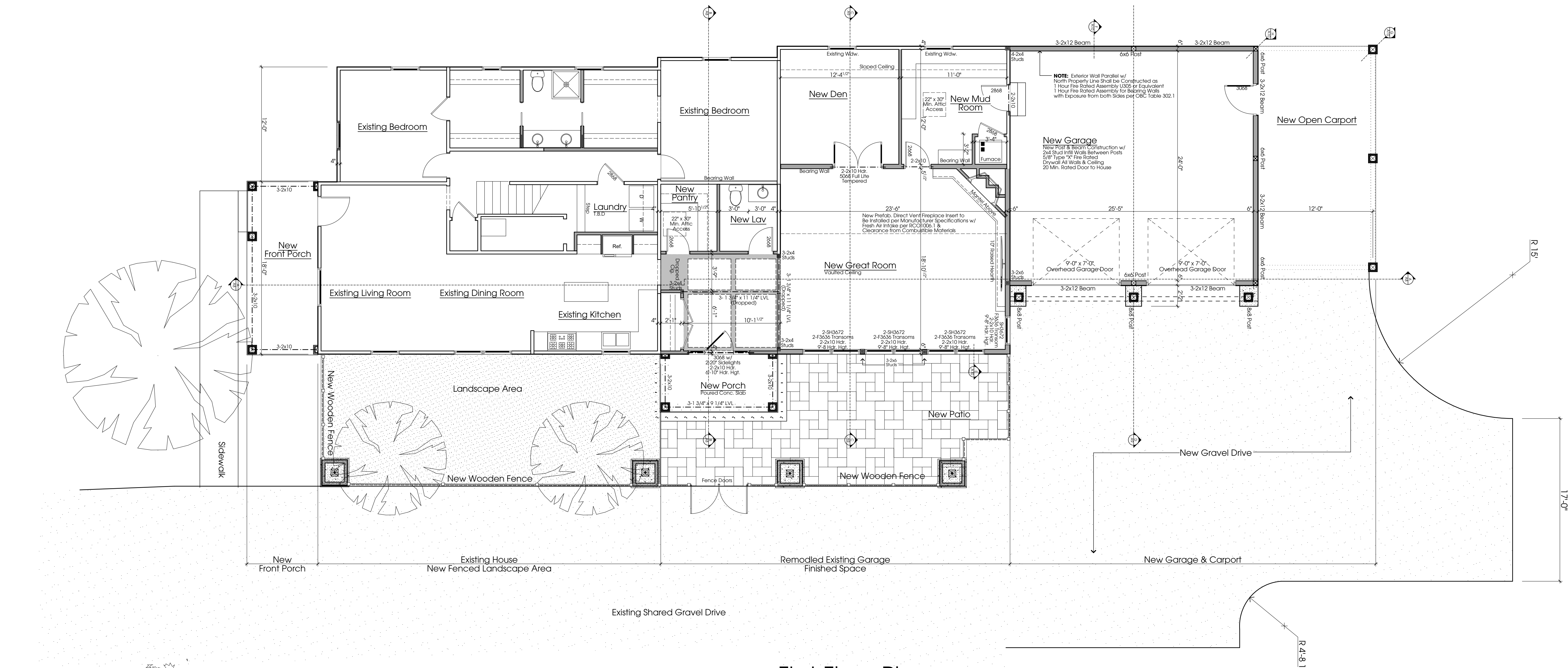
Cider Residence Garage Addition & Remodel

590 Morning St • Worthington • OH • 43085

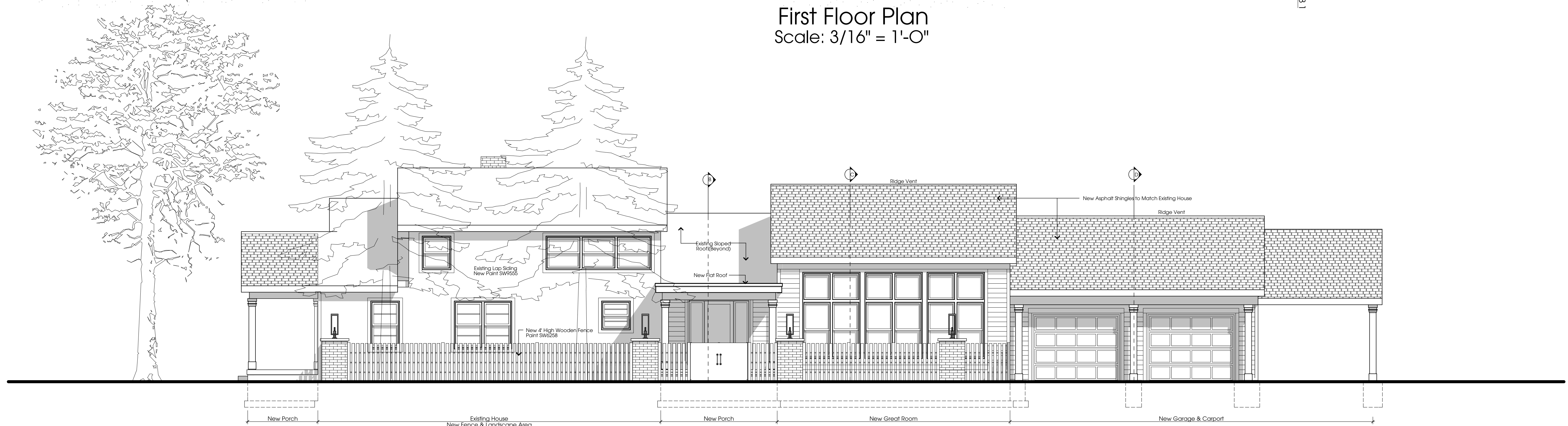
MILHOAN
architects
LLC

Long Street Studio • 300 East Long Street
Columbus, Ohio 43215 • 614-222-5000

DRAWN By: DAM / AIC
CHECKED By: DAM
PROJECT NO.: CDR-01
DATE: 06.15.23 Permit
REVISIONS:



First Floor Plan
Scale: 3/16" = 1'-0"



Right Elevation
Scale: 3/16" = 1'-0"

Cider Residence Garage Addition & Remodel

590 Morning St • Worthington • OH • 43085

MILHOAN
architects
LLC

Long Street Studio • 300 East Long Street
Columbus, Ohio 43215 • 614 • 222 • 5000

DRAWN By: DAM / AIC
CHECKED By: DAM
PROJECT NO.: CDR-01
DATE: 06.15.23 Permit
REVISIONS:

A4

© 2023 MILHOAN architects LLC
This material is the property of
MILHOAN architects LLC.
Reproduction (except by those
governmental agencies required
by law) in whole or in part is
expressly forbidden without
permission in writing from
MILHOAN architects LLC.

Cider Residence
Garage Addition & Remodel
590 Morning St • Worthington • OH • 43085

MILHOAN
architects
LLC

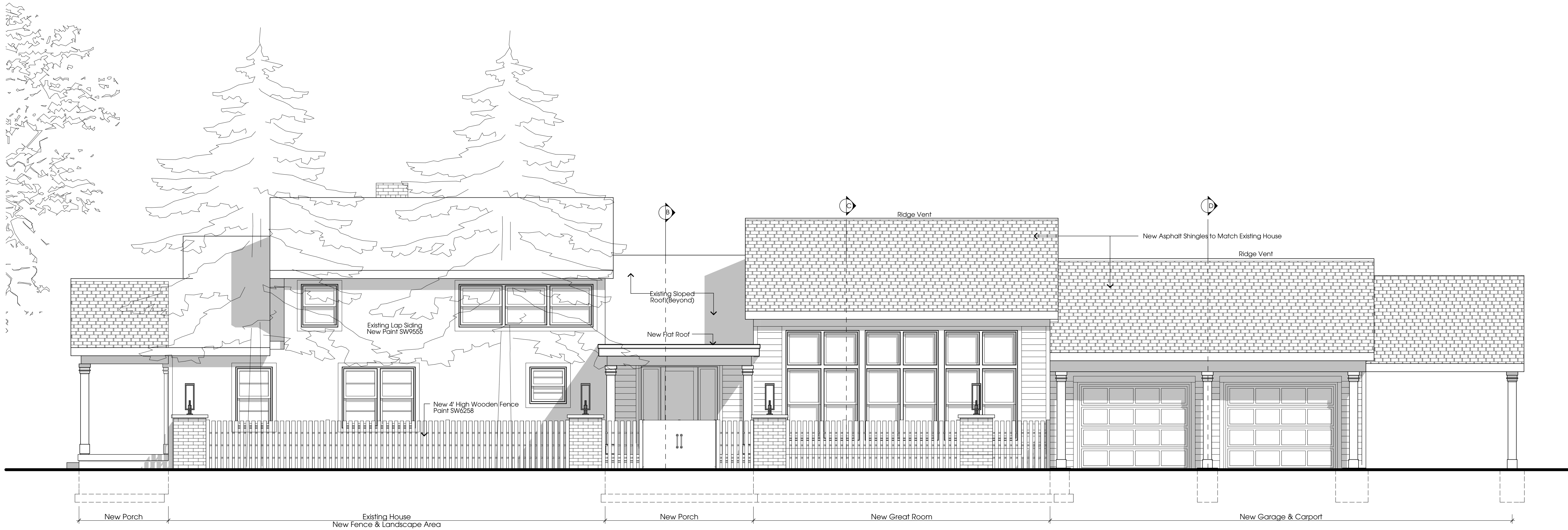
Long Street Studio • 300 East Long Street
Columbus, Ohio 43215 • 614.222.4000

DRAWN By: DAM / AIC
CHECKED By: DAM
PROJECT NO.: CDR-01
DATE: 06.15.23 Permit
REVISIONS:

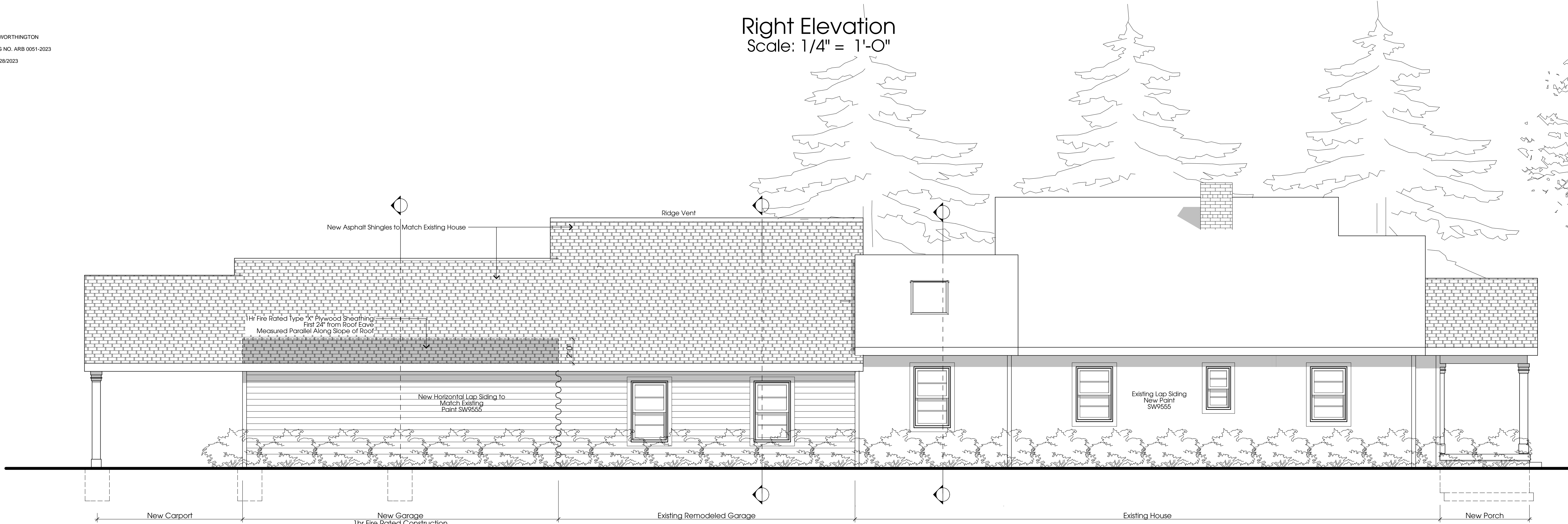


Rear Elevation
Scale: 1/4" = 1'-0"

Front Elevation
Scale: 1/4" = 1'-0"



Right Elevation
Scale: 1/4" = 1'-0"



Left Elevation
Scale: 1/4" = 1'-0"

CITY OF WORTHINGTON
DRAWING NO. ARB 0051-2023
DATE 06/28/2023

© 2023 MILHOAN architects LLC
This material is the property of
MILHOAN architects LLC.
Reproduction (except by those
governmental agencies required
by law) in whole or in part is
expressly forbidden without
permission in writing from
MILHOAN architects LLC.

Cider Residence
Garage Addition & Remodel
590 Morning St • Worthington • OH • 43085

MILHOAN
architects
LLC

Long Street Studio • 300 East Long Street
Columbus, Ohio 43215 • 614 • 222 • 5000

DRAWN By: DAM / AIC
CHECKED By: DAM
PROJECT NO.: CDR-01
DATE: 06.15.23 Permit
REVISIONS:

A7

OF SHEETS

© 2023 MILHOAN architects LLC
This material is the property of
MILHOAN architects LLC.
Reproduction (except by those
governmental agencies required
by law) in whole or in part is
expressly forbidden without
permission in writing from
MILHOAN architects LLC.

Cider Residence
Garage Addition & Remodel
590 Morning St • Worthington • OH • 43085

MILHOAN
architects
LLC

Long Street Studio • 300 East Long Street
Columbus, Ohio 43215 • 614 • 222 • 5001

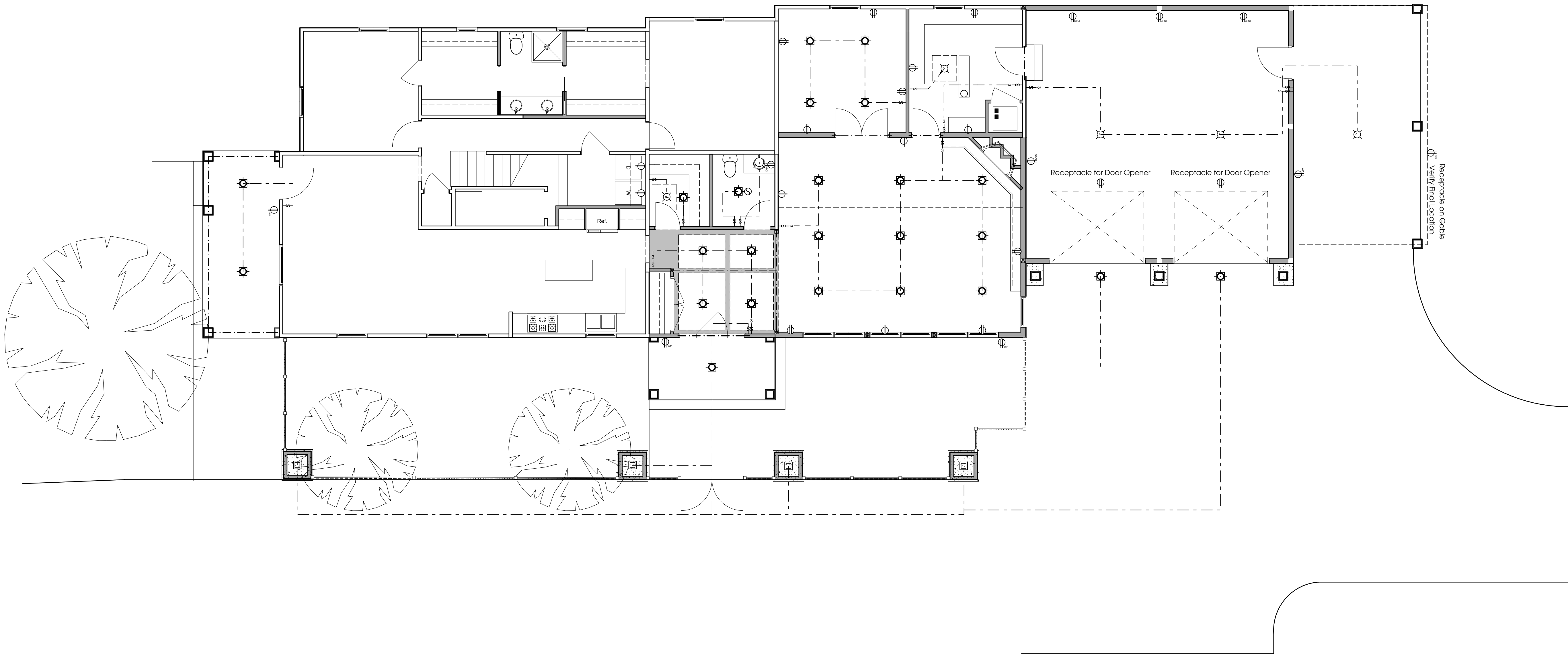
DRAWN By: DAM / AIC
CHECKED By: DAM
PROJECT NO.: CDR-01
DATE: 06.15.23 Permit
REVISIONS:

OF SHEETS

E1

Electrical Legend

- Vanity or Wall Sconce Fixture
- Recessed Can Light
- Ceiling Mounted Junction Box
- Fan/Exhaust Fan Combination
- Motor, Disposal, or Fan
- Coaxial Jack
- Standard Duplex Receptacle
- Floor Receptacle
- GFCI Protected Receptacle
- Weatherproof/ GFCI Outdoor Protected Receptacle
- Smoke Detector / Carbon Monoxide Detector



First Floor Electrical Plan
Scale: 3/16" = 1'-0"



ARB APPLICATION
ARB 0055-2023
117 W. Clearview Ave.

Plan Type: Architectural Review Board **Project:** **App Date:** 07/03/2023
Work Class: Certificate of Appropriateness **District:** City of Worthington
Status: In Review
Valuation: \$4,100.00

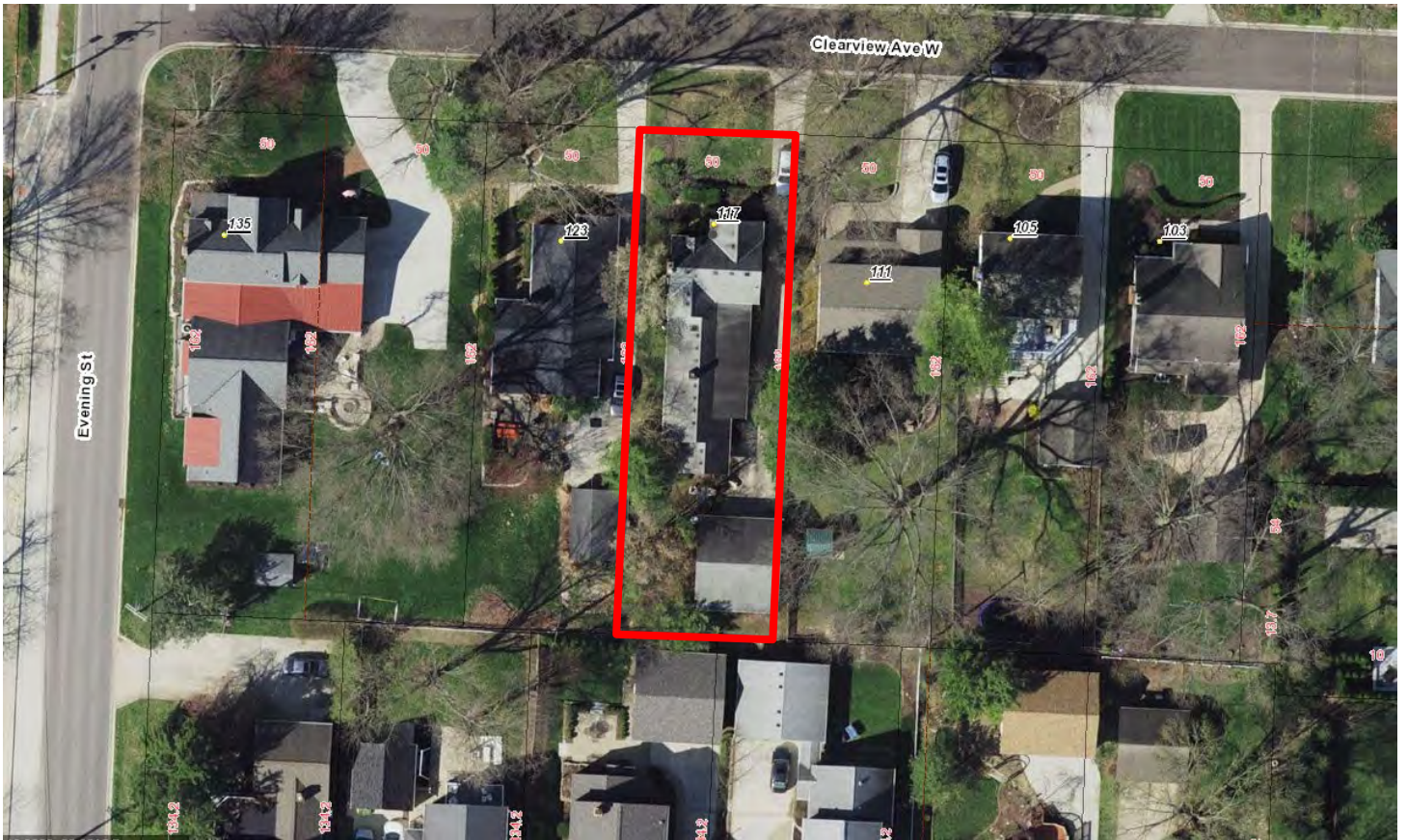
Description: Installing 4' wooden picket fence, to run along back of property and along west side from back of property up to house; will attach to identical fence on east side of house with neighbor's permission.
Fence on east side will have double wooden picket gate on driveway to contain dog.

Parcel: 100-000691 Main	Address: 117 W Clearview Ave Main Worthington, OH 43085	Zone: R-10(Low Density Residence)
-------------------------------------	--	--

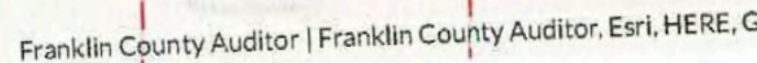
Owner	Applicant / Owner
Lynley H Anderman, trustee	Eric M Anderman, trustee
117 W CLEARVIEW AVE	117 W CLEARVIEW AVE
Worthington , OH 43085	Worthington , OH 43085
Mobile: (614) 378-7830	Business: (614) 292-9860
	Mobile: (614) 378-8233

Invoice No.	Fee	Fee Amount	Amount Paid
INVOICED	Architectural Review Board	\$5.00	\$5.00
Total for Invoice INVOICED		\$5.00	\$5.00
Grand Total for Plan		\$5.00	\$5.00

117 W. Clearview Ave.



Quick Links



EXISTING
Fence



CITY OF WORTHINGTON

DRAWING NO. ARB 0055-2023

DATE 07/03/2023

The Fence Guy

Professional Fence Installation and Repair

Keith Pickens

319 S. Main Street

Baltimore, OH 43105

740-438-9135

Keithdrummer69@yahoo.com

Proposed Layout for:

Name: Eric Anderman

Address: 117 W. Clearview Ave

Worthington, Ohio 43085

Phone #: 614-378-8233

Email: _____

The Fence Guy hereby proposes to furnish materials and perform the labor necessary for the completion of

Approx 145' of 48" dog-ear picket style fence.

3 1/2" x 48" pickets 3 1/2" spacing

2x4 rails, 2-per section

4x4 posts in concrete footers (446 posts for large gate)

Double gate access driveway

* NO DEPOSIT required

* PAYMENT due upon completion

* check is payable to Keith Pickens

* CREDIT CARD adds 3.7% for processing

All material is guaranteed to be as specified, and the above work to be performed in accordance with the drawings and specifications submitted for above work, and completed in substantial workmanlike manner for the sum of _____ Dollars (\$ 4100.00)

with payments to be made as follows:

Any alteration or deviation from above specifications involving extra costs will be executed only upon written order, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents, or delays beyond control of The Fence Guy.

The above prices, specifications and conditions are satisfactory and are hereby accepted. The Fence Guy is authorized to do the work as specified. Payments will be made as outlined above.

Date: 5/26/23

Signature: _____

Eric M. Anderson

Signature: _____

CITY OF WORTHINGTON

DRAWING NO. ARB 0055-2023

DATE 07/03/2023



ARB APPLICATION ARB 0048-2023 53 Short St.

Plan Type: Architectural Review Board	Project:	App Date: 06/20/2023
Work Class: Certificate of Appropriateness	District: City of Worthington	Exp Date:
Status: In Review		Completed:
Valuation: \$40,000.00		Approval
Description: Add a paver patio with retention wall, pergola, and outdoor fireplace to rear of home		Expire Date:

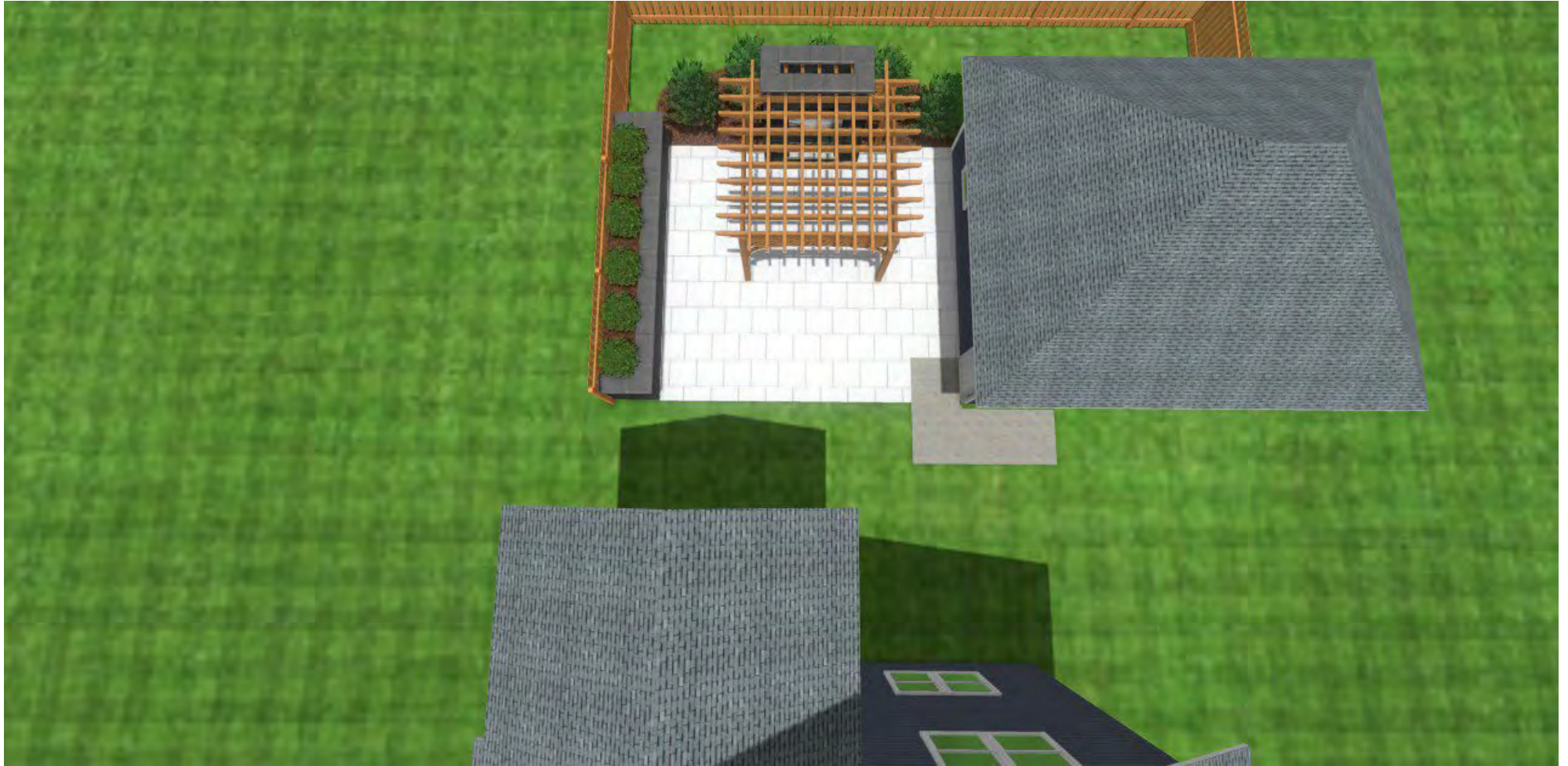
Parcel: 100-000378	Main	Address: 53 Short St Worthington, OH 43085	Main	Zone: AR-4.5(Low Density Apartment Residence)
---------------------------	------	--	------	--

Applicant / Owner Jacob Laughrey 53 W Short St Worthington, OH 43085 Mobile: (614) 824-8989	Owner Jessica A Andreini 53 SHORT ST Worthington , OH 43085
---	--

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004108	Architectural Review Board	\$40.00	\$40.00
Total for Invoice INV-00004108		\$40.00	\$40.00
Grand Total for Plan		\$40.00	\$40.00

53 Short St.

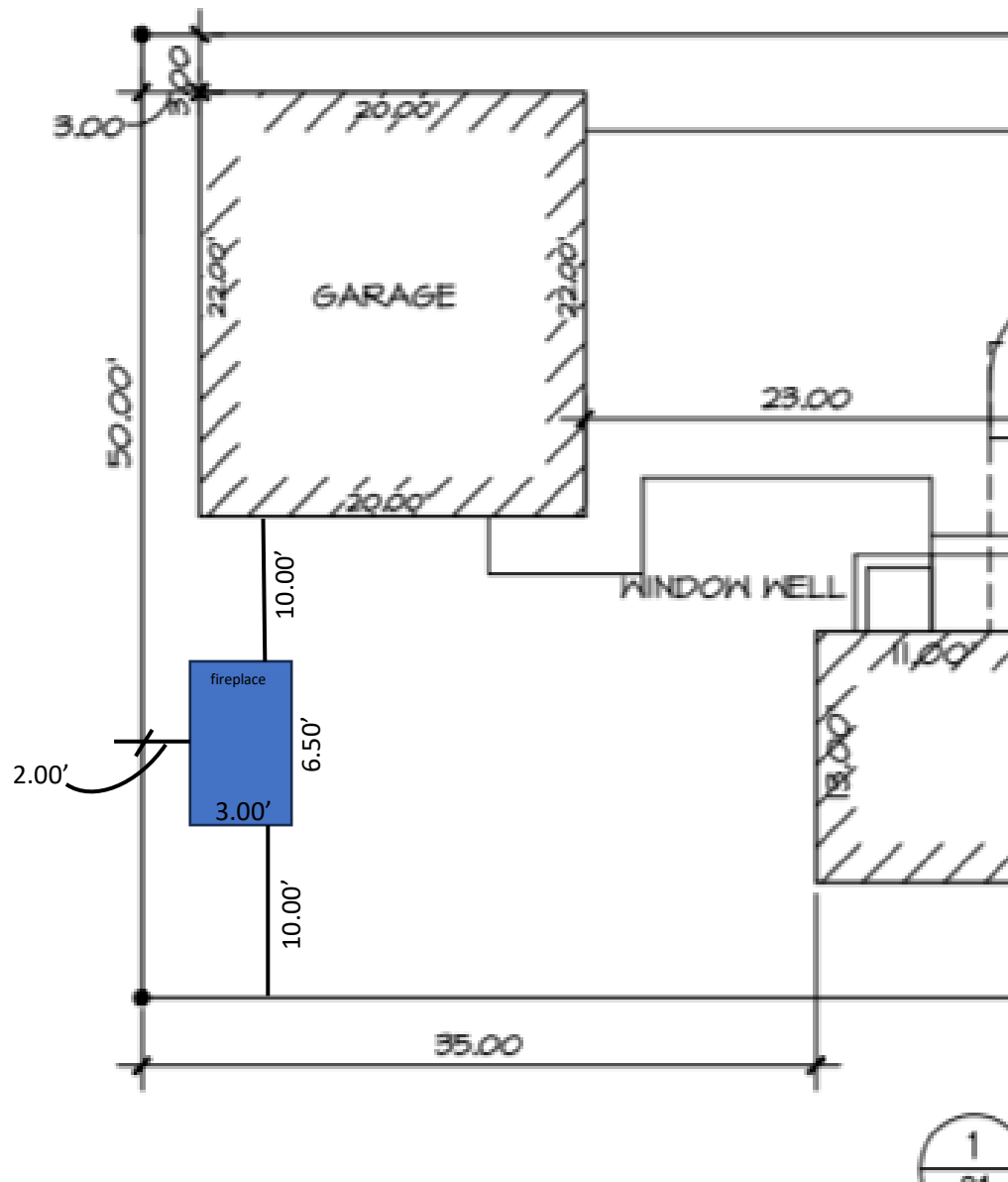




CITY OF WORTHINGTON

DRAWING NO. ARB 0048-2023

DATE 06/20/2023

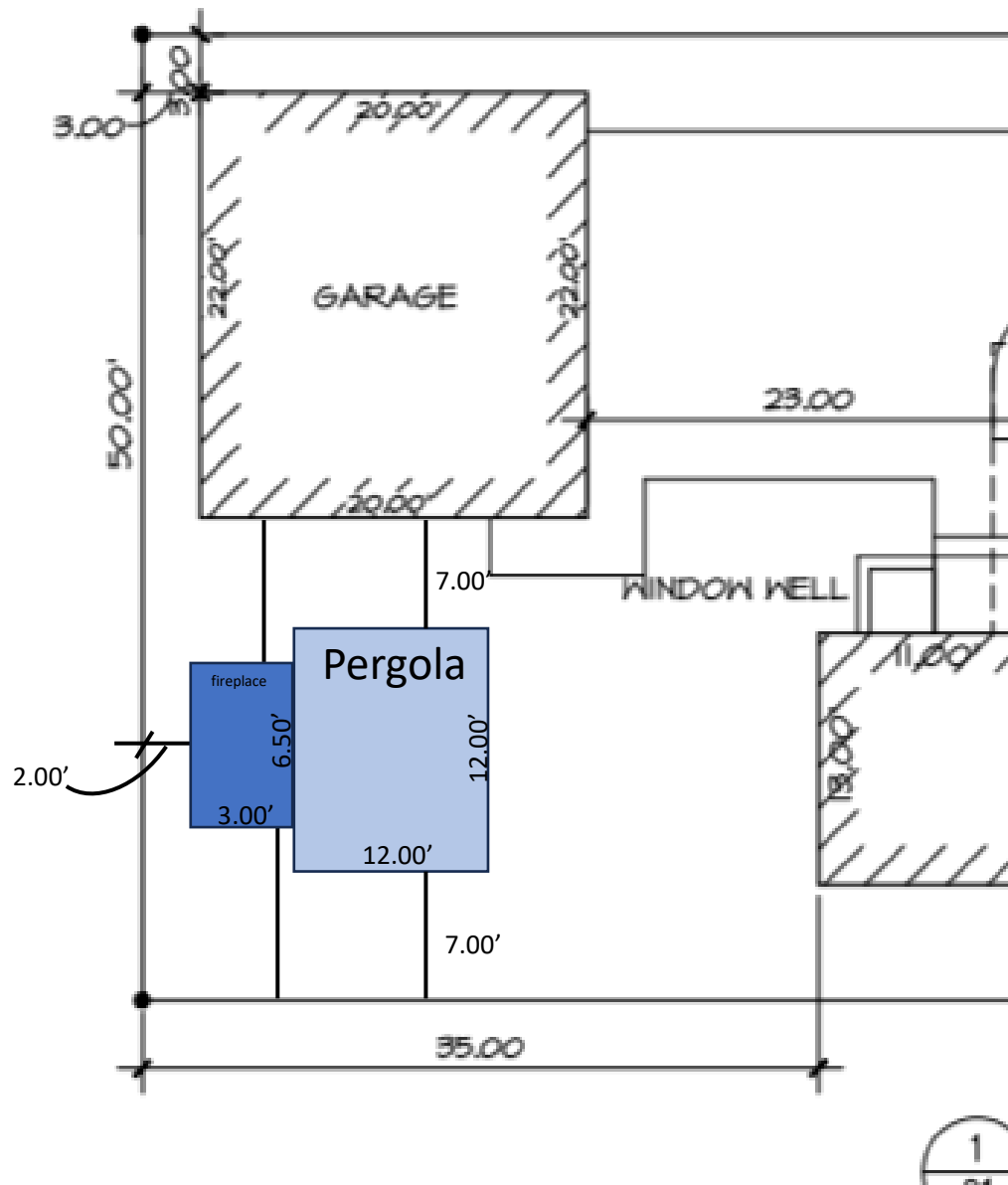


Variance requested for outdoor fireplace to be 2 feet from back property line

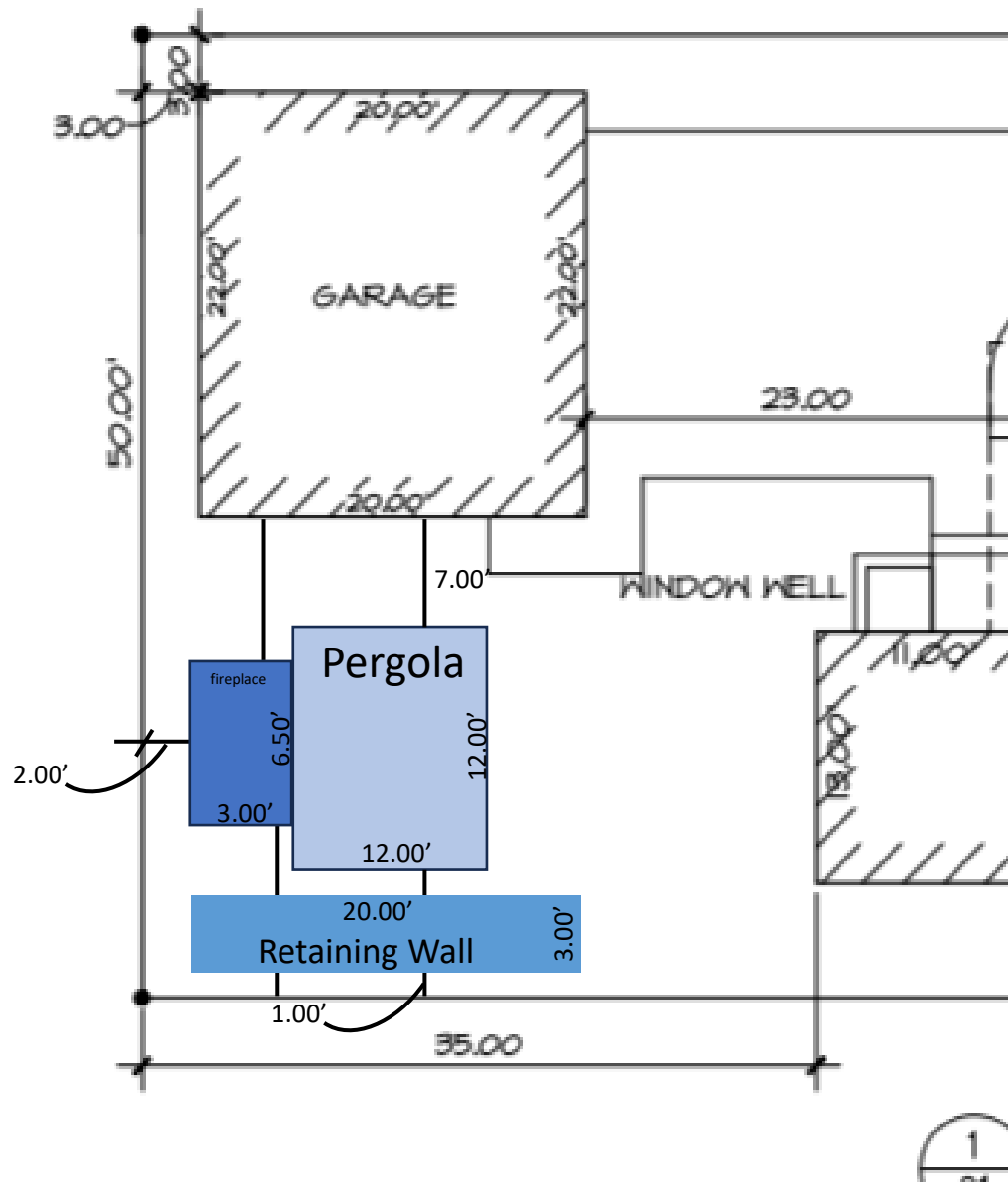
CITY OF WORTHINGTON

DRAWING NO. ARB 0048-2023

DATE 06/20/2023

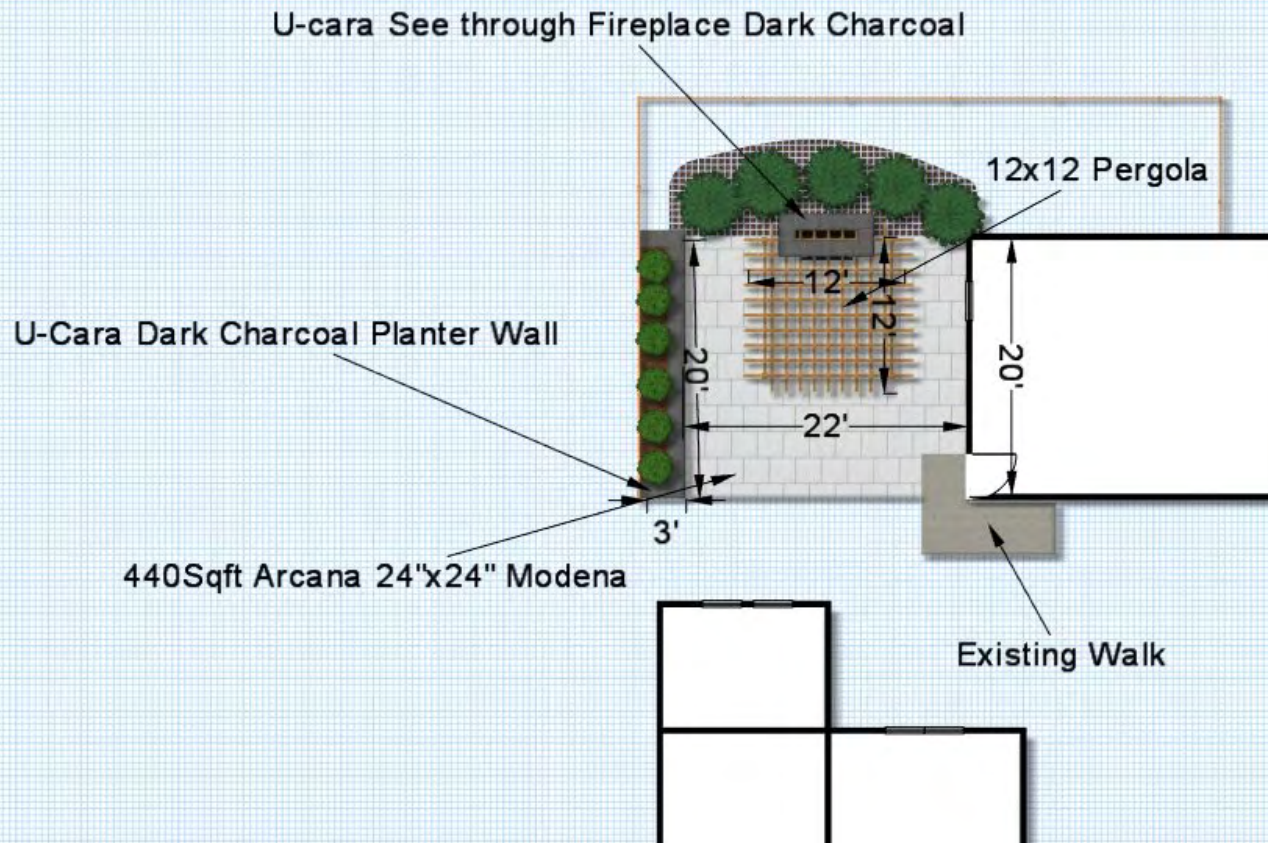


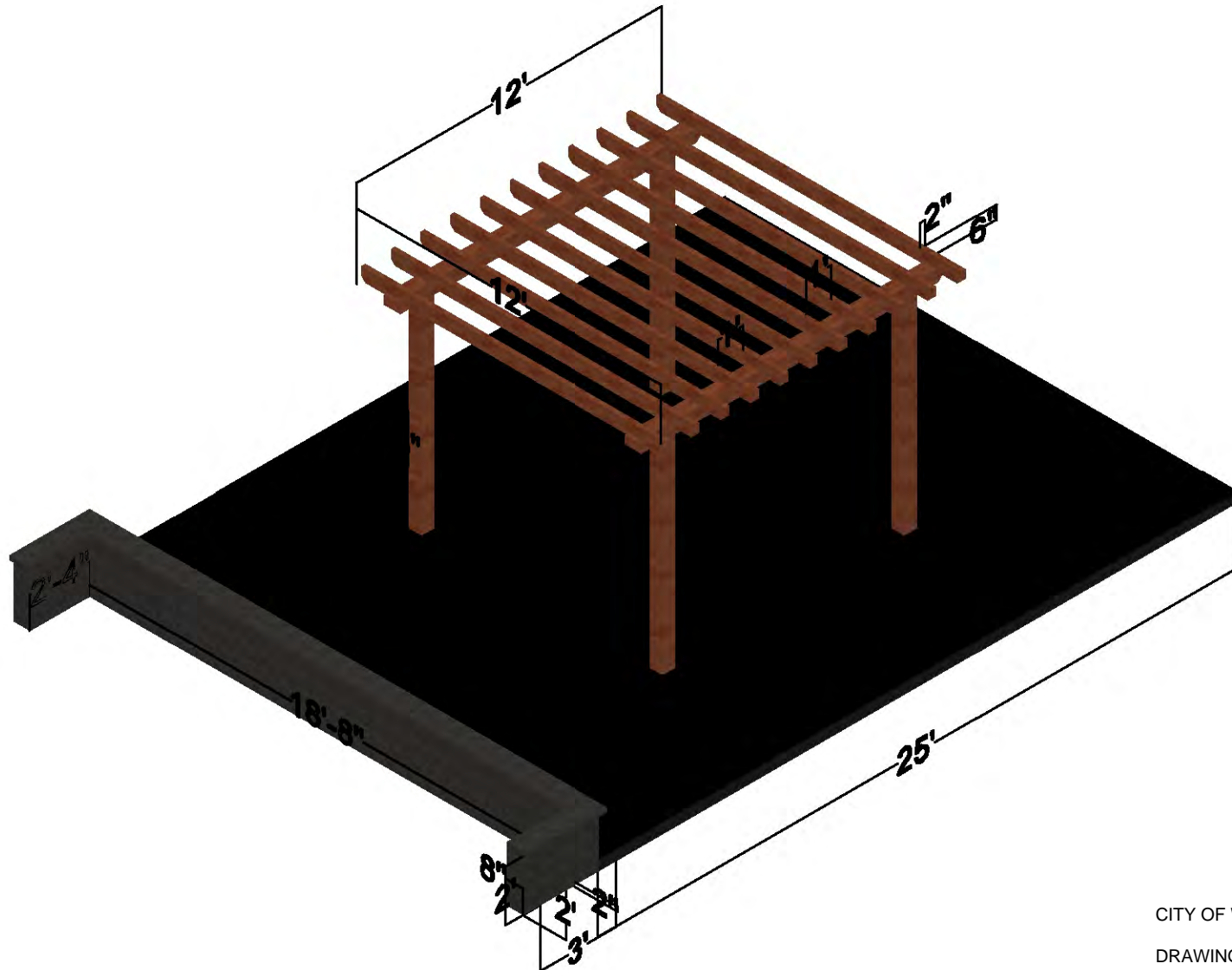
Variance requested for pergola to be 5 feet from back property line
 Variance requested for pergola to be 7 feet from side of property



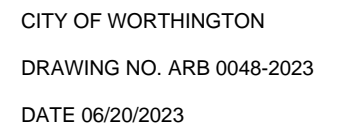
Variance requested for retaining wall to be 2 feet from back property line

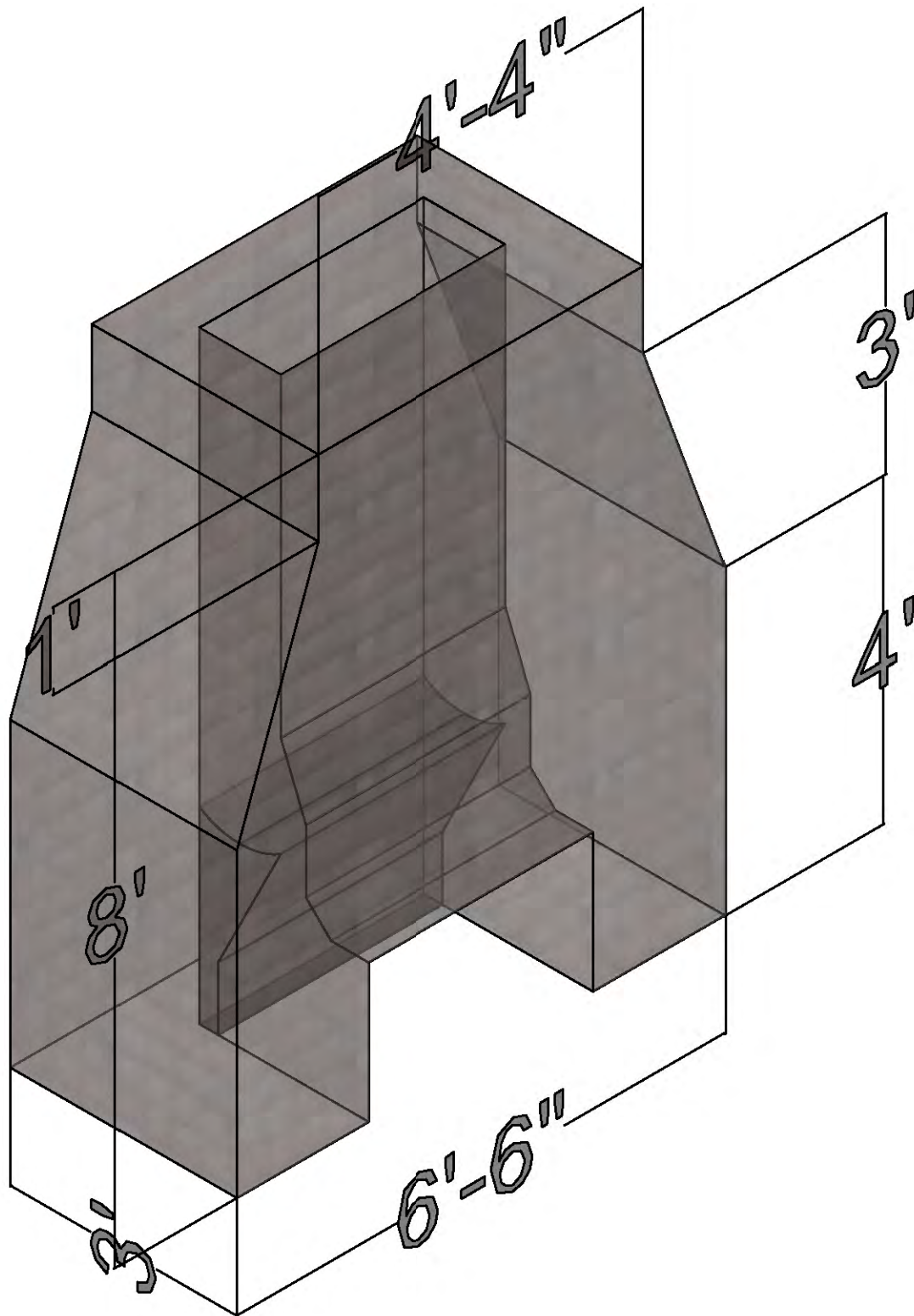
Variance requested for retaining wall to be 1 feet from side of property

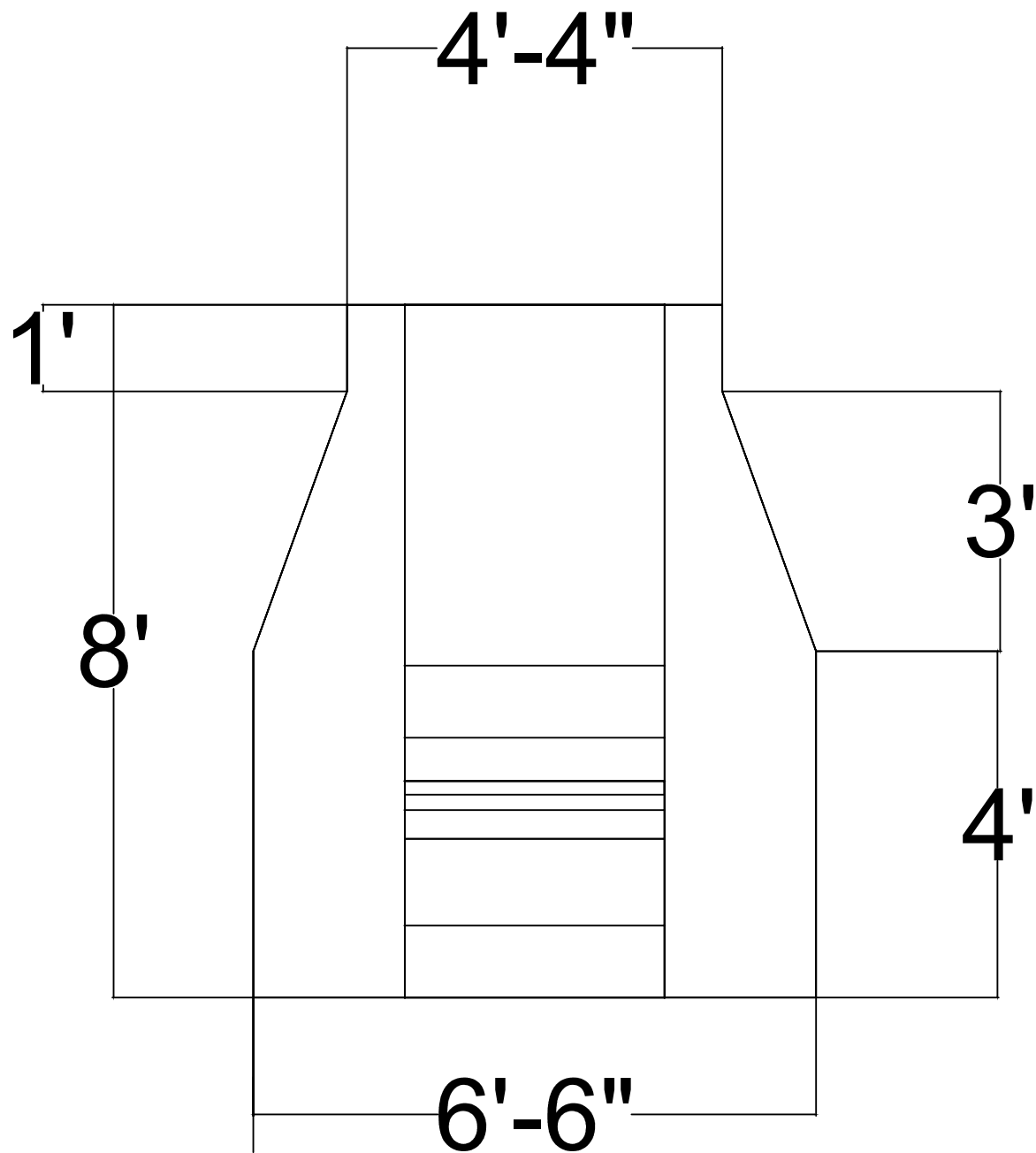


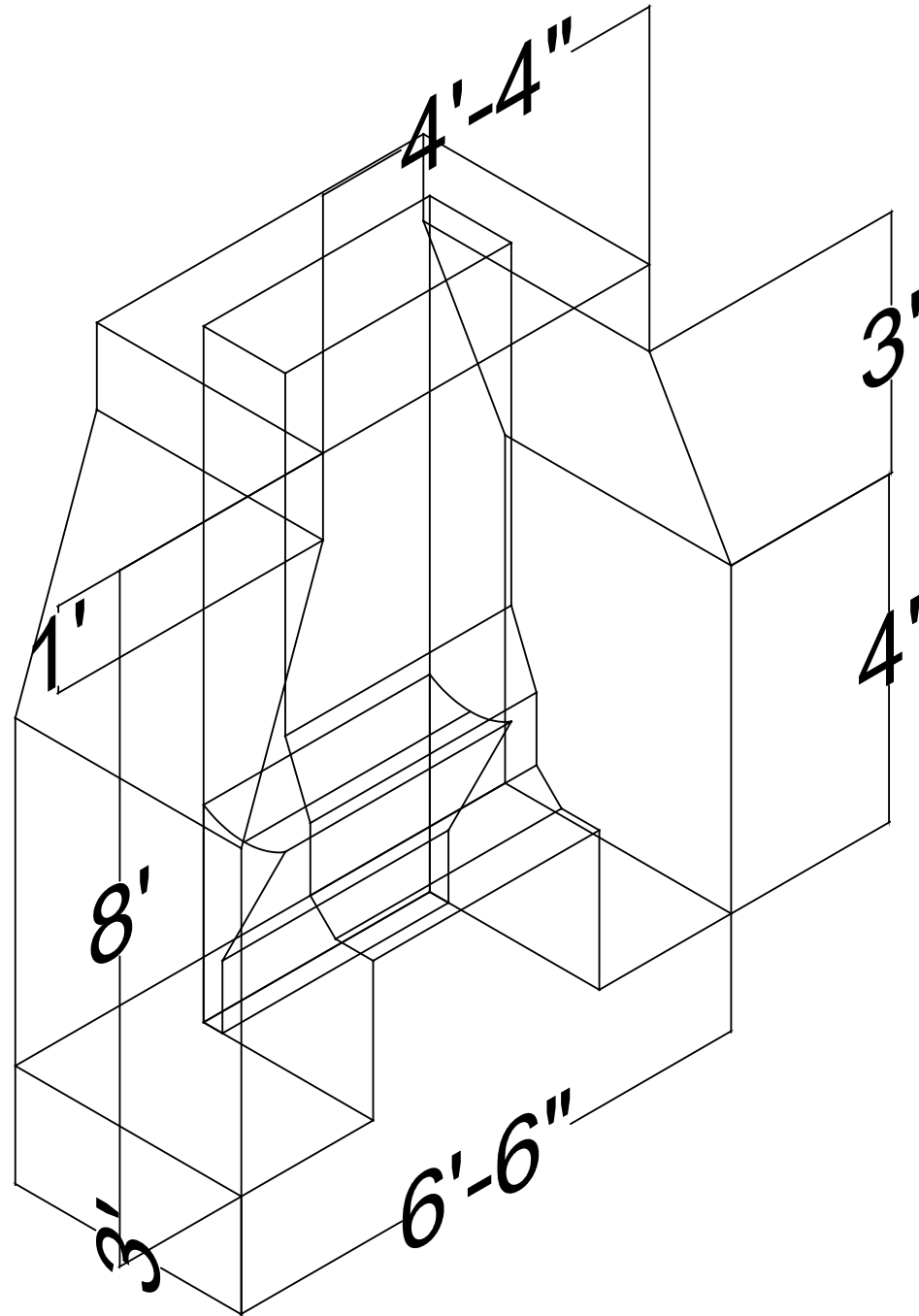


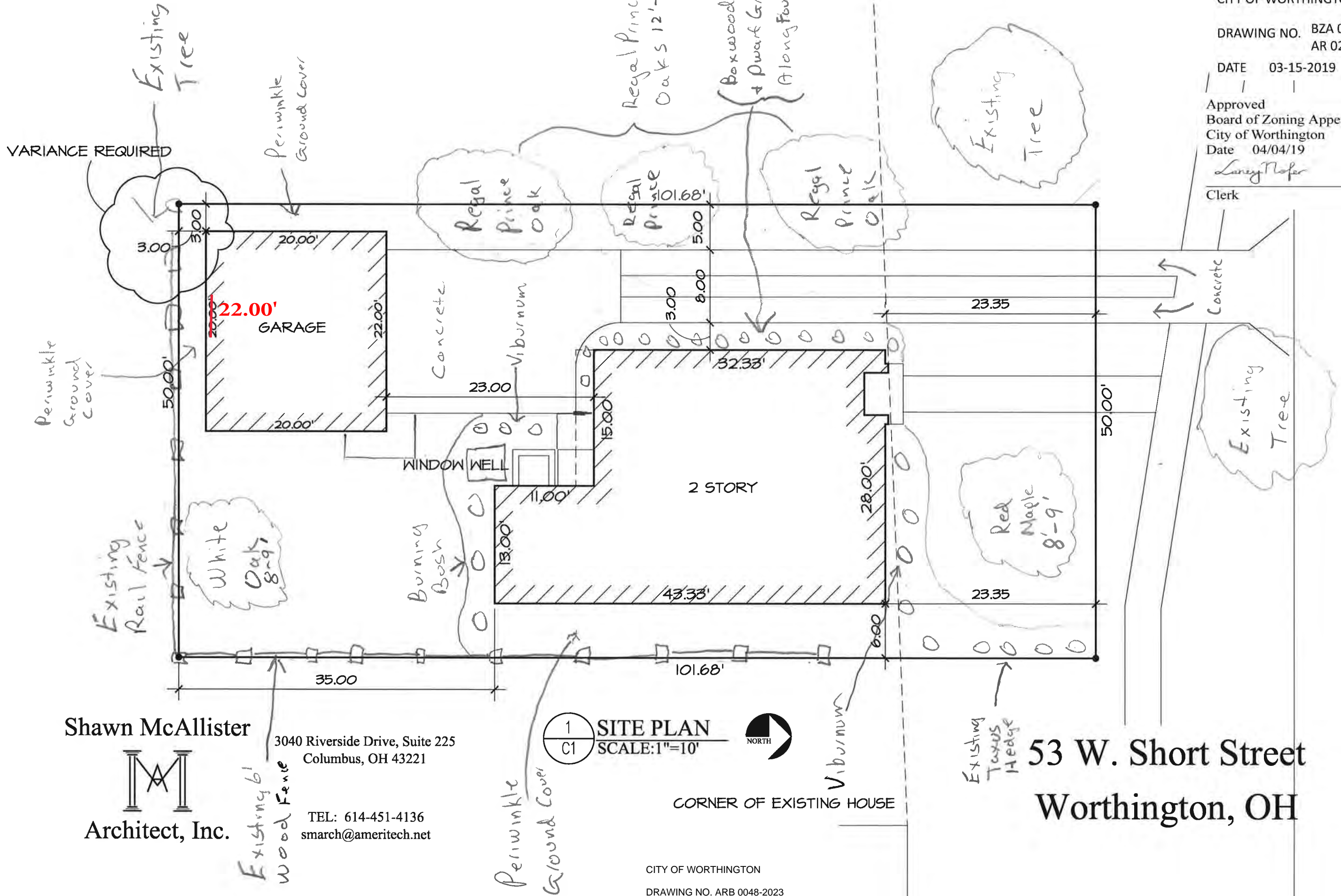
CITY OF WORTHINGTON
DRAWING NO. ARB 0048-2023
DATE 06/20/2023











Shawn McAllister



Architect, Inc.

3040 Riverside Drive, Suite 225
Columbus, OH 43221

TEL: 614-451-4136
smarch@ameritech.net



ARB APPLICATION ARB 0052-2023 690 Evening St

Plan Type: Architectural Review Board	Project:	App Date: 06/28/2023
Work Class: Certificate of Appropriateness	District: City of Worthington	Exp Date:
Status: In Review		Completed:
Valuation: \$123,540.00		Approval
Description: Addition of a composite deck, porch roof and patio to the rear yard of the house. Deck to be finished using Timbertech 'Coconut Husk' composite decking. Porch roof to be finished with synthetic trim on posts and beams, cedar tongue and groove ceiling, James Hardie board and batten interior gable ends, and James Hardie shake siding on exterior gable end. Siding to be painted to match existing barn siding on property. Roof to be metal roofing to match existing barn roof. Paver patio to be Silver Travertine and includes a space for a freestanding hot tub.		Expire Date:

Parcel: 100-000223	Main	Address: 690 Evening St	Main	Zone: R-10(Low Density Residence)
		Worthington, OH 43085		

Applicant	Owner
Aaron Larsen	Chad Kiner
265 S Jefferson Avenue	690 EVENING ST
Plain City, OH 43064	Worthington , OH 43085
Business: (614) 873-7270	Mobile: (614) 204-7879
Mobile: (614) 915-9267	

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004175	Architectural Review Board	\$124.00	\$0.00
Total for Invoice INV-00004175		\$124.00	\$0.00
Grand Total for Plan		\$124.00	\$0.00

690 Evening St.






WCT
WORLD CLASS TITLE

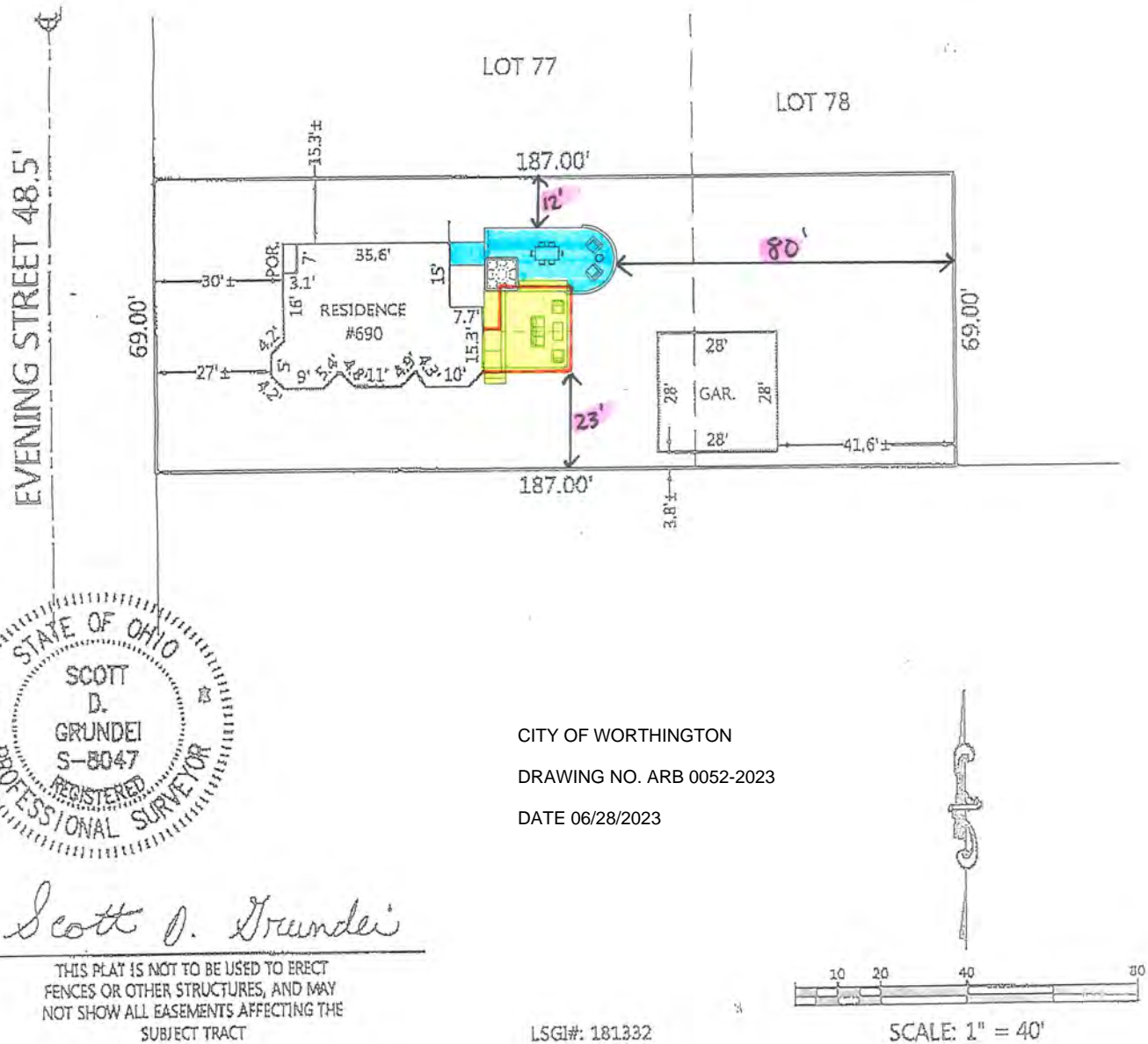
POWERED BY
STARS
SURVEY TRACKING
AND
RETRIEVAL SYSTEM
www.surveystars.com



PROPERTY ADDRESS: 690 EVENING STREET WORTHINGTON, OHIO 43085

SURVEY NUMBER: 181332

 = TIMBERTECH DECK
 = TRAVERTINE PATIO
 = PORCH ROOF OUTLINE



Scott D. Grundei

THIS PLAT IS NOT TO BE USED TO ERECT
FENCES OR OTHER STRUCTURES, AND MAY
NOT SHOW ALL EASEMENTS AFFECTING THE
SUBJECT TRACT

POINTS OF INTEREST: NONE VISIBLE.

CLIENT NUMBER: WC1603-085

DATE: 4/11/2016

BUYER: CHAD KINER AND DANIELLE KINER

SELLER: TIMOTHY SHAW

SUBLOT / ORIGINAL LOT: 77-78

SUBDIVISION: CITY OF WORTHINGTON

PLAT: 3

PG: 330

COUNTY: FRANKLIN

CERTIFIED TO: WORLD CLASS TITLE AGENCY + ARLINGTON BANK

THIS MORTGAGE LOAN IDENTIFICATION SURVEY IS NOT TO BE USED
FOR THE INSTALLATION OR BUILDING OF FENCES, SHEDS, GARAGES,
ADDITIONS OR ANY OTHER STRUCTURE. TO DETERMINE EXACT
BOUNDARY LINES, A BOUNDARY SURVEY IS REQUIRED.

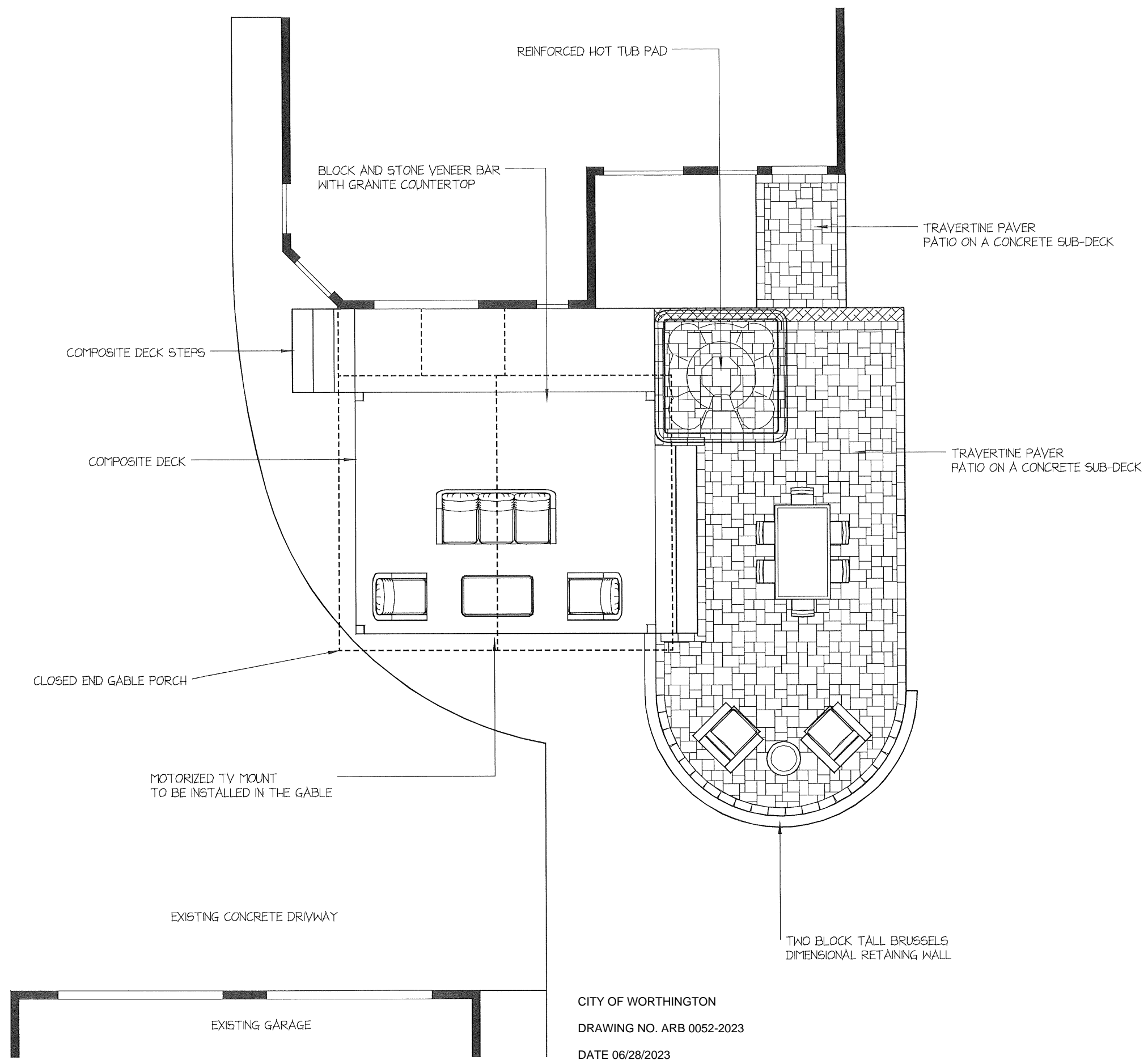
Landmark Survey
is proud to support:

susan g.
komen
FOR THE
cure. COLUMBUS

LANDMARK
Survey Group

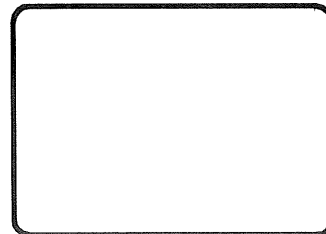
Landmark Survey Group
2099 West Fifth Avenue
Columbus, Ohio 43212
Phone: 614.485.9000
Fax: 614.485.9003

THIS PLAT DEPICTS THE SUBJECT PROPERTY IN ACCORDANCE WITH THE OHIO
ADMINISTRATIVE CODE, CHAPTER 4733-38, MINIMUM STANDARDS FOR MORTGAGE
SURVEYS IN THE STATE OF OHIO, AND IS NOT A BOUNDARY SURVEY PURSUANT TO
CHAPTER 4733-37, OHIO ADMINISTRATIVE CODE.



NOTES

NO.	DATE	DESCRIPTION

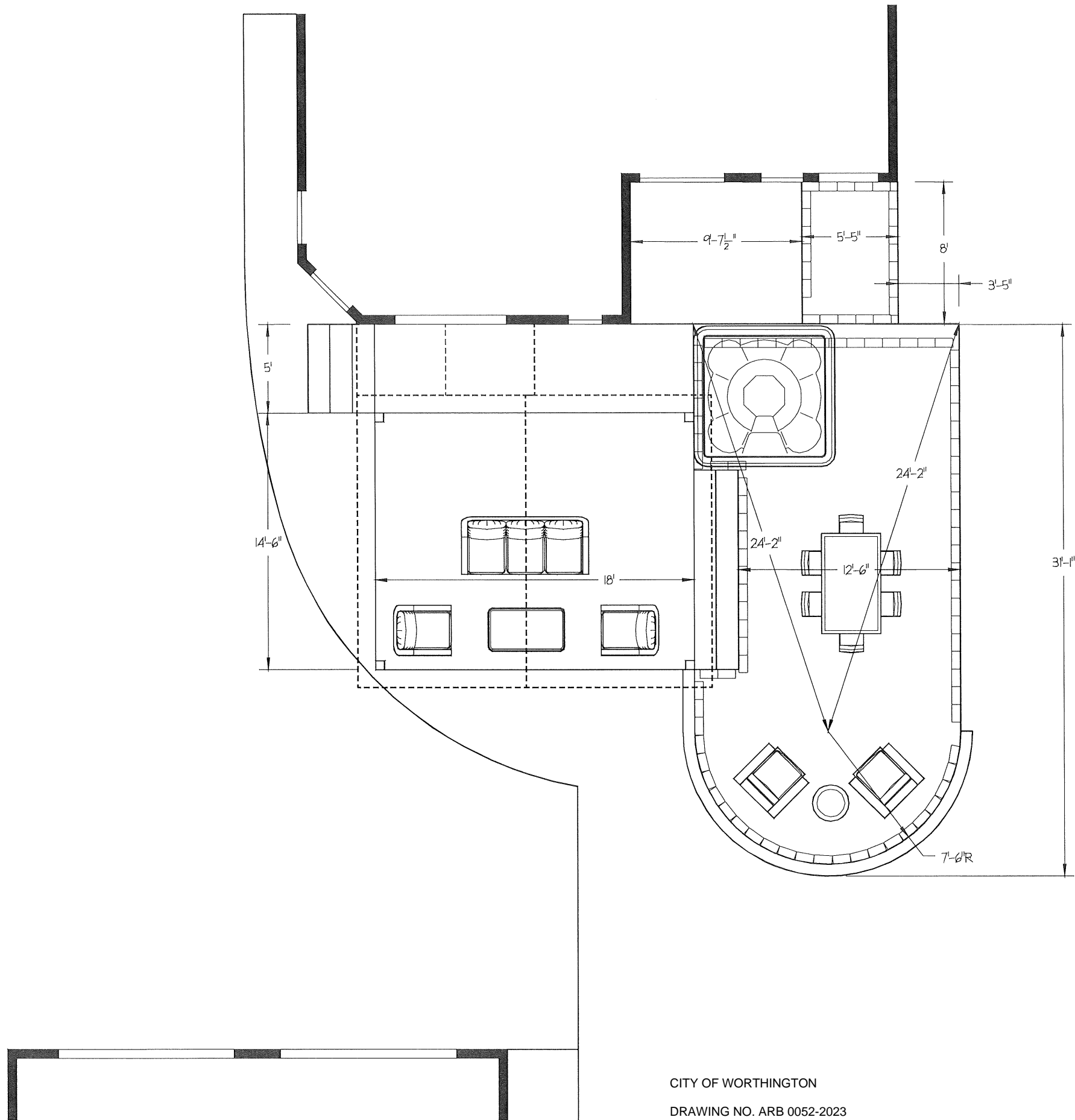


**KINER RESIDENCE
CHAD**

**690 EVENING ST
WORTHINGTON, OH 43085**

SCALE	1" = 4'
DRAWN BY	CHAD
CHECKED BY	AARON
DATE	6/8/23
DATE OF PRINT	6/8/23

PROJECT NO.	H43221
SHEET NO.	



CITY OF WORTHINGTON
DRAWING NO. ARB 0052-2023
DATE 06/28/2023

NOTES

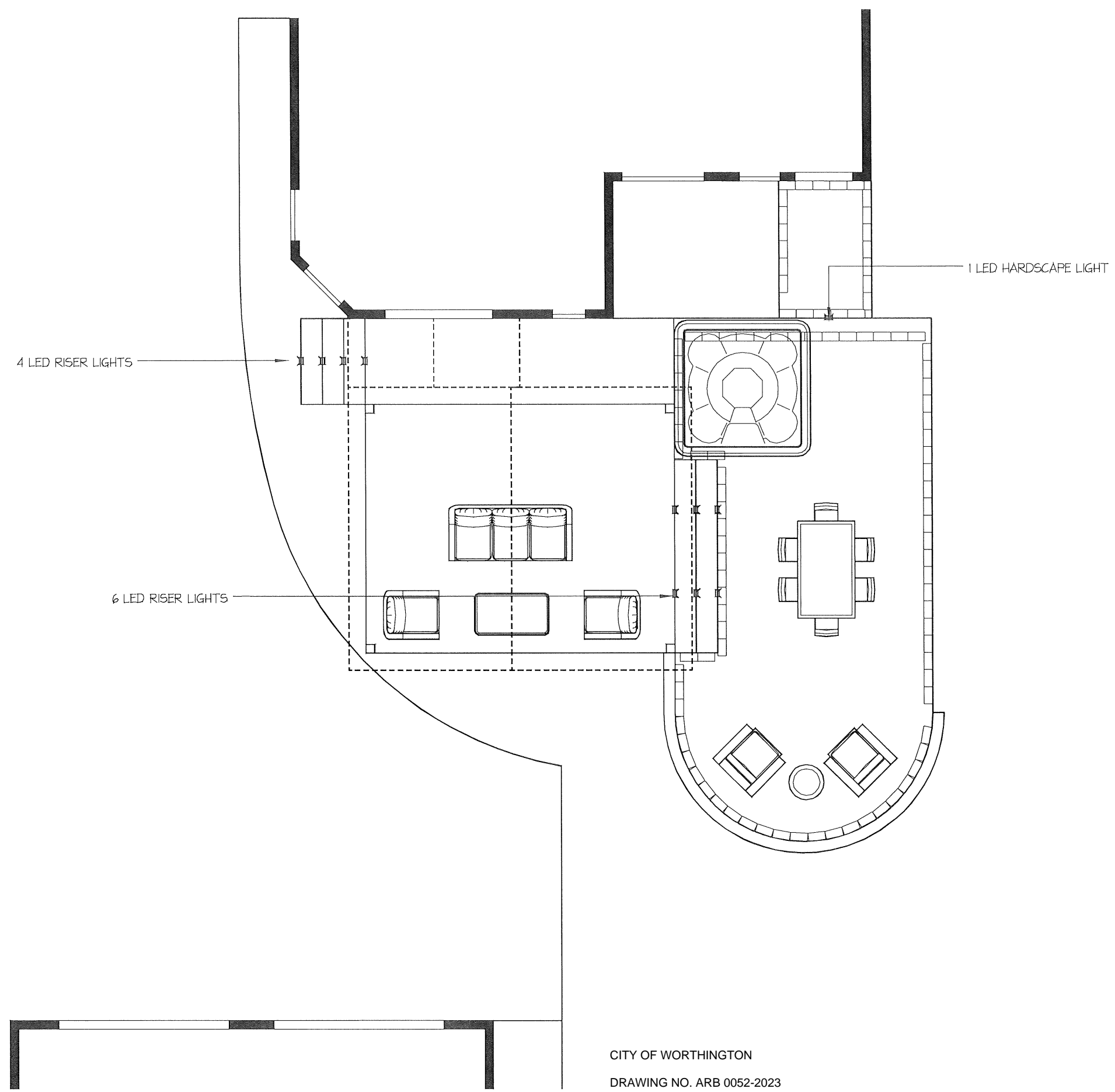
No.	Size	Description
1	1/2"	1/2"
2	1/2"	1/2"
3	1/2"	1/2"
4	1/2"	1/2"
5	1/2"	1/2"
6	1/2"	1/2"
7	1/2"	1/2"
8	1/2"	1/2"
9	1/2"	1/2"
10	1/2"	1/2"

KINER RESIDENCE
CHAD

690 EVENING ST
WORTHINGTON, OH 43085

SCALE	1" = 4'
DRAWN BY	CHAD
CHECKED BY	AARON
DATE	6/8/23
DATE OF PRINT	6/8/23

PROJECT NO.	H43221
SHEET NO.	



NOTES

KINER RESIDENCE
CHAD

690 EVENING ST
WORTHINGTON, OH 43085

SCALE	1" = 4'
DRAWN BY	CHAD
CHECKED BY	AARON
DATE	6/8/23
DATE OF PRINT	6/8/23

PROJECT NO.	H43221
SHEET NO.	

CITY OF WORTHINGTON
DRAWING NO. ARB 0052-2023
DATE 06/28/2023

Paver patio – silver border on silver travertine field



Deck - Timbertech “Coconut Husk”



Example cedar ceiling with painted posts and beams



CITY OF WORTHINGTON
DRAWING NO. ARB 0052-2023
DATE 06/28/2023

Existing metal roof to match porch



James Hardie board and batten interior gable ends



James Hardie shake siding on exterior gable end





CITY OF WORTHINGTON

DRAWING NO. ARB 0052-2023

DATE 06/28/2023



CITY OF WORTHINGTON

DRAWING NO. ARB 0052-2023

DATE 06/28/2023





CITY OF WORTHINGTON

DRAWING NO. ARB 0052-2023

DATE 06/28/2023



CITY OF WORTHINGTON

DRAWING NO. ARB 0052-2023

DATE 06/28/2023

Bullfrog Spas - Model A8

Bullfrog

Why no price?



ASK ABOUT THE SCIOTO VALLEY LOW PRICE GUARANTEE

Found a lower price in the USA? We'll match it!

The A8 from Bullfrog Spas is a comfortable large 8-person hot tub. Invite your family and friends over for a fun night of laughs and entertainment. The A8 allows up to 8 people to fit comfortably and includes 6 personalized JetPaks for the ultimate hot tub experience. Stop by Scioto Valley to view this spa and the entire line of A Series spas from Bullfrog. You can also request a personalized quote or schedule an in-person consultation with one of our spa experts to help you find the best fit to create your home oasis.



Share This Product +

VISIT US IN-STORE

This product may be available at your local Scioto Valley store. Contact us for availability.

Product Overview

For over 40 years, Scioto Valley has been one of the largest spa dealers in the country. We offer the largest inventory and the [guaranteed lowest price in the USA](#). Call now to speak to an associate for the [guaranteed lowest price in the USA](#), or request a personalized quote above.

Product Details

SKU	200110
Brand	Bullfrog
Cabinet Color	Customizable
Water Purification System	Yes
Power Type	230V
Stereo	Yes
Lighting	LED
Number of Jets	Customizable
Number of Seats	6+ Seats
Tub Color	Customizable

Product Dimensions

Length	94"
Height	38"
Width	94"

Features

Spa Specs:

- Seats: 8
- Capacity: 540 Gallons
- Weight (Dry): 758 lbs.
- Weight (Filled): 6,409 lbs.
- Pumps: 2
- Jets: Customizable
- Electrical: 230V/50amp
- Dimensions: 7' 10" Width x 7' 10" Length x 38" Height

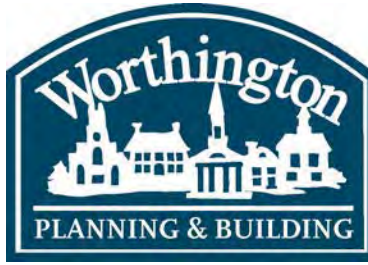
Color Options

- Cabinet Options (Standard): Coastal Grey, Woodland Brown
- Cabinet Options (Premium): Aspen/Timber, Ebony/Timber, Timber/Ebony, Lodge/Ebony
- Shell Options: Almond, Mist, Platinum, Snow

Additional Options

- WellSpring™ Quiet Circulation Pump
- A Series Audio: Rich sound, seat-surround speakers, sub-woofer, spa-side device storage, USB charging, Bluetooth compatibility, track and volume control through touch interface
- Exterior Yard Speakers
- Natural Mineral Cartridge
- SwimDek™ Surface Package
- EOS™ 03 Premium Water Care System: 2X the ozone output of WellSpring™ system, mixing chamber for enhanced water sanitization, carbon filter eliminates excess 03 gas
- WellSpring™ High Output Ozone

CITY OF WORTHINGTON
DRAWING NO. ARB 0052-2023
DATE 06/28/2023



ARB APPLICATION
ARB 0054-2023
159-161 E. Granville Rd.

Plan Type: Architectural Review Board **Project:** **App Date:** 06/30/2023
Work Class: Certificate of Appropriateness **District:** City of Worthington
Status: In Review
Valuation: \$7,000.00

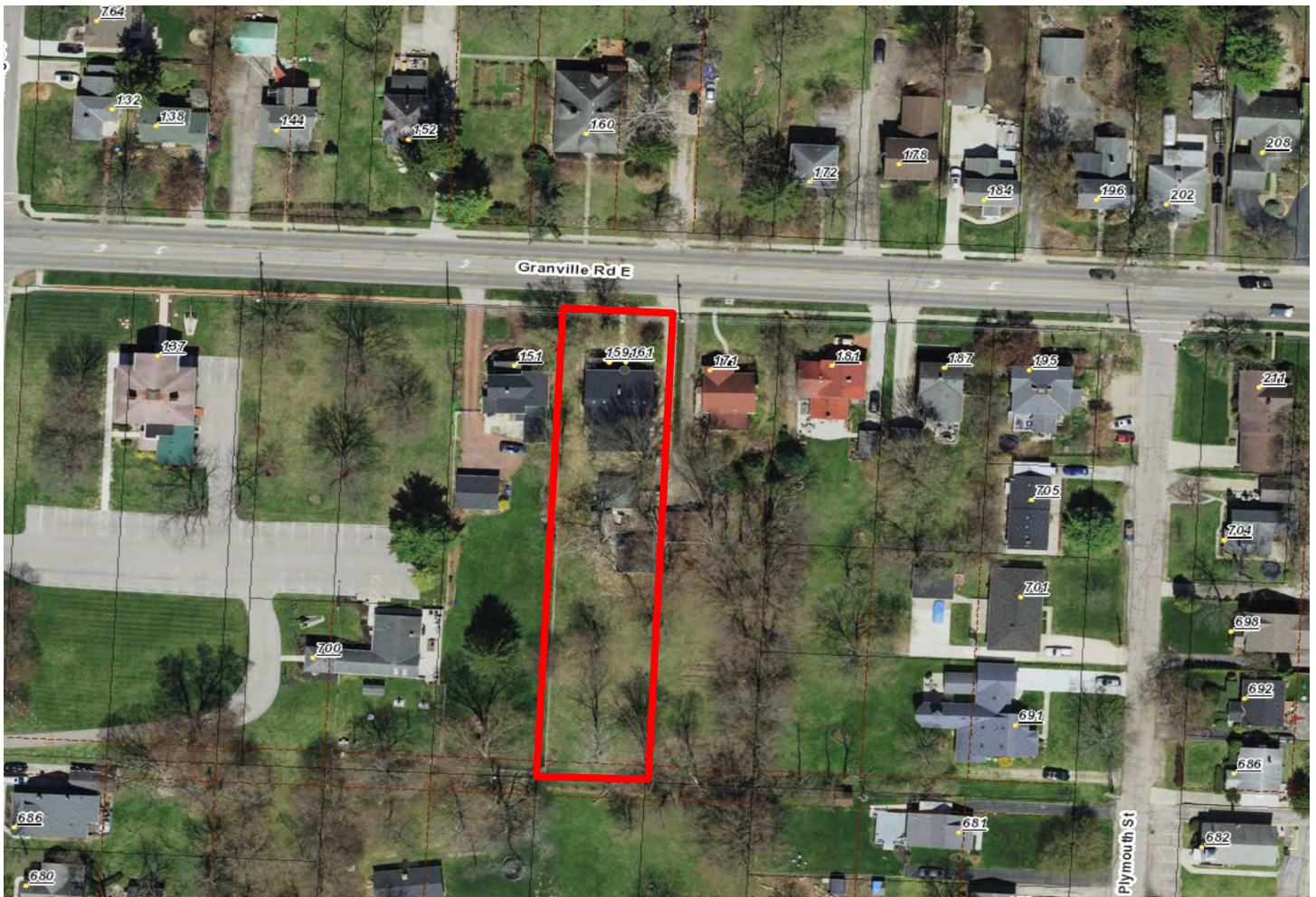
Description: Tuck point and paint existing damaged brick. The previous owners had made attempts to fix the brick in past creating a mess of sorts. There is Paint splattered on the brick and a very messy job done attempting to fix. I would like to paint the brick "Platinum Gray" from the Historical Collection Benjamin Moore and repaint thr trim white. I have spoken to the surrounding neighbors and they agree that the brick has become an eyesore. Thank you for your cons

Parcel: 100-000682 Main	Address: 161 E Dublin-Granville Rd Main Worthington, OH 43085	Zone: R-10(Low Density Residence)
-------------------------------------	--	--

Applicant / Owner
Andrew Silverman
159-161 East Dublin Granville Rd
Worthington, OH 43085
Mobile: (614) 353-3483

Invoice No.	Fee	Fee Amount	Amount Paid
INVOICED	Architectural Review Board	\$7.00	\$7.00
Total for Invoice INVOICED		\$7.00	\$7.00
Grand Total for Plan		\$7.00	\$7.00

159-161 E. Dublin-Granville Rd.





CITY OF WORTHINGTON

DRAWING NO. ARB 0054-2023

DATE 06/30/2023



CITY OF WORTHINGTON

DRAWING NO. ARB 0054-2023

DATE 06/30/2023



CITY OF WORTHINGTON

DRAWING NO. ARB 0054-2023

DATE 06/30/2023



CITY OF WORTHINGTON

DRAWING NO. ARB 0054-2023

DATE 06/30/2023



CITY OF WORTHINGTON

DRAWING NO. ARB 0054-2023

DATE 06/30/2023



CITY OF WORTHINGTON

DRAWING NO. ARB 0054-2023

DATE 06/30/2023



CITY OF WORTHINGTON

DRAWING NO. ARB 0054-2023

DATE 06/30/2023