



**ARCHITECTURAL REVIEW BOARD  
MUNICIPAL PLANNING COMMISSION  
-AGENDA-  
Thursday, July 27, 2023 at 7:00 P.M.**

Louis J.R. Goorey Worthington Municipal Building  
The John P. Coleman Council Chamber  
6550 North High Street  
Worthington, Ohio 43085

Watch online at [worthington.org/live](https://www.worthington.org/live) and comment in person or at [worthington.org/meeting-public-input](https://www.worthington.org/meeting-public-input)

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**A. Call to Order - 7:00 pm**

1. Roll Call
2. Pledge of Allegiance
3. Approval of minutes of the July 13, 2023 meeting
4. Affirmation/swearing in of witnesses.

**B. Architectural Review Board – Consent Agenda**

There will be no separate discussion of Consent Agenda items as they are considered to be routine by the Board and Commission and will be adopted by one motion. If a member of the Board & Commission, staff, or public requests discussion on a particular item, that item will be removed from the Consent Agenda and considered separately on the agenda. Approval of Consent Agenda items includes conditions as listed in the staff memo.

1. Condensing Units – **67 E. Granville Rd.** (St. John's Episcopal Church) **ARB 58-2023**

**C. Architectural Review Board – Unfinished Business**

1. Paint Brick House – **159-161 E. Granville Rd.** (Andrew Silverman) **ARB 54-2023**

**D. Architectural Review Board – New Business**

1. Demolish Rear Addition – **44 W. New England Ave.** (Kevin Rohyans) **ARB 56-2023**
2. Addition – **541 Oxford St.** (RAS Construction/Pasternack) **ARB 59-2023**

3. New Freestanding Sign – **6700 High St.** (DaNite Sign Co.) **ARB 57-2023**

**E. Municipal Planning Commission – New Business**

1. Amendment to Development Plan
  - a. New Freestanding Sign – **6700 High St.** (DaNite Sign Co.) **ADP 08-2023**
  - b. Generator – **100 Old Wilson Bridge Rd.** (Tammy Corrado) **ADP 07-2023**

**F. Other**

**G. Adjournment**



## MEMORANDUM

TO: Members of the Architectural Review Board  
Members of the Municipal Planning Commission

FROM: Lynda Bitar, Planning Coordinator

DATE: July 19, 2023

SUBJECT: Staff Memo for the Meeting of July 27, 2023

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### **B. Architectural Review Board – Consent Agenda**

There will be no separate discussion of Consent Agenda items as they are considered to be routine by the Board and Commission and will be adopted by one motion. If a member of the Board & Commission, staff, or public requests discussion on a particular item, that item will be removed from the Consent Agenda and considered separately on the agenda. Approval of Consent Agenda items includes conditions as listed in the staff memo.

#### **1. Condensing Units – 67 E. Granville Rd. (St. John's Episcopal Church) ARB 58-2023**

### **Findings of Fact & Conclusions**

#### **Background & Request:**

This Italianate style building was constructed in 1856 and is referred to in the community as the Township Hall. St. John's Church has owned the property for decades and uses the building as a fellowship hall. The building is essentially as originally constructed; however two window air conditioners were installed at some point. The church is now planning to add central air conditioning for the building and would like to install two condensing units.

#### **Project Details:**

1. Installation of the units is proposed on the south side of the building and would be 35' and 65' from the Hartford St. right-of-way line to the east.
2. The Bryant condensing units would be about 31.5" square and 39" tall.

#### **Land Use Plans:**

Worthington Design Guidelines and Architectural District Ordinance

Keep functional items such as trash containers and mechanical equipment to the rear.

#### **Recommendations:**

Staff is recommending approval of this application.

**Motion:**

**THAT THE REQUEST BY THE DAVID TALBOT ON BEHALF OF ST. JOHNS EPISCOPAL CHURCH FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL CONDENSING UNITS AT 67 E. GRANVILLE RD. AS PER CASE NUMBER ARB 58-2023, DRAWINGS NUMBER ARB 58-2023, DATED JULY 14, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

**Motion:**

**THAT THE CONSENT AGENDA BE APPROVED.**

**C. Architectural Review Board – Unfinished Business**

1. Paint Brick House – **159-161 E. Granville Rd. (Andrew Silverman) ARB 54-2023**

**Findings of Fact & Conclusions**

**Background & Request:**

This brick Prairie style duplex was built in 1921 and is in the R-10 Zoning District. Approval was received in 2020 to construct an addition and new garages on the property and the work was completed in 2022.

This request is to allow the brick structure to be painted.

**Project Details:**

1. The brick needs tuckpointing, and the owner would like to paint the entire building afterward.
2. The proposed color is Platinum Gray and the trim would be painted white.
3. The owner indicates previous owners made attempts to fix the brick and have created a mess. Apparently surrounding neighbors also feel the brick has become an eyesore.

**Land Use Plan:**

**Worthington Design Guidelines and Architectural District Ordinance**

Masonry which has been painted in the past should remain painted, since removal of paint can be difficult and damaging. However, walls that have not been painted in the past should remain unpainted.

Pointing of masonry should be done in a way that duplicates the color, texture, joint tooling, and physical composition of the building's historic pointing. Avoid high-cement mortar (more than about 1/2 part of cement, by volume), since it can create a rigid framework that can cause cracking and spalling of soft brick and limestone. A good starting point for re-pointing mortar is to use, by volume, one part lime, three to five parts sand, and as little Portland cement as is needed to make a durable mortar -- but no more than 1/2 part, as noted above. This should create a sufficiently "soft"



mortar for typical older masonry, but the proportions may have to be varied a bit to get the right color, texture, and hardness. Tooling or finishing of mortar joints should match the original tooling as closely as possible. Be especially careful that historically recessed mortar joints remain recessed, and that flush joints are truly flush, without excess mortar smeared on the surfaces of the bricks or stone.

**Recommendation:**

Staff is recommending denial of this application. The Guidelines recommend brick walls that have not been painted to remain unpainted. This building is over 100 years old, so careful tuckpointing should be all the work that is done. Some irregularities should be expected in a structure of this age, especially because it has not been well maintained. Painting would not only change the look and character of the building but would also cover brick that has characteristics that are not seen in modern brick.

**Motion:**

**THAT THE REQUEST BY ANDREW SILVERMAN FOR A CERTIFICATE OF APPROPRIATENESS TO PAINT THE BRICK AT 159-161 E. GRANVILLE RD. AS PER CASE NO. ARB 54-2023, DRAWINGS NO. ARB 54-2023, DATED JUNE 30, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

**D. Architectural Review Board – New Business**

1. Demolish Rear Addition – 44 W. New England Ave. (Kevin Rohyans) **ARB 56-2023**

**Findings of fact & Conclusions**

**Background & Request:**

This property is roughly 1/4 acre in size and bordered on three sides by a municipal parking lot. The parcel was rezoned to C-5 in 2022. The Colonial Revival two-story house on this property was constructed in 1929 and is a contributing building in the Worthington Historic District. The original garage was demolished and a new one was constructed in 2018. A new roof and windows were approved in 2022 by the ARB.

A one-story addition that is 10'1" wide x 20' deep is at the rear of the structure at the west end. The structure has a door in the middle of the east side and 3 curved steps leading down to an existing patio. Demolition of the addition and associated stairs is proposed with this application.

**Project Details:**

1. The structure to be demolished has lap siding that was painted to match the red brick, and a flat roof.
2. The exposed wall would get a new 15 light door surrounded by brick that has either been cleaned and repointed or is new. A light fixture would be added above or next to the new door and the existing at the east end.

3. Proposed is a set of concrete stairs with Fypon railing leading to a 16' wide x 10' deep stamped concrete patio.
4. Plant materials are proposed adjacent to the side and rear of the patio.

**Land Use Plans:****Worthington Design Guidelines and Architectural District Ordinance**

A decision on whether a particular demolition is appropriate must be made in light of several factors, including whether the demolition is full or partial; the age of the structure; the level of integrity of the structure being demolished (has it been extensively altered?); the impact of the demolition on Worthington's character; and plans for the site following demolition (is the proposed replacement appropriate for Worthington?)

Decks and patios should be limited to the rear of buildings. Patios may be constructed of concrete, stone or brick. Consider the style of the house when designing decks and patios, since some styles and some designs are not compatible.

**Recommendation:**

Staff is recommending approval of this request. Although the age of the structure is not known, it does appear to have been added after construction of the main house. The character of the structure should not be altered as the portion to be removed is at the rear of the house and much smaller. The planned patio is an acceptable use of the area.

**Motion:**

**THAT THE REQUEST BY KEVIN ROHYANS FOR A CERTIFICATE OF APPROPRIATENESS TO DEMOLISH A REAR ADDITION AND INSTALL A PATIO AT 44 W. NEW ENGLAND AVE. AS PER CASE NO. ARB 56-2023, DRAWINGS NO. ARB 56-2023, DATED JULY 11, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

2. Addition – **541 Oxford St. (RAS Construction/Pasternack) ARB 59-2023**

**Findings of Fact & Conclusions****Background & Request:**

This Cottage style house was built in 1921 and is a contributing property in the Worthington Historic District. The property is at the northwest corner of Oxford and South Streets on a 45' wide x 150' deep lot. The house was purchased and renovated in 2019 and transferred to the current owners in 2020. In 2021, approval was given to construct a two-story addition at the rear of the house, but the project was not executed.

This request is for approval to construct a one-story addition.

**Project Details:**

1. Removal of the rear entry deck, roof and stairs would make way for a 28'4" wide x 16' deep one-story addition. The addition would extend to the rear of the house on the same planes as the house walls. On the north side the wall is proposed to be 9' 1 7/8" from the property line; on the south side the wall would be 7' 6 1/8" from the property line of South St. which matches the variance approved for the previous addition that was not constructed. A landing and steps are shown on the north side, about 5' 10" from the property line. A variance is needed to build the stairs in that location.
2. A mud room and pantry would be part of the first floor addition which is mainly a sunroom. A small second floor addition, 9' 3 7/8" wide x 3' 6" deep, is proposed with a sliding door to provide access to the roof of the first floor addition. On that roof there would be composite decking over rubber membrane roofing. A 36" high composite railing is proposed at the perimeter of the roof.
3. A concrete foundation would be painted white to match the house foundation. Wood painted white is proposed for panels below the windows and for the columns between of windows. The proposed windows are six over six, double hung, and three light transoms would be above each window.
4. On the north side, board and batten siding painted white is proposed above a wood knee wall. Two coach lights would be next to the door which is shown with six lights over two panels. The landing, stairs and railings would also be white.

**Land Use Plans:**Worthington Design Guidelines and Architectural District Ordinance

Additions: Residential additions are recommended to maintain similar roof forms; be constructed as far to the rear and sides of the existing residence as possible; be subordinate; and have walls set back from the corners of the main house. Be sure that window designs are appropriate for the style or time period of the house.

Landscaping: Consider only native and noninvasive species. The use of landscape details to highlight architectural features or screen or soften undesirable views should be reviewed. Plant and maintain street trees in planting areas between the street and sidewalk.

Compatibility of design and materials, exterior detail and relationships, and window treatment are standards of review in the Architectural District ordinance.

**Recommendations:**

Staff is recommending *approval* of this application. Although the walls are not set back from the corners, the addition would be subordinate to and respect the character of the original house. Landscaping could be added to mitigate any impact given the proximity to the street.

**Motion:**

**THAT THE REQUEST BY RAS CONSTRUCTION ON BEHALF OF MATTHEW AND MOLLY PASTERNAK FOR A CERTIFICATE OF APPROPRIATENESS TO CONSTRUCT AN ADDITION AT 541 OXFORD ST. AS PER CASE NO. ARB 59-2023, DRAWINGS NO. ARB 59-2023, DATED JULY 14, 2023, BE APPROVED BASED ON THE**

## **FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

3. New Freestanding Sign – **6700 High St.** (DaNite Sign Co.) **ARB 57-2023**

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### **E. Municipal Planning Commission – New Business**

1. Amendment to Development Plan

a. New Freestanding Sign – **6700 High St.** (DaNite Sign Co.) **ADP 08-2023**

### **Findings of Fact & Conclusions**

#### **Background & Request:**

This property was originally developed in the late 1960's as an office for Ohio Medical Indemnity, which was most recently Anthem Blue Cross and Blue Shield. The property is made up of 9 parcels totaling 19 acres of land and houses a 200,000 square foot building and many acres of parking. Currently First Bank of Central Ohio is a tenant in the building.

In 2021, the property owner requested approval of a different multi-tenant freestanding sign but did not go forward to City Council due to the property being sold. The property has since transferred back to the original owner and a different freestanding sign is now proposed.

#### **Project Details:**

1. Location of the freestanding sign would be in front the building, perpendicular to the street and at least 10' from the right-of-way.
2. A 6'6" high x 9'10" wide x 18" deep sign cabinet is proposed suspended between two 8'10" high x 16" wide x 16" deep brick columns and two 15" wide tinted acrylic panels. There is a 12" high x 16' wide x 22" deep black aluminum trim piece on top of the sign with 16" high address numbers on top. Total sign area would be 8'7.5" x 16' wide = 138 square feet per side. (Although overall sign height is shown as 8'10" plus 21.5" for the address numbers, sign area would exclude the bottom 2' of the brick columns.)
3. The sign faces would be black aluminum with routed business names backed in white being the only elements illuminated at night. Six tenant panels would be on each side.
4. Required variances:
  - Business Listings (3 allowed) – Six panels shown
  - Size – Two signs are allowed at 60 square feet total area each; proposed 138 square feet per side x 2 = 276 square feet total.

## **Land Use Plans:**

### Worthington Design Guidelines and Architectural District Ordinance

While the regulations permit a certain maximum square footage of signs for a business, try to minimize the size and number of signs. Place only basic names and graphics on signs along the street so that drive-by traffic is not bombarded with too much information. Free-standing signs should be of the “monument” type; they should be as low as possible. Such signs should have an appropriate base such as a brick planting area with appropriate landscaping or no lighting. Colors for signs should be chosen for compatibility with the age, architecture and colors of the buildings they serve, whether placed on the ground or mounted on the building.

### Worthington Code Sections:

#### 1170.02 Definitions and Provisions.

(j) “Joint identification sign” means a sign displaying more than one business or listing more than one associate, partner, employee or agent of any business.

- (1) Freestanding joint identification signs shall display no more than three businesses or listings.

#### 1170.04 Measurement.

(a) Sign area is calculated by totaling all display areas of a sign, including sign faces, molding and framing, but excluding supporting members less than or equal to twenty-four inches in width.

#### 1170.05 Commercial and Industrial Requirements.

(e) C-3 and I-1 Zoning Districts – Integrated Institutional, Office or Industrial Uses.

Integrated Institutional, Office or Industrial Uses in the C-3 and I-1 zoning districts as provided for in Section 1175.02 shall be permitted a maximum of two freestanding signs per development. Each sign shall not be over fifteen feet in height and shall have a maximum total area of 60 square feet.

## **Staff Analysis:**

1. Although this is a large property, the proposed sign is so much larger than the other signs in the corridor it would look out of place. Simplification of the supporting structure may be warranted, for example: slightly wider brick columns and elimination of the acrylic panels; or a simple brick base and sign cabinet.
2. A sign cabinet with six tenant panels per side should be acceptable in a reduced size.

## **Recommendation:**

Redesign of the sign to simplify the look and reduce the overall size is recommended.

## **ARB Motion:**

**THAT THE REQUEST BY DANITE SIGN COMPANY FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL A NEW FREESTANDING SIGN AT 6700 N. HIGH ST. AS PER CASE NO. ARB 57-2023, DRAWINGS NO. ARB 57-2023, DATED JULY 12, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

**MPC Motion:**

**THAT THE REQUEST BY DANITE SIGN COMPANY TO AMEND THE DEVELOPMENT PLAN FOR 6700 N. HIGH ST., AS PER CASE NO. ADP 08-2023 DRAWINGS NO. ADP 08-2023, DATED JULY 12, 2023, BE RECOMMENDED TO THE CITY COUNCIL FOR APPROVAL BASED ON THE PLANNING GOALS OF THE CITY, AS REFERENCED IN THE LAND USE PLANS AND FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

b. Generator – 100 Old Wilson Bridge Rd. (Tammy Corrado) ADP 07-2023

**Findings of Fact & Conclusions****Background & Request:**

This property is located on the north side of Old Wilson Bridge Rd. in the C-3 Zoning District and has an approved Final Development Plan. Application must be made when the property owner wishes to change, adjust or rearrange buildings, parking areas, entrances, heights or yards, following approval of a Final Development Plan. When variance requests are included, the modification must be approved by City Council.

The multi-tenanted office building is located on a parcel just over 2 acres in size, with other office buildings to the west; the Piano Conservatory to the east; the Shops at Worthington Place to the south; and the I-270 right-of-way to the north.

In 2009 a generator was approved north of the building for another tenant; this is a request for a second generator.

**Project Details:**

1. The generator is proposed 10' from the rear property line and northeast of the existing generator and dumpster enclosure.
2. Dimensions of the generator are 112" long x 48" wide x 50.5" high.

**Land Use Plans:****Worthington Code:****[1149.07 Setback of Building on Principal Streets and Highways.](#)**

The setback for all buildings and accessory buildings along major traffic routes shall be:

- (a) Along freeways and expressways: 50 feet

**Wilson Bridge Corridor:****[1181.05 Development Standards.](#)****(a) Site Layout.**

- (4) **Equipment.** Exterior service, utility, trash, and mechanical equipment shall be located to the rear of buildings if possible and screened from view with a wall, fence or landscaping. Such equipment shall be completely screened from view. Materials shall be consistent with

those used in the building and/or site. Equipment located on buildings shall match the color of the building.

Worthington Comprehensive Plan

The 2005 Worthington Comprehensive Plan stresses the importance of local business as a means to support municipal services provided to residents. The plan points to the success of the freeway commercial area as being critical to the health of the City.

**Recommendation:**

Staff feels approval of this request should be recommended to City Council.

**Motion:**

**THAT THE REQUEST BY TAMMY CORRADO FOR APPROVAL TO AMEND THE DEVELOPMENT PLAN BY ADDING A GENERATOR AT 100 OLD WILSON BRIDGE RD. AS PER CASE NO. ADP 07-2023, DRAWINGS NO. ADP 07-2023, DATED JULY 11, 2023, BE APPROVED BASED PLANNING GOALS OF THE CITY AS REFERENCED IN THE LAND USE PLANS, AND ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**



## ARB APPLICATION ARB 0058-2023 67 E. Granville Rd.

<b>Plan Type:</b> Architectural Review Board	<b>Project:</b>	<b>App Date:</b> 07/14/2023
<b>Work Class:</b> Certificate of Appropriateness	<b>District:</b> City of Worthington	<b>Exp Date:</b>
<b>Status:</b> In Review		<b>Completed:</b>
<b>Valuation:</b> \$14,800.00		<b>Approval</b>
<b>Description:</b> Installation of two a/c condenser units on the south side of the St Johns Fellowship Hall at 67 E. Dublin Granville Rd. Unit 1 being 65 ft west of eastern property line and unit 2 being 38 feet west of eastern property line. Each unit will be 31-3/16 sq. and 38-7/8 tall.		<b>Expire Date:</b>

<b>Parcel:</b> 100-000191	Main	<b>Address:</b> 67 E Dublin-Granville Rd Worthington, OH 43085	Main	<b>Zone:</b> S-1(Special)
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Applicant David Talbot 700 High Street Worthington, OH 43085 Mobile: (614) 804-5655	Owner Vestry of St. John's Church and parts Adjacent. Business: (614) 846-5180
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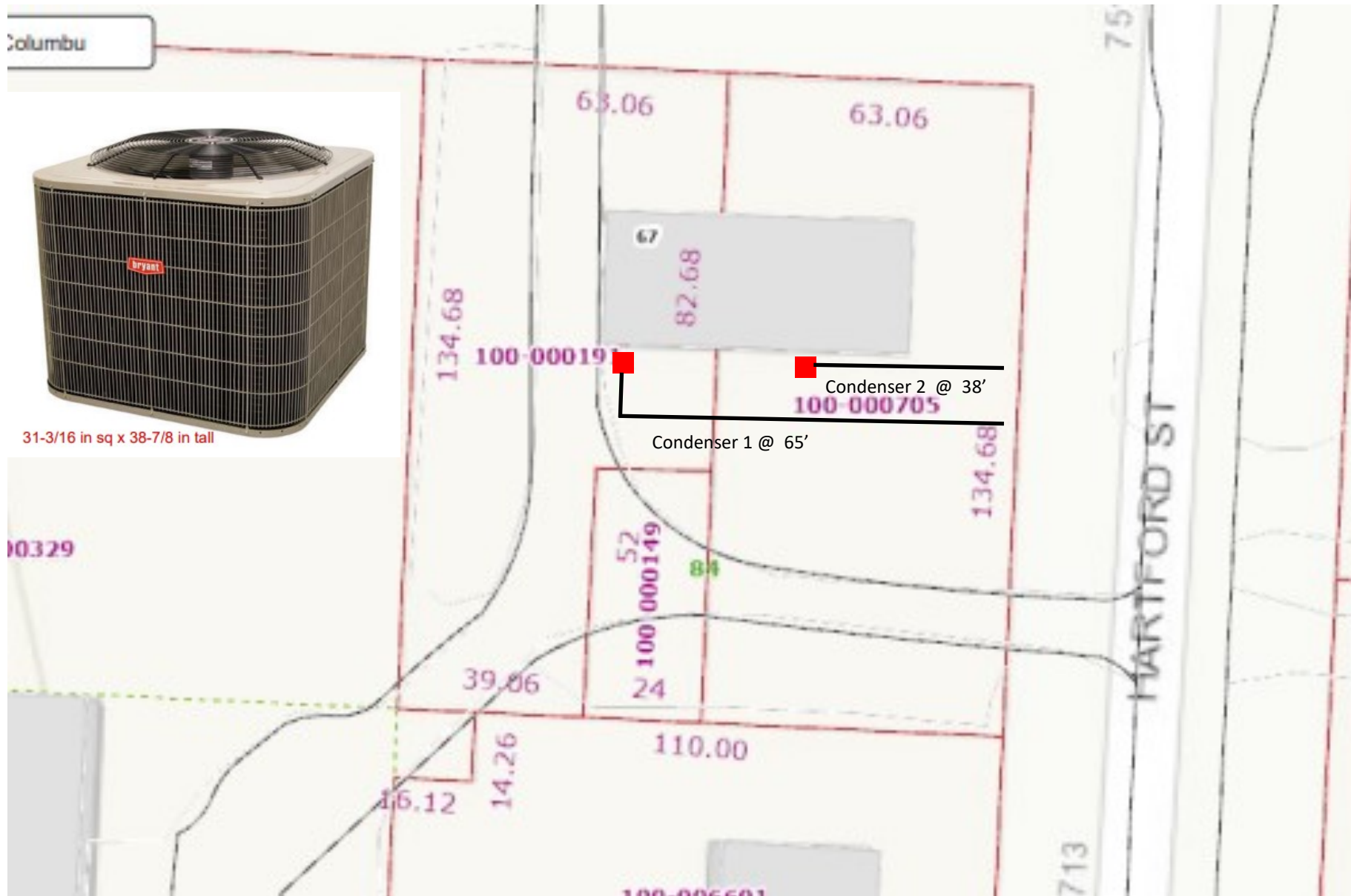
Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004225	Architectural Review Board	\$15.00	\$15.00
Total for Invoice INV-00004225		\$15.00	\$15.00
Grand Total for Plan		\$15.00	\$15.00



# 67 E. Granville Rd.











CITY OF WORTHINGTON  
DRAWING NO. ARB 0058-2023  
DATE 07/14/2023



115S

**Legacy™ Line Single-Stage Air Conditioner  
with Puron® Refrigerant  
1-1/2 To 5 Tons**



## Product Data



This unit has been designed utilizing Bryant's Puron refrigerant. The environmentally sound refrigerant allows you to make a responsible decision in the protection of the earth's ozone layer.

**NOTE:** Ratings contained in this document are subject to change at any time. Always refer to the AHRI directory ([www.ahridirectory.org](http://www.ahridirectory.org)) for the most up-to-date ratings information.

### Industry leading Features / Benefits

#### Efficiency

- 13.8 - 16.0 SEER2 (14 - 16.5 SEER) / 11.2 - 13.0 EER2 (11.2 - 13.0 EER)
- Microtube Technology refrigeration system
- Indoor air quality accessories available

#### Reliability

- Puron refrigerant - environmentally sound, won't deplete the ozone layer and low lifetime service cost.
- Scroll compressor
- Internal pressure relief valve
- Internal thermal overload
- Filter drier

#### Durability

Duraguard™ Protection Package:

- Solid, durable sheet metal construction
- Dense wire coil guard

#### Applications

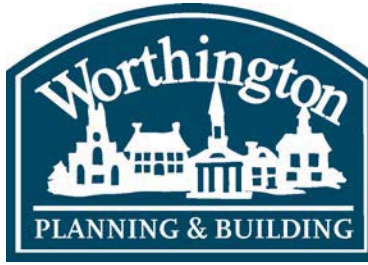
- Long-line – up to 250 feet (76.20 m) total equivalent length, up to 200 feet (60.96 m) condenser above evaporator, or up to 80 ft. (24.4 m) evaporator above condenser (See Long Line Guide for more information.)
- Low ambient cooling (down to 0°F / -18°C ) with approved low ambient accessory kits.

## STANDARD FEATURES

Features	18	24	30	36	42	48	60
Puron Refrigerant	X	X	X	X	X	X	X
SEER2 (Range depending on indoor combination)	14.3 - 16	14.3 - 16	14.3 - 16	14.3 - 16	13.8 - 15	13.8 - 15	13.8 - 15
Scroll Compressor	X	X	X	X	X	X	X
Field Installed Filter Drier	X	X	X	X	X	X	X
Front Seating Service Valves	X	X	X	X	X	X	X
Internal Pressure Relief Valve	X	X	X	X	X	X	X
Internal Thermal Overload	X	X	X	X	X	X	X
Long Line Capability	X	X	X	X	X	X	X
Low Ambient Capability with Kit	X	X	X	X	X	X	X



CITY OF WORTHINGTON  
DRAWING NO. ARB 0058-2023  
DATE 07/14/2023



**ARB APPLICATION**  
**ARB 0054-2023**  
**159-161 E. Granville Rd.**

<b>Plan Type:</b> Architectural Review Board	<b>Project:</b>	<b>App Date:</b> 06/30/2023
<b>Work Class:</b> Certificate of Appropriateness	<b>District:</b> City of Worthington	
<b>Status:</b> In Review		<b>Meetings:</b> 7-13-2023 Tabled (No Applicant)
<b>Valuation:</b> \$7,000.00		

**Description:** Tuck point and paint existing damaged brick. The previous owners had made attempts to fix the brick in past creating a mess of sorts. There is Paint splattered on the brick and a very messy job done attempting to fix. I would like to paint the brick "Platinum Gray" from the Historical Collection Benjamin Moore and repaint thr trim white. I have spoken to the surrounding neighbors and they agree that the brick has become an eyesore. Thank you for your cons

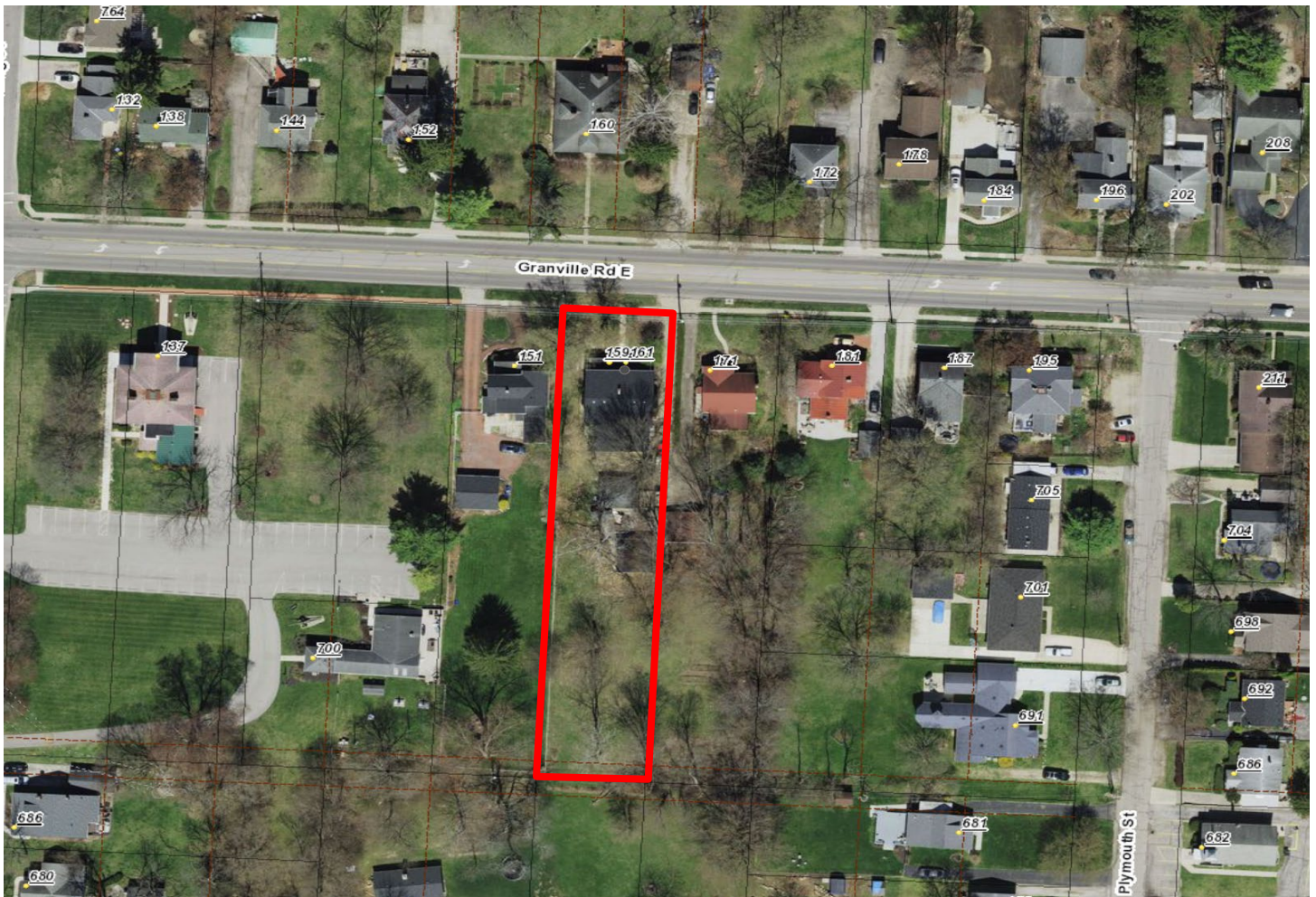
<b>Parcel:</b> 100-000682	Main	<b>Address:</b> 161 E Dublin-Granville Rd Worthington, OH 43085	Main	<b>Zone:</b> R-10(Low Density Residence)
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Applicant / Owner  
Andrew Silverman  
159-161 East Dublin Granville Rd  
Worthington, OH 43085  
Mobile: (614) 353-3483

Invoice No.	Fee	Fee Amount	Amount Paid
INVOICED	Architectural Review Board	\$7.00	\$7.00
	Total for Invoice INVOICED	\$7.00	\$7.00
	Grand Total for Plan	\$7.00	\$7.00



# 159-161 E. Dublin-Granville Rd.







CITY OF WORTHINGTON

DRAWING NO. ARB 0054-2023

DATE 06/30/2023





CITY OF WORTHINGTON

DRAWING NO. ARB 0054-2023

DATE 06/30/2023





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DATE 06/30/2023



CITY OF WORTHINGTON

DRAWING NO. ARB 0054-2023

DATE 06/30/2023



**ARB APPLICATION**  
**ARB 0056-2023**  
**44 W. New England Ave.**

<b>Plan Type:</b> Architectural Review Board	<b>Project:</b>	<b>App Date:</b> 07/11/2023
<b>Work Class:</b> Certificate of Appropriateness	<b>District:</b> City of Worthington	<b>Exp Date:</b>
<b>Status:</b> In Review		<b>Completed:</b>
<b>Valuation:</b> \$8,000.00		<b>Approval</b>
<b>Description:</b> Demolition of the addition on the North side of the building.		<b>Expire Date:</b>

<b>Parcel:</b> 100-000679	Main	<b>Address:</b> 44 W New England Ave	Main	<b>Zone:</b> C-5(Central Commercial)
		Worthington, OH 43085		

Applicant	Owner
Kevin Rohyans	44 New England LLC
634 High St Suite A	634 HIGH ST A
Worthington, OH 43085	Worthington , OH 43085
Business: 6143329237	

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004215	Architectural Review Board	\$8.00	\$0.00
Total for Invoice INV-00004215		\$8.00	\$0.00
Grand Total for Plan		\$8.00	\$0.00



# 44 W. New England Ave.





# 44 E. New England Ave.

44-46 E. NEW ENGLAND AVE.  
WORTHINGTON, OHIO 43085

BOARD OF ARCHITECTURE REVIEW



## INDEX

Sheet Number	Sheet Name
ARCHITECTURAL	
SD-000	COVER SHEET
SD-001	EXISTING SITE PHOTO KEY PLAN
SD-002	EXISTING SITE PHOTOS
SD-003	EXISTING SITE PHOTOS
SD-100	EXISTING SITE PLAN
SD-101	DEMO FLOOR PLAN
SD-200	DEMO ELEVATIONS
SD-201	DEMO ELEVATIONS
SD-300	PROPOSED SITE PLAN
SD-301	PROPOSED FLOOR PLAN
SD-400	PROPOSED ELEVATIONS
SD-401	PROPOSED ELEVATIONS

**BERARDI+**

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CITY OF WORTHINGTON  
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44-46 E. NEW ENGLAND AVE  
WORTHINGTON, OHIO 43085

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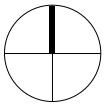
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CITY OF WORTHINGTON  
DRAWING NO. ARB 0056-2023  
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DATE: 07/11/2023  
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EXISTING SITE  
PHOTO KEY  
PLAN  
SD-001

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\*FOR CORRESPONDING IMAGES REFER TO THE NEXT TWO PAGES

photo key plan





IMAGE 01: VIEW FACING NORTH FROM NEW ENGLAND AVE



IMAGE 02: VIEW FACING NORTHWEST SHOWING EAST ELEVATION



IMAGE 03: VIEW FACING WEST FROM DRIVEWAY



IMAGE 04: VIEW FACING SOUTH SHOWING NORTH ELEVATION



IMAGE 05: VIEW FACING SOUTH



IMAGE 06: VIEW FACING SOUTHEAST SHOWING WEST ELEVATION

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EXISTING SITE  
PHOTOS

SD-002

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IMAGE 07: VIEW FACING WEST SHOWING EAST ELEVATION



IMAGE 08: VIEW FACING WEST SHOWING BUILDING CONNECTION



IMAGE 09: VIEW FACING NORTHEAST SHOWING WEST ELEVATION



IMAGE 10: VIEW SHOWING STAIRS TO FOUNDATION LEVEL



IMAGE 11: VIEW FACING EAST SHOWING WEST ELEVATION



IMAGE 12: VIEW FACING NORTHEAST SHOWING PARTIAL WEST ELEVATION

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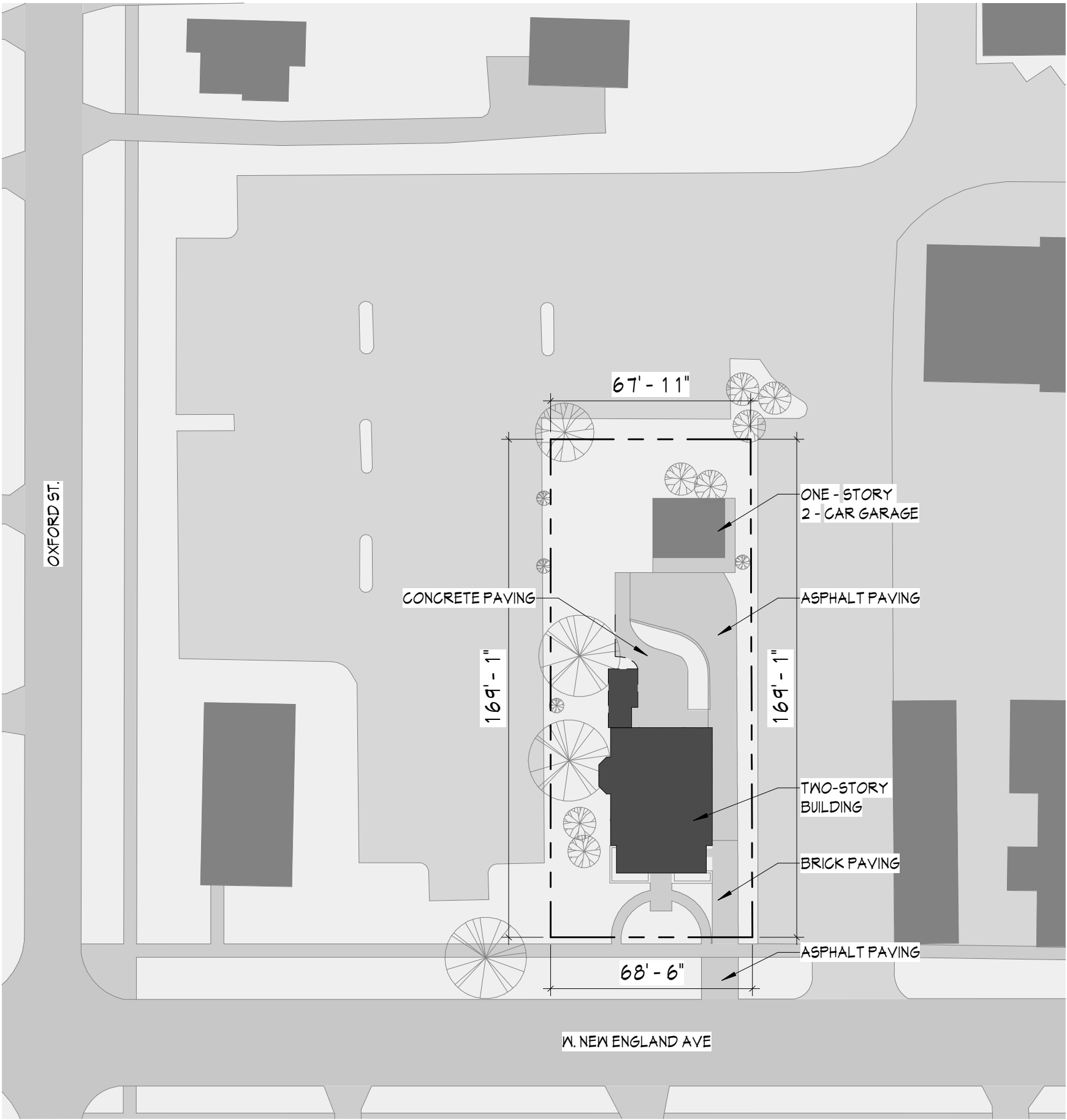
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REVIEW

DATE: 07/11/2023  
PROJECT #: 23113

EXISTING SITE  
PHOTOS

SD-003





**Building Area Legend**

- BUILDING
- BUILDING IN CONTRACT
- GRASS
- PARKING
- PAVING
- STREET

**GENERAL ZONING INFORMATION:**

ADDRESS: 44-46 E New England Avenue, Worthington, Ohio  
PARCEL NUMBER: 100-000679  
ZONING CLASSIFICATION/DISTRICT: C-5  
TOTAL SITE AREA: 11,380 sf  
FLOOD INSURANCE RATE MAP NUMBER: Zone X  
MOST RECENT EFFECTIVE DATE OF FIRM: tbd  
BASE FLOOD ELEVATION: none

**GENERAL PROJECT INFORMATION:**

EXISTING ZONING MAXIMUM BUILDING HEIGHT: 45 feet, 3 stories  
EXISTING BUILDING HEIGHT: 28'-0" t.o. Ridge  
BUILDING USE: Residential  
EXISTING BUILDING AREA: 2,102 sf  
PROPOSED BUILDING AREA: 1,915 sf  
NUMBER OF DWELLING UNITS (RESIDENTIAL ONLY): 2

**SITE DATA TABLE:**

TOTAL SITE AREA: 11,380 sf  
TOTAL DISTURBED AREA: 1,148 sf (187 sf (building); 961 sf (site))  
PRE-DEVELOPED IMPERVIOUS: 5,168 sf  
POST-DEVELOPED IMPERVIOUS: 5,084 sf

**PARKING CALCULATION:**

EXISTING TO REMAIN

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location map - not to scale



**BOARD OF  
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DATE: 07/11/2023  
PROJECT #: 23113

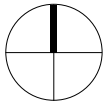
EXISTING SITE  
PLAN

**SD-100**

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existing site plan 1" = 40'-0"



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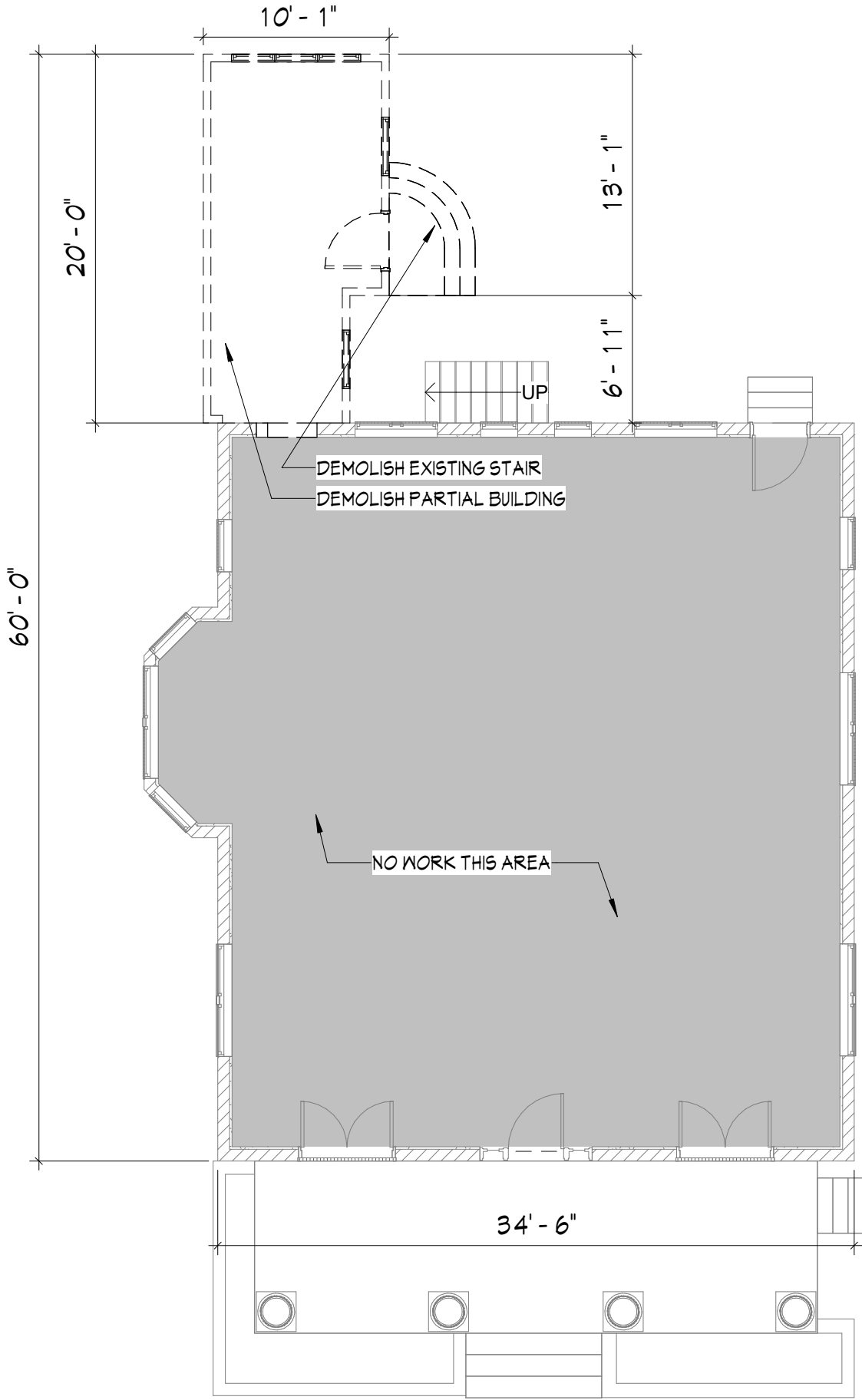
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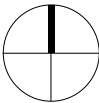
DEMO FLOOR  
PLAN

SD-101

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demo first floor plan 1/8" = 1'-0"



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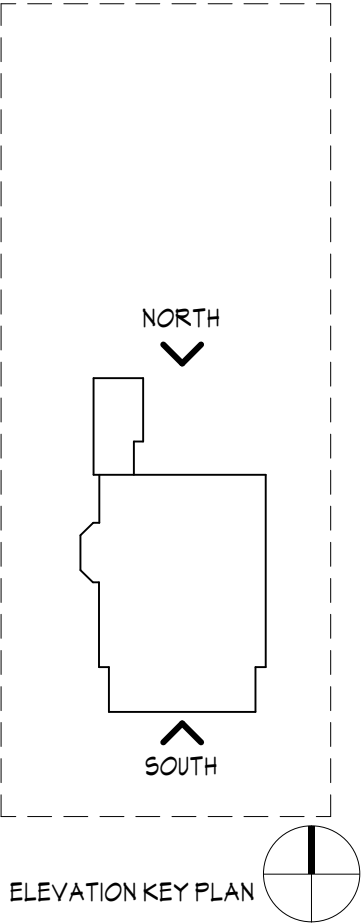
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demo south elevation     1/8" = 1'-0"



demo north elevation     1/8" = 1'-0"



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DEMO  
ELEVATIONS

SD-200

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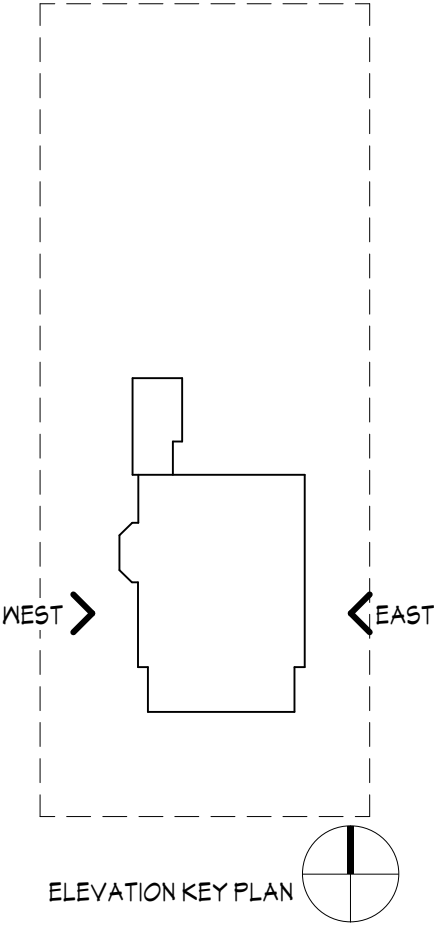


demo east elevation 1/8" = 1'-0"

DEMOLISH EXISTING STAIR  
DEMOLISH PARTIAL BUILDING



demo west elevation 1/8" = 1'-0"



BOARD OF  
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REVIEW

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PROJECT #: 23113

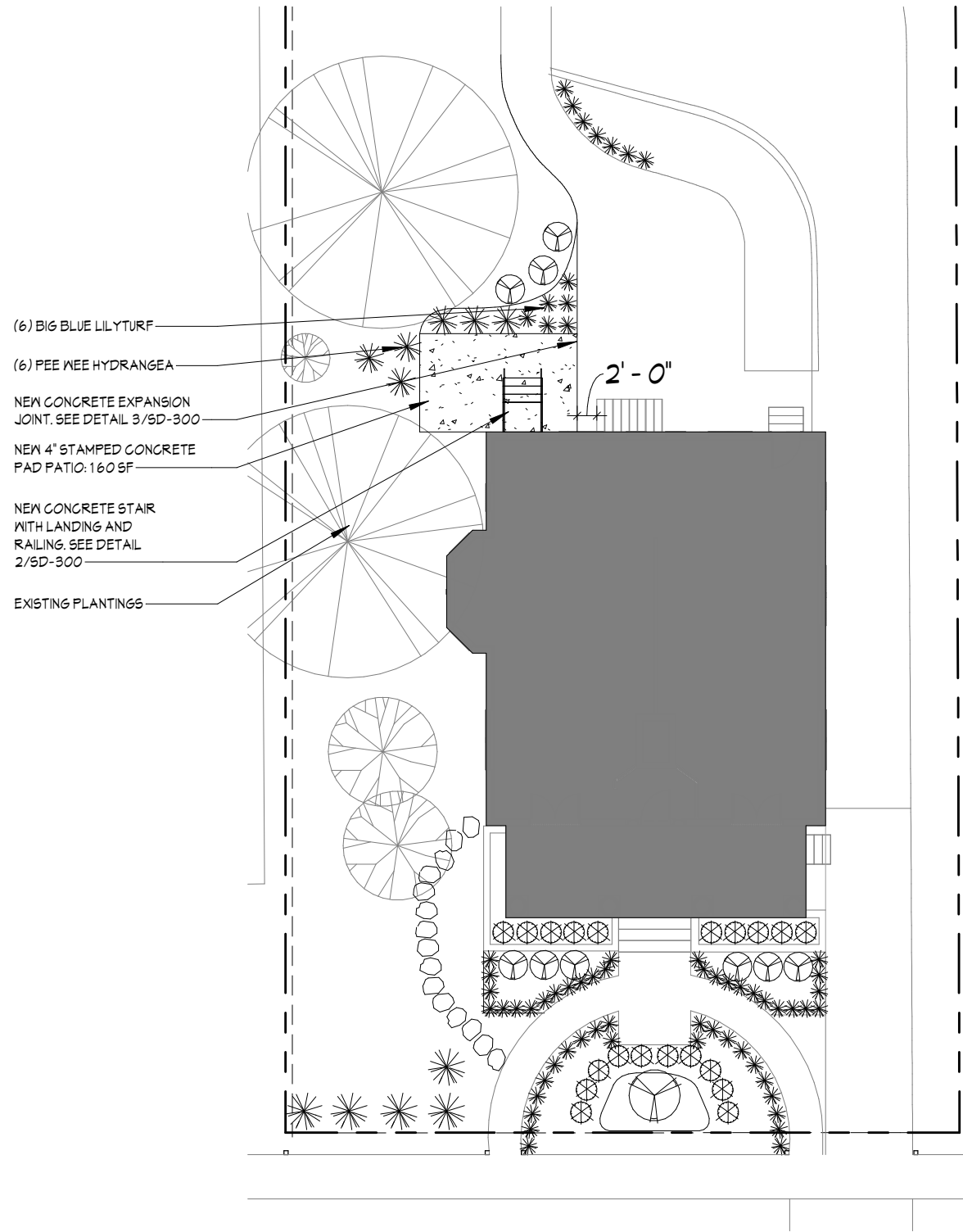
DEMO  
ELEVATIONS

SD-201

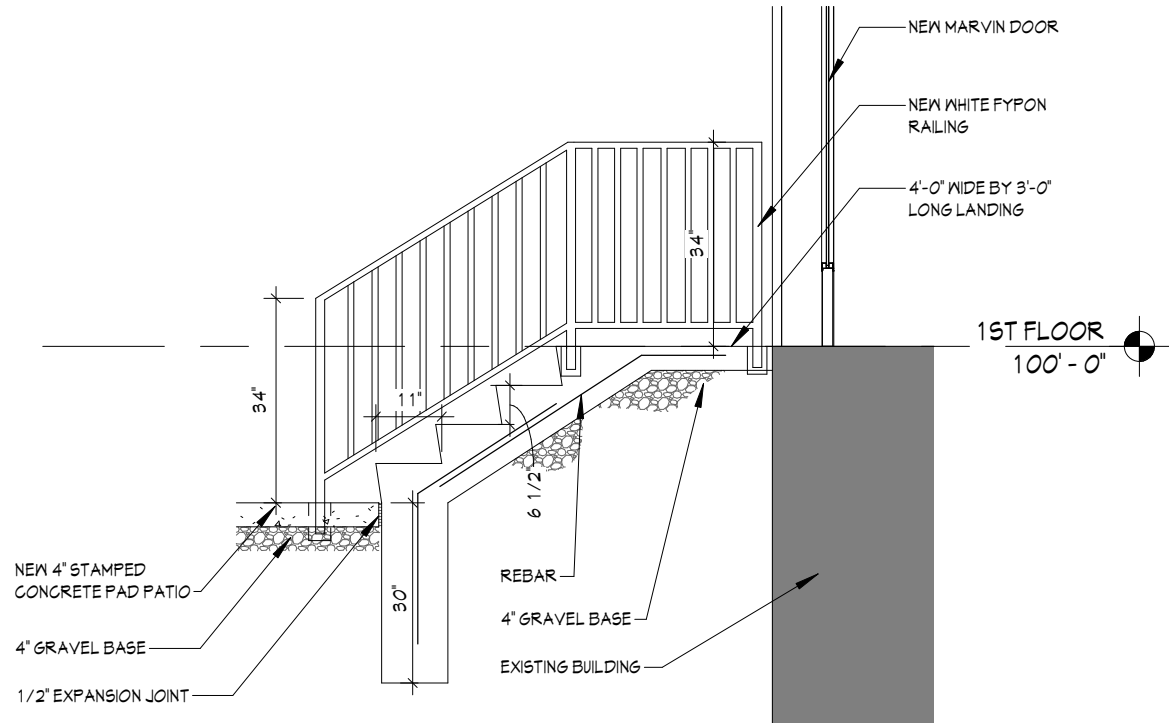
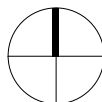


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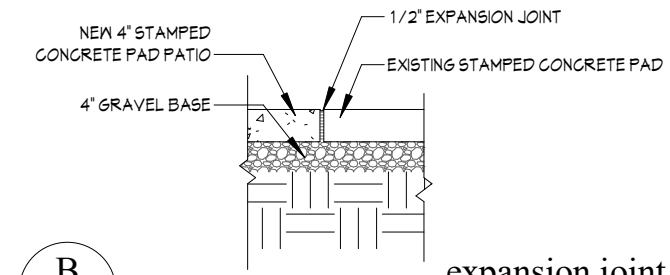
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proposed site plan 1/16" = 1'-0"



**A**  
SD-300 concrete stair and railing  
3/8" = 1'-0"



**B**  
SD-300 expansion joint  
1/2" = 1'-0"

location map - not to scale



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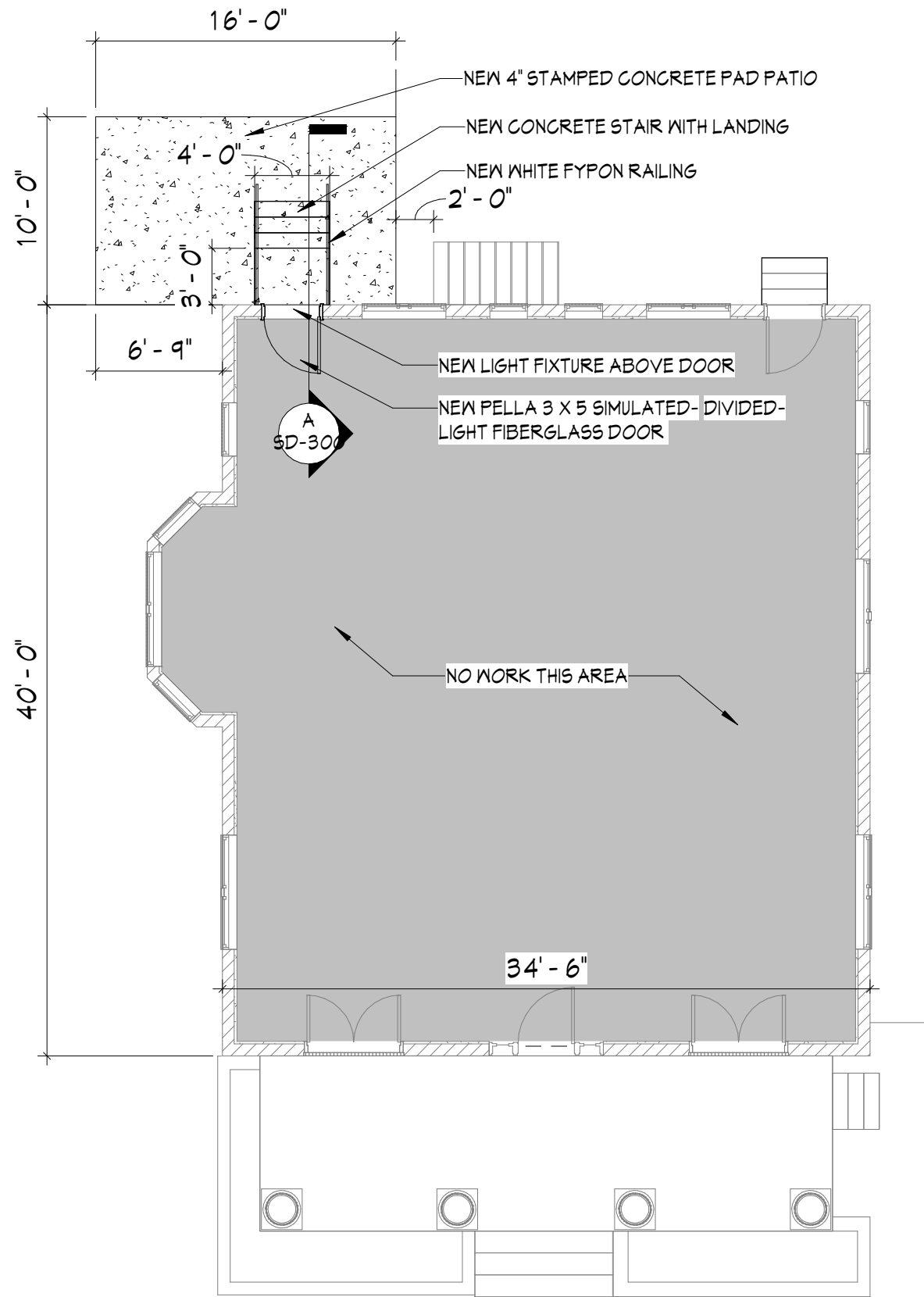
PROPOSED SITE  
PLAN

SD-300

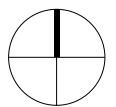
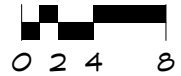
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proposed first floor plan 1/8" = 1'-0"



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PROPOSED  
FLOOR PLAN

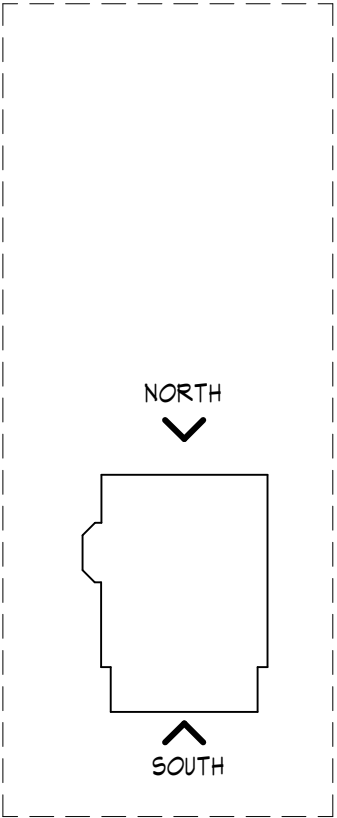
SD-301

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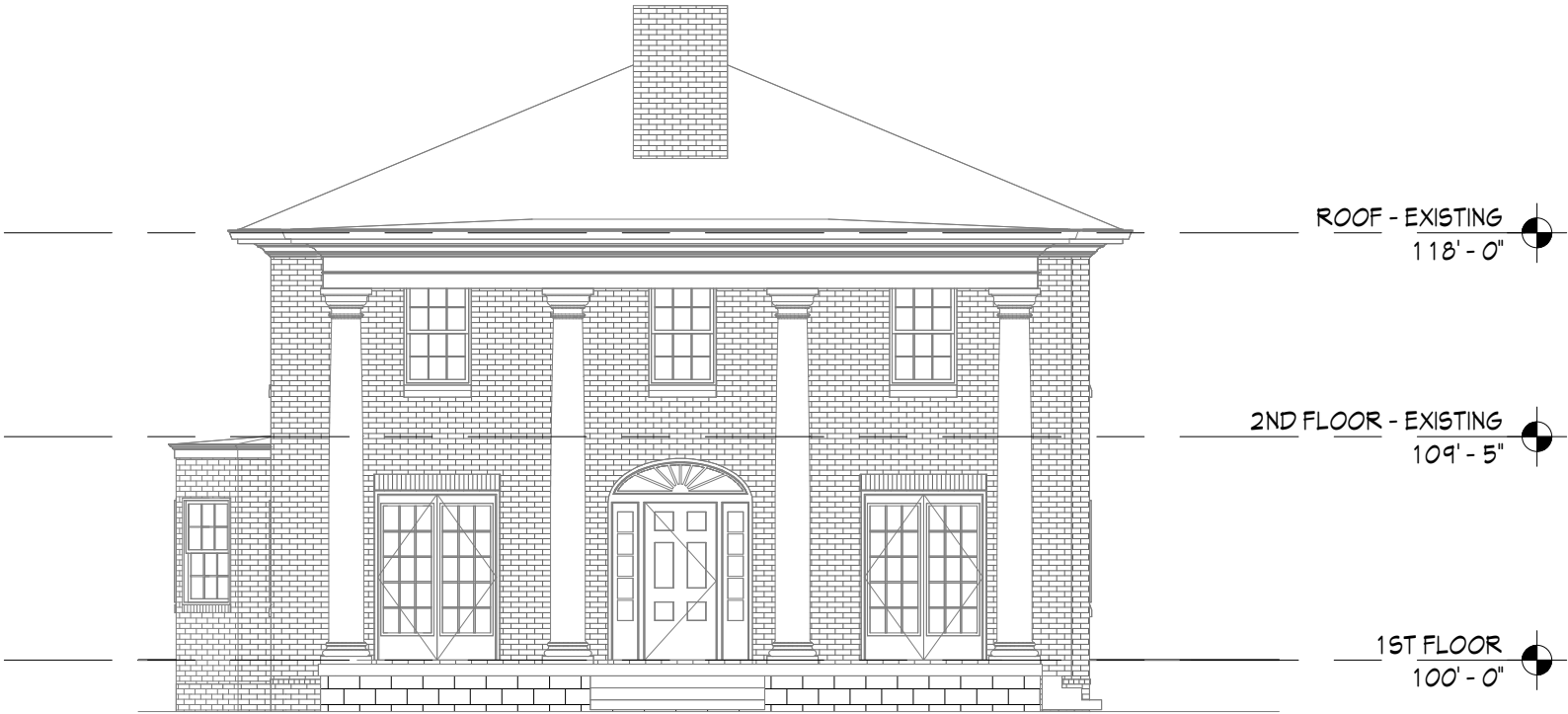
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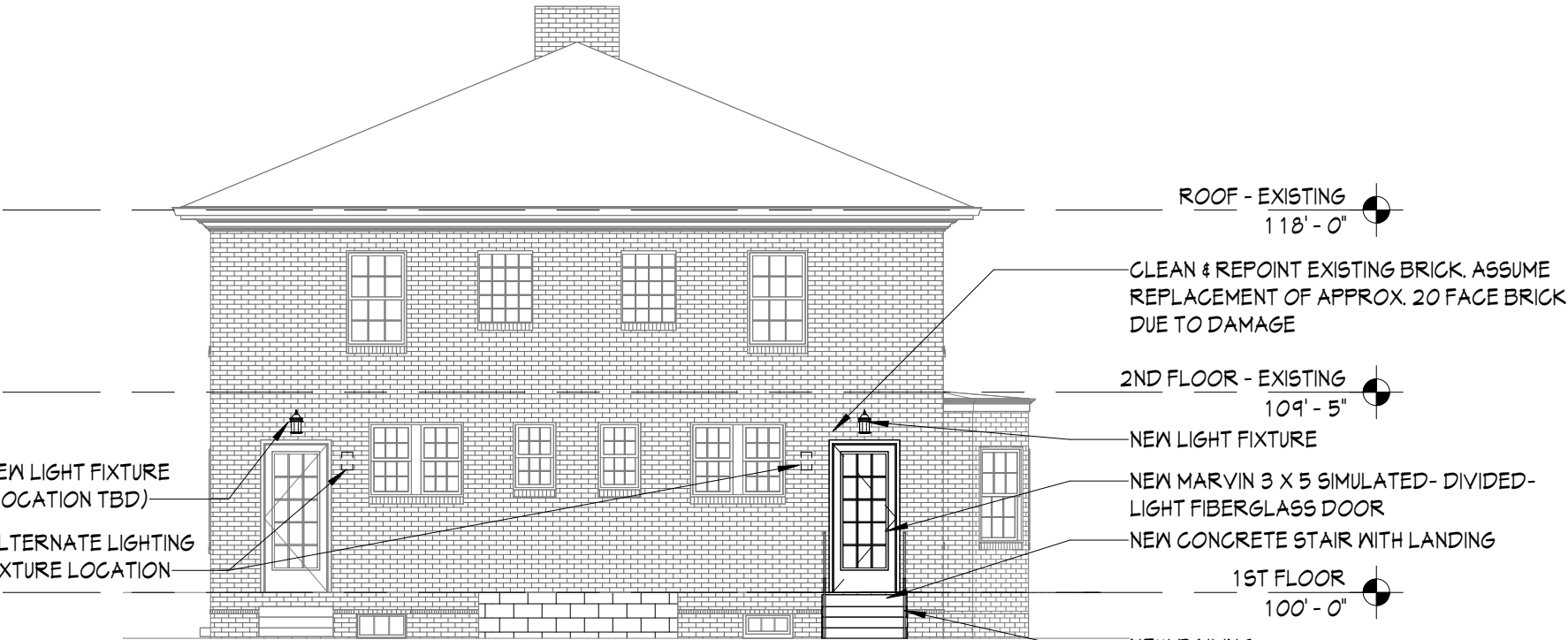
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PROPOSED  
ELEVATIONS

SD-400



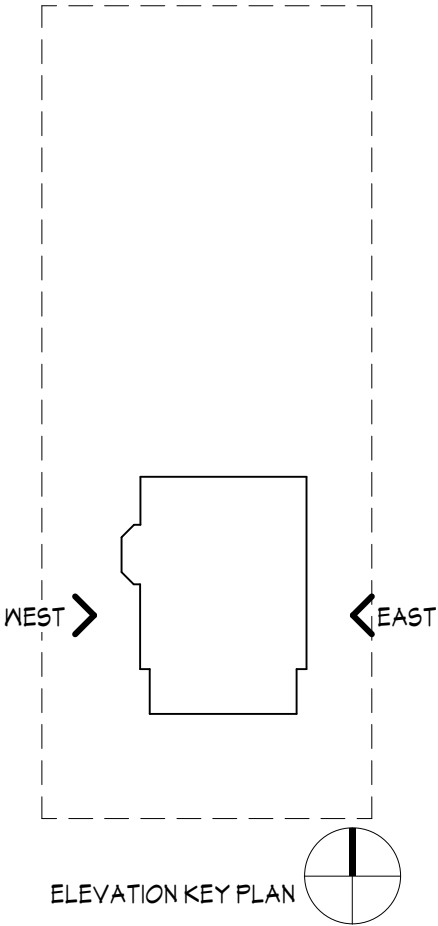
proposed south elevation     1/8" = 1'-0"     0 2 4 8



proposed north elevation     1/8" = 1'-0"     0 2 4 8



proposed east elevation 1/8" = 1'-0" 0 2 4 8



proposed west elevation 1/8" = 1'-0" 0 2 4 8

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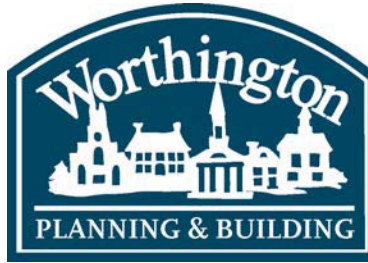
PROPOSED  
ELEVATIONS

SD-401



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## ARB APPLICATION ARB 0059-2023 541 Oxford St.

<b>Plan Type:</b> Architectural Review Board	<b>Project:</b>	<b>App Date:</b> 07/14/2023
<b>Work Class:</b> Certificate of Appropriateness	<b>District:</b> City of Worthington	<b>Exp Date:</b>
<b>Status:</b> In Review		<b>Completed:</b>
<b>Valuation:</b> \$300,000.00		<b>Approval</b>
		<b>Expire Date:</b>

**Description:** 16' x 28' 4" sunroom addition with full basement foundation off of the west side (rear) of house. South and West elevation with consist of colonial inspired trim and windows. North side will consist of board and batten siding with an entrance. Exterior paint will be a white color match to existing house. Extension of second floor master bedroom to accommodate glass sliding door to walk out to a composite deck on the roof of single-story sunroom addition.

<b>Parcel:</b> 100-000067	Main	<b>Address:</b> 541 Oxford St Worthington, OH 43085	Main	<b>Zone:</b> R-10(Low Density Residence)
---------------------------	------	--------------------------------------------------------	------	------------------------------------------

<b>Applicant</b>	<b>Owner</b>	<b>Owner</b>
RAS Construction	Molly Pasternack	Matthew Pasternack
Kyle Kocheran	541 OXFORD ST	541 OXFORD ST
351 W SOUTH ST	Worthington , OH 43085	Worthington , OH 43085
Worthington , OH 43085	Home: 6145703122	Home: 6145703122
Business: 6146793863		

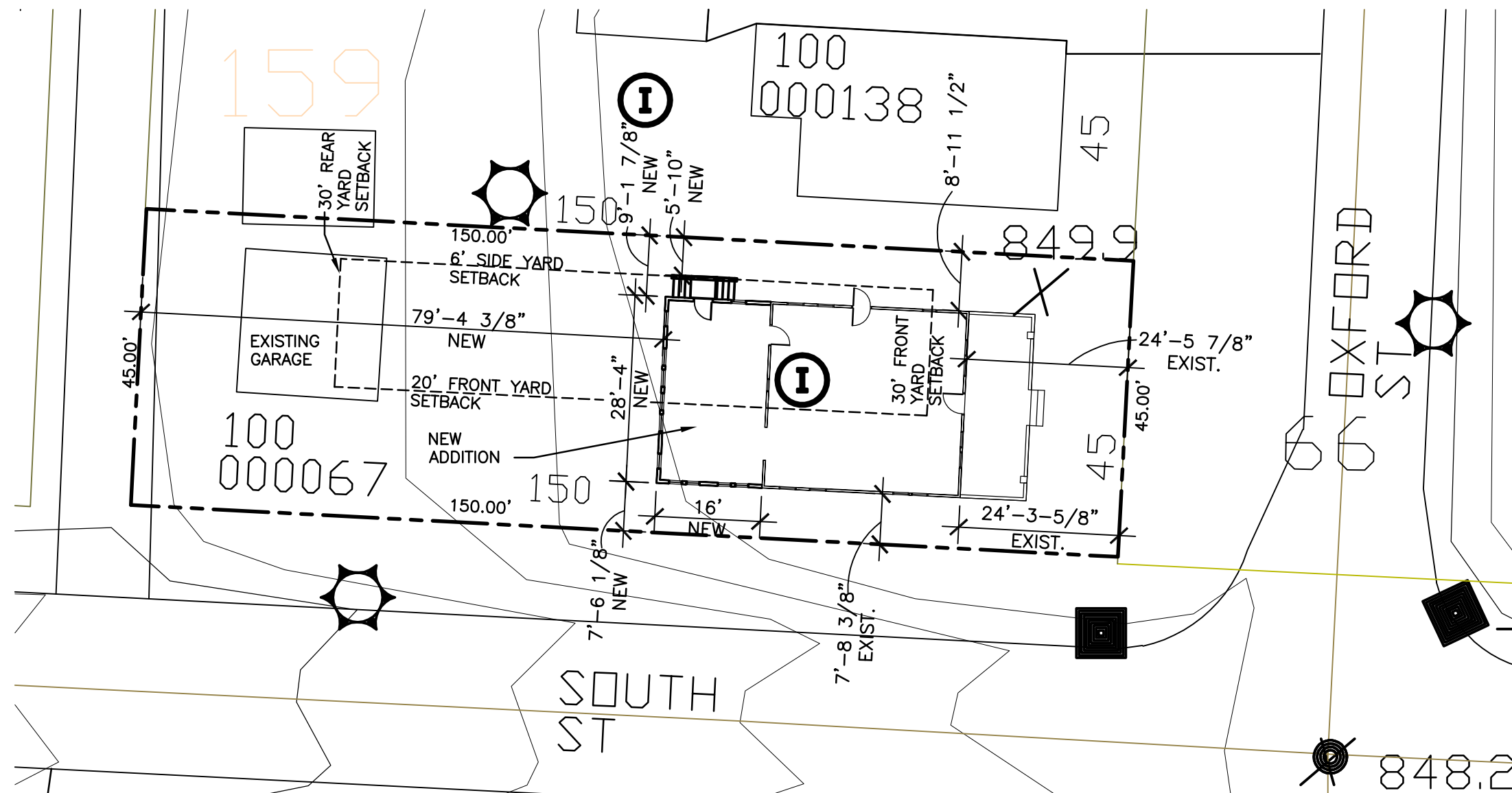
Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004226	Architectural Review Board	\$200.00	\$200.00
Total for Invoice INV-00004226		\$200.00	\$200.00
Grand Total for Plan		\$200.00	\$200.00



# 541 Oxford St

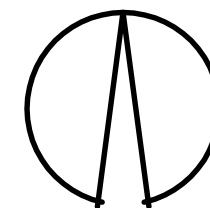


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(YOUNGS' CAD SERVICE) 7952  
TRELLAGE CT. POWELL, OHIO  
43065 (614) 507-9678 FOR  
RAS CONSTRUCTION.



site plan

1" = 20'-0"



CITY OF WORTHINGTON  
DRAWING NO. ARB 0059-2023  
DATE 07/14/2023

PROPOSED NEW ADDITION FOR THE RESIDENCE AT  
541 OXFORD STREET WORTHINGTON, OHIO 43085

1A

DATE: 7/12/2023 SET:  
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TO A PROPOSED NEW ADDITION FOR THE RESIDENCE AT  
541 OXFORD STREET WORTHINGTON, OHIO 43085

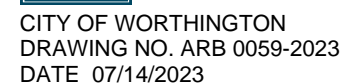
Architectural floor plan of a residential unit, showing proposed and existing spaces. The plan includes the following rooms and dimensions:

- NEW SUN ROOM:** 20'-7 1/16" (width) x 14'-11 9/16" (depth). Room numbers: 2517, 2565.
- NEW MUD ROOM:** 7'-0 1/16" (width) x 6'-1 9/16" (depth). Room numbers: 2957, 2917, 2468.
- PANTRY:** 7'-7" (width) x 6'-1 9/16" (depth). Room numbers: 2835, 2818.
- EXISTING KITCHEN:** 7'-7" (width) x 6'-1 9/16" (depth). Room numbers: 2835, 2818.
- EXISTING DINING ROOM:** 14'-11 9/16" (width) x 14'-11 9/16" (depth). Room numbers: 2517, 2565.
- EXISTING POWDER ROOM:** 7'-7" (width) x 6'-1 9/16" (depth). Room numbers: 2835, 2818.
- EXISTING FOYER:** 7'-7" (width) x 6'-1 9/16" (depth). Room numbers: 2835, 2818.
- EXISTING LIVING ROOM:** 30'-1 3/4" (width) x 14'-11 9/16" (depth). Room numbers: 2835, 2818.

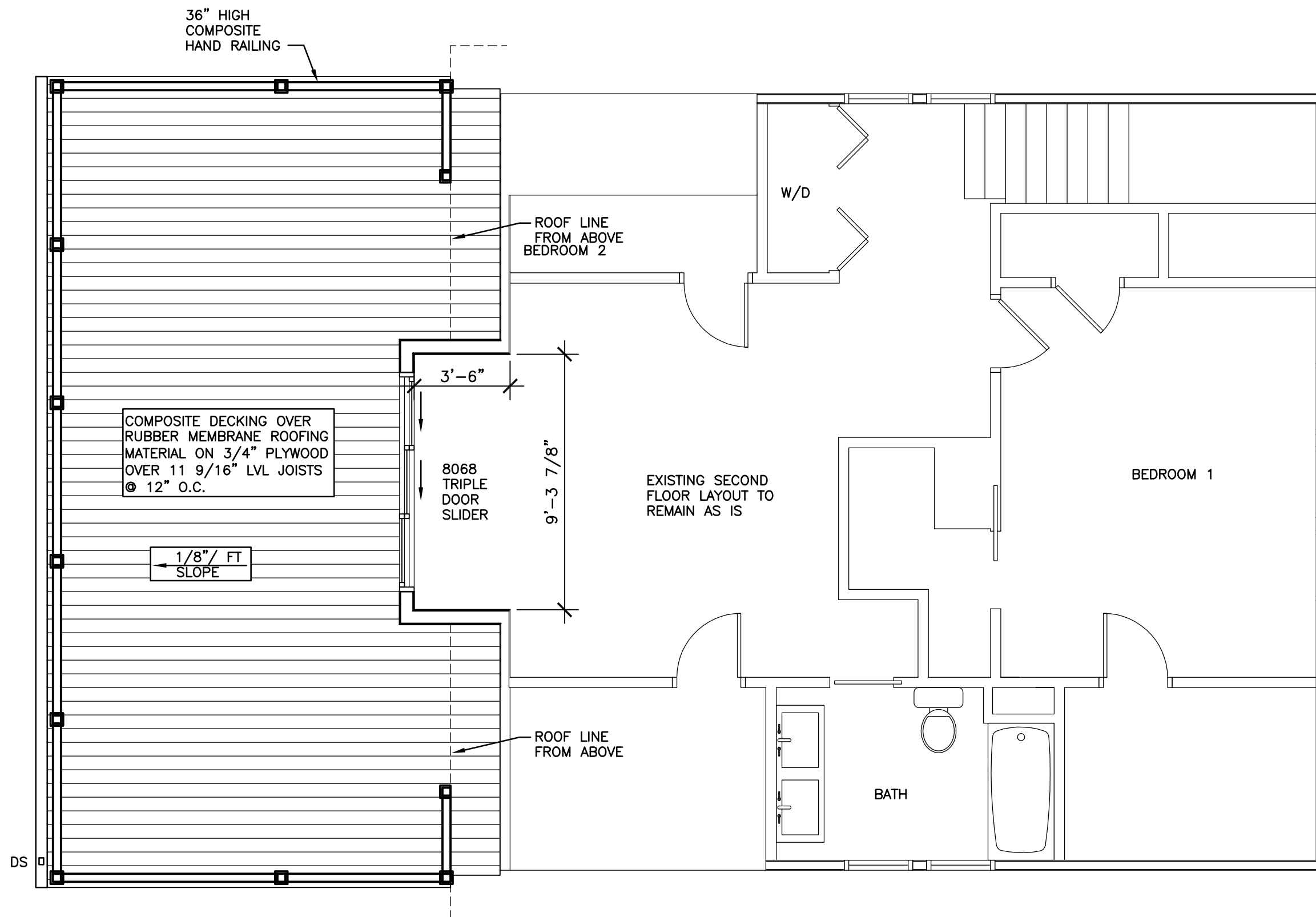
Overall dimensions and other details:

- Overall Width:** 30'-1 3/4"
- Overall Depth:** 28'-4" NEW
- Room Numbers:** 2957, 2917, 2468, 2835, 2818, 3357, 3317, 2517, 2565.
- Room Labels:** NEW SUN ROOM, NEW MUD ROOM, PANTRY, EXISTING KITCHEN, EXISTING DINING ROOM, EXISTING POWDER ROOM, EXISTING FOYER, EXISTING LIVING ROOM.

partial first floor plan

$$1/4'' = 1'-0''$$


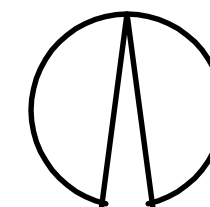
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PROPOSED NEW ADDITION FOR THE RESIDENCE AT  
 541 OXFORD STREET WORTHINGTON, OHIO 43085

# second floor plan

1/4" = 1'-0"



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36" TALL COMPOSITE  
HANDRAIL (WHITE)

PRE-FINISHED ALUM.  
GUTTER W/ DOWNSPOUT  
CONNECTED TO EXISTING  
STORM DRAINAGE SYSTEM

ALL WOOD TRIM AND  
WINDOW TO BE PAINTED  
WHITE

DS

16'-0"  
NEW ADDITION

EXISTING HOUSE TO REMAIN

proposed south elevation

1/4" = 1'-0"



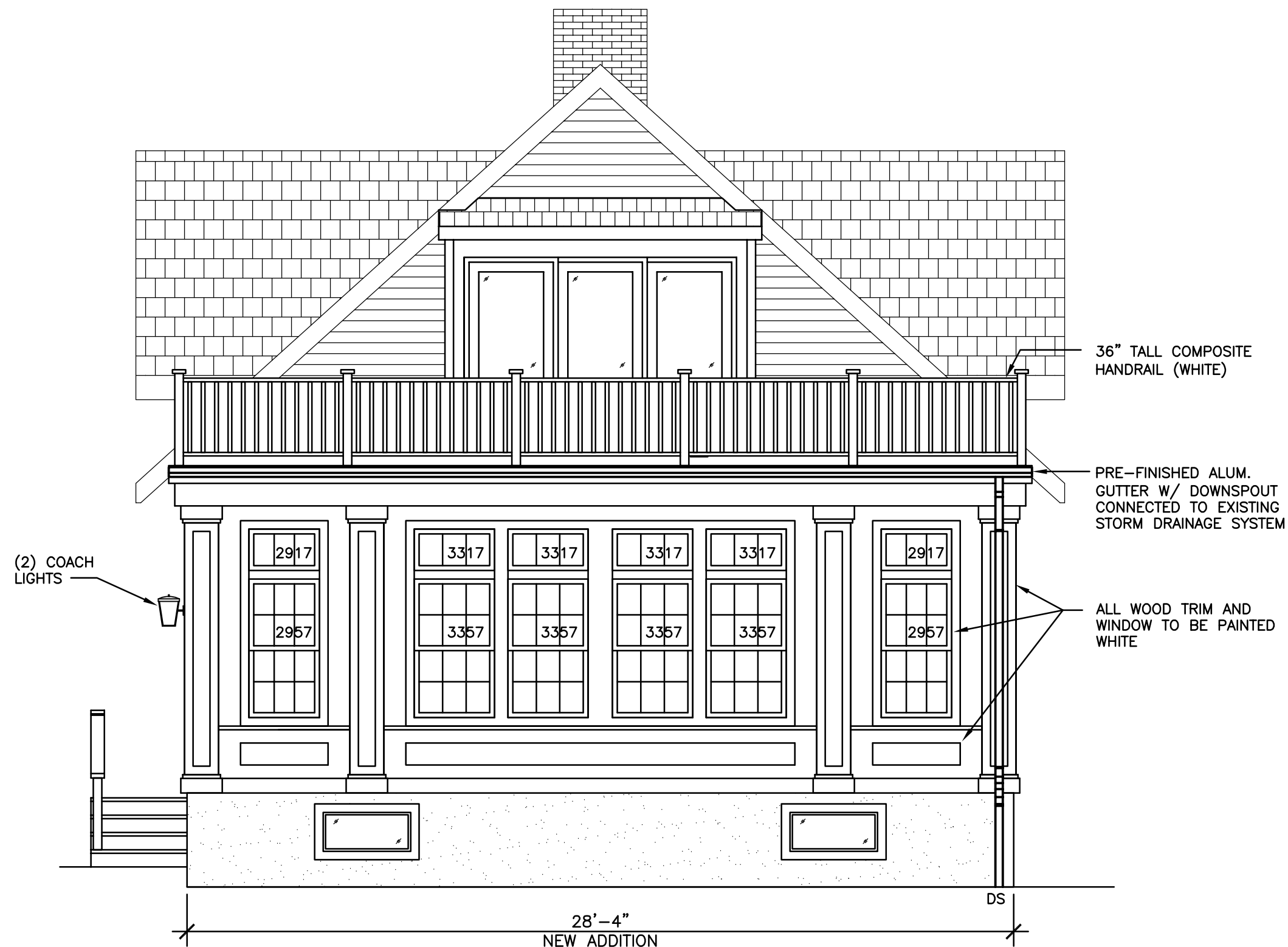
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PROPOSED NEW ADDITION FOR THE RESIDENCE AT  
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4A

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proposed west elevation  
1/4" = 1'-0"

PROPOSED NEW ADDITION FOR THE RESIDENCE AT  
541 OXFORD STREET WORTHINGTON, OHIO 43085  
61A



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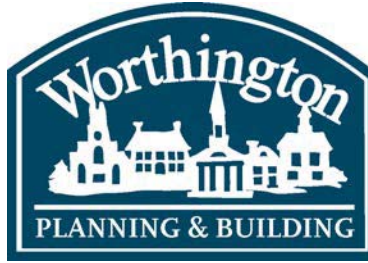
proposed north elevation



CITY OF WORTHINGTON  
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PROPOSED NEW ADDITION FOR THE RESIDENCE AT  
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DATE: 7/12/2023 SET:  
ARCHITECTURAL REVIEW SET



## ARB & MPC APPLICATIONS ARB 0057-2023 & ADP 08-2023 6700 N. High St.

<b>Plan Type:</b> ARB & ADP	<b>Project:</b>	<b>App Date:</b> 07/12/2023
<b>Work Class:</b> Certificate of Appropriateness Amendment to Development Plan	<b>District:</b> City of Worthington	<b>Exp Date:</b>
<b>Status:</b> In Review		<b>Completed:</b>
<b>Valuation:</b> \$40,000.00		<b>Approval</b>
		<b>Expire Date:</b>
<b>Description:</b> Install new LED illuminated monument sign with 6 tenant panels		

<b>Parcel:</b> 100-002642	Main	<b>Address:</b> 6700 N High St Worthington, OH 43085	Main	<b>Zone:</b> C-3(Institutions and Offices)
---------------------------	------	---------------------------------------------------------	------	--------------------------------------------

Applicant	Owner
DANITE SIGN CO	Dan O'Harra
Oliver Holtsberry	50 W. Broad St.
1640 Harman Ave.	Columbus, OH 43215
Columbus, OH 43223	Mobile: (614) 813-8727
Business: (614) 444-3333	
Mobile: 4192963664	

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004218	Architectural Review Board	\$40.00	\$40.00
Total for Invoice INV-00004218		\$40.00	\$40.00
Grand Total for Plan		\$40.00	\$40.00

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004219	Amendment to Development Plan	\$50.00	\$50.00
Total for Invoice INV-00004219		\$50.00	\$50.00
Grand Total for Plan		\$50.00	\$50.00



# 6700 N. High St.



# Supporting Statement

Address: 6700 N High Street Worthington, OH 43085

We are proposing to install (1) single-sided new monument sign. LED Illuminated with 6 tenant panels.

The overall building frontage is 443.1 feet. The closest point of the building to the right-of-way is 114.8 feet with the other parts of the building setting back even farther. There are also 3 separate drive-way entrances onto the property here.

With so much frontage & access to this property, we feel it is sufficient enough to ask for a variance here:

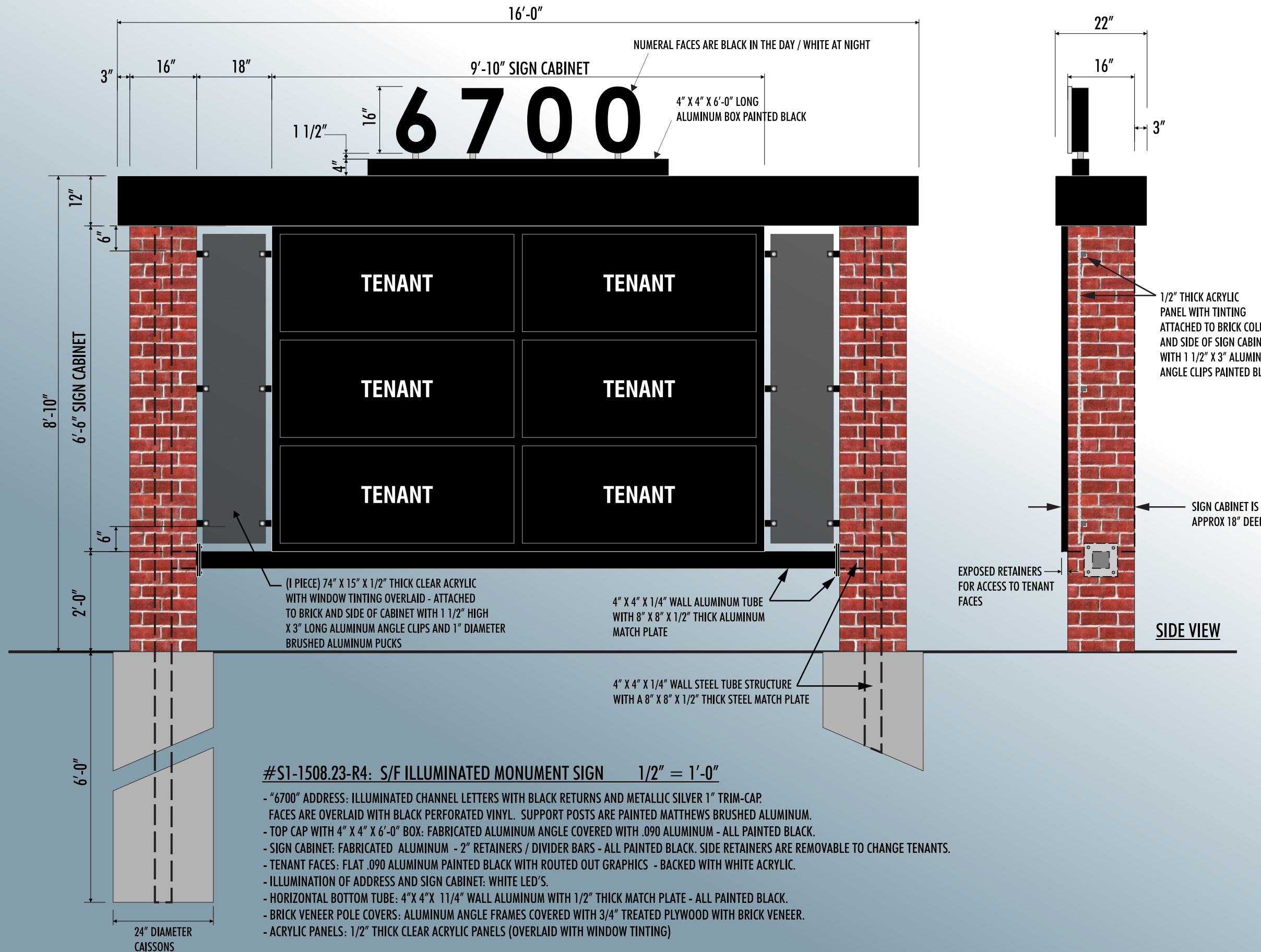
- The variance would be to have 6 tenants on the new monument sign. I believe the code typically only allows for 4 tenants on a monument sign.
  - With such a large property here, the owner is going to have many different storefronts with nearly all of them needing a sign out by the road. With allowing 6 tenants on the sign, it will help these businesses have success & the building owner to more easily rent the spaces available. Also, it will keep tenants from pursuing their own ground signs down the road which will keep the property much more clean & less cluttered with signage.

We hope you will consider our request as we have tried hard to balance the line between the allowable signage via the zoning code & what makes sense for the property. We strive to achieve a greater success rate for the tenants in the building & the signage plays a big role. Thank you for your time!



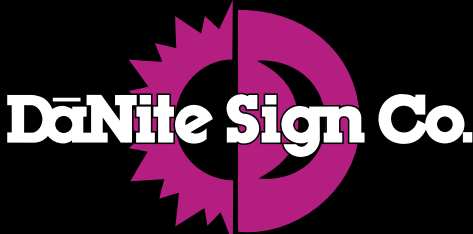
CITY OF WORTHINGTON  
DRAWING NO. ARB 0057-2023  
ADP 08-2023  
DATE 07/12/2023





#S1-1508.23-R4: S/F ILLUMINATED MONUMENT SIGN 1/2" = 1'-0"

- "6700" ADDRESS: ILLUMINATED CHANNEL LETTERS WITH BLACK RETURNS AND METALLIC SILVER 1" TRIM-CAP. FACES ARE OVERLAID WITH BLACK PERFORATED VINYL. SUPPORT POSTS ARE PAINTED MATTHEWS BRUSHED ALUMINUM.
- TOP CAP WITH 4" X 4" X 6'-0" BOX: FABRICATED ALUMINUM ANGLE COVERED WITH .090 ALUMINUM - ALL PAINTED BLACK.
- SIGN CABINET: FABRICATED ALUMINUM - 2" RETAINERS / DIVIDER BARS - ALL PAINTED BLACK. SIDE RETAINERS ARE REMOVABLE TO CHANGE TENANTS.
- TENANT FACES: FLAT .090 ALUMINUM PAINTED BLACK WITH ROUTED OUT GRAPHICS - BACKED WITH WHITE ACRYLIC.
- ILLUMINATION OF ADDRESS AND SIGN CABINET: WHITE LED'S.
- HORIZONTAL BOTTOM TUBE: 4"X 4"X 11/4" WALL ALUMINUM WITH 1/2" THICK MATCH PLATE - ALL PAINTED BLACK.
- BRICK VENEER POLE COVERS: ALUMINUM ANGLE FRAMES COVERED WITH 3/4" TREATED PLYWOOD WITH BRICK VENEER.
- ACRYLIC PANELS: 1/2" THICK CLEAR ACRYLIC PANELS (OVERLAID WITH WINDOW TINTING)



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(614) 444-3333 (FAX) 444-3026  
www.danitesign.com

UL LISTED via STANDARD UL48  
FILE NO:E60042 DaNITE SIGN CO.

UL APPLIES TO ILLUMINATED SIGNS ONLY.



CITY OF WORTHINGTON  
DRAWING NO. ARB 0057-2023  
ADP 08-2023  
DATE 07/12/2023

COLORS

- BLACK
- WHITE
- METALLIC SILVER TRIM-CAP

APPROVED-CUSTOMER

DATE



JOB NAME	6700 BUILDING	#S1-1508.23-R4
STREET	6700 W DUBLIN GRANVILLE RD.	
CITY, STATE	DUBLIN, OH	
SIGN TYPE	S/F ILLUMINATED MONUMENT SIGN	

DATE	3/27/23	REV. DATE: 7/10/23
FILE NAME	6700 BUILDING.CDR	
DIRECTORY	THAD > 2023 > S	

SCALE AS NOTED SALE OH DESIGNER TK

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NORTH ^

OLIVE LOOP

new monument sign

Distance: 15.8 Feet

Distance: 199.0 Feet

Distance: 443.1 Feet

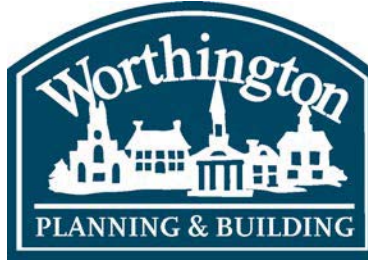
Distance: 114.8 Feet

N HIGH ST



CITY OF WORTHINGTON  
DRAWING NO. ARB 0057-2023  
ADP 08-2023  
DATE 07/12/2023





**MPC APPLICATION**  
**ADP 07-2023**  
**100 Old Wilson Bridge Rd.**

**Plan Type:** Amendment to Development Plan

**Project:**

**App Date:** 07/11/2023

**Work Class:** Amendment to Development Plan

**District:** City of Worthington

**Exp Date:**

**Status:** In Review

**Completed:**

**Valuation:** \$72,600.00

**Approval**

**Description:** Request a variance for an emergency generator installation behind the building due to the required setback being within 50' adjacent to the highway right-of-way.

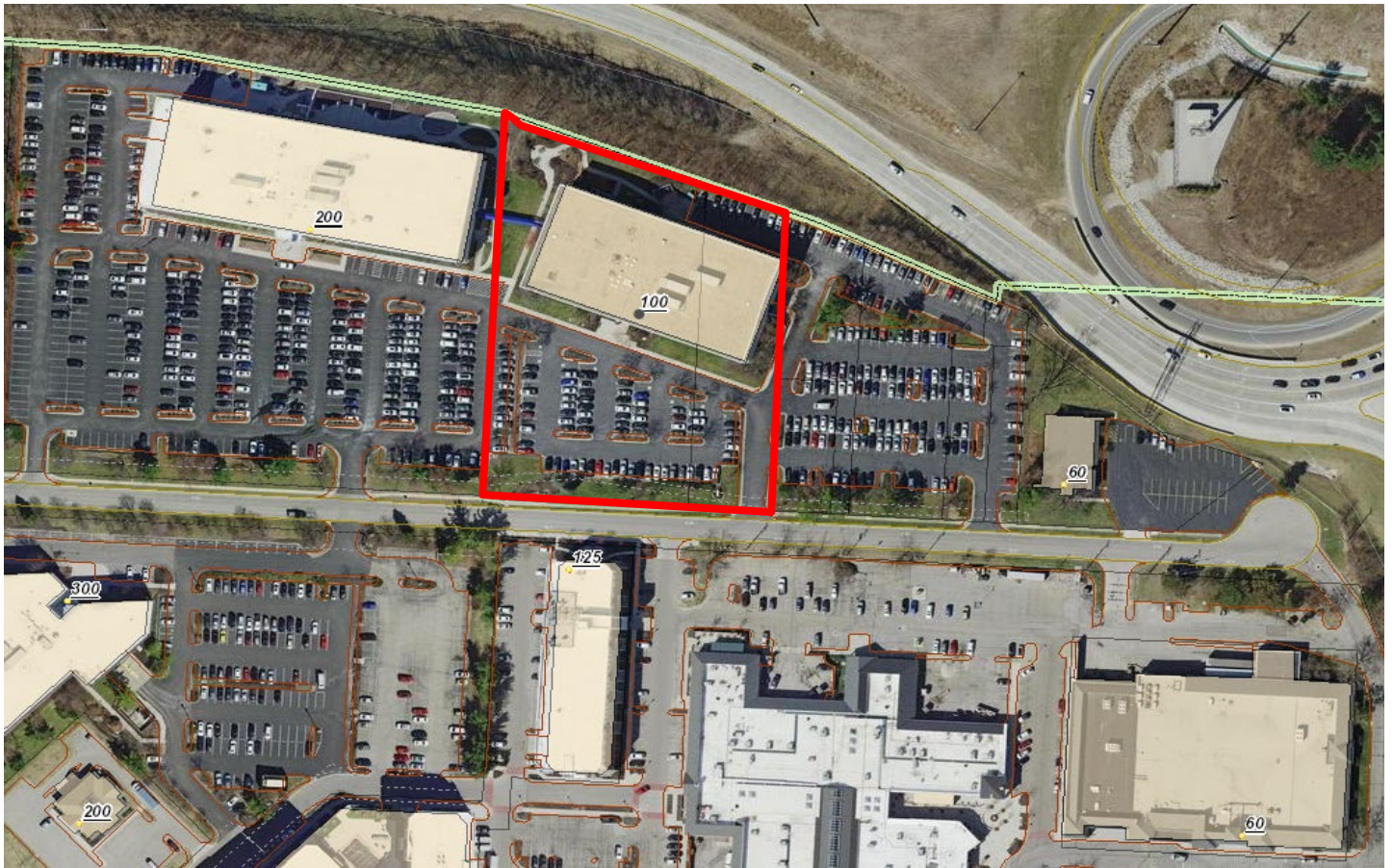
**Expire Date:**

<b>Parcel:</b> 100-005855	Main	<b>Address:</b> 100 Old Wilson Bridge Rd Worthington, OH 43085	Main	<b>Zone:</b> C-3(Institutions and Offices)
---------------------------	------	-------------------------------------------------------------------	------	--------------------------------------------

<b>Applicant</b> Tammy Corrado 9002 Cotter Street Lewis Center, OH 43035 Business: (614) 880-4111	<b>Contractor</b> JCORR LLC 9002 COTTER ST LEWIS CENTER, OH 43035 Business: 6148804111	<b>Owner</b> Corporate Hill LLC 470 Old Worthington Rd Westerville, OH 43082
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Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004216	Amendment to Development Plan	\$50.00	\$0.00
Total for Invoice INV-00004216		\$50.00	\$0.00
Grand Total for Plan		\$50.00	\$0.00

# 100 Old Wilson Bridge Rd.





PROJECT  
MECHANICAL EQUIPMENT  
INSTALLATION:  
CORPORATE HILL LLC  
100 Old Wilson Bridge Road  
Columbus, Ohio 43085

PROPERTY DATA  
PARCEL NO: 100-005855-00  
100-005859-00  
MUNICIPALITY: WORTHINGTON  
PROPERTY CLASS: COMMERCIAL  
LAND USE: 449-ELEVATOR OFC BLDG 3 STORY  
TAX DISTRICT: 100-WORTHINGTON  
NEIGHBORHOOD: X3500  
FLOOR ZONE: ZONE X

ALL CONTRACTORS SHALL REVIEW ALL DRAWINGS. CONTRACTORS ARE RESPONSIBLE FOR COMPLETED REVIEW ITEMS AFFECTING ALL TRADES ARE PLACED THROUGHOUT THE SET OF DRAWINGS.

THIS PROJECT IS NOT CONSIDERED COMPLETE UNTIL ALL APPLICABLE PERMITS FROM GOVERNING AUTHORITIES HAVE BEEN ISSUED. IF CONTRACTOR SUBMITS THESE PLANS AND RECEIVES ANY CORRECTION OR ADDENDUM LETTER, HE MUST CONTACT THE ENGINEER IMMEDIATELY FOR DIRECTION REGARDING ANY CORRECTIVE MEASURES WHICH MAY NEED TO BE TAKEN.

CONTRACTOR SHALL FURNISH MATERIALS, LABOR, AND EQUIPMENT PER CONTRACT. CONTRACTOR SHALL COMPLETE PROJECT IN ACCORDANCE WITH ALL LOCAL AND STATE GOVERNING AUTHORITIES AND AUTHORITIES HAVING JURISDICTION OVER THIS WORK.

DRAWINGS INDICATED THE MINIMUM STANDARDS BUT, IF ANY WORK SHOULD BE INDICATED TO BE SUBSTANDARD TO ANY ORDINANCES, LAWS, CODES, RULES, OR REGULATIONS BEARING ON THE WORK, THE CONTRACTOR SHALL INCLUDE IN HIS WORK, AND SHALL EXECUTE THE WORK CORRECTLY IN ACCORDANCE WITH SUCH ORDINANCES, LAWS, CODES, RULES, OR REGULATIONS WITH NO INCREASE IN COST.



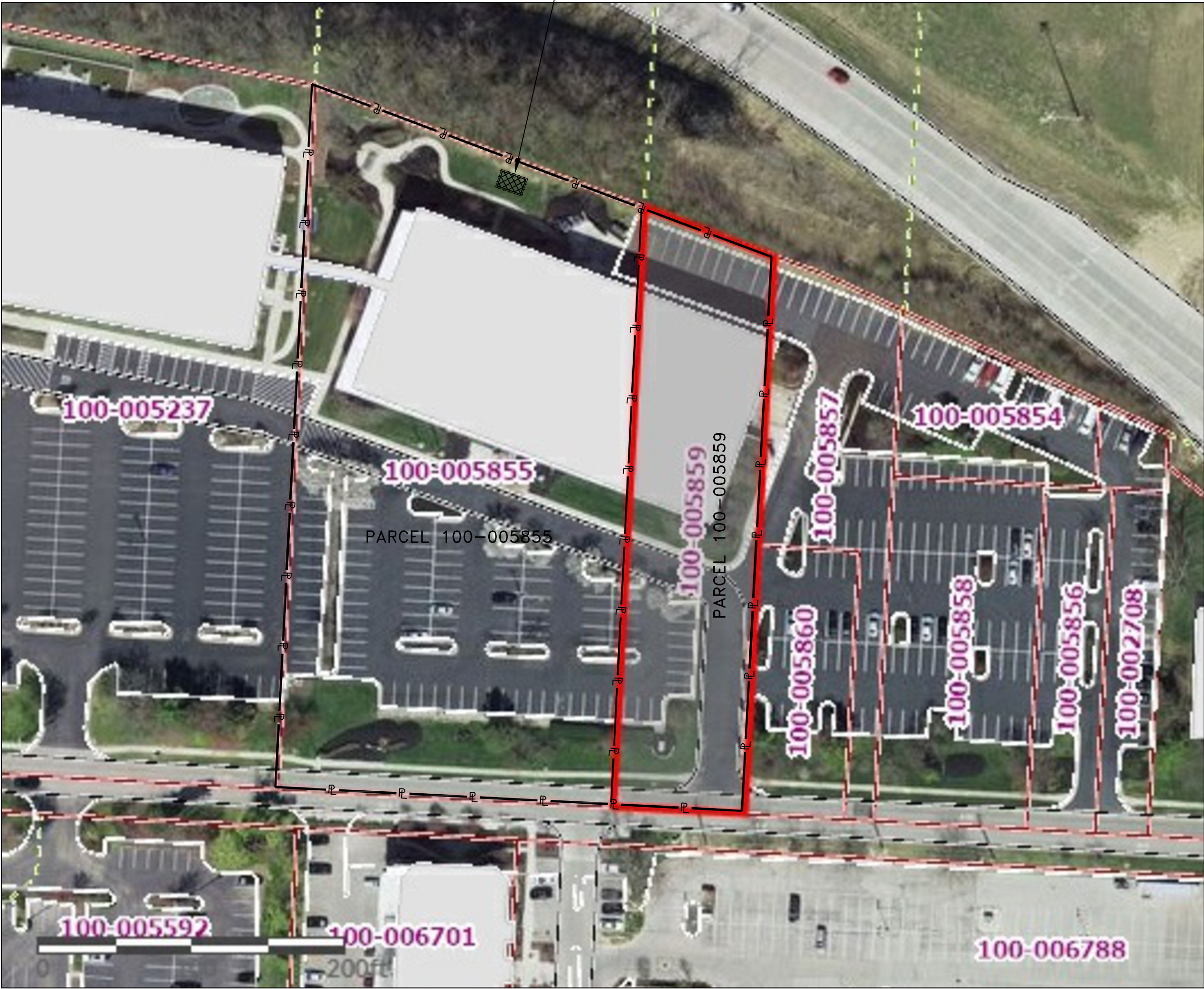
100-005855 04/10/2017



PROJECT SITE PLAN

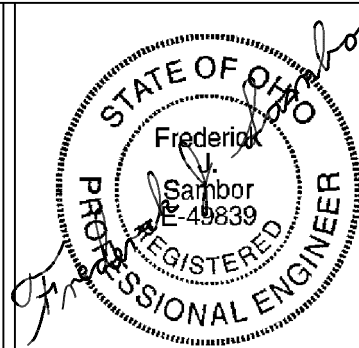
SCALE: 1"=20'

GENERATOR INSTALLATION SITE



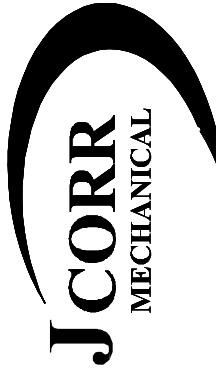
OVERALL PARCEL SITE PLAN

SCALE: 1"=60'



Frederick J. Sambor, P.E.  
Professional Engineer  
1390 Hanbury Court  
Gahanna, Ohio 43230  
Phone: 614-563-7349  
E-mail: fredsambor@hotmail.com

9002 COTTER STREET  
LEWIS CENTER, OHIO



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DRK  
GENERATOR PROJECT  
100 OLD WILSON BRIDGE RD  
WORTHINGTON, OHIO 43085

REVISIONS

REV 1 - 7/7/2023

DRAWN BY: TOB  
CHECKED BY: FJS

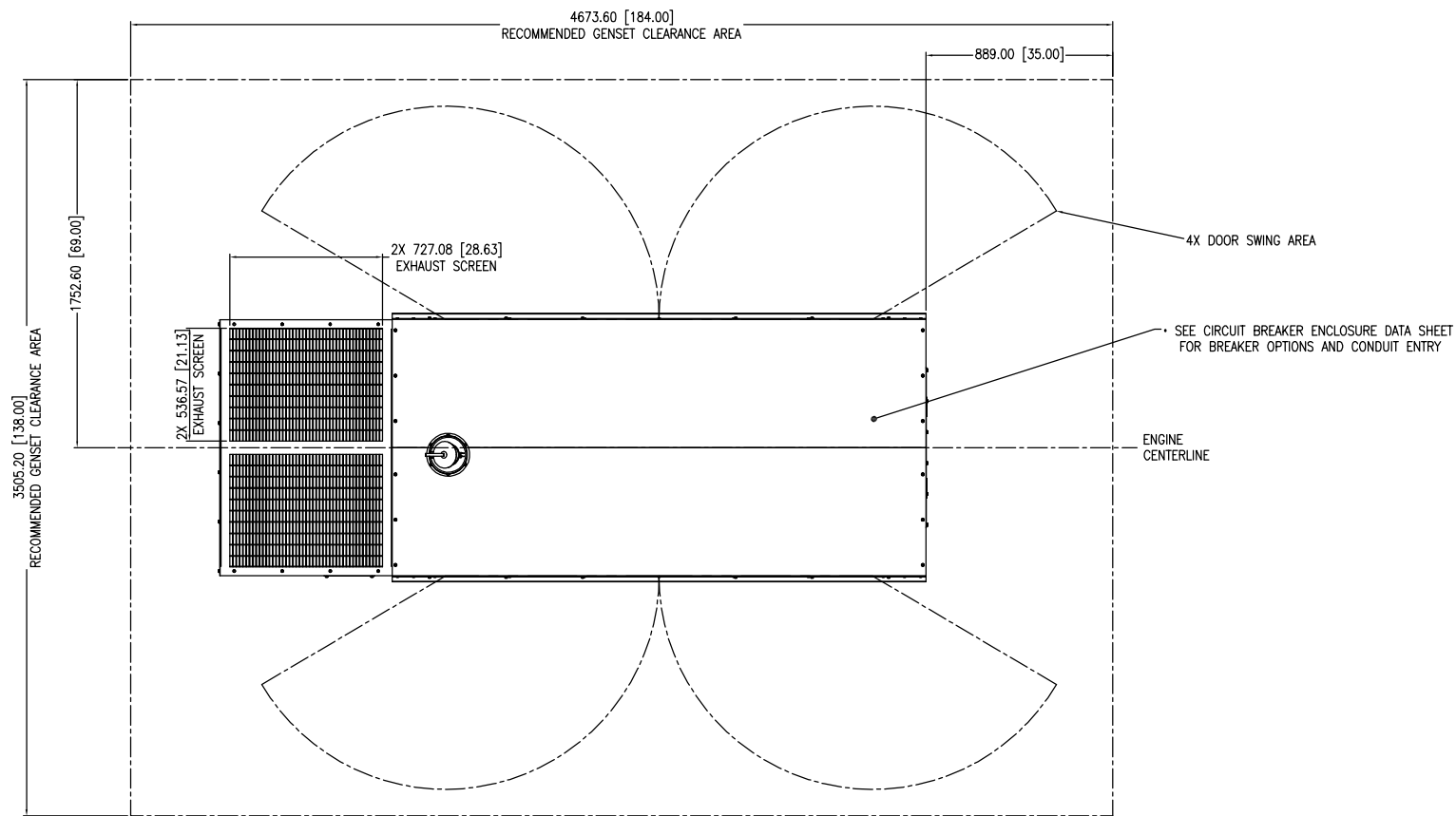
SCALE: AS NOTED

DATE: 26 JUNE 2023

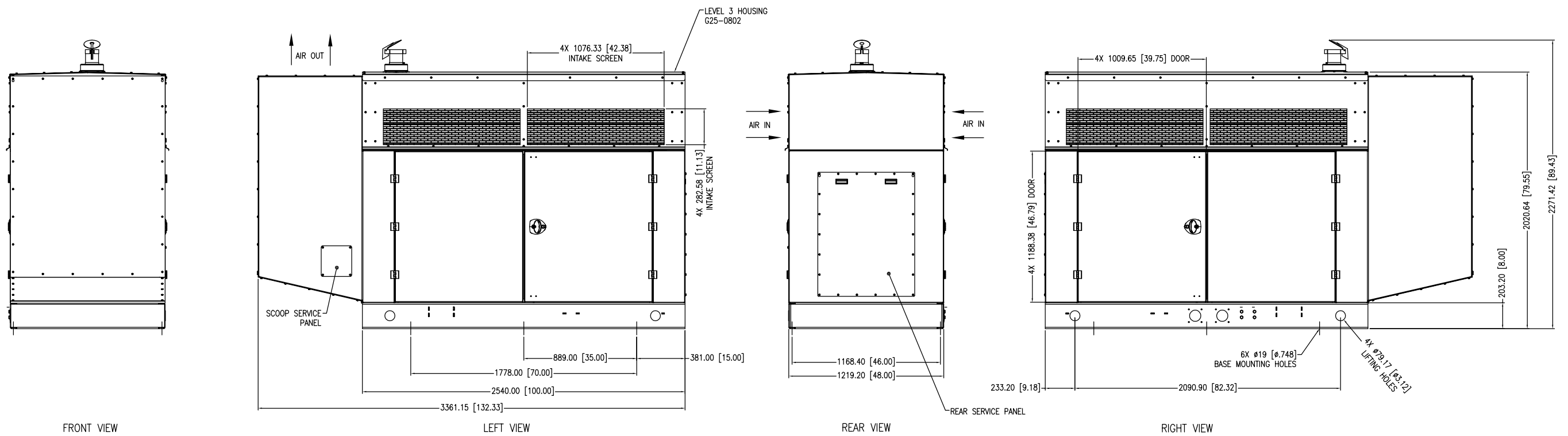
DWG NO. SHEET NO.

B-1 1/1





TOP VIEW



DRAWING OPTIONS 150kW PSI 8.8LT CAC			SELECTED OPTIONS
Group	Drawing Code	Description	
Housing Options, Exterior	G25-0801	Level 1 & 2 Housing	
	G25-0802	Level 3 Housing	✓
	G25-0803	Air Exhaust Gravity Louver	
Housing Options, Interior	G25-0901	Air Intake Motorized Louver	
	G25-0902	Interior Housing Lights	
	G25-0903	Space Heater	


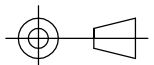
Reference the Drawing Options table and within the Layer Properties turn on/off the Drawing Codes that may or may not apply to your configuration.

Note: Some options may not be referenced. Only options which visibly change the drawing are selectable



CITY OF WORTHINGTON  
DRAWING NO. ADP 07-2023  
DATE 07/11/2023

REVISION	DATE	DESCRIPTION

 <b>A Rolls-Royce solution</b> <small>ALL INDUSTRIAL PROPERTY RIGHTS RESERVED. DISCLOSURE, REPRODUCTION OR USE FOR ANY OTHER PURPOSE IS PROHIBITED UNLESS OUR EXPRESS PERMISSION HAS BEEN GIVEN. ANY INFRINGEMENT RESULTS IN LIABILITY TO PAY DAMAGES.</small>	APPLICABLE MODELS: MTU 8V0110 GS150	 THIRD ANGLE PROJECTION	DIMENSIONAL LAYOUT	
			DESCRIPTION: 150 kW Genset Housing	
			ENGINE: PSI 8.8LT CAC	WEIGHT (MIN-MAX): 2040-2500 KG 4500-5500 LB
			DATE CREATED: 2021-02-26	DRAWING NUMBER: XZG2500100035 SHEET: 1 of 1





## Diesel Generator Set

# MTU 6R0113 DS150

150 kWe/60 Hz/Standby/208 - 600V

Reference MTU 6R0113 DS150 (135 kWe) for Prime Rating Technical Data

### System ratings

Voltage (L-L)	240V †	240V †	208V †	240V †	480V †	600V
Phase	1	1	3	3	3	3
PF	1	1	0.8	0.8	0.8	0.8
Hz	60	60	60	60	60	60
kW	150	150	150	150	150	150
kVA	150	150	187	187	187	187
Amps	625	625	520	451	226	180
skVA@30% voltage dip	182	195	296	296	394	315
Generator model	43ICSL6208	43IPSL6224	43ICSL6202	43ICSL6202	43ICSL6202	43IPSL6240
Temp rise	130 °C/40 °C	130 °C/40 °C	130 °C/40 °C	130 °C/40 °C	130 °C/40 °C	130 °C/40 °C
Connection	12 LEAD DOUBLE DELTA	4 LEAD	12 LEAD LOW WYE	12 LEAD HI DELTA	12 LEAD HI WYE	4 LEAD WYE

† UL 2200 offered

### Certifications and standards

- Emissions
  - EPA Tier 3 certified
  - South Coast Air Quality Management District (SCAQMD)
- Generator set is designed and manufactured in facilities certified to standards ISO 9001:2008 and ISO 14001:2004
- UL 2200 - optional (refer to *System ratings* for availability)
- CSA - optional
  - CSA C22.2 No. 100
  - CSA C22.2 No. 14
- Performance Assurance Certification (PAC)
  - Generator set tested to ISO 8528-5 for transient response
  - Verified product design, quality and performance integrity
  - All engine systems are prototype and factory tested
- Power rating
  - Accepts rated load in one step per NFPA 110



CITY OF WORTHINGTON  
DRAWING NO. ADP 07-2023  
DATE 07/11/2023



A Rolls-Royce  
solution

## Standard features \*

- MTU is a single source supplier
- Global product support
- 2 year standard warranty
- 6068HF285 diesel engine
  - 6.8 liter displacement
  - 4-cycle
- Engine-generator resilient mounted
- Complete range of accessories
- Cooling system
  - Integral set-mounted
  - Engine-driven fan
- Generator
  - Brushless, rotating field generator
  - 2/3 pitch windings
  - 300% short circuit capability with optional Permanent Magnet Generator (PMG)
- Digital control panel(s)
  - UL recognized, CSA certified, NFPA 110
  - Complete system metering
  - LCD display

## Standard equipment \*

### Engine

- Air cleaner
- Oil pump
- Oil drain extension and S/O valve
- Full flow oil filter
- Fuel filter with water separator
- Jacket water pump
- Thermostat
- Blower fan and fan drive
- Radiator - unit mounted
- Electric starting motor - 12V
- Governor - electronic isochronous
- Base - formed steel
- SAE flywheel and bell housing
- Charging alternator - 12V
- Battery box and cables
- Flexible fuel connectors
- Flexible exhaust connection
- EPA certified engine

### Generator

- NEMA MG1, IEEE, and ANSI standards compliance for temperature rise and motor starting
- Self-ventilated and drip-proof
- Superior voltage waveform
- Solid state, volts-per-hertz regulator
- $\pm 1\%$  voltage regulation no load to full load
- Brushless alternator with brushless pilot exciter
- 4 pole, rotating field
- 130 °C maximum standby temperature rise
- 1-bearing, sealed
- Flexible coupling
- Full amortisseur windings
- 125% rotor balancing
- 3-phase voltage sensing
- 100% of rated load - one step
- 5% maximum total harmonic distortion

### Digital control panel(s)

- Digital metering
- Engine parameters
- Generator protection functions
- Engine protection
- SAE J1939 Engine ECU Communications
- Windows®-based software
- Multilingual capability
- Remote communications to RDP-110 remote annunciator
- Programmable input and output contacts
- UL recognized, CSA certified, CE approved
- Event recording
- IP 54 front panel rating with integrated gasket
- NFPA 110 compatible



CITY OF WORTHINGTON  
DRAWING NO. ADP 07-2023  
DATE 07/11/2023



## Application data

### Engine

Manufacturer	John Deere
Model	6068HF285
Type	4-cycle
Arrangement	6-inline
Displacement: L (in <sup>3</sup> )	6.8 (415)
Bore: cm (in)	10.6 (4.19)
Stroke: cm (in)	12.7 (5)
Compression ratio	19:1
Rated rpm	1,800
Engine governor	JDEC
Maximum power: kWm (bhp)	177 (237)
Speed regulation	± 0.25%
Air cleaner	dry

### Liquid capacity (Lubrication)

Total oil system: L (gal)	20 (5.28)
Engine jacket water capacity: L (gal)	12.3 (3.25)
System coolant capacity: L (gal)	22.7 (6)

### Electrical

Electric volts DC	12
Cold cranking amps under -17.8 °C (0 °F)	925

### Fuel system

Fuel supply connection size	-6 JIC 37° female
Fuel return connection size	-6 JIC 37° female
Maximum fuel lift: m (ft)	2 (6.7)
Recommended fuel	diesel #2
Total fuel flow: L/hr (gal/hr)	107.2 (28.3)

### Fuel consumption

At 100% of power rating: L/hr (gal/hr)	44.7 (11.8)
At 75% of power rating: L/hr (gal/hr)	34.8 (9.2)
At 50% of power rating: L/hr (gal/hr)	25.4 (6.7)

### Cooling - radiator system

Ambient capacity of radiator: °C (°F)	50 (122)
Maximum restriction of cooling air: intake and discharge side of radiator: kPa (in. H <sub>2</sub> O)	0.12 (0.5)
Water pump capacity: L/min (gpm)	180 (48)
Heat rejection to coolant: kW (BTUM)	93.5 (5,324)
Heat rejection to air to air: kW (BTUM)	32 (1,821)
Heat radiated to ambient: kW (BTUM)	25.7 (1,461)
Fan power: kW (hp)	10.7 (14.3)

### Air requirements

Aspirating: *m <sup>3</sup> /min (SCFM)	13.6 (480)
Air flow required for radiator cooled unit: *m <sup>3</sup> /min (SCFM)	304 (10,732)
Remote cooled applications; air flow required for dissipation of radiated generator set heat for a maximum of 25 °F rise: *m <sup>3</sup> /min (SCFM)	94 (3,295)

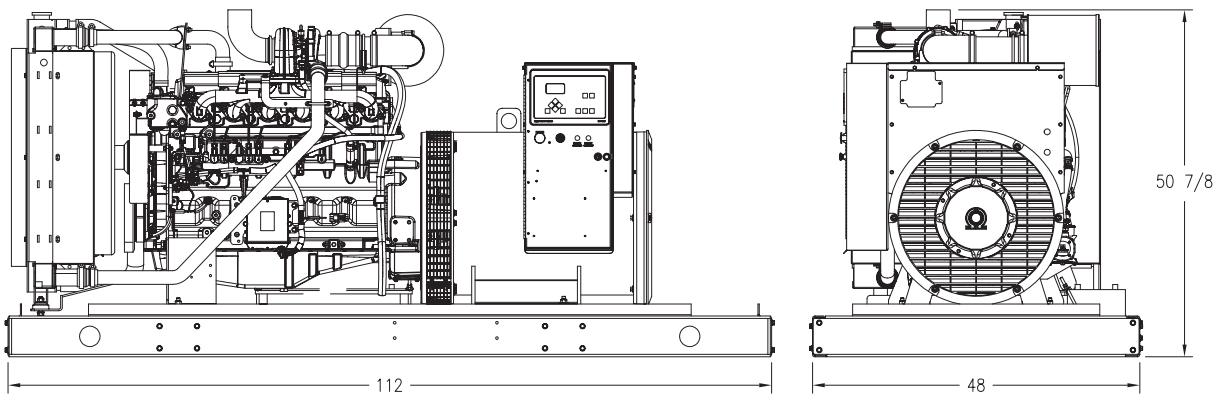
\* Air density = 1.184 kg/m<sup>3</sup> (0.0739 lbm/ft<sup>3</sup>)

### Exhaust system

Gas temp. (stack): °C (°F)	505 (941)
Gas volume at stack temp: m <sup>3</sup> /min (CFM)	34 (1,201)
Maximum allowable back pressure at outlet of engine, before piping: kPa (in. H <sub>2</sub> O)	7.5 (30)



Weights and dimensions



Drawing above for illustration purposes only, based on standard open power 480 volt generator set. Lengths may vary with other voltages. Do not use for installation design. See website for unit specific template drawings.

System	Dimensions (L x W x H)	Weight (less tank)
Open power unit (OPU)	2,845 x 1,219 x 1,283 mm (112 x 48 x 50.5 in)	1,573-2,262 kg (3,496-4,986 lb)

Weights and dimensions are based on open power units and are estimates only. Consult the factory for accurate weights and dimensions for your specific generator set.

Sound data

Unit type	Standby full load
Level O: Open power unit: dB(A)	85.1

Sound data is provided at 7 m (23 ft). Generator set tested in accordance with ISO 8528-10 and with infinite exhaust.

Emissions data

NO <sub>x</sub> + NMHC	CO	PM
3.77	0.4	0.06

All units are in g/hp-hr and shown at 100% load (not comparable to EPA weighted cycle values). Emission levels of the engine may vary with ambient temperature, barometric pressure, humidity, fuel type and quality, installation parameters, measuring instrumentation, etc. The data was obtained in compliance with US EPA regulations. The weighted cycle value (not shown) from each engine is guaranteed to be within the US EPA standards. 5-mode emission data per 40 CFR 89 or 40 CFR 1039 (as applicable) is available upon request.

Rating definitions and conditions

- Standby ratings apply to installations served by a reliable utility source. The standby rating is applicable to varying loads for the duration of a power outage. No overload capability for this rating. Ratings are in accordance with ISO 3046-1, BS 5514, and AS 2789. Average load factor: ≤ 85%.
- Consult your local MTU Distributor for derating information.

