



**ARCHITECTURAL REVIEW BOARD
MUNICIPAL PLANNING COMMISSION
-AGENDA-
Thursday, September 14, 2023 at 7:00 P.M.**

Louis J.R. Goorey Worthington Municipal Building
The John P. Coleman Council Chamber
6550 North High Street
Worthington, Ohio 43085

Watch online at [worthington.org/live](https://www.worthington.org/live), and comment in person or at [worthington.org/meeting-public-input](https://www.worthington.org/meeting-public-input)

A. Call to Order - 7:00 pm

1. Roll Call
2. Pledge of Allegiance
3. Approval of minutes of the July 27, 2023 meeting
4. Affirmation/swearing in of witnesses.

B. Architectural Review Board – Consent Agenda

There will be no separate discussion of Consent Agenda items as they are considered to be routine by the Board and Commission and will be adopted by one motion. If a member of the Board & Commission, staff, or public requests discussion on a particular item, that item will be removed from the Consent Agenda and considered separately on the agenda. Approval of Consent Agenda items includes conditions as listed in the staff memo.

1. New Roof & Paint Siding – **171 E. Granville Rd.** (Jake Rankey) **ARB 62-2023**
2. Roof-top Equipment – **671 High St.** (Brian Swanson) **ARB 63-2023**
3. Exhaust Removal System – **6500 N. High St.** (Kerry Stanforth/Worthington Fire and Emergency Medical Services) **ARB 65-2023**
4. Fence – **38 E. New England Ave.** (Michael Shadwick) **ARB 70-2023**

C. Architectural Review Board – New Business

1. Signs – **940 High St.** (Steve P. Moore/Anytime Fitness) **ARB 60-2023**

2. Addition – **691-693 High St.** (Jennifer M. Stevens/Kittie’s Bakery & Cafe) **ARB 61-2023**
3. Replacement Windows – **159-161 E. Granville Rd.** (Apco Industries/Silverman) **ARB 64-2023**
4. Sign – **2151 W. Dublin-Granville Rd.** (Great Impressions Signs/Rodos) **ARB 66-2023**
5. Addition – **70 W. North St.** (Steven Schwope/Gant) **ARB 68-2023**
6. Renovation & Additions – **100 W. Granville Rd.** (Element One/Turnock) **ARB 69-2023**
7. Window Replacement – **111 W. North St.** (Destany Todd/Baum) **ARB 71-2023**
8. Patio Furniture – **53 W. Wilson Bridge Rd.** (Jill Grosnoff/Huey Magoo’s) **ARB 72-2023**

D. Municipal Planning Commission – New Business

1. Amendment to Development Plan
 - a. Signage – **6670 Huntley Rd.** (Chris Tilton) **ADP 09-2023**

E. Other

F. Adjournment



MEMORANDUM

TO: Members of the Architectural Review Board
Members of the Municipal Planning Commission

FROM: Lynda Bitar, Planning Coordinator

DATE: September 8, 2023

SUBJECT: Staff Memo for the Meeting of September 14, 2023

B. Architectural Review Board – Consent Agenda

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1. New Roof & Paint Siding – 171 E. Granville Rd. (Jake Rankey) ARB 62-2023

Findings of Fact & Conclusions

Background & Request:

This one-story house was constructed in 1953, is 986 square feet in area, and sits on a lot that is about 66' wide and 344.825' deep. The applicant would like approval to replace the roof and will be painting the house.

Project Details:

1. The existing roof consists of red three-tab shingles.
2. Proposed are black architectural shingles.
3. The plan involves painting the vinyl lap siding on the house Sherwin Williams "Grey Jacket", which is a navy-blue color. The trim would be repainted white.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

When installing a new roof on a building that currently has asphalt shingles, avoid the uneven, "staggered-butt" design or other shingle patterns that try to create an older look; a medium gray color generally is appropriate on an older building if it originally had a slate roof. Green, red or black shingles may also be appropriate, depending on the building's predominant colors. Avoid very light-colored shingles.

The city has flexible policy giving building owners freedom in color selection but recommends avoiding colors inappropriate for Worthington's architecture. Compatibility of design and materials and exterior detail and relationships are standards of review in the Architectural District ordinance.

Recommendation:

Staff is recommending approval of this application. The proposed roofing color and the color for the vinyl siding are appropriate.

Motion:

THAT THE REQUEST BY JAKE RANKEY FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL NEW ROOFING AT 171 E. GRANVILLE RD. AS PER CASE NO. ARB 62-2023, DRAWINGS NO. ARB 62-2023, DATED AUGUST 8, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

2. Roof-top Equipment – 671 High St. (Brian Swanson) ARB 63-2023

Findings of Fact & Conclusions

Background & Request:

This vernacular style commercial building was constructed in the 1800's, and additions/new construction occurred in the 1900's. In recent years, the 1st floor space was converted from retail to restaurant, and now houses the Worthington Tavern.

This is a request to install additional equipment on the roof.

Project Details:

1. An HVAC unit with ductwork and a return air vent is proposed on the flat roof of the restaurant behind an existing screen fence.
2. The applicant claims there will be no view from ground level.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Compatibility of design and materials and exterior detail and relationships are important concepts in the Design Guidelines and standards of review in the Architectural District ordinance.

Recommendation:

Staff is recommending approval of this application as the equipment would be appropriately located.

Motion:

THAT THE REQUEST BY BRIAN SWANSON FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL ROOFTOP EQUIPMENT AT 671 HIGH ST., AS PER CASE NO. ARB 63-2023, DRAWINGS NO. ARB 63-2023, DATED AUGUST 9, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

3. Exhaust Removal System – **6500 N. High St.** (Kerry Stanforth/Worthington Fire and Emergency Medical Services) **ARB 65-2023**

Findings of Fact & Conclusions**Background & Request:**

The Worthington fire station building was constructed in the early 1990's. This is a request to add a vehicle exhaust removal system to the building.

Project Details:

1. The MagneGrip system would be a long rail option source capture exhaust system that is mainly interior to the building with rails, ducts, and hoses that connect to the trucks.
2. Exhaust would be through a south facing rear building wall with a duct that would extend out and curve up to above the roof.
3. As the current documents do not meet the [2017 Ohio Building Code](#) requirements, the location off the duct may differ from that shown in the packet.

Land Use Plans:**Worthington Design Guidelines and Architectural District Ordinance**

Compatibility of design and materials and exterior detail and relationships are important concepts in the Design Guidelines and standards of review in the Architectural District ordinance.

Recommendation:

Staff is recommending approval of this application regardless of the exact location of the exhaust duct as it will be on the rear of the building, and the system is needed for health reasons. If possible, the duct will be painted to blend with the building or trim.

Motion:

THAT THE REQUEST BY KERRY STANFORTH ON BEHALF OF THE CITY OF WORTHINGTON FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL AN EXHAUST REMOVAL SYSTEM DUCT AT 6500 N. HIGH ST., AS PER CASE NO. ARB 65-2023, DRAWINGS NO. ARB 65-2023, DATED AUGUST 16, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

4. Fence – **38 E. New England Ave.** (Michael Shadwick) **ARB 70-2023**

Findings of Fact & Conclusions

Background & Request:

A contributing building in the Worthington Historic District, this 1910 house is described in the nomination as a cottage style home, but it also has characteristics of a Craftsman structure. The house has a main gable with gabled dormers on the east and west sides, and a porch that wraps around the front to the west side of the structure. The structure started as a single-family home, but was converted to accommodate two and three families at different times in the twentieth century. In the 2000's, it was changed back to a single-family structure.

This property is located in the AR-4.5 and R-10 Zoning Districts on the north side of E. New England Ave. An easement and drive aisle are in place on the west side of the lot to allow access to the parking lot behind several High St. commercial properties. A City parking lot is adjacent to the west.

There is a concrete patio on the west side of the house and the owner would like to screen it with a fence.

Project Details:

1. The fence is planned to connect to the corner of the front porch; extend west and along the patio for 44'; and return to the back of the house for 15' which would include a 36" wide gate. The fence is proposed to be 12" from the asphalt drive.
2. The fence would be cedar and designed to match the fencing used at the lodge PUD, which is 6' high with solid boards at the bottom and open pickets at the top.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Side yard fences should be open in style (avoid solid, opaque fences that block all views) and three to four feet in height. In the back yard, generally avoid fences over four feet in height; higher fences are discouraged but may be appropriate where a commercial use abuts a residential property. In all cases, no fences higher than six feet are permitted.

Recommendations:

Staff is recommending approval of this application as the fence is adjacent to a commercial drive, matches the fencing on the south side of E. New England Ave., and is complementary to the house.

Motion:

THAT THE REQUEST BY MICHAEL SHADWICK FOR A CERTIFICATE OF APPROPRIATENESS TO ADD FENCING AT 38 E. NEW ENGLAND AVE., AS PER CASE NO. ARB 70-2023, DRAWINGS NO. ARB 70-2023, DATED AUGUST 28, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

C. Architectural Review Board – New Business

1. Signs – 940 High St. (Steve P. Moore/Anytime Fitness) ARB 60-2023

Findings of Fact & Conclusions

Background & Request:

This building was constructed in 1962 and housed a pharmacy (CVS, Revco) on the south end and FedEx/Kinko's on the north end for many years. Ace Hardware moved into the southern space in 2012 and FedEx moved out of the northern space in 2021.

Anytime Fitness plans to move into the northern space and would like approval for sign installation.

Project Details:

1. New panels are proposed for the bottom half of the freestanding sign that would be 92 1/2" wide x 29 5/8" high or 19.03 square feet (sf) per panel and 38.1 sf total. The background is shown as white with black vinyl letters, a purple logo, and a tag line reading "Training Nutrition Recovery" in white with a black background. With the Ace portion of the sign, it appears there are 5 styles and 5 sizes of lettering (the logo is included). A variance granted on January 5, 2006 allowed this sign to have 4 styles of lettering and 4 sizes of lettering. Modification of the sign design or an additional allowance by way of a variance is needed.
2. Internally illuminated white channel letters, a purple logo, and a black box with push-thru white letters with the tag line are proposed on the face above the storefront. The area of the sign is 334 7/8" x 42 7/16" = 98.7 square feet. The main letters would be 15 15/16" high and the logo would be 42 7/16" high.
3. Total area for the Anytime Fitness signage is proposed as 38.1 sf + 98.7 sf = 136.8 sf which exceeds the allowable 100 sf per business. Reduction in size or a variance would be needed.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

While the regulations permit a certain maximum square footage of signs for a business, try to minimize the size and number of signs. Place only basic names and graphics on signs along the street so that drive-by traffic is not bombarded with too much information. Free-standing signs should be of the "monument" type; they should be as low as possible. Such signs should have an appropriate base such as a brick planting area with appropriate landscaping. Colors for signs should be chosen for compatibility with the age, architecture, and colors of the buildings they serve, whether placed on the ground or mounted on the building.

Worthington Code Sections:

1170.03 Design Requirements.

- (b) Illumination. Internally illuminated signs shall be constructed so as to allow the illumination of only letters, numbers or other identifying symbols on the display surface. No light shall pass through the background.

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1170.04 Measurement.

- (a) Sign area is calculated by totaling all display areas of a sign, including sign faces, molding and framing, but excluding supporting members less than or equal to twenty-four inches in width.

1170.05 Commercial and Industrial District Requirements.

- (a) Sign area. Allowable permanent sign area for any single business shall be limited according to the widths of the building or part of the building occupied by such enterprise. For the purposes of this section, width shall be measured along the building face nearest parallel to the street line. In the case of a corner lot, either frontage may be used in determining maximum area for signage. The area of all permanent signs for any single business shall be equivalent to one and one-half square feet of sign area for each lineal foot of width of the building or part of the building, but shall not exceed a maximum area of 100 square feet per business.

Recommendations:

- The tag line should be removed from the freestanding sign panels to simplify the sign.
- Reduction in the size of the wall sign would be an appropriate way to deal with the overage in total sign area and more closely blend with the Ace Hardware sign.

Motion:

THAT THE REQUEST BY STEVE P. MOORE ON BEHALF OF ANYTIME FITNESS FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL NEW SIGNAGE AT 940 HIGH ST. AS PER CASE NO. ARB 60-2023, DRAWINGS NO. ARB 60-2023, DATED JULY 25, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

2. Addition – 691-693 High St. (Jennifer M. Stevens/Kittie’s Bakery & Cafe) ARB 61-2023

Findings of Fact & Conclusions

Background & Request:

Kittie’s Handcrafted Baked Goods & Café has taken over the Highline Coffee Co. space, which is 607 sf on the first floor of the twentieth century commercial building at the southwest Village Green. The business occupies the northern two storefronts, but only makes use of the door at the main storefront to the north. In addition to the seating inside, the previous owner added two 24 ¾” square tables with 2 chairs each outside of the shop in 2016.

This is a request for new signage.

Project Details:

1. A wall sign consisting of 15” high individual letters that are white mounted on blue backgrounds is proposed above the main entrance. The sign is shown as 90” wide x 15” high for 9.4 sf of sign area. Construction would be of wood or material to look like wood.

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2. A projection sign would be installed on a bracket south of the main storefront. The 2” thick round sign is proposed to be 22” in diameter; have a routed border; and a “K” in the middle made with two layers of material. The colors include: PMS 3035 (dark shade of cyan - background); PMS 199 (Pink-red – edge of circle and shadow of “K”); light blue (accent on sides and face of “K”); and white (“K” and border). The bottom of the sign is proposed 100” above sidewalk grade.
3. Window signs are proposed inside the storefront glass of both spaces, including facing the Village Green to the north. For the smaller storefront to the south where people do not enter from the outside, lettering and banners that cover about half of the windows is proposed. People could see into the space through the white lettering on the front. The pink-red banners on the side windows would be opaque.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Guideline recommendations for signage include being efficient in using signs. Try to use as few and as small signs as are necessary to get the business message across to the public. Colors for signs should be chosen for compatibility with the age, architecture, and colors of the buildings they serve. Signs must be distinctive enough to be readily visible but avoid incompatible modern colors. Signage, including the appropriateness of signage to the building, is a standard of review per the Architectural District ordinance.

Worthington Code Sections:

[1170.02 Definitions and Provisions](#)

- (i) “Internal sign” means an indoor sign viewed through windows from the exterior. Internal signs shall not occupy more than twenty-five (25%) of the window area contiguous to the sign and shall not be illuminated. Internal signs are excluded in the computation of sign area.

Staff Comments:

Due to a need for variances for the internal signs on the southern storefront, it would be helpful for the ARB to discuss the appropriateness of the signs.

Recommendation:

Staff is recommending approval of this application. The proposed permanent signs meet the guidelines for size and compatibility.

Motion:

THAT THE REQUEST BY JENNIFER M. STEVENS ON BEHALF OF DIANE HERMAN FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL NEW SIGNS AT 691-693 HIGH ST. AS PER CASE NO. ARB 61-2023, DRAWINGS NO. ARB 61-2023, DATED JULY 31, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

3. Replacement Windows – **159-161 E. Granville Rd.** (Apco Industries/Silverman) **ARB 64-2023**

Findings of Fact & Conclusions

Background & Request:

This brick Prairie style duplex was built in 1921 and is in the R-10 Zoning District. Approval was received in 2020 to construct an addition and new garages on the property and the work was completed in 2022.

This request is to allow the windows to be replaced.

Project Details:

1. The existing windows are the original wood windows and storm windows are in place in most cases.
2. The proposed replacement windows are Plygem 2000 vinyl windows. The white windows would be installed inside the existing frames. New grids are planned that would be between the glass panes. Windows listed as sliders would instead be picture windows. It is not clear if that means they would be fixed and not able to open.

Land Use Plan:

Worthington Design Guidelines and Architectural District Ordinance

Retention and repair of existing historic windows is always preferable to replacement. Because they usually comprise so much of a building's exterior surface, windows are a major part of its character. Keeping them is one of the most important ways to protect that character. Even non-original windows may be of sufficient age and design quality to warrant their retention.

If energy efficiency is a concern, interior or exterior storm windows can greatly increase the insulating quality of windows. Some interior storm windows are held in place by magnetic strips and are easy to remove for cleaning and maintenance; many exterior storm windows slide in tracks and include screens so windows can be opened in warm weather. In some thicker window sash it may be possible to re-glaze with insulated panes -- but avoid removing historic "wavy" glass to do so; use storm windows instead. If these measures do not provide adequate energy efficiency, new replacement windows may be appropriate.

If historic windows are too deteriorated to repair cost effectively and replacement is justified, the preferred option is an in-kind replacement in the same material and design. This usually means real wood windows with true through-the glass muntins (if appropriate) in dimensions and profiles that duplicate the originals. Window suppliers have become very good at doing such work at reasonable prices, but this still may take some persistence and hunting around.

New windows made of substitute materials such as aluminum, vinyl, or clad wood can be an acceptable second choice if they provide a reasonably good match for the windows being replaced. Number of panes, real muntins, and correct profiles still are important. Avoid enlarging or

downsizing window openings to accommodate stock sizes of replacements. Also avoid permanent blocking in of windows; the original window pattern of a house is part of its overall design.

Staff Comments:

1. Retention and repair of original wood windows is preferable.
2. It is not clear from the measurements listed that the window sizes are not changing.
3. Grids between the panes will not look the same as the existing windows. Simulated divided light with grids on the inside, outside and between the panes would provide a better match.

Recommendation:

Staff is recommending that if the wood windows cannot be restored, they be replaced with windows that give the same look as the existing.

Motion:

THAT THE REQUEST BY ANDREW SILVERMAN FOR A CERTIFICATE OF APPROPRIATENESS TO REPLACE THE WINDOWS AT 159-161 E. GRANVILLE RD. AS PER CASE NO. ARB 64-2023, DRAWINGS NO. ARB 64-2023, DATED AUGUST 16, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

4. Sign – 2151 W. Dublin-Granville Rd. (Great Impressions Signs/Rodos) ARB 66-2023

Findings of Fact & Conclusions

Background & Request:

This shopping center was originally constructed in the 1950's, with a major addition and renovation completed in the late 1980's. At that time, the storefronts and signs were approved in a uniform manner. Over the years, many amendments have been approved including the addition of a gable at the east end, multiple sign changes and most recently a change to the color scheme. In 2008, the eastern half of the building was approved for a facelift including new fascia and a change to the sign styles.

This request would allow installation of a new sign for Rodos Greek Taverna.

Project Details:

1. The new sign would be above the storefront, centered below two existing gooseneck lamps (it is shown incorrectly in the photo).
2. The proposed sign would be 11'4" wide by 30" high or 28.3 sf of sign area with a black background and white lettering.
3. A routed oval shaped 60" wide logo is proposed to the left and "RESTAURANT" "BAR" PVC letters would be to the right.

Land Use Plans:Worthington Design Guidelines and Architectural District Ordinance

While the regulations permit a certain maximum square footage of signs for a business, try to minimize the size and number of signs. Colors for signs should be chosen for compatibility with the age, architecture and colors of the buildings they serve, whether placed on the ground or mounted on the building.

Recommendations:

Staff is recommending approval of this application, as the proposed sign is appropriate in this location.

Motion:

THAT THE REQUEST BY GREAT IMPRESSIONS SIGNS FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL A SIGN FOR RODOS GREEK TAVERNA AT 2151 W. DUBLIN-GRANVILLE RD., AS PER CASE NO. ARB 66-2023, DRAWINGS NO. ARB 66-2023, DATED AUGUST 22, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

5. Addition – **70 W. North St.** (Steven Schwope/Gant) **ARB 68-2023**

Findings of fact & Conclusions**Background & Request:**

This house was built in 1933 and is on a property that includes two 50' wide lots that are both 412.9' deep and in the R-10 Low Density Residence Zoning District. The house is a contributing building in the Worthington Historic District and listed as Colonial Revival Influence in style. It spans the width of the eastern 50' lot, sitting about 30' from the front property line. A two-car freestanding garage is on the west side and lines up with the back of the house. The entire property has been landscaped, including rock features and art, and is well maintained by the property owners.

This is a request to construct a one-story addition on the back of the house to allow the owners to create an accessible space.

Project Details:

1. The addition is proposed to be 14'4" wide x 12'8" deep and aligned with the east side of the existing house.
2. The Board of Zoning Appeals approved a variance to allow the addition to be 4'11" from the east property line. The exterior wall would require a minimum 1 hour, fire-resistance-rated assembly per [RCO 302.1](#).
3. An existing bathroom and bedroom would be converted into a laundry room, accessible bathroom and hallway leading to the addition, which would be the new bedroom.

4. Materials would match the existing house including painted wood lap siding and reuse of a window.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Residential additions are recommended to maintain similar roof forms; be constructed as far to the rear and sides of the existing residence as possible; be subordinate; and have walls set back from the corners of the main house. Be sure that window designs are appropriate for the style or time period of the house.

Recommendation:

Staff is recommending approval of this application. Although the outside wall is not set back, the proposed structure is to the rear, subordinate and the design matches the existing house.

Motion:

THAT THE REQUEST BY STEVEN SCHWOPE ON BEHALF OF NEIL GANT FOR APPROVAL TO CONSTRUCT A REAR ADDITION AT 70 W. NORTH ST., AS PER CASE NO. VAR 30-2023, DRAWINGS NO. VAR 30-2023, DATED AUGUST 10, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

6. Renovation & Additions – **100 W. Granville Rd.** (Element One/Turnock) **ARB 69-2023**

Findings of fact & Conclusions

Background & Request:

This house is a two-story colonial revival style that was built originally in 1921 and is a contributing building in the Worthington Historic District. The applicant would like to modify the existing house and construct several additions.

Project Details:

1. Renovation:
 - a. Roof – The original front part of the house would retain the existing slate shingles. Three chimneys in the original part of the house are planned to be saved remain. The previous one-story rear addition is planned to get a second floor so that chimney and roof would be removed.
 - b. Siding – The house is currently sided with a light blue vinyl siding. That will be replaced with Hardi lap siding in white.
 - c. Windows – The existing windows in the house are decorative with muntins in the top half that form narrow panes of glass with diamond shapes at the top. The applicant says the weights do not work and the windows have been painted shut. Proposed windows would be Trimline clad wood windows in a 6 over 1 pattern for the double hungs, and fixed 6 and 8 panes.
 - d. Four glass doors are proposed along the rear wall to provide access to the deck.

- e. New garage doors are proposed that would have horizontal windows over vertical panels in the front and over square panels in the rear.
- f. Dentils and fascia on the original house would remain.
2. Additions:
 - a. Front Porch – A new front porch is proposed that would be faced with Beldin Brick – Belcrest 760. A hipped roof with bronze standing seam metal would be supported in the front of the porch by 2 fiberglass columns at each corner. A photo was included from 1921 showing a front porch with a shallow roof and a wood landing and steps.
 - b. Rear 2nd Story – A second story is proposed above an existing one-story addition to the rear. The flat roof part of the hip in the original part of the house would continue to the rear above this addition. Dentils and fascia would continue on the addition to match the original house. A new bedroom suite is proposed in this addition.
 - c. Mudroom Addition – This addition between the house and garage would be 6’10 ½” x 13’ 6 5/16”. The connection of the dwelling to the garage will require separation in the form of gypsum drywall per RCO 302.6 and a carbon monoxide alarm outside sleeping area per RCO 315.
 - d. Materials – The same Hardi lap siding and windows proposed for the front of the house would be used, except rear windows would be black. Two windows that are wide and shallow are shown on the sides. New roofing would be Certainteed Landmark Pro – Colonial Slate. A chandelier type fixture is shown on the front porch ceiling, and wall lanterns would be next to the rear doors.
3. Rear Deck and Patio:
 - a. A new rear deck, 19’5” x 16’4”, is proposed to replace the existing deck. It would be made of Trex decking in Tigerwood with black RadianceRail around the outside and down the steps.
 - b. A new stamped concrete patio is proposed. One of the perspectives shows planter boxes – clarification is needed.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

- Residential additions are recommended to maintain similar roof forms; be constructed as far to the rear and sides of the existing residence as possible; be subordinate; and have walls set back from the corners of the main house. Design and materials should be traditional, and compatible with the existing structure.
- Siding: Existing historic wood siding should be retained and repaired as required. Such siding gives historic buildings a texture and appearance important to their character. Most siding is painted to weatherproof it, and keeping the paint in good shape is very important. If paint consistently blisters or peels off wood siding, look for moisture coming from leaking gutters or downspouts; leaking supply or drainpipes on the interior; wall insulation that has collected moisture; or ground moisture rising into the siding. Correct these conditions and dry out the siding before painting again. Repairs to damaged siding should be done with new wood that exactly matches the appearance of the existing. Historic wood siding should not be covered over or removed if it is repairable. Contemporary materials that simulate traditional ones are appropriate, but the preferred option is to use true traditional materials such as wood siding.
- Roof: Repair and retain existing traditional roofs such as wood shingle or slate. Roof materials

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often were intended to add to a building's character (especially slate) and should be retained for that reason.

- Porch: New porches (located where one is missing or there has not been a porch in the past) should be built in a simple, contemporary design. Look at original porches on similar buildings -- height, materials, roof slope, width -- and use these to develop a design. Avoid ornamentation such as spindles and scrollwork unless they were traditionally used on the porches of similar buildings. Be sure that a new porch is large enough to accommodate furniture, swings, or other elements.
- Windows: Retention and repair of existing historic windows is always preferable to replacement. Because they usually comprise so much of a building's exterior surface, windows are a major part of its character. Keeping them is one of the most important ways to protect that character. If historic windows are too deteriorated to repair cost effectively and replacement is justified, the preferred option is an in-kind replacement in the same material and design. This usually means real wood windows with true through-the glass muntins (if appropriate) in dimensions and profiles that duplicate the originals. Window suppliers have become very good at doing such work at reasonable prices, but this still may take some persistence and hunting around.

New windows made of substitute materials such as aluminum, vinyl, or clad wood can be an acceptable second choice if they provide a reasonably good match for the windows being replaced. Number of panes, real muntins, and correct profiles still are important. Avoid enlarging or downsizing window openings to accommodate stock sizes of replacements. Also avoid permanent blocking in of windows; the original window pattern of a house is part of its overall design.

Staff Comments:

1. The proposed windows would change the character of the house, as the existing are unique.
2. The new front porch may be more appropriate if the roof form and materials matched the porch constructed in 1921. Also, railings will be needed for the stairs.
3. The proportions of the wide, shallow windows on the sides should be modified to more closely resemble the rest of the windows in the house.
4. It seems unusual to have different colored windows on the rear elevations.
5. The garage doors with the horizontally oriented windows at the top are uncommon.
6. Replacement of the siding would be an improvement, especially if the width resembles the original siding on the house.

Recommendation:

Staff recommends approval of this application with consideration of the comments above.

Motion:

THAT THE REQUEST BY ELEMENT ONE ON BEHALF OF THE TURNOCKS FOR A CERTIFICATE OF APPROPRIATENESS TO RENOVATE AND ADD ONTO THE HOUSE AT 100 W. GRANVILLE RD. AS PER CASE NO. ARB 69-2023, DRAWINGS NO. ARB 69-2023, DATED AUGUST 28, 2023, BE APPROVED BASED ON THE FINDINGS

OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

7. Window Replacement – 111 W. North St. (Destany Todd/Baum) ARB 71-2023

Findings of Fact & Conclusions

Background & Request:

This house, constructed in 1940, is of Colonial Revival influence and a contributing building in the Worthington Historic District.

This request is to allow the windows to be replaced.

Project Details:

1. The existing windows are the original wood windows and have storm windows on the outside.
2. The proposed replacement windows are Fibrex composite material and would be installed in the same locations with the same size as the existing. Double hung windows are proposed and the muntins would be interior only.

Land Use Plan:

Worthington Design Guidelines and Architectural District Ordinance

Retention and repair of existing historic windows is always preferable to replacement. Because they usually comprise so much of a building's exterior surface, windows are a major part of its character. Keeping them is one of the most important ways to protect that character. Even non-original windows may be of sufficient age and design quality to warrant their retention.

If energy efficiency is a concern, interior or exterior storm windows can greatly increase the insulating quality of windows. Some interior storm windows are held in place by magnetic strips and are easy to remove for cleaning and maintenance; many exterior storm windows slide in tracks and include screens so windows can be opened in warm weather. In some thicker window sash it may be possible to re-glaze with insulated panes -- but avoid removing historic "wavy" glass to do so; use storm windows instead. If these measures do not provide adequate energy efficiency, new replacement windows may be appropriate.

If historic windows are too deteriorated to repair cost effectively and replacement is justified, the preferred option is an in-kind replacement in the same material and design. This usually means real wood windows with true through-the glass muntins (if appropriate) in dimensions and profiles that duplicate the originals. Window suppliers have become very good at doing such work at reasonable prices, but this still may take some persistence and hunting around.

New windows made of substitute materials such as aluminum, vinyl, or clad wood can be an acceptable second choice if they provide a reasonably good match for the windows being replaced. Number of panes, real muntins, and correct profiles still are important. Avoid enlarging or

downsizing window openings to accommodate stock sizes of replacements. Also avoid permanent blocking in of windows; the original window pattern of a house is part of its overall design.

Staff Comments:

1. Retention and repair of original wood windows is preferable.
2. Interior grids will not look the same as the existing windows. Simulated divided light with grids on the inside, outside and between the panes would provide a better match.

Recommendation:

Staff is recommending that if the wood windows cannot be restored, they be replaced with windows that give the same look as the existing.

Motion:

THAT THE REQUEST BY DESTANY TODD ON BEHALF OF MARGARET BAUM FOR A CERTIFICATE OF APPROPRIATENESS TO REPLACE THE WINDOWS AT 111 W. NORTH ST. AS PER CASE NO. ARB 71-2023, DRAWINGS NO. ARB 71-2023, DATED AUGUST 29, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

8. Patio Furniture – 53 W. Wilson Bridge Rd. (Jill Grosnoff/Huey Magoo’s) ARB 72-2023

Findings of Fact & Conclusions

Background & Request:

This multi-tenant building is part of the Worthington Gateway Planned Use District (PUD) and is the easternmost building along W. Wilson Bridge Rd. As part of the previous approvals, areas were designated as patio areas for restaurants.

This is a request to add patio furniture for Huey Magoo’s on the east side of the building.

Project Details:

1. Disregard the signage and blackout film shown in the elevation.
2. Six rectangular tables are proposed for the patio which would east seat four people. Five black umbrellas are shown. No signage would be allowed on the umbrellas.
3. The tables would be constructed with black metal frames and wood look tops.
4. Chairs are proposed to be red metal.
5. A railing is proposed around the perimeter of the patio that does not match the same design used elsewhere on the site: black aluminum picket with circles at the top. The railing shown does not have circles at the tops.

Land Use Plans:Worthington Design Guidelines and Architectural District Ordinance

The Design Guidelines recognize seating and tables for use by patrons makes an area feel more open and pedestrian-friendly. The Architectural District Ordinance calls for design and materials to be compatible.

Recommendation:

Staff is recommending this application be approved if the railing is switched to match the rest of the site and the applicant agrees to not have signs on the umbrellas.

Motion:

THAT THE REQUEST BY THE JILL GROSNOFF ON BEHALF OF HUEY MAGOO'S FOR A CERTIFICATE OF APPROPRIATENESS TO ADD PATIO FURNITURE AND A RAILING AT 53 W. WILSON BRIDGE RD., AS PER CASE NO. ARB 72-2023, DRAWINGS NO. ARB 72-2023, DATED AUGUST 29, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

D. Municipal Planning Commission – New Business**1. Amendment to Development Plan****a. Signage – 6670 Huntley Rd. (Chris Tilton) ADP 09-2023****Findings of Fact & Conclusions****Background & Request:**

Tiltens Automotive Service is constructing its new 26,243 sf facility at this location and is now asking for approval of signage. The 2.57 acre property is located in the I-1 Zoning District (Restricted Light Industrial) at the northeast corner of Huntley Rd. and Schrock Rd.

Project Details:

1. Three wall signs are proposed.
2. One sign each is shown on the south and west building elevations. These signs would be mounted on the building panels and consist of halo-lit channel letters and a car logo. Overall height is proposed as 4'1" and width is 10' for 40.8 sf per sign. Planned colors are red, white, and blue.
3. On the part of the building that faces the southwest corner of the property, a 10' x 28' panel is proposed with a 20'6" wide by 8' high red car that would be halo lit. The panel would be the sign area because without the sign, the panel would not be needed in that location. The actual sign would only be 164 sf.
4. Variances would be needed to have 3 wall signs and total sign area of 361.6 sf.

Land Use Plans:

Worthington Code Sections:

[1170.05 Commercial and Industrial District Requirements.](#)

- (a) Sign area. Allowable permanent sign area for any single business shall be limited according to the widths of the building or part of the building occupied by such enterprise. For the purposes of this section, width shall be measured along the building face nearest parallel to the street line. In the case of a corner lot, either frontage may be used in determining maximum area for signage. The area of all permanent signs for any single business shall be equivalent to one and one-half square feet of sign area for each lineal foot of width of the building or part of the building, but shall not exceed a maximum area of 100 square feet per business.
- (b) Wall-mounted signage. Each business shall be permitted one wall-mounted sign.

[Worthington Planning & Zoning Code – Development Plan – 1175.02](#)

Properties located in any “C-3” or “I-1” Districts that is not less than 2-acres in size shall be required to submit a Preliminary and Final Development Plan for the development of the site. The Preliminary and Final Development Plan looks at the location and character of the development, building heights, site layout, screening, landscaping, tract coverage, parking, utilities and stormwater control. Any changes to an approved Development Plan will be required to go through the Amendment to Development Plan process that would need to be reviewed and approved by the Municipal Planning Commission and possibly City Council if variances are needed.

[Comprehensive Plan Update & 2005 Strategic Plan for Worthington](#)

The 2005 Comprehensive Plan Update recommends Restricted Light Industrial (I-1 District) for Huntley Road north of Schrock Road and General Industrial (I-2 District) for the area south of Schrock Road down to Dublin-Granville Road (SR-161).

Worthington’s industrial corridor is significant to the City because these uses contribute to the tax base and provide employment opportunities for its residents. It is an appropriate site for industry, providing an edge for the brewery to the east in Columbus and straddling the railroad tracks. Truck traffic uses Schrock, Huntley, and Busch Boulevard to access SR-161 to Interstate 71.

Based on the competitive regional environment in the industrial market and the lack of large undeveloped parcels, the focus in Worthington should be on maintenance, marketing, and reuse of existing structures. The real estate economics make razing and redeveloping sites difficult without a larger, coordinated effort to assemble land. The Economic Development Plan indicated that Worthington is still able to attract small to medium-sized manufacturers and distributors but has difficulty retaining them as they grow and expand. These users should continue to be the target market, with structures renovated where possible to flexible space, easily converted for the changing needs of the tenant or new lessee.

The corridor consists of a number of buildings of various sizes and arrangements, as well as a few vacant lots. Because of the general age of the corridor and larger size of competing areas,

Worthington's industrial corridor is attractive to small and medium-sized manufacturers and distributors as well as business startups. The corridor still has the advantages of access to the rail line, proximity to the freeway system, close labor pool, and a location within the Outerbelt.

It is critical that the City protect this area as an employment center. The City should strive to make this area attractive to investment and redevelopment.

Recommendation:

Staff is recommending approval of this application as the proposed signs are acceptable at this location.

Motion:

THAT THE REQUEST BY CHRIS TILTON TO AMEND THE DEVELOPMENT PLAN BY ADDING SIGNAGE AT 6670 HUNTLEY RD., AS PER CASE NO. ADP 09-2023, DRAWINGS NO. ADP 09-2023, DATED SEPTEMBER 5, 2023, BE RECOMMENDED TO THE CITY COUNCIL FOR APPROVAL BASED ON THE PLANNING GOALS OF THE CITY, AS REFERENCED IN THE LAND USE PLANS, AND ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.



ARB APPLICATION
ARB 0062-2023
171 E. Granville Rd.

Plan Type: Architectural Review Board	Project:	App Date: 08/08/2023
Work Class: Certificate of Appropriateness	District: City of Worthington	Exp Date:
Status: In Review		Completed:
Valuation: \$10,000.00		Approval
Description: Paint current siding Navy blue. Sherwin williams vinyl safe color "Grey Jacket" keeping a white trim.		Expire Date:
Install new roof. Black in color.		

Parcel: 100-000476	Main	Address: 171 E Dublin-Granville Rd	Main	Zone: R-10(Low Density Residence)
		Worthington, OH 43085		

Applicant / Owner
Jake Rankey
796 MORNING ST
Worthington , OH 43085
Mobile: (937) 409-8649

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004369	Architectural Review Board	\$10.00	\$10.00
Total for Invoice INV-00004369		\$10.00	\$10.00
Grand Total for Plan		\$10.00	\$10.00

171 E. Granville Rd.





CITY OF WORTHINGTON
DRAWING NO. ARB 0062-2023
DATE 08/08/2023



CITY OF WORTHINGTON
DRAWING NO. ARB 0062-2023
DATE 08/08/2023



ARB APPLICATION ARB 0063-2023 671 High St.

Plan Type: Architectural Review Board	Project:	App Date: 08/09/2023
Work Class: Certificate of Appropriateness	District: City of Worthington	Exp Date:
Status: In Review		Completed:
Valuation: \$7,000.00		Approval
Description: Additional HVAC System installed on rear flat roof. this is not visable from ground level		Expire Date:

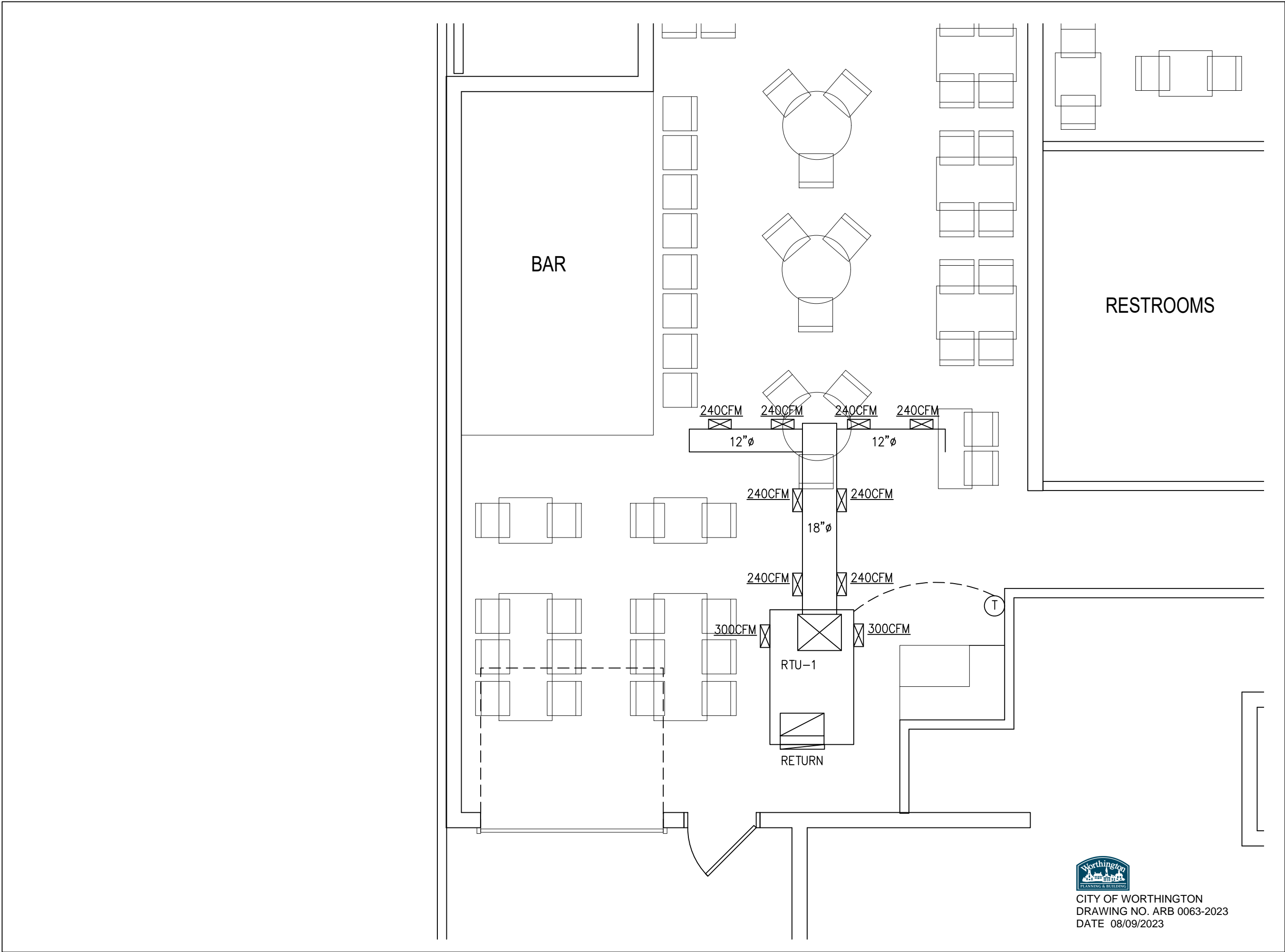
Parcel: 100-000037	Main	Address: 671 High St Worthington, OH 43085	Main	Zone: C-5(Central Commercial)
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Applicant Brian R Swanson 230 FRANKLIN AVE Worthington , OH 43085 Mobile: 6145887193	Owner Sam Baker Mobile: (614) 561-1354
--	--

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004370	Architectural Review Board	\$7.00	\$7.00
Total for Invoice INV-00004370		\$7.00	\$7.00
Grand Total for Plan		\$7.00	\$7.00

671 High St





CITY OF WORTHINGTON
DRAWING NO. ARB 0063-2023
DATE 08/09/2023



Genesis Planning & Design
300 East Broad Street
Columbus, Ohio 43215
614.926.1190
www.genesisohio.com



Donald K. Allemang

PROJECT:
HALF PINT
671 N. HIGH STREET
WORTHINGTON, OH 43085

SHEET:
HVAC PLAN

SCALE:
1/4" = 1'-0"

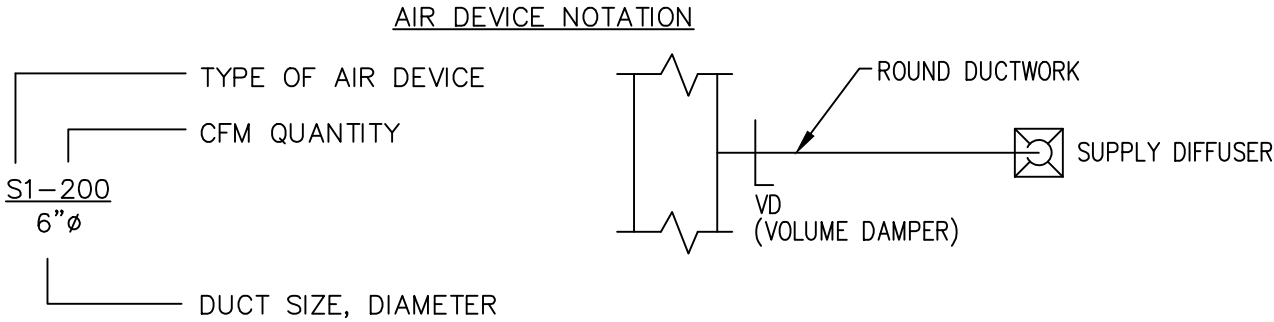
ISSUE / REVISION	DATE

DRAWN BY: BJA CHECKED BY: DKA

H1

TAG	DESCRIPTION	MODEL	VOLTS PHASE	MCA	MOCA	TONS	DESIGN CFM	DESIGN HEATING BTU'S	DESIGN COOLING BTU'S	UNIT WEIGHT	DIMENSION
RTU-3	ROOF TOP UNIT	BRYANT:580JP07A115A1	208V, 3PH	30.5	45.0	6.0	2,400 CFM	115,000/93,000	71,800	652 LBS	33.385"HX91.1"WX131.6"L

FRESH AIR SCHEDULE								
DESCRIPTION	S.F.	S.F. O.A.	OCCUPANTS	OCCUPANT CFM	TOTAL O.A. REQ'D	Ez	SUPPLY AIR	FRESH AIR
DINING	514 S.F.	92 CFM	30	225 CFM	281 CFM	0.8	1800 CFM	450 CFM



HVAC SCHEDULE	
Ⓟ	THERMOSTAT 24/7 PROGRAMMABLE
S1	2'X'2' SUPPLY DIFFUSER TITUS OMNI SERIES.
R1	2'X'2' RETUTN GRILLE 350RL



CITY OF WORTHINGTON
DRAWING NO. ARB 0063-2023
DATE 08/09/2023

HVAC SPECIFICATIONS

PART 1 GENERAL

1.0 SCOPE

- THE HVAC CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL, TOOLS AND EQUIPMENT REQUIRED FOR A COMPLETE INSTALLATION AND TESTING OF THE HVAC SYSTEM AS INDICATED ON THE DRAWINGS AND SPECIFICATIONS.
- SCOPE TO INCLUDE INSTALLATION OF THE NEW ROOF TOP UNIT SERVING THE DINING ROOM ADDITION.
- THE HVAC CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND INSPECTIONS REQUIRED FOR HIS WORK.

1.1 CODES AND STANDARDS

- ALL WORK, MATERIAL AND EQUIPMENT SHALL COMPLY WITH ALL REQUIREMENTS OF THE 2017 OHIO BUILDING CODE, 2017 OHIO MECHANICAL CODE (OMC), ICC/ANSI A117.1-2009 ACCESSIBILITY CODE, O.S.H.A. AND ALL ENFORCED STATE AND LOCAL CODES.
- ALL MATERIALS SHALL BE U.L. LISTED AND BEAR THE U.L. LABEL.

PART 2 DUCTWORK AND DEVICES

2.0 AIR DEVICES

- SUPPLY AIR AND RETURN DEVICES SHALL BE NEW TO MATCH THE BUILDING STANDARD FOR 2'X'2' LAY-IN TYPE.
- AIR DEVICES SHALL MATCH BUILDING STANDARD COLOR AND FINISH.

2.1 DUCTWORK

- DUCTWORK SHALL BE INSULATED GALVANIZED SHEET METAL AND FLEX SIMILAR TO TYPE USED IN BUILDING.
- CONTRACTOR SHALL PROVIDE AIR TIGHT SEAL ON ALL DUCTWORK.
- PROVIDE VOLUME DAMPERS FOR EACH BRANCH RUN TO ALLOW FOR SYSTEM BALANCING. DAMPERS SHALL BE SINGLE CROSS-BLADE UP TO 12" BLADE WIDTH AND MULTI-BLADE IN LARGER SIZES. DAMPERS MOUNTED IN DUCTS SHALL BE CONTROLLED BY A LOCKING QUADRANT POSITIONER WITH HANDLE FOR DUCTS WITH EXTERIOR INSULATION. PROVIDE SUITABLE EXTENSIONS FOR POSITIONERS EQUAL TO VENT LOCK 637. MULTI-BLADE DAMPERS SHALL BE OPPOSED BLADE WITH ADEQUATE LOCKING MEANS FOR STABLE POSITIONING. FURNISH ACCESS PANELS WHERE REQUIRED FOR ACCESS TO DAMPERS
- MATERIALS SHALL MEET ASTM E-84 STANDARDS FOR SMOKE DEVELOPMENT OF 150 OR LESS AND FLAME SPREAD OF 25 OR LESS.
- ELBOWS SHALL HAVE AN INSIDE RADIUS EQUAL TO THE DUCT WIDTH, IN LIEU OF WHICH DOUBLE WALL TURNING VANES HAVING EQUIVALENT OR LESS PRESSURE DROP ARE ACCEPTABLE.
- ALL MATERIALS EXPOSED ABOVE CEILING IN RETURN PLENUM SHALL CONFORM TO OMC 602.2.1

PART 3 CONTROLS

- THERMOSTAT SHALL BE LOCATED AS INDICATED ON THE PLANS. PROVIDE NEW CONTROL WIRING REQUIRED.



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Columbus, Ohio 43215
614.926.1190
www.genesisohio.com



Donald K. Allemang

PROJECT:

WORTHINGTON TAVERN
671 N. HIGH STREET
WORTHINGTON, OH 43085

SHEET:

HVAC SCHEDULES

SCALE:

NONE

ISSUE / REVISION	DATE
PERMIT DRAWING	7-7-23

DRAWN BY: BJA CHECKED BY: DKA

H2

ELECTRICAL SPECIFICATIONS

PART 1 GENERAL

1.0 GENERAL

- A. THE ELECTRICAL CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL, TOOLS AND EQUIPMENT REQUIRED TO INSTALL THE NEW ROOF TOP UNIT, CONVENIENCE RECEPTACLE AND DUCT DETECTOR WITH INDICATING DEVICE.
- B. THE ELECTRICAL CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND INSPECTIONS REQUIRED FOR HIS WORK.
- C. PROVIDE ARC FAULT WARNING SHORT CIRCUIT CURRENT ON ALL PANELS AND MAIN

1.1 CODES AND STANDARDS

- A. ALL WORK, MATERIAL AND EQUIPMENT SHALL COMPLY WITH ALL REQUIREMENTS OF THE 2017 OHIO BUILDING CODE, THE 2017 NATIONAL ELECTRICAL CODE (NEC), THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), THE LATEST ADDITIONS OF THE ICC/ANSI A117.1-2009 ACCESSIBILITY CODE, O.S.H.A. AND ALL OTHER ENFORCED STATE AND LOCAL CODES.

PART 2 CONDUIT, WIRE, BOXES AND DEVICES

2.1 CONDUIT

- A. ALL CONDUIT SHALL BE AS LISTED.
- B. RIGID, INTERMEDIATE GRADE, EMT, ARE PERMITTED FOR WIRING.

2.2 WIRE

- A. ALL SINGLE CONDUCTOR POWER WIRE SHALL BE 600 VOLT, THWN OR THHN COPPER OR EQUIVALENT ALUMINUM CONDUCTORS, METAL CLAD (MC CABLE) IS ALSO PERMITTED.
- B. MINIMUM WIRE SIZE SHALL BE #12 AWG, EXCEPT WHERE OTHERWISE NOTED.
- C. CONDUCTORS FOR POWER FEEDERS AND BRANCH CIRCUITS SHALL HAVE CONDUCTOR IDENTIFICATION AS CALLED OUT FOR IN THE N.E.C. AND SHALL BE CONSISTENT THROUGHOUT.

2.3 BOXES

- A. OUTLET AND DEVICE WIRING BOXES SHALL BE SHEET STEEL WITH STAMPED KNOCKOUTS, THREADED SCREW HOLES AND ACCESSORIES FOR EACH LOCATION INCLUDING MOUNTING BRACKETS, STRAPS, CABLE CLAMPS, EXTERIOR RINGS AND FIXTURE STUDS.

2.4 DEVICES

- A. ALL WIRING DEVICES SHALL BE HEAVY DUTY, SPECIFICATION GRADE AS MANUFACTURED BY BRYANT, HUBBELL, LEVITON OR APPROVED EQUAL. FINISH SHALL BE WHITE UNLESS NOTED OTHERWISE OR SELECTED BY THE OWNER OR ARCHITECT.
- D. RECEPTACLES SHALL BE DUPLEX, 2 POLE, 3-WIRE NEMA 5-20R, GROUNDING TYPE RATED 20 AMP, 125VOLT.

PART 3 GROUNDING

3.1 GENERAL

- A. PROVIDE ALL MATERIALS AND LABOR REQUIRED TO INSTALL AN APPROVED GROUNDING SYSTEM TO A GROUND SOURCE AS DESCRIBED IN N.E.C. 250.
- B. GROUND ALL CONDUITS, FIXTURES, RECEPTACLES, MOTORS, PANELS AND OTHER EXPOSED NON CURRENT CARRYING METAL PARTS OR ELECTRICAL EQUIPMENT IN ACCORDANCE WITH ALL PROVISIONS LISTED IN THE N.E.C.
- C. PROVIDE AN INSULATED GROUND WIRE IN ALL FEEDER AND BRANCH CIRCUIT CONDUITS.

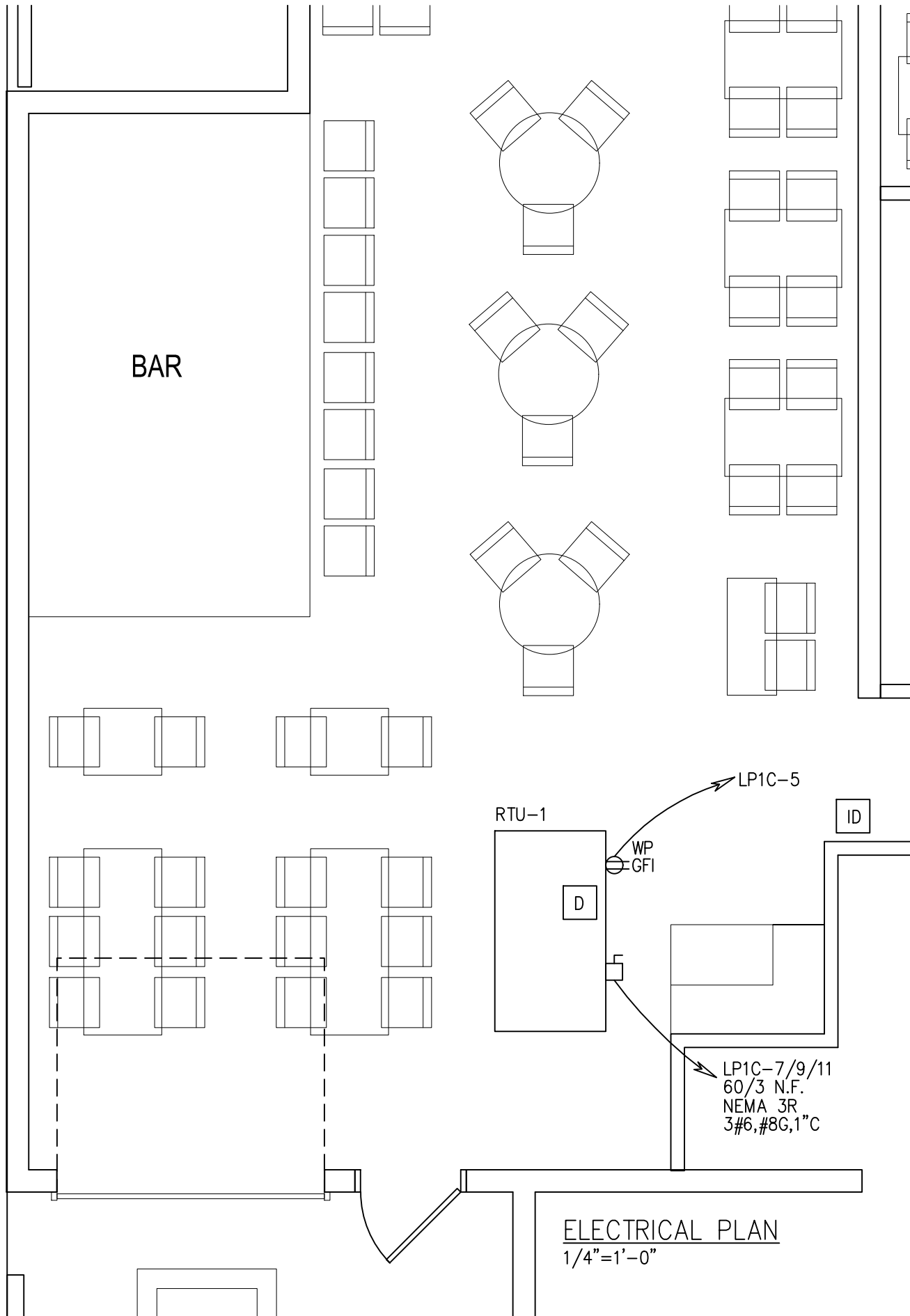
PART 4 SYSTEMS

4.1 FIRE ALARM

- A. PROVIDE DUCT DETECTOR IN RETURN OF RTU WITH ACCESSIBLE REMOTE INDICATING DEVICE. ACTIVATION OF DETECTOR SHALL SHUT UNIT DOWN PER OMC 606.



CITY OF WORTHINGTON
DRAWING NO. ARB 0063-2023
DATE 08/09/2023



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Donald K. Allemang

PROJECT:

WORTHINGTON TAVERN
671 N. HIGH STREET
WORTHINGTON, OH 43085

SHEET:

ELECTRICAL PLAN






SCALE:

1/4" = 1'-0"

ISSUE / REVISION	DATE
PERMIT DRAWING	7-7-23

DRAWN BY: BJA CHECKED BY: DKA

E1

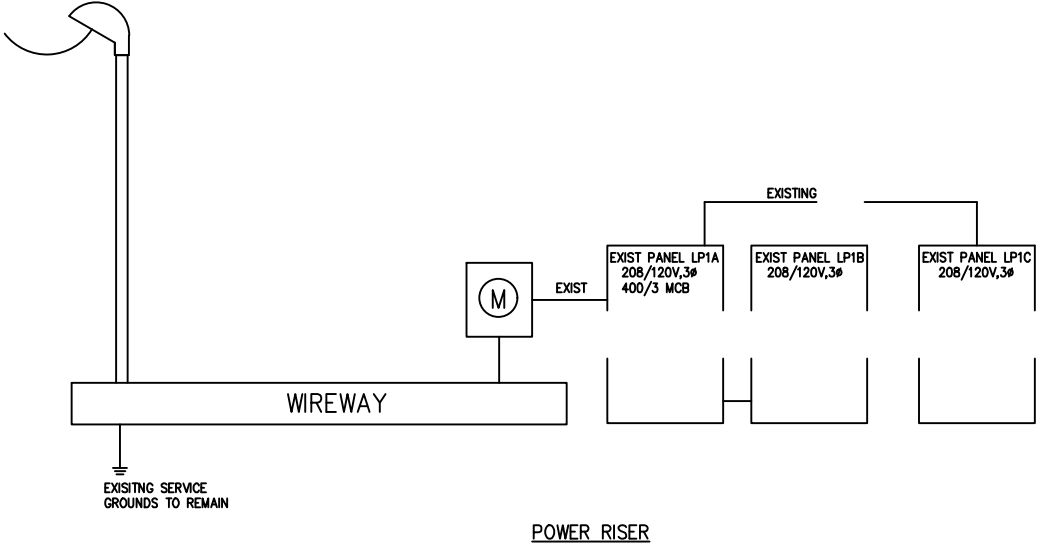
SYMBOLS	
	STANDARD DUPLEX, 20A RECEPTACLE,
	DISCONNECT SWITCH RATING AS INDICATED
	SURFACE MOUNTED PANEL BOARD
ER	EXISTING TO REMAIN
GFI	GROUND FAULT CIRCUIT INTERRUPTER
WP	WEATHERPROOF, WEATHER RESISTANT ENCLOSURE
NL	NITE LIGHT
N.F.	NON FUSED
	FIRE ALARM REMOTE INDICATING DEVICE
	FIRE ALARM DUCT DETECTOR IN RETURN

EXISTING PANELBOARD "LP1C" VOLTAGE: 208/120V 3 PH, 4 WIRE + GND AMPS: 150A MLO PLAN TYPE: NQOD MOUNTING: SURFACE											
LOAD DESCRIPTION	LOAD KVA	C/B POLES	C/B AMPS	CIR. NO.	PHASE	CIR. NO.	C/B AMPS	C/B POLES	LOAD KVA	LOAD DESCRIPTION	
SCREENS	1.0	1	20	1	A	2	40	2	3.0	HEATER	
LIGHTS/FANS	1.0	1	20	3	B	4	—	—	3.0	---	
RTU GFI	0.2	1	20	5	C	6	40	2	3.0	HEATER	
RTU-1	3.0	3	45	7	A	8	—	—	3.0	---	
---	3.0	—	—	9	B	10	40	2	3.0	HEATER	
---	3.0	—	—	11	C	12	—	—	3.0	---	
SPARE	.	1	20	13	A	14	40	2	3.0	HEATER	
SPARE	.	1	20	15	B	16	—	—	3.0	---	
SPARE	.	1	20	17	C	18	40	2	3.0	HEATER	
.	.	1	20	19	A	20	—	—	3.0	---	
.	.	1	20	21	B	22	20	1	.	.	
.	.	1	20	23	C	24	20	1	.	.	
.	.	1	20	25	A	26	20	1	.	.	
.	.	1	20	27	B	28	20	1	.	.	
.	.	1	20	29	C	30	20	1	.	.	
.	.	1	20	31	A	32	20	1	.	.	
.	.	1	20	33	B	34	20	1	.	.	
.	.	1	20	35	C	36	20	1	.	.	
.	.	1	20	37	A	38	20	1	.	.	
.	.	1	20	39	B	40	20	1	.	.	
.	.	1	20	41	C	42	20	1	.	.	
FED FROM: SERVICE											
DEMAND LOAD 41.0 KVA 113.8A @ 208V											

EXISTNG 400A O.H. SERVICE,
208/120V,3ø,4W



CITY OF WORTHINGTON
DRAWING NO. ARB 0063-2023
DATE 08/09/2023



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Columbus, Ohio 43215
614.926.1190
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Donald K. Allemang

PROJECT:
WORTHINGTON TAVERN
671 N. HIGH STREET
WORTHINGTON, OH 43085

SHEET:
ELECTRICAL DETAILS

SCALE:
NONE

ISSUE / REVISION	DATE
PERMIT DRAWING	7-7-23

DRAWN BY: BJA CHECKED BY: DKA



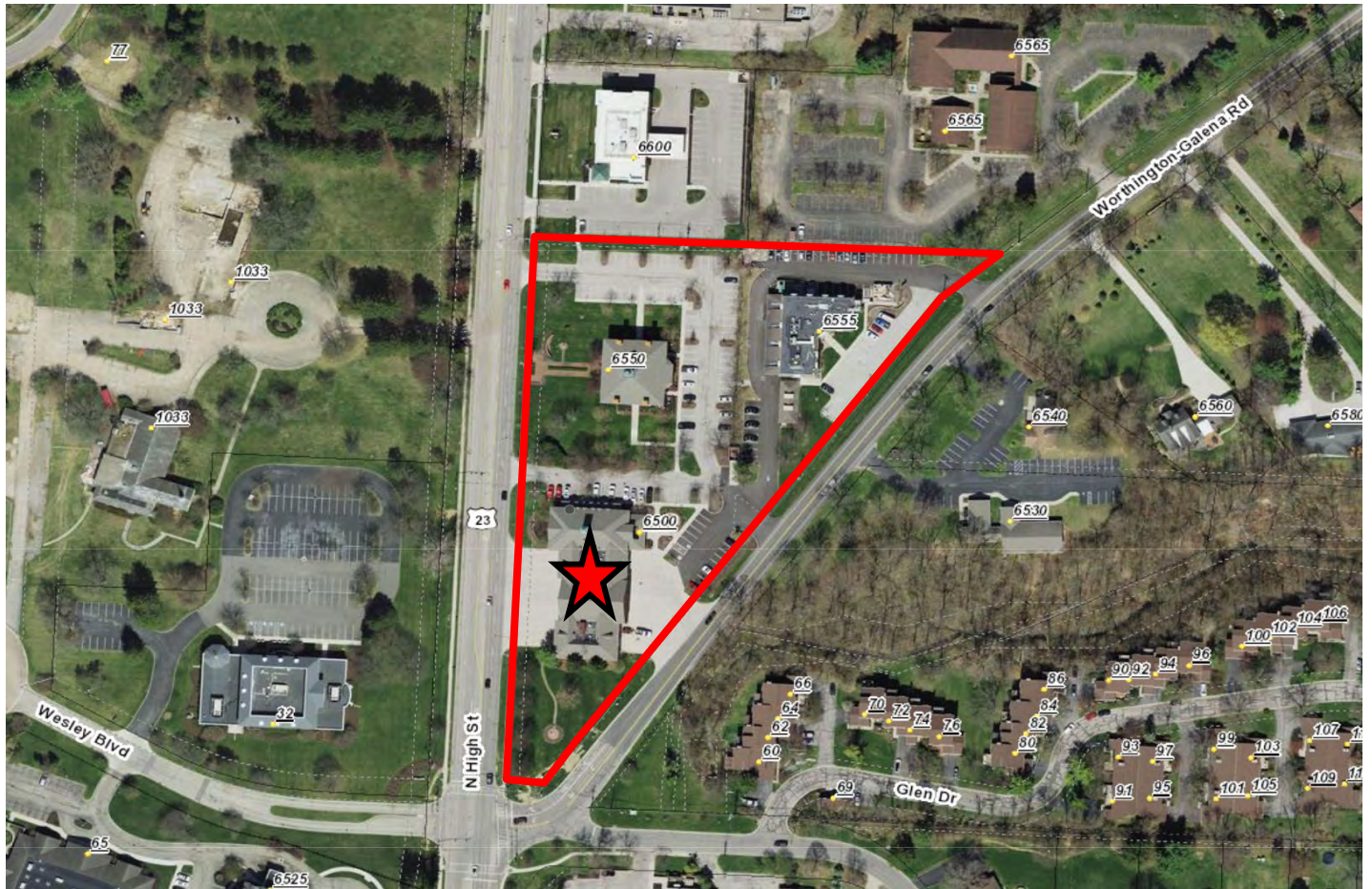
ARB APPLICATION ARB 0065-2023 6500 N. High St.

Plan Type: Architectural Review Board	Project:	App Date: 08/16/2023
Work Class: Certificate of Appropriateness	District: City of Worthington	Exp Date:
Status: In Review		Completed:
Valuation: \$72,023.00		Approval
Description: Installing a MagneGrip source capture exhaust removal system		Expire Date:

Parcel: 100-006588	Main	Address: 6500 N High St Worthington, OH 43085	Main	Zone: C-3(Institutions and Offices)
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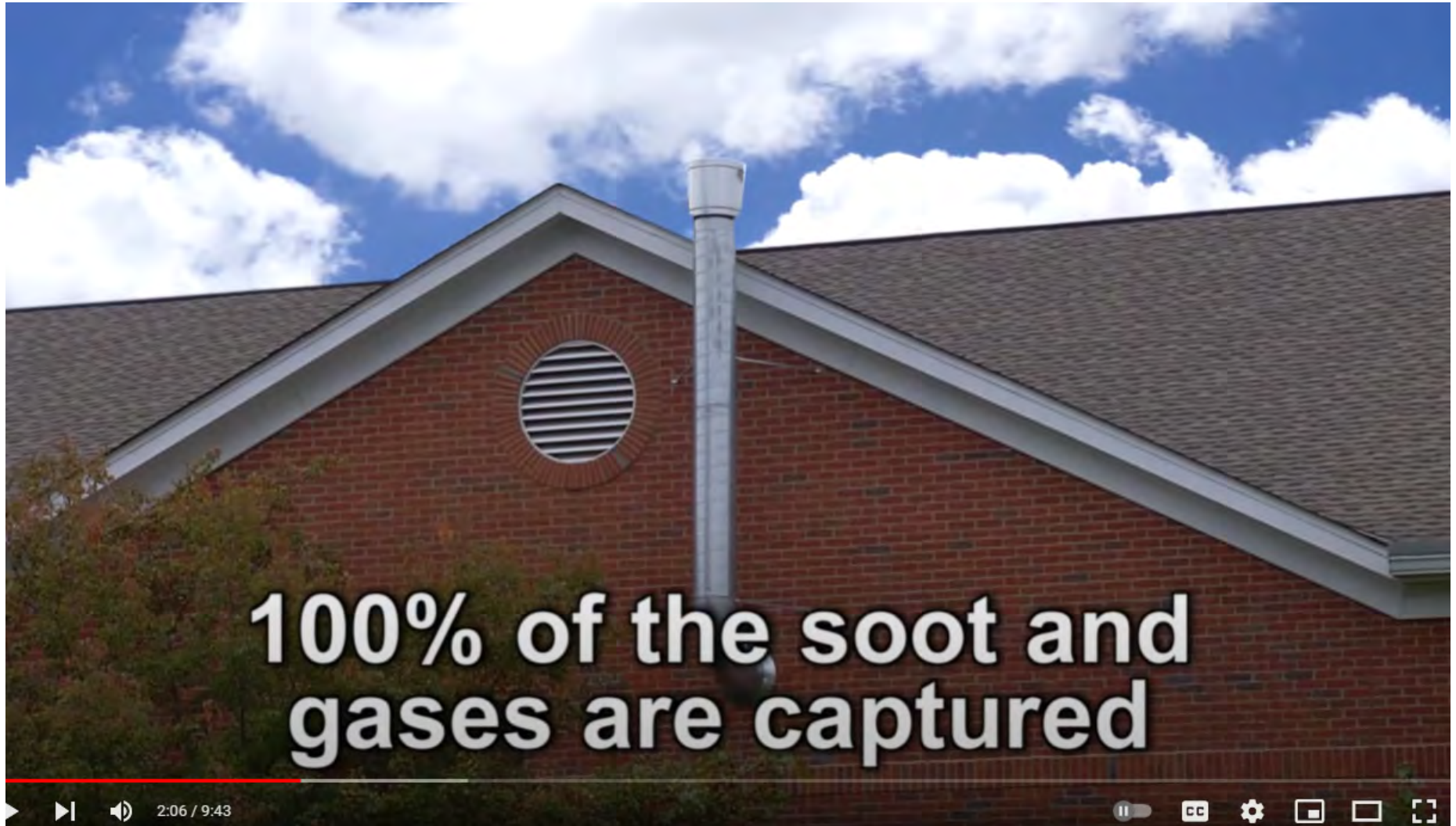
Owner Mark Zambito 6500 N HIGH ST Worthington , OH 43085 Mobile: (614) 436-3100	Applicant Kerry Stanforth 11449 Deerfield Rd Cincinnati, OH 45242 Business: (513) 489-4440
---	--

6500 N. High St.





Example from other location



PROFESSIONAL SERVICES AGREEMENT

This Professional Services Agreement ("Agreement") is made on MM, DD, YY between the City of Worthington, Ohio (the "City") at 6500 North High Street, Worthington, Ohio 43085, and MagneGrip an Ohio corporation, with a mailing address of 11449 Deerfield Rd. Cincinnati, OH 45242 (the "Vendor"), for the installation, training, and purchase of a Long Rail Option Source Capture Exhaust System at the Division of Fire & EMS Department.

Statement of Agreement

The parties acknowledge the accuracy of the foregoing Background Information and in consideration of the mutual promises contained in this Agreement, hereby agree as follows:

1. Scope of Services. The Vendor shall provide the Services to the City under this Agreement as outlined in the "Scope of Services attached hereto as Exhibit "A" and made a part hereof. Unless expressly provided in this Agreement to the contrary, the materials provided to the City by the Vendor and contained in its proposal dated February 24, 2023 (the "Proposal") shall be made a part of this Agreement and incorporated therein.
2. Certification of Vendor Regarding Debarment. By submitting a bid, the Vendor certifies that neither it nor its principals are presently debarred or suspended by any federal department or agency from participation in this transaction.
3. Relationship. For all purposes under this Agreement, the Vendor is an independent contractor and at no time shall serve in an employment relationship or represent service in an employment relationship with the City of Worthington. As such, the Vendor is solely responsible for the payment of all compensation, taxes, withholdings, and insurance for its employees, including workers' compensation coverage throughout the duration of this Agreement and any extension thereof. The City of Worthington is hereby released from any and all liability for injury received by the Vendor, its employees, agents, or sub-vendors, while performing tasks, duties, work, or responsibilities as set forth in this Agreement. The City of Worthington enters into this Agreement in reliance upon the Vendor's representation and warranty that it has the necessary expertise and experience to perform its obligations hereunder. Furthermore, if the Vendor is a business entity, Vendor warrants that it possesses the legal authority to enter into this Agreement and that it has taken all actions required by its procedures, bylaws, and/or applicable law to exercise that authority, and to lawfully authorize its undersigned signatory to execute this Agreement and to bind the Vendor to its terms. The person executing this Agreement on behalf of the Vendor warrants that such person had full authorization to execute this Agreement.
4. No Broker or Commission Fees or Conflicts. The Vendor warrants that it has not employed or retained any company or person other than a bona fide employee working solely for the Vendor to solicit or secure this Agreement, and that the Vendor has not paid or has not agreed to pay any fee, commission, percentage, brokerage fee, or other consideration contingent upon or resulting from the awarding or making of this Agreement. The Vendor warrants that it is not prohibited from contracting with the City by any provision of the Ohio Revised Code relating to conflicts of interest, illegal interest in government contracts, or any other ethical prohibition. For breach or violation of this warranty, the City shall have the right to annul the Agreement with no further obligation or penalty and shall have the right to recover the full amount of any such fee,



commission, percentage, brokerage fee, or contingent fee and the full amount of the costs of the Agreement.

5. Proposal and Contract Information is Public. The Vendor acknowledges that all documents submitted with any proposal may become public documents and shall be subject to Ohio Revised Code Section 149.43, which is otherwise known as the "Ohio Public Records Law". By submitting any document to the City of Worthington in connection with a Proposal or Contract, the Vendor waives any claim against the City of Worthington and any of its officers and employees relating to the release of any document or information submitted. Furthermore, the Vendor agrees to hold the City of Worthington and its officers and employees harmless from any claims arising from the release of any document or information made available to the City of Worthington arising from or related to the Proposal or Agreement.
6. Payment for Services. Compensation for the stated Scope of Services shall be paid based on received products and services. The Vendor shall invoice the City in a manner acceptable to both parties. All invoices shall match the itemized price and structure submitted with the bid. Failure to have the invoice match the bid proposal may result in delay of payment and/or rejection of invoice. Additional charges not included or identified in the RFP will ne be accepted or paid. The Vendor shall reference the following information on all invoices:
 - a. Vendor Name
 - b. Date of Order
 - c. Invoice Number
 - d. Itemized list of items ordered
 - e. Itemized list of items shipped
 - f. Quantity, unit price and extension price of each item and total price of order
7. Obligations of the City. The City shall provide all criteria and full information as to is requirements of the project to the Vendor and shall designate a representative from the City to act with authority on the City's behalf with respect to the Consultant's provision of the Services. The City's designated representative shall examine and timely respond to the Vendor submissions and shall provide written notice to the Vendor whenever the City observes or otherwise becomes aware of any detail that deviates from the terms of this Agreement.
8. Non-Discrimination. During the performance of the Agreement, the Vendor agrees that the Vendor, its sub-contractors, employees, and agents, will not discriminate against any employee or applicant for employment because of race, sex, sexual orientation, gender identity or expression, color, religion, ancestry, national origin, age, disability, familial status, or military status, which employee or applicant for employment is qualified and available to perform the work to which the employment relates.
9. Insurance. The Vendor shall comply with the laws of the State of Ohio relating to insurance coverage and shall carry during the performance of the Contract and keep in full force, Workers' Compensation, in amounts required by law, covering all the Vendor's employees. Upon request, the Vendor shall furnish documents evidencing such Workers' Compensation to the City prior to the commencement of the Services and at any time during the Agreement. The Vendor shall carry the following minimum amounts of General and Automobile Liability Insurance, with the City named as the additional insured, each with the following limits:



- a. General Liability Insurance in the amount of \$500,000 for bodily injuries including those resulting in death of any one person and on account of any one accident or occurrence, \$1,000,000 aggregate.
- b. Automobile Liability Insurance in an amount of \$500,000 from damages on account of any one accident or occurrence.

The Vendor shall provide the City with Certificates of Insurance indicating coverage and conditions stipulated herein prior to the commencement of the Services, with the City named as an additional insured thereon.

10. License. The Vendor shall procure at its own expense and maintain in full force and effect during the life of the Agreement, all licenses required by the city, state, and federal governments relative to the performance of the terms and conditions set forth therein.
11. Applicable Laws. The Vendor agrees to comply with all applicable federal, state, and local laws, including the Charter and Codified Ordinances of the City of Worthington. Legal action to enforce this Agreement shall only be brought in a court of competent jurisdiction in Franklin County, Ohio.
12. Income Tax. The Vendor shall withhold all applicable City of Worthington income taxes due or payable under the provisions of Part Seventeen – Title Two (Taxation Code) of the Codified Ordinances of the City for wages, salaries and commission paid to its employees and further shall be required to withhold any such City of Worthington income taxes for payments made to subcontractors.
13. Prevailing Wages. If applicable to this Agreement, the Vendor agrees to comply with the Davis-Bacon Act, as amended, 40 U.S.C. 3141 et seq., the Copeland “Anti-Kickback” Act, as amended, 18 U.S.C. 874, and the Contract Work Hours and Safety Standards Act, as amended, 40 U.S.C. 3701 et seq., regarding labor standards for federally assisted projects, as well as the prevailing wage laws of the State of Ohio.
14. Indemnification. The Vendor shall indemnify, defend, and hold harmless the City, its elected officials, officers, employees, agents or any of them, from and against claims, damages, losses and expenses, including but not limited to reasonable attorneys’ fees, arising out of the negligent acts or omissions of the Vendor, to the extent caused in whole or in part by the negligent acts or omissions of the Vendor, any subcontractor(s) of the Vendor, its agents, or anyone directly or indirectly employed by them or anyone for whose acts they may be liable. Such obligations shall not be construed to negate, abridge, or reduce other rights or obligations of indemnity that would otherwise exist as to a party or person described in this paragraph. The City shall not indemnify or hold harmless the Vendor, its officers, employees, agents and subconsultants for claims, damages, losses and expenses, including but not limited to reasonable attorney fees, resulting or arising from the Agreement.
15. Federal Provision – 2 CFR §200.326. For construction or facility improvement contracts or subcontracts exceeding the Simplified Acquisition Threshold, the Federal awarding agency or pass-through entity may accept the bonding policy and requirements of the non-Federal entity provided that the Federal awarding agency or pass-through entity has made a determination that the Federal interest is adequately protected. If such a determination has not been made, the minimum requirements must be as follows:
 - a. A bid guarantee from each bidder equivalent to five percent of the bid price. The “bid guarantee” must consist of a firm commitment such as a bid bond, certified check, or other negotiable instrument accompanying a bid as assurance that the bidder will, upon



acceptance of the bid, execute such contractual documents as may be required within the time specified.

- b. A performance bond on the part of the contractor for 100 percent of the contract price. A "performance bond" is one executed in connection with a contract to secure fulfillment of all the contractor's requirements under such contract.
 - c. A payment bond on the part of the contractor for 100 percent of the contract price. A "payment bond" is one executed in connection with a contract to assure payment as required by law of all persons supplying labor and material in the execution of the work provided for in the contract.
16. Civil Rights Act of 1964. Vendors must comply with the requirements of Title VI of the Civil Rights Act of 1964 (codified as amended at 42 U.S.C. § 2000d et seq.), which provides that no person in the United States will, on the grounds of race, color, or national origin, be excluded from participation in, be denied the benefits of, or be subjected to discrimination under any program or activity receiving federal financial assistance. DHS implementing regulations for the Act are found at 6 C.F.R. Part 21 and 44 C.F.R. Part 7.
 17. Lobbying. Vendors must comply with 31 U.S.C. § 1352, which provides that none of the funds provided under a federal financial assistance award may be expended by the recipient to pay any person to influence, or attempt to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with any federal action related to a federal award or contract, including any extension, continuation, renewal, amendment, or modification.
 18. FEMA Grant Requirements. This Agreement hereby incorporates any additional terms and conditions under the federal requirements contained in 2 C.F.R. §200.317-326 necessary for FEMA to fully reimburse eligible expenses to the City.
 19. Term of Agreement. This Agreement shall be for the term set forth by the period of performance of products & services of the FY2021 Assistance to Firefighters Grant (AFG) award. All implementation, training, and services as described in Exhibit "A" shall be provided in full by September 9, 2024.

The parties, each by a duly authorized representative, have executed this Agreement to be effect as of the date last written below:

CITY OF WORTHINGTON

MAGENEGRIP

Robyn M. Stewart

Robyn M. Stewart (May 19, 2023 08:48 EDT)

05/19/2023

Robyn Stewart
Acting City Manager

Date

MLosman

04/25/23

Authorized Representative

Date

Approved as to form:

Tom Lindsey

05/18/2023

Tom Lindsey, Director of Law

Date

Approved & Reviewed:

John Moorehead

John Moorehead (May 18, 2023 15:56 EDT)

John Moorehead, Service & Engineering Director
City of Worthington



PROPOSAL FOR THE PURCHASE OF A SOURCE CAPTURE EXHAUST SYSTEM

Rossman Enterprises dba as MagneGrip is pleased to offer its Bid for an automatic MagneGrip® Diesel Exhaust Removal System. The MagneGrip® System meets or exceeds all the performance and quality specifications contained within the bid documents. The MagneGrip® Product fully complies with the intent of the bid package to provide a fully functioning Vehicle Exhaust Removal System that will remove 100% of diesel exhaust emissions to the outside without leaking harmful diesel exhaust indoors.

Exceptions: **None, Fully Comply**

Section 2: SCOPE OF PRODUCTS AND SERVICES

System Description and Extraction System Overview:

MagneGrip® provides a complete 100% evacuation Source Capture Exhaust System. MagneGrip is the only company that offers a nozzle and adapter combination that is 100% closed and sealed and does not allow gases to escape.

MagneGrip has included 4 rails and 4 hose drops that provides the capability of coverage from the back door all the way to the front door. Fan is of sufficient size (4400CFM) to allow for 4 additional trucks to be added to the rail system.

Installation and Demolition

An onsite survey has been completed and system layout drawing is included. All State and Federal Codes will be adhered to. Electrical permits have been included. MagneGrip will provide a turnkey installation including all aspects of the project including tailpipe modification and electrical work. Take down of existing system has been included, however, it is our understanding that the fire department wants to use the material for training and will be responsible for removal.



Training

MagneGrip includes startup and training with its installation scope of work. Although the system is incredibly easy to use, we will be happy to meet and discuss any questions that the department may have.

Warranty

A warranty certificate has been included within this book. A Five-Year Warranty is included with your order. The warranty will be honored directly from MagneGrip, Cincinnati, Ohio, the manufacturer and installer of your system. There will not be second party distributors or installers for warranty issues.

Maintenance and Service

No regular maintenance is required to keep the warranty intact. Preventative Maintenance Agreement is offered as an optional service but is not required for warranty purposes. Service is offered from multiple locations within Ohio with base operations, Cincinnati. Information has been included with our bid book describing our service and helpdesk service operations. We take pride in providing the best service within the industry.

Period of Performance

Typically, installation is completed within 90 -120 days after receipt of your order. We have multiple installation crews available to work on your project. We currently are not experiencing any major supply chain issues.

Letter of Intent

Our proposal within the book provides the required signature and information requested in this section. The proposal and CAD drawing illustrate our understanding of the needs of the Fire Department for a fully functioning source capture Vehicle Exhaust Removal System as required by the AFG Guidelines and as discussed at a Prebid meeting.

Company Background

A company background has been included in this book. MagneGrip has been installing Vehicle Exhaust Removal Systems in Fire Stations for over 25 years. MagneGrip specializes in this area, and it is our only business. No one has installed more systems in the State of Ohio as evident in our referral list.

MagneGrip is the originator of the Magnetic Release Nozzle and Adapter. Others are now imitating MagneGrip but, have their limitations.



MagneGrip is the most highly regarded Vehicle Exhaust Removal System in the State of Ohio. MagneGrip is installed in well over 300 fire departments within The State of Ohio approaching 1000 stations. No other company comes close to this level of experience.

References

Four pages of references within the State of Ohio have been included. There are 8 departments that are in process that were ordered within the past few weeks. We are confident that they will provide good recommendations for our company and product.

We would recommend touching base with Jackson Township, BC Jim Parmenter; Madison Township, Chief Robinson; Delaware FD, Chief Donahue; West Licking, Chief Jack Treinsh; Truro Township, Chief Sharps. See installation pictures enclosed.

Scope of Products and Services

These items all are covered here or within the book.

Costs

MagneGrip provides the most **heavy-duty** equipment available. No short cuts have been taken. Costs include:

- Heavy duty industrial welded fan
- Larger spiral duct diameters for higher system performance
- Large suction rail system with external trolley wheels not mini rails or internal wheels
- Large 5-inch flex hose that matches or exceeds the vehicle's exhaust system diameter for better airflow
- Higher temperature flex hoses for safety
- Completely 100% sealed nozzle and adapter assemblies that are totally enclosed and made of rust proof components. No leaks and less maintenance.
- Cast aluminum components and internal stress management cables to lessen maintenance.
- Easiest system on the market for firefighters to use. See new MagneGrip PRO literature.

Terms and Conditions

No exceptions requested. MagneGrip is the most advantageous system for Worthington FD for meeting the needs for a fully functioning Vehicle Exhaust Removal System, local service, and installation services and is Made in the USA, as preferred in AFG Guidelines.



Quality Assurance:

Rossman Enterprises, Inc. dba MagneGrip, the manufacturer of the MagneGrip® System, and has an **ISO9001:2015** certificate for manufacturing of equipment. We are the only American Company in the industry that can provide this. A current ISO Certificate has been included in *Forms & Certifications* Section.

MagneGrip has been manufacturing Vehicle Exhaust Removal Systems for Fire Stations for over 25 years with over 300 departments within the State of Ohio and thousands across the nation.

Air Volume and Fan Requirements:

MagneGrip only uses 5-inch flex hose and larger to allow for maximum airflow. This will match or exceeds exhaust system diameters found on today's apparatus.

MagneGrip is providing a quality fan of welded construction. Some competitors do not offer this level of quality by offering screw together or pop riveted fan construction.

Turnkey Installation:

All facets of the project have been included in our turnkey proposal.

The installation and equipment shall be provided directly from the manufacturer: **Rossman Enterprises, Inc, dba MagneGrip, 11449 Deerfield Road, Cincinnati, Ohio 45242**

Installation Project Mgr.: Paul Miller-over 30 years-experience with MagneGrip

Key Contact Person: Mike Winkler, Regional Manager-over 30 years' experience with MagneGrip

Nozzle Attachment:

The MagneGrip® Nozzle and Adapter are a 100% sealed combination and does not allow for escaping gases. This is accomplished using a silicone gasket that serves as a check valve to prevent gases from escaping back into the bay. This occurs even if the fan does not activate. No other vendor can claim this level of quality.

Nozzle Release:

MagneGrip has included an Internal Stress Cable to eliminate tugging and stress on the hose during hose transport and separation from the vehicle exhaust system. This helps reduce wear and tear, ripping of hoses, and maintenance costs. MagneGrip is the only company to incorporate this feature.



Suction Rail:

The MagneGrip® Rail features external guide rails that allow the wheels to be outside of the airstream. This reduces the maintenance costs of cleaning wheels that are exposed to soot and heat. Other companies do not offer this level of quality. Large, 8-inch diameter duct material and transitions are used to extract contaminated air from the rail.

Extraction System Exhaust Hose:

MagneGrip exceeds this specification by including a 950/1050F degree hose in its lower section. This hose is specially engineered to retain its shape and withstand the temperatures found in some of today's apparatus exhaust systems. No other company offers this level of quality.

Auto Start Control System:

MagneGrip is using a NEMA4X Control Panel which provides watertight seal for safety.

System Warranty:

MagneGrip exceeds the warranty specification by including a five-year parts and labor warranty with its Bid. See *Service & Maintenance* Section for Warranty Certificate. No special maintenance needs to be done to keep warranty in tack.

Point of Origin:

MagneGrip® Systems are manufactured in Cincinnati, Ohio using 100% American parts provided from US vendors. AFG Guidelines require preference be given to American Manufacturing. We meet the requirement of the Buy American Act.

Additional Comments Regarding Bid Specifications

BIDDER QUALIFICATIONS: MagneGrip is the only bidder that has been manufacturing magnetic hose connection nozzles for more than 25 years. References have been included for the State of Ohio.

LOCATION POINT OF MANUFACTURER, INVENTORY, AND SERVICE: MagneGrip® is manufactured in Cincinnati, Ohio and is the only major manufacturer in the industry that has its base headquarters in the USA. All equipment in this Bid is shipped directly from the manufacturer's warehouse. All vendors supporting the MagneGrip® System are based in United States. All equipment, inventory parts, and service are available to you directly from the factory based in Cincinnati, Ohio. An **ISO9001-2015** certificate for manufacturing of product is included in the bid document, as required. **Please note:** no other company can provide an ISO Certificate for the manufacturing of goods in the USA.



Long Rail Option

DATE: February 24, 2023

PROPOSAL FOR: Worthington Fire Department
6500 North High Street
Worthington, OH 43085

ATTENTION: Mr. Scott Treadway-Facilities

REF: Source Capture Exhaust System

PROJECT SCOPE: Provide and Install a fully automatic MagneGrip® Diesel Exhaust Extraction System for removal of apparatus exhaust emissions from start up to door threshold. Removal of existing system is included.

EQUIPMENT, MATERIAL AND LABOR PRICE:

Station #1:

Four Drop MagneGrip® Long Rail Source Capture System

Note: Bay numbers shown below are as depicted on enclosed drawing.

Package Includes:

- (1) SSRMPRO-661 - **Bay #1** - 66' Straight Suction Rail MagneGrip® PRO with one Hose Drop
- (1) SSRMPRO-661 - **Bay #2** - 66' Straight Suction Rail MagneGrip® PRO with one Hose Drop
- (1) SSRMPRO-661 - **Bay #3** - 66' Straight Suction Rail MagneGrip® PRO with one Hose Drop
- (1) SSRMPRO-661 - **Bay #4** - 66' Straight Suction Rail MagneGrip® PRO with one Hose Drop
- (1) CF363-7.5 MagneGrip® Exhaust Fan 7.5HP-3PH rated at 4400 CFM at 6" SP
- (1) 500181-08 Wireless Auto-Start Control Panel 7.5HP/208-230V/3PH
- (1) 500157-14 14" Up-blast Back Draft Damper Type Rain Cap
- (1) 400073-02 MagneGrip® PRO Tailpipe Adapter 5" with Clamp
- Each Hose Assembly includes a 5" diameter high-temp upper hose section, a 950/1050-degree extreme high-temp 2' lower hose section with handle, a nozzle that attaches to the tailpipe adapter to contain 100% of exhaust emissions while providing ambient air to reduce exhaust temperatures, a tailpipe adapter assembly that provides easy connection and cool air induction.
- UL/CUL Wireless Auto-Start Control Panel with NEMA 4X enclosure to provide auto start/stop operation with adjustable timer, manual override switch, and wireless capability.
- Electrical wiring from available supply to control panel and exhaust fan, a safety disconnect for fan motor. Subpanels are excluded, if required, and any modifications required to bring service to code are excluded.
- Each Hose Assembly is provided with a transmitter and pressure sensor for automatic system.
- Tailpipe Modifications as required but, limited to vehicle tailpipes from the muffler out. Rusted or Damaged Tailpipes are the responsibility of the Fire Department.
- Class 2 Spiral Duct, Fittings, and Hangers



CITY OF WORTHINGTON
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MagneGrip®

- Labor & Material to Install Systems
- Wall Penetration for Fan Discharge
- Start up and Training
- Equipment is 100% American Made by an ISO9001-2015 Company
- Women's Business Enterprise (WBE) Certified
- Women's Owned Small Business (WOSB) Certified

PRICE..... \$72,023.00

Option:

(3) Annual Preventative Maintenance One Station @ \$500 per year.....\$1,500.00
Please state Y or N for option.

TERMS:

- One MagneGrip® Tailpipe Adapter and installation is included with each hose drop assembly. All vehicles that require Tailpipe Adapters must be made available to MagneGrip technicians at the time of system installation. Additional adapters upon request. Call for pricing.
- Unless otherwise noted in this proposal, pricing includes wall penetration for exhaust duct.
- Pricing includes standard permits and business licensing fees, if required. Price does not include any state, sales, or special taxes, engineered stamped drawings or services, seismic engineering, or electrical/structural load calculations.
- Electrical subpanels and modifications required to bring service to code are excluded if required unless otherwise indicated in the proposal.
- Upon approval, please submit a signed copy of this proposal and a tax exemption certificate. Projects are invoiced per station upon shipment of equipment. Payment is due upon completion of the project.

SUBMITTED BY:

MagneGrip®

Maggie Rossman-Roach

President

Signature: Maggie Rossman-Roach

Date: 02/24/23

(Worthington, OH FD Bid Proposal dated 2-24-23)

ACCEPTED BY:

Company: City of Worthington

Authorized Signature: Robyn M. Stewart
Robyn M. Stewart (May 19, 2023 08:48 EDT)

Print: Robyn M. Stewart Title: Acting City Manager

PO#, If Required: 2023000036 Date: 05/19/2023



CITY OF WORTHINGTON
DRAWING NO. ARB 0065-2023
DATE 08/16/2023













MagneGrip - Source Capture Exhaust System (CIP 741-23)

Final Audit Report

2023-05-19

Created:	2023-05-17
By:	Sarah Brickner (sarah.brickner@worthington.org)
Status:	Signed
Transaction ID:	CBJCHBCAABAAX8R52MA81bJ8wz2-gCjukTsN_mO4nNfJ

"MagneGrip - Source Capture Exhaust System (CIP 741-23)" History

-  Document created by Sarah Brickner (sarah.brickner@worthington.org)
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-  Document emailed to Tom Lindsey (tom.lindsey@worthington.org) for signature
2023-05-17 - 1:57:06 PM GMT
-  Email viewed by Tom Lindsey (tom.lindsey@worthington.org)
2023-05-18 - 7:51:10 PM GMT- IP address: 104.47.65.254
-  Document e-signed by Tom Lindsey (tom.lindsey@worthington.org)
Signature Date: 2023-05-18 - 7:51:55 PM GMT - Time Source: server- IP address: 198.30.235.200
-  Document emailed to john.moorehead@worthington.org for signature
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-  Signer john.moorehead@worthington.org entered name at signing as John Moorehead
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-  Document e-signed by John Moorehead (john.moorehead@worthington.org)
Signature Date: 2023-05-18 - 7:56:22 PM GMT - Time Source: server- IP address: 198.30.235.200
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Document e-signed by Robyn M. Stewart (robyn.stewart@worthington.org)

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Agreement completed.

2023-05-19 - 12:48:49 PM GMT



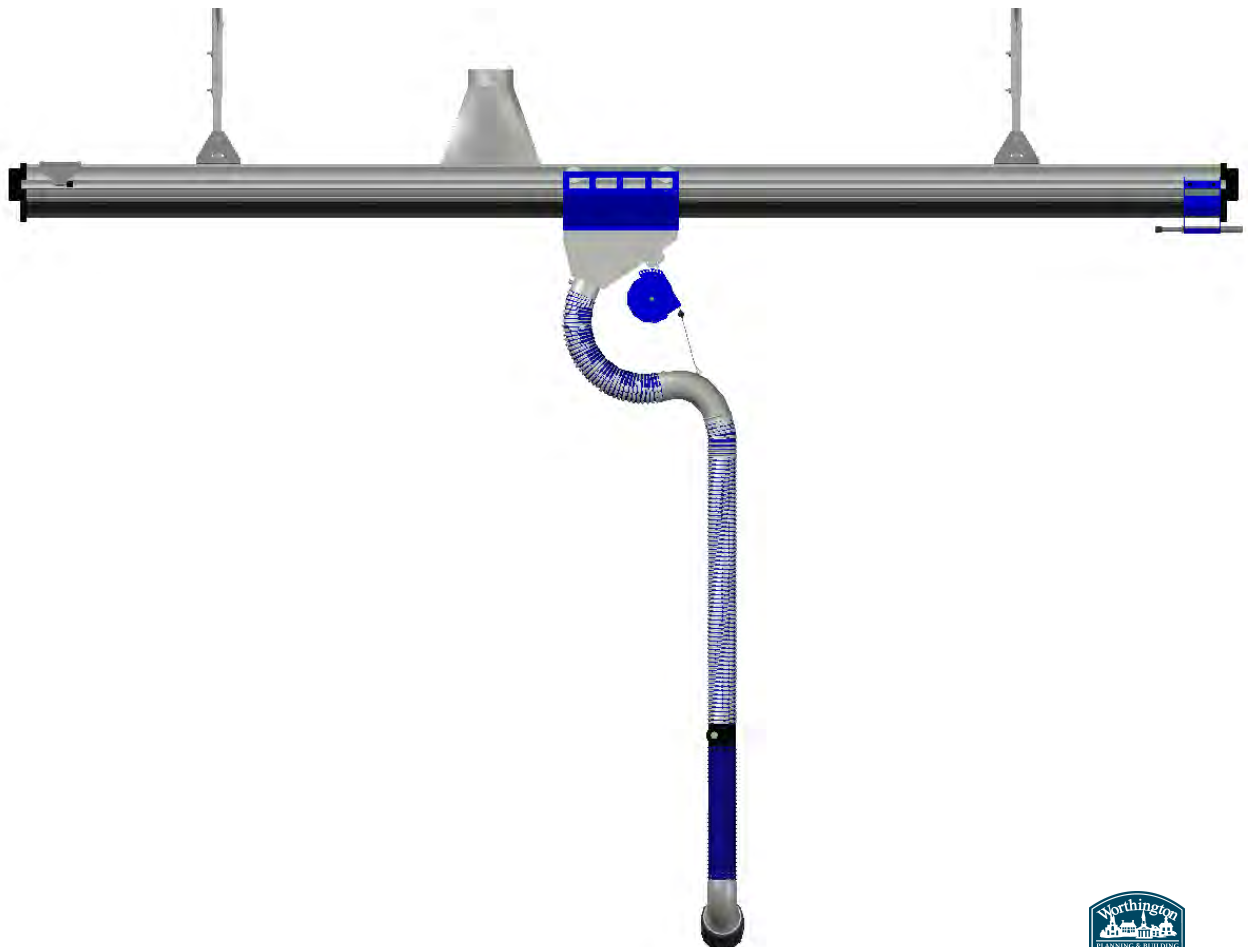
CITY OF WORTHINGTON
DRAWING NO. ARB 0065-2023
DATE 08/16/2023



Adobe Acrobat Sign



Submittal Pages For
STRAIGHT SUCTION



CITY OF WORTHINGTON
DRAWING NO. ARB 0065-2023
DATE 08/16/2023

Manufactured by:
MagneGrip

magnetrip.com

11449 Deerfield Road
Cincinnati, OH 45242
info@MagneGrip.com
Phone: 800-875-5440
Fax: 513-247-2502



Straight Suction Rail (SSR)



Suction rails are especially advantageous in stations where vehicles drive through a building or when vehicles are parked in tandem one behind another. The suction rail transports air for removal from the building, the rail can accommodate up to four emergency vehicles parked in tandem, because the system uses a rail transport air the amount of flex hose is minimized providing a neat, clean installation in drive through bays. the SSR can be used with MagneGrip system or pneumatic HazVent system.

A trolley with external wheels which roll on the outside of the rail mount and travel back and forth with the vehicle the hose connects to an inlet plenum at the base of the trolley and rubber lips sealed the rail to prevent escaping of gases when the vehicle exits the station at the nozzle automatically disconnects at the threshold.



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Architect:

Project Name:

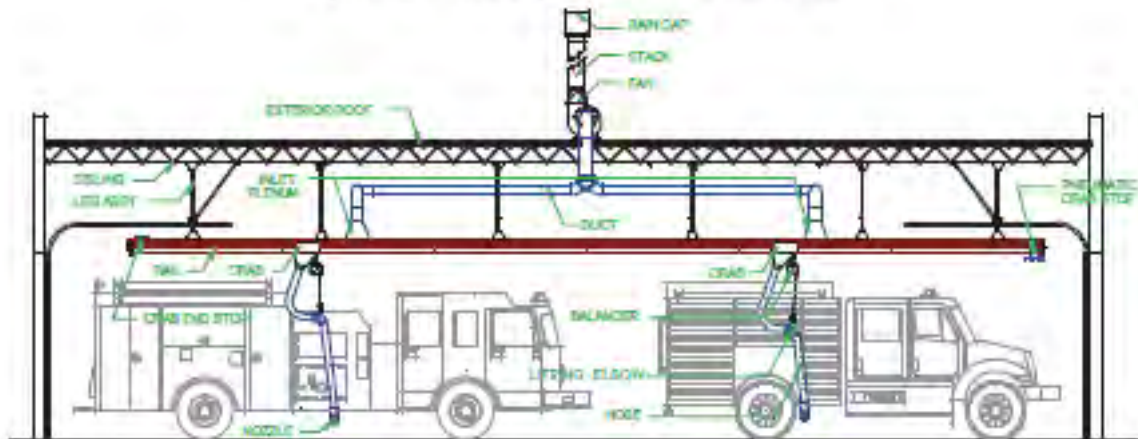
Contractor:

Date:

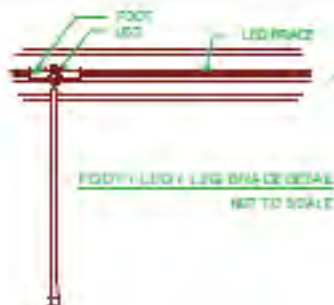
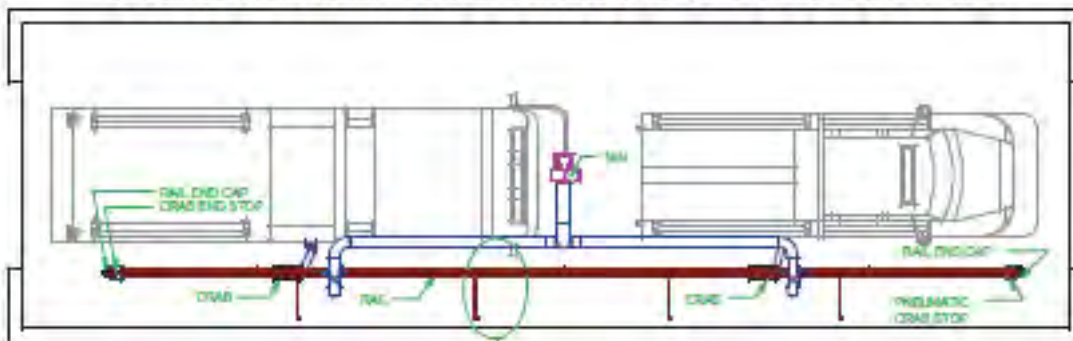
Straight Suction Rail Profile

SSRM 602 TYPICAL DRAWING LAYOUT

SUBMITTAL DRAWING TYPICAL LAYOUT
(DRIVE THROUGH) SSR-602 TWO VEHICLES



SUBMITTAL DRAWING TYPICAL LAYOUT SSR-602 VEHICLE - PLAN VIEW



CITY OF WORTHINGTON
DRAWING NO. ARB 0065-2023
DATE 08/16/2023



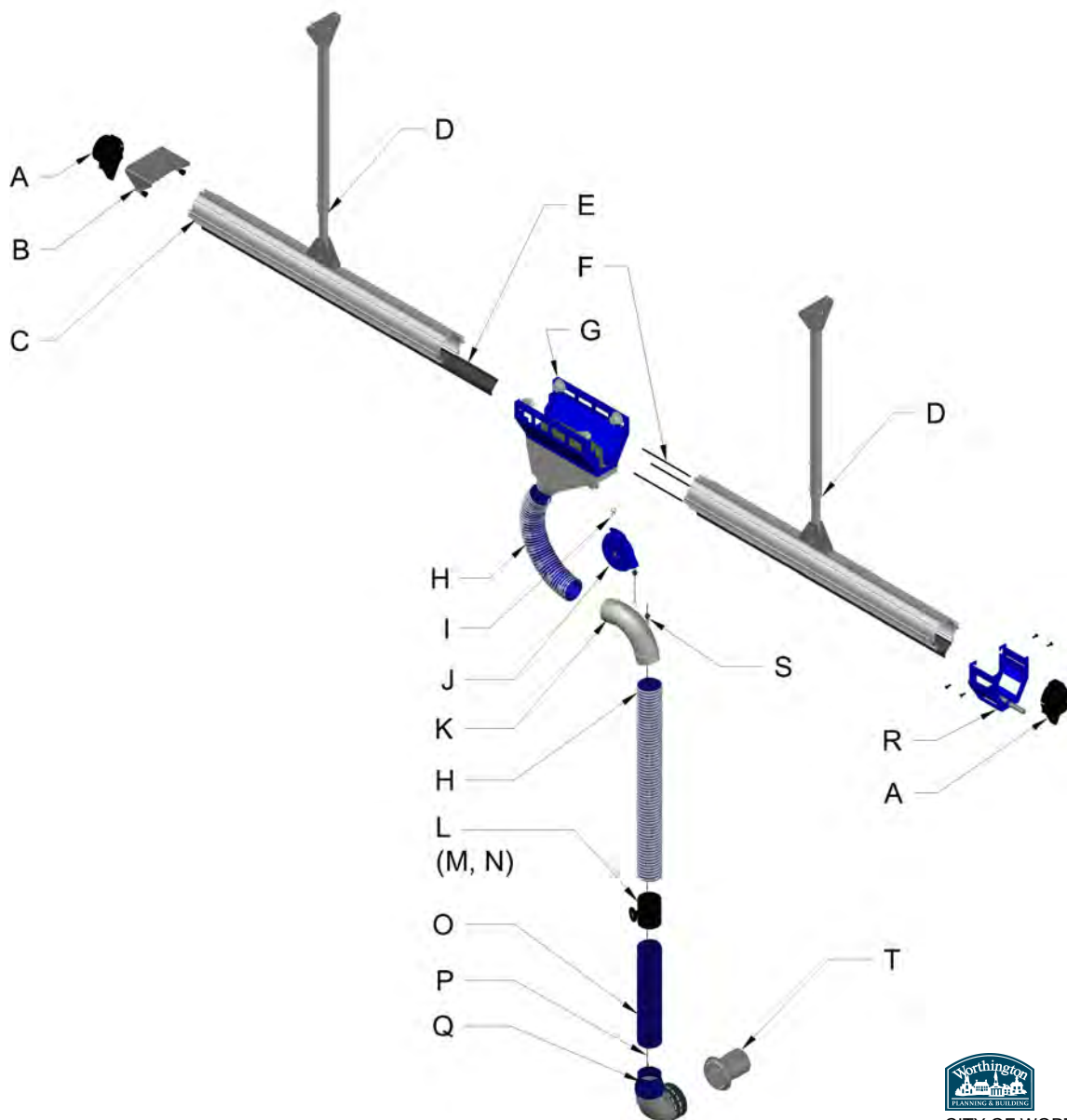
Architect:

Project Name:

Contractor:

Date:

SSRMPRO System breakdown



CITY OF WORTHINGTON
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DATE 08/16/2023

A: 520024-01 SSR endcap 6"

B: 520030-01 Rear SSR end stop

C: 520023-06 6"x6' Straight suction rail

D: 500047-02 Leg assy. w/ feet

E: 520032-03 Lip insert for rail

F: 520040-02 rail connector pin

G: 520020-04 Crab Assy.

H: 500095-11 Blue/White Hose 5"x11'

I: 500065-01 Swivel "H" for balancer

J: 500084-04 Blue balancer Assy.

K: 530408-05 Lifting Elbow Assy. 5"

L: 530622-02 Handle/Knob 5" Assy.

M: 500071-05 Pressure Sensor

N: 540557-02 Transmitter standard

O: 430630-02 5X2' MGPRO Lower hose

P: 500002-75 MGPRO INNER HOSE CABLE

Q: 400076-02 MGPRO Nozzle Assy

R: 520049-08 SSR Shock absorber endstop

S: 500002-76 MGPRO INNER CABLE SPRING

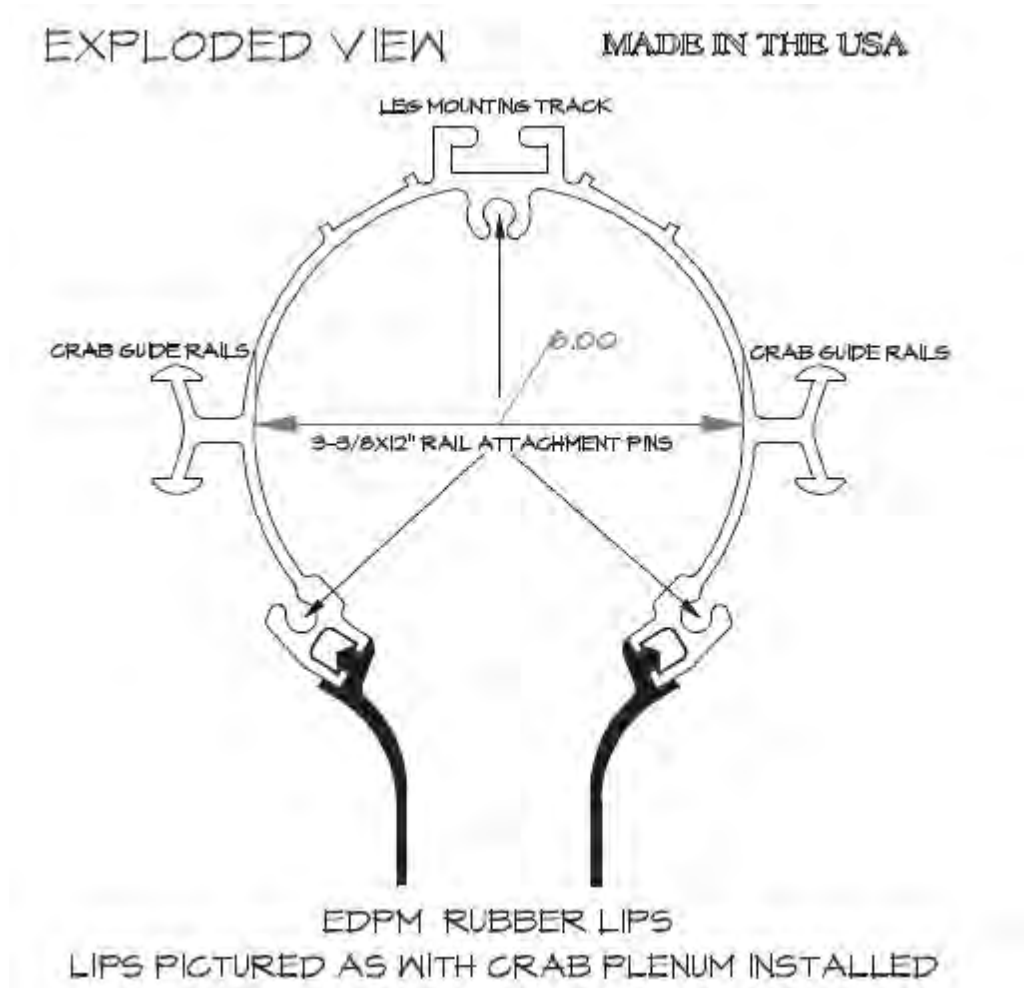
5000084-08 BALANCER BALL STOP

T: 400073-02 MGPRO TAILPIPE ADAPTOR 5"

U: 500084-25 Balancer Safety Cable (not shown)



Straight Suction Rail Technical Information



- ★ Made from 6063-T5 Aluminum with a mill finish and delivered in 6-foot lengths
- ★ Weight per foot 6.3lbs for 37.8 lbs. per 6' section
- ★ Wall thickness .150, rail is manufactured as an extrusion and is designed to serve as a ventilation tube
- ★ Guide rails are designed to support crab assembly as it slides along its length
- ★ Suction rail incorporates a set of EDPM lips that tightly seals the rail to the crab assembly roller cone while the system is in use allowing for effective removal of all exhaust fumes from the tailpipe as the crab moves along the rail until automatic release



CITY OF WORTHINGTON
DRAWING NO. ARB 0065-2023
DATE 08/16/2023



Architect:

Project Name:

Contractor:

Date:



Straight Suction Rail EDPM Lips



- ★ Made from EDPM rubber with a durometer of 70
- ★ Designed to be installed into the Straight Suction Rails to seal them while allowing the crab assembly to move and well suited to handle exhaust temperatures
- ★ Excellent resistance to UV and weathering
- ★ Designed with friction reduction grooves to lower the crabs rolling resistance during operation
- ★ Manufactured in standard lengths of 62'



CITY OF WORTHINGTON
DRAWING NO. ARB 0065-2023
DATE 08/16/2023



Architect:

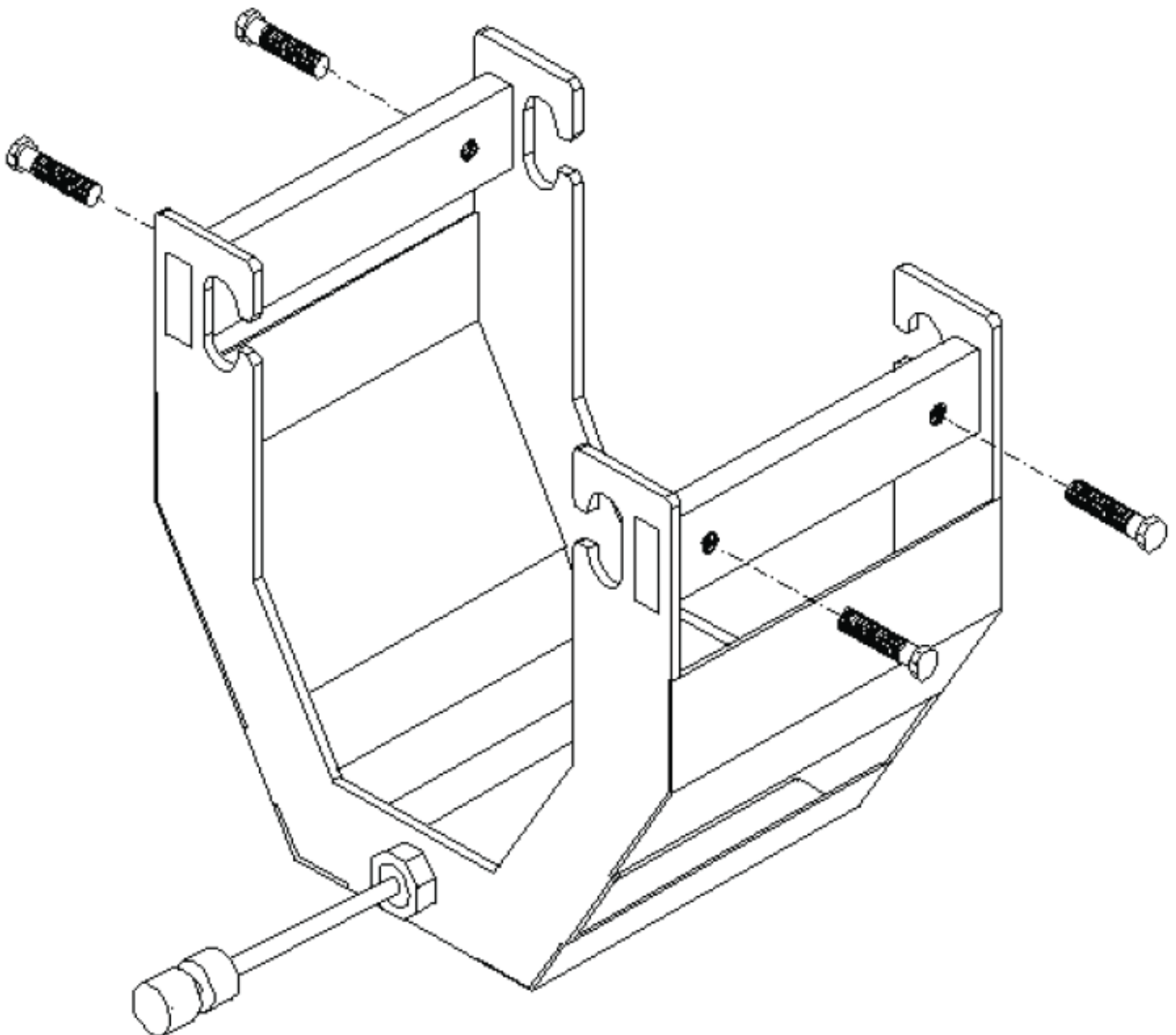
Project Name:

Contractor:

Date:



Straight Suction Rail Adjustable Shock Absorber End-stop Assembly



CITY OF WORTHINGTON
DRAWING NO. ARB 0065-2023
DATE 08/16/2023



Architect:

Project Name:

Contractor:

Date:



Straight Suction Rail Adjustable Rear End-stop Assembly



- ★ Designed to fit both the 6-inch and 9-inch Suction Rails
- ★ Mounts directly to the center top slot using standard clamp plate and hardware
- ★ Made from powder coated cold rolled steel
- ★ Incorporates conical cone rubber bumpers to cushion the stop of the crab assembly



CITY OF WORTHINGTON
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DATE 08/16/2023



Architect:

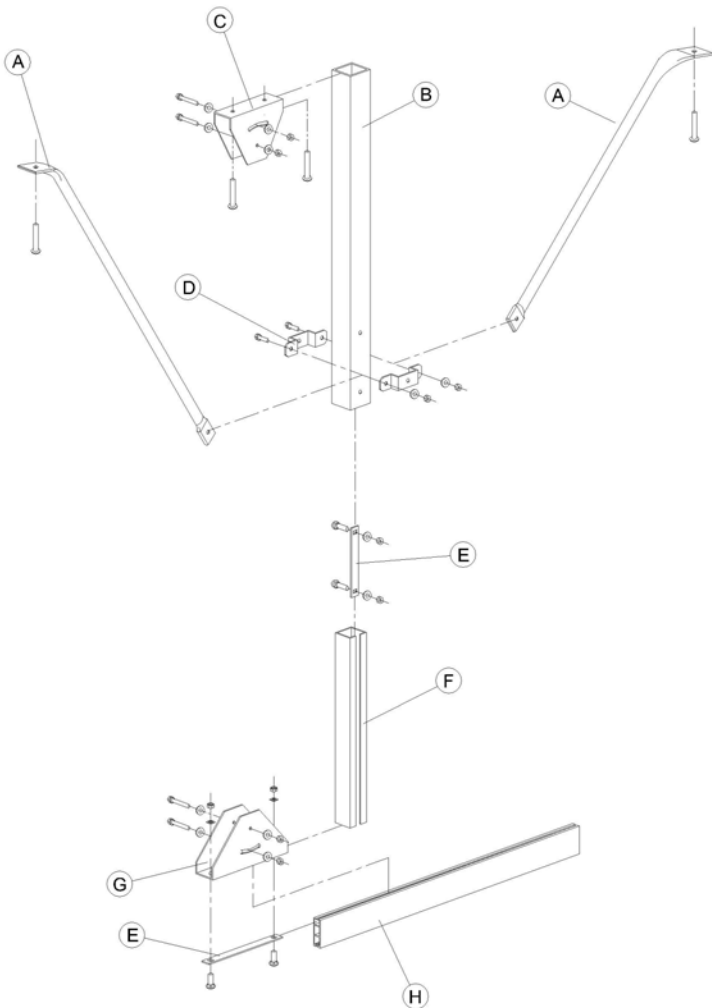
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Contractor:

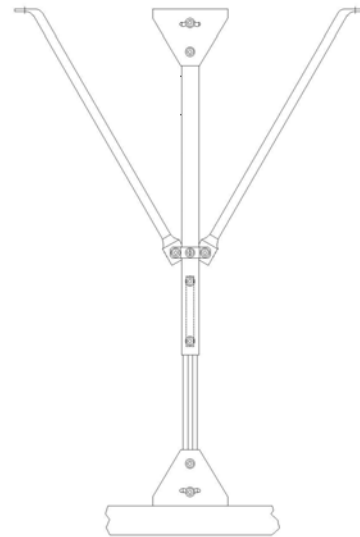
Date:

Aluminum Telescopic Leg and Foot Assembly

PARTS LIST



ITEM	PART NO.
A EMT TUBING (LEG BRACE)	FIELD SUPPLIED
B OUTER LEG TUBE	500047-06
C UPPER FOOT	500046-15
D LEG BRACE CLAMP	500047-10
E CLAMP PLATE	50007-02
F INNER LEG TUBE	500047-06
G LOWER FOOT	500046-15
H ALUMINUM TRACK	500006-01



- ★ Outer tube 1 7/8" x 72", inner tube "c" channel construction 1 1/2" x 72" x 1/2" opening, wall thickness at 3/4" both inner and outer tubes designed to slide together and adjustable by using clamp plate.
- ★ Material 6063-T6 aluminum, with a mill finish.
- ★ Upper- and lower-foot assemblies made from 11-gauge g-60 galvanized steel, supplied with mating clamp plate and hardware. supplied with leg brace clamp assemblies for added support



CITY OF WORTHINGTON
DRAWING NO. ARB 0065-2023
DATE 08/16/2023



Architect:

Project Name:

Contractor:

Date:



MagneGrip Lifting Elbow

Available in 4- and 5-inch diameters



CITY OF WORTHINGTON
DRAWING NO. ARB 0065-2023
DATE 08/16/2023

- ★ 90 Degree Lifting elbow ensures that the hose is lifted and kept out of the way while allowing for unrestricted airflow while eliminating the hose collapse associated with using a molded rubber saddle
- ★ Lifting eye with 37.5 deg offset allows for proper alignment of hose to nozzle assembly
- ★ Made from 16 ga cold rolled steel and powder coated for long life and durability



Architect:

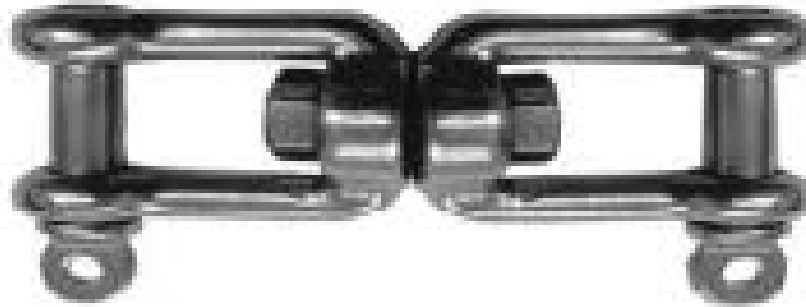
Project Name:

Contractor:

Date:



Stainless Steel Double “H” Swivel



- ★ Forged 316 Stainless Steel
- ★ 2-5/8 inches long by 1/4 inch diameter, threaded ends with lock nuts
- ★ Rated for 600lbs
- ★ Attaches balancer to trolley or plenum
- ★ Allows balancer to align and adjust to vehicle location during movement in the bay



CITY OF WORTHINGTON
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DATE 08/16/2023



Architect:

Project Name:

Contractor:

Date:



Balancer



- ★ Hose Balancer is non-locking with adjustable lifting capacity of 20-27 lbs.
- ★ Balancer cable shall incorporate a .080 diameter coated steel cable
- ★ Safety cable assembly included
- ★ Housing shall incorporate a high impact designed and finished in powder coated blue color



CITY OF WORTHINGTON
DRAWING NO. ARB 0065-2023
DATE 08/16/2023



Architect:

Project Name:

Contractor:

Date:



MagneGrip 400°+ Double ply Acrylic Coated Exhaust Hose



- ★ Hose shall be high-temperature, double-ply, acrylic-coated, blue polyester fabric construction with a continuous operating range of up to 400 degrees (F) with an intermittent temperature of 550 degrees (F)
- ★ Listed as UL 94V-0 flame retardant
- ★ Hose shall incorporate a 3/4" bound spring steel wire helix, a wear strip white in color and 9/16" wide shall cover the wire helix
- ★ Hose shall be blue and white for increased visibility and safety
- ★ Hose is available in standard sizes of 4- and 5-inch diameter in lengths of 13- 21- and 38-feet
- ★ Other sizes available on request



CITY OF WORTHINGTON
DRAWING NO. ARB 0065-2023
DATE 08/16/2023



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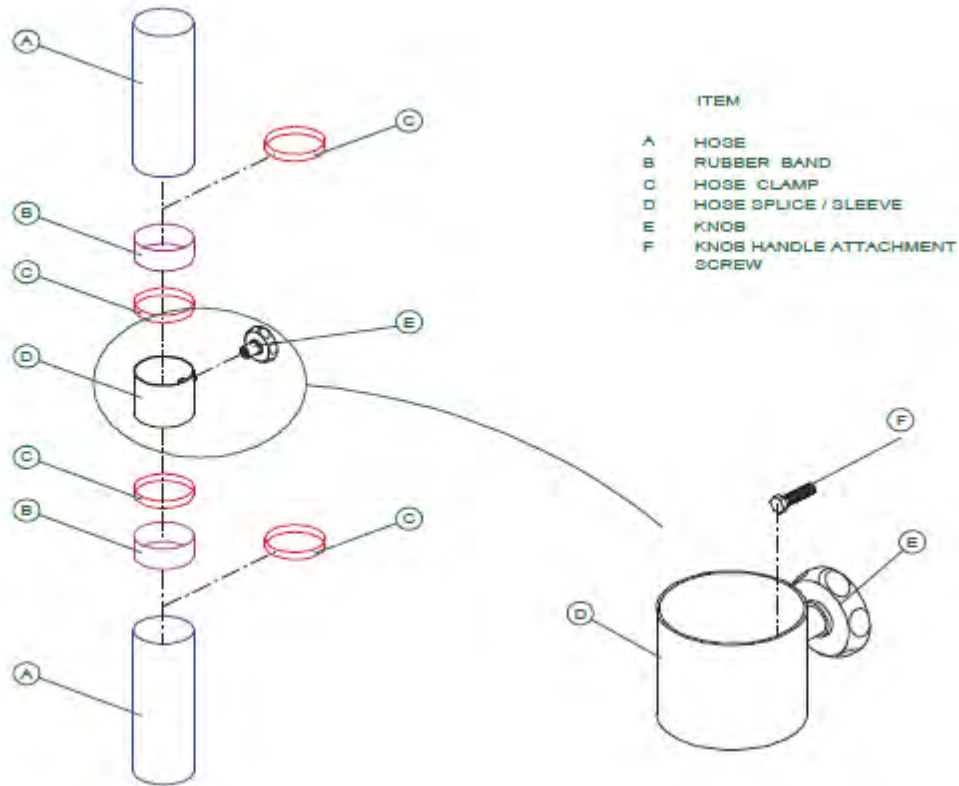
Project Name:

Contractor:

Date:



MagneGrip Hose Lifting Handle Assembly



- ★ Manufactured from painted rolled galvanized steel and designed to assist in handling the hose for easy attachment to the Tail Pipe Adaptor
- ★ 4 inch and 5-inch diameter sizes are available



CITY OF WORTHINGTON
DRAWING NO. ARB 0065-2023
DATE 08/16/2023



Architect:

Project Name:

Contractor:

Date:



MagneGrip 850° Lower Exhaust Hose



- ★ Multi-Layer material with spring steel wire helix and multiple layer reinforced construction
- ★ 2 feet long and available 4 inch and 5-inch diameter
- ★ Lower Hose is designed to operate at temperatures up to 850 degrees (F) without failure
- ★ Hose shall be blue in color and UL 94V-0 Flame retardant
- ★ Shall have smooth interior wall for unrestricted airflow



CITY OF WORTHINGTON
DRAWING NO. ARB 0065-2023
DATE 08/16/2023



Architect:

Project Name:

Contractor:

Date:



MagneGrip PRO Nozzle / Tailpipe Adaptor Assembly



- ★ Boot assembly is 7" diameter and incorporates ambient air inlets in the Flex-Magnet ring with a one-way silicone gasket to allow for cooler air to enter the airstream yet prevent any possible backwash into the bays
- ★ Tailpipe Adaptor body is made from aluminized 12-gauge steel with a low profile 7" diameter nickel plated contact plate
- ★ SS Heavy Duty clamps with 5/16-inch drive for mounting boot to elbow transition
- ★ 90 Deg Elbow Transition is made from 319 cast aluminum and includes a removable debris screen and powder coated reducer to allow use on 4-, 5- or 6-inch hoses



CITY OF WORTHINGTON
DRAWING NO. ARB 0065-2023
DATE 08/16/2023



Architect:

Project Name:

Contractor:

Date:



MagneGrip Auto-Start Exhaust Pressure Sensor



- ★ MPL 500 series pressure sensor, contacts are designed for dry circuit applications
- ★ Terminals for NEMA .020 x .187 male tabs and mate to standard .020 x .187 female quick connects and 18-22ga wire
- ★ Pressure Sensor Specifications, body is glass filled polyester, the diaphragm is made from polyurethane with an operating temperature of -40 to 250 degrees and operating pressure of .05in SP H2O
- ★ Mechanical life range above 100,000,000 cycles



CITY OF WORTHINGTON
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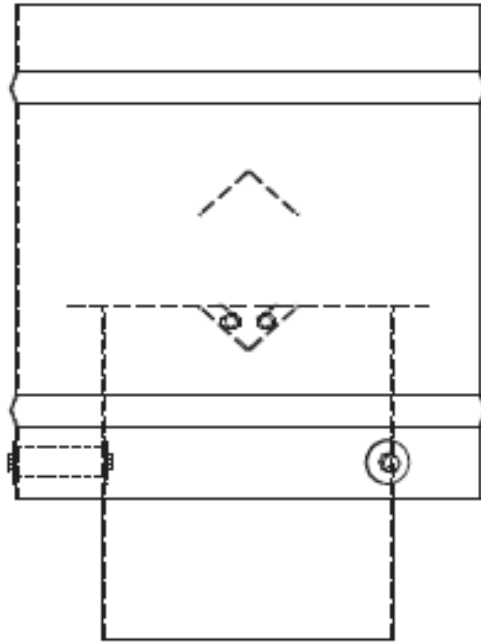
Project Name:

Contractor:

Date:



MagneGrip Upblast Backdraft Damper Rain Cap



- ★ Standard design, 20ga galvanized steel construction, upblast back draft damper has butterfly damper located inside outer shell for air and water tightness
- ★ Designed for static free upblast of exhaust gases while including ambient air to help eject exhaust an additional 10-15 feet up and into the prevailing airstream
- ★ Available in 6" to 18" sizes as standard
- ★ Also available in Stainless Steel or custom sizes as required



CITY OF WORTHINGTON
DRAWING NO. ARB 0065-2023
DATE 08/16/2023



Architect:

Project Name:

Contractor:

Date:



MagneGrip Galvanized Spiral Pipe and Fittings



- ★ Requirements for industrial ventilation class #2 (B) gaseous emission control is the category that will generally apply to MagneGrip vehicle exhaust systems
- ★ Spiral pipe, Elbows, fittings, etc. 3" through 8" diameter 24ga
- ★ Spiral pipe, Elbows, fittings, etc. 8.5" through 12" diameter 22ga
- ★ Spiral pipe, Elbows, fittings, etc. over 12.5" diameter 20ga



CITY OF WORTHINGTON
DRAWING NO. ARB 0065-2023
DATE 08/16/2023



Architect:

Project Name:

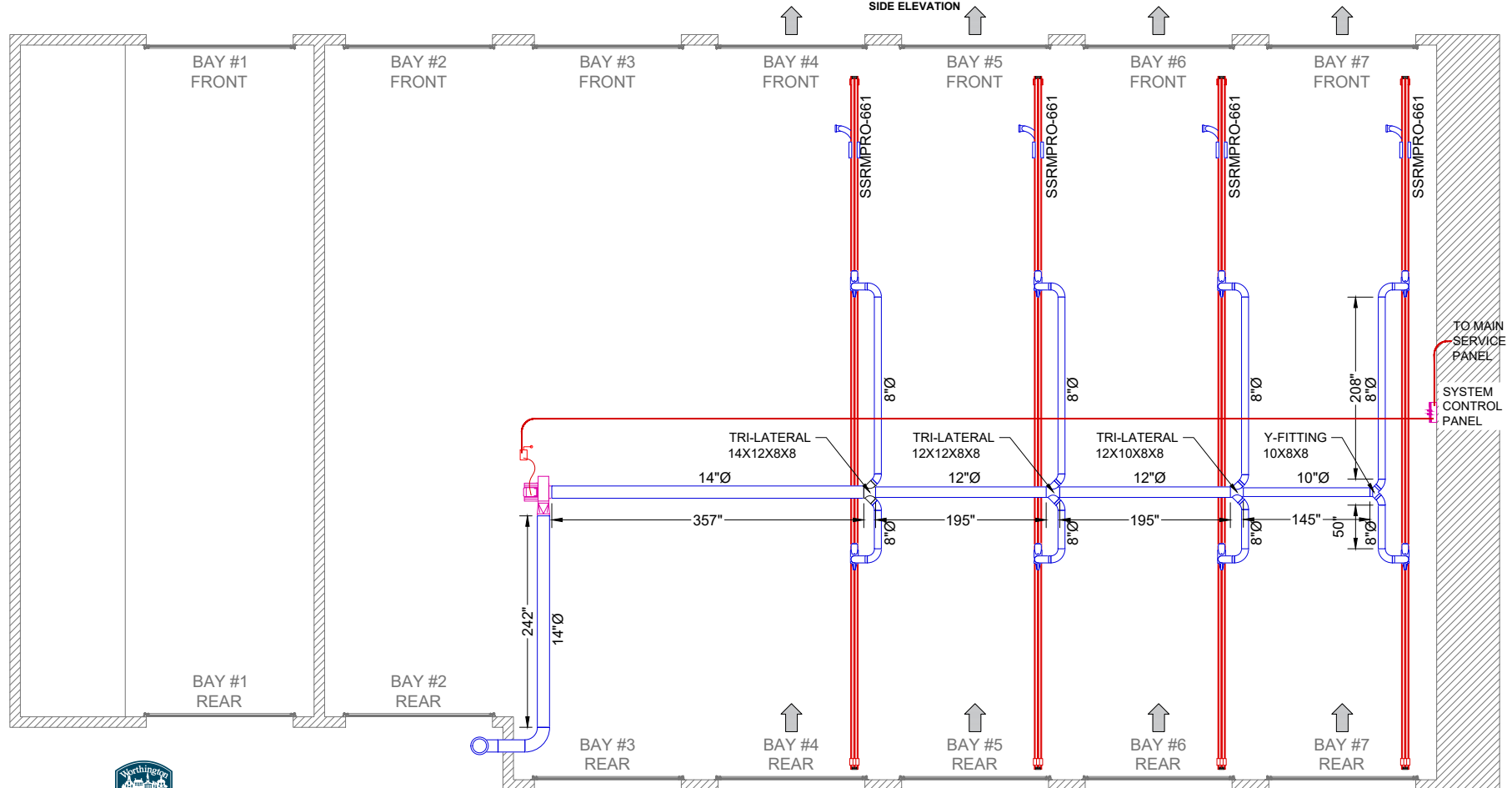
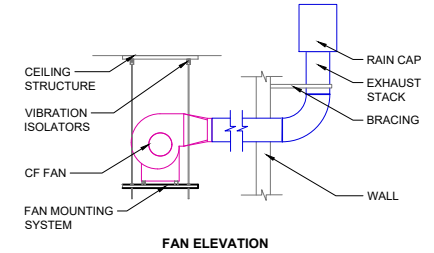
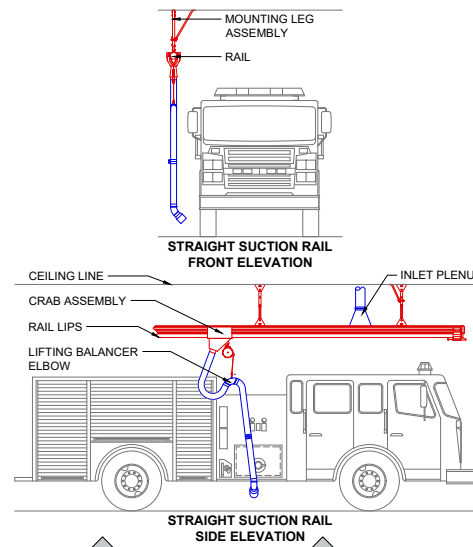
Contractor:

Date:

GENERAL CONSTRUCTION NOTES:

- FOR THE PURPOSE OF CLEARNESS AND LEGIBILITY DRAWINGS ARE DIAGRAMMATIC AND DESIGN INTENT ONLY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS BY FIELD MEASUREMENT BEFORE BEGINNING ANY FABRICATION OR CONSTRUCTION.
- ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES IN ACCORDANCE WITH 2017 ICC (IBC, IMC).
- ALL NEW MATERIAL METHODS, AND EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE BUILDING STANDARDS AS APPROVED.
- CONTRACTOR SHALL INSTALL ALL EQUIPMENT IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL COORDINATE EXACT LOCATION OF EXHAUST FANS, DUCTWORK, AND EXHAUST DROPS WITH EXISTING IN-PLACE CITY FIRE DEPARTMENTS EQUIPMENT, LIGHTING, AND ALL EXISTING CONDITIONS.
- ALL EXHAUST DUCTWORK SHALL BE SPIRAL SEAM GALVANIZED STEEL FABRICATED AND INSTALLED IN ACCORDANCE WITH CHAPTER 6 OBC MC AND SMACNA STANDARD MANUAL.
- SHEETMETAL DUCT DIMENSIONS SHOWN ARE AIRWAY DIMENSIONS.
- BALANCE EXHAUST SYSTEM AND EACH EXHAUST DROP MEET AIR QUANTITIES AS REQUIRED.
- CONTRACTOR SHALL COORDINATE WITH CITY FIRE DEPARTMENT PRIOR TO ANY PENETRATION OR ROOF CUTTING.

FAN SCHEDULE								
FAN TYPE	ID#	AIRFLOW (CFM)	RPM	STATIC PRESSURE (IN - WC)	VOLTS / PHASE	HP	BREAKER	WIRE
MAGNEGRIP	CF363-7.5	4400	3450	6 SP	3ph	7.5	50 AMP	#6TH#N
VEHICLE EXHAUST SYSTEM								
DESCRIPTION	PART #	QTY	REMARKS					
CONTROL PANEL	500181-08	1						
RAIN CAP	500157-14	1						
SUCTION RAIL	SSRMPRO-661	4	1 HOSE DROP EACH					
TOTAL # OF HOSE DROPS:		4	CFM PER HOSE DROP:				600 CFM	
REMARKS:								
A. ITEM HAS BEEN SPECIFIED FOR QUALITY AND PERFORMANCE ANY APPROVED SUBSTITUTION IS AT THE RISK OF THE OWNER.								
B. PROVIDE TRACK OR RAIL SYSTEM, TRANSITION ELBOW, HIGH TEMPERATURE HOSE, HOSE CLAMPS, NOZZLES, TAILPIPE CONNECTORS, FRESH AIR INTAKE, AND OTHER ITEMS REQUIRED FOR A COMPLETE INSTALLATION.								
C. PROVIDE WIRELESS CONTROL PANEL ACTIVATION, PRESSURE SENSORS, WIRELESS TRANSMITTERS, AND ADDITIONAL COMPONENTS IF REQUIRED FOR AUTOMATIC FAN CONTROL.								
D. VEHICLE EXHAUST SYSTEM DESIGN AND DRAWING IS THE SOLE PROPERTY OF THE DESIGNERS, MAGNEGRIP.								
E. DETAILS MAY NOT REPRESENT THE SAME KIND OF VEHICLE IN PLAN VIEW.								
F. DETAILS ARE MEANT TO ILLUSTRATE "TYPICAL" ELEVATION VIEWS.								



CITY OF WORTHINGTON
DRAWING NO. ARB 0065-2023
DATE 08/16/2023



FLOOR PLAN - DIESEL EXHAUST SYSTEM
SCALE: NOT NECESSARILY TO ANY SCALE
FOR ILLUSTRATION PURPOSES ONLY

PROJECT NO: ----
SYSTEMS: STRAIGHT SUCTION RAIL
ISO 9001:2015 CERTIFIED
UNITS: INCHES

MagneGrip
Vehicle Exhaust Venting Systems
11449 Deerfield Road
Cincinnati, OH 45242
www.MagneGrip.com

PROJECT: Worthington Fire Station
6500 North High St
Worthington, OH
DIESEL EXHAUST SYSTEM
SHEET TITLE: DIESEL EXHAUST SYSTEM - FLOOR PLAN

DRN: CHK: CADD:
EDR: XX
DATE: 02/22/23
SHEET No.:



ARB APPLICATION
ARB 0070-2023
38 E. New England Ave.

Plan Type:	Architectural Review Board	Project:		App Date:	08/28/2023
Work Class:	Certificate of Appropriateness	District:	City of Worthington	Exp Date:	
Status:	In Review			Completed:	
Valuation:	\$7,000.00			Approval	
Description:	small fence on side of house				Expire Date:

Parcel:	100-000317	Main	Address:	38 E New England Ave Worthington, OH 43085	Main	Zone:	AR-4.5(Low Density Apartment Residenc
----------------	------------	------	-----------------	---	------	--------------	---------------------------------------

Applicant / Owner
Michael Shadwick
38 E New England Ave
Worthington, OH 43085
Mobile: (513) 532-0538

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004483	Architectural Review Board	\$7.00	\$7.00
Total for Invoice INV-00004483		\$7.00	\$7.00
Grand Total for Plan		\$7.00	\$7.00

38 E. New England Ave.



38 E New England Avenue

Fence height: 6 feet

Dimensions: 3' x 44' x 15' (including (1) 36" gate)

Fence location: (see plot plan – fence marked in yellow)

- Connects to corner of porch and wraps around concrete patio
- Western side (44') is 12" from blacktop driveway
- See photos below of residence for reference

Gate location: (see plot plan – gate marked with X)

- Opening in towards concrete patio

Fence rendering: (see image below)

- Posts 36" deep in concrete footers
- 6' on center
- Materials used: 6x6 treated posts / 1x2's, 1x4's, 1x6's (cedar)



44-38861-3331-4b

4. 205

2740 East Main Street, Columbus 43209 (Bexley), Ohio
614-235-8677 FAX: 614-235-4559

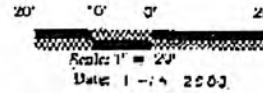
Legal Description: Situated in the County of Franklin, City of Worthington, Being Part Lot III of Village of Worthington, Plat Book 2 Page 350

Applicant: John A. Maureen, Officer III

Posted Address: 38-401 E. New Lombard Ave, Waukegan, Ill

F.P. No. 4. Flood Zone Designation: Flood Zone "X" as per 17 C.F.R. 390.2(d)(3)(H)

Apparent Microstructures: 2) Blacktop Ring Used by Otis for Ingress-Egress



We hereby certify that the foregoing Mortgage Location survey was prepared from actual field measurements in 2007-2008 using Chapters 4733-38 Ohio Administrative Code, and is not a boundary survey pursuant to Chapter 4733-27 of said code. THE INFORMATION SHOWN HEREON IS NOT TO BE UTILIZED FOR THE INSTALLATION OF BUILDINGS, FENCES, LANDSCAPING OR OTHER PERMANENT IMPROVEMENTS.

Adams Surveying Co., Inc.
By John A. F. F. F.
Professional Surveyor

Myers Corp. N.Y. 7-012409 Dec. 1968 Filed 12/14/68 10:14 AM '68



CITY OF WORTHINGTON
DRAWING NO. ARB 0070-2023
DATE 08/28/2023



ARB APPLICATION ARB 0060-2023 940 High St.

Plan Type: Architectural Review Board	Project:	App Date: 07/25/2023
Work Class: Certificate of Appropriateness	District: City of Worthington	Exp Date:
Status: In Review		Completed:
Valuation: \$8,000.00		Approval
Description: ANYTIME FITNESS. NEW CHANNEL LETTER WALL SIGN. ADD GRAPHICS TO TENANT PANELS ON EXISTING MONUMENT SIGN		Expire Date:
Parcel: 100-003941 Main	Address: 940 High St Main Worthington, OH 43085	Zone: C-2(Community Commercial)

Applicant	Owner
STEVE P MOORE	CVS 3407 OH LLC
6060 WESTERVILLE RD.	1 CVS DR #3407-01
WESTERVILLE, OH 43081	Woonsocket, RI 02895
Business: (614) 882-1110	
Mobile: (614) 432-5965	

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004283	Architectural Review Board	\$8.00	\$8.00
Total for Invoice INV-00004283		\$8.00	\$8.00
Grand Total for Plan		\$8.00	\$8.00

940 High St.



Google Maps



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CITY OF WORTHINGTON
DRAWING NO. ARB 0060-2023
DATE 07/25/2023



① Front Elevation

Scale: 1/4" = 1'-0"



② Front View

Scale: 3/4" = 1'-0"



③ End View

Scale: 3/8" = 1'-0"

Description

- Ⓐ **Aluminum Pan Face**
1/8" Aluminum Face - (CNC)
Brake Formed Top & Bottom Returns
2" x 2" x 1/8" Aluminum Angle Ends
Paint To Match Existing Monument - **TBD**
- Ⓑ **Copy**
1ST SURFACE APPLIED NON-ILLUMINATED
DIGITALLY PRINTED WHITE VINYL OVERLAYS
COLOR TO MATCH PURPLE: PMS 2097C (C/W/C)
(NYALA) - CLEAR MATTE LAMINATE
3M Black 220-22 & White 220-20 Matte Vinyl

Project:

Anytime Fitness
926 North High Street
Worthington, Ohio 43085

Designer: **MF**

Quote Number: **Q104666-02**

Date: **07.19.2023**

Rev. 1:

Rev. 2:

Rev. 3:

Rev. 4:

Rev. 5:



archetype

9611 James Ave. S
Minneapolis, Minnesota 55431

952 641 9600

archetypesign.com

Contact:

Jenny Kruse

952 641 9602

jennyk@archetypesign.com

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Approved: _____

Type: _____

Description:
Tenant Panels

Page: **2.0**



CITY OF WORTHINGTON
DRAWING NO. ARB 0060-2023
DATE 07/25/2023

Google Maps



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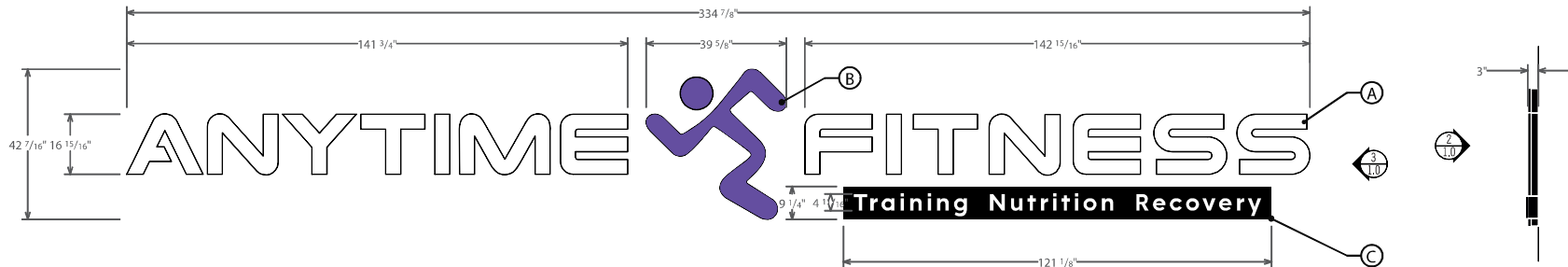
CITY OF WORTHINGTON
DRAWING NO. ARB 0060-2023
DATE 07/25/2023



1 Front Elevation

Scale: 3/32" = 1'-0"

CRITERIA: LANDLORD
Submit for Approval - 126'-1 3/4" x 73' 7 1/2" Leased Width
PROPOSED: 98.71 sq ft
CRITERIA: CITY
SUBMIT FOR APPROVAL
CRITERIA: NTE 1.5 sf of sign area for each lineal foot of leased width
ZONED: C-2 Community Shopping Center



2 Front View - Face-Lit Channel Letters

Scale: 3/8" = 1'-0"

Description

- (A) Channel Letters**
 3" DEEP STOCK BLACK RETURNS
 3/16" WHITE ACRYLIC FACES (7328)(CNC)
 1" BLACK TRIMCAP
 PRE-FINISHED WHITE ALUMINUM BACKS
- (B) Channel Logo**
 3" DEEP STOCK BLACK RETURNS
 3/16" WHITE ACRYLIC FACES (7328)(CNC)
 DIGITALLY PRINTED WHITE VINYL OVERLAYS
 COLOR TO MATCH PURPLE: PMS 2097C (C/W/C)
 (NYALA) - CLEAR MATTE LAMINATE
 1" BLACK TRIMCAP
 PRE-FINISHED WHITE ALUMINUM BACKS
- (C) Moniker**
 3" x 1" ALUMINUM ANGLE RETAINERS - 1/8"
 ROUTED ALUMINUM FACE PAINTED BLACK (SATIN
 FINISH) - 1/2" CLEAR ACRYLIC PUSH-THRU COPY
 (1/4" PROJECTION) - SECOND SURFACE
 TRANSLUCENT WHITE VINYL DIFFUSER

Illumination

SLOAN PRISM MINI 6500K WHITE LED MODULES
 200 L.E.D. MODULES - 78.4 LINEAL FEET TOTAL
 (3) - 60C2-60W (701507-60C2) 100-277 VAC
 60 Hz - 0.80 A - 60 W @ 12 VDC

Install

MOUNTED TO WALL USING LAGS



CITY OF WORTHINGTON
 DRAWING NO. ARB 0060-2023
 DATE 07/25/2023

Project:
 Anytime Fitness
 926 North High Street
 Worthington, Ohio 43085

Designer: MF
 Quote Number: Q104666-01
 Date: 03.25.2023
 Rev. 1: 05.31.2023
 Rev. 2:
 Rev. 3:
 Rev. 4:
 Rev. 5:



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9611 James Ave. S
 Minneapolis, Minnesota 55431

952 641 9600

archetypesign.com

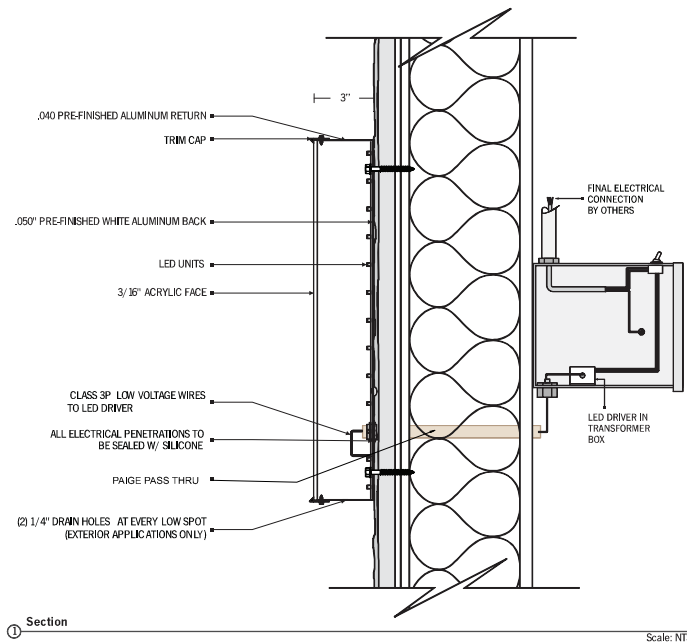
Contact:
 Jenny Kruse
 952 641 9602
 jennyk@archetypesign.com

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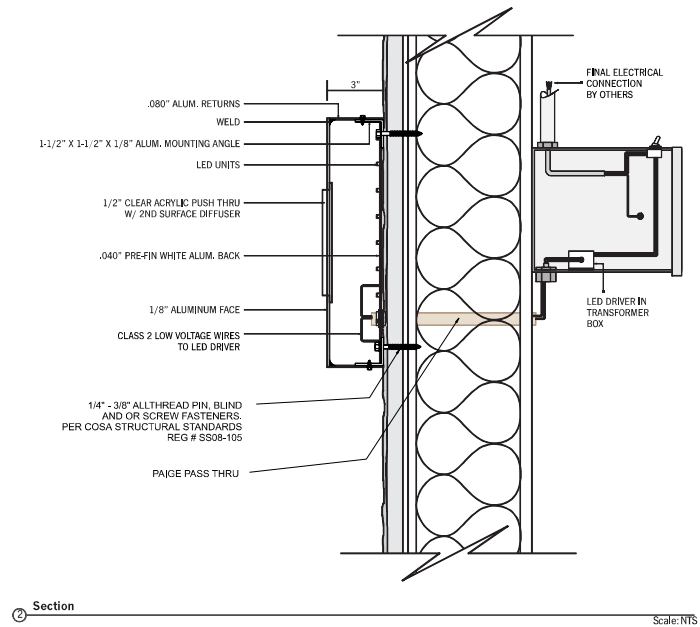
Approved: _____

Type:
 Description:
 Face-Lit Channel Letters w/
 Raceway

CHANNEL LETTER (3" DEPTH) FLUSH MOUNTED



PUSH THRU CABINET SECTION FLUSH MOUNTED



Project:
Anytime Fitness
926 North High Street
Worthington, Ohio 43085

Designer: MF
Quote Number: Q104666-01
Date: 03.25.2023
Rev. 1:
Rev. 2:
Rev. 3:
Rev. 4:
Rev. 5:



archetype

9611 James Ave. S
Minneapolis, Minnesota 55431

952 641 9600

archetypeesign.com

Contact:
Jenny Kruse
952 641 9602
jennyk@archetypeesign.com

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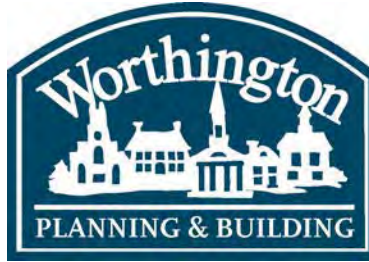
Approved: _____

Type:
Description:
Face-Lit Channel Letters w/
Raceway

Page: 1.0



CITY OF WORTHINGTON
DRAWING NO. ARB 0060-2023
DATE 07/25/2023



ARB APPLICATION ARB 0061-2023 691-693 High St.

Plan Type: Architectural Review Board	Project:	App Date: 07/31/2023
Work Class: Certificate of Appropriateness	District: City of Worthington	Exp Date:
Status: In Review		Completed:
Valuation: \$8,000.00		Approval
Description: Signage package for Kittie's bakery and cafe—updating the former Highline Coffee Co. location with Kittie's branding.		Expire Date:

Parcel: 100-000197	Main	Address: 691-693 High St Worthington, OH 43085	Main	Zone: C-5(Central Commercial)
---------------------------	------	--	------	--------------------------------------

Applicant	Owner	Owner
Jennifer M Stevens	Diane Herman	Steve Herman
4048 Goose Lane	Business: (614) 992-2899	Business: (614) 992-2899
Granville, OH 43023	Mobile: (614) 312-3127	Mobile: (614) 312-3127
Mobile: (614) 580-5242		

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004312	Architectural Review Board	\$8.00	\$8.00
Total for Invoice INV-00004312		\$8.00	\$8.00
Grand Total for Plan		\$8.00	\$8.00

691-693 High St.





KITTIE'S®

HIGHLINE LOCATION

JULY 31, 2023 V3



CITY OF WORTHINGTON
DRAWING NO. ARB 0061-2023
DATE 07/31/2023

Current Signage



Facing High Street



Facing High Street: Entrance on right/bakery on left



North-facing window (towards 161)



View into bakery (door not in use)



CITY OF WORTHINGTON
DRAWING NO. ARB 0061-2023
DATE 07/31/2023

Our Neighbors



CITY OF WORTHINGTON
DRAWING NO. ARB 0061-2023
DATE 07/31/2023

Storefront

WINDOW DIMENSIONS:

65wx72h

VINYL DIMENSIONS:

45wx10h

Applied on the interior

DOOR WINDOW DIMENSIONS:

27wx59h

VINYL DIMENSIONS:

16wx18h

Applied on the interior



CITY OF WORTHINGTON
DRAWING NO. ARB 0061-2023
DATE 07/31/2023

Building Sign

KITTIE'S SIGN DIMENSIONS:

90wx15h

2 layers: blue and white

Wood or wood "look"



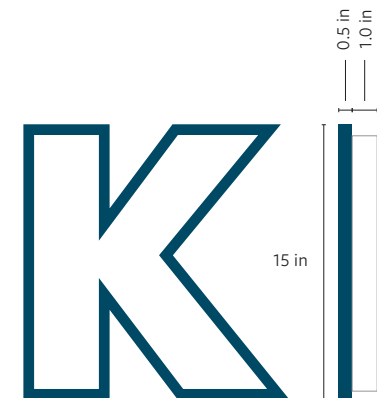
BIRCH SIGN DIMENSIONS:

84wx24h

100 inches from ground
to the bottom of their sign



CITY OF WORTHINGTON
DRAWING NO. ARB 0061-2023
DATE 07/31/2023



Wooden Blade Sign



EVOLVERIE SIGN DIMENSIONS:

32wx24h

100 inches from ground to the bottom of their sign



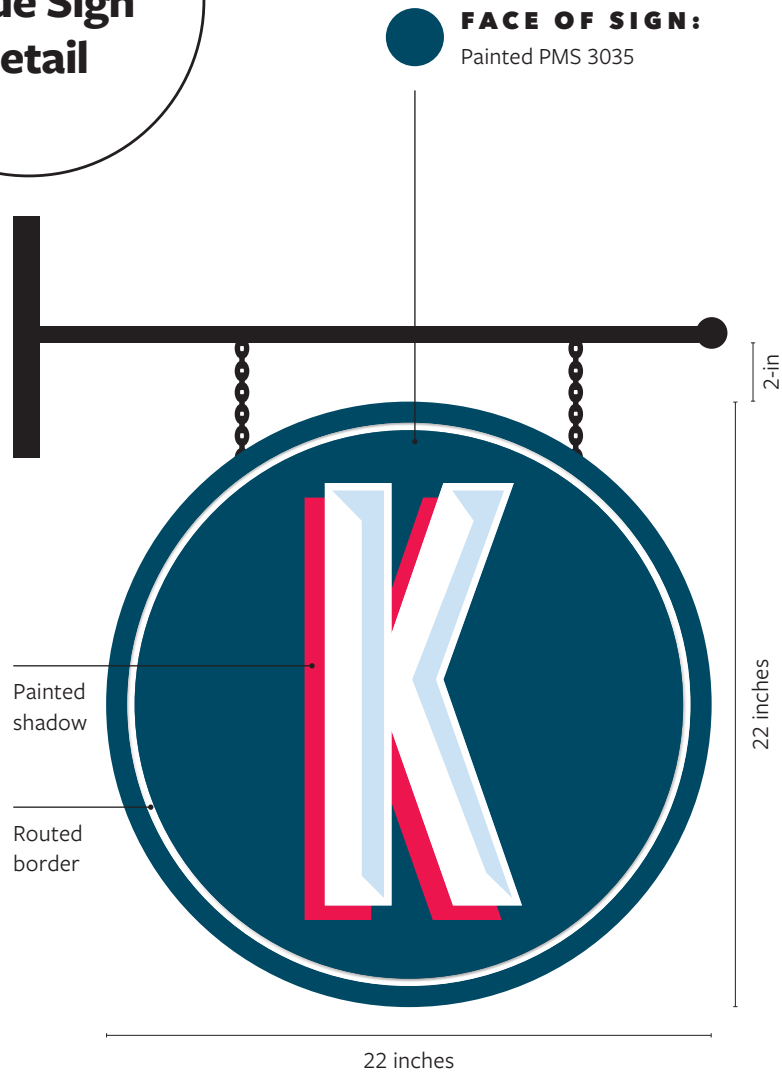
NOTE:

We'll remove the existing bracket and "sign"



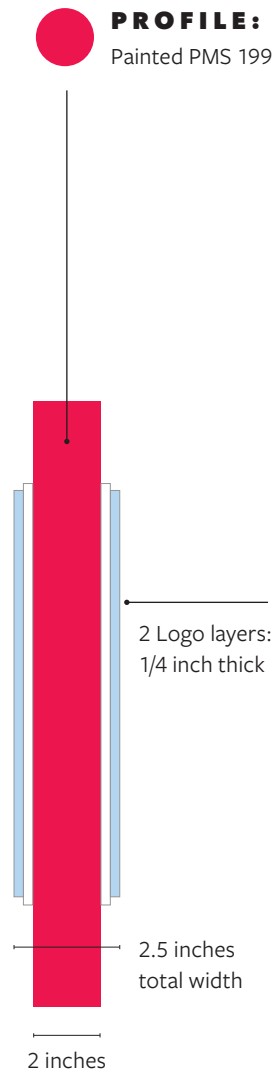
CITY OF WORTHINGTON
DRAWING NO. ARB 0061-2023
DATE 07/31/2023

Wooden Blade Sign Detail



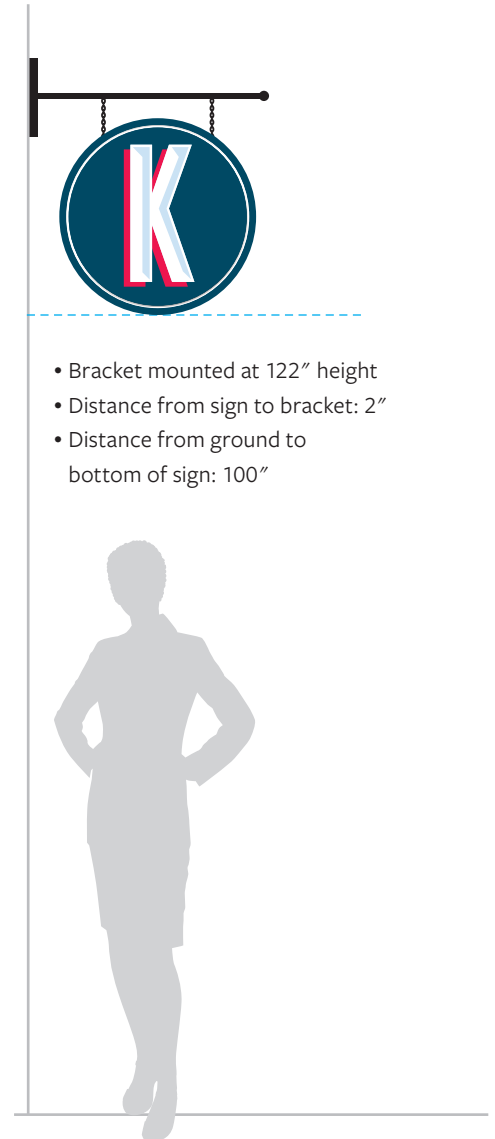
FRONT VIEW
2-sided

FACE OF SIGN:
Painted PMS 3035



SIDE VIEW
Edge-painted

PROFILE:
Painted PMS 199



CITY OF WORTHINGTON
DRAWING NO. ARB 0061-2023
DATE 07/31/2023

Promotional Vinyl Bakery Windows

WINDOW DIMENSIONS:

37wx72h

VINYL DIMENSIONS:

31wx33h

Applied on the interior



BAKERY WINDOWS (DETAIL)

NOTE:

These windows look into the bakery/point of sale area of the space. The door is not in use.



CITY OF WORTHINGTON
DRAWING NO. ARB 0061-2023
DATE 07/31/2023

Promotional Vinyl Bakery Windows

WINDOW DIMENSIONS:

26wx72h

2-SIDED VINYL DIMENSIONS:

12.5wx72h

Applied on the interior



LEFT

Applied on the interior



RIGHT



CITY OF WORTHINGTON
DRAWING NO. ARB 0061-2023
DATE 07/31/2023

**North-facing
window**



WINDOW DIMENSIONS:

127x72

VINYL DIMENSIONS:

70x16

Applied on the interior



CITY OF WORTHINGTON
DRAWING NO. ARB 0061-2023
DATE 07/31/2023



myntedesignco.com



@myntegreen



CITY OF WORTHINGTON
DRAWING NO. ARB 0061-2023
DATE 07/31/2023



ARB APPLICATION
ARB 0064-2023
159-161 E. Granville Rd.

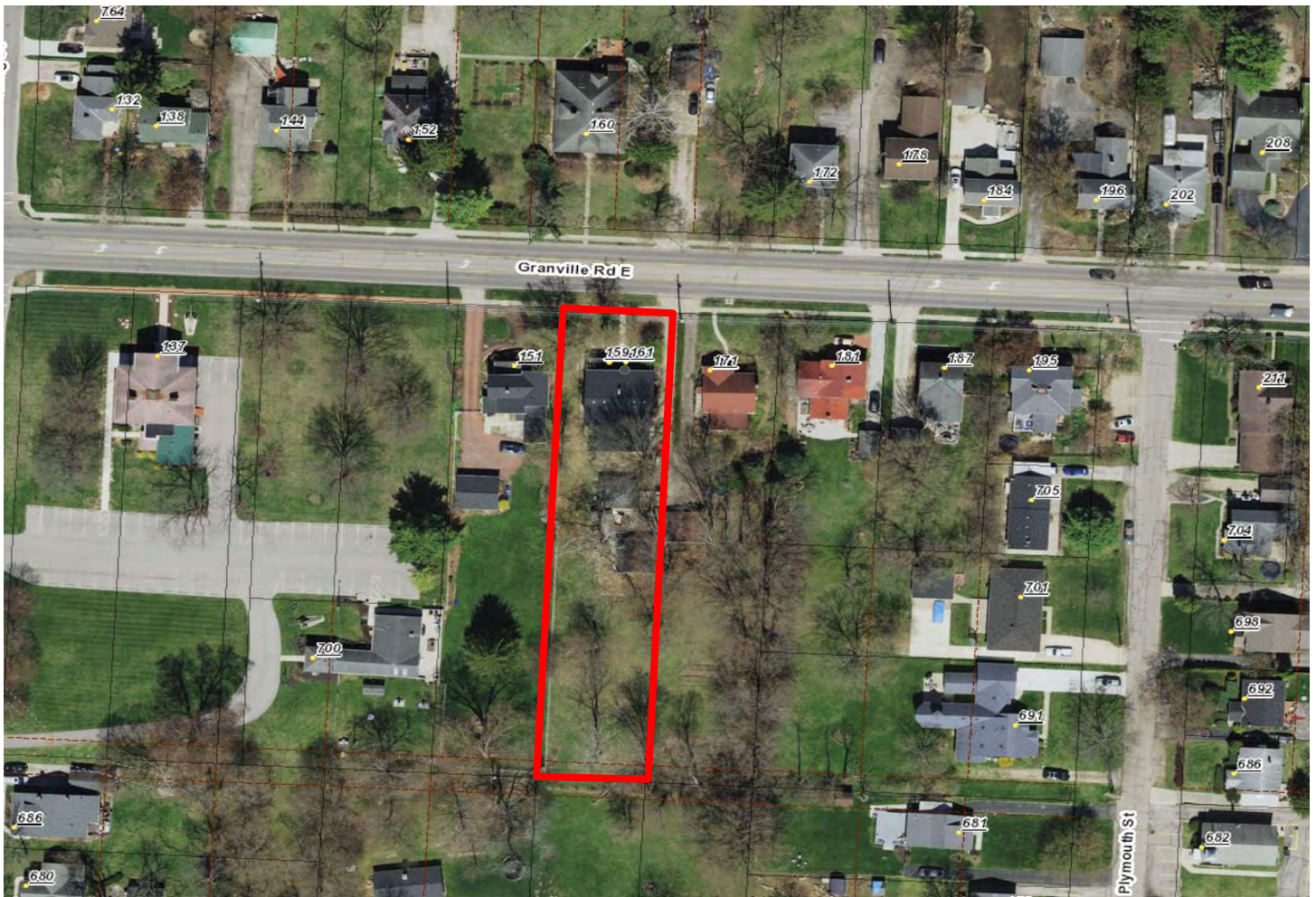
Plan Type:	Architectural Review Board	Project:		App Date:	08/16/2023
Work Class:	Certificate of Appropriateness	District:	City of Worthington	Exp Date:	
Status:	In Review			Completed:	
Valuation:	\$23,908.00			Approval	
Description:	Installing vinyl replacement windows to mirror the design of the existing wood windows. The existing windows are the original wood windows. We are leaving the existing frame in place and placing our frame and sashes inside the existing frame. The style, sizes and profiles match the existing. We are replacing the windows with the same size as existing. The grids will be between the glass. We changed the sliders to picture windows. Most of the windows are nonfunctional.				
Expire Date:					

Parcel:	100-000682	Main	Address:	161 E Dublin-Granville Rd Worthington, OH 43085	Main	Zone:	R-10(Low Density Residence)
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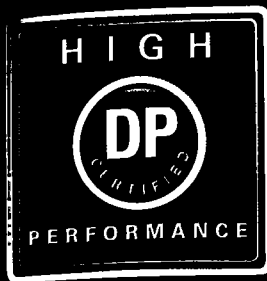
Applicant	Owner
APCO Industries	Andrew G Silverman
Amanda Hancock	161 E DUBLIN-GRANVILLE RD
777 Michigan Ave.	Worthington , OH 43085
Columbus, 43215	Mobile: (614) 353-3483
Business: 6142242345	

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004475	Architectural Review Board	\$24.00	\$24.00
Total for Invoice INV-00004475		\$24.00	\$24.00
Grand Total for Plan		\$24.00	\$24.00

159-161 E. Dublin-Granville Rd.



2000 DOUBLE HUNG WINDOW

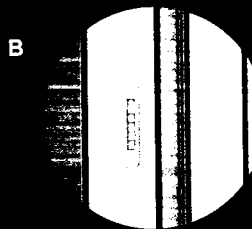


FEATURES

- 1 Maintenance-free multi-chamber PVC construction with fusion-welded sash and frame
- 2 Sleek cam-action sash locks provide security and enhanced performance without compromising beauty
- 3 $\frac{1}{8}$ " IGU glass systems with energy efficient Warm Edge (standard) or Warm Edge+ (optional upgrade) available in Low-E, HP or HP_{MAX} glass package options (see page 6 for details)
- 4 High DP performance option, featuring reinforced sash, ensures security and peace of mind when the weather outside is threatening
- 5 3 $\frac{1}{4}$ " frame depth for traditional pocket window installation with flange and fin options to meet a variety of installation options (flange, no fin nail fin or nail fin w/j-channel)
- 6 Designed with equal sight line sash for traditional wood window appearance
- 7 Both sash tilt in and are removable for easy and safe cleaning
- 8 Locking pivot bar and shoe assembly in upper sash and jamb jacks at meeting rail help ensure a square installation and enhance energy efficiency
- 9 Integral interlock system provides protection against air infiltration and makes window more secure
- 10 Double weatherstripped sash provides extra protection against dust, dirt and noise
- 11 Integral lift handles make opening windows easier
- 12 Extruded aluminum half screen with fiberglass mesh standard; full screen optional
- 13 Tested and approved to meet NFRC requirements; ENERGY STAR[®] units available
- 14 Interior and exterior accessory groove allows for a wide selection of installation options
- 15 Two ventilation limit latches standard, child safety latches optional
- 16 Hidden SilLock design with a sloped sill eliminates the need for weep holes, forces water to drain to the exterior of the window, and keeps your windows dry, providing enhanced weather-tight performance



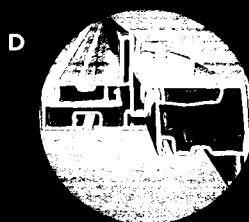
A Sleek cam-action sash locks provide security, performance and beauty



B Ventilation limit latches



C Optional child safety vent latch



D High DP Performance option features reinforced meeting rails



E High DP Performance option features reinforced rails and stiles



CITY OF WORTHINGTON
DRAWING NO. ARB 0064-2023
DATE 08/16/2023



Shown is Contractor 2000 Series double hung corner cut featuring HPmax glass package upgrade with High DP Performance option.

OVERALL FEATURES

- 1 Pinch fusion-welding construction creates a solid, one-piece unit with no excess variance for long-term durability
- 2 Warm Edge glass spacer system reduces thermal transfer around the glass perimeter by using a unique U-shaped channel to separate glass panes and interrupt the natural flow of heat to cold; upgrade to Warm Edge+ for enhanced performance
- 3 High DP performance option, featuring reinforced sash on double hung and sliding windows, ensures security and peace of mind when the weather outside is threatening
- 4 Available with Low-E, HP or HPmax glass package options (see page 6 for details)
- 5 All product styles can be configured to meet ENERGY STAR® requirements in all states
- 6 NFRC rated and certified
- 7 3 1/4" frame depth for traditional pocket window installation
- 8 Designed with equal sight line sash on double hung for traditional wood window appearance
- 9 New Generation uPVC vinyl never needs painting or caulking and resists conducting heat and cold
- 10 Hidden SilLock design with a sloped sill eliminates the need for weep holes, forces water to drain to the exterior of the window and keeps your windows dry, providing enhanced weather-tight performance



A



Warm Edge spacer (standard)

B



Sleek cam-action sash locks on double hung and sliding windows provide security and performance without compromising beauty

C



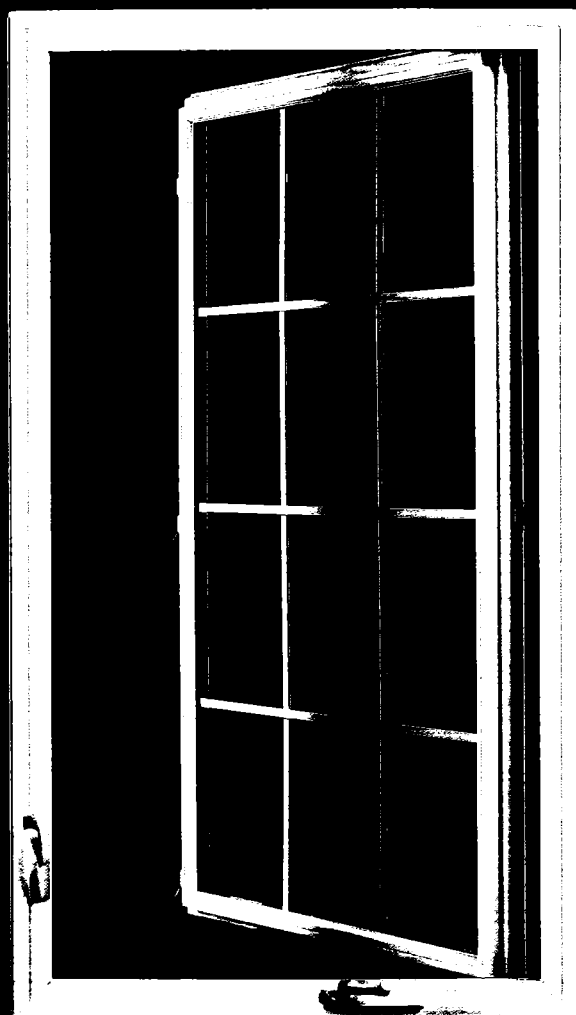
Pinch fusion-welding



CITY OF WORTHINGTON
DRAWING NO. ARB 0064-2023
DATE 08/16/2023

NOTE: Corner cut shown with HP3MAX glass package and standard Warm Edge spacer system.

5100 CASEMENT & AWNING WINDOW



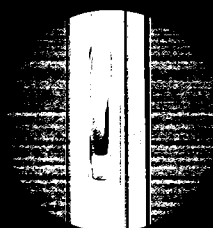
FEATURES

- 1 Maintenance-free multi-chamber PVC construction with fusion-welded sash and frame
- 2 $\frac{7}{8}$ " IGU glass systems with energy efficient Warm Edge (standard) or Warm Edge+ (optional upgrade) available in Low-E, HP or HP_{MAX} glass package options (see page 6 for details)
- 3 $\frac{3}{4}$ " frame depth for traditional pocket window installation
- 4 Interior and exterior accessory grooves provides a wide selection of installation options
- 5 Available right- or left-hand operating
- 6 Sash opens 90° for ventilation and easy cleaning
- 7 Single-handle multi-point locking system
- 8 Awning windows can be combined / mulled / stacked with fixed casement picture windows
- 9 Adjustable hinges
- 10 Full screen with fiberglass mesh
- 11 Tested and approved to meet NFRC requirements; ENERGY STAR® units available



NOTE: This product manufactured in our Toledo, OH facility.

A



Color-coordinated lock features a sleek low profile that won't interfere with window dressing

B



Color-coordinated crank handle

C



Split-arm gear operator on sizes up to 36" x 60". Dual-arm gear operator on larger units



CITY OF WORTHINGTON
DRAWING NO. ARB 0064-2023
DATE 08/16/2023

Customer Andy Silverman		Sales-rep VINCE		Year built 1942	
Manufacturer Ply Gem 2000		Interior Color white		Exterior Color white	
Caulk	Coil	Foam	RWD	Lead NO	Screens 1/2
Type of Removal				Exterior Siding	



Let's Make Plans.

House had been completely gutted and re-dry walled / EMPTY UNITS

Location	Style/Type	Glass	Grids	Rough Opening	Make Size	Notes
✓ Front 161	DH	HP	4V	20x64	16 1/8 6 1 3/8	
✓ Front 161	DH	HP	4V	34x64	40 1/8 6 1 3/8	
✓ " 161	"	"	1V	20x64	16 1/8 6 1 3/8	
✓ " 169	"	"	2V	16x64	19 7/8 6 1 3/8	
✓ " 169	"	"	4V	40x64	34 6 1 3/8	
✓ " 169	"	"	2V	16x64	19 7/8 6 1 3/8	
✓ Left 161	sliding	"	3V	28x24	26 3/4 x 19 1/4	
✓ " 161	DH	"	3V	28x64	28 1/4 x 6 1 7/8	
✓ Left Bay 161	"	"	3V	"	28 x 6 1 3/8	
✓ " 161	"	"	5V	44x64	44 1/8 x 6 1 3/8	
✓ " 161	"	"	3V	28x64	28 x 6 1 3/8	
12/ ✓ Left 161	sliding	"	6V	58x26	52 1/4 x 23 1/8	
12/ ✓ Right 169	"	"	6V	"	52 1/4 x 23 1/8	
✓ Right Bay 169	DH	"	3V	28x64	28 x 6 1 3/8	
✓ " 169	"	"	5V	44x64	44 x 6 1 3/8	
✓ " 169	"	"	3V	28x64	28 x 6 1 3/8	
✓ Right 165	"	"	3V	28x64	28 x 6 1 3/8	



Customer Andy Silverman		Sales rep VINCE		Year built	
Manufacturer Plybem 2000		Interior Color White		Exterior Color White	
Caulk		Coil		Screens 1/2	
Foam		RWD		Lead NO	
Type of Removal		Exterior Siding			

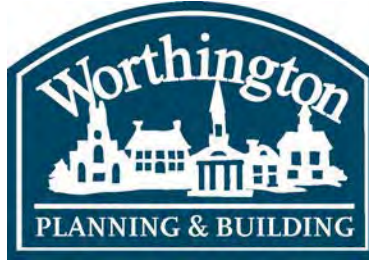


Let's Make Plans.

GRID PATTERN TO BE DETERMINED

	Location	Style/Type	Glass	Grids	Rough Opening	Make Size	Notes
18	Right 169	Sliding	HP	3V	28 x 24	26 3/4 x 19 1/4	
19	2nd Floor Front 161	DI	"	1V	16 x 64	16 1/8 x 61 3/8	
20	" 161	"	"	4V	40 x 64	40 1/8 x 61 3/8	
21	" 161	"	"	1V	16 x 64	16 1/8 x 61 3/8	
22	" 169	"	"	1V	"	16 1/8 x 61 3/8	
23	" 169	"	"	4V	40 x 64	40 1/8 x 61 3/8	
24	" 169	"	"	1V	16 x 64	16 1/8 x 61 3/8	
25	2nd Floor Left 161	"	"	3V	28 x 64	28 x 61 3/8	
26	" 161	"	"	2V	16 x 64	20 x 61 3/8	
27	" 161	"	"	4V	40 x 64	33 3/4 x 61 3/8	
28	" 161	"	"	2V	16 x 64	20 x 61 3/8	
29	" 161	"	"	3V	28 x 64	27 1/8 x 61 3/8	Bath
30	2nd Floor Right 169	"	"	3V	"	28 x 61 3/8	
31	" 169	"	"	1V	16 x 64	16 1/8 x 61 3/8	
32	" 169	"	"	4V	40 x 64	40 1/8 x 61 3/8	
33	" 169	"	"	1V	16 x 64	16 1/8 x 61 3/8	
34	" 169	"	"	3V	20 x 64	28 1/8 x 61 3/8	Bath





ARB APPLICATION
ARB 0066-2023
2151 W. Dublin-Granville Rd.

Plan Type: Architectural Review Board	Project:	App Date: 08/22/2023
Work Class: Certificate of Appropriateness	District: City of Worthington	Exp Date:
Status: In Review		Completed:
Valuation: \$1,887.00		Approval
Description: New sandblasted dimensional logo on backer board. Backer board to have vinyl lettering for Restaurant Bar. Black backer with white text		Expire Date:

Parcel: 100-003920	Main	Address: 2151 W Dublin-Granville Rd	Main	Zone: C-2(Community Commercial)
		Worthington, OH 43085		

Owner	Applicant
161 LINWORTH PROPERTIES LLC	Great Impressions Signs
2145 W DUBLIN-GRANVILLE RD	Greg Kitzmiller
Worthington , OH 43085 Business:	3800 Agler Road
(614) 929-8970	Columbus, OH 43219
	Business: 614-428-8250
	Mobile: 614-348-4731

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004460	Architectural Review Board	\$2.00	\$2.00
Total for Invoice INV-00004460		\$2.00	\$2.00
Grand Total for Plan		\$2.00	\$2.00

2151 W. Dublin-Granville Rd.



Rodos Greek Taverna

DESCRIPTION:

Wood grain painted HDU with routed/blasted Rodos logo + Restaurant Bar in white hi performance vinyl



CITY OF WORTHINGTON
DRAWING NO. ARB 0066-2023
DATE 08/22/2023



SIGN glo

614.657.1498 • hatlady16@aol.com
1774 East Main Street, Suite #112
Columbus, OH 43205

★★★★ DUE TO THE PRINTING PROCESS OR COMPUTER MONITORS, COLORS IN PROOF MAY NOT BE 100% ACCURATE ★★★★★

**GREAT
IMPRESSIONS**
SIGNS AND DESIGNS

DESIGNER
MJ
SALES REP
GK

JOB NAME: -
CONTACT: -
JOB LOCATION: -
ORDER #: XXXX LINE ITEM: - DATE: -

CUSTOMER APPROVAL:

(X)

Customer Signature

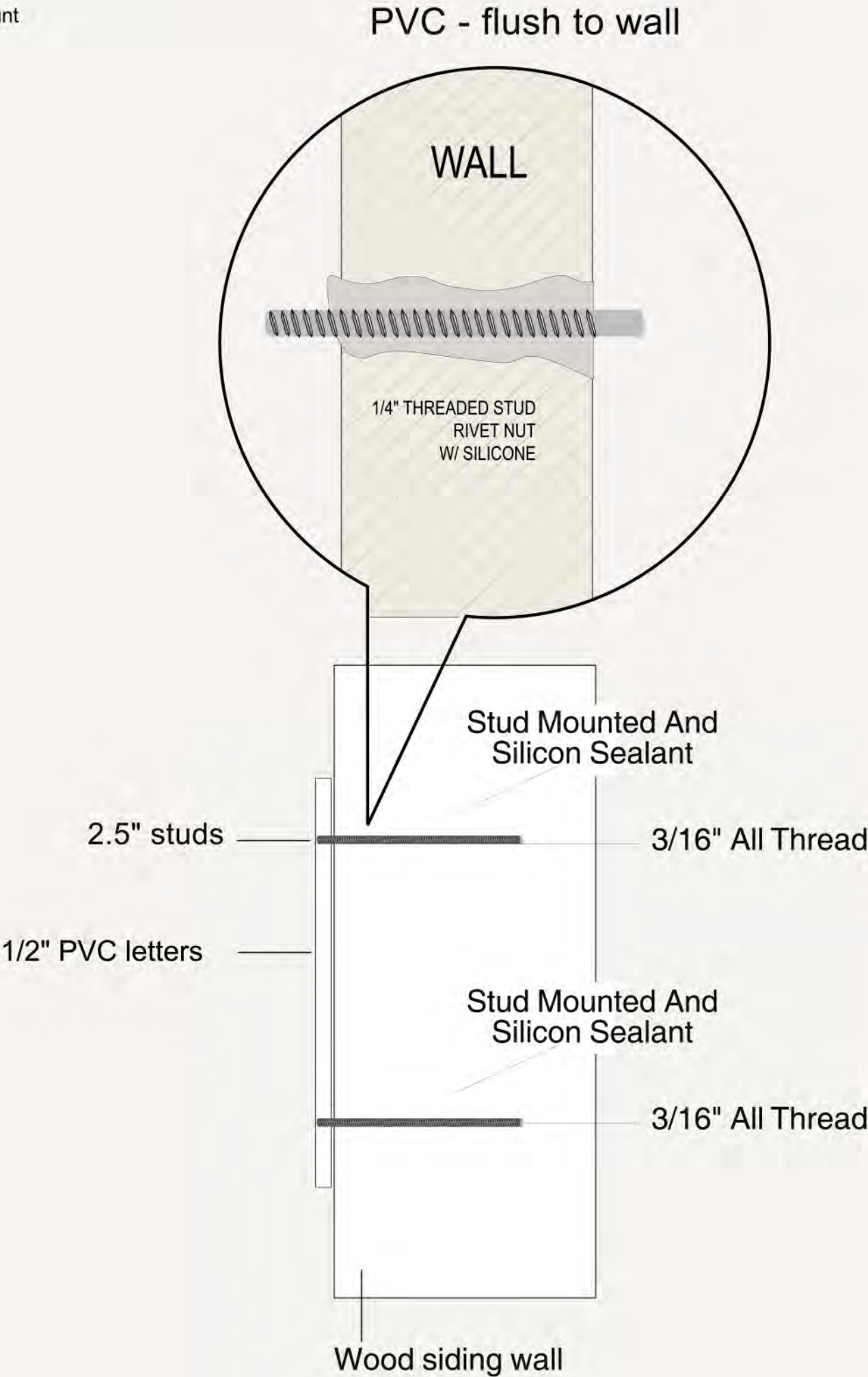
Date

3800 Agler Rd
Columbus, OH 43219
614.428.8250

Rodos Greek Taverna

DESCRIPTION:

PVC letters - stud mount





ARB APPLICATION ARB 0068-2023 70 W. North St.

Plan Type: Architectural Review Board	Project:	App Date: 08/25/2023
Work Class: Certificate of Appropriateness	District: City of Worthington	Exp Date:
Status: In Review		Completed:
Valuation: \$100,000.00		Approval
Description: One-story bedroom addition (182 sf) over crawl space to rear (north) side of existing two-story house. 14'-4" wide x 12'-8" deep.		Expire Date:

Parcel: 100-000721 Main	Address: 70 W North St Main Worthington, OH 43085	Zone: R-10(Low Density Residence)
--------------------------------	---	--

Owner Neil Gant 70 W NORTH ST Worthington , OH 43085 Home: 6147811426 Mobile: 6143547621	Contractor Glen Sullivan 6296 PROPRIETORS RD Worthington , OH 43085 Business: 6148461305 Mobile: 6145707304	Applicant Steven Schwope 886 Critchfield Rd Columbus, OH 43213 Business: 6145458605
---	--	---

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004474	Architectural Review Board	\$100.00	\$100.00
		Total for Invoice INV-00004474	\$100.00
		Grand Total for Plan	\$100.00

70 W. North St.

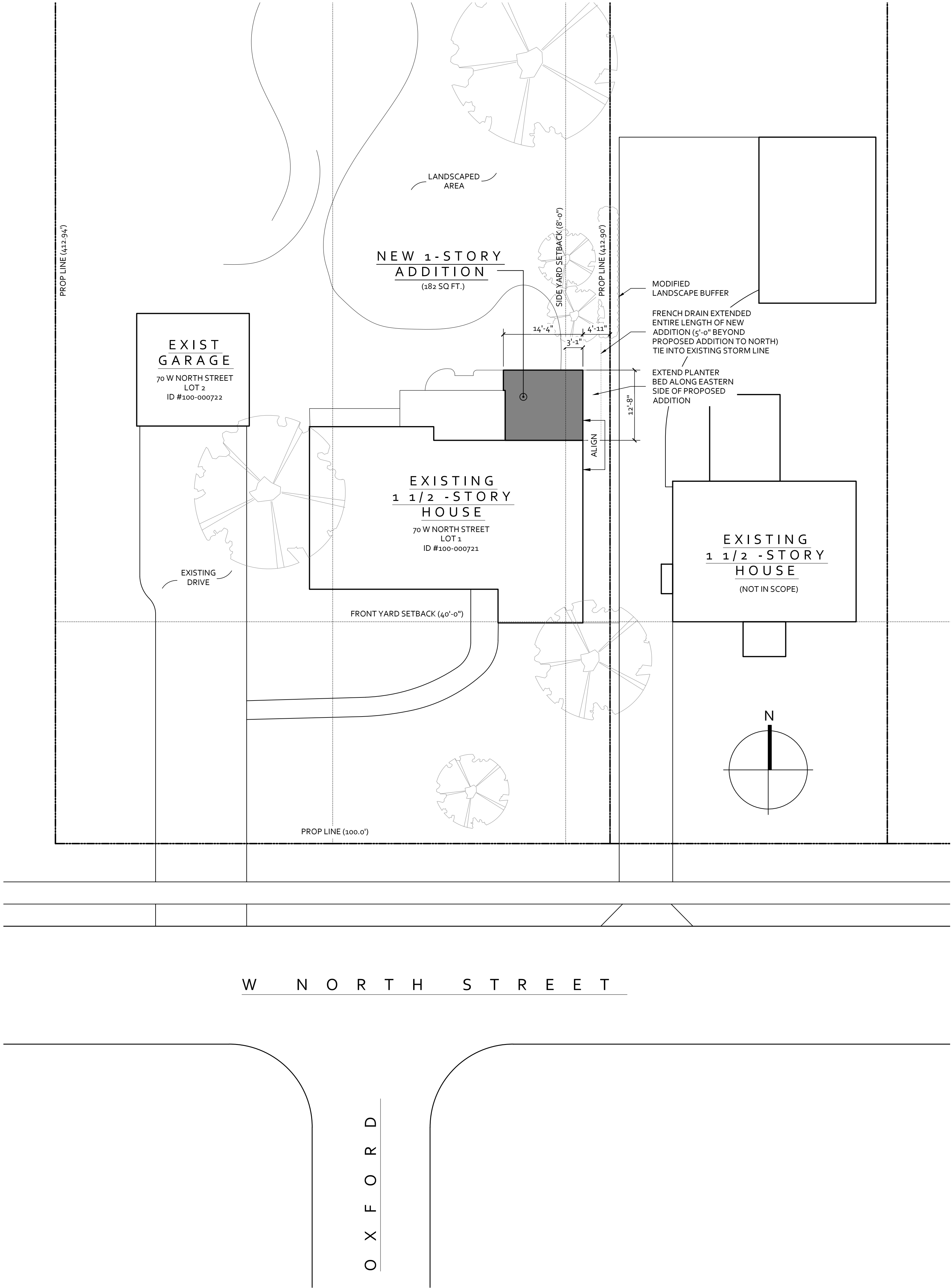






CITY OF WORTHINGTON
DRAWING NO. ARB 0068-2023
DATE 08/25/2023

C:\Users\stave\OneDrive - Schwoppe Architecture Studio\Production\Clients\Contractors\Sullivan Builders\Gant Residence - ADA Remodel\CAD\Sheets\ARB-Sheets\ARB-Sheets_Gant Residence.dwg, 8/25/2023 12:31:45 PM



CITY OF WORTHINGTON
DRAWING NO. ARB 0068-2023
DATE 08/25/2023



886 CRITCHFIELD ROAD
COLUMBUS, OHIO 43213
schwoppearchitecturestudio.com

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GANT RESIDENCE INTERIOR REMODEL & ADDITION

70 WEST NORTH STREET
WORTHINGTON, OHIO 43085

PROJECT NUMBER: 23-0019
DRAWN BY: SPS
DATE: 08/25/2023

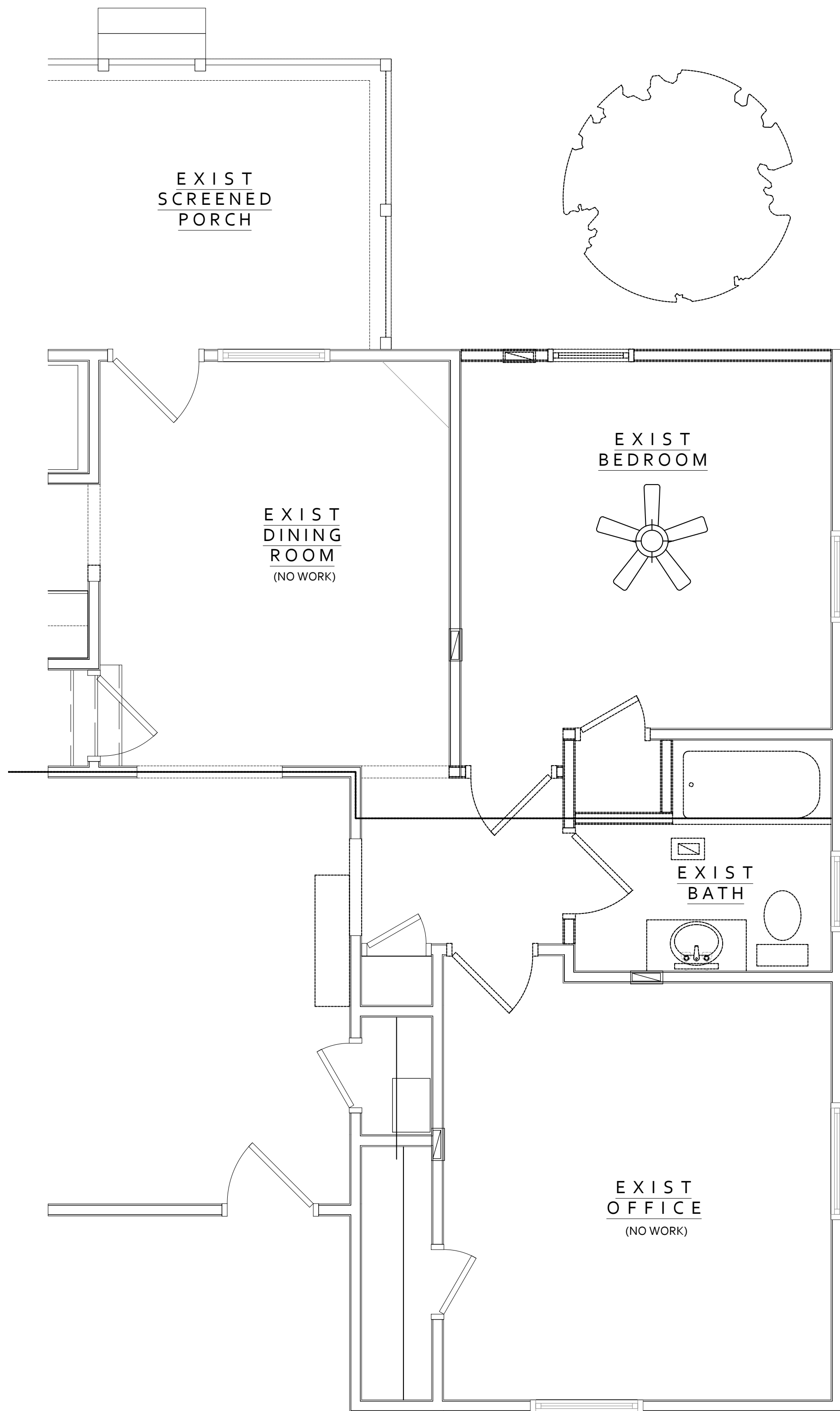
PLANNING & ZONING ISSUE

ARB ISSUE SET 08/25/2023
BZA ISSUE SET 08/11/2023

ARCHITECTURAL
SITE PLAN

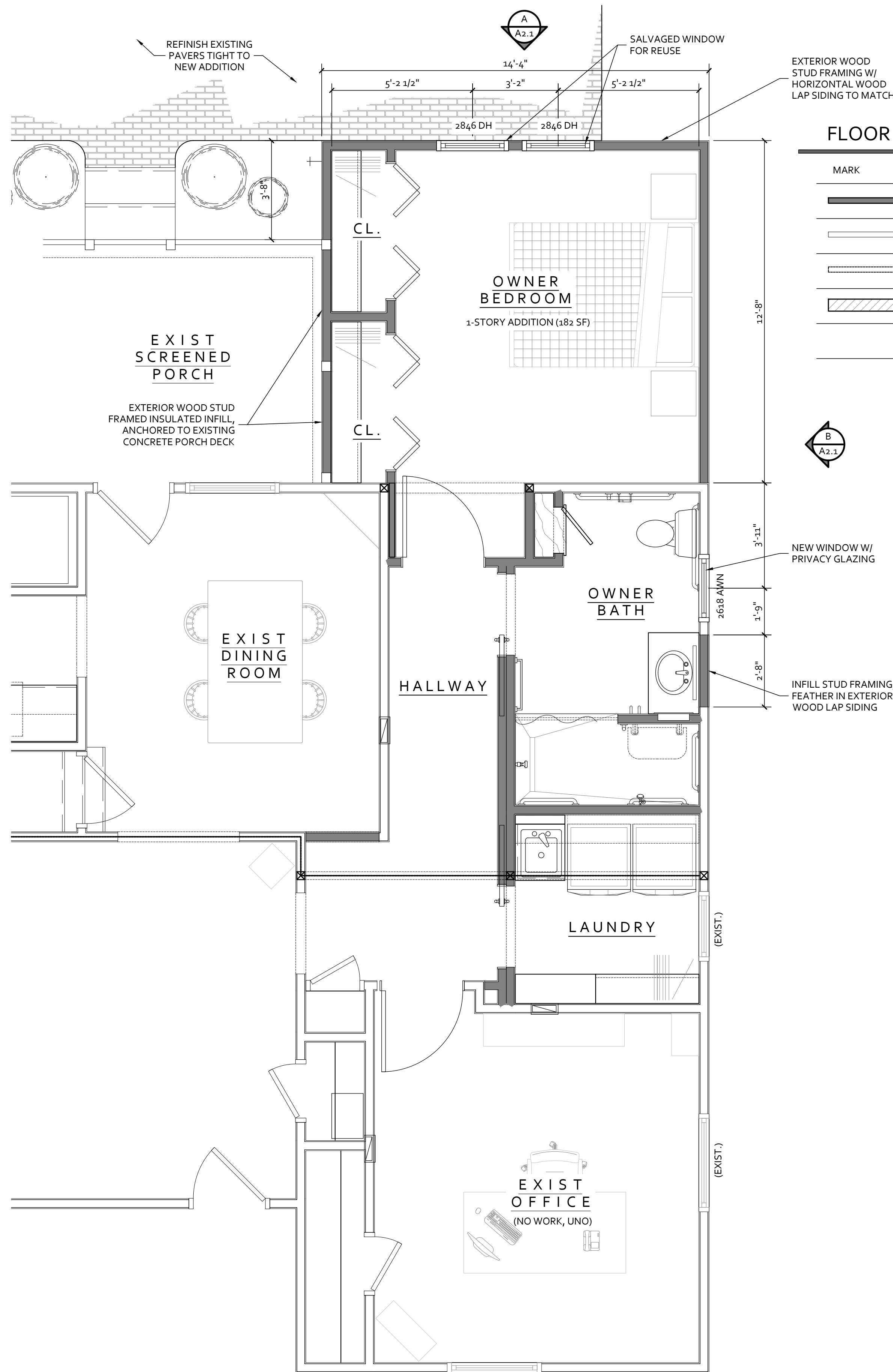
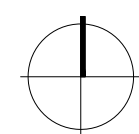
A1.0

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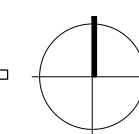
FLOOR PLAN - EXISTING / DEMOLITION

SCALE: 3/8" = 1'-0"



FLOOR PLAN - PROPOSED NEW WORK

SCALE: 3/8" = 1'-0"



FLOOR PLAN LEGEND

MARK	DESCRIPTION
	NEW WOOD STUD FRAMING
	EXISTING WOOD STUD FRAMING
	DEMOLISHED WOOD STUD FRAMING
	STONE / MASONRY



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GANT RESIDENCE
INTERIOR REMODEL & ADDITION

70 WEST NORTH STREET
WORTHINGTON, OHIO 43085

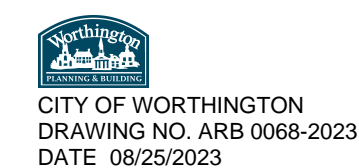
PROJECT NUMBER: 23-0019
DRAWN BY: SPS
DATE: 08/25/2023

PLANNING & ZONING ISSUE

ARB ISSUE SET 08/25/2023
BZA ISSUE SET 08/11/2023

FLOOR PLAN
& NOTES

A1.1



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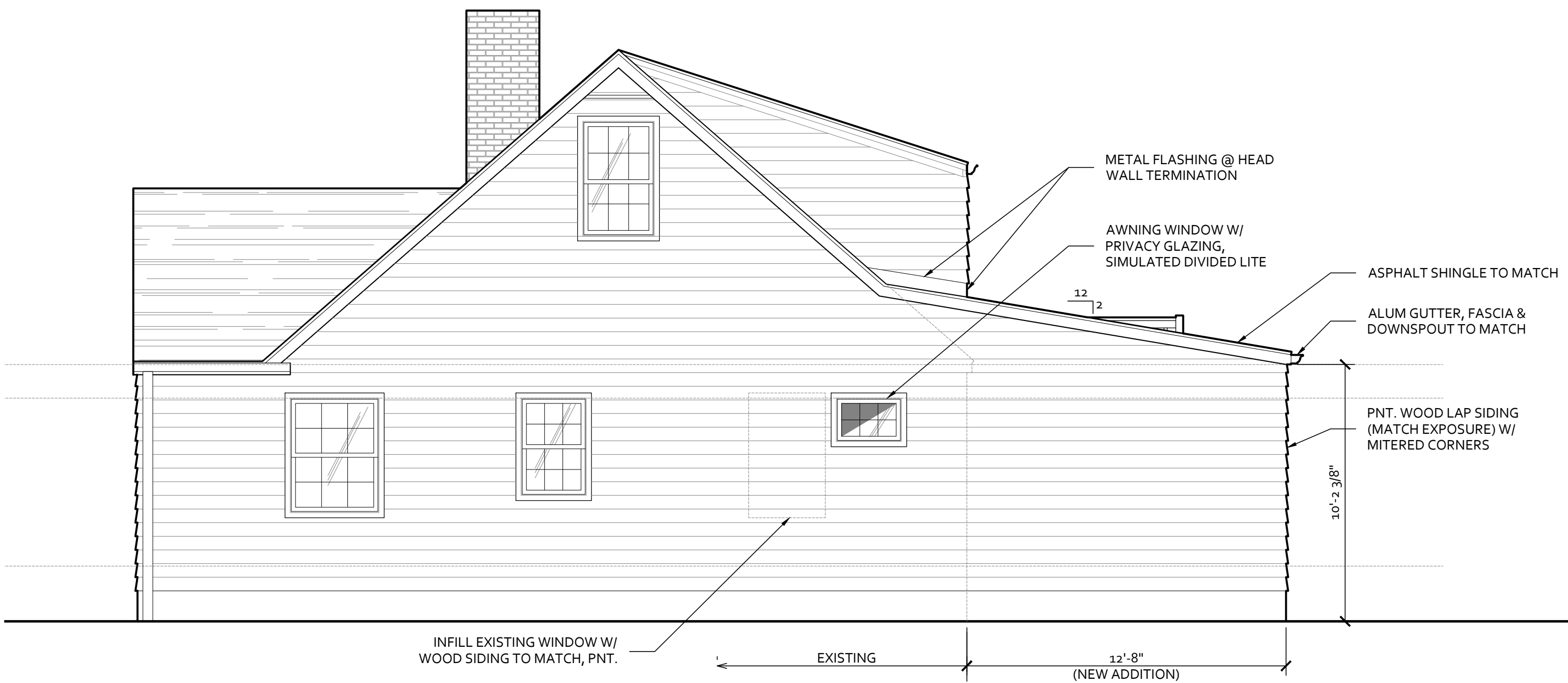
EXTERIOR ELEVATION - REAR (NORTH) EXISTING
SCALE: 3/4" = 1'-0"



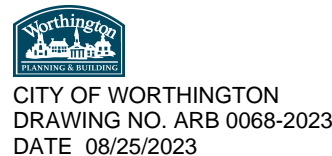
EXTERIOR ELEVATION - SIDE (EAST) EXISTING
SCALE: 3/4" = 1'-0"



A EXTERIOR ELEVATION - REAR (NORTH) PROPOSED
SCALE: 3/4" = 1'-0"



B EXTERIOR ELEVATION - SIDE (EAST) PROPOSED
SCALE: 3/4" = 1'-0"



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GANT RESIDENCE INTERIOR REMODEL & ADDITION

70 WEST NORTH STREET
WORTHINGTON, OHIO 43085

PROJECT NUMBER: 23-0019
DRAWN BY: SPS
DATE: 08/25/2023

PLANNING & ZONING ISSUE

ARB ISSUE SET 08/25/2023
BZA ISSUE SET 08/11/2023

EXTERIOR
ELEVATIONS

A2.1



ARB APPLICATION
ARB 0069-2023
100 W. Granville Rd.

Plan Type:	Architectural Review Board	Project:		App Date:	08/28/2023
Work Class:	Certificate of Appropriateness	District:	City of Worthington	Exp Date:	
Status:	In Review			Completed:	
Valuation:	\$900,000.00			Approval	
Description:	ew siding, windows, garage doors, new covered brick front porch, mudroom addition, and second story addition over existing addition on rear of home. New stamped concrete patio.				

Parcel:	100-000062	Main	Address:	100 W Dublin-Granville Rd Worthington, OH 43085	Main	Zone:	R-10(Low Density Residence)
Applicant	Owner		Applicant	Owner			
Element One	Erin Turnock		Bryce Jacob	Kolby Turnock			
Courtney Bowe	100 W DUBLIN-GRANVILLE RD		4443 N High St	100 W DUBLIN-GRANVILLE RD			
4443 N. High St.	Worthington , OH 43085		Columbus, OH 43214	Worthington , OH 43085			
Columbus, OH 43214			Business: (614) 296-9534				

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004467	Architectural Review Board	\$200.00	\$200.00
Total for Invoice INV-00004467		\$200.00	\$200.00
Grand Total for Plan		\$200.00	\$200.00

100 W. Granville Rd.



Structural Notes; Comply with 2019 Residential Code of Ohio

- 1) Dimensional lumber used for all framing, Spruce-Pine-Fir #2 or better; unless otherwise noted
- 2) All headers shall be 2 - 2x12 with 1/2" plywood or OSB spacer, supported by 3" minimum bearing each end; unless otherwise noted
- 3) All framing shall align throughout the structure as to create a continuous load path from the roof to the foundation
- 4) Roof assemblies which are subject to wind uplift pressures of 20 pounds per square foot or greater shall have roof rafters or trusses attached to their supporting wall assemblies by connections capable of providing the resistance required in Table 802.11
- 5) Sheathing on exterior walls to align with face of foundation
- 6) All lumber in contact with concrete, masonry or earth to be pressure treated
- 7) Double floor joists under walls parallel to joist direction
- 8) Exterior dimensions shown to face of sheathing or face of foundation, interior dimensions shown to face of framing
- 9) Door and windows sized noted in feet/inches, e.g. 2668 = 2'-6" x 6'-8"
- 10) Contractor to provide all means of temporary support, scaffolding, bracing, shoring or guying in order to insure stability during construction
- 11) Fireblocking shall be provided to cut off all concealed horizontal or vertical draft openings
- 12) Final locations and sizing of HVAC registers and supply & return ducting provided by HVAC contractor
- 13) Truss design by truss manufacturer
- 14) Gas and/or wood burning insert fireplaces clearances and installation per manufacturers instructions
- 15) All work associated with asbestos, radon, mold abatement or exterminating, if required, is by others under a separate agreement
- 16) All windows noted "Egress" meet minimum net clear opening of 5.7sf (5.0sf for grade floor) and a sill not more than 44 inches above the floor
- 17) Attic access, where required, to be 22"x30" minimum with 30" minimum clearance above
- 18) Crawl access to be 24"x16" minimum when through a perimeter wall
- 19) Garage floor surfaces shall be 3,500psi concrete, sloped toward the main overhead door
- 20) Enclosed accessible space under stairs shall have walls, under-stair surface and any soffits protected on the enclosed side with 1/2" drywall
- 21) Cuts, notches and holes bored in trusses, structural composite lumber, structural glue-laminated members or I-joists are prohibited except where permitted by the manufacturer's recommendations or where the effects of such alterations are specifically considered in the design of the member by a registered design professional
- 22) Finished grade shall fall a minimum of 6" within the first 10' from building perimeter
- 23) Footings to bear on undisturbed soil or engineered compacted fill
- 24) Minimum footing size: 8" wall, 16" wide 8" deep; 10" wall, 18" wide 8" deep; 12" wall, 20" wide 8" deep
- 25) All concrete to of minimum compressive strength per Table 402.2
- 26) Foundation anchorage shall be 1/2" bolts spaced maximum of 6 feet on center and within 12" of each plate section. Bolts shall extend a minimum of 7 inches into concrete or grouted cells of concrete masonry units
- 27) Bath fans vent to the exterior
- 28) Exhaust hood and/or ducting installed per manufacturers instructions
- 29) Solid blocking 16" o.c. between bandboard and first parallel floor joist, align with wall layout
- 30) Building elements and structural wood panels fastened per Table 602.3 (1) & 602.3 (3)

Climatic and Geographic Design Criteria

Ground Snow Load lb/sf	Wind Speed mph	Seismic Conditions	Subject to Damage From		Frost Depth	Maximum allowable assumed soil bearing pressure
			Weathering	Termite		
20	115	B	Severe	Moderate to Heavy	36"	1500psf

Smoke & Carbon Monoxide Detectors

Smoke detectors shall be listed in accordance with UL 217 and installed in accordance with NFPA 72 and in all sleeping rooms, area outside, adjacent and within 15 ft. of each sleeping room. They shall also be located on each story including basement and cellars and all detectors shall be hardwired, interconnected utilizing photoelectric and ionization technologies.

Alterations, repairs and additions in existing dwellings, the entire dwelling shall be equipped with smoke detectors as required for new dwellings. The new detectors are not required to be interconnected unless remodeling requires removal of appropriate wall and ceiling coverings. In areas where remodeling does not take place allowing accessibility, then detectors in those areas may be battery powered.

Carbon Monoxide detectors shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwellings with fuel-fired appliance or attached garages. Single station alarms shall be listed as complying with UL 2034 and installed per this code & manufacturers instructions.

Insulation and Fenestration Requirements

Climate Zone	Fenestration U-Factor	Skylight U-Factor	Ceiling R-Value	Wall R-Value	Mass Wall R-Value	Floor R-Value	Basement Wall R-Value	Slab R-Value, Depth	Crawl Wall R-Value
5	.30	.55	49	20 or 13 + 5	13/17	30	10/13	10, 2ft.	10/13

MORTGAGE LOCATION SURVEY

0425-23

TITLE COMPANY: NORTHWEST SELECT TITLE AGENCY, LLC


LENDER: FIRST COMMONWEALTH BANK

BUYER: ERIN L. TURNOCK AND KOLBY C. TURNOCK

SELLER: MOLLY M. KOCH AND SHARNEY J. KOCH

DATE: 04/30/2023

ORDER NO.: 0425-23

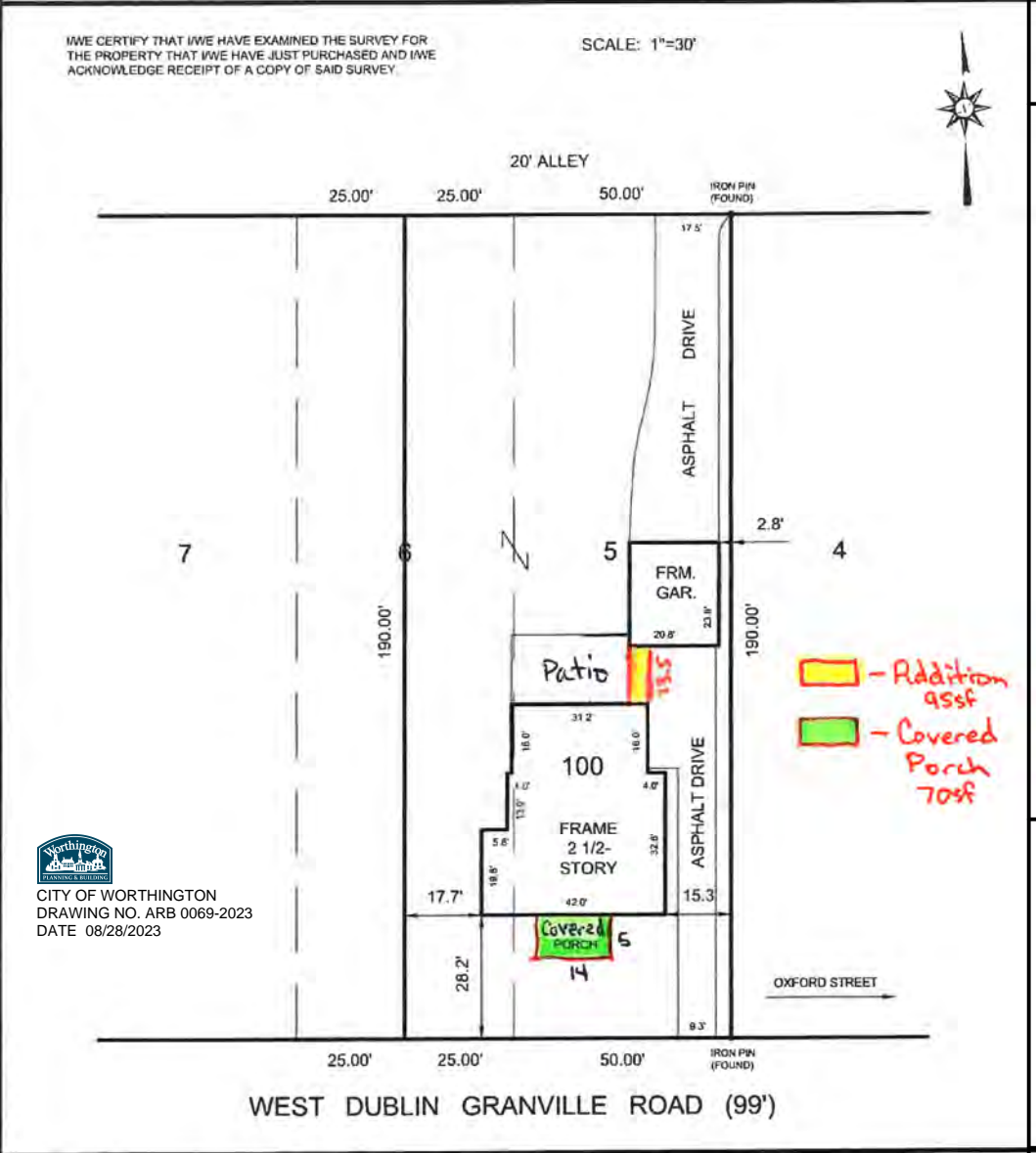


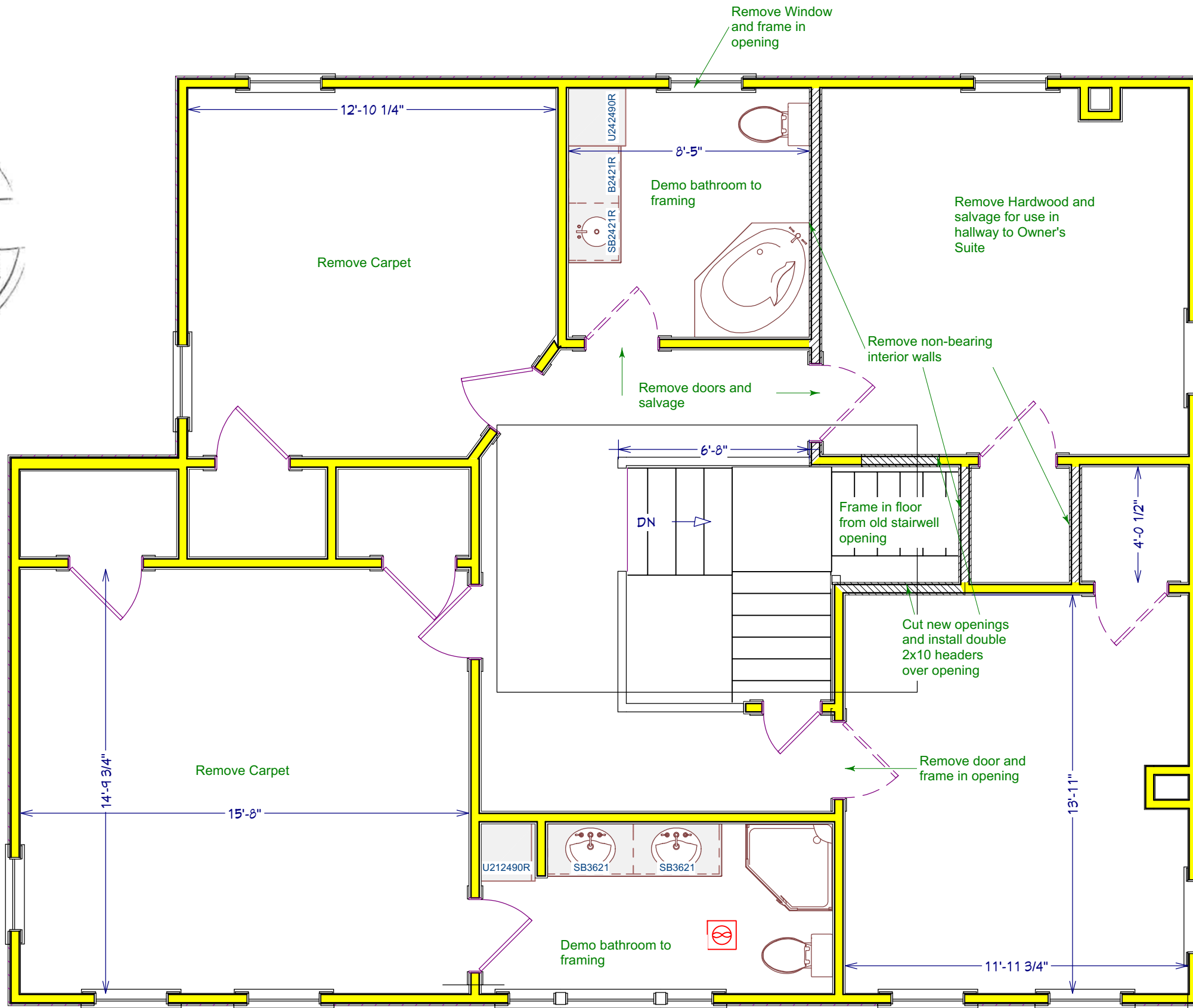
APPARENT ENCROACHMENTS: NONE.

LEGAL DESCRIPTION: BEING LOT 5 AND PART OF LOT 6 OF HENRY T. FAY'S SUBDIVISION, OF RECORD IN PLAT BOOK 4, PAGE 258, FRANKLIN COUNTY RECORDER'S OFFICE, CITY OF WORTHINGTON, STATE OF OHIO.

PARCEL NO.: 100-000062-00

TITLE CO. FILE NO.: 12-14968



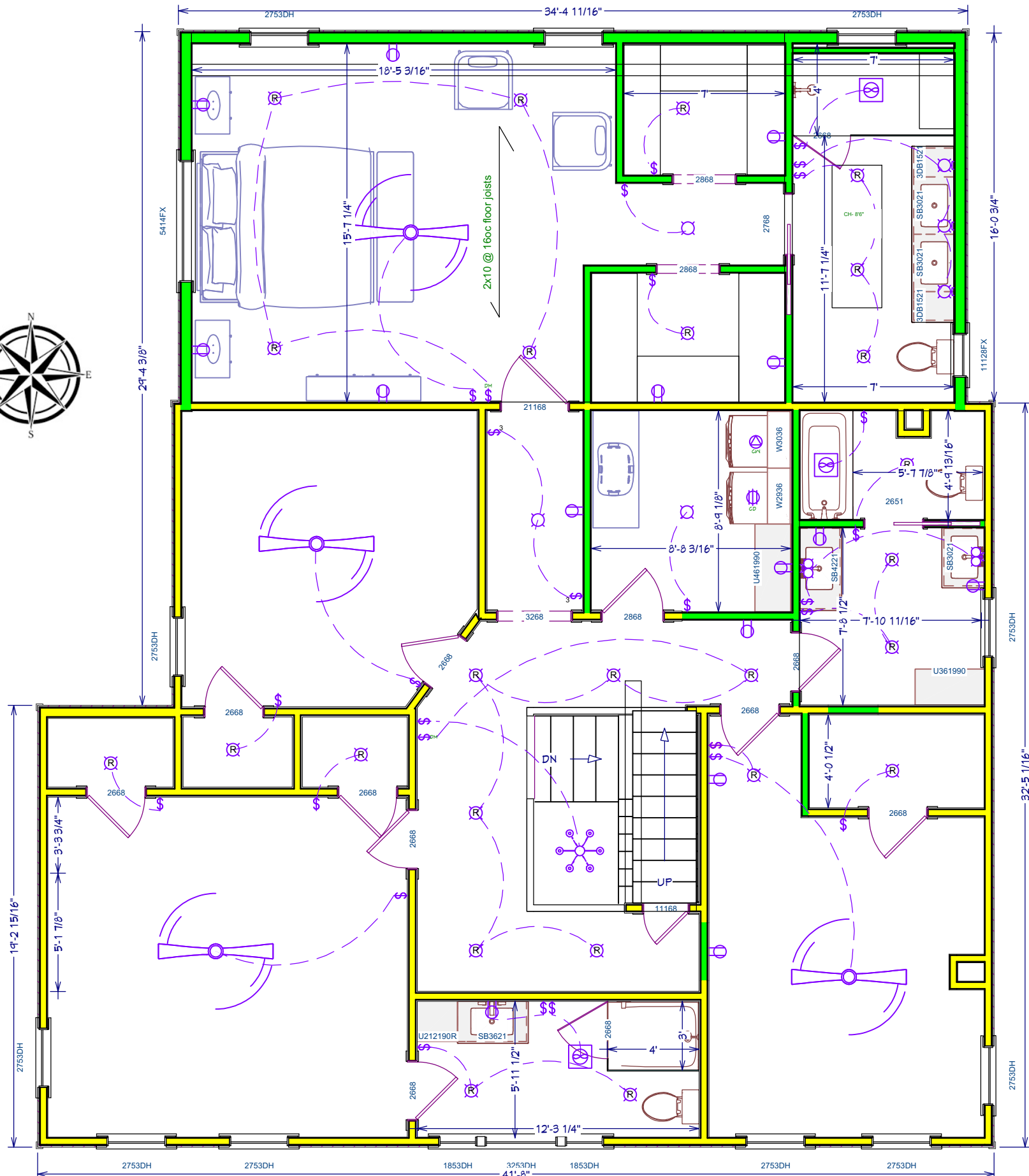
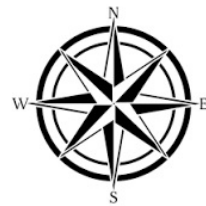


TURNOCK SECOND FLOOR AS-BUILT



CITY OF WORTHINGTON
DRAWING NO. ARB 0069-2023
DATE 08/28/2023





TURNOCK SECOND FLOOR NEW PLAN OPTION 2



ELECTRICAL SCHEDULE				
NUMBER	QTY	FLOOR	HEIGHT	DESCRIPTION
E01	3	1	1 1/4 "	TUBE
E02	2	1	10 1/16 "	TRADITIONAL SEMI FLUSH
E03	4	1	11 "	MAIN STREET WALL SCONCE
E04	2	1	11 13/16 "	GLORIS WALL SCONCE
E05	2	1	12 "	GLOBE SCONCE
E06	1	1	120 "	CANDELABRA CHANDELIER
E07	1	1	24 "	VINTAGE CHANDELIER
E08	1	1	28 1/8 "	SHADED CANDELABRA
E09	1	1	3 5/8 "	FLUSH MOUNTED
E10	1	1	3/4 "	EXHAUST
E11	3	1	30 "	CONE PENDANT
E12	1	1	30 1/8 "	SEASIDE CHANDELIER
E13	1	1	42 11/16 "	RECTANGULAR SHELL CHANDELIER 3
E14	15	1	5 "	3-WAY DIMMER
E15	2	1	5 "	3-WAY SWITCH
E16	10	1	5 "	DUPLEX
E17	3	1	5 "	FOUR WAY
E18	3	1	5 "	SINGLE POLE
E19	4	1	5 "	SINGLE POLE DIMMER
E20	8	1	5 1/2 "	COMMON FLUSH MOUNT
E21	1	1	5/16 "	DISHWASHER
E22	1	1	5/16 "	GARBAGE DISPOSAL
E23	1	1	5/16 "	HOOD VENT
E24	1	1	5/16 "	MICROWAVE
E25	1	1	5/16 "	OVEN
E26	17	1	5/16 "	RECESSED DOWN LIGHT 6
E27	5	1	5/16 "	REFRIGERATOR
E28	1	1	7/16 "	AIR SWITCH - COUNTERTOP
E29	2	1	9 7/8 "	FRANC SCONCE
E30	4	2	16 5/8 "	BLADE CEILING FAN
E31	3	2	3/4 "	EXHAUST
E32	2	2	4 "	VANITY LIGHT
E33	15	2	5 "	DUPLEX
E34	25	2	5 "	SINGLE POLE
E35	2	2	5 "	SINGLE POLE DIMMER
E36	2	2	5 "	THREE WAY
E37	1	2	5/16 "	CLOTHES DRYER
E38	1	2	5/16 "	CLOTHES WASHER
E39	25	2	5/16 "	RECESSED DOWN LIGHT 6
E40	3	2	6 1/2 "	CONTEMPORARY FLUSH
E41	3	2	7 1/2 "	SCONCE 1
E42	1	2	80 "	CANDELABRA CHANDELIER



CITY OF WORTHINGTON
DRAWING NO. ARB 0069-2023
DATE 08/28/2023



- New electric shown purple
- Existing walls shown yellow
- New walls shown green

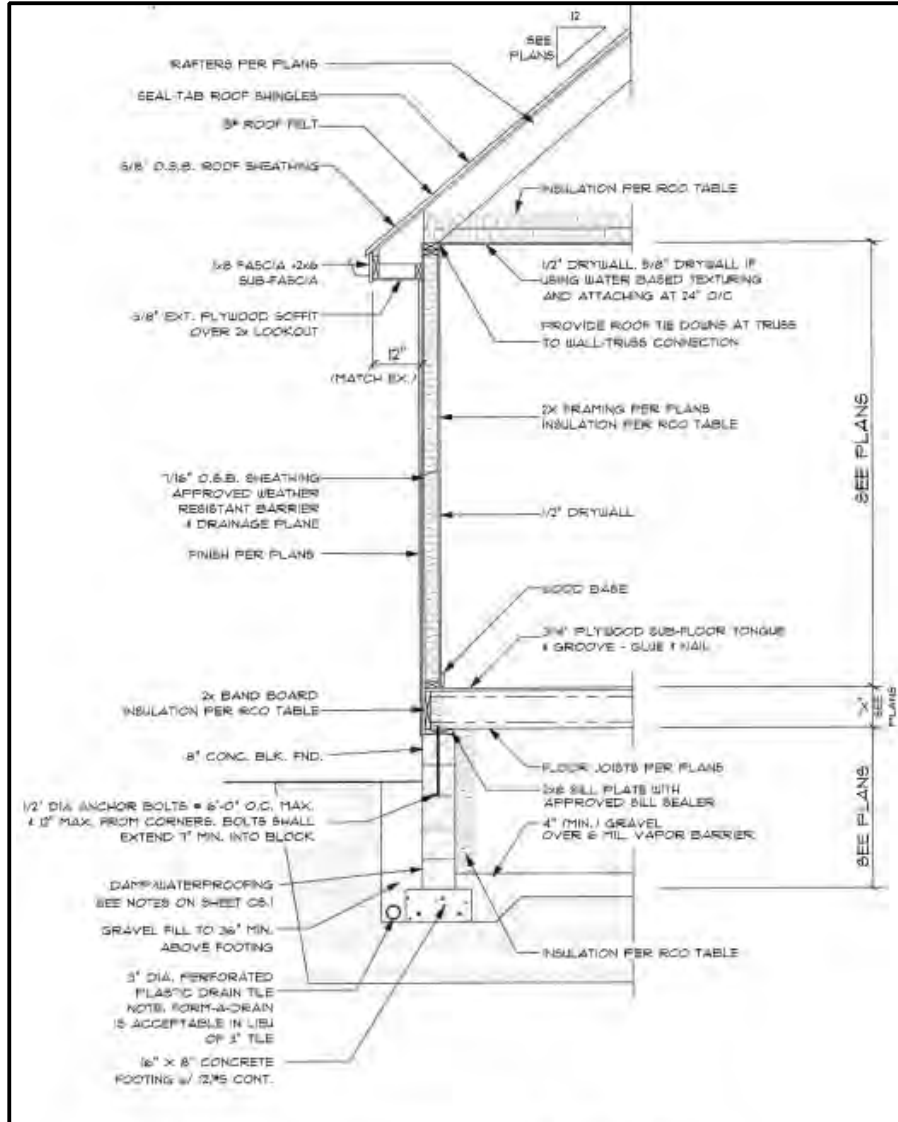
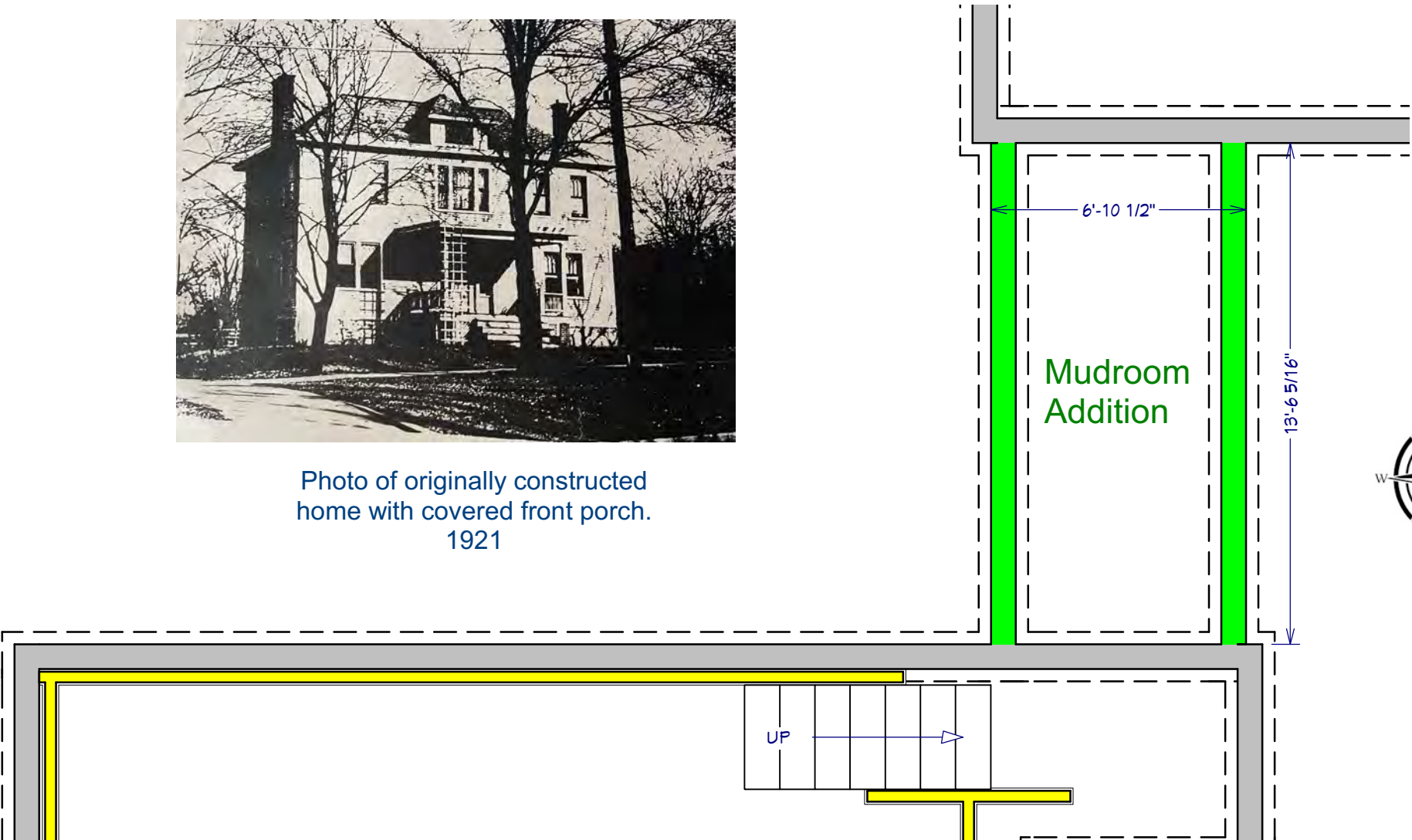


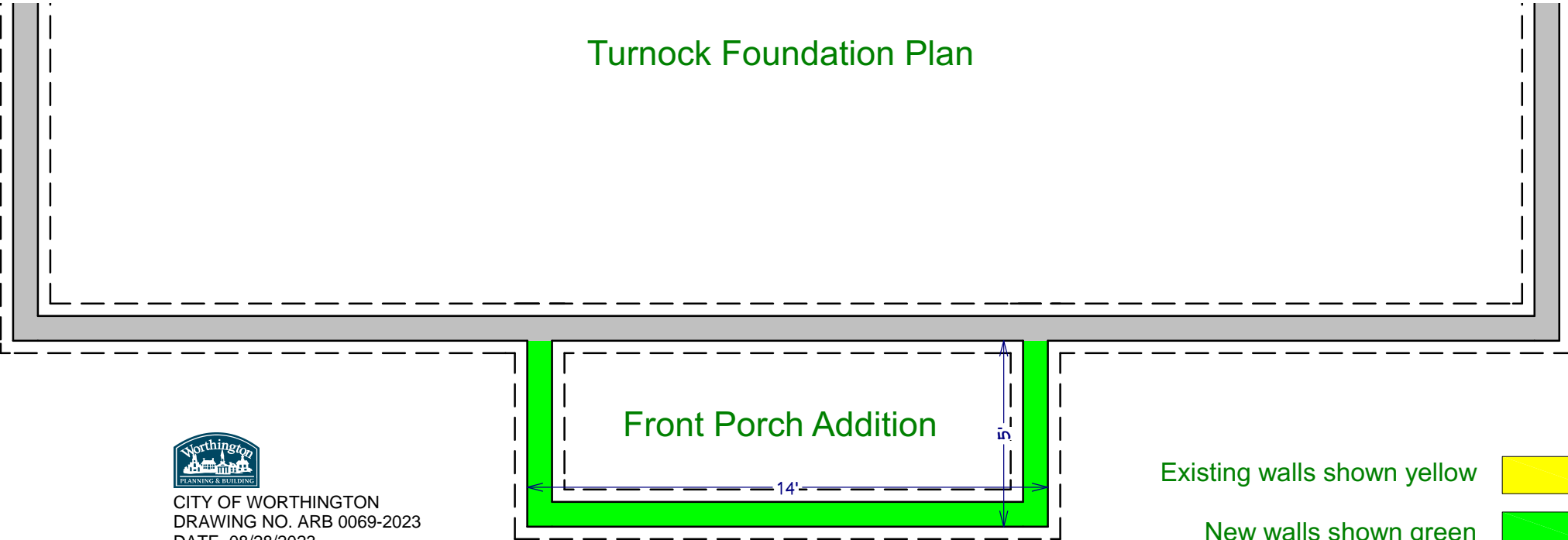
Photo of originally constructed home with covered front porch.
1921



TYPICAL WALL SECTION @ HOUSE ADDITION
SCALE: N.T.S.

NEW FOUNDATION PLAN 1/4" = 1'-0"

Turnock Foundation Plan



Existing walls shown yellow
New walls shown green

DESIGN + BUILD STUDIO

Kolby and Erin Turnock
100 W. Dublin-Granville Rd. North, Ohio 43085

Date:
8-21-23

Revisions:


Approval:

Page:
6



CITY OF WORTHINGTON
DRAWING NO. ARB 0069-2023
DATE 08/28/2023




 CITY OF WORTHINGTON
 DRAWING NO. ARB 0069-2023
 DATE 08/28/2023

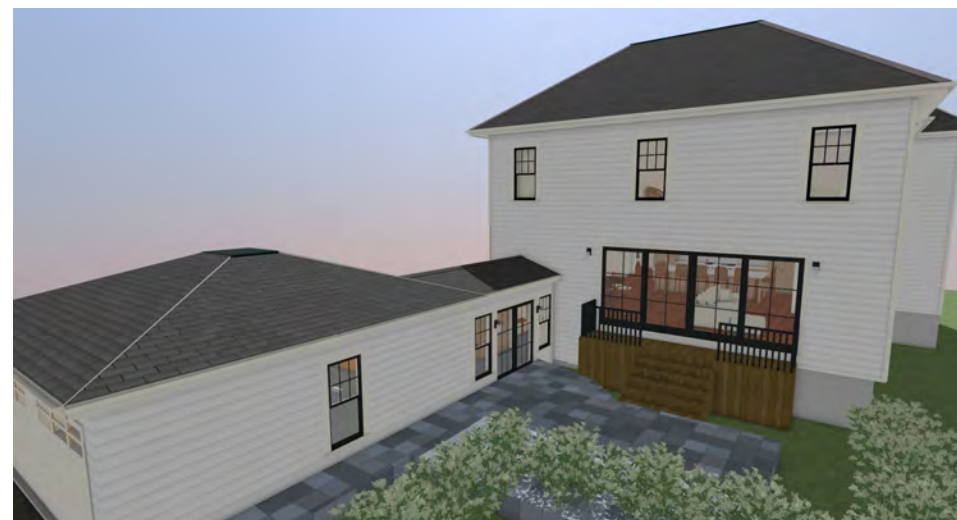
SOUTH ELEVATION 1/8" = 1'-0"



NORTH ELEVATION 1/8" = 1'-0"

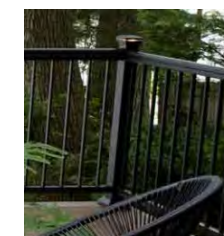


PERSPECTIVE No Scale



PERSPECTIVE No Scale

Rear Deck Surface, Rail, Balusters



Porch surface and steps. Beldin Brick - Belcrest 760



Perma-Cast Fiberglass Front Porch Posts (4)

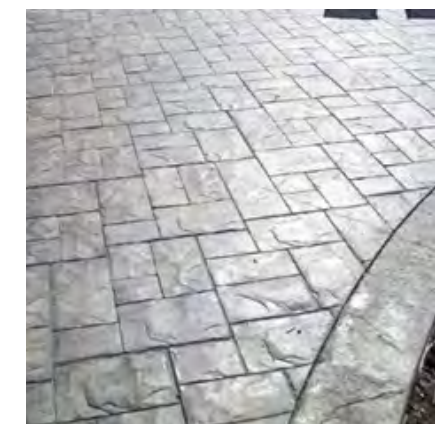


Hyannis Wall Lanterns



Trimline Double-Hung Windows and doors
Black on rear of home only

Stamped Concrete Patio Pattern



ELEMENT
 DESIGN + BUILD STUDIO

Kolby and Erin Turnock
 100 W. Dublin-Granville Rd. North, Ohio 43085

ARB SET

Date: 8-21-23

Revisions:

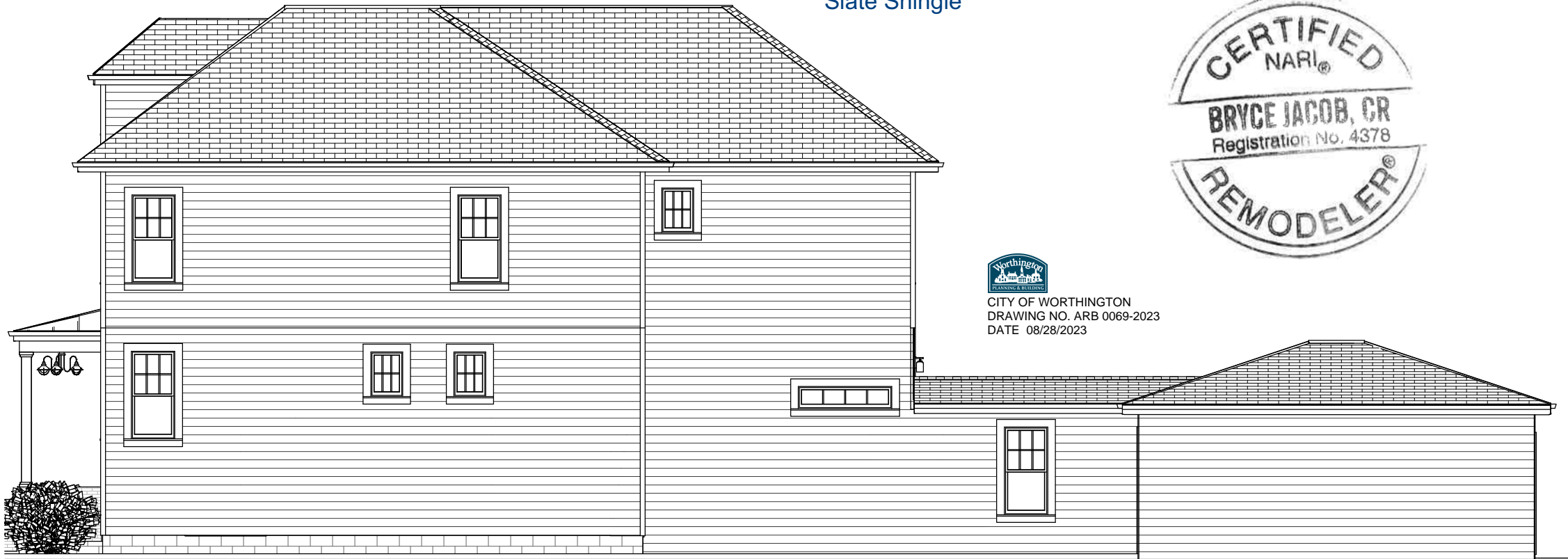
Approval:

Page:

7

Existing Slate Roof

New Colonial
Slate Shingle



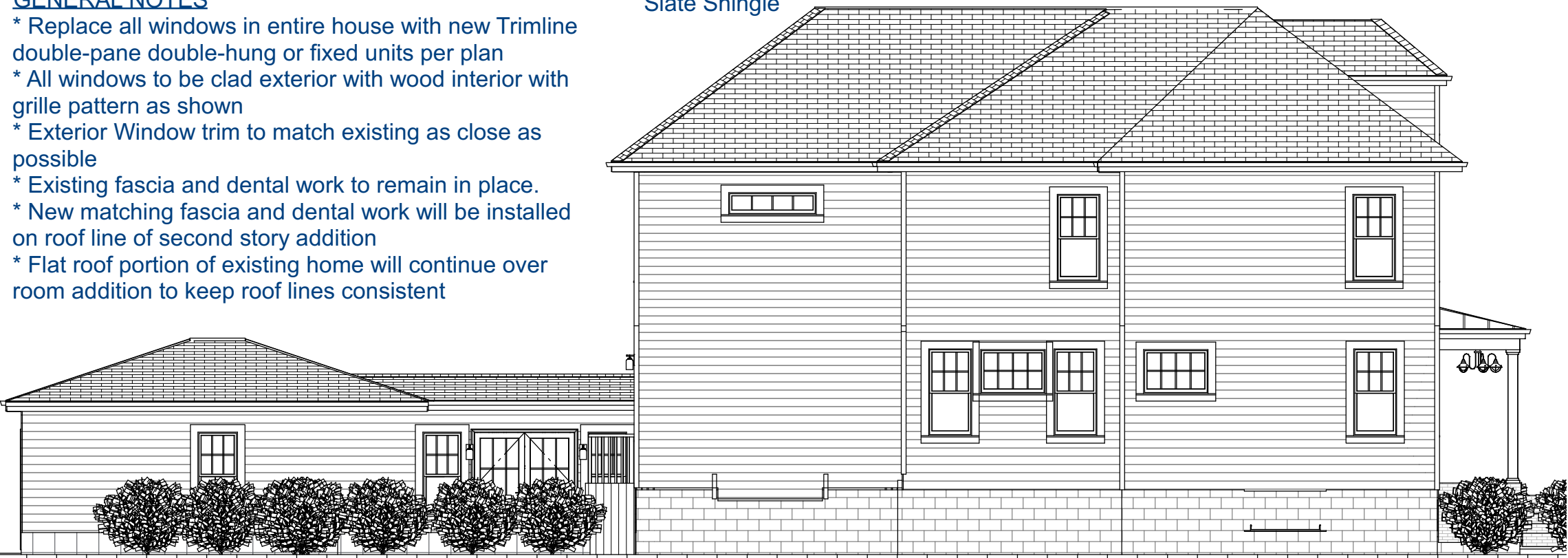
EAST ELEVATION 1/8" = 1'-0"

GENERAL NOTES

- * Replace all windows in entire house with new Trimline double-pane double-hung or fixed units per plan
- * All windows to be clad exterior with wood interior with grille pattern as shown
- * Exterior Window trim to match existing as close as possible
- * Existing fascia and dental work to remain in place.
- * New matching fascia and dental work will be installed on roof line of second story addition
- * Flat roof portion of existing home will continue over room addition to keep roof lines consistent

New Colonial
Slate Shingle

Existing Slate Roof



WEST ELEVATION 1/8" = 1'-0"

James Hardi Horizontal Siding -
White



Trimline
Double-Hung
Windows
White on all
but rear
elevations

White Clad

CertainTeed Landmark Pro - Colonial Slate



Standing Seam on Porch Classic Bronze



ELEMENT
One
DESIGN + BUILD STUDIO

Kolby and Erin Turnock
100 W. Dublin-Granville Rd. North, Ohio 43085
ARB SET

Date:
8-21-23
Revisions:

Approval:

Page:
8



ARB APPLICATION ARB 0071-2023 111 W. North St.

Plan Type: Architectural Review Board	Project:	App Date: 08/29/2023
Work Class: Certificate of Appropriateness	District: City of Worthington	Exp Date:
Status: In Review		Completed:
Valuation: \$36,107.00		Approval
Description: Window replacement		Expire Date:

Parcel: 100-000169 Main	Address: 111 W North St Main Worthington, OH 43085	Zone: R-10(Low Density Residence)
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Applicant Destany Todd 5850 Sawmill Road Dublin, OH 43017 Business: (614) 602-8100	Owner Margaret Baum 111 W NORTH ST Worthington , OH 43085 Home: (970) 819-9725
--	--

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004484	Architectural Review Board	\$37.00	\$37.00
Total for Invoice INV-00004484		\$37.00	\$37.00
Grand Total for Plan		\$37.00	\$37.00

111 W. North St.





Order Summary

dba: RENEWAL BY ANDERSEN OF COLUMBUS OHIO

Legal Name: Southard Corporation | License # (null)
1222 10th Street | Great Bend, Ks 67530
Phone: 6207935434 | Fax: 6207923221 |
Columbusmeasures@southardcorp.com
Measure Tech: Nate Sattler,

Margaret Baum
111 W North St
Worthington , OH 43085
C: (970)819-9725

JOB

101	Living	39-1/2"	65-3/8"	<p>Window: , Double-Hung, Cottage 2:3, Slope Sill Insert, Exterior White, Interior White Glass: , All Sash: High Performance SmartSun Glass, No Pattern Hardware: , White, Standard Color Extra Lock Screen: , TruScene, Full Screen Grille Style: , Interior Wood Only (INTW) Grille Pattern: , Sash 1: Colonial 4w x 2h, Sash 2: Colonial 4w x 3h Misc: , Wrap 101-125 UI, Metal or Vinyl Cut Outs Construction: , Wrap Casing and Glue Unit (100 UI to 149 UI) (1), Remove Storm Windows (1) Material: , Adhesive Glue (0.2), White 0737107A02 (0.15), Butyl Flashing (7") (0.33), Hilti Foam (0.2), Novabond White (0.75), Screws , , 9036701 (0.01), Shims , , 7500653 (0.01) Sill Angle: , 10°</p>
102	Living	30-1/2"	53-3/8"	<p>Window: , Double-Hung, 1:1, Slope Sill Insert, Traditional Checkrail, Exterior White, Interior White Glass: , All Sash: High Performance SmartSun Glass, No Pattern Hardware: , White Screen: , TruScene, Full Screen Grille Style: , Interior Wood Only (INTW) Grille Pattern: , All Sash: Colonial 3w x 2h Misc: , Wrap 100 UI and Under, Metal or Vinyl Cut Outs Construction: , Wrap Casing and Glue Unit (100 UI and Under) (1), Remove Storm Windows (1) Material: , Adhesive Glue (0.2), White 0737107A02 (0.15), Butyl Flashing (7") (0.33), Hilti Foam (0.2), Novabond White (0.75), Screws , , 9036701 (0.01), Shims , , 7500653 (0.01) Sill Angle: , 10°</p>
103	Living	30-1/2"	53-3/8"	<p>Window: , Double-Hung, 1:1, Slope Sill Insert, Traditional Checkrail, Exterior White, Interior White Glass: , All Sash: High Performance SmartSun Glass, No Pattern Hardware: , White Screen: , TruScene, Full Screen Grille Style: , Interior Wood Only (INTW) Grille Pattern: , All Sash: Colonial 3w x 2h Misc: , Wrap 100 UI and Under,</p>





Order Summary

dba: RENEWAL BY ANDERSEN OF COLUMBUS OHIO
Legal Name: Southard Corporation | License # (null)
1222 10th Street | Great Bend, Ks 67530
Phone: 6207935434 | Fax: 6207923221 |
Columbusmeasures@southardcorp.com
Measure Tech: Nate Sattler,

Margaret Baum
111 W North St
Worthington , OH 43085
C: (970)819-9725

Metal or Vinyl Cut Outs **Construction:** , Wrap Casing and Glue Unit (100 UI and Under) (1), Remove Storm Windows (1) **Material:** , Adhesive Glue (0.2), White 0737107A02 (0.15), Butyl Flashing (7") (0.33), Hilti Foam (0.2), Novabond White (0.75), Screws , , 9036701 (0.01), Shims , , 7500653 (0.01) **Sill Angle:** , 10°

104 Bath

18" 31-3/4"

Window: , Awning, Base Frame, Exterior White, Interior White **Glass:** , All Sash: High Performance SmartSun Glass, No Pattern **Hardware:** , White **Screen:** , TruScene, Full Screen **Grille Style:** , Interior Wood Only (INTW) **Grille Pattern:** , All Sash: Colonial 2w x 3h **Misc:** , Wrap 100 UI and Under **Construction:** , Wrap Casing and Glue Unit (100 UI and Under) (1) **Material:** , Adhesive Glue (0.2), White 0737107A02 (0.15), Butyl Flashing (7") (0.33), Hilti Foam (0.2), Novabond White (0.75), Screws , , 9036701 (0.01), Shims , , 7500653 (0.01), RbA Trim Colonial White 7501863-001 (2)

105 Dining

39-1/2" 53-3/8"

Window: , Double-Hung, 1:1, Slope Sill Insert, Traditional Checkrail, Exterior White, Interior White **Glass:** , All Sash: High Performance SmartSun Glass, No Pattern **Hardware:** , White, Standard Color Extra Lock **Screen:** , TruScene, Full Screen **Grille Style:** , Interior Wood Only (INTW) **Grille Pattern:** , All Sash: Colonial 4w x 2h **Misc:** , Wrap 100 UI and Under, Metal or Vinyl Cut Outs **Construction:** , Wrap Casing and Glue Unit (100 UI and Under) (1), Remove Storm Windows (1) **Material:** , Adhesive Glue (0.2), White 0737107A02 (0.15), Butyl Flashing (7") (0.33), Hilti Foam (0.2), Novabond White (0.75), Screws , , 9036701 (0.01), Shims , , 7500653 (0.01) **Sill Angle:** , 10°

106 Dining

39-1/2" 65-3/8"

Window: , Double-Hung, Cottage 2:3, Slope Sill Insert, Exterior White, Interior White **Glass:** , All





Order Summary

dba: RENEWAL BY ANDERSEN OF COLUMBUS OHIO

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1222 10th Street | Great Bend, Ks 67530
Phone: 6207935434 | Fax: 6207923221 |
Columbusmeasures@southardcorp.com
Measure Tech: Nate Sattler,

Margaret Baum
111 W North St
Worthington , OH 43085
C: (970)819-9725

Sash: High Performance SmartSun Glass, No Pattern **Hardware:** , White, Standard Color Extra Lock **Screen:** , TruScene, Full Screen **Grille Style:** , Interior Wood Only (INTW) **Grille Pattern:** , Sash 1: Colonial 4w x 2h, Sash 2: Colonial 4w x 3h **Misc:** , Wrap 101-125 UI, Metal or Vinyl Cut Outs **Construction:** , Wrap Casing and Glue Unit (100 UI to 149 UI) (1), Remove Storm Windows (1) **Material:** , Adhesive Glue (0.2), White 0737107A02 (0.15), Butyl Flashing (7") (0.33), Hilti Foam (0.2), Novabond White (0.75), Screws , , 9036701 (0.01), Shims , , 7500653 (0.01) **Sill Angle:** , 10°

207	Primary Bedroom	35-3/8"	45-3/8"	<p>Window: , Double-Hung, 1:1, Slope Sill Insert, Traditional Checkrail, Exterior White, Interior White Glass: , All Sash: High Performance SmartSun Glass, No Pattern Hardware: , White, Standard Color Extra Lock Screen: , TruScene, Full Screen Grille Style: , Interior Wood Only (INTW) Grille Pattern: , All Sash: Colonial 4w x 2h Misc: , Wrap 100 UI and Under, Metal or Vinyl Cut Outs Construction: , Wrap Casing and Glue Unit (100 UI and Under) (1), Remove Storm Windows (1) Material: , Adhesive Glue (0.2), White 0737107A02 (0.15), Butyl Flashing (7") (0.33), Hilti Foam (0.2), Novabond White (0.75), Screws , , 9036701 (0.01), Shims , , 7500653 (0.01) Sill Angle: , 10°</p>
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208	Primary Bedroom	30-3/8"	45-3/8"	<p>Window: , Double-Hung, 1:1, Slope Sill Insert, Traditional Checkrail, Exterior White, Interior White Glass: , All Sash: High Performance SmartSun Glass, No Pattern Hardware: , White Screen: , TruScene, Full Screen Grille Style: , Interior Wood Only (INTW) Grille Pattern: , All Sash: Colonial 3w x 2h Misc: , Wrap 100 UI and Under, Metal or Vinyl Cut Outs Construction: , Wrap Casing</p>
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Order Summary

dba: RENEWAL BY ANDERSEN OF COLUMBUS OHIO

Legal Name: Southard Corporation | License # (null)
1222 10th Street | Great Bend, Ks 67530
Phone: 6207935434 | Fax: 6207923221 |
Columbusmeasures@southardcorp.com
Measure Tech: Nate Sattler,

Margaret Baum
111 W North St
Worthington , OH 43085
C: (970)819-9725

and Glue Unit (100 UI and Under) (1), Remove Storm Windows (1)
Material: , Adhesive Glue (0.2), White 0737107A02 (0.15), Butyl Flashing (7") (0.33), Hilti Foam (0.2), Novabond White (0.75), Screws , , 9036701 (0.01), Shims , , 7500653 (0.01) **Sill Angle:** , 10°

209	Office	30-3/8"	45-3/8"	Window: , Double-Hung, 1:1, Slope Sill Insert, Traditional Checkrail, Exterior White, Interior White Glass: , All Sash: High Performance SmartSun Glass, No Pattern Hardware: , White Screen: , TruScene, Full Screen Grille Style: , Interior Wood Only (INTW) Grille Pattern: , All Sash: Colonial 3w x 2h Misc: , Wrap 100 UI and Under, Metal or Vinyl Cut Outs Construction: , Wrap Casing and Glue Unit (100 UI and Under) (1), Remove Storm Windows (1) Material: , Adhesive Glue (0.2), White 0737107A02 (0.15), Butyl Flashing (7") (0.33), Hilti Foam (0.2), Novabond White (0.75), Screws , , 9036701 (0.01), Shims , , 7500653 (0.01) Sill Angle: , 10°
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210	Office	30-3/8"	45-3/8"	Window: , Double-Hung, 1:1, Slope Sill Insert, Traditional Checkrail, Exterior White, Interior White Glass: , All Sash: High Performance SmartSun Glass, No Pattern Hardware: , White Screen: , TruScene, Full Screen Grille Style: , Interior Wood Only (INTW) Grille Pattern: , All Sash: Colonial 3w x 2h Misc: , Wrap 100 UI and Under, Metal or Vinyl Cut Outs Construction: , Wrap Casing and Glue Unit (100 UI and Under) (1), Remove Storm Windows (1) Material: , Adhesive Glue (0.2), White 0737107A02 (0.15), Butyl Flashing (7") (0.33), Hilti Foam (0.2), Novabond White (0.75), Screws , , 9036701 (0.01), Shims , , 7500653 (0.01) Sill Angle: , 10°
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211	Upstairs hall	30-3/8"	45-3/8"	Window: , Double-Hung, 1:1, Slope Sill Insert, Traditional Checkrail, Exterior White, Interior White Glass: , All Sash: High Performance SmartSun Glass,
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Order Summary

dba: RENEWAL BY ANDERSEN OF COLUMBUS OHIO

Legal Name: Southard Corporation | License # (null)
1222 10th Street | Great Bend, Ks 67530
Phone: 6207935434 | Fax: 6207923221 |
Columbusmeasures@southardcorp.com
Measure Tech: Nate Sattler,

Margaret Baum
111 W North St
Worthington , OH 43085
C: (970)819-9725

No Pattern **Hardware:** , White **Screen:** , TruScene, Full Screen **Grille Style:** ,
Interior Wood Only (INTW) **Grille Pattern:** , All Sash: Colonial 3w x 2h
Misc: , Wrap 100 UI and Under, Metal or Vinyl Cut Outs **Construction:** ,
Wrap Casing and Glue Unit (100 UI and Under) (1), Remove Storm Windows
(1) **Material:** , Adhesive Glue (0.2), White 0737107A02 (0.15), Butyl
Flashing (7") (0.33), Hilti Foam (0.2), Novabond White (0.75), Screws , ,
9036701 (0.01), Shims , , 7500653 (0.01) **Sill Angle:** , 10°

212 Bath

30-3/8" 45-3/8"

Window: , Double-Hung, 1:1, Slope Sill Insert, Traditional Checkrail, Exterior
White, Interior White **Glass:** , All Sash: High Performance SmartSun Glass,
No Pattern **Hardware:** , White **Screen:** , TruScene, Full Screen **Grille Style:** ,
Interior Wood Only (INTW) **Grille Pattern:** , All Sash: Colonial 3w x 2h
Misc: , Wrap 100 UI and Under, Metal or Vinyl Cut Outs **Construction:** ,
Wrap Casing and Glue Unit (100 UI and Under) (1), Remove Storm Windows
(1) **Material:** , Adhesive Glue (0.2), White 0737107A02 (0.15), Butyl
Flashing (7") (0.33), Hilti Foam (0.2), Novabond White (0.75), Screws , ,
9036701 (0.01), Shims , , 7500653 (0.01) **Sill Angle:** , 10°

213 Guest

39-3/8" 45-3/8"

Window: , Double-Hung, 1:1, Slope Sill Insert, Traditional Checkrail, Exterior
White, Interior White **Glass:** , All Sash: High Performance SmartSun Glass,
No Pattern **Hardware:** , White, Standard Color Extra Lock **Screen:** ,
TruScene, Full Screen **Grille Style:** , Interior Wood Only (INTW) **Grille**
Pattern: , All Sash: Colonial 4w x 2h **Misc:** , Wrap 100 UI and Under, Metal
or Vinyl Cut Outs **Construction:** , Wrap Casing and Glue Unit (100 UI and
Under) (1), Remove Storm Windows (1) **Material:** , Adhesive Glue (0.2),





Order Summary

dba: RENEWAL BY ANDERSEN OF COLUMBUS OHIO

Legal Name: Southard Corporation I License # (null)
1222 10th Street I Great Bend, Ks 67530
Phone: 6207935434 I Fax: 6207923221 I
Columbusmeasures@southardcorp.com
Measure Tech: Nate Sattler,

Margaret Baum
111 W North St
Worthington , OH 43085
C: (970)819-9725

White 0737107A02 (0.15), Butyl Flashing (7") (0.33), Hilti Foam (0.2),
Novabond White (0.75), Screws , , 9036701 (0.01), Shims , , 7500653
(0.01) **Sill Angle:** , 10°

214 Guest

35-3/8" 45-3/8"

Window: , Double-Hung, 1:1, Slope Sill Insert, Traditional Checkrail, Exterior
White, Interior White **Glass:** , All Sash: High Performance SmartSun Glass,
No Pattern **Hardware:** , White, Standard Color Extra Lock **Screen:** ,
TruScene, Full Screen **Grille Style:** , Interior Wood Only (INTW) **Grille**
Pattern: , All Sash: Colonial 4w x 2h **Misc:** , Wrap 100 UI and Under, Metal
or Vinyl Cut Outs **Construction:** , Wrap Casing and Glue Unit (100 UI and
Under) (1), Remove Storm Windows (1) **Material:** , Adhesive Glue (0.2),
White 0737107A02 (0.15), Butyl Flashing (7") (0.33), Hilti Foam (0.2),
Novabond White (0.75), Screws , , 9036701 (0.01), Shims , , 7500653
(0.01) **Sill Angle:** , 10°

PRODUCTS: 14 WINDOWS: 14 PATIO DOORS: 0 ENTRY DOORS: 0 SPECIALTY: 0 MISC: 0



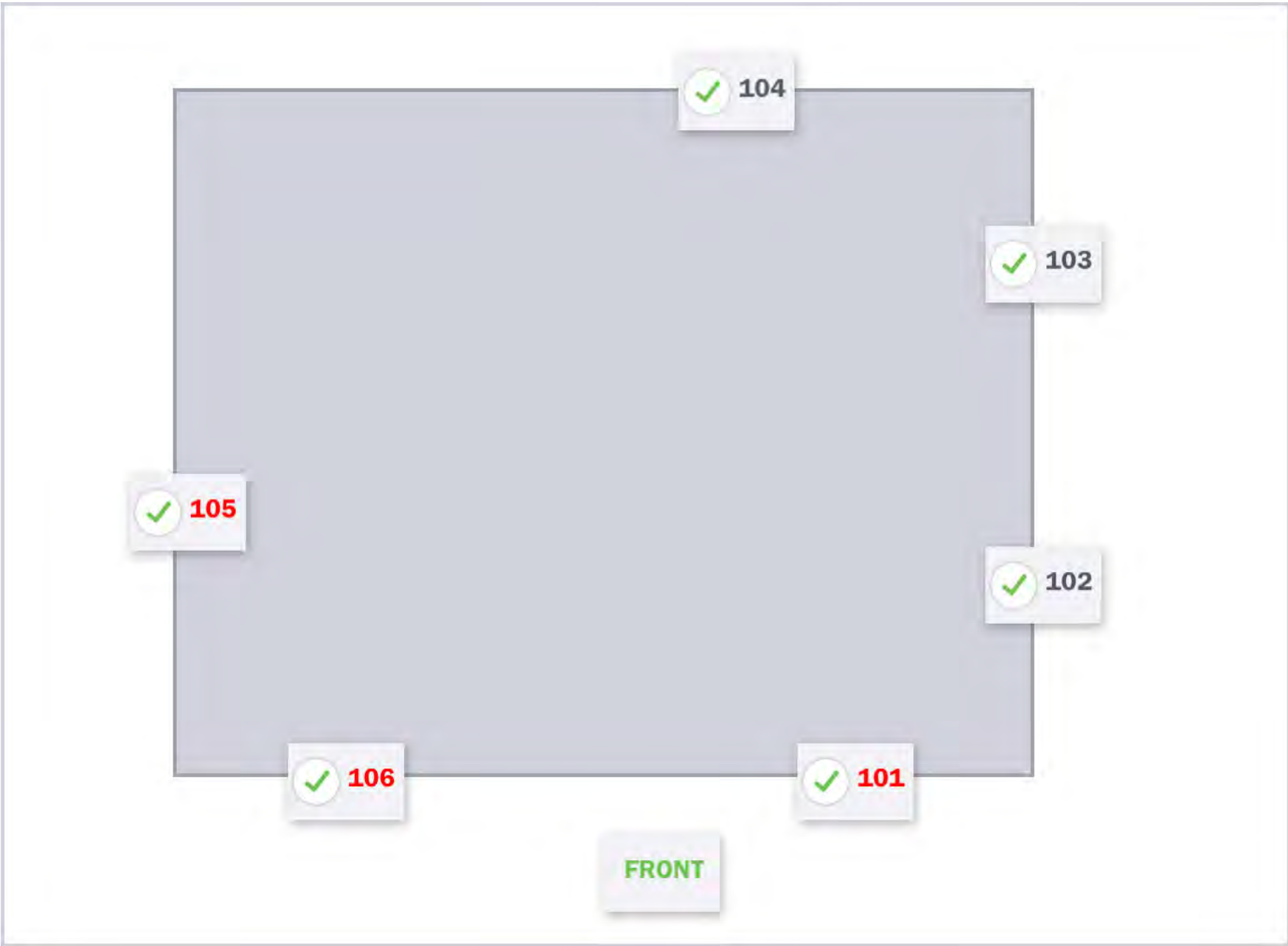


Order Summary

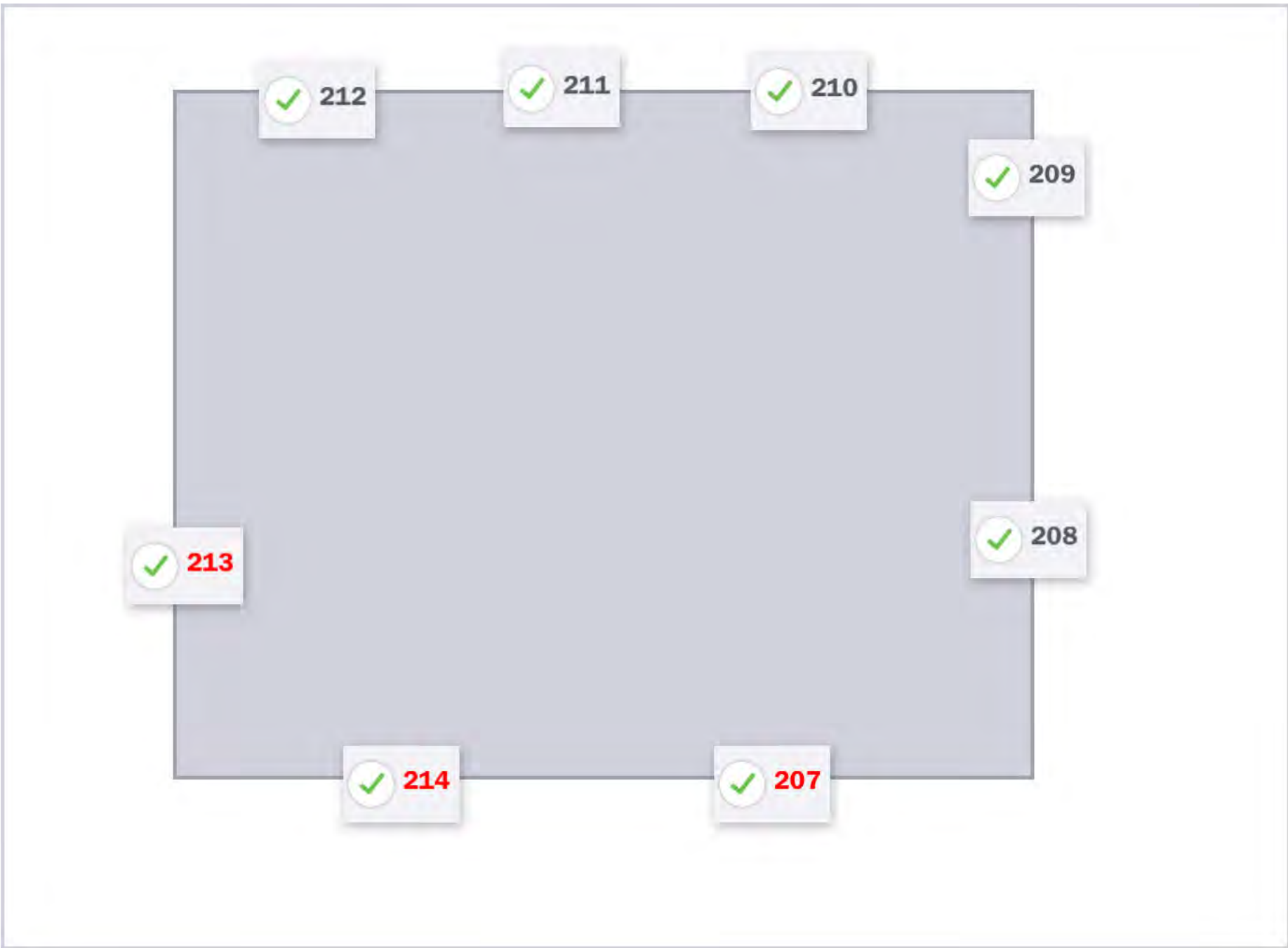
dba: RENEWAL BY ANDERSEN OF COLUMBUS OHIO

Legal Name: Southard Corporation | License # (null)
1222 10th Street | Great Bend, Ks 67530
Phone: 6207935434 | Fax: 6207923221 |
Columbusmeasures@southardcorp.com
Measure Tech: Nate Sattler,

Margaret Baum
111 W North St
Worthington , OH 43085
C: (970)819-9725



UNIT NOTES



UNIT NOTES





RENEWAL
by ANDERSEN
FULL-SERVICE WINDOW & DOOR REPLACEMENT

Fibrex® Composite Material



**Windows Manufactured
with Fibrex® Composite
Material – a Stronger Solution
with Long Lasting Beauty**

Reinventing the Window

Innovation has been a hallmark of Andersen Corporation since its founding in 1903. From implementing “mass production” techniques in 1904 (nine years before Henry Ford), to producing the first completely assembled window unit in the industry (1926), to becoming the world’s largest specialized window frame factory in 1929, our guiding principle has always been to “make a product that is different and better.” Each step of the way we have incorporated the latest technologies, fine precision, and high standards in our quest to be better.

Introducing Fibrex® Material

One of our most innovative ideas is Fibrex material. This revolutionary composite combines the strength and stability of wood with the low-maintenance features of vinyl. In fact, you might say it’s an evolutionary product. Andersen scientists developed the first hollow vinyl window in the U.S. in 1959, and engineered composite window materials in the 1960s and 1970s. In 1992, Andersen perfected composite window technology and patented Fibrex material. Today, Fibrex material is the perfect choice for your new replacement windows.

FIBREX® MATERIAL IS A BETTER CHOICE

Fibrex Material

Strength

Because Fibrex® composite material is strong, we can make our sash and frames narrower. Narrower frames mean more glass and more view.

Insulation

Fibrex composite material has superior thermal insulating properties. Combined with Andersen® High-Performance Low-E4® glass, this helps your home stay warmer in winter and cooler in summer. You can help save money on your energy bills. Your home feels more comfortable.

Low Maintenance

Fibrex composite material never needs scraping or painting. It won’t rot, decay, or mold.¹

Beauty

Renewal by Andersen® replacement windows preserve the architectural beauty of your home. Frame and sash design reflect the shape and lines of your original windows.

The unique extruded Fibrex composite material can be made into any kind of window – including curved specialty windows.

Environmental Responsibility

40% of the raw material by weight used to make Fibrex composite material is clean, reclaimed wood fiber. Reclaimed materials in the manufacturing process can also be reground and reused.

Warranty

A window is not just glass and some framing material. It’s a precise combination of glass, frame, and quality installation. We back it all with a Products and Installation Limited Warranty¹ that is one of the best in the business.

Other Materials

Vinyl frames are known to have a higher expansion/contraction rate and can bow, breaking the glass seal.

Aluminum window frames conduct heat and cold. Heat leaks out of your house in the winter and into your house in the summer.

Fiberglass frames are painted and may need regular maintenance.

Most replacement windows have square profiles that may look artificial in your home. Vinyl frame material is often thicker, reducing glass area.

Fiberglass can only be made into straight lineals.

Fiberglass is a thermoset material and cannot be reformed into new profiles.

Installation is rarely covered in the written warranty.



CITY OF WORTHINGTON
DRAWING NO. ARB 0071-2023
DATE 08/29/2023

¹ See Renewal by Andersen Products and Installation Transferable Limited Warranty for details.

Fibrex® Composite Material – a Smarter Material with Unmatched Performance

Andersen Corporation was founded in 1903 and soon revolutionized the way windows



were installed by pre-cutting materials for carpenters to assemble on the building site. Over the years, Andersen has introduced many industry firsts. Andersen continues to be a leader in producing products that last longer, look better, and function smoothly for many years.

Over the years, Andersen has proudly introduced industry milestones, including new technologies and methods that made windows and doors last longer, look better, and function as intended for many years. By the 1950s, Andersen's research and development efforts were laying the groundwork for Fibrex® composite material and a brand new way to provide homeowners with beautiful, high quality, and efficient replacement windows.



1959

Andersen is the first company to develop a hollow vinyl window in the U.S. but decides it doesn't have enough structural integrity. But the low maintenance feature of the vinyl had possibilities.



1968-1978

Andersen expands its use of reclaimed wood fibers into pressed wood boards for hidden components of the window. Engineered wood – wood pieces combined and pressed together – prove stronger than traditional raw wood.



1991

Fibrex® composite material is patented. It combines the best qualities of wood and thermoplastic polymers.



1995

Renewal by Andersen is founded. Now one of the largest window replacement companies in the U.S., Renewal by Andersen windows incorporate more than 40 percent reclaimed wood fiber by weight from other window manufacturing operations.



1966

Andersen creates the "clad-wood" window and door category. Andersen Research & Development invents a way to weld the corners together for airtight and watertight performance.

1970s

Andersen strives to improve the return on its resources by making windows and doors that perform and last. Andersen sees the extra wood created by its manufacturing process as a potential material resource. The company develops a window sash made from reclaimed wood fibers and thermoplastic polymers that performs and weathers well. But manufacturing methods are inefficient until developments are made in the next decade.

1993

Fibrex composite material used as a sub-sill component in the Andersen® Frenchwood® hinged patio door. The Fibrex composite material sill is selected for its superior strength and resistance to rot and decay, and performs exceptionally well in this demanding role.

2008

Renewal by Andersen® windows achieves the highest SCS certified recycled content of any window replacement company.



CITY OF WORTHINGTON
DRAWING NO. ARB 0071-2023
DATE 08/29/2023

All of our windows are made of Fibrex composite material, a revolutionary composite made from reclaimed wood fiber blended with a polymer. This gives our windows the strength and durability of wood and the low-maintenance features of vinyl, while greatly limiting thermal transmittance that can be found in other window materials such as metal.

Unlike many other window materials, Fibrex composite material won't flake, rust, blister, peel, crack, pit, corrode, or rot.² It is also two times stronger than vinyl and resists warping and bowing. Never worry about scraping or painting your windows again.



² See Renewal by Andersen Products and Installation Transferable Limited Warranty for details.



To this day, Andersen Corporation operates under the core principles founder Hans Andersen put in place over a century ago.



When you purchase Renewal by Andersen® windows, you are purchasing time-tested innovation – and a piece of history that will last for years to come.²



FIBREX®
MATERIAL | **VASTLY SUPERIOR**
TO VINYL.



FIBREX® MATERIAL
WILL **NOT CRACK, PIT,**
CORRODE OR ROT²



SUPERIOR SCRATCH
RESISTANCE. **FIBREX®**
MATERIAL VS. PAINTED VINYL³



12X **FIBREX® MATERIAL FINISH**
IS 12 TIMES THICKER THAN
PAINTED VINYL FINISH³



FIBREX® MATERIAL
ENDURES **EXTREME HEAT**



FIBREX® MATERIAL
HAS **DOUBLE THE**
STRENGTH OF VINYL

Over 117 Years of Innovation and Excellence

Andersen® products and patents have revolutionized the window and door industry for over 117 years, changing the home construction industry, how homes are designed, and even how we live in our homes.

We are constantly testing and introducing new materials. Heat and cold chambers mimic extreme temperature conditions. Simulating devices produce extremes of dry and wet to test all new products. Windows, hardware, finishes, and packaging materials all undergo testing.

“You can get environmentally responsible replacement windows that are beautiful and help provide energy savings. We’re proud that our windows have earned SCS Global Services recycled content and indoor air quality certifications, demonstrating our commitment to sustainability.”

– Troy Barrow
President, Renewal by Andersen



CITY OF WORTHINGTON
DRAWING NO. ARB 0071-2023
DATE 08/29/2023

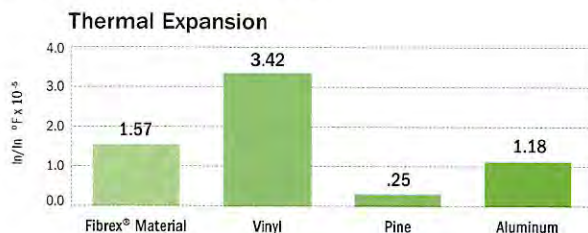
The Better Way to a Better Window®

² See Renewal by Andersen Products and Installation Transferable Limited Warranty for details. ³ When Renewal by Andersen® products were tested against five leading competitors' painted vinyl window products.

The “Material” Difference

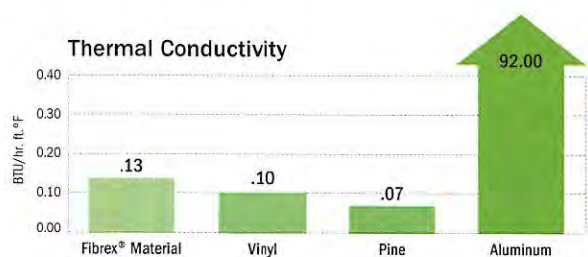
Consider all you expect windows to do for your home. Fibrex® composite material makes a difference in every instance. Measured across a range of conditions that affect the efficiency, maintenance, and beauty of windows, Fibrex composite material performs well compared to vinyl, aluminum, fiberglass, and wood. Take a look and we think you’ll agree – replacement windows made of Fibrex composite material are the right choice for your home.

Durable and Reliable



Fibrex composite material is durable and reliable, and – like wood, fiberglass, and aluminum – it expands and contracts very little. However, vinyl can expand and contract significantly. Vinyl may cause cracks, bowing, and air or water leaks. Windows made of Fibrex composite material will perform better in winter and summer than windows made of vinyl.

An Excellent Insulator

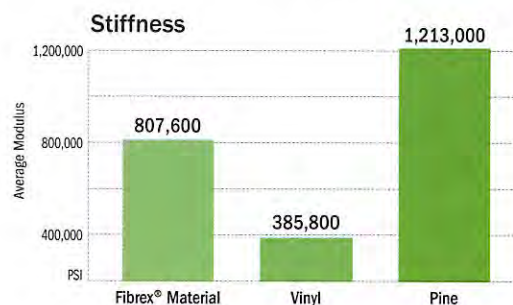


Fibrex composite material has excellent insulating properties on par with wood, vinyl, or fiberglass. Aluminum, on the other hand, transfers heat out of your home and allows outdoor temperatures to chill window areas inside. Fibrex composite material insulates about 700 times better than aluminum.

The Process Is Easy

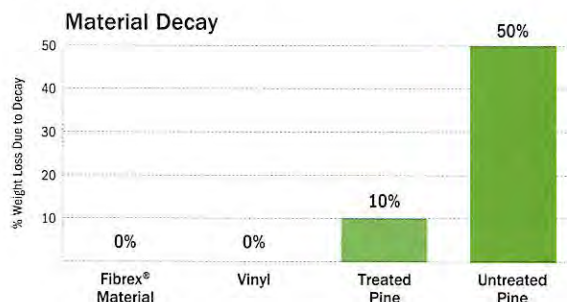
Visit renewalbyandersen.com or call your local Renewal by Andersen showroom for a free in-home or no-contact consultation.

Stable and Predictable



Fibrex composite material is twice as stable and rigid as vinyl. Wood’s average stiffness is higher, but it’s less predictable than Fibrex composite material because of wood’s natural variations like grain, knots, and moisture content. Fibrex composite material is strong so frames can be made narrower than with other framing materials. Narrower frames mean more glass, and more view. Fibrex composite material can be made into any style of window – including curved specialty windows – and in colors to complement every home.

Decay Resistant



With Fibrex composite material, a special polymer formulation surrounds and coats each wood fiber in the manufacturing process, providing exceptional resistance to rot and fungal growth. Renewal by Andersen’s windows, made with Fibrex composite material, never need scraping or painting because they are warranted not to flake, rust, blister, peel, crack, pit, or corrode.¹



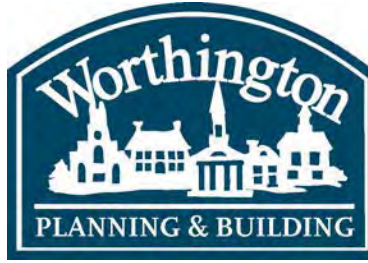
CITY OF WORTHINGTON
DRAWING NO. ARB 0071-2023
DATE 08/29/2023



RENEWAL
by **ANDERSEN**
FULL-SERVICE WINDOW & DOOR REPLACEMENT

The Better Way to a Better Window™

¹ See Renewal by Andersen® Products and Installation Transferable Limited Warranty for details. “Andersen”, “Renewal by Andersen”, and all other marks where denoted are trademarks of Andersen Corporation. “ENERGY STAR” is a registered trademark of the U.S. Environmental Protection Agency. © 2021 Andersen Corporation. All rights reserved. RBA12663



ARB APPLICATION
ARB 0072-2023
53 W. Wilson Bridge Rd.

Plan Type:	Architectural Review Board	Project:		App Date:	08/29/2023
Work Class:	Certificate of Appropriateness	District:	City of Worthington	Exp Date:	
Status:	In Review			Completed:	
Valuation:	\$850,000.00			Approval	
Description:	Tenant build-out of a new Huey Magoo's restaurant with an exterior patio				Expire Date:

Parcel:	100-006791	Main	Address:	53 W Wilson Bridge Rd Worthington, OH 43085	Main	Zone:	
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Owner Ronda Hobart Business: (614) 582-9635	Applicant Jill Grosnoff 220 East Central Parkway #4000 Altamonte Springs, FL 32701 Business: (407) 645-5008
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Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004488	Architectural Review Board	\$200.00	\$200.00
		Total for Invoice INV-00004488	\$200.00
		Grand Total for Plan	\$200.00

53 W. Wilson Bridge Rd.



SEAL:

THIS DOCUMENT IS NOT
FOR REGULATORY
APPROVAL, PERMITTING,
OR CONSTRUCTION.

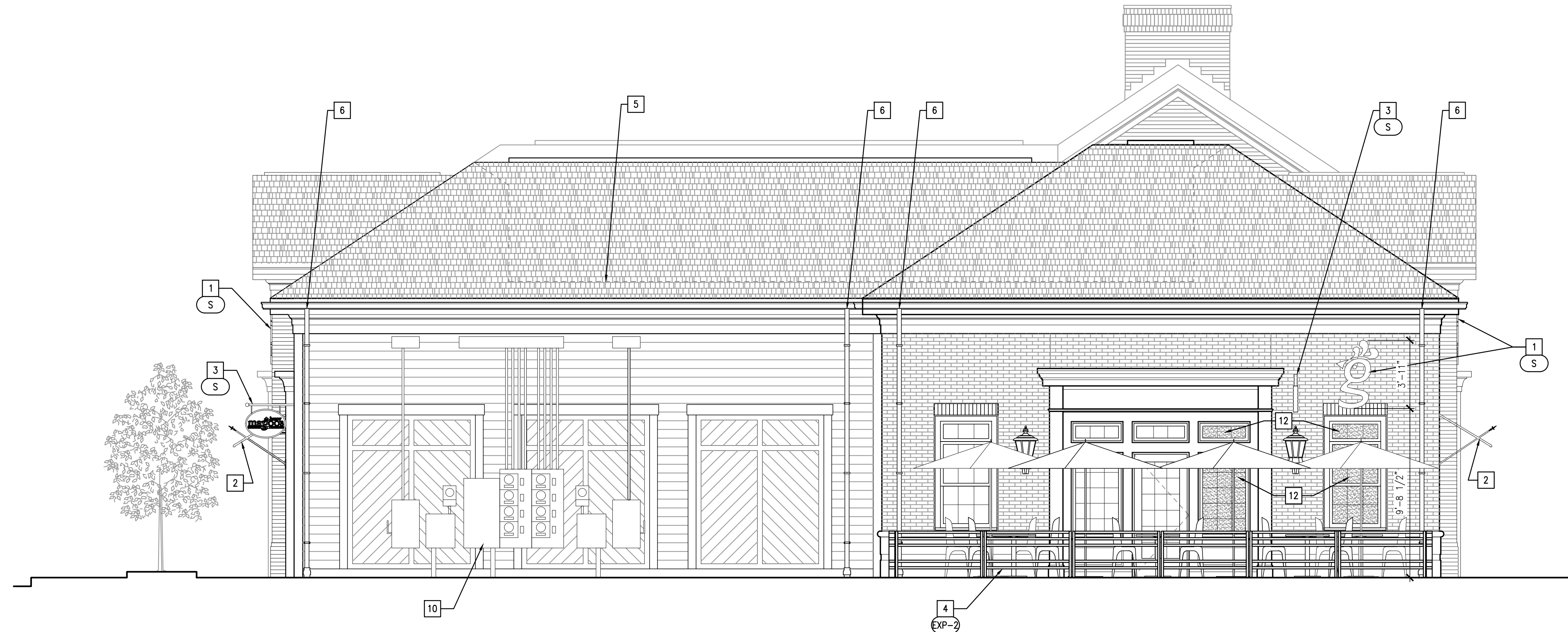
License #:
Expiration Date:



1 EXISTING EXTERIOR ELEVATION 1/4" = 1'-0"



2 EXISTING EXTERIOR ELEVATION 1/4" = 1'-0"



3 EXISTING EXTERIOR ELEVATION 1/4" = 1'-0"

KEY NOTES

- SIGNAGE BY SIGN VENDOR AND UNDER SEPARATE PERMIT. REFER TO DETAILS ON SHEET A5.4 FOR MORE INFORMATION.
- FABRIC AWNING TO BE SELECTED BY TENANT.
- TENANT BLADE SIGN BY TENANT.
- EXTERIOR PATIO RAILING AND GATE. REFER TO DETAILS ON A5.4.
- OUTLINE OF ROOF BEYOND.
- EXISTING DOWNSPOUT.
- EXISTING OVERFLOW DRAIN.
- EXISTING WALL SCONCE LIGHTING.
- EXISTING EMERGENCY LIGHT.
- EXISTING ELECTRIC UTILITY. SEE ELECTRICAL SHEETS FOR MORE INFORMATION.
- EXISTING BLACK-OUT FILM ON THE INTERIOR SIDE OF STOREFRONT.
- PROVIDE NEW BLACK-OUT FILM TO MATCH EXISTING ON INTERIOR SIDE OF STOREFRONT.

NO DATE REMARKS
REVISIONS

SIGN COMPANY REQUIREMENTS

- PROVIDE FULL SET OF SHOP DRAWINGS NOTING FASTENING LOCATIONS FASTENER TYPES FOR ARCH APPROVAL & PERMIT SUBMISSION
- WHERE APPLICABLE NOTE FASTENERS MEET HURRICANE WIND SPEED REQUIREMENTS
- PROVIDE CODE COMPLIANCE SUMMARY TO MEET LOCAL APPLICABLE CODES

EXTERIOR FINISH LEGEND

- (S) LIGHTED HUEY MAGOOS CHICKEN TENDERS SIGN, REFER TO ELECTRICAL DRAWINGS FOR MORE INFO ON POWER - SEE BELOW FOR REQUIREMENTS
- (EXP-2) SHERWIN WILLIAMS SW2848 ROYCROFT PEWTER

FURNITURE SCHEDULE

SEE FINISH SCHEDULE ON A6.1 FOR FULL SPECIFICATIONS. ALL QUANTITIES, MANUFACTURER, AND MODEL NO. TO BE VERIFIED WITH OWNER PRIOR TO ORDERING.

ITEM NO.	QTY.	FURNITURE DESCRIPTION	MANUFACTURER	MODEL NO.	REMARKS
608	1	8'-0" X 2'-6" COMMUNITY TABLE W/ WOOD TOP AND ELECTRICAL CHASE (CONNECTION BY ELECTRICIAN)	BENCHMARK		LOCATION INDOOR
622	2	24 X 30 WOOD TABLE W/ TWO WRINKLE BLACK BASES (STANDARD HEIGHT 1.75" THICKNESS)	BENCHMARK		LOCATION INDOOR TT-1A
624	8	30 X 48 WOOD TABLE W/ 2 ADA WRINKLE BLACK BASES (STANDARD HEIGHT 1.75" THICKNESS)	BENCHMARK		LOCATION INDOOR TT-2A
640	28	DINING ROOM CHAIR - SILVER POWDER COAT FINISH	MSW	14972	LOCATION INDOOR CH-1
642	8	BAR STOOL BACKLESS - RED POWDER COAT FINISH (30" SEAT HEIGHT)	MSW	14605	LOCATION INDOOR BS-2
643	4	DINING ROOM CHAIR - NATURAL WITH BLACK FRAME	MSW	JULIE STYLE	LOCATION INDOOR CH-2
648	24	PATIO CHAIR - RED POWDER COAT FINISH	EMU	DARWIN 522	LOCATION OUTDOOR
654	6	WES TABLE TOP, 48" X 32" X 1-1/2"H, RECTANGLE, OUTDOOR, UV, HEAT AND STAIN RESISTANT, MOLDED LAMINATE; FINISH 272 KANSAS	EMU	W4832	LOCATION OUTDOOR INCLUDE BASE A1361 (QTY 2) ZAK TABLE BASE, DINING HEIGHT
658	5	PATIO UMBRELLA BAY MASTER FIBERFLEX CLASSIC PARASOL 6.5' SQUARE	TUUCI	BMFF6.5SQ	LOCATION OUTDOOR INCLUDE 90LB BASE

CUSTOM STAINLESS SCHEDULE

SEE FINISH SCHEDULE ON A6.1 FOR FULL SPECIFICATIONS. ALL QUANTITIES, MANUFACTURER, AND MODEL NO. TO BE VERIFIED WITH OWNER PRIOR TO ORDERING.
ALL TRADE DRESS SHOP DRAWINGS TO BE SUBMITTED TO DEVELOPMENT@HUEYMAGOOS.COM TO MAINTAIN BRAND CONSISTENCY

ITEM NO.	QTY.	FURNITURE DESCRIPTION	MANUFACTURER	MODEL NO.	REMARKS
1001	1	PREP TABLE W/ PAN SLIDES FOR 48" GRIDDLE	CUSTOM STAINLESS		CONFIRM HEIGHT, WITH GRIDDLE MATCHES OTHER GRIDDLE.
1011	1	ONE-SIDED ISLAND OR WALL MOUNT 126" LONG (QTY2--CNH18LP, QTY1-- CNH12LP)	CUSTOM STAINLESS	DETAIL A9.2	ENSURE LATEST DESIGN/SPEC FROM DEVELOPMENT@HUEYMAGOOS.COM IS USED
1032	1	9'-2" SELF SERVE BEVERAGE STATION - STAINLESS WITH DOORS	CUSTOM STAINLESS	STANDARD SIZE, DETAIL A9.1 & A9.2	ENSURE LATEST DESIGN/SPEC FROM DEVELOPMENT@HUEYMAGOOS.COM IS USED
1040	1	TRASH CABINET - SEE DETAIL ON A9 SHEETS (CALLOUT ON PLAN) ONE TRASH CHUTE	CUSTOM STAINLESS	DETAIL A9.1	ENSURE LATEST DESIGN/SPEC FROM DEVELOPMENT@HUEYMAGOOS.COM IS USED
1042	1	EXTERIOR TRASH CABINET -- POWDERCOATED METAL FRAME WITH FIBERON	CUSTOM STAINLESS	DETAIL A9.2	ENSURE LATEST DESIGN/SPEC FROM DEVELOPMENT@HUEYMAGOOS.COM IS USED

TRADE DRESS SCHEDULE

SEE FINISH SCHEDULE ON A6.1 FOR FULL SPECIFICATIONS. ALL QUANTITIES, MANUFACTURER, AND MODEL NO. TO BE VERIFIED WITH OWNER PRIOR TO ORDERING.
ALL TRADE DRESS SHOP DRAWINGS TO BE SUBMITTED TO DEVELOPMENT@HUEYMAGOOS.COM TO MAINTAIN BRAND CONSISTENCY

ITEM NO.	QTY.	FURNITURE DESCRIPTION	MANUFACTURER	MODEL NO.	REMARKS
2000	1	CUSTOM WOOD CHAIR RAIL MOUNTED AT 2'-8" AFF (INSTALLATION BY G.C.)	TRADEPRESS PROVIDER		
2001	1	CUSTOM COOKIE PIPE SHELVEING	TRADEPRESS PROVIDER	CUSTOM	DETAIL ON A9.0
2002	1	MERCHANDISING PANEL - IF TV AND MOUNT SPEC DIFFER FROM WHAT IS ON EQUIPMENT SCHEDULE, THE OPENING IN PANEL WILL NOT BE SIZED CORRECTLY.	TRADEPRESS PROVIDER		
2003	1	TV AT MERCHANDISING WALL	TRADEPRESS PROVIDER		
2004	1	MOUNT FOR TV AT MERCHANDISING WALL	TRADEPRESS PROVIDER		
2006	1	RED PICKUP SHELVES	TRADEPRESS PROVIDER		
2007	3	QUEUE RAIL - REFER TO PLAN FOR SIZES	TRADEPRESS PROVIDER		
2009	1	RECLAIMED BARNWOOD PLANKING - SEE FINISH SCHEDULE RBP-1 FOR SPEC. MIX 3IN/5IN PLANKS 50/50%. MIX BROWN/GRAY 66/33%.	TRADEPRESS PROVIDER		
2010	1	COMMUNITY TABLE BASE; SIZE TO MATCH COMMUNITY TABLE TOP	TRADEPRESS PROVIDER		

MILLWORK SCHEDULE

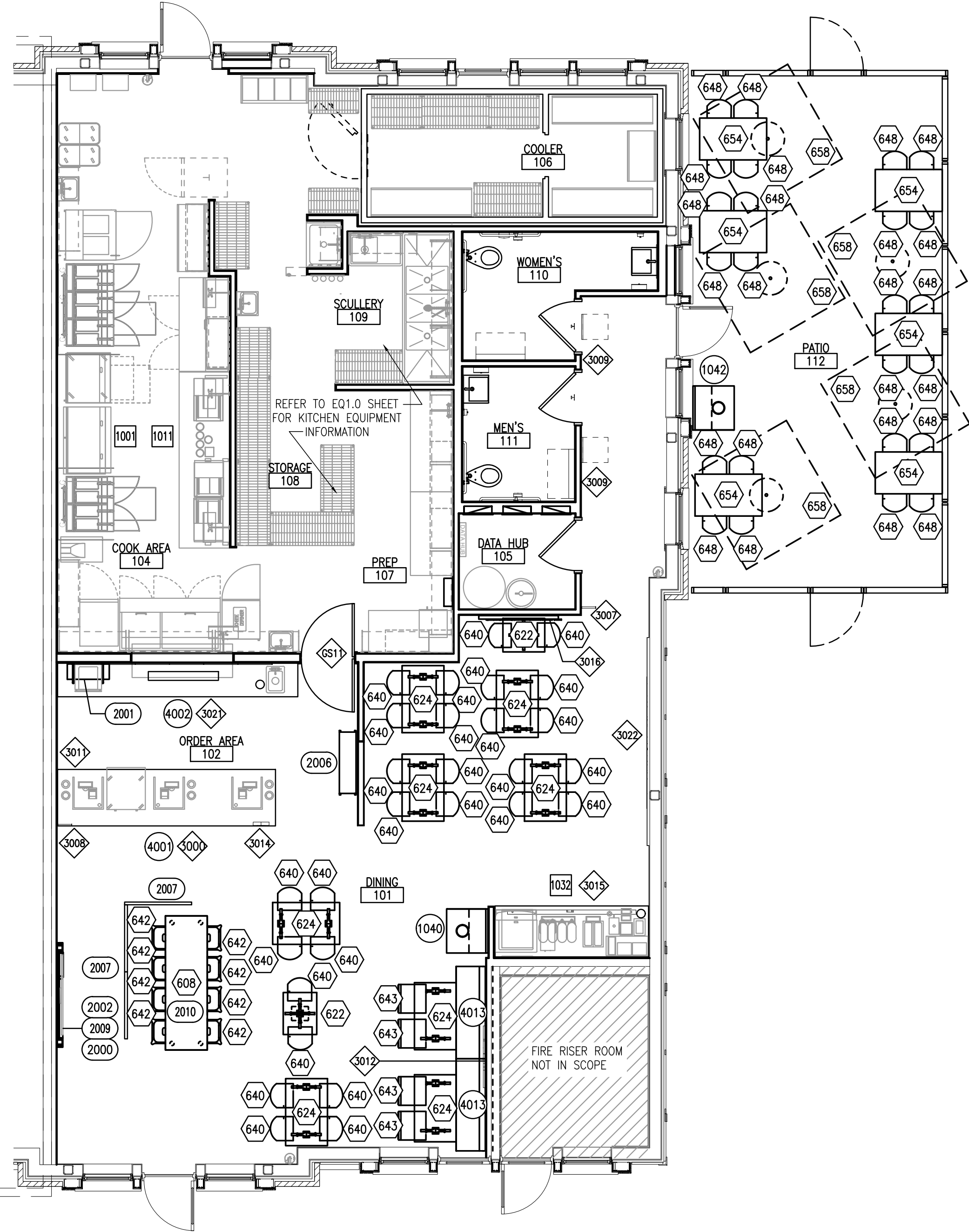
SEE FINISH SCHEDULE ON A6.1 FOR FULL SPECIFICATIONS. ALL QUANTITIES, MANUFACTURER, AND MODEL NO. TO BE VERIFIED WITH OWNER PRIOR TO ORDERING.

ITEM NO.	QTY.	FURNITURE DESCRIPTION	MANUFACTURER	MODEL NO.	REMARKS
4001	1	FRONT COUNTER AND CASEWORK - SEE DETAIL ON A9.2 SHEET	MILLWORK PROVIDER		MILLWORK
4002	1	BACK COUNTER AND CASEWORK - SEE DETAIL ON A9.2 SHEET	MILLWORK PROVIDER		MILLWORK
4013	2	BANQUETTE BENCH (5'-6" WIDE)	MILLWORK PROVIDER	SEE DETAIL ON A9.0 SHEET	LOCATION INDOOR - BQ-1

GRAPHICS SCHEDULE - BY GRAPHICS SERVICES

SEE FINISH SCHEDULE ON A6.1 FOR FULL SPECIFICATIONS. ALL QUANTITIES, MANUFACTURER, AND MODEL NO. TO BE VERIFIED WITH OWNER PRIOR TO ORDERING.
ALL GRAPHICS SHOP DRAWINGS TO BE SUBMITTED TO DEVELOPMENT@HUEYMAGOOS.COM TO MAINTAIN BRAND CONSISTENCY

ITEM NO.	QTY.	FURNITURE DESCRIPTION	MANUFACTURER	MODEL NO.	REMARKS
3000	1	SOFFIT DECAL CRAFT IT CRAVE IT RAVE IT	INT. GRAPHICS PROVIDER	SEE DETAIL ON SHEET A9.1	
3007	1	RESTROOM BANNER	INT. GRAPHICS PROVIDER	SEE DETAIL ON SHEET A9.1	
3008	1	ORDER HERE BANNER	INT. GRAPHICS PROVIDER	SEE DETAIL ON SHEET A9.1	
3009	2	GUYS AND GALS RESTROOM DOOR DECALS	INT. GRAPHICS PROVIDER		
3011	1	FILET MIGNON	INT. GRAPHICS PROVIDER		
3012	1	INTERIOR G LOGO SIGN - ACRYLIC	INT. GRAPHICS PROVIDER		
3014	1	ILLUMINATED PICKUP SIGN	INT. GRAPHICS PROVIDER	SEE DETAIL ON SHEET A9.1	PROVIDE POWER AT SOFFIT ABOVE PICKUP COUNTER.
3015	1	TEAS AND SODA SIGN	INT. GRAPHICS PROVIDER	SEE DETAIL ON SHEET A9.1	ATTACH TO DECK OR TRUSS AS ALLOWED BY JURISDICTION
3016	1	MAKE SOMEONE SMILE TODAY - BARNWOOD SIGN	INT. GRAPHICS PROVIDER	SEE DETAIL ON SHEET A9.0	SEE BARNWOOD SPEC FROM TRADE DRESS AND FINISH SCHEDULE RBP-1
3021	1	DIGITAL MENU BOARD - ADD ITEM 5080 MONITORS	INT. GRAPHICS PROVIDER	REQUEST DETAIL	CONFIRM MONITOR MODEL AND DRAWINGS WITH DEVELOPMENT@HUEYMAGOOS.COM
3022	1	PAINTED LOGO - EST. ON BRICK WALL	INT. GRAPHICS PROVIDER	REQUEST DETAIL	ENSURE LATEST DESIGN/SPEC FROM DEVELOPMENT@HUEYMAGOOS.COM IS USED; NO LOGO W/ USB



1 FURNITURE PLAN

3/16" = 1'-0"







CITY OF WORTHINGTON
DRAWING NO. ARB 0072-2023
DATE 08/29/2023





MPC APPLICATION ADP 09-2023 6670 Huntley Rd.

Plan Type:	Amendment to Development Plan	Project:		App Date:	08/24/2023
Work Class:	Amendment to Development Plan	District:	City of Worthington	Exp Date:	
Status:	In Review			Completed:	
Valuation:	\$0.00			Approval	
Description:	This variance request it for additional signage square footage. The signage needed for this building is finally coming to scale and hasn't changed from its conceptual appearance that Council has previously approved. The total signage square footage needed is 246 square feet. We are asking for a variance to allow the additional 146 square feet that brings our conceptual plan to life.				
Parcel:	100-002184	Main	Address:	6670 Huntley Rd Worthington, OH 43229	Main
			Zone:	I-1(Restricted Industrial: Research Office)	

Applicant / Owner
Chris Tilton
6670 Huntley Rd
Columbus, OH 43229
Business: (614) 547-0685
Mobile: (614) 315-2108

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004470	Amendment to Development Plan	\$50.00	\$50.00
		Total for Invoice INV-00004470	\$50.00
		Grand Total for Plan	\$50.00

6670 Huntley Rd.





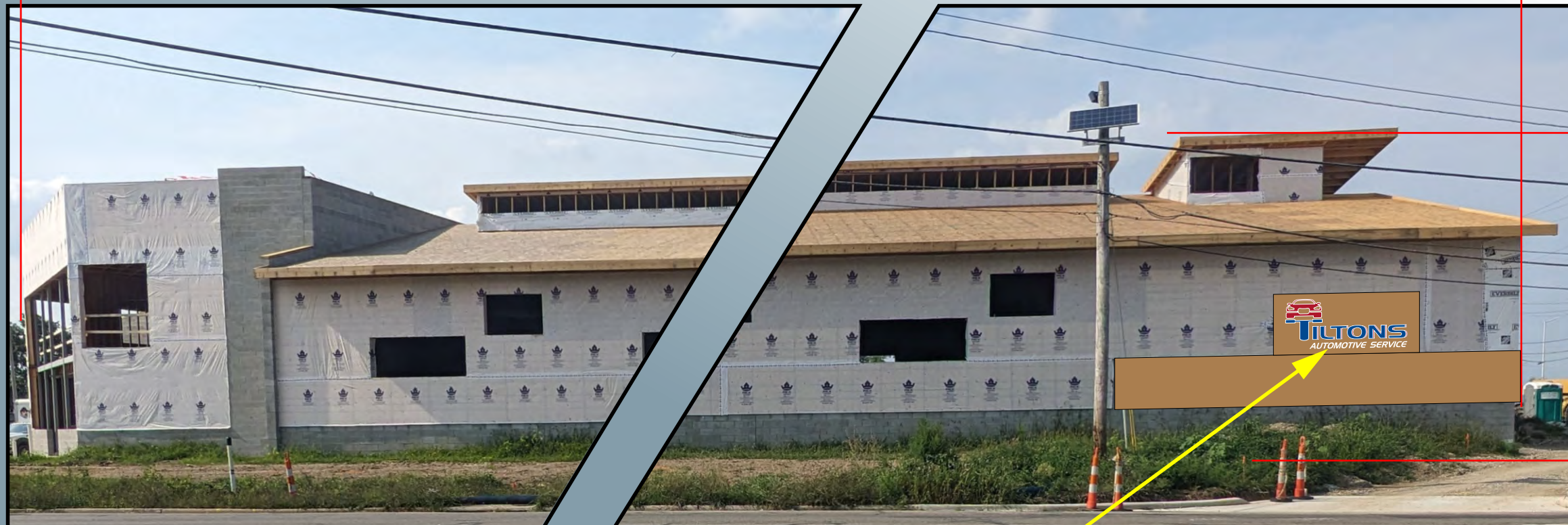
#S1-2268.23: HALO-LIT CHANNEL LOGO AND LETTERS
WITH PVC SMALLER COPY
SCALE: 3/4" = 1'-0"

- LOGO: 2" DEEP ROUTED HDU - PAINTED PMS 187 RED.
- "TILTONS": 2" DEEP ROUTED HDU - PAINTED WHITE ON ALL SURFACES.
3630-97 BRISTOL BLUE AND 3630-53 CARDINAL RED VINYL OVERLAYS ON THE
LETTER FACES ONLY.
- ILLUMINATION: WHITE LED
- "AUTOMOTIVE SERVICE": (NON-ILLUMINATED) 3/4" THICK WHITE PVC,
STUD MOUNTED FLUSH.



NITE VIEW

222'-8"



32'-5"

SOUTH ELEVATION 3/32" = 1'-0"

4'-1" X 10'-0" GRAPHIC = 41 SQFT
BUILDING PANEL: 5' X 12'



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CITY OF WORTHINGTON
DRAWING NO. ADP 09-2023
DATE 08/24/2023

COLORS

- WHITE
- 3630-53 CARDINAL RED (PMS 187 RED)
- 3603-97 BRISTOL BLUE VINYL

APPROVED-CUSTOMER DATE



JOB NAME TILTONS AUTOMOTIVE #S1-2268.23
STREET 6670 HUNTLEY RD.
CITY, STATE WORTHINGTON, OH
SIGN TYPE HALO-LIT WALL SIGNAGE

DATE 8/22/23 REV. DATE:
FILE NAME TILTONS AUTOMOTIVE.CDR
DIRECTORY THAD > 2023 > T

SCALE AS NOTED SALE MF DESIGNER TK

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#S1-2268.23: HALO-LIT CHANNEL LOGO AND LETTERS
WITH PVC SMALLER COPY
SCALE: 3/4" = 1'-0"

- LOGO: 2" DEEP ROUTED HDU - PAINTED PMS 187 RED.
- "TILTONS": 2" DEEP ROUTED HDU - PAINTED WHITE ON ALL SURFACES. 3630-97 BRISTOL BLUE AND 3630-53 CARDINAL RED VINYL OVERLAYS ON THE LETTER FACES ONLY.
- ILLUMINATION: WHITE LED
- "AUTOMOTIVE SERVICE": (NON-ILLUMINATED) 3/4" THICK WHITE PVC, STUD MOUNTED FLUSH.



NITE VIEW

180'-8"



WEST ELEVATION

3/32" = 1'-0"

4'-1" X 10'-0" GRAPHIC = 41 SQFT
BUILDING PANEL: 5' X 12'



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COLORS

- ☐ WHITE
- ☒ 3630-53 CARDINAL RED (PMS 187 RED)
- ☒ 3603-97 BRISTOL BLUE VINYL

APPROVED-CUSTOMER

DATE



JOB NAME	TILTONS AUTOMOTIVE	#S1-2268.23
STREET	6670 HUNTLEY RD.	
CITY, STATE	WORTHINGTON, OH	
SIGN TYPE	HALO-LIT WALL SIGNAGE	

DATE	8/22/23	REV. DATE:
FILE NAME	TILTONS AUTOMOTIVE.CDR	
DIRECTORY	THAD > 2023 > T	

SCALE AS NOTED SALE MF DESIGNER TK

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CITY OF WORTHINGTON
DRAWING NO. ADP 09-2023
DATE 08/24/2023

COLORS

PMS 187 RED

APPROVED-CUSTOMER

DATE



JOB NAME	TILTONS AUTOMOTIVE	#S2-2268.23
STREET	6670 HUNTLEY RD.	
CITY, STATE	WORTHINGTON, OH	
SIGN TYPE	HALO-LIT WALL SIGNAGE	

DATE	8/22/23	REV. DATE:
FILE NAME	TILTONS AUTOMOTIVE.CDR	
DIRECTORY	THAD > 2023 > T	

SCALE AS NOTED SALE MF DESIGNER TK

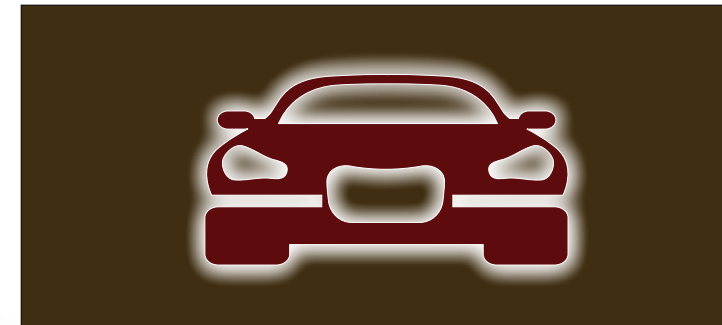
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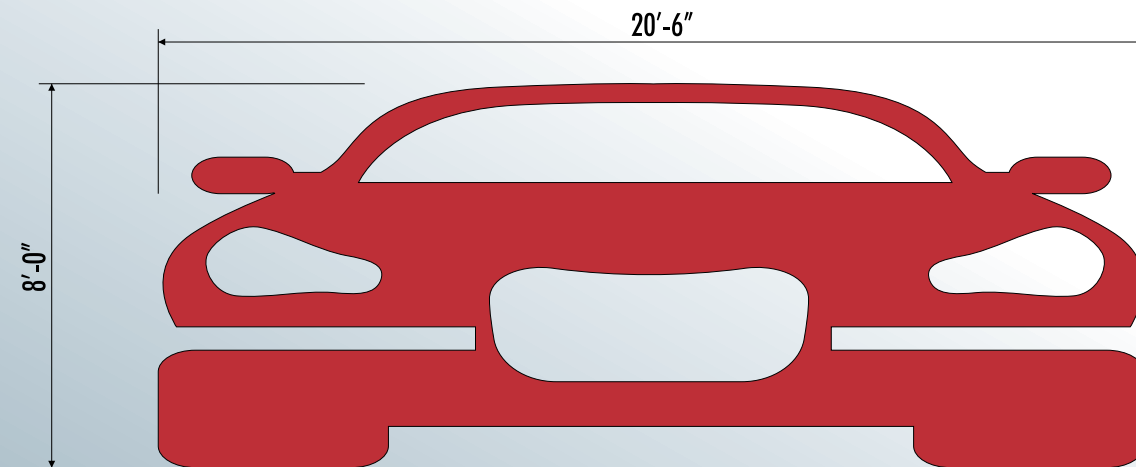
#S2-2268.23: HALO-LIT CHANNEL LOGO

SCALE: 1/4" = 1'-0"

- LOGO: 6" DEEP FABRICATED ALUMINUM - PAINTED PMS 187 RED.
- ILLUMINATION: WHITE LED



NITE VIEW



98'-6"

29'-4"



SOUTH WEST ELEVATION

1/8" = 1'-0"

8'-0" X 20'-6" CAR = 164 SQFT
BUILDING PANEL: 10' X 28'