



**ARCHITECTURAL REVIEW BOARD
MUNICIPAL PLANNING COMMISSION
-AGENDA-
Thursday, October 26, 2023 at 7:00 P.M.**

Louis J.R. Goorey Worthington Municipal Building
The John P. Coleman Council Chamber
6550 North High Street
Worthington, Ohio 43085

Watch online at [worthington.org/live](https://www.worthington.org/live), and comment in person or at [worthington.org/meeting-public-input](https://www.worthington.org/meeting-public-input)

A. Call to Order - 7:00 pm

1. Roll Call
2. Pledge of Allegiance
3. Approval of minutes of the October 12, 2023 meeting
4. Affirmation/swearing in of witnesses.

B. Architectural Review Board – Consent Agenda

There will be no separate discussion of Consent Agenda items as they are considered to be routine by the Board and Commission and will be adopted by one motion. If a member of the Board & Commission, staff, or public requests discussion on a particular item, that item will be removed from the Consent Agenda and considered separately on the agenda. Approval of Consent Agenda items includes conditions as listed in the staff memo.

1. Fence – **334 E. Dublin-Granville Rd.** (Alyse Goldberg/Wadsworth) **ARB 83-2023**
2. Shed – **600 Morning St.** (Paul Campagnoli) **ARB 84-2023**

C. Architectural Review Board – New Business

1. Renovation, Addition and New Garage – **672 Evening St.** (Jamee M. Parish/Smith) **ARB 81-2023**
2. New Dormers, Screened Porch, Garage Addition, Patio and Sports Court – **703 Oxford St.** (Brenda S. Parker/Saunders) **ARB 82-2023**

D. Architectural Review Board – Old Business

1. New Chick-fil-A Restaurant – **60 E. Wilson Bridge Rd.** (Bill Skebba) **ARB 109-2022**

E. Municipal Planning Commission – Old Business

1. **Conditional Use Permit**

- a. Drive-In Commercial Use in C-4 – New Chick-fil-A Restaurant – **60 E. Wilson Bridge Rd.** (Bill Skebba) **CU 09-2022**

F. Other

G. Adjournment



MEMORANDUM

TO: Members of the Architectural Review Board
Members of the Municipal Planning Commission

FROM: Lynda Bitar, Planning Coordinator
R. Lee Brown, Director

DATE: October 20, 2023

SUBJECT: Staff Memo for the Meeting of October 26, 2023

B. Architectural Review Board – Consent Agenda

There will be no separate discussion of Consent Agenda items as they are considered to be routine by the Board and Commission and will be adopted by one motion. If a member of the Board & Commission, staff, or public requests discussion on a particular item, that item will be removed from the Consent Agenda and considered separately on the agenda. Approval of Consent Agenda items includes conditions as listed in the staff memo.

1. Fence – **334 E. Dublin-Granville Rd.** (Alyse Goldberg/Wadsworth) **ARB 83-2023**

Findings of Fact & Conclusions

Background & Request:

The 1,632 sq. ft. home was constructed in 1916 with an existing 840 sq. ft. detached garage to the rear of the home. The applicant would like to fence in a small section of the yard immediately adjacent to the rear of the home with a 4' tall black aluminum fence.

Project Details:

1. The fence is planned to connect to the northwest corner of the house; extend west approximately 12'; and then go north 66'; and then go east 26' to the concrete pad adjacent to the garage which would include a 6' or 8' wide gate. The fence will then come 46' south to connect with the existing house which would include a 4' gate near the rear entrance to the home.
2. The proposed fence appears to be 5' to 6' off the property line according to the site plan.
3. The fence would be black aluminum and 4' in height.

Land Use Plans:Worthington Design Guidelines and Architectural District Ordinance

Side yard fences should be open in style (avoid solid, opaque fences that block all views) and three to four feet in height. In the back yard, generally avoid fences over four feet in height; higher fences are discouraged but may be appropriate where a commercial use abuts a residential property. In all cases, no fences higher than six feet are permitted.

Recommendations:

Staff is recommending approval of this application as the fence is similar in style to other fences approved by the Board throughout the Architectural Review District.

Motion:

THAT THE REQUEST BY ALYSE GOLDBERG ON BEHALF OF MICHELLE WADSWORTH FOR A CERTIFICATE OF APPROPRIATENESS TO ADD FENCING AT 334 E. DUBLIN-GRANVILLE RD., AS PER CASE NO. ARB 83-2023, DRAWINGS NO. ARB 83-2023, DATED OCTOBER 11, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

2. Shed – 600 Morning St. (Paul Campagnoli) ARB 84-2023**Findings of fact & Conclusions****Background & Request:**

This house was constructed as a split-level in 1948 but was changed to a two-story house in 2011 and is approximately 1,988 sq. ft. in size. Approval of this request would permit the applicant to install a shed on the property.

Project Details:

1. The shed would be 10'x14' (140 sq. ft.).
2. The shed would have wood siding and have dimensional shingles that would include two double-hung windows along the front along with double doors and a single door with transom windows.
3. The application materials show a picture of a white shed with either black or dark green doors and window shutters. The color of the shed should be painted to complement the color found on the existing home.
 - a. Clarification needed on the color of the shed.
4. Proposed to be 2' from the southern property line where 5' is required by Code.
 - a. A variance from the Board of Zoning Appeal will be required. The applicant will be on the November 2, 2023, Board of Zoning Appeals agenda.
 - b. The Board has typically approved garages and sheds to be 3' from the property line vs. the required 5' needed. The applicant will need to present their case to the Board of Zoning Appeals to deviate from their practice of reducing the setback from 5' to 3' to the proposed 2' from the property line.

- c. There are no Building Code issues since the structure is under 200 sq. ft. in size.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

New outbuildings should use design cues from older nearby structures, including form, massing, roof shape, roof pitch and height, materials, window and door types and detailing. Try to create a new building compatible in appearance with the house it accompanies.

Recommendations:

Staff is recommending approval of this application as presented if the Board feels comfortable with the location of the proposed shed. The Board of Zoning Appeals will have the final approval of the location of the shed.

Motion:

THAT THE REQUEST BY PAUL CAMPAGNOLI AND ELIZABETH MELVILLE FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL A SHED AT 600 MORNING ST. AS PER CASE NO. AR 84-2023, DRAWINGS NO. AR 84-2023, DATED OCTOBER 12, 2023 BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

C. Architectural Review Board – New Business

1. Renovation, Addition and New Garage – **672 Evening St. (Jamee M. Parish/Smith) ARB 81-2023**

Findings of Fact & Conclusions

Background & Request:

This 1,736 sq. ft. Dutch Colonial was constructed in 1925 and includes an existing 324 sq. ft. detached garage that is a contributing structure in the Historic District. The lot is rather small at 50'x150' for a total lot area of 7,500 sq. ft. The applicant would like to demolish the existing garage and construct a new 2-car garage and demolish an existing deck to construct a new kitchen/dining area and bathroom addition to the rear of the home while installing new siding and trim to the entire house.

Project Details:

1. Garage-
 - a. The existing detached garage is proposed to be demolished.
 - b. Construct a new 24'x24' (576 sq. ft.) garage.
 - c. Siding is to be board and batten siding that will be painted white to match the house.
 - d. Two separate garage doors will be installed with a man-door and window on the northern elevation.
 - a. Garage doors will be Clopay “coachman” line with no windows and will be painted to match the siding and trim.

- b. Proposed setback along the eastern and southern property line will be 3' where an 8' side yard and a 10' rear yard is required by Code.
 - i. A variance from the Board of Zoning Appeal will be required. The applicant will be on the November 2, 2023, Board of Zoning Appeals agenda.
 - ii. The existing garage is approximately 0.7' from the eastern property line and 1.1' from the southern property line.
 - e. The detached garage is proposed less than 5' from the property line and per RCO 302.1 the exterior wall will be required to be 1-hour fire-resistance rated constructed.
- 2. Rear Addition-
 - a. Demolition of the existing deck to permit the construction of a one-story kitchen/dining area that would include a full-bath addition.
 - b. Transom windows will be installed on the northern elevation in the dining area as well as two doors and windows on the eastern elevation that will have access to a future patio. A small window will also be installed in the new bathroom in the addition.
 - c. The addition will be offset by 12" and will 4.7' from the northern property line where 6' is required by Code.
 - i. The existing structure is currently location 3.7' from the northern property line.
 - ii. A variance from the Board of Zoning Appeal will be required. The applicant will be on the November 2, 2023, Board of Zoning Appeals agenda.
 - d. The addition is proposed less than 5' from the north property line and per RCO 302.1 the exterior wall will be required to be 1-hour fire-resistance rated constructed.
- 3. Siding & Trim-
 - a. Removal of the existing aluminum siding is to be replaced with new Hardie plank 7" lap siding.
 - b. Painted Sherwin Williams 7004 Snowbound.
- 4. Roof-
 - a. Dimensional shingles to remain and new shingles on the addition and garage are to match.
- 5. Windows & Doors-
 - a. Will be wood with white aluminum cladding. Brand to be determined.
 - i. Clarification needed on whether the windows and doors will have interior or exterior muntins.
 - b. The existing windows on the home are proposed to remain except for one window on the rear of the home that will be removed related to the roof pitch of the addition.
 - i. The removal of the rear window will not be visible from the street and the new addition and new siding will cover the location of the existing window.
- 6. Lighting-
 - a. Light fixtures where not provided as part of the application materials. The applicant has stated that both the fixtures on the house and garage will be black.
 - i. Clarification needed.
- 7. Patio-
 - a. Proposed to be a bluestone patio that will be installed at grade and in the future.
 - i. Does not need to be approved by the Board since the patio is proposed to be at grade.

8. Mechanical Equipment –

- a. The existing HVAC equipment is located on the southeast corner of the existing home. The site plan does not show the location of the equipment, so if the equipment is to be in a different location it will need to be shown on the site plan and screened from view.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

A decision on whether a particular demolition is appropriate must be made in light of several factors, including whether the demolition is full or partial; the age of the structure; and the impact of the demolition on Worthington's character; and plans for the site following demolition (is the proposed replacement appropriate for Worthington? Does it follow the design guidelines for new structures?) Generally, demolition of pre-1950s buildings should be avoided. These tend to contribute the most to a community's character. However, it may be desirable to avoid demolishing a newer building, depending on what is proposed to replace it.

Residential additions are recommended to maintain similar roof forms; be constructed as far to the rear and sides of the existing residence as possible; be subordinate; and have walls set back from the corners of the main house. Design and materials should be traditional, and compatible with the existing structure.

Older outbuildings, sheds, and garages should be retained and repaired. They add variety and visual interest to the streetscape and are part of Worthington's character.

New outbuildings should use design cues from older nearby structures, including form, massing, roof shape, roof pitch and height, materials, window and door types and detailing. Try to create a new building compatible in appearance with the house it accompanies.

Decks and patios should be limited to the rear of buildings. Patios may be constructed of concrete, stone or brick. Consider the style of the house when designing decks and patios, since some styles and some designs are not compatible.

Staff Analysis:

- The existing garage is a contributing structure in the Historic District and while it has many unique characteristics, it is rather obsolete in size and function. The size of the lot is rather small, and it makes it difficult to construct an additional garage and/or shed for vehicle and personal storage on the site.

Recommendation:

Staff is recommending approval of this application if the Board is comfortable with clarifying information related to the mechanical equipment location, windows, doors and proposed lighting as outlined in the memo.

Motion:

THAT THE REQUEST BY JAMEE PARISH ON BEHALF OF PAM SMITH FOR A CERTIFICATE OF APPROPRIATENESS FOR A RENOVATION AND

CONSTRUCTION OF AN ADDITION AND NEW GARAGE WITH THE DEMOLITION OF THE EXISTING GARAGE AS PER CASE NO. AR 81-2023, DRAWINGS NO. AR 81-2023, DATED OCTOBER 5, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

2. New Dormers, Screened Porch, Garage Addition, Patio and Sports Court – **703 Oxford St.**
(Brenda S. Parker/Saunders) **ARB 82-2023**

Findings of Fact & Conclusions

Background & Request:

This 1,845 sq. ft. Bungalow and garage were constructed in 1908 on a 14,375 sq. ft. lot. The new property owners would like to make several modifications to the existing home and site.

Project Details:

1. Dormers-
 - a. Proposing to add two additional dormers on the southern and northern side of the existing home.
 - i. The additional room will be utilized to increase the upstairs from two bedrooms and one bath to three bedrooms, office and two full bathrooms.
 - ii. The dormers on the southern and northern side of the home will mimic the style of the existing dormer on the eastern elevation, however the proposed roofline for the dormers will be higher than the existing eastern dormer.
 - iii. Marvin Elevate awning fiberglass exterior with wood interior.
 1. Clarification needed on whether the windows and doors will have interior or exterior muntins.
 - iv. Removal of the existing chimney on the northern is proposed as the dormer addition will be in this location.
 1. Chimneys are considered a defining feature of a building and should be repaired or maintained.
 - a. The Board should discuss the removal of the chimney.
 - b. Roofing appears to be dimensional shingles to match the exiting dimensional shingles on the home.
 - c. The existing vinyl siding on the rear western dormer will be replaced with cedar lap siding to match the existing home.
 - d. Siding and trim will be cedar lap siding.
 - i. Paint color was not referenced.
 1. Clarification needed.
2. House Siding & Windows-
 - a. The applicant is proposing to replace the existing siding on the southwest corner of the existing home with cedar siding to match the existing lap siding and add a small window to a mudroom.
 - i. Details for the window were not provided.

- b. The applicant is proposing to remove and enclose a window on the southern side of the house and are proposing the enclosed area to match the existing siding.
 - c. The removal of the window, siding change and addition of a window are modifications that are not visible from the public right-of-way and will be screened from view by the existing garage and proposed garage addition.
 - d. Basement egress windows are shown on the floor plans; however, the elevations do not reflect this change.
 - i. No information was provided.
 - 1. Clarification is needed.
- 3. Front Porch-
 - a. The applicant is proposing the replace the existing lattice fencing under the porch with new 2"x2" balusters with screening behind.
- 4. Garage & Garage Addition-
 - a. The existing garage is referenced as a contributing structure in the Historic District and is also one of the garages that can be found in the Worthington Design Guidelines.
 - i. Staff appreciates the new property owner preserving the existing structure.
 - b. The existing detached garage is to remain with a 10'x12' (120 sq. ft.) addition to the rear of the existing garage.
 - c. Installing a new garage door that will mimic what is there today.
 - i. 10' wide by 8' high Clopay Coachman Series with frosted glass.
 - d. Siding and trim will be cedar lap siding.
 - i. Paint color was not referenced.
 - 1. Clarification needed.
 - e. The garage addition will have a single door, double door and one window.
 - i. Door materials were not specified.
 - 1. Clarification needed.
 - ii. The siding will be cedar lap siding that appears to match the lap width on the existing home. The siding on the existing garage appears to have a much smaller width.
 - 1. Clarification needed.
- 5. Screened Porch & Deck-
 - a. The existing upper deck structure is to be reutilized on the rear of the home for the screened porch.
 - b. Timbertech decking will be installed for decking and guardrail on the screened porch and lower deck.
 - c. Flat membrane roofing is proposed on a low sloped roof of the screened porch.
 - d. It appears that an existing patio door will be removed and replaced with a single door and there will be an additional patio door added to the screened porch to replace an existing window.
 - i. No information was provided.
 - 1. Clarification needed.
 - e. It appears that the existing HVAC mechanical equipment will need to be relocated as part of the screened porch addition.
 - i. Mechanical equipment location needs to be addressed and the equipment

will need to be screened. The mechanical equipment has not been shown on the site plan.

1. Clarification needed.

f. Screening has not been proposed under the screened porch and deck.

i. Clarification needed.

6. Painting-

a. The application references that the house and garage will be painted, however no paint color was referenced.

i. Clarification needed.

7. Lighting-

a. Not provided.

b. Additional lighting or any change in fixtures has not been shown at this time.

i. If there are to be new light fixtures or additional fixtures added, the Board would need to approve.

1. Clarification needed.

8. Patio & Sidewalk-

a. A circular patio has been shown on the northwest corner of the home that will be accessed by the existing side door and from the new screened porch.

b. Proposing to use bluestone pavers for the circular patio and the sidewalk on the southern side between the house and garage.

c. A stack stone seatwall is proposed around the circular patio, however no additional information was provided.

i. Clarification needed.

9. Sport Court-

a. Proposed 25'x20' sport court is proposed that will be 5' from the western property line and 15' from the southern property line and includes a new stacked stone retaining wall that will be 24" in height.

i. Information was not provided.

b. It is unknown if the applicant plans to install lighting.

i. Any lighting must be approved by the Board.

1. Clarification needed.

10. Misc...

a. Many of the elevations have the incorrect direction shown.

i. Needs corrected.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Wood siding is preferred and should be used in one of its traditional forms: shingle, board-and-batten, shiplap or beveled siding. New siding should match the thickness and width of the old as closely as possible. Gutters catch water as it flows off the edge of the roof and usually have one of two designs: semi-circular "half round" gutters, consisting of troughs suspended on straps or wires that run under the roofing material; and "ogee" gutters with a flat back and an S-curve front profile, attached by long nails to a vertical fascia board below the edge of the roof. Design and materials should be traditional, and compatible with the existing structure.

New porches should be built in a simple design. Look at original porches on similar buildings -- height, materials, roof slope, and width -- and use these to develop a design. Avoid ornamentation such as spindles and scrollwork unless they were traditionally used on the porches of similar buildings. Design and materials should be traditional, and compatible with the existing structure.

Residential additions are recommended to maintain similar roof forms; be constructed as far to the rear and sides of the existing residence as possible; be subordinate; and have walls set back from the corners of the main house. Be sure that window designs are appropriate for the style or time period of the house.

Roof shapes for new buildings should be appropriate to the style or design of the building. If a new building does not follow a particular style but is instead a vernacular design, then roof shapes and heights similar to those in the neighborhood or nearby would be most appropriate.

Decks and patios should be limited to the rear of buildings. Decks should be built of wood and kept low to the ground. Finishes should be either paint or an opaque stain to match the color of the building or its trim. Patios may be constructed of concrete, stone or brick. Consider the style of the house when designing decks and patios, since some styles and some designs are not compatible. Avoid overly bright lights. Locate and orient fixtures to minimize light “spill” onto adjacent properties. Try to avoid placing lights so they shine directly into nearby windows or provide trees or bushes that can block the light.

Retain historic light fixtures to the extent possible, especially those original to the house. In selecting new light fixtures, simple designs are usually the best. Avoid overly ornate fixtures and ones that are out of scale with the building. Select fixtures appropriate to the building’s character or that are similar to those used on buildings from the same period or style.

Chimneys are a defining feature of a building and should be repaired and maintained.

Recommendation:

Staff is recommending **conditional approval** if the applicant can provide all the additional information referenced in the staff memo prior to the meeting. If the applicant is unable to address the needed items, staff recommends **tabling** the application until the outstanding items can be provided.

Motion:

THAT THE REQUEST BY BRENDA PARKER ON BEHALF OF STEPHANIE & RANDALL SAUNDERS FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL NEW DORMERS, CONSTRUCT A SCREENED PORCH, GARAGE ADDITION, PATIO AND SPORTS COURT AT 703 OXFORD ST. AS PER CASE NUMBER AR 82-2023, DRAWINGS NUMBER AR 82-2023, DATED OCTOBER 6, 2023 BE APPROVED, BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

D. Architectural Review Board – Old Business

1. New Chick-fil-A Restaurant – **60 E. Wilson Bridge Rd.** (Bill Skebba) **ARB 109-2022**

&

E. Municipal Planning Commission – Old Business

1. **Conditional Use Permit**

- a. Drive-In Commercial Use in C-4 – New Chick-fil-A Restaurant – **60 E. Wilson Bridge Rd.** (Bill Skebba) **CU 09-2022**

Findings of Fact & Conclusions

Background & Request:

Buca di Beppo opened at this location in 2001 and has operated there ever since. The property is in the C-4 Zoning District but is also subject to provisions in the Wilson Bridge Corridor (WBC) chapter of the Code. The site is made up of a parcel that is 582.5' deep on the north side (33' of that depth is part of a highway easement); 591.37' deep on the south side (33' of that depth is part of a highway easement); about 180' wide at E. Wilson Bridge Rd.; and about 160' wide at N. High St. for a total of about 2.3 acres (2.18 acres without the area in the highway easement). The highway easement needs to be dedicated to the City as right-of-way. Although the site has frontage on N. High St. and E. Wilson Bridge Rd., access is only allowed from E. Wilson Bridge Rd. as N. High St. is limited access right-of-way.

The applicant is proposing to demolish the existing building and construct a new Chick-fil-A restaurant with a drive-thru. Some revisions have been made since the ARB first heard the request in January and September of this year.

As of October 19, 2023, the applicant only provided site plans. No other information provided with the application materials.

Project Details:

1. Site:
 - a. Building Location:
 - A 5028 square foot (sf) building is now proposed about 100' from the N. High St. right-of-way vs. the previously proposed 85' from the N. High St. right-of-way.
 - The required setback is 100' along N. High St.
 - The required side yard in the C-4 Zoning District is 15' so the canopies and dumpster enclosure would also be closer than allowed to the property lines.
 - The northern canopy will be approximately 8.4' from the northern property line.
 - The southern canopy will be approximately 9.3' from the southern property line.

- a. Canopy Locations:
 - Two canopies are proposed – on the north and south sides of the building.
 - The north side canopy would be a 55'1" x 26'1" freestanding structure.
 - The south side canopy would be a roughly 69' x 31' part of the building.
- b. Parking and Drive-thru:
 - The existing 35.5' wide drive would be reused and allow for an entrance lane, and right and left turn lanes out of the property.
 - Asphalt pavement framed with curb and gutter would start at 34' from the E. Wilson Bridge Rd. property line vs. the previously proposed 50' from the E. Wilson Bridge property line and cover most of the site between that line and the building.
 - Parking for 83 vehicles, including 4 ADA spaces adjacent to the east side of the building is proposed. Based on the building size, the minimum number of spaces required would be 68; the maximum number of spaces allowed in the WBC would be 85. Parking space size for non-ADA spaces would be 10' wide and 18' deep.
 - Drive-thru customers would be directed to veer to the right after entering the lot and two 12' wide drive-thru lanes with 3' striped between would begin about 113' from the right-of-way. Pavement on the north side is proposed 15' from the property line, transitioning to about 6' at the jog in the property.
 - At about 155' east of the building, the pavement would change to concrete. The two drive-thru lanes would continue around the building, coming as close as 70' to the N. High St. right-of-way vs. the previously proposed 50', and transition back to asphalt just east of the building. The parking on the south side is proposed at the property line.
 - Magnetic delineators that were previously proposed all along the lanes are no longer shown. Now, there may be a couple delineators under both canopies, and team member crossing flex signs under the meal delivery canopy. Examples of all ground signage is needed.
- d. Pedestrian Access:
 - The previous connection to the north has been replaced with a sidewalk entering the property from the Wilson-Bridge Rd. sidewalk, crossing the drive thru entry, and continuing through parking lot islands to the building.
 - The revised plans show a sidewalk along the southern portion of the site extending out to N. High St.
 - This portion of N. High St. is limited in access and sidewalks directly to the N. High St. public right-of-way is not permitted.
 - The site plan needs to be updated.
- e. Outdoor Seating Area:
 - Four tables with red umbrellas are shown east of the north end of the building in front of the main entrance. Logos would not be permitted on the umbrellas.
 - Catalogue cuts or photographs are needed for the furniture.
 - The area is proposed on concrete and surrounded by a black metal picket fence.
- f. Bicycle Racks:
 - Four inverted "U" bicycle racks are proposed in front of the building at the north end. Modifications have been made to the location of the bike racks.

- g. Site Coverage:
 - The applicant has calculated the impervious area at 65,942 sq. ft. ~~71,330 sq. ft.~~ which is 72% ~~78.35%~~ of the site.
 - The WBC guidelines permit a maximum of 75% lot coverage.
- h. Dumpster Enclosure:
 - An enclosure that is 36'8" wide x 10'8" deep x 8'8" high is proposed about 6' from the south property line at about the midpoint of the parking lot.
 - The enclosure would have brick walls and metal doors, but the color shown on sheet A-103 is brick that is yellow/gold.
 - Updated materials were not provided.
- i. Landscaping:
 - Trees, shrubs, and ground cover are proposed at the perimeter and in islands in the parking lot.
 - Parking Lot Islands/Peninsulas – A combination of Thornless Honey Locust and Willow Oak trees are proposed. The trees would be 3" caliper at planting. Coniferous and deciduous shrubs, perennials and grasses would complete the areas.
 - East Side – Planting beds are proposed adjacent to the parking lot on both sides of the drive and would combine with four peninsulas at the front of the parking lot. The remainder of the property between the planting beds and the sidewalk is proposed to be sod.
 - North Side - Four Willow Oak Trees are proposed in the area between the parking lot and the property line.
 - South Side – Plantings are proposed on the south and east sides of the dumpster enclosure; and along the area south of the building and drive-thru.
 - West Side – Planting beds are proposed at the western corners of the lot and along the west side of the drive-thru lanes.
- j. Lighting:
 - Pole lights are proposed for the parking lot with the fixture mounting height being 15' and 10'. Bases with 2' of exposed concrete are proposed. The rectangular fixtures and poles are proposed in black. LED light sources would have color temperature of 3000k.
 - Round low-profile surface mounted fixtures are proposed under canopies on the building.
 - Details about the light source have not been provided.
 - The drive-thru canopies would have 6 square fixtures each in the ceilings, which are 12' high. The color temperature would be 3000k.
 - The photometric drawing shows the average footcandles for the site would be 3.1. The brightest lighting level is under the canopies at 34.7 footcandles.
- k. Utilities:

All utilities are existing for the site except a new fire protection line would be needed and would be run from the 6" watermain on the east side of E. Wilson Bridge Rd., with hydrants added near the street and within the dumpster enclosure. Utility connections will be reviewed by the City Engineer.

 - City of Westerville Electric Division reference should be deleted from

applicable sheets.

l. Stormwater:

- The applicant plans to install an underground detention system in the area north of the sign near the N. High St. right-of-way.
 - A variance would be needed for the location within the 100' setback.
- City staff has requested the underground detention system be moved in case this area would need to be utilized in the future to provide access to the parcels fronting N. High St. by an access drive in the future if curb cuts along E. Wilson Bridge Rd. are restricted to a right-in/right-out only movement with a divided median along E. Wilson Bridge Rd.
 - There are no plans at this time, however placement of infrastructure in the setback should be limited.
 - Staff is not requesting an access easement at this time, however if needed in the future the City would expect the applicant to work with the City.

m. Traffic:

- A traffic impact study has been reviewed by the City Engineer. See "Engineering Comments" below.
- There is the possibility in the future that a restricted access to the parcels along this portion of E. Wilson Bridge Rd. would need to be restricted to a right-in/right-out only movement with a divided median along the S-curve of E. Wilson Bridge Rd.
 - There are no plans at this time, however staff felt that any redevelopment in this portion of E. Wilson Bridge Rd. should be aware of changes that may be warranted in the future depending on traffic volumes and conditions.

2. Building: NO new information provided.

a. General Design:

- The proposed one-story building would have a mansard roof with the top having a flat roof about 26' in height, the top 6-7' of the walls being a parapet to hide rooftop mechanical equipment. On the east and west elevations, two gables are proposed that appear like large dormers extending from the parapet walls above. The drive-thru canopy on the south side would have the lower part of the mansard roof but without the parapet walls on top.
- Modular size brick veneer, Glen-Gery Jamestown, is proposed for building, with bricks on their sides creating a water table and in soldier courses for the eaves.
- Argos San Tan would be the mortar color and expansion joint sealant color.
- Prefinished metal coping in midnight bronze would be used at the top of the parapet walls.
- Storefront material would be dark bronze, and windows are proposed with brick sills. A catalogue cut has not been provided for the storefront system.
- It is not clear what color the utility doors and cabinets would be.
- The roof material has not been identified but appears to be a brown asphalt shingle in the rendering.

- The internal dining room would have 74 seats.
- b. East Elevation:
 - The main entry is proposed in the north half of the building and would be a double door flanked by two storefront windows.
 - To the south, staff entrances are proposed. The windows and the doors are shaded but it is not clear what treatment would be used for the glass.
 - A bench is proposed in the middle portion of the wall.
- c. North Elevation:
 - Six storefront windows are proposed, with the westernmost being shaded in some manner.
- d. West Elevation:
 - Three storefront windows are proposed on the north 1/3 of the wall and one metal door is shown in the middle.
 - Other utility doors and high windows would be recessed under the arch of the gable.
- e. South Elevation:
 - Most of the wall would be solid but the columns and arches at the outside of the canopy provides visual interest.
 - A drive-thru window and sliding door are proposed on the east end.
 - Heaters and fans would be added to the canopy ceiling.
- f. Lighting:
 - Twelve 14" high cylinder lights in black are proposed on the north, west and east sides of the building. The width would be 5" and the color temperature 3000k.

3. Drive-thru canopy: NO new information provided.

On the north side a flat-roofed metal canopy is proposed. Brick columns are proposed to support the canopy. Heaters and fans would be added to the canopy ceiling which would be 9'6" from the concrete below.

4. Signage: NO new information provided.

The signage package and the building plans do not match exactly. Clarification is needed.

- a. Building:
 - Four wall signs are proposed – "Chick-fil-A" 11'9" wide x 5' high (58.75 square foot) signs made of white channel letters with white returns.
- b. Freestanding Signs:
 - N. High St. – Face replacement is proposed for the existing pole sign. The cabinet dimensions are shown as 10' wide x 4' high in the packet but were measured as 9'8" wide x 3'10" high when Buca di Beppo was approved. The new sign faces would be translucent cardinal red with "Chick-fil-A" in white, and the sign box and pole would be painted dark bronze.
 - E. Wilson Bridge Rd. - The existing cabinet for the monument sign is proposed to be painted dark bronze. New sign faces would be 6' wide x 4' high (3'10") with translucent cardinal red backgrounds and white "Chick-fil-A" acrylic lettering.
- c. Drive-thru Signs:
 - Menu Boards – Two menu boards are proposed under the north canopy. The support column would be dark bronze 1'10 1/4" wide and 8' tall. The menu boards would be ~4'1" high x 6'8" wide each and post with the top at about 6' high. The

- menu areas are proposed as digital.
- Clearance Bar – A clearance bar is proposed to be 9' above grade at the start of the concrete drive-thru lanes. The support pole would be a matte black color and the dimension would be SW 5403 Gray.
- d. Directional Signs:
 - Regulatory signs such as stop, do not enter, and handicap parking are shown as part of the sign package but approval is not necessary.
 - Two 2' high x 1'6" wide "Drive Thru/Dine In" sign with arrows are proposed near the site entrance. Total height would be 9'.
 - Other directional signs are shown on the site plan under the canopies, but the style, size and number have not been identified.
 - Curbside pickup signs have not been included but are expected.
- e. Flag Pole:

A flag pole is proposed in a landscape island near the southeast corner of the building. The pole is proposed to be 50' tall with a 12' x 18' flag.
- f. Additional Signs:
 - Aluminum address numbers are proposed to be pin-mounted 8" in height mounted on the N. High St. side of the building.
 - Vinyl film with the store hours is proposed for the exterior of glass doors.
- 5. Project Timeline:

The applicant previously stated construction would begin in August of 2026 with a grand opening in February of 2027. That timeline needs verified.
- 6. Variances:

Following is a list of necessary variances based on this submittal:

 - a. Building setback from N. High St. – 100' required; about 85' proposed.
 - a. The applicant has now shown the building being pushed to the east by 15' to allow the building to meet the 100' setback requirement for parcels fronting N. High St., however the underground detention system is located within the required setback.
 - b. Both drive-thru canopies in the required 15' side yards and possibly in the required 100' setback from N. High St.
 - c. The dumpster enclosure on the south side within the 15' side yard.
 - d. Signage
 - Wall Signs – Business facing more than one right-of-way are allowed one sign facing each right-of-way. Signs cannot exceed 40 square feet in area. Four wall signs are proposed that are 58.75 square feet each.
 - Freestanding Signs – Parcels in the WBC over 2 acres can have 2 freestanding signs. The digital menu boards and clearance bar would be considered additional freestanding signs for a total of five.
 - Total Sign Area – 100 square feet allowed; the proposed sign area exceeds that limit.
 - Freestanding Signs – The new sign faces must have backgrounds that are opaque.
 - The digital menu boards would need variances for having illuminated backgrounds and changeable copy.

- Directional sign area cannot exceed 20 square feet for the site, and the signs must meet dimensional requirement. It seems the proposed will exceed those requirements, but further information of signs indicated on the site plan as well as any curbside pickup signs is needed. Magnetic and moveable delineators would also be considered directional signs.
- Signs on glass doors would need to be on the inside or considered additional wall signs in need of a variance.
- The flagpole would be higher than the allowable 45' height for the C-4 District.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Scale, Form & Massing: New construction should take special care to employ scale, form, and massing that are similar to and compatible with existing building designs. Simple geometric forms and uncomplicated massing tend to make buildings more user-friendly and help to extend the character of Old Worthington. Carefully designed building facades that employ traditional storefronts -- or similarly-sized windows on the first floor -- will help make new buildings more pedestrian-friendly.

Setbacks: Parking areas should be located toward the rear and not in the front setbacks if at all possible. Unimpeded pedestrian access to the front building facade from the sidewalk should be a primary goal. Building up to the required setback is desirable as a means of getting pedestrians closer to the building and into the main entrance as easily as possible.

Roof Shape: Generally, a traditional roof shape such as gable or hip is preferable to a flat roof on a new building. Roof shapes should be in scale with the buildings on which they are placed.

Materials: New buildings should employ only traditional wood and brick. Contemporary materials that simulate wood can be acceptable if done well, and brick veneer construction over a wood frame also is acceptable. Before making a final selection of materials, prepare a sample board with preferred and optional materials.

Windows: On long facades, consider breaking the composition down into smaller "storefront" units, with some variation in first and upper floor window design. Use traditional sizes, proportions and spacing for first and upper floor windows. Doing so will help link Old Worthington and newer areas through consistent design elements.

Entries: Primary building entrances should be on the street-facing principal facade. Rear or side entries from parking lots are desirable, but primary emphasis should be given to the street entry.

Use simple door and trim designs compatible with both the building and with adjacent and nearby development.

Ornamentation: Decorative treatments at entries, windows and cornices can work well in distinguishing a building and giving it character, but only a few such elements can achieve the desired effect. Traditional wood ornamentation is the simplest to build, but on new buildings it is possible to use substitute materials such as metal and fiberglass. On brick buildings substitute materials can be used to resemble the stone or metal ornamental elements traditionally found on older brick buildings. As with all ornamentation, simple designs and limited quantities give the best results.

Color: For new brick buildings, consider letting the natural brick color be the body color, and select trim colors that are compatible with the color of the bricks. Prepare a color board showing proposed colors.

Signage: While the regulations permit a certain maximum square footage of signs for a business, try to minimize the size and number of signs. Place only basic names and graphics on signs along the street so that drive-by traffic is not bombarded with too much information. Signs must be distinctive enough to be readily visible, but avoid incompatible modern colors such as “fluorescent orange” and similar colors. Bright color shades generally are discouraged in favor more subtle and toned-down shades.

Sustainability:

Sustainability can be achieved by ensuring the economic, environmental and social concerns of Worthington are addressed in a balanced manner. The City of Worthington and its Architectural Review Board are interested in encouraging sustainable design and building practices, while preserving the character and integrity of the Architectural Review District. Recommendations include: encouraging energy conservation methods; using landscape concepts to preserve energy; managing storm water run-off in an environmentally friendly way; using solar panels in locations that minimize the visual impact as seen from the right-of-way and surrounding properties; adding bike racks; using streetscape elements that are of a human scale; making use of recycled, renewable and energy efficient materials; using natural and controlled light and natural ventilation; and minimizing light pollution.

Wilson Bridge Corridor

Site Layout:

Setbacks: Buildings and parking should be set back to provide a buffer between the sidewalk and building, with some variations in the Building Setback Line encouraged throughout the WBC.

- Buildings 50,000 square feet in area or less shall be located between 5’ and 20’ from adjacent Right-of-Way Lines.

Equipment: Exterior service, utility, trash, and mechanical equipment shall be located to the rear of buildings if possible and screened from view with a wall, fence or landscaping. Such equipment shall be completely screened from view. Materials shall be consistent with those used in the building and/or site. Equipment located on buildings shall match the color of the building.

Tract Coverage: A maximum of 75% of the property shall be covered with impervious surfaces.

Pedestrian Access: Sidewalks with a minimum width of 5’, Recreation Paths with a minimum width of 10’, or a combination of both shall be provided along all Rights-of-Way. Pedestrian connections from Sidewalks, Recreation Paths and parking lots to building entrances shall be provided.

Landscaping: There shall be landscaping that complements other site features and creates relief from buildings, parking areas and other man-made elements.

- Drought tolerant, salt tolerant, non-invasive, low maintenance trees and shrubs should be utilized.
- Deciduous trees shall be a minimum of 2” caliper at the time of installation; evergreen trees shall be a minimum of 6’ in height at the time of installation; and shrubs shall be a minimum of 24” in height at the time of installation.
- Parking lot landscaping shall be required per the provisions in Chapter 1171.
- Seasonal plantings should be incorporated into the landscape plan.

- Shrubs and grasses may be planted in clusters and do not need to be evenly spaced.
- The approved landscape plan must be maintained across the life of the development.

Building Design:

- A principal building shall be oriented parallel to Wilson Bridge Road (or High Street), or as parallel as the site permits, and should have an operational entry facing the street.
- The height of a building shall be a minimum of 12' for pitched roof buildings measured to the eave.
- Extensive blank walls that detract from the experience and appearance of an active streetscape should be avoided.
- Details and materials shall be varied horizontally to provide scale and three-dimensional qualities to the building.
- Entrances shall be well-marked to cue access and use, with public entrances to a building enhanced through compatible architectural or graphic treatment.
- Where appropriate, shade and shadow created by reveals, surface changes, overhangs and sunshades to provide sustainable benefits and visual interest should be used.
- Roof-mounted mechanical equipment shall be screened from view on all four sides to the height of the equipment. The materials used in screening must be architecturally compatible with the rooftop and the aesthetic character of the building.

Materials:

- Any new building or redevelopment of a building façade should include, at a minimum, 75% of materials consisting of full set clay bricks, stone, cultured stone, wood or fiber cement board siding. Samples must be provided.
- Vinyl siding and other less durable materials should not be used.
- Long-lived and sustainable materials should be used.
- The material palette should provide variety and reinforce massing and changes in the horizontal or vertical plane.
- Especially durable materials on ground floor façades should be used.
- Generally, exterior insulation finishing systems (EIFS), are not preferred material types.
- A variety of textures that bear a direct relationship to the building's massing and structural elements to provide visual variety and depth should be provided.
- The color palette shall be designed to reinforce building identity and complement changes in the horizontal or vertical plane.

Windows and Doors:

- Ground-floor window and door glazing shall be transparent and non-reflective. Above the ground floor, both curtain wall and window/door glazing shall have the minimum reflectivity needed to achieve energy efficiency standards. Non-reflective coating or tints are preferred.
- Windows and doors shall be recessed from the exterior building wall, except where inappropriate to the building's architectural style.
- For a primary building frontage of a commercial use, a minimum of 30% of the area between the height of 2' and 10' above grade shall be in clear window glass that permits a full, unobstructed view of the interior to a depth of at least 4'.

Lighting: All exterior lighting shall be integrated with the building design and site and shall contribute to the night-time experience, including façade lighting, sign and display window illumination, landscape, parking lot, and streetscape lighting.

- The average illumination level shall not exceed 3 footcandles. The light level along a property line shall not exceed 0 footcandles.
- The height of parking lot lighting shall not exceed 15' above grade and shall direct light downward. Parking lot lighting shall be accomplished from poles within the lot, and not building-mounted lights.
- For pedestrian walkways, decorative low light level fixtures shall be used and the height of the fixture shall not exceed 12' above grade.
- Security lighting shall be full cut-off type fixtures, shielded and aimed so that illumination is directed to the designated areas with the lowest possible illumination level to effectively allow surveillance.

Signs:

Exterior lighting fixtures are the preferred source of illumination.

- Freestanding Signs
 - There shall be no more than one freestanding sign on parcels less than 2 acres in size, and no more than two freestanding signs on parcels 2 acres in size or greater.
 - Freestanding signs shall be monument style and no part of any freestanding sign shall exceed an above-grade height of 10'. Sign area shall not exceed 50 square feet per side, excluding the sign base. The sign base shall be integral to the overall sign design and complement the design of the building and landscape.
 - Freestanding signs may include the names of up to eight tenants of that parcel.
 - Light sources shall be screened from motorist view.
- Wall-mounted Signs
 - Each business occupying 25% or more of a building may have one wall sign and one projection sign. Wall-mounted signs shall not exceed 40 square feet in area, and projection signs shall not exceed 12 square feet in area per side.
 - Wall-mounted and projection signs shall be designed appropriately for the building, and shall not be constructed as cabinet box signs or have exposed raceways.

Parking:

- Non-residential Uses. Parking shall be adequate to serve the proposed uses, but shall in no case exceed 125% of the parking requirement in Section 1171.01.
- Bicycle Parking. Bicycle parking should be provided and adequate to serve the proposed uses.

Public Spaces: A minimum of one Public Space Amenity as approved by the Municipal Planning Commission shall be required for every 5,000 square feet of gross floor area of multi-family dwellings, commercial or industrial space that is new in the WBC. Public Space Amenities are elements that directly affect the quality and character of the public domain such as:

- An accessible plaza or courtyard designed for public use with a minimum area of 250 square feet;
- Sitting space (e.g. dining area, benches, or ledges) which is a minimum of 16 inches in height and 48 inches in width;
- Public art;

- Decorative planters;
- Bicycle racks;
- Permanent fountains or other Water Features;
- Decorative waste receptacles;
- Decorative pedestrian lighting; and
- Other items approved by the Municipal Planning Commission.

Worthington Comprehensive Plan

The 2005 Worthington Comprehensive Plan identifies the High Street Corridor (Extents Area) as a place where consistent site design should be encouraged such as landscape screening and interior planting of surface parking areas, and the location of large parking areas should be to the rear of the site. The corridor could accommodate redevelopment at a higher density, with such projects meeting the needs of the City, providing green setbacks and meeting the Architectural Design Guidelines. The plan recommends promoting a high quality physical environment, encouraging the City to continue to emphasize strong physical and aesthetic design, and high-quality development. Also recommended is encouraging the private market to add additional commercial office space within the City.

Worthington Code Basic Standards and Review Elements The following general elements are to be considered when hearing applications for Conditional Use Permits:

1. Effect on traffic pattern
2. Effect on public facilities
3. Effect on sewerage and drainage facilities
4. Utilities required
5. Safety and health considerations
6. Noise, odors and other noxious elements, including hazardous substances and other environmental hazards
7. Hours of use
8. Shielding or screening considerations for neighbors
9. Appearance and compatibility with the general neighborhood

Worthington Conditional Use Permit Regulations

The following basic standards apply to conditional uses in any "C" or "I" District: the location, size, nature and intensity of the use, operations involved in or conducted in connection with it, its site layout and its relation to streets giving access to it, shall be such that both pedestrian and vehicular traffic to and from it will not be hazardous, both at the time and as the same may be expected to increase with increasing development of the Municipality. The provisions for parking, screening, setback, lighting, loading and service areas and sign location and area shall also be specified by the applicant and considered by the Commission.

Fire Comments:

While required to follow the Ohio Fire Code in its entirety, the applicant will be asked to demonstrate compliance with code requirements found in Ohio Fire Code Sections 503 & 507. High priority concerns contained within OFC Sections 503 & 507 have been summarized below.

- OFC 507.3 Fire flow requirements for the proposed buildings shall be determined by an approved method. (OFC Appendix B will be accepted as an approved method)
- OFC 507.1 An approved water supply capable of supplying the required fire flow for fire protection shall be provided.
- OFC 507.5.1 Where a portion of the building is more than 400 ft from a hydrant, as measured by an approved route around the exterior of the structure, on site fire hydrants shall be provided. (Distance requirement shall be 600 ft if equipped throughout with an approved automatic sprinkler system)
- OFC 503.1.1 Fire apparatus access roads shall extend to within 150 ft of all first story exterior walls. (Distance may be increased to 300 ft if equipped throughout with an approved automatic sprinkler system)
- OFC 503.2.1 Fire apparatus roads shall have an unobstructed width of no less than 20 feet.
- OFC 503.2.3 Fire apparatus access roads shall be designed to support the imposed loads of fire apparatus.
- A travel path exhibit which demonstrates unobstructed access for Ladder 101 will be required. (Fire apparatus access roads only)

General Fire & EMS Notes:

- Installation of key boxes (Knox Box) will be required if the building is equipped with fire alarm / automatic sprinkler systems.
- Emergency responder radio coverage is required in new buildings.
- Installation of an emergency responder radio coverage system may be necessary.
- Proposed fire hydrant must comply with Worthington specifications.

Engineering Comments:

1. The proposed fire hydrant, if needed, will be constructed as a private hydrant located downstream of the site's meter and backflow assembly. These details can be addressed through the water service permitting process.
2. Stormwater management will be required on this site in accordance with the City of Columbus Stormwater Drainage Manual.
3. Based on a review of the project's traffic impact study, this development will not adversely impact existing traffic patterns under the following conditions:
 - a. Landscaping features along the site's frontage to Wilson Bridge Road do not obstruct the sight distance of turning vehicles.
 - b. Mitigation of development related congestion at the intersection of Wilson Bridge Road and High Street requires the Developer to improve the intersection as recommended in the traffic impact study. The design and construction of those improvements shall be completed to the satisfaction of the Director of Service and Engineering.
 - c. There is a possibility that this portion of E. Wilson Bridge Rd. would need to be restricted in the future to a right-in/right-out only movement with a divided median along E. Wilson Bridge Rd. if warranted.
 - d. The 100' setback along N. High St. would permit an access road that could possibly run parallel to N. High St. if needed in the future to provide access to the parcels

along this portion of E. Wilson Bridge Rd. that would need to be discussed as part of a larger future roadway project in the S-curve portion of E. Wilson Bridge Rd. if warranted.

- i. This is yet another reason we have suggested pushing the building to the east and would like to see the underground detention system moved outside of the setback.

Planning Comments:

1. Site

- a. The proposed building being so much closer to N. High St. than the buildings to the north and south will look out of place.
 - o The movement of the building 15' to the east helps address this issue.
- b. A simplified site plan with structures and dimensions to property lines is needed to determine what structures are in the required setbacks.
- c. Pedestrian access from the parking lot to the front door might be difficult as parking, seating and bicycles could be barriers.
- d. Bollards need to have black or bronze covers instead of yellow.
- e. The brick proposed for the dumpster enclosure should match the building.
- f. Parking lot light poles should not have exposed concrete bases.
- g. The canopy ceilings may appear too bright due to the light color and the number of fixtures.
- h. Patio furniture cut sheets are needed.
- i. The proposed flagpole is too high and the flag too large for this site and the community. No higher than 25' with a 4' x 6' flag should be used.
- j. Traffic impact and utilities, including stormwater, must be satisfactory to the City Engineer.
- k. Right-of-way dedication is required for the eastern 33' of the property.
- l. The transformer should be brown in color.
- m. Location of the hydrant appears too close to E. Wilson Bridge Rd. entrance.

2. Building

- a. Placement of expansion joints is preferred to be hidden at corners, gutters and other locations that would camouflage the joints.
- b. Glass should be clear. Concealing of the interior should only be done with internal blinds or shades.
- c. Utility doors and cabinets should be painted bronze.

3. Signage

- a. The building signs are too large and the signs on the north and south elevations should not be approved.
- b. Although the preference would be to install a new monument sign along N. High St., reuse of the existing pole sign is acceptable. The background of the new sign faces for both freestanding signs must be opaque.
- c. The menu board signs seem typical for a drive-thru use.
- d. Graphics proposed for the glass doors must be on the inside of the glass.
- e. The directional signs are taller than allowed.

- f. The amount of signage for the site should be minimized, as the proposed, plus other signs like for curbside pickup, are excessive and do not reflect the desire of the community, the recommendations in the Design Guidelines and the Worthington Codified Ordinances.
- 4. Any requested variances would need approval from the Board of Zoning Appeals.
- 5. Street Trees
 - a. Staff did not require street trees along E. Wilson Bridge Rd. as we did not require them with the redevelopment of the McDonalds site because of safety concerns for the line of sight for those entering and exiting these parcels in the S-curve of E. Wilson Bridge Rd.

Recommendation:

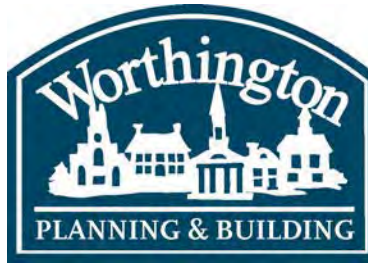
Staff is recommending tabling these applications until all the needed materials have been provided. These materials include but are not limited to an overall signage plan for the site as requested, updated elevations, lighting, patio furniture/umbrella information, movement of the stormwater detention area out of the setback area and removal of the sidewalk now show from the site to the N. High St. right-of-way.

ARB Motion:

THAT THE REQUEST BY KIMLEY-HORN ON BEHALF OF CHICK-FIL-A FOR A CERTIFICATE OF APPROPRIATENESS TO DEMOLISH THE BUILDING AT 60 E. WILSON BRIDGE RD. AND CONSTRUCT A NEW RESTAURANT, AS PER CASE NO. ARB 109-2022, DRAWINGS NO. ARB 109-2022, DATED SEPTEMBER 15, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

MPC Motion:

THAT THE REQUEST BY KIMLEY-HORN ON BEHALF OF CHICK-FIL-A FOR A CONDITIONAL USE PERMIT TO OPERATE A DRIVE-IN RESTAURANT IN THE C-4 ZONING DISTRICT AT 60 E. WILSON BRIDGE RD., AS PER CASE NO. CU 09-2022, DRAWINGS NO. CU 09-2022, DATED SEPTEMBER 15, 2023, BE APPROVED BASED ON THE PLANNING GOALS OF THE CITY, AS REFERENCED IN THE LAND USE PLANS AND THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.



ARB APPLICATION
ARB 0083-2023
334 E. Dublin-Granville Rd.

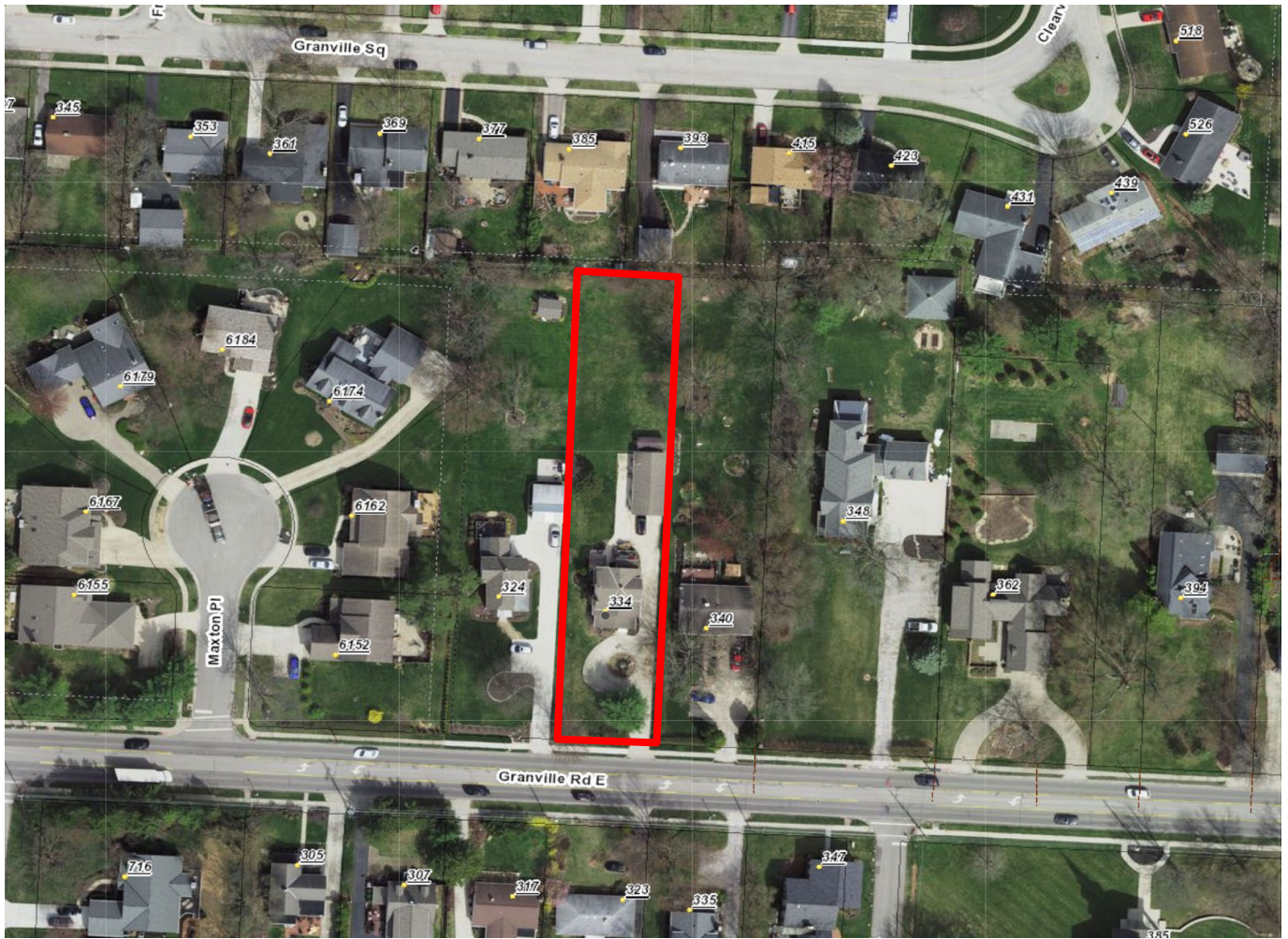
Plan Type:	Architectural Review Board	Project:		App Date:	10/11/2023
Work Class:	Certificate of Appropriateness	District:	City of Worthington	Exp Date:	
Status:	In Review			Completed:	
Valuation:	\$6,800.00			Approval	
Description:	<ul style="list-style-type: none">- 4' tall black aluminum fencing (Nobility Miller)- One 4' single gate- One 8' double drive gate- Core Drilling- 130 linear feet tota				
				Expire Date:	

Parcel:	100-000484	Main	Address:	334 E Dublin-Granville Rd	Main	Zone:	R-10(Low Density Residence)
				Worthington, OH 43085			

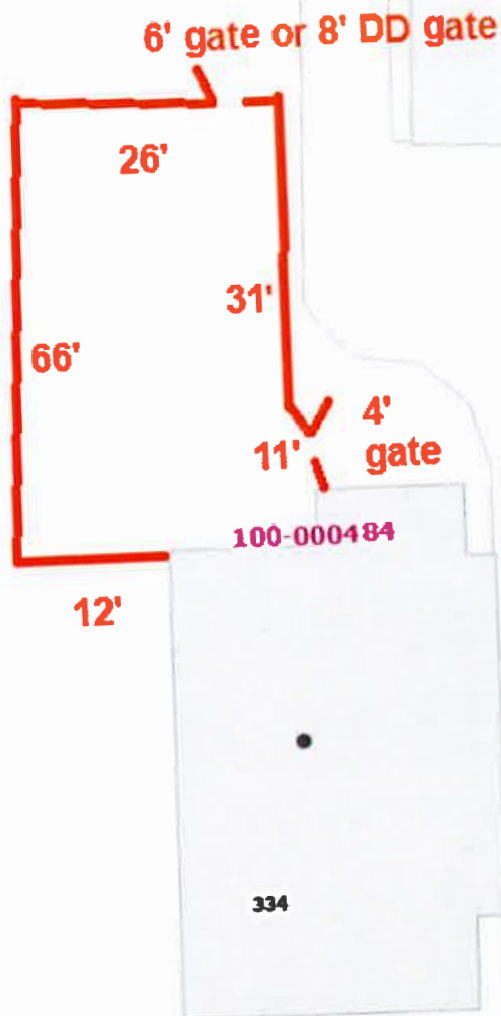
Contractor	Owner	Applicant
Bowden Fence Company	Michelle Wadsworth	Alyse Goldberg
Deborah Caudill	Home: (614) 595-2343	1560 Harmon Ave
1560 Harmon Ave.		Columbus, OH 43223
Columbus, OH 43223		Business: (614) 272-8923
Business: 6142728923		Mobile: (614) 893-8041

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004733	Architectural Review Board	\$7.00	\$7.00
Total for Invoice INV-00004733		\$7.00	\$7.00
Grand Total for Plan		\$7.00	\$7.00

334 E. Dublin-Granville Rd.



330

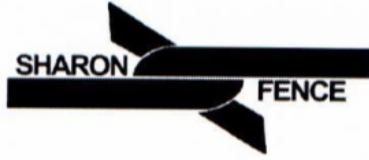


Michelle Wadsworth
Site plan
334 East Dublin Granville Road
Columbus, Ohio 43085

4' Tall Black Aluminum
One - 4' Single Gate
One - 8' Double Drive Gate
130' Linear Feet



CITY OF WORTHINGTON
DRAWING NO. ARB 0083-2023
DATE 10/11/2023



Sharon Fence Distributor
575 N. Nelson Road
Columbus, OH 43219-2998
P: 614-298-0091
F: 614-298-0095

QUOTE

QUOTE # 0139482

Page 1/1

BILL TO:

Niekamp Fence Co DBA Bowden Fence

1560 Harmon Ave
Columbus, OH 43223
P: (614) 562-2470

SHIP TO:

Niekamp Fence Co DBA Bowden Fence

575 Nelson Rd
Columbus, OH 43219

Customer ID	Ship Via	Sales Rep	Job Name	Date	Expiration Date
NIEKAF-01	PICKUP	KPETERMAN	WADSWORTH	9/21/2023	10/06/23

Quantity	UOM	Item #	Description	Unit Price	MarkDown	Extended Price
23	EA	N-M48B	02245_Miller- 48" x 6' Panel-Blk	\$66.8366	\$0.00	\$1,537.24
18	EA	NPB-48L	02255_ 2" x 70" Line Post_Blkl	\$18.66	\$0.00	\$335.88
6	EA	NPB-48E	02257_ 2" x 70" End Post_Blkl	\$19.0154	\$0.00	\$114.09
3	EA	NPB-48C	02256_ 2" x 70" Corner Post_Blkl	\$20.60	\$0.00	\$61.80
3	EA	N-M4848SB	09465_ Miller 48" H x 48" W Gate Blkl	\$232.4429	\$0.00	\$697.33
2	EA	LLAA	Lokk Latch Series 2 Residential Latch Only	\$22.6498	\$0.00	\$45.30
27	EA	NPC-2B	10669_Nobility - 2" Post Cap w/Screw Kit-Blkl	\$1.8833	\$0.00	\$50.85
1	EA	DRA-B	Drop Rod Assembly Blkl for Alum Ornamental Gates	\$24.0665	\$0.00	\$24.07



CITY OF WORTHINGTON
DRAWING NO. ARB 0083-2023
DATE 10/11/2023

Subtotal	\$2,866.56
Misc	\$0.00
Tax	\$215.00
Freight	\$0.00
Trade Discount	\$0.00
Total	\$3,081.56

Special Orders, Gates, Fabricated Items. All special orders are non-cancellable once placed: Special orders consist of any items that Sharon Fence does not stock or sell on a regular basis. All gates and fabricated items are considered special orders and are non-cancellable once the order has gone into production. Sales of all gates, welded or fabricated items, and all wood products are final.

Invoices not paid within terms will be charged a 1.5% monthly service charge.

If payment made with credit card, a 3% convenience fee will be added.

"All quotations and sales of products by Fencing Supply Group (or any of its affiliates) is subject to FSG's then-current Terms and Conditions of Sale located at <https://fencingsupplygroup.com/termsofsale/>."

MILLER

Closed Top, or flat top panels, are available in 2 grades of Nobility aluminum fencing. Panels are available in 4' and 54" heights, 6' wide and feature 2 or 3 rail styles. The contemporary look and feel of a closed top panel will enhance any home or business.



Miller
Size: 4'x6'



Miller Pool
Size: 54"x6'



4' Tall Black Aluminum
Nobility Miller



CITY OF WORTHINGTON
DRAWING NO. ARB 0083-2023
DATE 10/11/2023



ARB APPLICATION ARB 0084-2023 600 Morning St.

Plan Type:	Architectural Review Board	Project:		App Date:	10/12/2023
Work Class:	Certificate of Appropriateness	District:	City of Worthington	Exp Date:	
Status:	In Review			Completed:	
Valuation:	\$6,000.00			Approval	
Description:	Adding a 10' x 14' wooden garden shed to the backyard. Shed has a 8/12 gabled roof with 7 foot sidewalls, a dimensional shingled roof, and wood siding. Two double hung windows will be in the front along with double doors with transom windows. Side door will also include a transom window.				
				Expire Date:	

Parcel:	100-001240	Main	Address:	600 Morning St Worthington, OH 43085	Main	Zone:	R-10(Low Density Residence)
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Owner	Applicant / Owner
Elizabeth S Melville	Paul G Campagnoli
600 Morning Street	600 MORNING ST
Worthington, OH 43085	WORTHINGTON, OH 43085
Home: (614) 601-2789	Business: 6147900114
Mobile: (614) 601-2789	Mobile: (614) 790-0114

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004735	Architectural Review Board	\$6.00	\$6.00
Total for Invoice INV-00004735		\$6.00	\$6.00
Grand Total for Plan		\$6.00	\$6.00

600 Morning St.



To whom it may concern,

Shed placement would be parallel to the neighbor's new house extension (590 Morning St) which terminates in a carport facing our yard. The shed with the requested setback variance would be sited in front of neighbor's carport and provide a sense of privacy without extending the building further into the yard. Also, I'd like to note that the house on the other side (606 Morning St) has a long-extended dwelling that also hems in our yard- so we are basically surrounded.

Of course, the shed will provide much needed storage for our large garden.

Site context photos below.

Thanks for your consideration.

Paul Campagnoli

-600 Morning St

-614-790-0114



CITY OF WORTHINGTON
DRAWING NO. ARB 0084-2023
DATE 10/12/2023



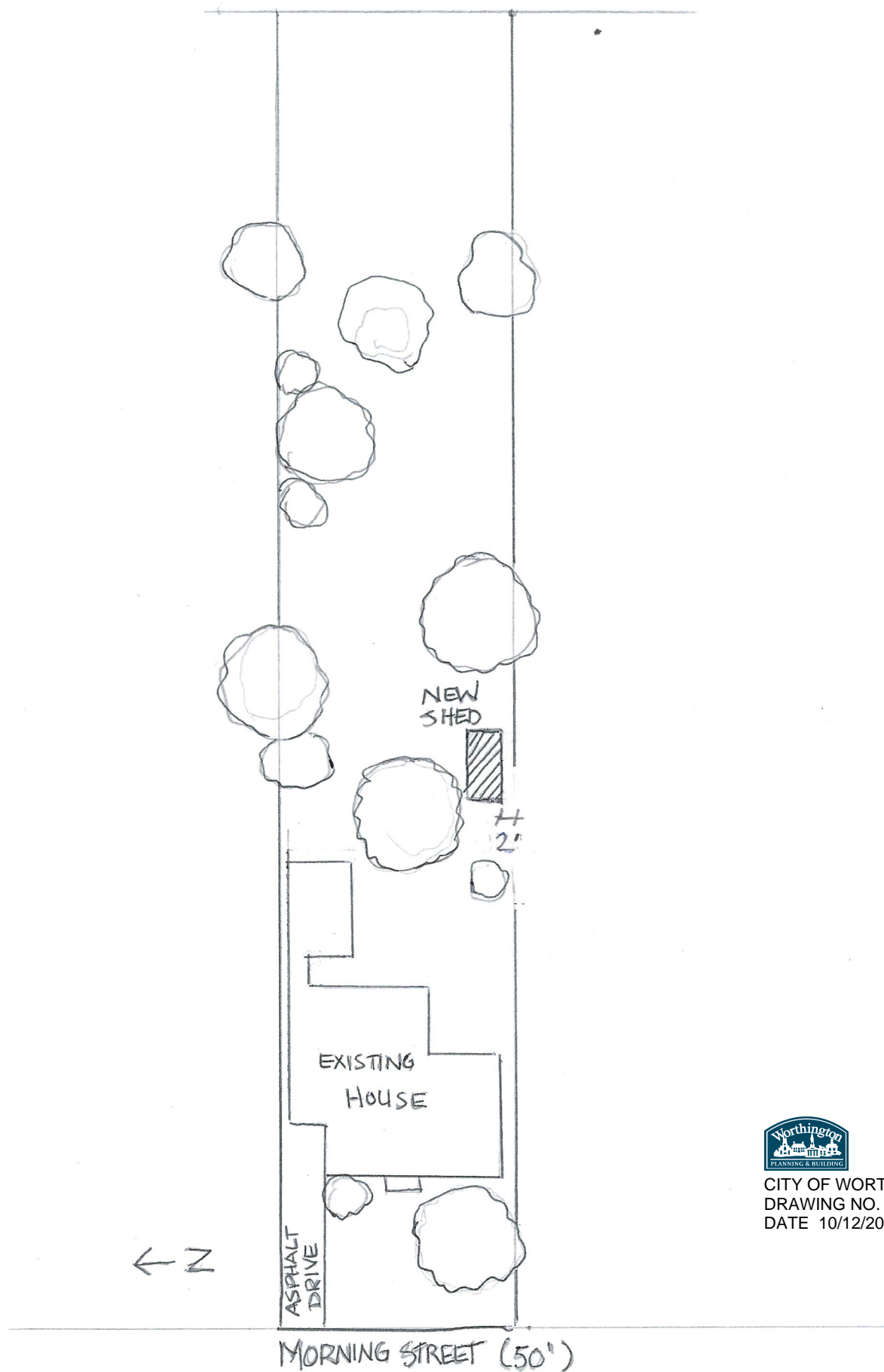
CITY OF WORTHINGTON
DRAWING NO. ARB 0084-2023
DATE 10/12/2023



CITY OF WORTHINGTON
DRAWING NO. ARB 0084-2023
DATE 10/12/2023



CITY OF WORTHINGTON
DRAWING NO. ARB 0084-2023
DATE 10/12/2023



CITY OF WORTHINGTON
DRAWING NO. ARB 0084-2023
DATE 10/12/2023

For 600 Morning Street

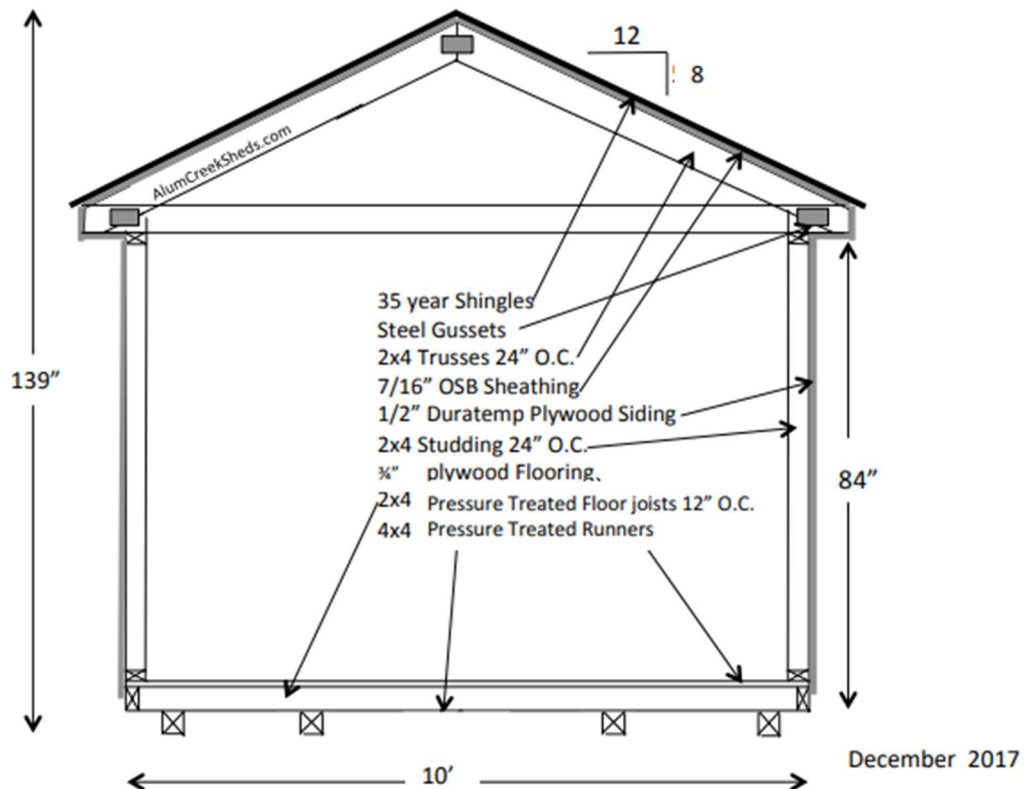


Alum Creek Sheds
15710 East State Route 37
Sunbury, Ohio 43074
614-395-4017
AlumCreekSheds.com

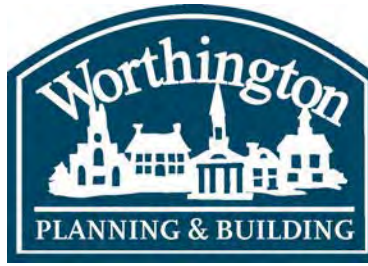
Pendenza Drawing



10x14 Pendenza with 3 transoms and 2 windows



CITY OF WORTHINGTON
DRAWING NO. ARB 0084-2023
DATE 10/12/2023



ARB APPLICATION ARB 0081-2023 672 Evening St.

Plan Type: Architectural Review Board	Project:	App Date: 10/05/2023
Work Class: Certificate of Appropriateness	District: City of Worthington	Exp Date:
Status: In Review		Completed:
Valuation: \$400,000.00		Approval
		Expire Date:

Description: This project consists of removing the old garage that is in bad shape and replacing it with a new 2-car garage.

It also consists of a new rear addition to provide a first floor bathroom and kitchen addition.

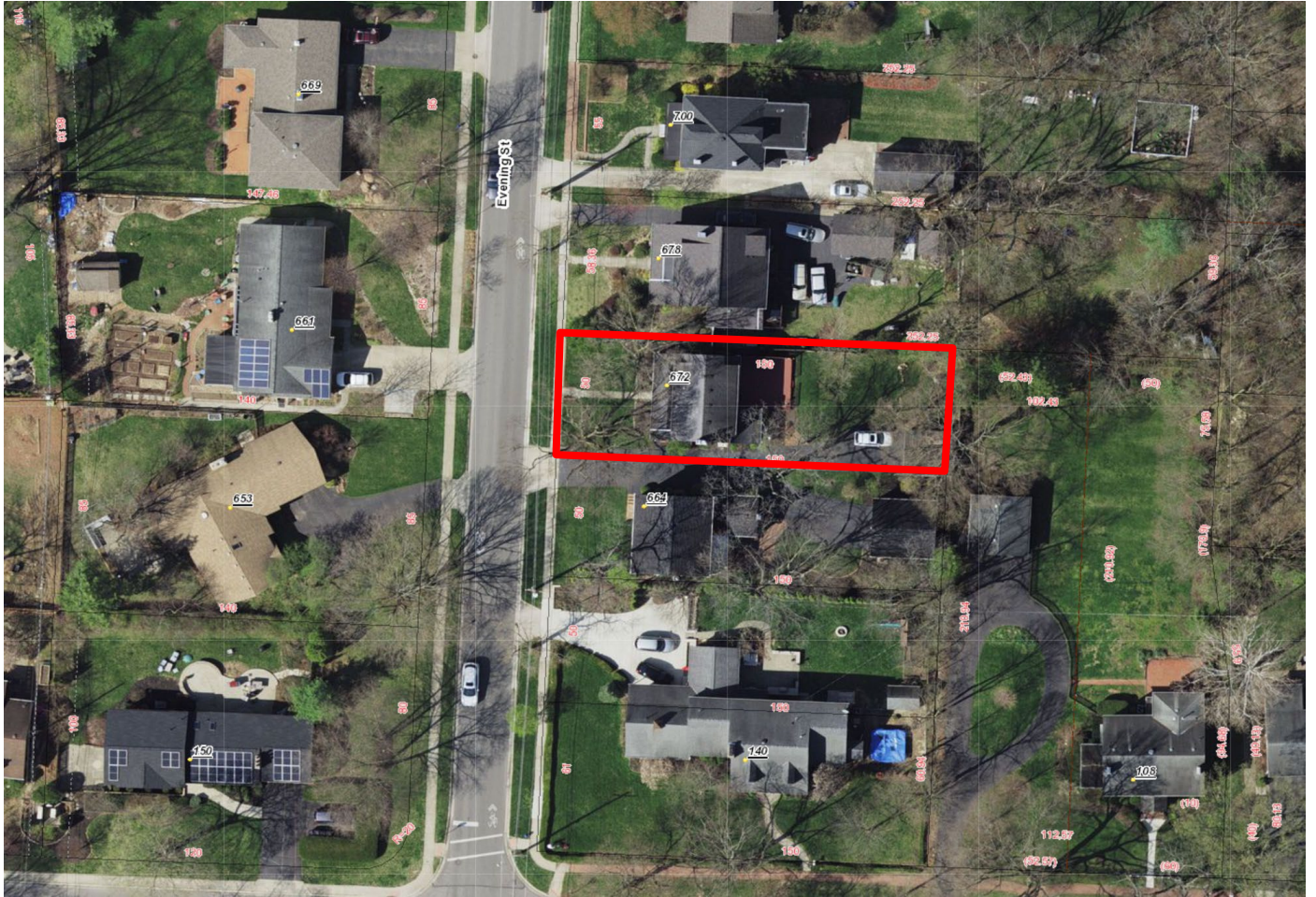
The whole house will also have new siding and trim installed to compliment what we imagine to be the original character of the house.

Parcel: 100-000585	Main	Address: 672 Evening St Worthington, OH 43085	Main	Zone: R-10(Low Density Residence)
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Applicant	Owner
Jamee M Parish	Pam Smith
162 E. North Broadway St.	672 EVENING ST
Columbus, OH 43214	Worthington , OH 43085
Mobile: (614) 404-7092	Mobile: (614) 403-7955

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004726	Architectural Review Board	\$200.00	\$200.00
Total for Invoice INV-00004726		\$200.00	\$200.00
Grand Total for Plan		\$200.00	\$200.00

672 Evening St.



10.05.23

Supporting Statement

For the Residence located at:
672 Evening Street
Worthington, Ohio 43085

Zoning Statement

For the **First Variance**, we are requesting a new detached garage that will encroach into the required accessory setbacks.

- The existing garage is set 0.7' from the Eastern property line and 1.1' from the Southern property line.
- The proposed new garage will be set 3' from both the Eastern and Southern property lines.

The existing garage is in pretty bad shape, so the Owners would like to demolish this garage and add a new, simple 2-car garage in its place. Their back yard is not very large, so they want to maximize their usable green space as much as possible.

If the required setbacks are maintained (and assuming a 24'x24' garage), they would lose approximately 15'1" of space at the West of the garage and approximately 12'2" of space to the North of the garage.

For the **Second Variance**, we are requesting an addition to the rear of the home that will encroach into the 6' non-conforming setback requirement.

- The existing Northeast corner of the house is located at 3.7' from the property line.
- The proposed addition will be set at 4.7' from the property line. This is a 12" offset from where the house currently sits.

For this variance, we will be building further from the Northern house than the existing house, so we are not worsening any access or space. However, every square foot matters on the inside of this house, so an additional 1.3' will make a huge difference on what they can add to their home. The existing kitchen size will already be reduced by 1' in order to accommodate the 12" setback.

Further, while any addition will look nice on the outside, this variance is important in order for the interior spaces to feel more in character with the original house and function well.

Architectural Review Statement

This is a beautiful Dutch Colonial Revival home that has been relatively untouched for many years. The current kitchen is very small, so they'd like to increase the size while still maintaining a scale that compliments the original house. They would also like to have a more accessible first floor bathroom.

Attached to the rear of the new addition will be a small patio. This design is preliminary and will be detailed along with the landscaping in a further project. The finish on this patio and on the landing will be bluestone.

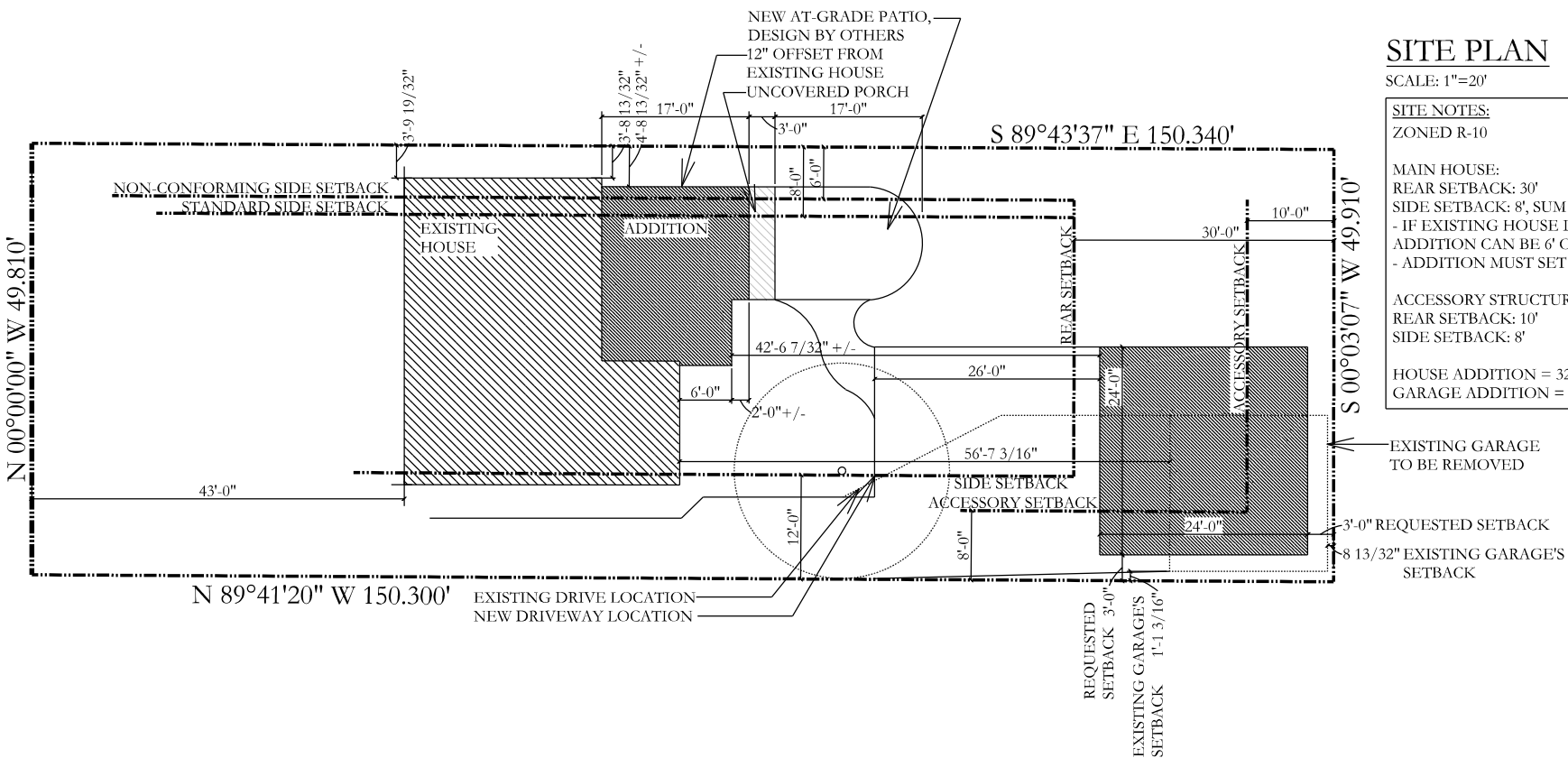
The house has aluminum siding that they'd like to remove. The new siding will be a fiber cement product. There is currently no visible trim around the windows, so we would like to do a flat trim board surround with a small backband; characteristic of house of this age and style. Both the trim and siding will be white like they currently have.

The garage will be a simple 2-car structure. We will be doing board and batten on the garage in a white color as well. We want everything to be crisp and clean looking but would also like to have a change in texture on the garage.

The addition over the bathroom will have a swooped roof to match the roof over the existing rear sunroom and front porch. The kitchen addition will have a relatively steep roof pitch to complement the main house. All of the siding on the house will have the same details.



CITY OF WORTHINGTON
DRAWING NO. ARB 0081-2023
DATE 10/05/2023



SITE PLAN

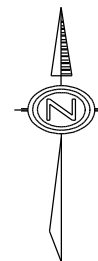
SCALE: 1"=20'

SITE NOTES:
ZONED R-10

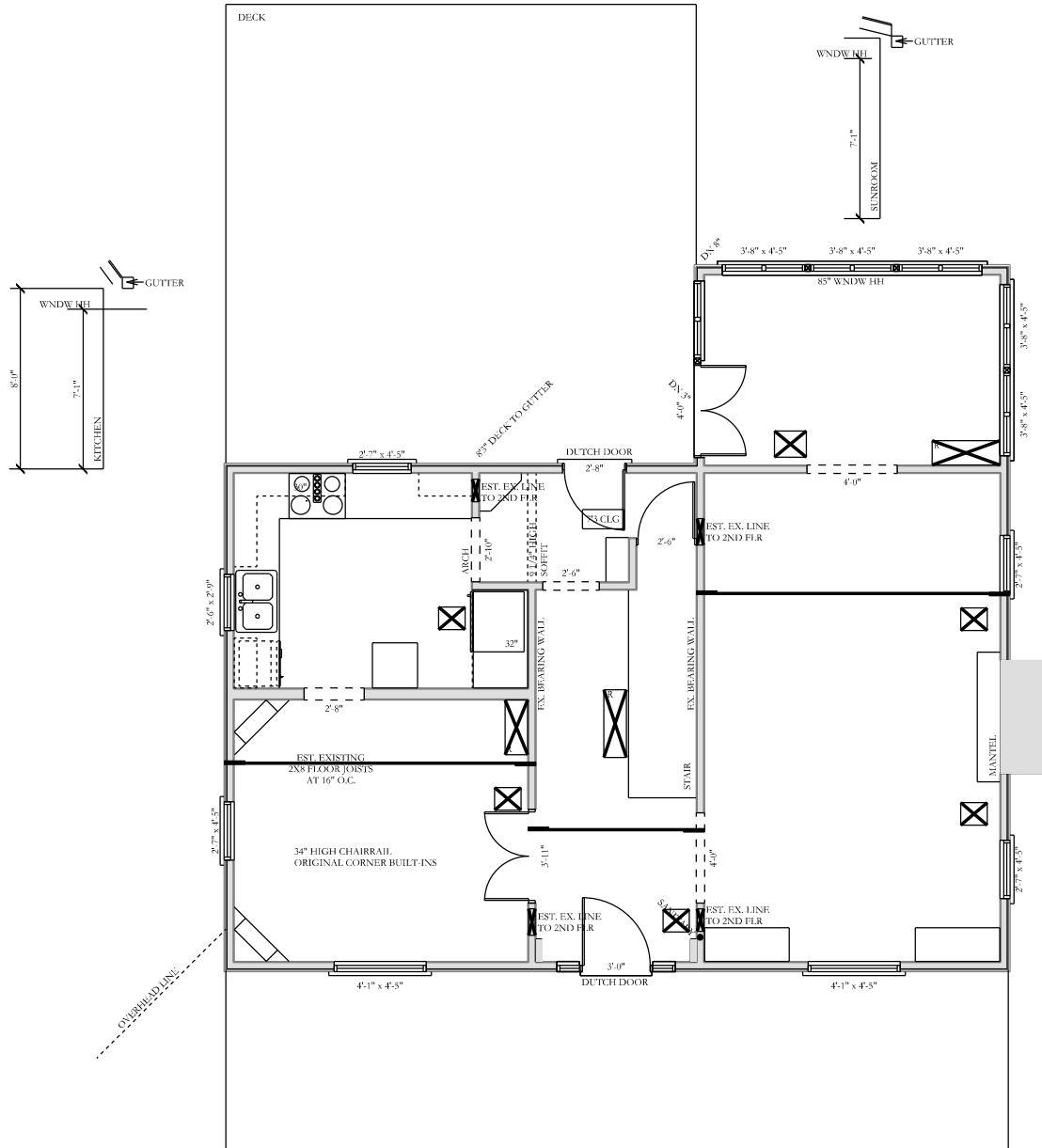
MAIN HOUSE:
REAR SETBACK: 30'
SIDE SETBACK: 8', SUM OF 20'
- IF EXISTING HOUSE IS LESS THAN 6' OFF PROPERTY LINE,
ADDITION CAN BE 6' OFF PROPERTY LINE.
- ADDITION MUST SET 12" OFF OF SIDE OF HOUSE (ARB)

ACCESSORY STRUCTURE:
REAR SETBACK: 10'
SIDE SETBACK: 8'

HOUSE ADDITION = 326 SF
GARAGE ADDITION = 576 SF



CITY OF WORTHINGTON
DRAWING NO. ARB 0081-2023
DATE 10/05/2023



EXISTING FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"

NOTES:
- 8' CEILING HEIGHT (UNLESS NOTED)
- 71" WINDOW HEIGHT (UNLESS NOTED)



CITY OF WORTHINGTON
DRAWING NO. ARB 0081-2023
DATE 10/05/2023

HOUSE - EXTERIOR NOTES:

SIDING+TRIM:

- REMOVE EXISTING ALUMINUM SIDING
- REPLACE WITH NEW HARDIE PLANK LAP SIDING, 7" EXPOSURE, "SMOOTH", COMPOUND MITER AT CORNERS
- NEW TRIM SURROUNDS TO BE 3 1/2" TRIM WITH BACKBAND

PAINT:

- NEW SIDING + TRIM: SW 7004 SNOWBOUND

ROOF:

- EXISTING SHINGLES TO REMAIN
- NEW TO MATCH EXISTING

WINDOWS+DOORS:

- COMPANY TBD; WOOD WITH ALUMINUM CLADDING (WHITE)

LIGHTING:

- BLACK

FLOWER BOX:

- BLACK

PATIO + PORCH LANDING:

- DESIGN BY OTHERS
- BLUESTONE PAVERS

LANDSCAPING:

- DESIGN BY OTHERS

GARAGE - EXTERIOR NOTES:

SIDING+TRIM:

- HARDIE BOARD + BATTEN, "SMOOTH"
- NEW TRIM SURROUNDS TO BE 3 1/2" TRIM WITH BACKBAND

PAINT:

- NEW SIDING + TRIM: SW 7004 SNOWBOUND

ROOF:

- NEW TO MATCH HOUSE

WINDOWS+DOORS:

- COMPANY TBD; WOOD WITH ALUMINUM CLADDING (WHITE)

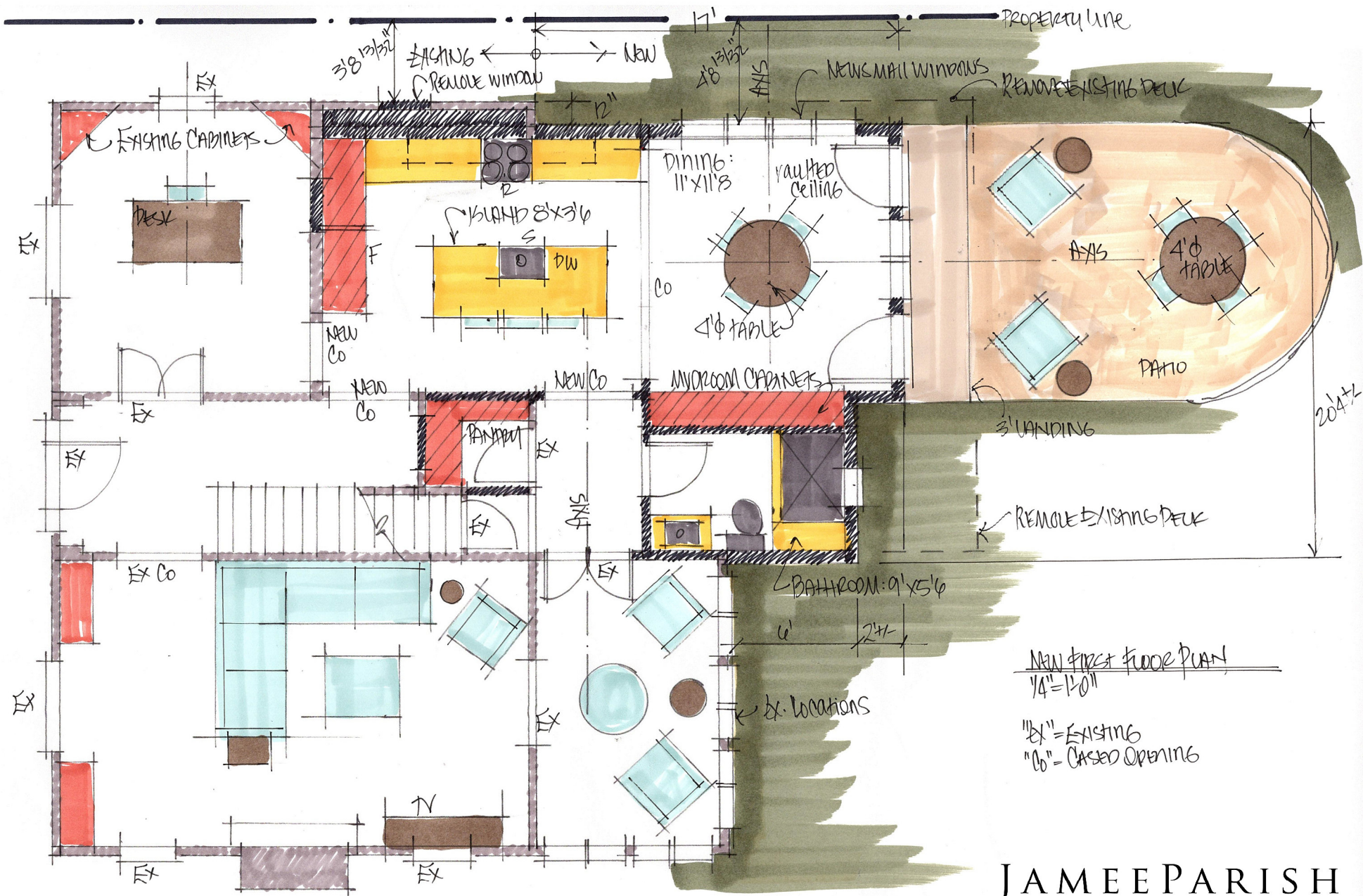
LIGHTING:

- BLACK

GARAGE DOORS:

- CLOPAY "COACHMAN" LINE, DESIGN #31, NO WINDOWS, COLOR TO MATCH SIDING AND TRIM, SPEAR LIFT HANDLES





NEW FIRST FLOOR PLAN
1/4" = 1'-0"

"EX" = EXISTING
"CO" = CLOSET OPENING

JAMEE PARISH
Architects



CITY OF WORTHINGTON
DRAWING NO. ARB 0081-2023
DATE 10/05/2023

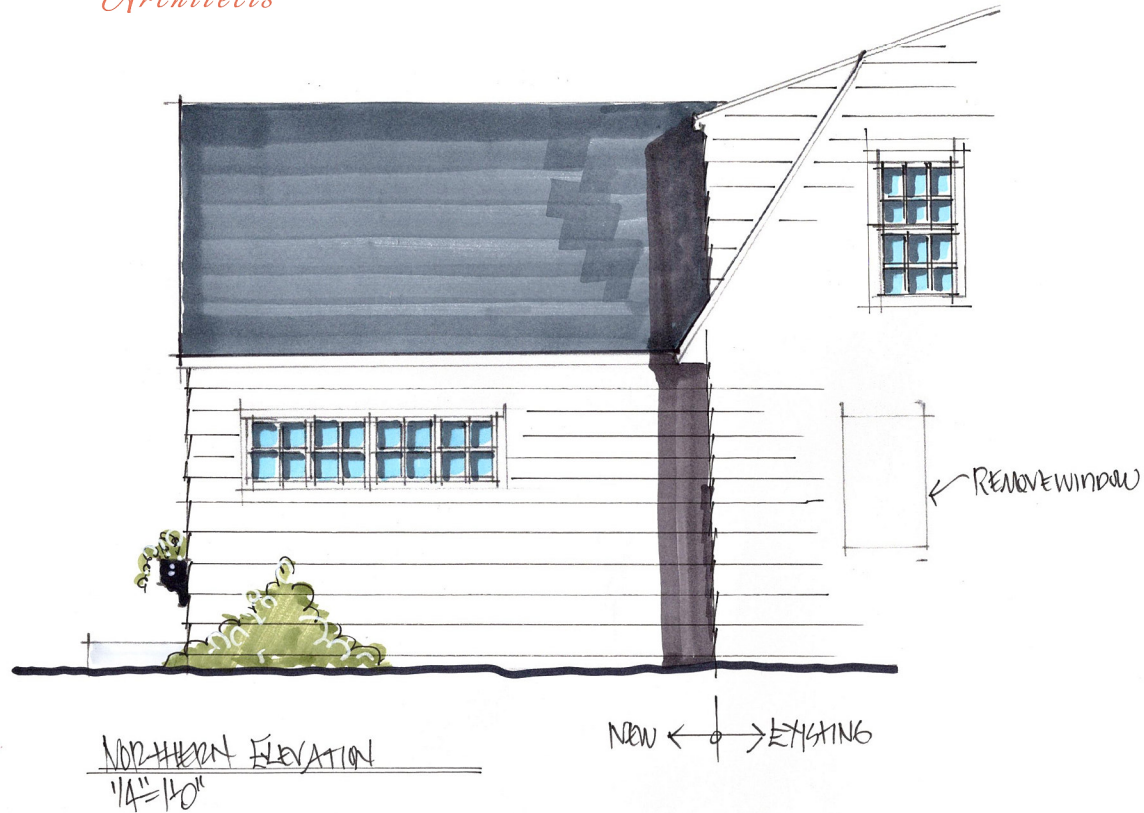
JAMEE PARISH
Architects



CITY OF WORTHINGTON
DRAWING NO. ARB 0081-2023
DATE 10/05/2023

JAMEE PARISH

Architects

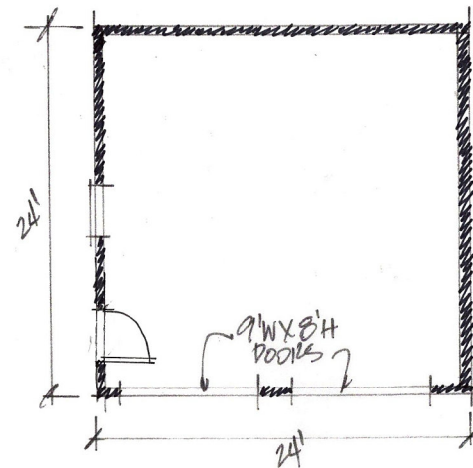
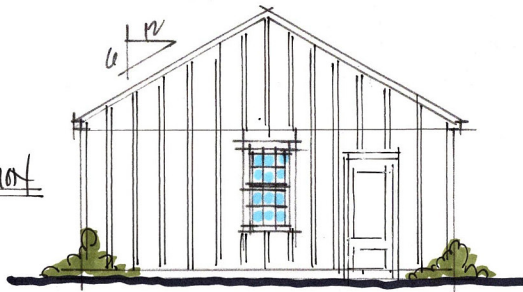


CITY OF WORTHINGTON
DRAWING NO. ARB 0081-2023
DATE 10/05/2023

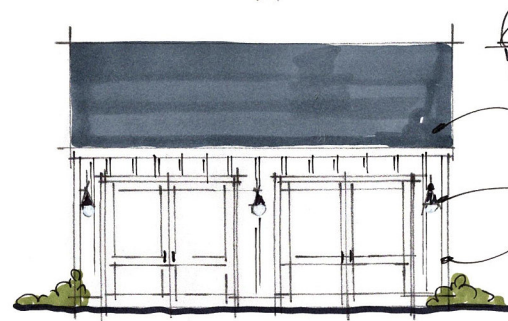
JAMEE PARISH

Architects

GARAGE SIDE ELEVATION
18"=1'-0"



GARAGE PLAN
1/8"=1'-0"



GARAGE FRONT ELEVATION
1/8"=1'-0"

- SHINGLES TO MATCH MAIN HOUSE
- LIGHTING
- BOARD & BATTEN





CITY OF WORTHINGTON
DRAWING NO. ARB 0081-2023
DATE 10/05/2023



CITY OF WORTHINGTON
DRAWING NO. ARB 0081-2023
DATE 10/05/2023



CITY OF WORTHINGTON
DRAWING NO. ARB 0081-2023
DATE 10/05/2023



ARB APPLICATION ARB 0082-2023 703 Oxford St.

Plan Type:	Architectural Review Board	Project:		App Date:	10/06/2023
Work Class:	Certificate of Appropriateness	District:	City of Worthington	Exp Date:	
Status:	In Review			Completed:	
Valuation:	\$450,000.00			Approval	
Description:	First floor complete renovation. Second floor complete renovation with new dormers each side of house. Addition to the detached garage.				
Expire Date:					

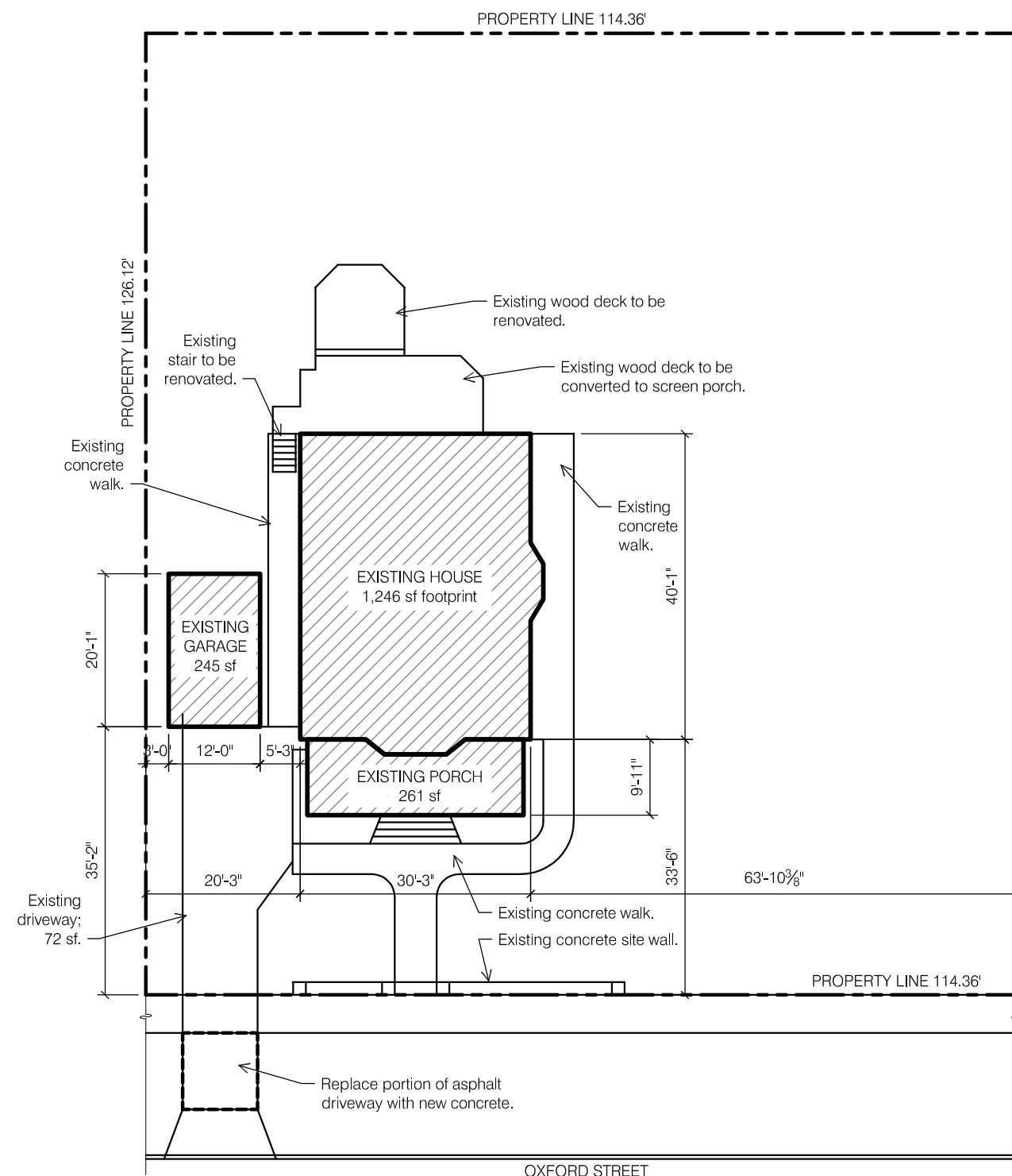
Parcel:	100-000255	Main	Address:	703 Oxford St Worthington, OH 43085	Main	Zone:	R-10(Low Density Residence)
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Owner	Owner	Contractor	Applicant
Stephanie Saunders	Randall Saunders	Matthew Sullivan	Brenda S Parker
703 OXFORD ST	703 OXFORD ST	Mobile: (614) 846-1305	405 N Front Street
Worthington , OH 43085	Worthington , OH 43085		Columbus, OH 43215
Home: (440) 865-0311			Business: 6145865514

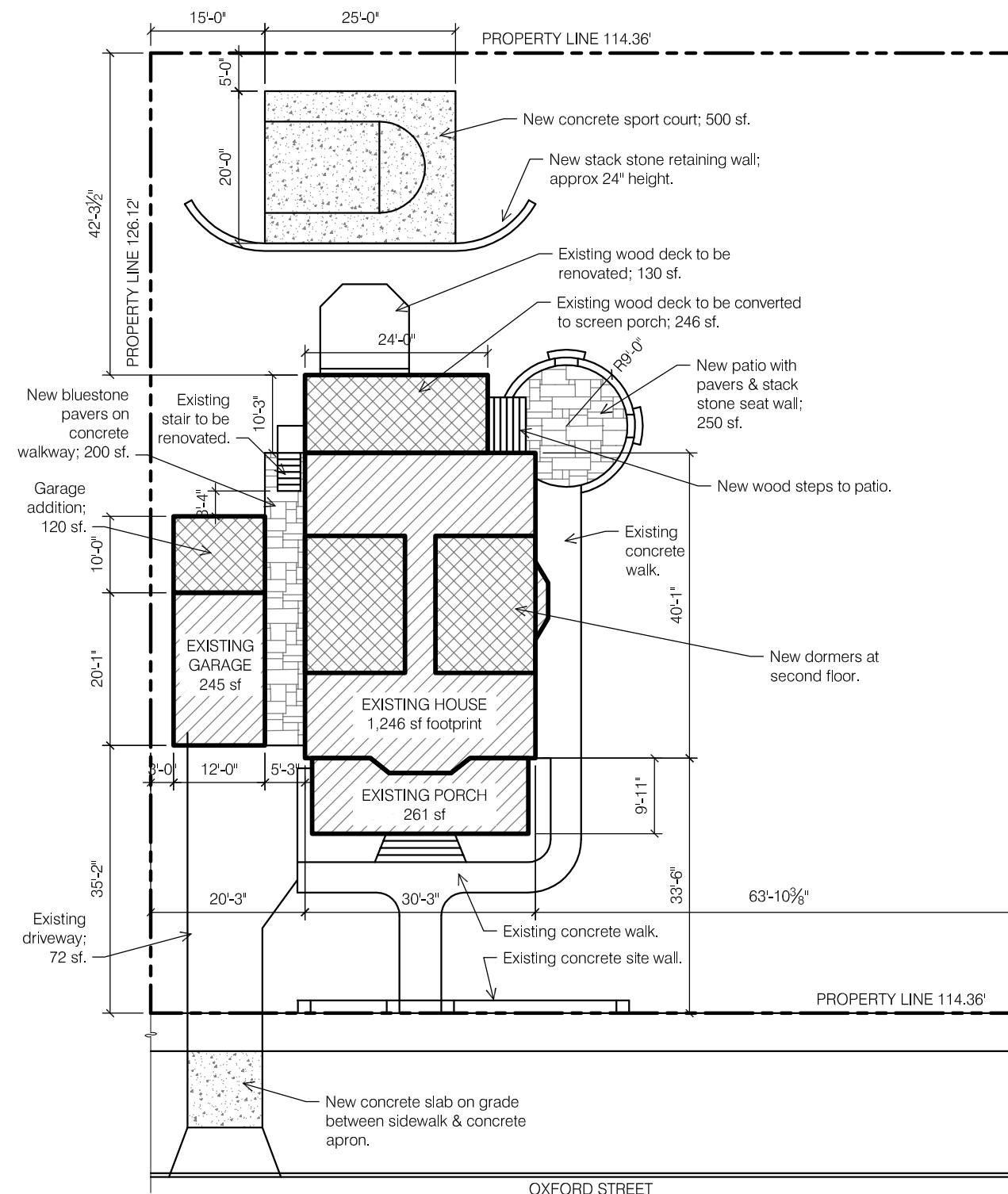
Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004725	Architectural Review Board	\$200.00	\$200.00
Total for Invoice INV-00004725		\$200.00	\$200.00
Grand Total for Plan		\$200.00	\$200.00

703 Oxford St.





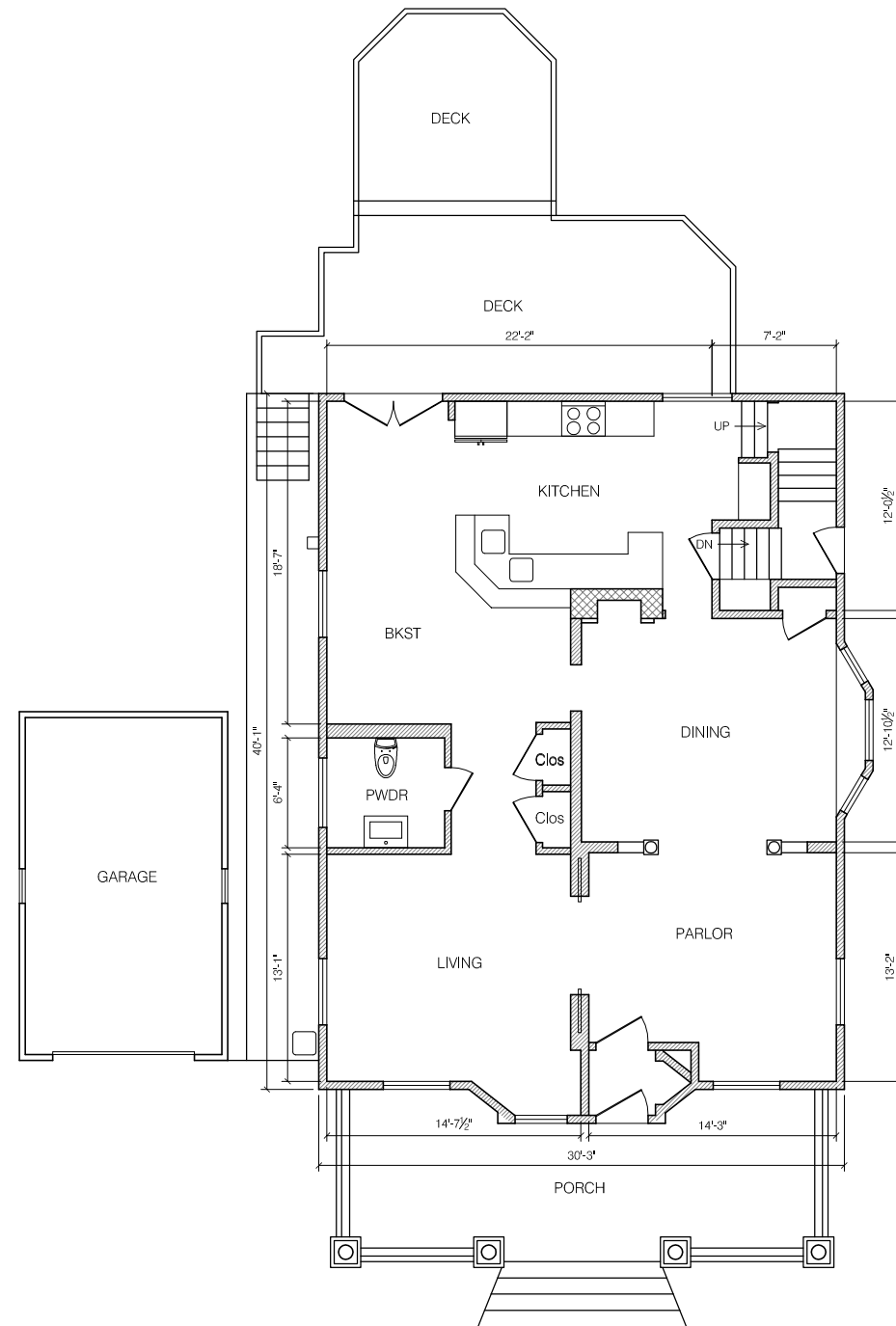
SITE PLAN - Existing



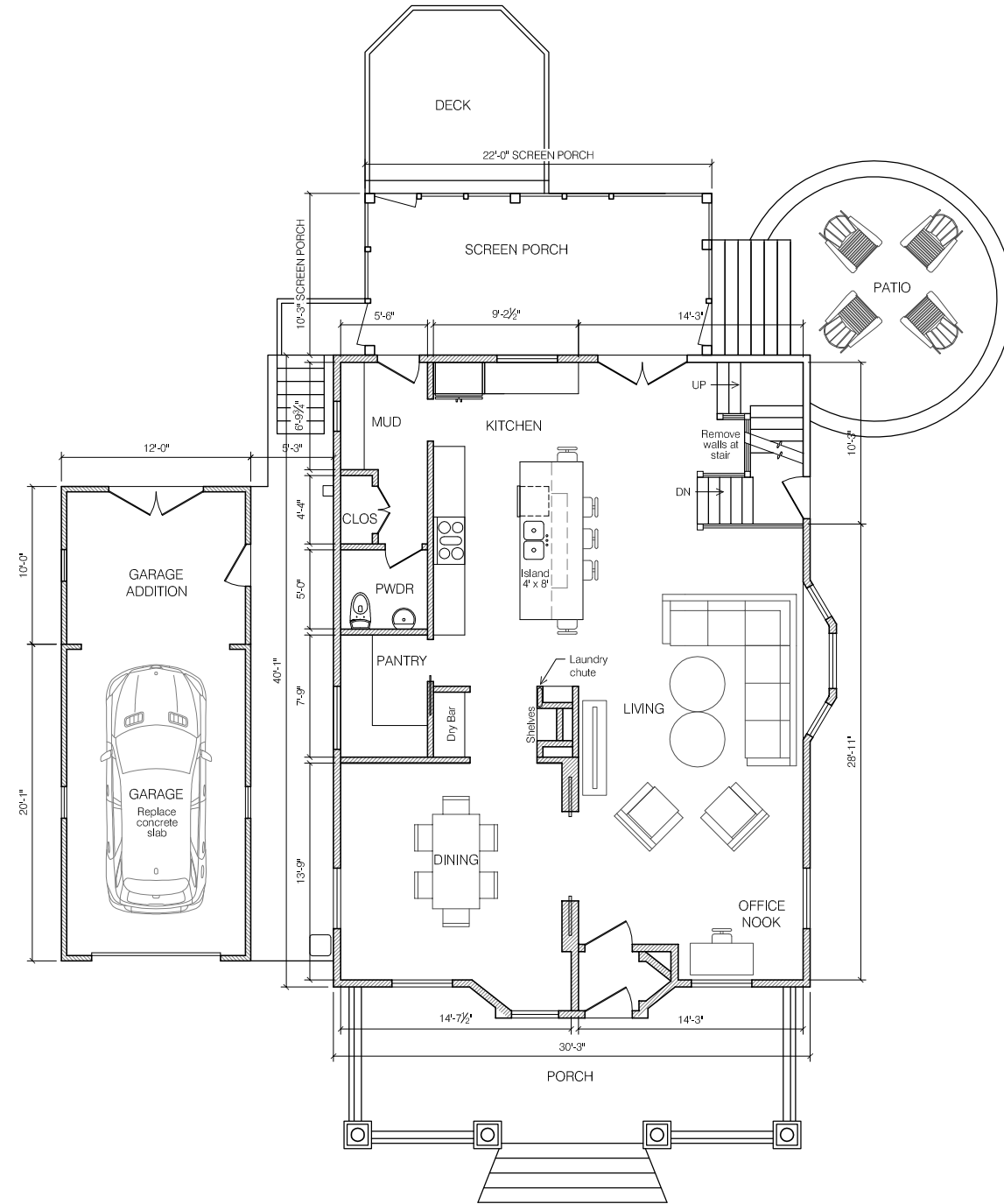
SITE PLAN - Proposed



CITY OF WORTHINGTON
DRAWING NO. ARB 0082-2023
DATE 10/06/2023



FIRST FLOOR PLAN - Existing



FIRST FLOOR PLAN - Proposed



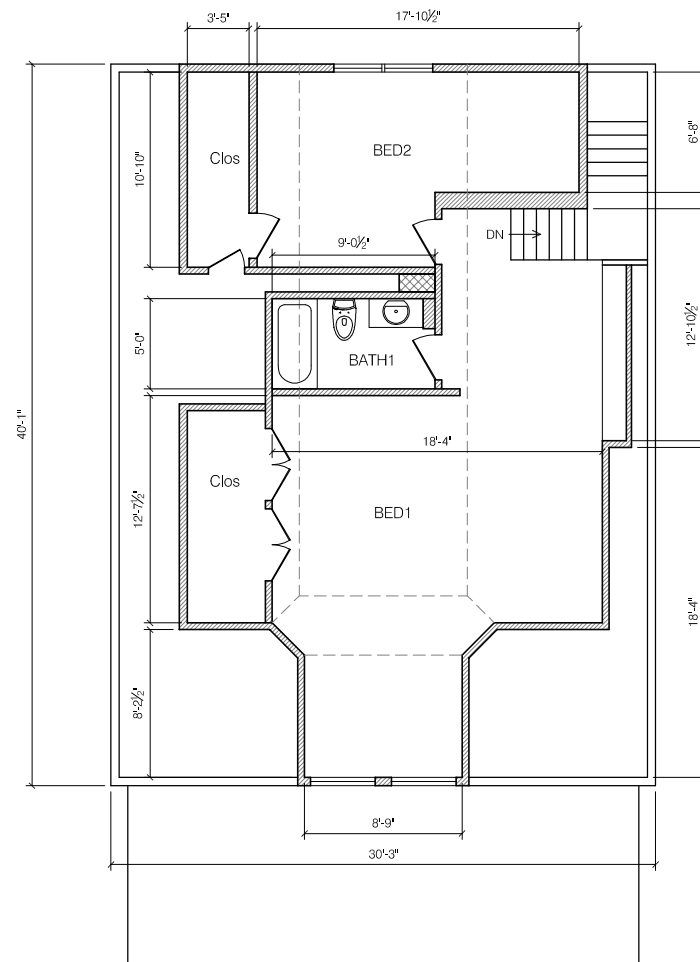
CITY OF WORTHINGTON
DRAWING NO. ARB 0082-2023
DATE 10/06/2023

FLOOR PLANS

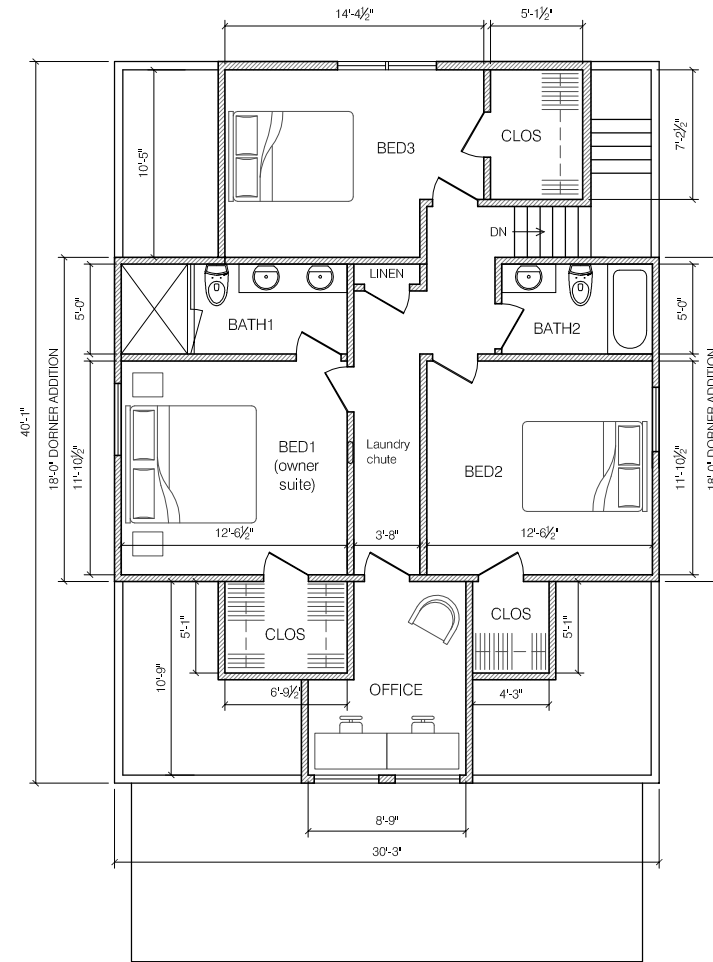
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703 Oxford Street

October 6, 2023



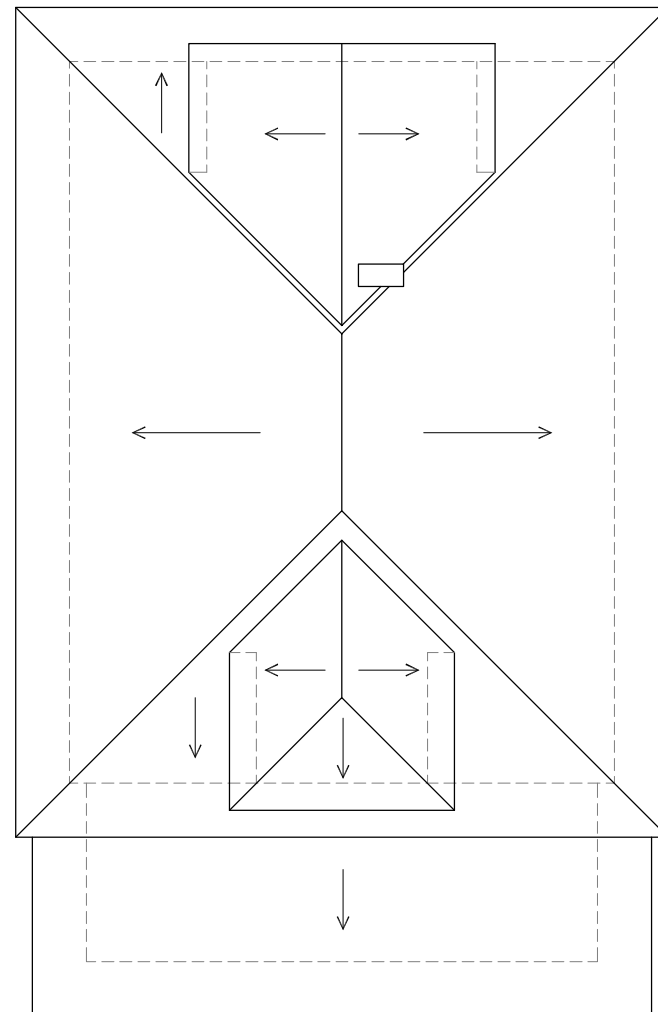
SECOND FLOOR PLAN - Existing



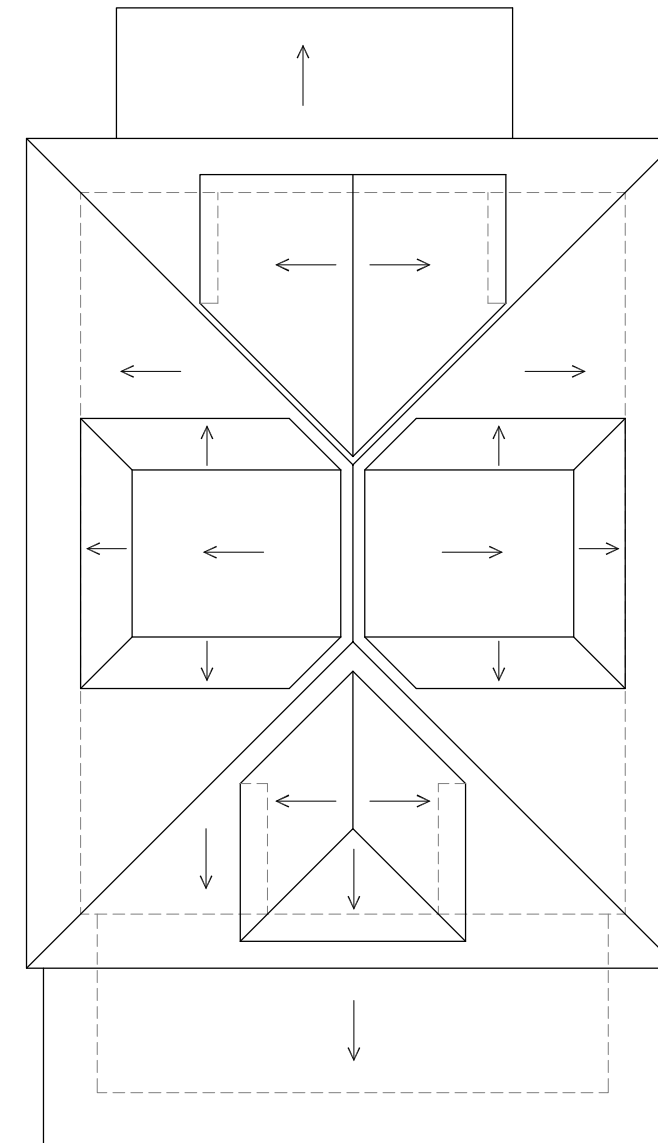
SECOND FLOOR PLAN - Proposed



CITY OF WORTHINGTON
DRAWING NO. ARB 0082-2023
DATE 10/06/2023



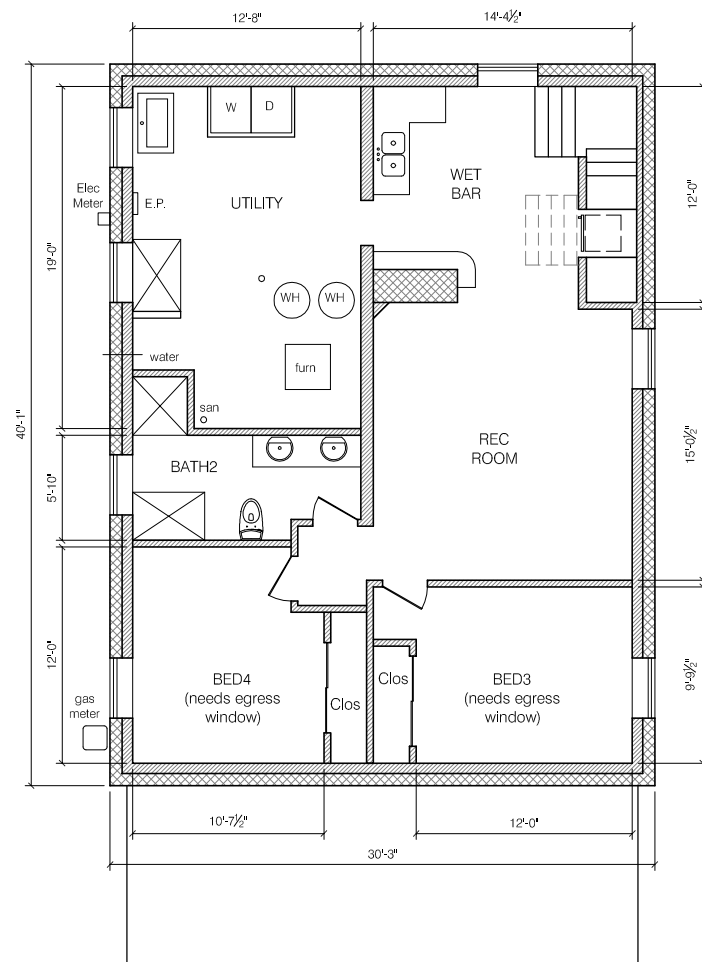
ROOF PLAN - Existing



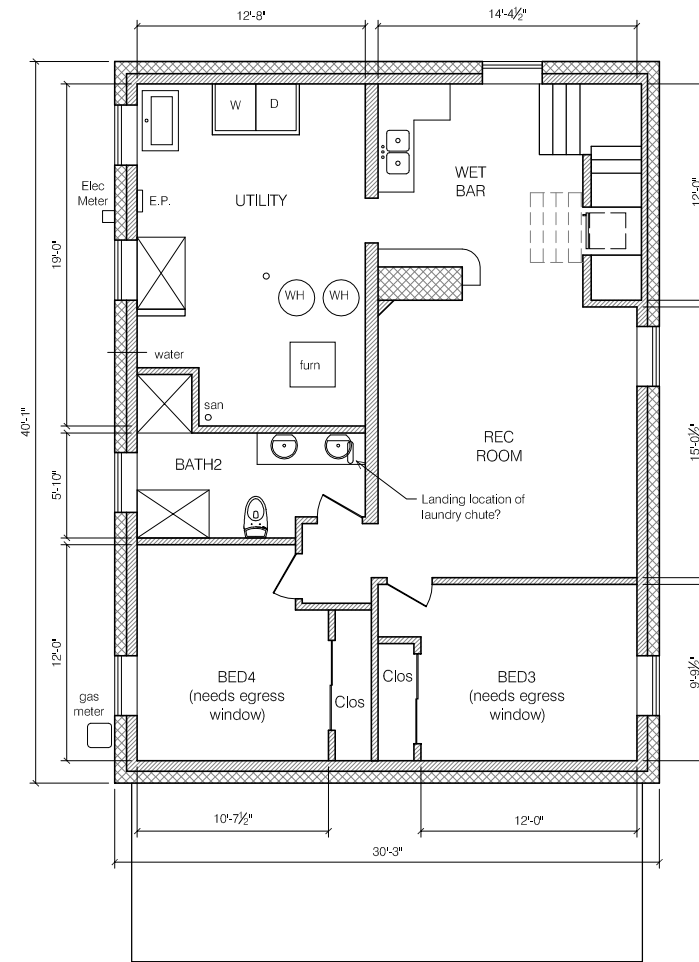
ROOF PLAN - Proposed



CITY OF WORTHINGTON
DRAWING NO. ARB 0082-2023
DATE 10/06/2023



BASEMENT FLOOR PLAN - Existing



BASEMENT FLOOR PLAN -
Proposed



CITY OF WORTHINGTON
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DATE 10/06/2023



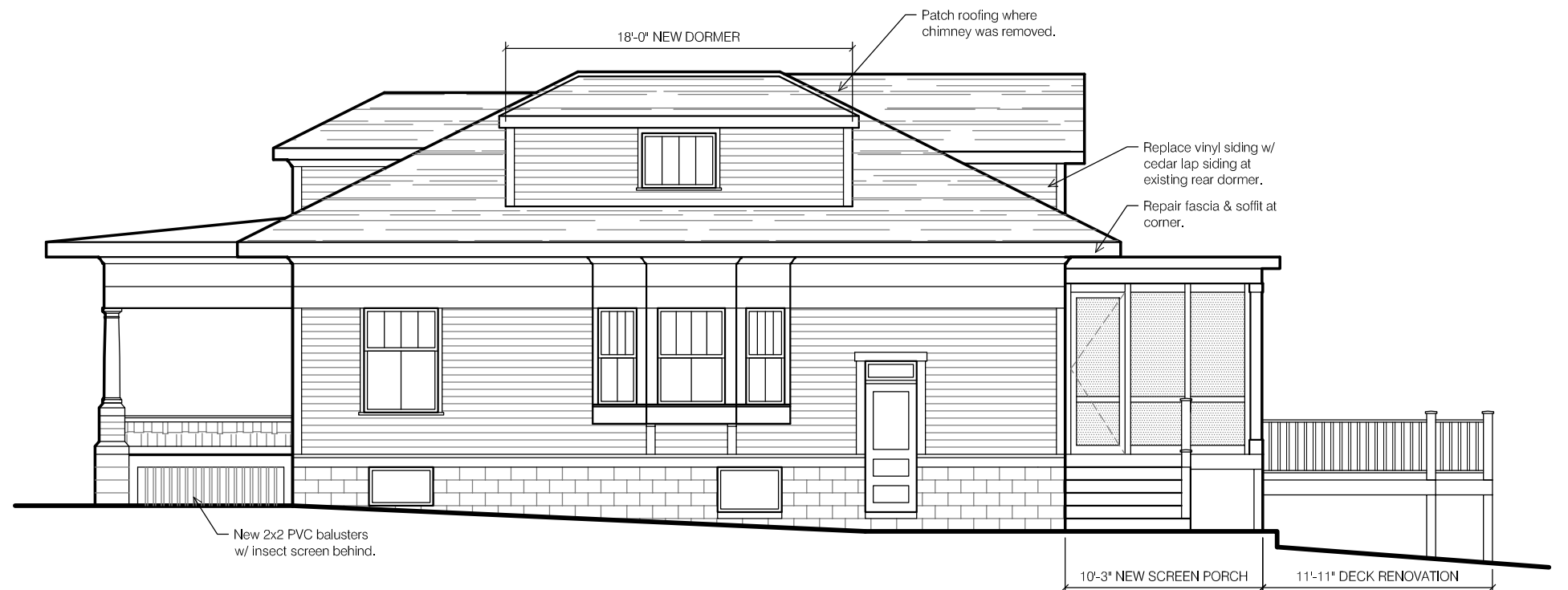
EAST ELEVATION - EXISTING



NORTH ELEVATION - EXISTING



EAST ELEVATION - PROPOSED



NORTH ELEVATION - PROPOSED



CITY OF WORTHINGTON
DRAWING NO. ARB 0082-2023
DATE 10/06/2023

EXTERIOR ELEVATIONS

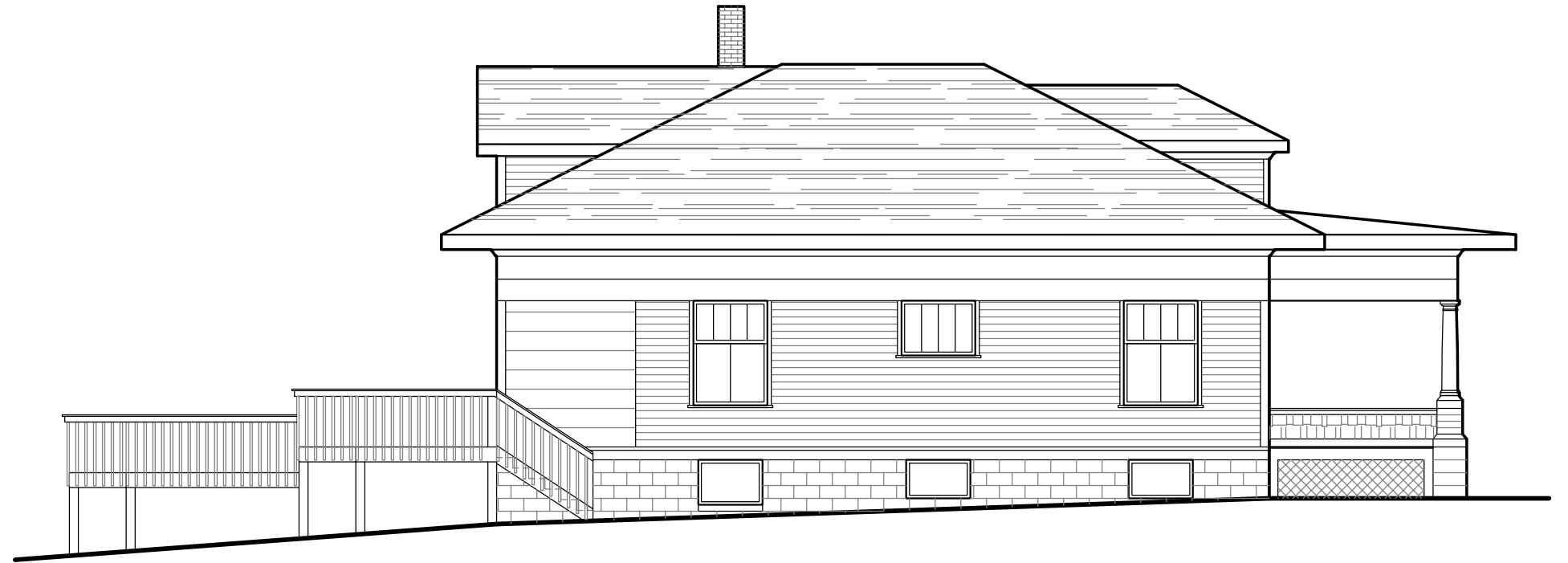
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703 Oxford Street

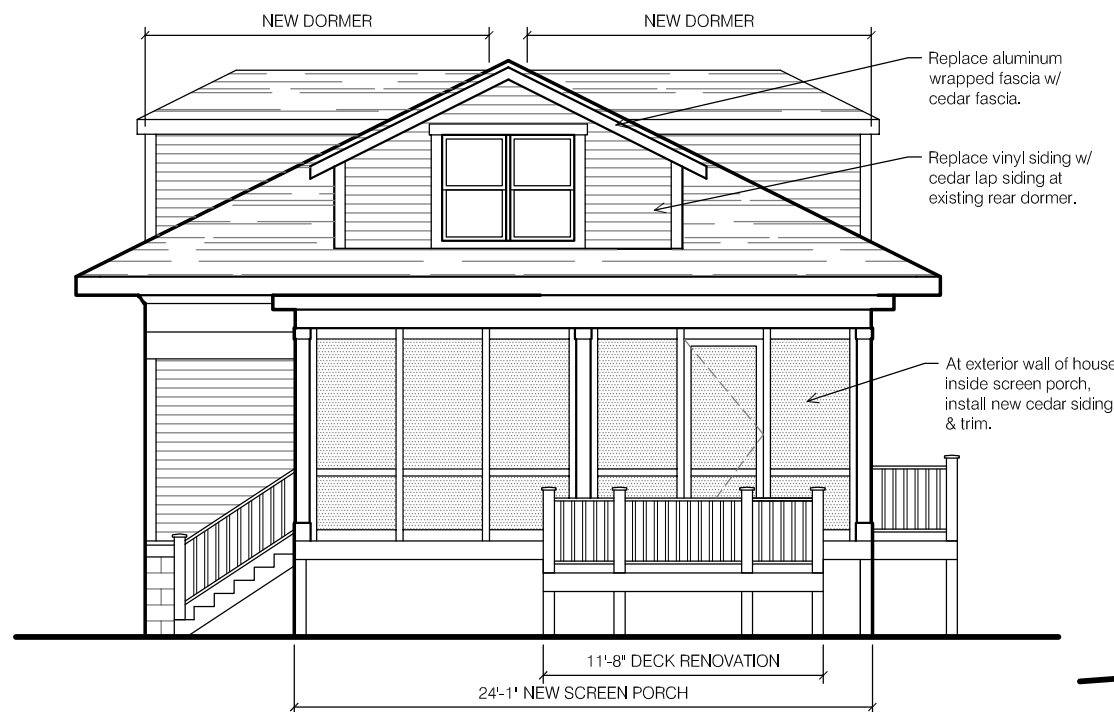
October 6, 2023



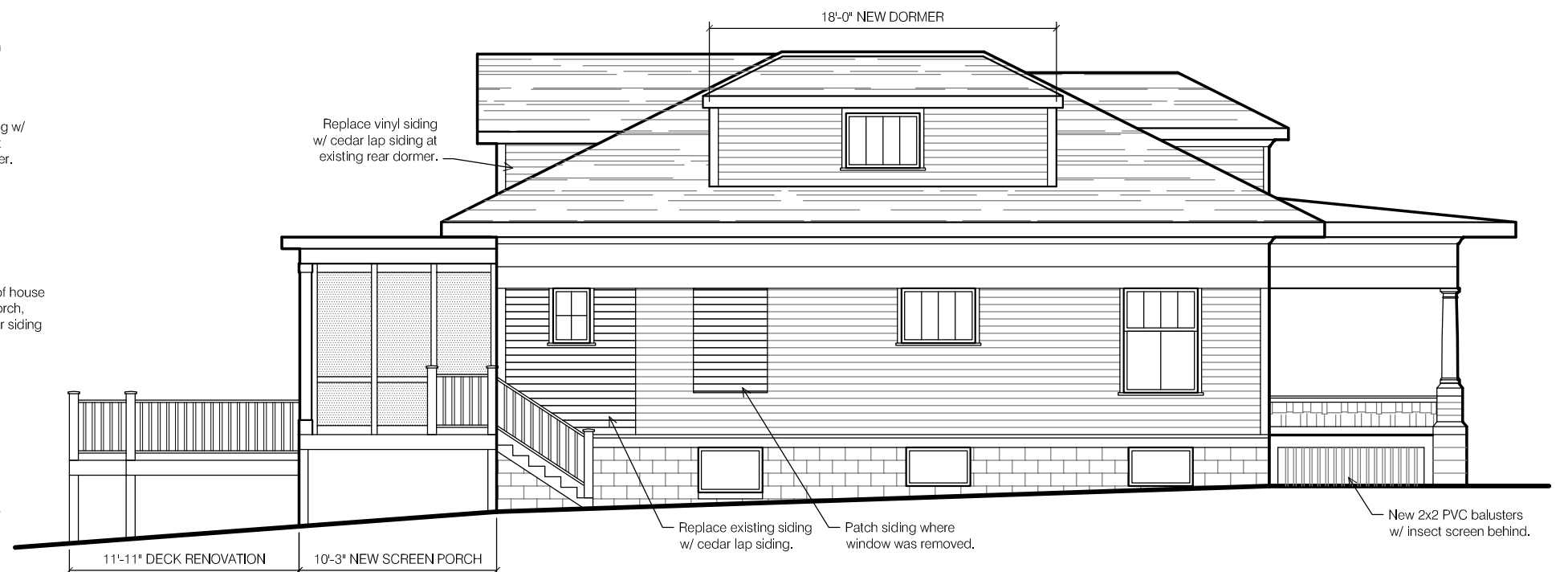
EAST ELEVATION - EXISTING



NORTH ELEVATION - EXISTING



EAST ELEVATION - PROPOSED



NORTH ELEVATION - PROPOSED



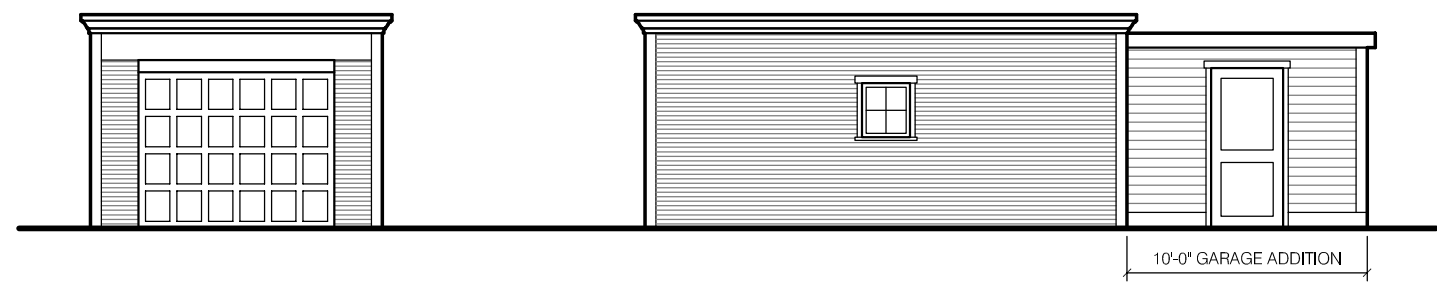
CITY OF WORTHINGTON
DRAWING NO. ARB 0082-2023
DATE 10/06/2023

EXTERIOR ELEVATIONS

Scale: 1/8"=1'-0"

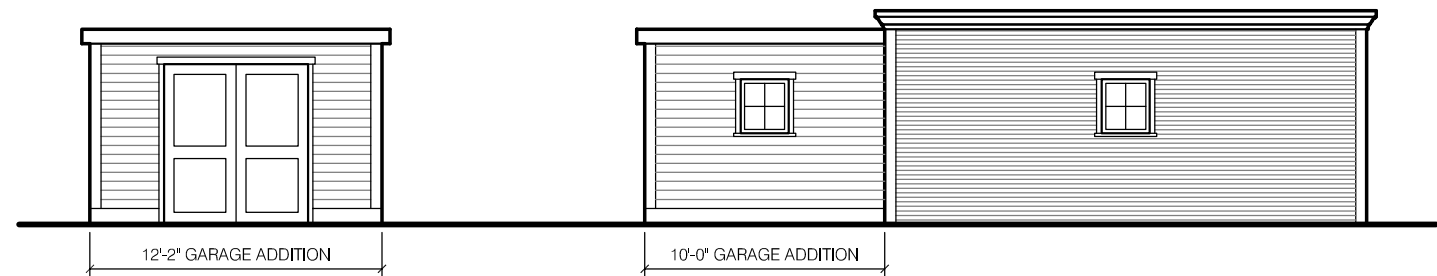
703 Oxford Street

October 6, 2023



GARAGE
EAST ELEVATION

GARAGE
NORTH ELEVATION



GARAGE
WEST ELEVATION

GARAGE
SOUTH ELEVATION

703 OXFORD EXTERIOR MATERIALS:

New Dormers & Garage Addition:

- Siding to be cedar lap siding, smooth, 4-3/4" exposure.
- Corner trim: Cedar, smooth, 5/4 x 5-1/2".
- Casing: 5/4 x 5-1/2" at head, 5/4 x 3-1/2 jambs, historic sill.
- Fascia: 1x6 Cedar, smooth.
- Soffit: 2" Linear soffit vent.
- Roofing: Asphalt shingle roofing at sloped roofs, membrane roofing at low slope roofs.
- Gutters: 5" aluminum ogee gutter & 3" downspouts.
- Windows: Marvin Elevate awning (fiberglass exterior, wood interior). Meet egress opening requirements 5.7 sf.
- Foundation: Split-face concrete masonry units above grade; buff color.
- Garage Door: New overhead sectional garage door 10' wide x 8' height. Clopay Coachman Series 1, Design 11, Windows REC14, Frosted Glass, Color Sandtone (verify), No Hardware.

Rear Dormer Renovation:

- Existing vinyl lap siding to be replaced with cedar lap siding, smooth, 4-3/4" exposure.
- Corner trim: Cedar, smooth, 5/4 x 5-1/2".
- Casing: 5/4 x 5-1/2" at head, 5/4 x 3-1/2 jambs, historic sill.
- Fascia: 1x8 Cedar, smooth.
- Soffit: 2" Linear soffit vent w/ 1x cedar infill.

New Screen Porch:

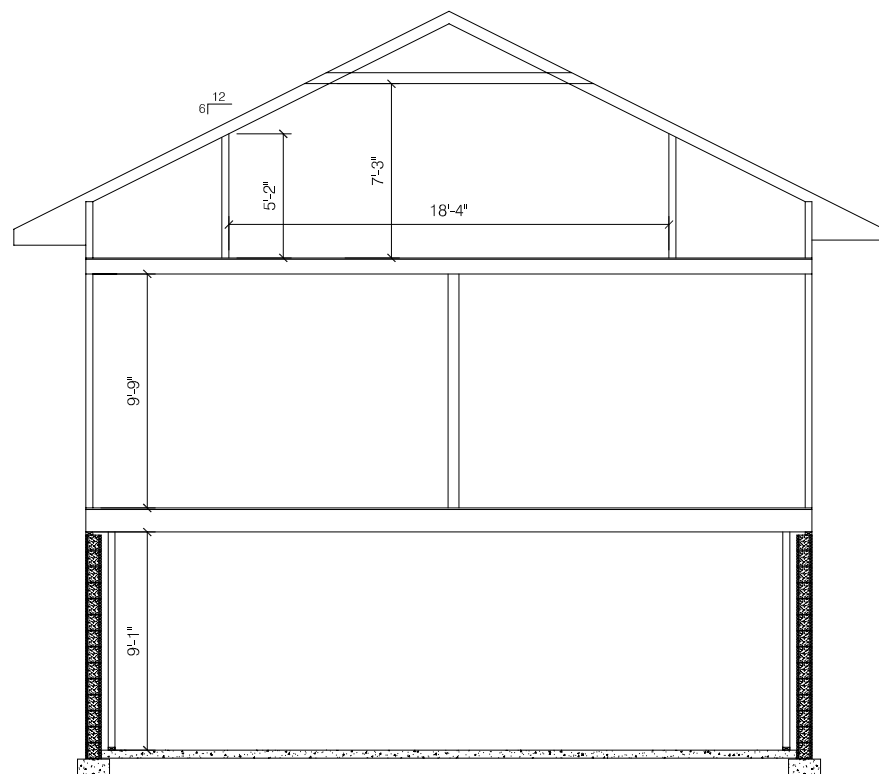
- Existing deck structure to be utilized. New primary posts to be installed on 24" diam concrete pier footings, 36" below lowest grade.
- Corner Posts: 6x6 Treated posts wrapped w/ 1x8 Cedar trim. 1x6 cap crown, 1x9 base trim w/ chamfered top edge.
- Interior Posts: 4x4 Treated posts wrapped w/ 1x6 Cedar trim.
- High-transparency screens.
- Guardrail: Timbertech Radiance Rail system.
- Decking: Timbertech Legacy.
- Roofing: Membrane roofing at low slope roof.

Deck Renovation:

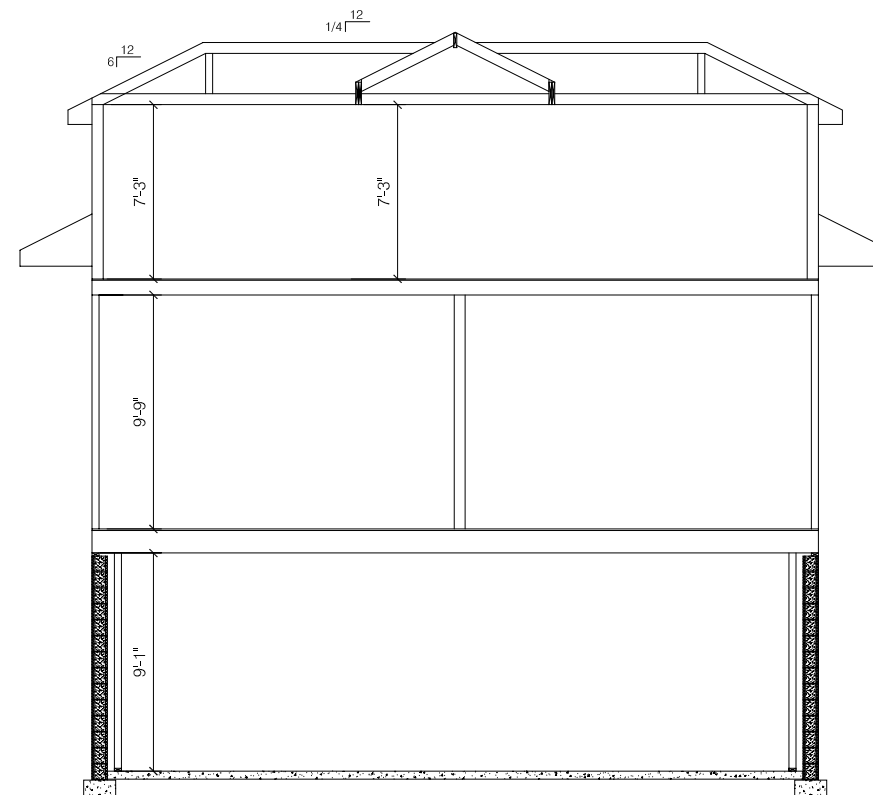
- All guardrails to be replaced with Timbertech Radiance Rail.
- All decking to be replaced with Timbertech Legacy.

Miscellaneous Exterior Improvements:

- All rotted wood at soffits to be replaced.
- Entire house (body & trim) to be painted.
- Entire garage (body & trim) to be painted.



SECTION - EXISTING



SECTION - w/ DORMERS



CITY OF WORTHINGTON
DRAWING NO. ARB 0082-2023
DATE 10/06/2023

SECTIONS

Scale: 1/8"=1'-0"

703 Oxford Street

October 6, 2023



CITY OF WORTHINGTON
DRAWING NO. ARB 0082-2023
DATE 10/06/2023



CITY OF WORTHINGTON
DRAWING NO. ARB 0082-2023
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DRAWING NO. ARB 0082-2023
DATE 10/06/2023



CITY OF WORTHINGTON
DRAWING NO. ARB 0082-2023
DATE 10/06/2023



ARB & CU APPLICATIONS

ARB 0109-2022 & CU 09-2022

60 E. Wilson Bridge Rd.

Tabled 01-12-2023
Tabled 09-28-2023

Plan Type: Architectural Review Board, Conditional Use **Project:** **App Date:** 09/15/2023

Work Class: Certificate of Appropriateness, **District:** City of Worthington

Conditional Use Permit

Status: In Review

Valuation: \$2,400,000.00

Description: Construction of a new Chick-fil-A restaurant with dual lane drive-thru, two free-standing canopies over the drive-thru, a dumpster enclosure that matches the building materials, a patio with seating and completely new parking lot. The traffic pattern in the area should remain relatively unchanged due to the large amount of traffic. The effect on public facilities should remain unchanged as the site currently operates as a restaurant. Sewerage will remain the same. Drainage facilities will be provided for stormwater management and water quality. Utilities are already provided to the site. Safety and health concerns should remain unchanged. There should be no increase in noise, odors or other noxious elements due to the project. Chick-fil-A operates Monday through Saturday from 6:30am to 10:00pm, closed Sunday. The site will provide landscape to meet the zoning code. The Chick-fil-A site and building will provide a compatible use and appearance with the general neighborhood.

Parcel: 100-002556	Main	Address: 60 E Wilson Bridge Rd	Main	Zone: C-4(Highway and Automotive Services)
		Worthington, OH 43085		

Owner	Tenant	Applicant	Applicant
Shaun Walker	Buca di Beppo	Kimley-Horn	Kimley-Horn
Business: (404) 765-8000	Business: 6148488466	Bill D Skebba	Matt Shiflett
		7965 N. High St. Suite 200	7965 N. High St. Suite 200
		Columbus, OH 43235	Columbus, OH 43235
		Business: (614) 454-6698	Business: 3802239177
		Mobile: (440) 829-5133	

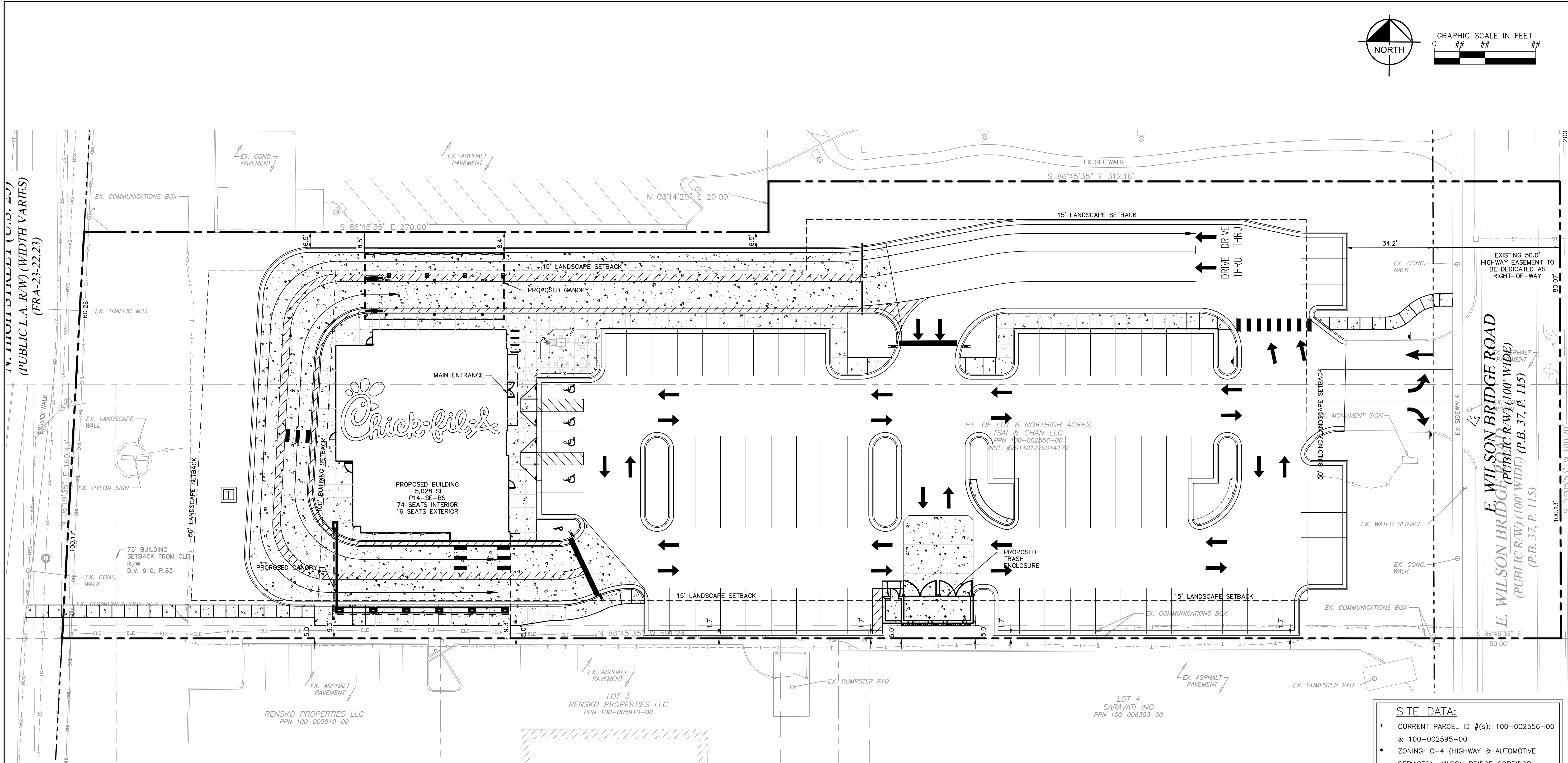
Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003321	Architectural Review Board	\$200.00	\$200.00
Total for Invoice INV-00003321		\$200.00	\$200.00
Grand Total for Plan		\$200.00	\$200.00

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003322	Conditional Use Permit	\$25.00	\$25.00
Total for Invoice INV-00003322		\$25.00	\$25.00
Grand Total for Plan		\$25.00	\$25.00

60 E. Wilson Bridge Rd.



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PROJECT NOTES:

- * TWO-WAY TRAFFIC SHALL BE MAINTAINED AT ALL TIMES ON, ALONG, AND ADJACENT TO E. WILSON BRIDGE ROAD.
- * ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS AND/OR CONNECTION TO PUBLIC SEWERS AND STREETS SHALL COMPLY WITH THE CITY OF WORTHINGTON STANDARD CONSTRUCTION SPECIFICATIONS.
- * AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE CITY TO OBTAIN APPLICABLE CITY PERMITS.
- * INGRESS/EGRESS WILL BE PROVIDED INTERNAL AND EXTERNAL TO THIS SITE.
- * ALL CONCRETE CURB & GUTTER SHALL BE 24" (B6.18) UNLESS OTHERWISE NOTED ON THE PLANS.
- * ALL PAVEMENT DIMENSIONS ARE MEASURED TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- * ALL CURB ADJOINING SIDEWALKS SHALL BE DOWELED INTO THE CURB.
- * ALL CONSTRUCTION MATERIALS, DUMPSTER, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC RIGHT-OF-WAY

SITE DATA:

- * CURRENT PARCEL ID #(s): 100-002556-00 & 100-002595-00
- * ZONING: C-4 (HIGHWAY & AUTOMOTIVE SERVICES), WILSON BRIDGE CORRIDOR
- * PROPOSED PARCEL SIZE: 91,227 SQ. FT. (2.09 ACRES)
- ** GROSS AREA OF SITE: 85,280 SQ. FT.
- ** BUILDING FLOOR AREA: 5,028 SQ. FT.
- ** PAVEMENT AREA: 50,914 SQ. FT.
- ** TOTAL IMPERVIOUS AREA (TIA): 65,942 SQ. FT.
- * IMPERVIOUS RATIO (IR):
- ** PROVIDED = 0.72
- ** REQUIRED = 0.75

BUILDING DATA:

- * BUILDING FLOOR AREA: 5,028 SQ. FT.
- * NUMBER OF EMPLOYEES DURING LARGEST SHIFT = 15 EMPLOYEES

- ** TOTAL NUMBER OF SEATS = 90
- ** INDOOR SEATS = 74
- ** OUTDOOR SEATS = 16

PARKING DATA:

- * NUMBER OF REGULAR PARKING SPACES: 79
- * NUMBER OF ADA SPACES: 4
- * TOTAL NUMBER OF SPACES PROVIDED: 83
- * TOTAL NUMBER OF SPACES REQUIRED: 68
- * TYPICAL PARKING WIDTH: 10.0'
- * TYPICAL 90° PARKING LENGTH: 18.0'
- * MINIMUM AISLE WIDTH: 24.0' (90°)

PARKING FORMULA:

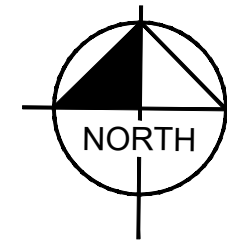
RESTAURANTS:

- * PER CITY CODE: 1 SPACE PER 75 SQ. FT. OF GROSS FLOOR AREA.
- * BUILDING AREA = 5,028 SQ. FT.

- ** (5,028/75) = 68 SPACES



CITY OF WORTHINGTON
DRAWING NO. ARB 0109-2022
CU 09-2022
DATE 10/13/2023



GRAPHIC SCALE IN FEET
0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150 160 170 180 190 200



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998

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PRELIMINARY

CHICK-FIL-A

WORTHINGTON FSU

60 E. WILSON BRIDGE ROAD
WORTHINGTON, OH 43085

FSU# 05269

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
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AGENCY #	TBD
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PROJECT #	190241012
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PRINTED FOR	1ST
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DATE	10/12/2023
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DESIGN BY	WDS
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DRAWN BY	MCS
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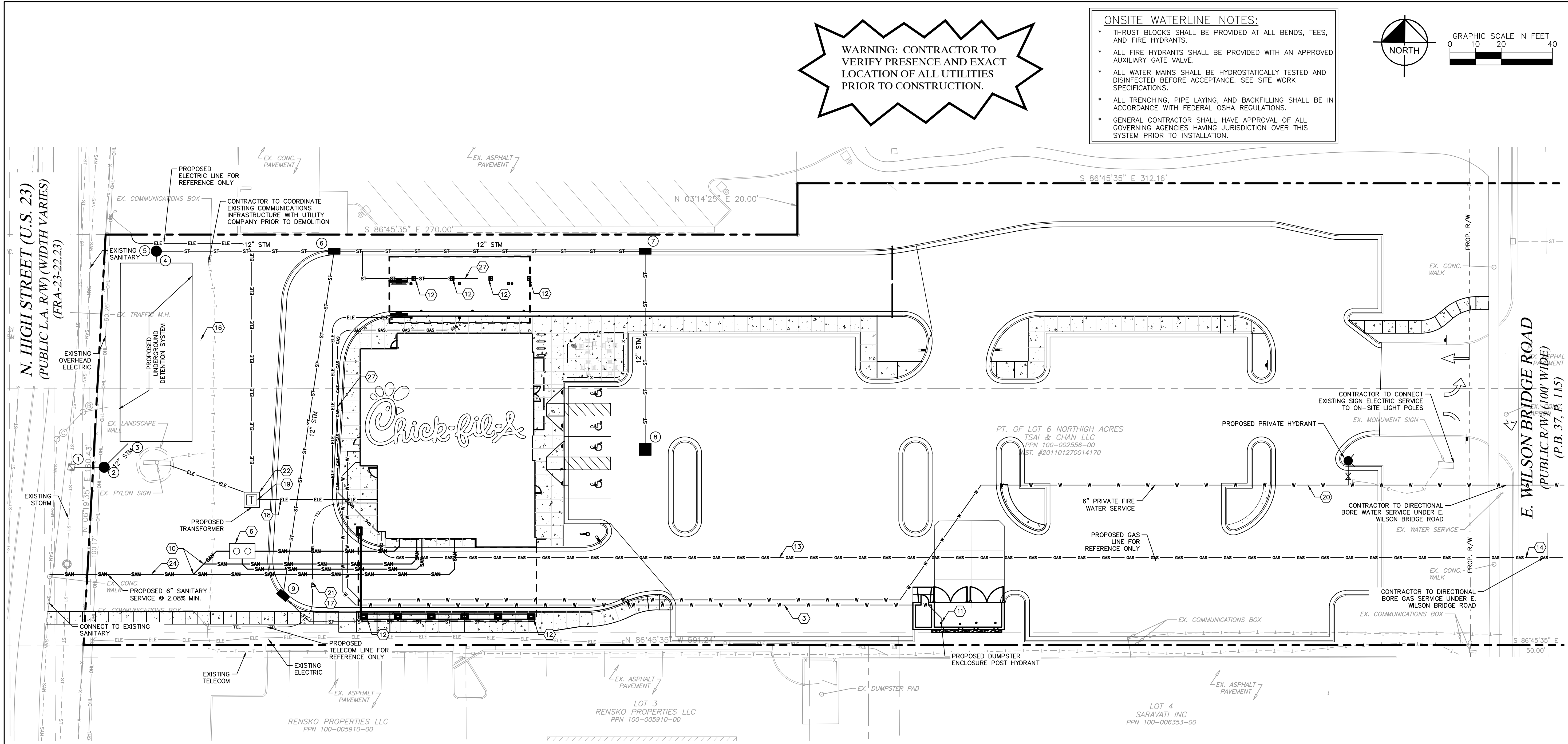
SHEET

SITE PLAN

(SIMPLIFIED)

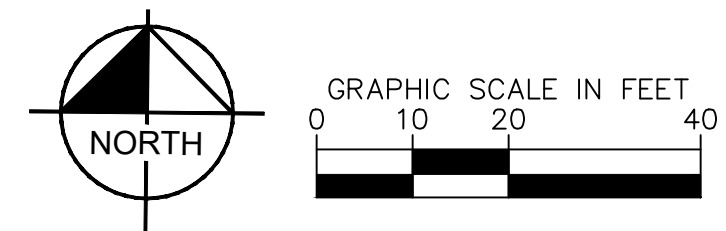
SHEET NUMBER

C-2.1



WARNING: CONTRACTOR TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.


- ONSITE WATERLINE NOTES:**
- * THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES, AND FIRE HYDRANTS.
 - * ALL FIRE HYDRANTS SHALL BE PROVIDED WITH AN APPROVED AUXILIARY GATE VALVE.
 - * ALL WATER MAINS SHALL BE HYDROSTATICALLY TESTED AND DISINFECTED BEFORE ACCEPTANCE. SEE SITE WORK SPECIFICATIONS.
 - * ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
 - * GENERAL CONTRACTOR SHALL HAVE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THIS SYSTEM PRIOR TO INSTALLATION.



- UTILITY NOTES**
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR DUTY SERVICE SIZES AND EXACT LOCATIONS. CONTRACTOR TO CONFIRM SIZES OF ALL SERVICES PRIOR TO INSTALLATION. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
 - FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
 - PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
 - MAINTAIN A MINIMUM OF 4.0' COVER OVER ALL WATER SERVICES.
 - MAINTAIN A MINIMUM OF 3.5' COVER OVERALL SANITARY SEWER.
 - ADJUST ALL MANHOLES AND FRAMES TO FINISHED GRADES.
 - ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF WORTHINGTON.
 - 12" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY/STORM SEWER AND WATER MAIN.
 - MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND PUBLIC WATER MAINS.
 - WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES, UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY CALL "811" AT 1-800-382-2764 AT LEAST 72 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
 - LOCATION OF SITE UTILITIES SHALL BE VERIFIED WITH PROPER UTILITY COMPANY PROVIDING SERVICE.
 - ALL WATER AND SANITARY LEADS TO BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END.
 - SEE SITE SPECIFICATIONS "UNDERGROUND UTILITIES" FOR BACKFILLING AND COMPACTION REQUIREMENTS.
 - GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ALL TAP AND TIE ON FEES REQUIRED, AS WELL AS COST OF UNDERGROUND SERVICE CONNECTIONS TO THE BUILDING.
 - ELECTRIC SERVICE TO PAD MOUNTED TRANSFORMER SHALL BE RUN UNDERGROUND, FROM EXIST. PRIMARY WIRE ALONG SOUTH SIDE OF PROPERTY TO TRANSFORMER LOCATION. ASSOCIATED COST BY GENERAL CONTRACTOR.
 - TRANSFORMER TO BE BROWN IN COLOR.
 - ALL EXISTING UTILITIES TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
 - FOR EXACT LIGHT POLE LOCATIONS SEE PHOTOMETRICS PLAN.
 - MATERIAL PERMITTED FOR USE AS SANITARY SEWER PIPES SHALL BE SDR 26 FOR 4" & 6".
 - COLUMBIA GAS WILL FURNISH AND INSTALL THE GAS MAINS AND GAS SERVICE UP TO AND INCLUDING THE METER. CONTRACTOR TO PROVIDE (1) 2" SCHEDULE 40 PVC CONDUIT UNDER PAVED AREAS IS PAVING IS COMPLETE PRIOR TO COLUMBIA GAS INSTALLING SERVICE LINE.
 - CONTRACTOR TO FURNISH AND INSTALL (2) 4" SCHEDULE 40 PVC CONDUITS FOR TELEPHONE SERVICE FROM VERIZON PEDESTAL TO BUILDING. VERIZON TO SUPPLY, PROVIDE AND INSTALL PRIMARY TELEPHONE SERVICE. CONDUITS TO BE INSTALLED A MINIMUM 24" BELOW FINISHED GRADE.
 - CONTRACTOR TO FURNISH AND INSTALL (2) 4" SCHEDULE 40 PVC CONDUITS WITH PULL WIRE FOR PRIMARY ELECTRIC SERVICE. CITY OF WORTHINGTON ELECTRIC DIVISION TO PROVIDE AND INSTALL PRIMARY ELECTRIC SERVICE. CONTRACTOR TO FURNISH AND INSTALL (4) 4" SCHEDULE 40 PVC CONDUITS WITH PULL WIRE FOR SECONDARY ELECTRIC SERVICE. CONDUITS SHALL HAVE A MINIMUM OF 36" OF COVER. CONTRACTOR TO PROVIDE AND INSTALL TRANSFORMER PAD AND SECONDARY SERVICE IN ACCORDANCE WITH CITY OF WORTHINGTON ELECTRIC DIVISION SPECIFICATIONS AND REQUIREMENTS. TRANSFORMER PAD SHALL BE INSTALLED TO FINAL GRADE AND LEVELED.
 - CONTRACTOR TO FURNISH AND INSTALL (1) 3" SCHEDULE 40 PVC CONDUIT WITH PULL STRING FOR ISP SERVICE FROM VERIZON MAIN TO BUILDING. VERIZON TO SUPPLY, PROVIDE AND INSTALL ISP SERVICE. CONDUIT TO BE INSTALLED MINIMUM 24" BELOW FINISHED GRADE.
 - ALL SEWER CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE CITY OF WORTHINGTON.
 - ALL CONNECTIONS TO PUBLIC SANITARY SEWERS SHALL BE PER CITY OF WORTHINGTON & CITY OF COLUMBUS STANDARD SPECIFICATIONS.
 - THE CFA FIRE SERVICE PIPE SHALL BE DIP CLASS 52 PIPE.
 - ALL FIELD TILES ENCOUNTERED SHALL BE REPLACED AND/OR CONNECTED TO THE STORM SEWER SYSTEM AND LOCATED AND IDENTIFIED ON THE RECORD PLANS BY THE CONTRACTOR.
 - ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
 - PROVIDE UNDERDRAINS FROM SEEPS OR SPRINGS ENCOUNTERED. EXTEND TO STORM SEWER SYSTEM OR DAYLIGHT AT THE BOTTOM OF THE FILL SLOPE.
 - ALL PROPOSED PIPE CONNECTIONS TO EXISTING OR PROPOSED MANHOLES SHALL CONFORM TO ASTM-C923.
 - TRACER WIRE IS REQUIRED PER STATE AND CITY STANDARDS.
 - IF EXISTING SANITARY/WATER LATERALS ARE NOT TO BE USED/REUSED, THEY SHALL BE ABANDONED AT MAIN PER CITY STANDARDS.
 - ALL UTILITY DOORS AND CABINETS SHALL BE PAINTED BRONZE.

- LAYOUT NOTES**
- PAY CONNECTION FEES FOR 2" DOMESTIC/6" FIRE WATER SERVICE AND METER. DOMESTIC SERVICE TO SPLIT OFF FIRE SERVICE EXTERNAL OF BUILDING.
 - 1.5" SOFT COPPER (TYPE K) IRRIGATION LINE TO HAVE SEPARATE METER LOCATION ADJACENT TO DOMESTIC WATER METER EXTERNAL TO THE BUILDING. MAINTAIN MIN. 5.5' COVER.
 - 3/4" CW TO DUMPSTER POST HYDRANT (SOFT COPPER TYPE K). MAINTAIN MIN. 4.0' COVER.
 - CONNECTION TO EXIST. 8" SANITARY SEWER. CONTRACTOR TO VERIFY INVERT AT MAIN PRIOR TO ORDERING STRUCTURES. SEE SANITARY TAGS FOR INFO.
 - 4" OR 6" CLEAN OUT (SEE DETAIL). CLEANOUT SHALL BE FLUSH W/ PAVEMENT & INSTALLED UNDER A PROTECTIVE METAL BOX COVER SIMILAR TO A METER PIT COVER WITH A TRAFFIC BEARING LID.
 - PRECAST 1500 GAL. CAPACITY GREASE TRAP. PLUMBING CONTRACTOR TO COORDINATE WITH BUILDING CONTRACTOR. TOP OF MANHOLE TO BE 0.2' ABOVE FINISH GRADE AND MATCH SIDEWALK GRADES WHERE REQUIRED. VERIFY GREASE TRAP MEETS CITY/COUNTY SPECIFICATIONS PRIOR TO INSTALLATION. REFER TO PLUMBING PLAN, SHEET P-101.
 - 6" KITCHEN WASTE LINE (SEE SANITARY TAGS FOR INFO)
 - 3" VENT LINE. CONNECT TO GREASE INTERCEPTOR. (SEE SHEET P-101 FOR LOCATION)
 - 4" RESTROOM WASTE LINE (SEE SANITARY TAGS FOR INFO)
 - 4" OR 6" TWO-WAY CLEAN OUT (REFER TO PLUMBING PLANS) (SEE DETAIL 37/C-403)
 - DUMPSTER POST HYDRANT. REFER TO THE FIXTURE CONNECTION SCHEDULE (P-303) DEPICTED ON THE PROJECT PLUMBING PLANS.
 - DOWNSPOUT FOR ROOF DRAINAGE (REFER TO ARCHITECTURAL PLANS)
 - PROPOSED GAS SERVICE (SEE NOTE 19)
 - COORDINATE GAS METER INSTALLATION WITH GAS COMPANY.
 - 8" PVC SDR 26 ROOF DRAIN PIPE SYSTEM (CONNECT TO SITE STORM DRAIN)
 - UNDERGROUND PRIMARY ELECTRIC SERVICE. (SEE NOTE 21)
 - UNDERGROUND PRIMARY TELEPHONE SERVICE. (SEE NOTE 20)
 - UNDERGROUND SECONDARY ELECTRIC SERVICE TO BUILDING. (SEE NOTE 21)
 - PROPOSED PAD MOUNTED TRANSFORMER PER ELECTRIC COMPANY STANDARDS. SEE SERVICE UTILITY NOTES, THIS SHEET.
 - 6" DUCTILE IRON PIPE - FIRE SERVICE. MAINTAIN MIN. 4.0' COVER.
 - UNDERGROUND ISP SERVICE (SEE NOTE 22)
 - INSTALL TRANSFORMER PAD (SEE NOTE 21)
 - EXISTING WATERMAIN (APPROX. LOCATION. CONTRACTOR TO VERIFY LOCATION, DEPTH, & SIZE.)
 - 6" PVC C900 WATERMAIN QUALITY PIPE - SANITARY SERVICE PIPE
 - 6" PRESSURE TAP WITH VALVE & VALVE VAULT (CONTRACTOR TO VERIFY SIZE OF MAIN PRIOR TO ORDERING STRUCTURES)
 - 1.5" GAS SERVICE LINE TO DRIVE-THRU CANOPY

- MISCELLANEOUS NOTES:**
- * ALL BUILDING UTILITY SERVICE LOCATIONS TO BE VERIFIED W/ ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
 - * FOR EXACT LIGHT POLE LOCATIONS SEE PHOTOMETRICS PLAN
 - * AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE CITY AND/OR ODOT TO OBTAIN APPLICABLE PERMITS.
 - * WORK WITHIN THE ROW SHALL BE DONE IN ACCORDANCE WITH THE CITY SPECIFICATIONS.
 - * ONLY THE CITY OF WORTHINGTON PUBLIC WORKS DEPARTMENT MAY OPERATE EXISTING VALVES.
 - * THE CONTRACTOR MUST CONTACT THE CITY OF WORTHINGTON PUBLIC WORKS DEPARTMENT TO SCHEDULE INSPECTIONS FOR ALL WORK WITHIN THE ROW.
 - * TRACER WIRE ON THE WATER SERVICE SHALL BE CONNECTED TO THE TRACER WIRE ON THE WATER MAIN AND INSTALLED IN ACCORDANCE WITH THE CITY SPECIFICATIONS.
 - * ANY WORK PERFORMED IN THE ROW SHALL BE PERFORMED BY A CITY "QUALIFIED" CONTRACTOR AND MONITORED BY PUBLIC WORKS.


CITY OF WORTHINGTON
DRAWING NO. ARB 0109-2022
CU 09-2022
DATE 10/13/2023



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998

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PRELIMINARY

CHICK-FIL-A
WORTHINGTON FSU
60 E. WILSON BRIDGE ROAD
WORTHINGTON, OH 43085

FSU# 05269

REVISION SCHEDULE
NO. DATE DESCRIPTION

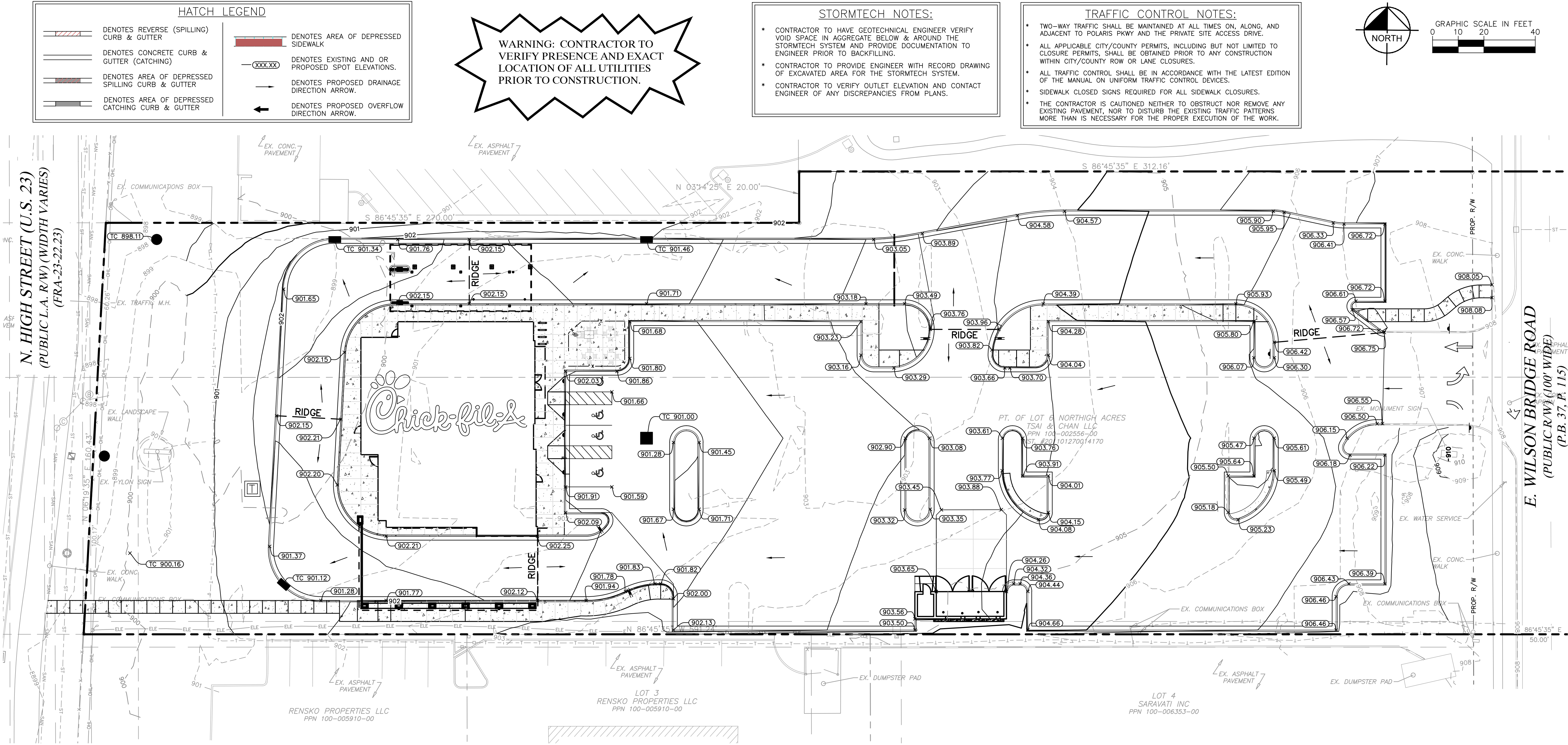
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SHEET
PLUMBING SITE PLAN
SHEET NUMBER

PS-1.0



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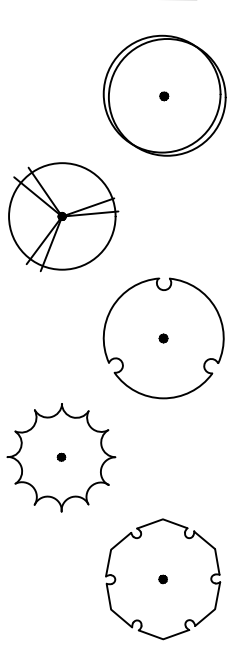
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CHICK-FIL-A
WORTHINGTON FSU
60 E. WILSON BRIDGE ROAD
WORTHINGTON, OH 43085

FSU# 05269

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
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<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>CONT</u>	<u>CAL/SIZE</u>
GI	4	GLEDTISIA TRIACANTHOS INERMIS	THORNLESS HONEY LOCUST	B & B	3" CAL.
MS	3	MALUS X 'SNOWDRIFT'	SNOWDRIFT CRABAPPLE	B & B	1.5" CAL
QP	12	QUERCUS PHELLOS	WILLOW OAK	B & B	3" CAL MIN
TV	13	THUJA OCCIDENTALIS 'EMERA'	EMERALD GREEN ARBORVITAE	24" BOX	
UB	8	ULMUS PARVIFOLIA 'UPMTF'	BOSQUE® LACEBARK ELM	B & B	3" CAL.
<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>CONT</u>	<u>SPACING</u>
BB	72	BUXUS MICROPHYLLA	LITTLELEAF BOXWOOD	3 GAL	36" OC
IB	12	ILEX AQUIFOLIUM 'BLUE GIRL'	BLUE GIRL ENGLISH HOLLY	3 GAL	36" OC
IG	39	ILEX GLABRA	INKBERRY HOLLY	3 GAL	36" OC
IS	2	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	3 GAL	36" OC
TE	53	TAXUS X MEDIA 'EVERLOW'	EVERLOW ANGLO-JAPANESE YEW	3 GAL	36" OC
<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>CONT</u>	<u>SPACING</u>
HL	34	HYDRANGEA PANICULATA 'LIMELIGHT'	LIMELIGHT PANICLE HYDRANGEA	3 GAL	36" OC



<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>CONT</u>	<u>SPACING</u>
EF	188	EUONYMUS FORTUNEI	WINTERCREEPER	1 GAL	18" OC
HO	36	HEMEROCALLIS X 'STELLA DE ORO'	STELLA DE ORO DAYLILY	1 GAL	18" OC
LC	150	LIRIOPE SPICATA	CREEPING LILYTURF	1 GAL	18" OC
NW	100	NEPETA X 'WALKER'S LOW'	WALKER'S LOW CATMINT	1 GAL	36" OC
PH	127	PANICUM VIRGATUM 'HEAVY METAL'	HEAVY METAL SWITCH GRASS	3 GAL	36" OC
RG	49	RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM'	GOLDSTURM CONEFLOWER	1 GAL	24" OC

CODE	REQUIREMENTS	PROVIDED
1171.02(h) SPECIAL PARKING PROVISIONS	1 TREE PER 6,000 SF OF PAVED SURFACE 71,487 SF / 6,000 = 12 TREES	12 TREES
1171.02(h) SPECIAL PARKING PROVISIONS	1 TREE PER (6) PARKING SPACES 78 PARKING SPACES	13 TREES

SOD
GREEN VELVET TURF TYPE TALL FESCUE SOD



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5200 Buffington Road
Atlanta, Georgia
30349-2998



PRELIMINARY

CHICK-FIL-A

WORTHINGTON FSU

60 E. WILSON BRIDGE ROAD
WORTHINGTON, OH 43085

FSU# 05269

<u>Q. DATE</u>	<u>DESCRIPTION</u>
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AGENCY #	TBD
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PROJECT #	190241012
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DATE 10/12/2023

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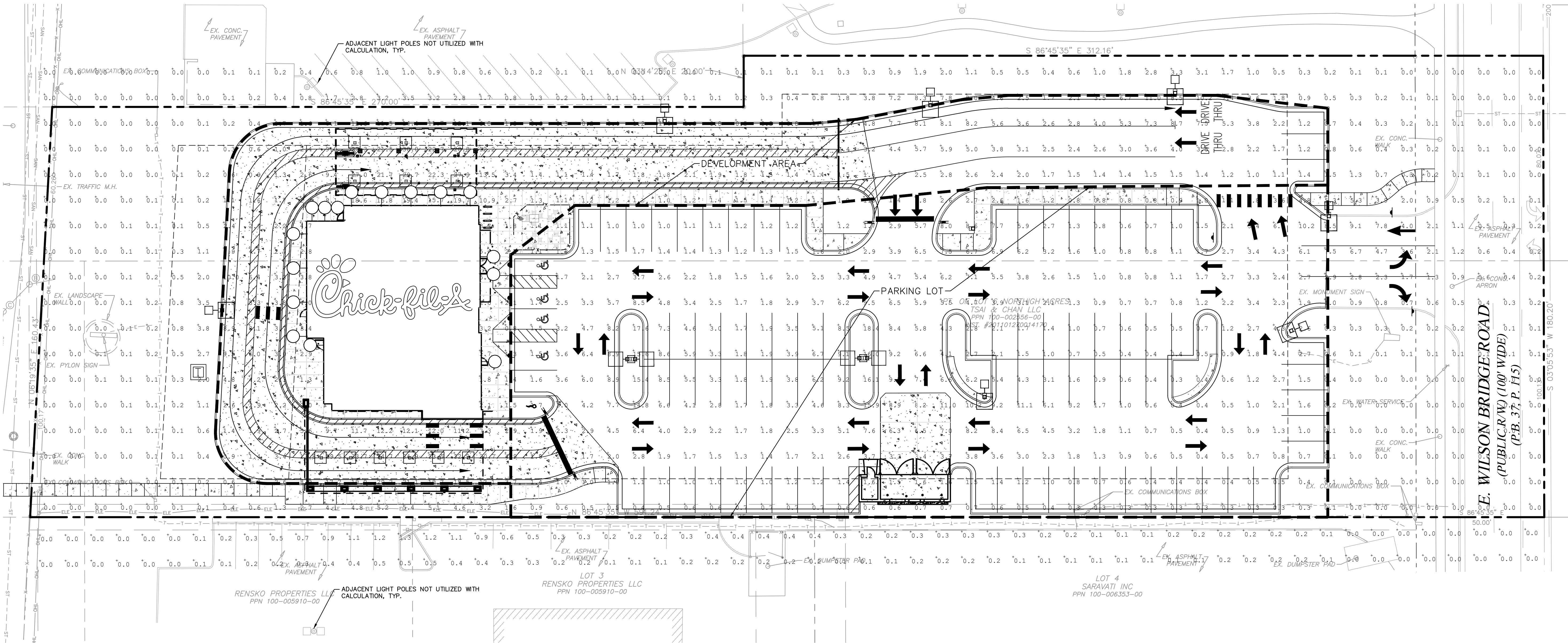
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SHEET

SHEET NUMBER

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SYMBOL	TAG	MANUFACTURER	MODEL NUMBER	LLF*	QUAN TITY	MOUNTING STYLE	COLOR TEMP	LAMPS	MOUNTING HEIGHT	NOTES
	OD1	COOPER LIGHTING SOLUTIONS – LUMARK	PRV-C60-D-UNV-T4-BZ-7030	0.90	2	POLE	3000K	LED	15'-0"	CONTRACTOR TO ORDER ALL ACCESSORIES NECESSARY TO MEET THE INTENT OF THE LIGHTING SYSTEM INCLUDING MOUNTING BRACKETS, ADAPTORS AND CONTROLS. COORDINATE WITH ELECTRICAL PLANS FOR LIGHTING CONTROL. COORDINATE WITH POLE FOUNDATION DESIGNER FOR POLE TYPE.
	OD2	COOPER LIGHTING SOLUTIONS – LUMARK	PRV-C60-D-UNV-T4-BZ-7030	0.90	2	POLE	3000K	LED	15'-0"	CONTRACTOR TO ORDER ALL ACCESSORIES NECESSARY TO MEET THE INTENT OF THE LIGHTING SYSTEM INCLUDING MOUNTING BRACKETS, ADAPTORS AND CONTROLS. COORDINATE WITH ELECTRICAL PLANS FOR LIGHTING CONTROL. COORDINATE WITH POLE FOUNDATION DESIGNER FOR POLE TYPE.
	OD3	COOPER LIGHTING SOLUTIONS – LUMARK	PRV-C60-D-UNV-T3-BZ-7030	0.90	6	POLE	3000K	LED	10'-0"	CONTRACTOR TO ORDER ALL ACCESSORIES NECESSARY TO MEET THE INTENT OF THE LIGHTING SYSTEM INCLUDING MOUNTING BRACKETS, ADAPTORS AND CONTROLS. COORDINATE WITH ELECTRICAL PLANS FOR LIGHTING CONTROL. COORDINATE WITH CANOPY DESIGNER FOR MOUNTING.
	OA	PROGRESS	P5675-31	0.90	12	WALL	3000K	LED	12'-0"	CONTRACTOR TO ORDER ALL ACCESSORIES NECESSARY TO MEET THE INTENT OF THE LIGHTING SYSTEM INCLUDING MOUNTING BRACKETS, ADAPTORS AND CONTROLS. COORDINATE WITH ELECTRICAL PLANS FOR LIGHTING CONTROL. MOUNT INSIDE TRASH ENCLOSURE.
	Z1	COOPER/HALO	SLD405930WH	0.90	8	WALL	3000K	LED	10'-0"	CONTRACTOR TO ORDER ALL ACCESSORIES NECESSARY TO MEET THE INTENT OF THE LIGHTING SYSTEM INCLUDING MOUNTING BRACKETS, ADAPTORS AND CONTROLS. COORDINATE WITH ELECTRICAL PLANS FOR LIGHTING CONTROL. COORDINATE WITH CANOPY DESIGNER FOR MOUNTING.
	Z2	LSI INDUSTRIES, INC.	CRUS-SC-LW-30	0.90	12	CANOPY	3000K	LED	12'-0"	CONTRACTOR TO ORDER ALL ACCESSORIES NECESSARY TO MEET THE INTENT OF THE LIGHTING SYSTEM INCLUDING MOUNTING BRACKETS, ADAPTORS AND CONTROLS. COORDINATE WITH ELECTRICAL PLANS FOR LIGHTING CONTROL. MOUNT INSIDE TRASH ENCLOSURE.

*LIGHT LOSS FACTOR IS A MULTIPLIER THAT IS DERIVED FROM MULTIPLE FACTORS INCLUDING LAMP LUMEN DEPRECIATION (LLD), LUMINARE DIRT DEPRECIATION (LDD) AND LAMP BURNOUT (LBO). 0.9 IS USED AS TYPICAL FOR LED LUMINAIRES.

CALCULATION SUMMARY

CALC TYPE	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PARKING LOT	3.1	20.7	0.3	10.3	69.0
DEVELOPMENT AREA	3.1	34.9	0.0	N/A	N/A
PROPERTY AREA	2.98	34.9	0.0	N/A	N/A

OD POLES SHALL BE 13' SQUARE STRAIGHT STEEL POLES ON A 2' POLE BASE.
BUILDING MOUNTED LIGHTING TO HAVE HEIGHT OF 12'
CANOPY MOUNTED LIGHTING TO HAVE HEIGHT OF 10'



CITY OF WORTHINGTON
DRAWING NO. ARB 0109-2022
CU 09-2022
DATE 10/13/2023



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998

Kimley-Horn

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7985 NORTH HIGH STREET, SUITE 200, COLUMBUS, OH 43235
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PRELIMINARY

CHICK-FIL-A

WORTHINGTON FSU

60 E. WILSON BRIDGE ROAD
WORTHINGTON, OH 43085

FSU# 05269

REVISION SCHEDULE

NO. DATE DESCRIPTION

AGENCY # TBD

PROJECT # 190241012

PRINTED FOR 1ST

DATE 10/12/2023

DESIGN BY WDS

DRAWN BY MCS

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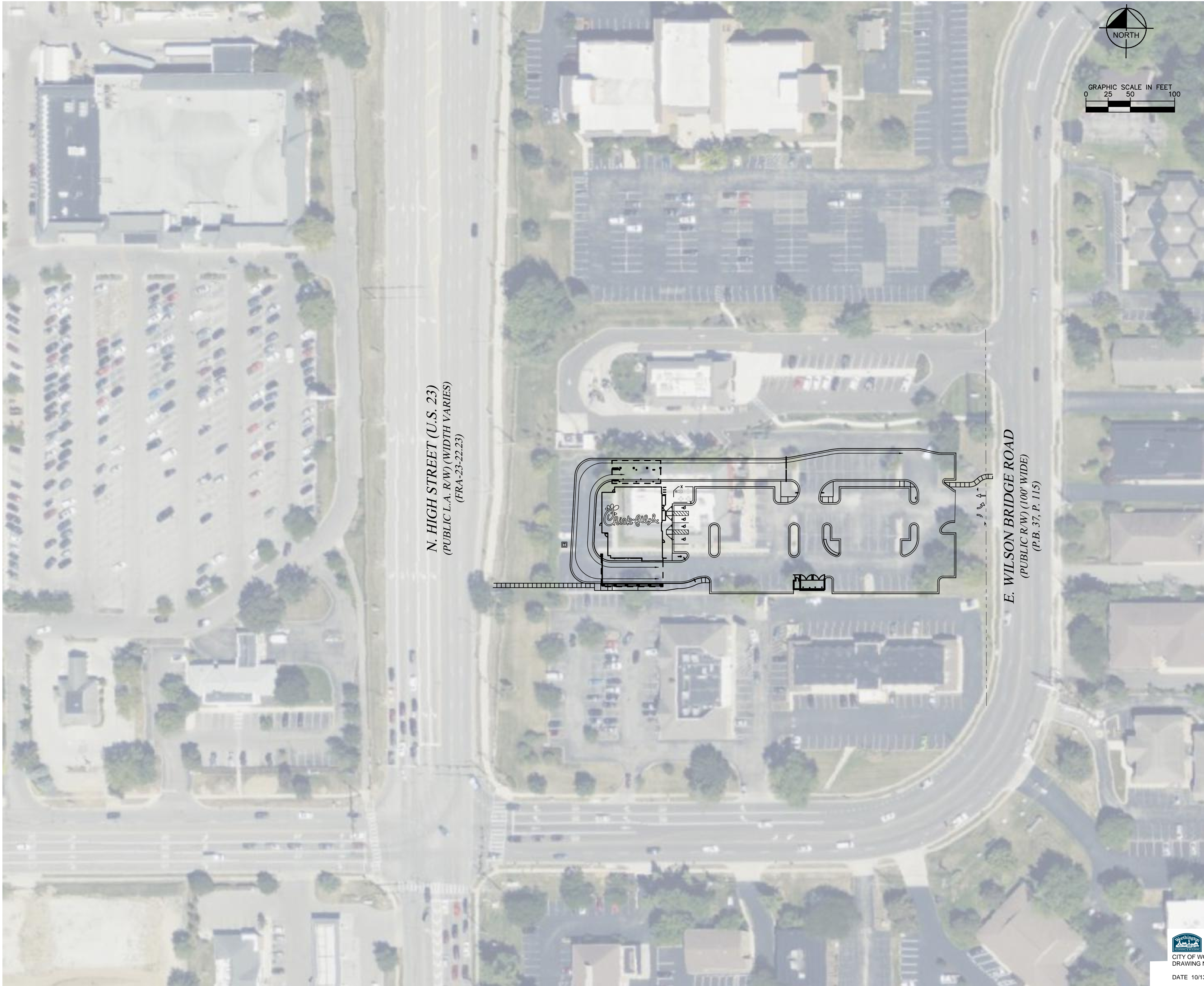
SHEET

PHOTOMETRIC PLAN

SHEET NUMBER

E-102

K:\CLB_LUR\190241012_Chick-fil-A_Worthington.dwg CH2 Design\CAD\Paradee\Site Plan\Aerial\Drawing Sheet No. LAYOUT11 Drawn By: JJJ\media - Thursday, October 12, 2023 3:36 PM Printed By: Salsaba, Bill - October 12, 2023 9:49 PM



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SHEET

SITE PLAN
(AERIAL EXHIBIT)

SHEET NUMBER

C-2.2