



**ARCHITECTURAL REVIEW BOARD  
MUNICIPAL PLANNING COMMISSION  
-AGENDA-  
Thursday, December 14, 2023 at 7:00 P.M.**

Louis J.R. Goorey Worthington Municipal Building  
The John P. Coleman Council Chamber  
6550 North High Street  
Worthington, Ohio 43085

Watch online at [worthington.org/live](https://www.worthington.org/live), and comment in person or at [worthington.org/meeting-public-input](https://www.worthington.org/meeting-public-input)

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**A. Call to Order - 7:00 pm**

1. Roll Call
2. Pledge of Allegiance
3. Approval of minutes of the November 9, 2023 meeting
4. Affirmation/swearing in of witnesses.

**B. Architectural Review Board – Consent Agenda**

There will be no separate discussion of Consent Agenda items as they are considered to be routine by the Board and Commission and will be adopted by one motion. If a member of the Board & Commission, staff, or public requests discussion on a particular item, that item will be removed from the Consent Agenda and considered separately on the agenda. Approval of Consent Agenda items includes conditions as listed in the staff memo.

1. Decorative Fencing – **80 W. Granville Rd.** (Kathy Holcombe) **ARB 94-2023**
2. Heat Pump – **569 Oxford St.** (Michael Siroskey) **ARB 96-2023**
3. Fence Replacement – **148 E. South St.** (Amy Weinsz) **ARB 97-2023**

**C. Municipal Planning Commission – New Business**

**1. Code Amendment**

- a. Chickens – **APZ 02-2023**

**D. Architectural Review Board – Unfinished Business**

1. New Natatorium – **400 W. Dublin-Granville Rd.** (Schorr Architects, Inc./TWHS) **ARB 79-2023**
2. New Chick-fil-A Restaurant – **60 E. Wilson Bridge Rd.** (Bill Skebba) **ARB 109-2022**

**E. Municipal Planning Commission – Unfinished Business**

**1. Conditional Use Permit**

- a. Drive-In Commercial Use in C-4 – New Chick-fil-A Restaurant – **60 E. Wilson Bridge Rd.** (Bill Skebba) **CU 09-2022**

**F. Architectural Review Board – New Business**

1. Shuttered Windows – **44 W. New England Ave.** (Kevin Rohyans) **ARB 93-2023**
2. Directional Signs – **80 E. Wilson Bridge Rd.** (McDonald's) **ARB 95-2023**

**G. Municipal Planning Commission – New Business (continued)**

**2. Code Amendment**

- b. Sign Code – **APZ 01-2023**

**H. Other**

**I. Adjournment**



## MEMORANDUM

TO: Members of the Architectural Review Board  
Members of the Municipal Planning Commission

FROM: R. Lee Brown, Director  
Lynda Bitar, Planning Coordinator

DATE: December 8, 2023

SUBJECT: Staff Memo for the Meeting of December 14, 2023

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### **B. Architectural Review Board – Consent Agenda**

There will be no separate discussion of Consent Agenda items as they are considered to be routine by the Board and Commission and will be adopted by one motion. If a member of the Board & Commission, staff, or public requests discussion on a particular item, that item will be removed from the Consent Agenda and considered separately on the agenda. Approval of Consent Agenda items includes conditions as listed in the staff memo.

1. Decorative Fencing – **80 W. Granville Rd.** (Kathy Holcombe) **ARB 94-2023**

### **Findings of Fact & Conclusions**

#### **Background & Request:**

This Queen Anne house was constructed in 1896 and is listed individually on the National Register of Historic Places as well as being a contributing building in the Worthington Historic District. The owner would like to add some decorative fencing to the property.

#### **Project Details:**

1. Two 5' wide curved sections of 1890's wrought iron picket fencing with gates are proposed in front of the existing boxwood hedge near the sidewalk in front of the house. The fence sections would be in the right-of-way so approval is needed by the Service Director. As there are no utilities in the area and the location would not interfere with the street, approval can be granted contingent on signing a right-of-way permit agreement.
2. On the west side of the house, 60' back from the sidewalk, two 13' wide sections of the same fencing are proposed at the entrance to a patio.
3. The fencing would be painted black.

**Land Use Plans:**Worthington Design Guidelines and Architectural District Ordinance

Side yard fences should be open in style (avoid solid, opaque fences that block all views) and three to four feet in height. In the back yard, generally avoid fences over four feet in height; higher fences are discouraged but may be appropriate where a commercial use abuts a residential property. In all cases, no fences higher than six feet are permitted.

**Recommendations:**

Staff is recommending approval of this application as the fence sections are decorative and open in style, and with the condition a right-of-way permit agreement is executed.

**Motion:**

**THAT THE REQUEST BY KATHY HOLCOMBE FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL FENCING AT 50 W. GRANVILLE RD., AS PER CASE NO. ARB 94-2023, DRAWINGS NO. ARB 94-2023, DATED NOVEMBER 17, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

**2. Heat Pump – 569 Oxford St. (Michael Siroskey) ARB 96-2023****Findings of Fact & Conclusions****Background & Request:**

The house at 569 Oxford St. is an American Foursquare that was built in 1915 and is a contributing building in the Worthington Historic District. A rear addition was constructed in the early 1980's. The owner gained approval in 2019 and 2020 to renovate the house. With this application approval of a heat pump is requested.

**Project Details:**

1. There is an existing condensing unit at the southwest corner of the house that would be removed.
2. The new heat pump is proposed in the same general location but slightly north and partially screened by the house.
3. An evergreen hedge will be needed to screen the unit from the front and side.

**Land Use Plans:**Worthington Design Guidelines and Architectural District Ordinance

Mechanical equipment should be screened from view from the right-of-way.

**Code Section 1173.10 Location of Building Service Equipment.**

- (a) Any building service equipment, including air-conditioning or refrigeration system which includes an exterior compressor, cooling tower, condensing unit, chiller unit, absorber, or emergency generator, either singularly or in any combination of the above, or any other exterior device which expels heat and/or noise detectable from outside the premises on which



such system is located shall be installed and maintained with such exterior unit located to the rear of the dwelling unit.

- (b) The provisions of subsection (a) hereof notwithstanding, building service equipment may be located at the side of the dwelling, provided that the equipment shall be effectively screened on the front and sides by an evergreen hedge or dense planting of evergreen shrubs not less than the height of the equipment, or by a fence or wall of similar height conforming to Chapter [1180](#).

**Recommendation:**

Staff is recommending approval of the application with the condition the heat pump be screened from the front and side.

**Motion:**

**THAT THE REQUEST BY MICHAEL SIROSKEY FOR A CERTIFICATE OF APPROPRIATENESS TO ADD A HEAT PUMP AT 569 OXFORD ST., AS PER CASE NO. ARB 96-2023, DRAWINGS NO. ARB 96-2023, DATED NOVEMBER 17, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

**3. Fence Replacement – 148 E. South St. (Amy Weinsz) ARB 97-2023**

**Findings of Fact & Conclusions**

**Background & Request:**

This house is about 1100 square feet in area and sits on a 0.16 acre lot that is 50' wide and 140' deep. The house is a contributing building in the Worthington Historic District. There is an existing wire fence enclosing the rear of the property that the owner would like to replace.

**Project Details:**

1. The existing fence is green wire farm fencing mounted on 4" x 4" wood poles that surrounds the rear yard behind the garage and driveway.
2. Proposed is a 4' high cedar picket fence with rails at the top and bottom. The fence would have 3 ½" wide pickets spaced 3 ½" apart.
3. Fences must be at least 30' from any right-of-way in the R-10 Zoning Districts. As there is an alley adjacent to the rear of the property, a variance would be needed to replace the fencing in its current location.

**Land Use Plans:**

**Worthington Design Guidelines and Architectural District Ordinance**

Side yard fences should be open in style (avoid solid, opaque fences that block all views) and three to four feet in height. In the back yard, generally avoid fences over four feet in height; higher fences are discouraged but may be appropriate where a commercial use abuts a residential property. In all cases, no fences higher than six feet are permitted.

[1180.02 "R" Districts.](#)

(a) In any "R" District, no fence or wall shall be erected in the area between the right of way line and the building setback line except for a wall necessary to accommodate differences in grade. No fence or wall in an "R" district shall exceed a height of six feet.

**Recommendations:**

Staff is recommending approval of this application with the condition a variance is obtained from the Board of Zoning Appeals for placement.

**Motion:**

**THAT THE REQUEST BY AMY WEINSZ FOR A CERTIFICATE OF APPROPRIATENESS TO REPLACE FENCING AT 148 E. SOUTH ST., AS PER CASE NO. ARB 97-2023, DRAWINGS NO. ARB 97-2023, DATED NOVEMBER 18, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

**C. Municipal Planning Commission – New Business**

**1. Code Amendment**

**a. Chickens – APZ 02-2023**

**Findings of Fact & Conclusions**

**Background & Request:**

In early 2023 City Council discussed exploring the City's restrictions on permitting backyard chickens (layer hens). At the May 1, 2023, City Council meeting, City staff was directed to review and propose Code language that would change the current chicken regulation to be less restrictive by the end of 2023.

Since then, City staff was tasked with exploring more in-depth the approaches other communities have utilized to permit backyard chickens and identifying key regulatory areas that should be examined further. As Worthington contracts with Columbus Public Health (CPH) to provide public health services, staff met with CPH to discuss their backyard chicken permitting process and learn more about their approach from a public health rationale.

On October 9, 2023, City staff invited Dr. Aaron K. Messer who is the Public Health Veterinarian and Registered Environmental Health Specialist with Columbus Public Health to review their program with City Council to answer questions. After the presentation, City Council directed staff to draft regulations that would permit backyard chickens (layer hens) in the City of Worthington following the City of Columbus's guidelines for backyard chickens (layer hens).

City staff has drafted language that would lessen the setback restriction for backyard chickens (layer hens) while following Columbus Public Health Guidelines for backyard chickens.

City staff has invited Dr. Aaron K. Messer with Columbus Public Health to attend the December 14, 2023, Architectural Review Board and Municipal Planning Commission meeting to give a similar presentation that was presented to City Council and answer questions.

City staff is recommending changes to Part Five – General Offenses Code – Section 505.08 Nuisance Conditions Prohibited of the Codified Ordinances and changes to Section 1123.02 Accessory Use or Structure and Section 1149.08 Special Yard Requirements of the Planning & Zoning Code that would permit chickens (layer hens) within the City of Worthington following the City of Columbus’s rules and regulations for chickens.

General Standards (Please see attached materials from Columbus Public Health):

- No person shall be permitted to have a chicken (layer hen) without making application.
- No roosters will be permitted.
- Each pen or enclosure shall have a floor of impervious material and be under cover.
- A coop and/or run may not be permitted in a front yard and cannot be located within three (3) feet of a side or rear yard property line.
- All pens, runs and coops must be rodent proof.
- A coop and run shall not count towards accessory building area as referenced in 1149.08(b) or be subject to approval from the Architectural Review Board as referenced in Chapter 1177.
- Your typical coop and run is approximately sixty-four (64) square feet and six (6) feet in height.
- The number of chickens (layer hens) shall be limited to 8 within the City of Worthington.
  - Average egg laying timeframe for a chicken (layer hen) is approximately 2.5-years to 3-years.
- Application, Renewal & Approval
  - Chicken Plan - \$50 application fee
    - Written plans including design details of the coop and run.
    - Written document outlining the intended disinfection and cleaning schedule and a waste disposal plan.
    - Written document outlining a general knowledge of the proper handling and care for the chickens.
    - Health Certification Documentation
  - 4-year licensing period - \$100 fee
  - Onsite consultation
  - Inspections are conducted at least once during a permit term.
- Any existing coops and runs that shall be required to follow Columbus Public Health requirements.
- Complaints will be handled through Columbus 311.

**Staff Analysis:**

- Section 505.08 Nuisance Conditions Prohibited is also going to be amended to remove chickens from the 150-foot requirement from any residence and language added to permit chickens (layer hens) in any “R” District provided that the applicant has obtained a permit

and fully complies with the applicable rules and regulations established in the Columbus Health Code as administered by Columbus Public Health.

- This Chapter will be amended by a separate Ordinance under the General Offenses Code of the Codified Ordinances of the City of Worthington.
- Section 1123.02 Accessory Use or Structure is amended to limit the number of chickens (layer hens) to 8 or less and the erection of a chicken coop shall be considered an accessory use and structure in any “R” District.
- Section 1149.08 Special Yard Requirements is amended to permit chicken coops and runs to be located in the rear yard and be located a minimum of three (3) feet from the side and rear lot lines. Chicken coops and runs approved by Columbus Public Health shall not count towards accessory building area or be subject to approval from the Architectural Review Board.
- If approved, the Municipal Planning Commission will then refer their recommendation to City Council for final approval. If approved by City Council, the proposed changes to the Planning & Zoning Code would be effective 60-days after approval.
  - City staff will time the effective date for the amendments to Section 505.08 Nuisance Conditions Prohibited to be effective on the same day that changes will be effective for the changes to the Planning & Zoning Code that are subject to the 60-day waiting period.

#### **Recommendations:**

Staff is recommending approval of the proposed text changes to the Planning & Zoning Code to lessen the restrictions on permitting chickens (layer hens) that adheres to the rules and regulations outlined by Columbus Public Health.

#### **Motion:**

**THAT THE REQUEST TO AMEND THE PLANNING & ZONING CODE TO AMEND CHAPTER 1123.02 ACCESSORY USE OR STRUCTURE AND CHAPTER 1179.08 SPECIAL YARD REQUIREMENTS TO PERMIT CHICKENS (LAYER HENS) THAT ADHERES TO COLUMBUS PUBLIC HEALTH RULES AND REGULATIONS AS PER CASE NO. APZ 02-2023, BE RECOMMENDED TO CITY COUNCIL FOR APPROVAL BASED ON THE PLANNING GOALS OF THE CITY, AS REFERENCED IN THE LAND USE PLANS AND ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

#### **D. Architectural Review Board – Unfinished Business**

1. New Natatorium – **400 W. Dublin-Granville Rd.** (Schorr Architects, Inc./TWHS) **ARB 79-2023**

#### **Findings of Fact & Conclusions**

*Comments from the last submittal are italicized.*

**Background & Request:**

*The natatorium was built in 1973 and was expected to last 30 years. Now that it has been around for about 50 years replacement is needed. The Worthington Schools are proposing demolition and replacement.*

**Project Details****1. Site Plan:**

- a. *While the existing natatorium is adjacent to the Thomas Worthington High School parking lot, the proposed building would be to the south, about 100' from the W. Dublin-Granville Rd. right-of-way. Since the last submittal, the new building would now be about 40' further south and west due to issues with the grade of the outdoor pools.*
- b. *A parking area is proposed north of the new building and would include 28 regular parking spaces plus 2 handicap spaces. Two entrance drives would provide access from the main driveway that leads to the high school parking lot. A sidewalk is proposed winding down to and along the east and south sides of the parking lot, across the drive, and along the west side of the building. More detail of the walkways is needed.*
- c. *Preservation of 7-8 trees that are in good condition is proposed. Twenty trees would be removed due to location and/or condition. A variety of new trees are proposed in the parking area and at other locations around the site. Sod would be on the slope down from the outdoor pool level to the new parking lot. A new landscape plan is needed.*
- d. *The storm sewer detention system for the site is proposed south and west of the new natatorium.*

**2. Building:**

- a. The flat-roofed building is proposed to be built partly into the slope, but less than before due to the new location.
- b. The proportions and details of the building have been modified.
  - Matching building design would continue around the entire building, consisting of red brick with light brick base, banding, trim and accents.
  - The north and south elevations would have matching 3-bay facades with recessed brick panels at the ends and windows with recessed panels below in the middle.
  - The arched features on the south side are now rectangular.
  - A parapet is now proposed around the entire building, including the one-story structure on the west side. The rooftop equipment would be screened with the parapets.
  - The main entrance is shown on the north elevation at the west end as part of the one-story structure that would also house equipment. The entrance would have an arched metal roof.
- c. Materials:
  - The main brick is proposed as a red brick from Belden; Tan Belden brick would also be used. The brick will be shown at the meeting.
  - Windows would be dark bronze. The windows on the south elevation would have

- a wall behind.
- Doors and the roof canopy above the entry at the northwest corner are proposed to be bronze metal like at the fieldhouse.
- Lighting would match the high school. More details are needed.

### **Land Use Plans:**

#### Worthington Design Guidelines

Compatibility of design and materials and exterior details and relationships are standards for review in the Architectural District ordinance.

### **Division of Building Regulation Comments:**

The fire separation distances for the existing and new buildings required by [OBC Table 602](#) can be interpreted as not applying as long as both buildings are not simultaneously occupied, b) it is not clear when the existing building will be demolished for the new parking area. Timing of construction operations could affect the occupancy of the existing building during construction, and occupancy of the new building after construction, as the site is transitioned. Concerns will be maintaining and accessing existing and new fire protection systems required by [OBC Chapter 9](#), and maintaining and accessing the existing and new means of egress systems required by [OBC Chapter 10](#).

### **Recommendation:**

Staff recommends **approval** of the following motion when additional materials are presented and are satisfactory.

### **Motion:**

**THAT THE REQUEST BY SCHORR ARCHITECTS ON BEHALF OF THE WORTHINGTON SCHOOLS FOR A CERTIFICATE OF APPROPRIATENESS TO DEMOLISH AND REBUILD THE NATATORIUM AT 400 W. DUBLIN-GRANVILLE RD., AS PER CASE NO. ARB 79-2023, DRAWINGS NO. ARB 79-2023, DATED DECEMBER 4, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

2. New Chick-fil-A Restaurant – **60 E. Wilson Bridge Rd.** (Bill Skebba) **ARB 109-2022**

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### **E. Municipal Planning Commission – Unfinished Business**

#### **1. Conditional Use Permit**

- Drive-In Commercial Use in C-4 – New Chick-fil-A Restaurant – **60 E. Wilson Bridge Rd.** (Bill Skebba) **CU 09-2022**

*Comments from the last submittal are italicized.*

ARB-MPC Staff Memo

Meeting December 14, 2023

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## **Findings of Fact & Conclusions**

### ***Background & Request:***

*Buca di Beppo opened at this location in 2001 and has operated there ever since. The property is in the C-4 Zoning District but is also subject to provisions in the Wilson Bridge Corridor (WBC) chapter of the Code. The site is made up of a parcel that is 582.5' deep on the north side (33' of that depth is part of a highway easement); 591.37' deep on the south side (33' of that depth is part of a highway easement); about 180' wide at E. Wilson Bridge Rd.; and about 160' wide at N. High St. for a total of about 2.3 acres (2.18 acres without the area in the highway easement). The highway easement needs to be dedicated to the City as right-of-way. Although the site has frontage on N. High St. and E. Wilson Bridge Rd., access is only allowed from E. Wilson Bridge Rd. as N. High St. is limited access right-of-way.*

*The applicant is proposing to demolish the existing building and construct a new Chick-fil-A restaurant with a drive-thru. Some revisions have been made since the ARB first heard the request in January and September of this year.*

There are 3 sections of this submittal, each with its own description of changes: civil, architectural, and signs.

### **Project Details:**

1. Site:
  - a. *Building Location:*
    - *A 5028 square foot (sf) building is now proposed about 100' from the N. High St. right-of-way vs. the previously proposed 85' from the N. High St. right-of-way.*
      - *The required setback is 100' along N. High St.*
  - b. *Canopy Locations:*
    - *The required side yard in the C-4 Zoning District is 15' so the two canopies and dumpster enclosure would also be closer than allowed to the property lines.*
      - *The north side canopy would be a 55'1" x 26'1" freestanding structure and approximately 8.4' from the northern property line.*
      - *The south side canopy would be a roughly 69' x 31' part of the building and approximately 9.3' from the southern property line.*
  - c. *Transformer Location:*
    - *A transformer is proposed west of the drive-thru lanes.*
    - *The transformer will need a variance to be closer than 100' to the right-of-way.*
  - d. *Parking and Drive-thru:*
    - *The existing 35.5' wide drive would be reused and allow for an entrance lane, and right and left turn lanes out of the property.*
    - *Asphalt pavement framed with curb and gutter would start at 34.4' from the E. Wilson Bridge Rd. property line vs. the previously proposed 50' from the E. Wilson Bridge property line and cover most of the site between that line and the building.*
    - *Parking for 83 vehicles, including 4 ADA spaces adjacent to the east side of the building is proposed. Based on the building size, the minimum number of spaces*

- required would be 68; the maximum number of spaces allowed in the WBC would be 85. Parking space size for non-ADA spaces would be 10' wide and 18' deep.*
- *Drive-thru customers would be directed to veer to the right after entering the lot and two 12' wide drive-thru lanes with 3' striped between would begin about 113' from the right-of-way. Pavement on the north side is proposed 15' from the property line, transitioning to about 6' at the jog in the property.*
  - *At about 155' east of the building, the pavement would change to concrete. The two drive-thru lanes would continue around the building, coming as close as 70' to the N. High St. right-of-way vs. the previously proposed 50', and transition back to asphalt just east of the building. The parking on the south side is proposed at the property line.*
- e. Magnetic delineators that were previously proposed all along the lanes are no longer shown on the civil plan, but delineators and team member crossing signs are shown on the architectural plans.
- f. *Pedestrian Access:*
- *The previous connection to the north has been replaced with a sidewalk entering the property from the Wilson-Bridge Rd. sidewalk, crossing the drive thru entry, and continuing through parking lot islands to the building.*
  - *The revised plans show a sidewalk along the southern portion of the site extending out to N. High St.*
    - *This portion of N. High St. is limited in access and sidewalks directly to the N. High St. public right-of-way is likely not permitted.*
- g. *Outdoor Seating Area:*
- *Four tables with red umbrellas are shown east of the north end of the building in front of the main entrance. Logos would not be permitted on the umbrellas.*
    - *Catalogue cuts or photographs are needed.*
  - *The area is proposed as concrete and surrounded by a black metal picket fence.*
- h. *Bicycle Racks:*
- *Four inverted "U" bicycle racks are proposed in front of the building at the north end. Modifications have been made to the location of the bike racks.*
- i. *Site Coverage:*
- *The applicant has calculated the impervious area at 65,942 sq. ft. ~~71,330 sq. ft.~~ which is 72% ~~78.35%~~ of the site.*
    - *The WBC guidelines permit a maximum of 75% lot coverage.*
- h. *Dumpster Enclosure:*
- *An enclosure that is 36'8" wide x 10'8" deep x 8'8" high is proposed about 6' from the south property line at about the midpoint of the parking lot.*
  - *The enclosure would have brick walls to match the building and metal doors.*
- i. *Landscaping:*
- *Trees, shrubs, and ground cover are proposed at the perimeter and in islands in the parking lot.*
  - *Parking Lot Islands/Peninsulas – A combination of Thornless Honey Locust and Willow Oak trees are proposed. The trees would be 3" caliper at planting. Coniferous and deciduous shrubs, perennials and grasses would complete the*



areas.

- *East Side – Planting beds are proposed adjacent to the parking lot on both sides of the drive and would combine with peninsulas at the front of the parking lot. The remainder of the property between the planting beds and the sidewalk is proposed to be sod.*
- *North Side - Four Willow Oak Trees are proposed in the area between the parking lot and the property line.*
- *South Side – Plantings are proposed on the south and east sides of the dumpster enclosure; and along the area south of the building and drive-thru.*
- *West Side – Planting beds are proposed at the western corners of the lot and along the west side of the drive-thru lanes.*

j. Lighting:

- Pole lights are proposed for the parking lot with the fixture mounting heights being 15’ and 10’. Bases with 2’ of exposed concrete are proposed. The rectangular fixtures and poles are proposed in black. LED light sources would have color temperature of 3000k.
- Round low-profile surface mounted fixtures are proposed under canopies on the building.
- The drive-thru canopies would have 6 square fixtures each in the ceilings, which are 12’ high. The color temperature would be 3000k.
- The photometric drawing shows the average footcandles for the site would be 3.47. The Code allows up to an average of 3 footcandles.
- The brightest lighting level is under the canopies at 44.4 footcandles.

k. Utilities:

*All utilities are existing for the site except a new fire protection line would be needed and would be run from the 6” watermain on the east side of E. Wilson Bridge Rd., with hydrants added near the street and within the dumpster enclosure. Utility connections will be reviewed by the City Engineer.*

l. Stormwater:

- The applicant now plans to install an underground detention system east of the building below the parking to the north.

m. Traffic:

- A traffic impact study has been reviewed by the City Engineer. See “Engineering Comments” below.
- There is the possibility in the future that a restricted access to the parcels along this portion of E. Wilson Bridge Rd. would need to be restricted to a right-in/right-out only movement with a divided median along the S-curve of E. Wilson Bridge Rd.
  - There are no plans at this time, however staff felt that any redevelopment in this portion of E. Wilson Bridge Rd. should be aware of changes that may be warranted in the future depending on traffic volumes and conditions.

2. Building:

a. General Design:

- *The proposed one-story building would have a mansard roof with the top having a flat roof about 26’ in height, the top 6-7’ of the walls being a parapet to hide rooftop*

*mechanical equipment. On the east and west elevations, two gables are proposed that appear like large dormers extending from the parapet walls above. The drive-thru canopy on the south side would have the lower part of the mansard roof but without the parapet walls on top.*

- *Modular size brick veneer is proposed for the building. Three Glen-Gery brick colors have been included to allow the applicant to have an option based on availability: Richmond, Aberdeen, Olde Detroit*
- *Argos San Tan would be the mortar color and expansion joint sealant color.*
- *Prefinished metal coping in midnight bronze would be used at the top of the parapet walls.*
- *Storefront material would be dark bronze, and windows are proposed with brick sills. A catalogue cut has not been provided for the storefront system.*
- *It is not clear if the color of the utility doors and cabinets would be dark bronze also.*
- *The roof material has not been identified but appears to be a brown asphalt shingle in the rendering.*
- *The internal dining room would have 74 seats.*

b. *East Elevation:*

- *The main entry is proposed in the north half of the building and would be a double door flanked by two storefront windows.*
- *To the south, a staff entrance is proposed.*
- *There appears to be a choice between spandrel glass and herringbone patterned brick in the two openings to the south. An example of spandrel glass is included in the packet.*
- *A bench is proposed in the middle portion of the wall.*

c. *North Elevation:*

- *Six storefront windows are proposed, with the westernmost being shaded in some manner.*
- *Drive-thru order canopy:*
  - *On the north side a flat-roofed metal canopy with brick columns is proposed. Heaters and fans would be added to the canopy ceiling which would be 9'6" from the concrete below.*

d. *West Elevation:*

- *Three storefront windows are proposed on the north 1/3 of the wall and one metal door is shown in the middle.*
- *Other utility doors and high windows would be recessed under the arch of the gable.*

e. *South Elevation:*

- *Most of the wall would be solid but the columns and arches at the outside of the canopy provide visual interest.*
- *A drive-thru window and sliding window are proposed on the east end.*
- *Heaters and fans would be added to the canopy ceiling.*

- f. *Lighting:*
- *Twelve 14" high cylinder lights in black are proposed on the north, west and east sides of the building. The width would be 5" and the color temperature 3000k.*
3. Signage:
- a. Building:
- Two wall signs are proposed – East and West sides – “Chick-fil-A” 10’ 6 7/8” wide x 4’6” high (47.58 square feet in area) signs made of white channel letters with white returns.
- b. Freestanding Signs:
- N. High St. – Face replacement is proposed for the existing pole sign. The cabinet dimensions are shown as 10’ wide x 4’ high in the packet but were measured as 9’8” wide x 3’10” high when Buca di Beppo was approved. The new sign faces would be cardinal red with “Chick-fil-A” in white, and the sign box and pole would be painted dark bronze. The backgrounds would be opaque.
  - E. Wilson Bridge Rd. - The existing cabinet for the monument sign is proposed to be painted dark bronze. New sign faces would be 6’ wide x 4’ high (3’10”) with cardinal red backgrounds and white “Chick-fil-A” acrylic lettering. The backgrounds would be opaque.
- c. Drive-thru Signs:
- Menu Boards – Two menu boards are proposed under the north canopy. The support column would be dark bronze 1’10 ¼” wide and 8’ tall. The menu boards would be ~4’1” high x 6’8” wide each and post with the top at about 6’ high. The menu areas are proposed as digital.
  - Clearance Bar – A clearance bar is proposed to be 9’ above grade at the start of the each concrete drive-thru lane. The support pole would be a matte black color and the dimension would be SW 5403 Gray.
- d. Directional Signs:
- Regulatory signs such as stop, do not enter, and handicap parking are shown as part of the sign package but approval is not necessary.
  - One 2’ high x 2’ wide “Drive Thru/Dine In” sign with arrows is proposed near the site entrance. Total height would be 3’.
  - Other directional signs are shown on the site plan under the canopies, but the style, size and number have not been identified.
  - Curbside pickup signs have not been included with this submittal but are expected at a later date.
- e. Flag Pole:
- A flag pole is proposed in a landscape island near the southeast corner of the building. The pole is proposed to be 25’ tall with a 4’ x 6’ flag.
- f. Additional Signs:
- Aluminum address numbers are proposed to be pin-mounted 8” in height mounted on the N. High St. side of the building.
  - Vinyl film with the store hours is proposed for the exterior of glass doors.

4. Project Timeline:

The applicant previously stated construction would begin in August of 2026 with a grand opening in February of 2027. That timeline needs verified.

5. Hours of operation have not been identified but are needed.

6. Variances:

Following is a list of necessary variances based on this submittal:

- a. Both drive-thru canopies in the required 15' side yards.
- b. The transformer in the required N. High St. setback.
- c. The parking on the east side cannot extend closer than 50' to the right-of-way.
- d. The dumpster enclosure on the south side within the 15' side yard.
- e. Signage
  - Wall Signs – Businesses facing more than one right-of-way are allowed one sign facing each right-of-way. Signs cannot exceed 40 square feet in area.
  - Freestanding Signs – Parcels in the WBC over 2 acres can have 2 freestanding signs. The digital menu boards and clearance bars would be considered additional freestanding signs for a total of five.
  - Total Sign Area – 100 square feet allowed; the proposed sign area exceeds that limit.
  - The digital menu boards would need variances for having illuminated backgrounds and changeable copy.
  - Directional sign area cannot exceed 20 square feet for the site, and the signs must meet dimensional requirement. It seems the proposed will exceed those requirements, but further information of signs indicated on the site plan as well as any curbside pickup signs is needed. Magnetic and moveable delineators would also be considered directional signs.
  - Signs on glass doors would need to be on the inside or considered additional wall signs in need of a variance.

**Land Use Plans:**

Worthington Design Guidelines and Architectural District Ordinance

*Scale, Form & Massing:* New construction should take special care to employ scale, form, and massing that are similar to and compatible with existing building designs. Simple geometric forms and uncomplicated massing tend to make buildings more user-friendly and help to extend the character of Old Worthington. Carefully designed building facades that employ traditional storefronts -- or similarly-sized windows on the first floor -- will help make new buildings more pedestrian-friendly.

*Setbacks:* Parking areas should be located toward the rear and not in the front setbacks if at all possible. Unimpeded pedestrian access to the front building facade from the sidewalk should be a primary goal. Building up to the required setback is desirable as a means of getting pedestrians closer to the building and into the main entrance as easily as possible.

*Roof Shape:* Generally, a traditional roof shape such as gable or hip is preferable to a flat roof on a new building. Roof shapes should be in scale with the buildings on which they are placed.

*Materials:* New buildings should employ only traditional wood and brick. Contemporary materials that simulate wood can be acceptable if done well, and brick veneer construction over

*a wood frame also is acceptable. Before making a final selection of materials, prepare a sample board with preferred and optional materials.*

*Windows: On long facades, consider breaking the composition down into smaller “storefront” units, with some variation in first and upper floor window design. Use traditional sizes, proportions and spacing for first and upper floor windows. Doing so will help link Old Worthington and newer areas through consistent design elements.*

*Entries: Primary building entrances should be on the street-facing principal facade. Rear or side entries from parking lots are desirable, but primary emphasis should be given to the street entry. Use simple door and trim designs compatible with both the building and with adjacent and nearby development.*

*Ornamentation: Decorative treatments at entries, windows and cornices can work well in distinguishing a building and giving it character, but only a few such elements can achieve the desired effect. Traditional wood ornamentation is the simplest to build, but on new buildings it is possible to use substitute materials such as metal and fiberglass. On brick buildings substitute materials can be used to resemble the stone or metal ornamental elements traditionally found on older brick buildings. As with all ornamentation, simple designs and limited quantities give the best results.*

*Color: For new brick buildings, consider letting the natural brick color be the body color, and select trim colors that are compatible with the color of the bricks. Prepare a color board showing proposed colors.*

*Signage: While the regulations permit a certain maximum square footage of signs for a business, try to minimize the size and number of signs. Place only basic names and graphics on signs along the street so that drive-by traffic is not bombarded with too much information. Signs must be distinctive enough to be readily visible, but avoid incompatible modern colors such as “fluorescent orange” and similar colors. Bright color shades generally are discouraged in favor more subtle and toned-down shades.*

*Sustainability:*

*Sustainability can be achieved by ensuring the economic, environmental and social concerns of Worthington are addressed in a balanced manner. The City of Worthington and its Architectural Review Board are interested in encouraging sustainable design and building practices, while preserving the character and integrity of the Architectural Review District. Recommendations include: encouraging energy conservation methods; using landscape concepts to preserve energy; managing storm water run-off in an environmentally friendly way; using solar panels in locations that minimize the visual impact as seen from the right-of-way and surrounding properties; adding bike racks; using streetscape elements that are of a human scale; making use of recycled, renewable and energy efficient materials; using natural and controlled light and natural ventilation; and minimizing light pollution.*

### *Wilson Bridge Corridor*

*Site Layout:*

*Setbacks: Buildings and parking should be set back to provide a buffer between the sidewalk and building, with some variations in the Building Setback Line encouraged throughout the WBC.*

- Buildings 50,000 square feet in area or less shall be located between 5’ and 20’ from adjacent Right-of-Way Lines.*

*Equipment: Exterior service, utility, trash, and mechanical equipment shall be located to the rear of buildings if possible and screened from view with a wall, fence or landscaping. Such equipment shall be completely screened from view. Materials shall be consistent with those used in the building and/or site. Equipment located on buildings shall match the color of the building.*

*Tract Coverage: A maximum of 75% of the property shall be covered with impervious surfaces.*

*Pedestrian Access: Sidewalks with a minimum width of 5', Recreation Paths with a minimum width of 10', or a combination of both shall be provided along all Rights-of-Way. Pedestrian connections from Sidewalks, Recreation Paths and parking lots to building entrances shall be provided.*

*Landscaping: There shall be landscaping that complements other site features and creates relief from buildings, parking areas and other man-made elements.*

- *Drought tolerant, salt tolerant, non-invasive, low maintenance trees and shrubs should be utilized.*
- *Deciduous trees shall be a minimum of 2" caliper at the time of installation; evergreen trees shall be a minimum of 6' in height at the time of installation; and shrubs shall be a minimum of 24" in height at the time of installation.*
- *Parking lot landscaping shall be required per the provisions in Chapter 1171.*
- *Seasonal plantings should be incorporated into the landscape plan.*
- *Shrubs and grasses may be planted in clusters and do not need to be evenly spaced.*
- *The approved landscape plan must be maintained across the life of the development.*

#### *Building Design:*

- *A principal building shall be oriented parallel to Wilson Bridge Road (or High Street), or as parallel as the site permits, and should have an operational entry facing the street.*
- *The height of a building shall be a minimum of 12' for pitched roof buildings measured to the eave.*
- *Extensive blank walls that detract from the experience and appearance of an active streetscape should be avoided.*
- *Details and materials shall be varied horizontally to provide scale and three-dimensional qualities to the building.*
- *Entrances shall be well-marked to cue access and use, with public entrances to a building enhanced through compatible architectural or graphic treatment.*
- *Where appropriate, shade and shadow created by reveals, surface changes, overhangs and sunshades to provide sustainable benefits and visual interest should be used.*
- *Roof-mounted mechanical equipment shall be screened from view on all four sides to the height of the equipment. The materials used in screening must be architecturally compatible with the rooftop and the aesthetic character of the building.*

#### *Materials:*

- *Any new building or redevelopment of a building façade should include, at a minimum, 75% of materials consisting of full set clay bricks, stone, cultured stone, wood or fiber cement board siding. Samples must be provided.*
- *Vinyl siding and other less durable materials should not be used.*
- *Long-lived and sustainable materials should be used.*

- *The material palette should provide variety and reinforce massing and changes in the horizontal or vertical plane.*
- *Especially durable materials on ground floor façades should be used.*
- *Generally, exterior insulation finishing systems (EIFS), are not preferred material types.*
- *A variety of textures that bear a direct relationship to the building's massing and structural elements to provide visual variety and depth should be provided.*
- *The color palette shall be designed to reinforce building identity and complement changes in the horizontal or vertical plane.*

#### *Windows and Doors:*

- *Ground-floor window and door glazing shall be transparent and non-reflective. Above the ground floor, both curtain wall and window/door glazing shall have the minimum reflectivity needed to achieve energy efficiency standards. Non-reflective coating or tints are preferred.*
- *Windows and doors shall be recessed from the exterior building wall, except where inappropriate to the building's architectural style.*
- *For a primary building frontage of a commercial use, a minimum of 30% of the area between the height of 2' and 10' above grade shall be in clear window glass that permits a full, unobstructed view of the interior to a depth of at least 4'.*

*Lighting: All exterior lighting shall be integrated with the building design and site and shall contribute to the night-time experience, including façade lighting, sign and display window illumination, landscape, parking lot, and streetscape lighting.*

- *The average illumination level shall not exceed 3 footcandles. The light level along a property line shall not exceed 0 footcandles.*
- *The height of parking lot lighting shall not exceed 15' above grade and shall direct light downward. Parking lot lighting shall be accomplished from poles within the lot, and not building-mounted lights.*
- *For pedestrian walkways, decorative low light level fixtures shall be used and the height of the fixture shall not exceed 12' above grade.*
- *Security lighting shall be full cut-off type fixtures, shielded and aimed so that illumination is directed to the designated areas with the lowest possible illumination level to effectively allow surveillance.*

#### *Signs:*

*Exterior lighting fixtures are the preferred source of illumination.*

- *Freestanding Signs*
  - *There shall be no more than one freestanding sign on parcels less than 2 acres in size, and no more than two freestanding signs on parcels 2 acres in size or greater.*
  - *Freestanding signs shall be monument style and no part of any freestanding sign shall exceed an above-grade height of 10'. Sign area shall not exceed 50 square feet per side, excluding the sign base. The sign base shall be integral to the overall sign design and complement the design of the building and landscape.*
  - *Freestanding signs may include the names of up to eight tenants of that parcel.*
  - *Light sources shall be screened from motorist view.*
- *Wall-mounted Signs*

- Each business occupying 25% or more of a building may have one wall sign and one projection sign. Wall-mounted signs shall not exceed 40 square feet in area, and projection signs shall not exceed 12 square feet in area per side.
- Wall-mounted and projection signs shall be designed appropriately for the building, and shall not be constructed as cabinet box signs or have exposed raceways.

*Parking:*

- *Non-residential Uses.* Parking shall be adequate to serve the proposed uses, but shall in no case exceed 125% of the parking requirement in Section 1171.01.
- *Bicycle Parking.* Bicycle parking should be provided and adequate to serve the proposed uses.

*Public Spaces:* A minimum of one Public Space Amenity as approved by the Municipal Planning Commission shall be required for every 5,000 square feet of gross floor area of multi-family dwellings, commercial or industrial space that is new in the WBC. Public Space Amenities are elements that directly affect the quality and character of the public domain such as:

- An accessible plaza or courtyard designed for public use with a minimum area of 250 square feet;
- Sitting space (e.g. dining area, benches, or ledges) which is a minimum of 16 inches in height and 48 inches in width;
- Public art;
- Decorative planters;
- Bicycle racks;
- Permanent fountains or other Water Features;
- Decorative waste receptacles;
- Decorative pedestrian lighting; and
- Other items approved by the Municipal Planning Commission.

*Worthington Comprehensive Plan*

*The 2005 Worthington Comprehensive Plan identifies the High Street Corridor (Extents Area) as a place where consistent site design should be encouraged such as landscape screening and interior planting of surface parking areas, and the location of large parking areas should be to the rear of the site. The corridor could accommodate redevelopment at a higher density, with such projects meeting the needs of the City, providing green setbacks and meeting the Architectural Design Guidelines. The plan recommends promoting a high quality physical environment, encouraging the City to continue to emphasize strong physical and aesthetic design, and high-quality development. Also recommended is encouraging the private market to add additional commercial office space within the City.*

*Worthington Code Basic Standards and Review Elements* The following general elements are to be considered when hearing applications for Conditional Use Permits:

1. *Effect on traffic pattern*
2. *Effect on public facilities*
3. *Effect on sewerage and drainage facilities*
4. *Utilities required*
5. *Safety and health considerations*



6. *Noise, odors and other noxious elements, including hazardous substances and other environmental hazards*
7. *Hours of use*
8. *Shielding or screening considerations for neighbors*
9. *Appearance and compatibility with the general neighborhood*

**Worthington Conditional Use Permit Regulations**

*The following basic standards apply to conditional uses in any "C" or "I" District: the location, size, nature and intensity of the use, operations involved in or conducted in connection with it, its site layout and its relation to streets giving access to it, shall be such that both pedestrian and vehicular traffic to and from it will not be hazardous, both at the time and as the same may be expected to increase with increasing development of the Municipality. The provisions for parking, screening, setback, lighting, loading and service areas and sign location and area shall also be specified by the applicant and considered by the Commission.*

***Fire Comments:***

*While required to follow the Ohio Fire Code in its entirety, the applicant will be asked to demonstrate compliance with code requirements found in Ohio Fire Code Sections 503 & 507. High priority concerns contained within OFC Sections 503 & 507 have been summarized below.*

- *OFC 507.3 Fire flow requirements for the proposed buildings shall be determined by an approved method. (OFC Appendix B will be accepted as an approved method)*
- *OFC 507.1 An approved water supply capable of supplying the required fire flow for fire protection shall be provided.*
- *OFC 507.5.1 Where a portion of the building is more than 400 ft from a hydrant, as measured by an approved route around the exterior of the structure, on site fire hydrants shall be provided. (Distance requirement shall be 600 ft if equipped throughout with an approved automatic sprinkler system)*
- *OFC 503.1.1 Fire apparatus access roads shall extend to within 150 ft of all first story exterior walls. (Distance may be increased to 300 ft if equipped throughout with an approved automatic sprinkler system)*
- *OFC 503.2.1 Fire apparatus roads shall have an unobstructed width of no less than 20 feet.*
- *OFC 503.2.3 Fire apparatus access roads shall be designed to support the imposed loads of fire apparatus.*
- *A travel path exhibit which demonstrates unobstructed access for Ladder 101 will be required. (Fire apparatus access roads only)*

***General Fire & EMS Notes:***

- *Installation of key boxes (Knox Box) will be required if the building is equipped with fire alarm / automatic sprinkler systems.*
- *Emergency responder radio coverage is required in new buildings.*
- *Installation of an emergency responder radio coverage system may be necessary.*
- *Proposed fire hydrant must comply with Worthington specifications.*

**Engineering Comments:**

1. *The proposed fire hydrant, if needed, will be constructed as a private hydrant located downstream of the site's meter and backflow assembly. These details can be addressed through the water service permitting process.*
2. *Stormwater management will be required on this site in accordance with the City of Columbus Stormwater Drainage Manual.*
3. *Based on a review of the project's traffic impact study, this development will not adversely impact existing traffic patterns under the following conditions:*
  - a. *Landscaping features along the site's frontage to Wilson Bridge Road do not obstruct the sight distance of turning vehicles.*
  - b. *Mitigation of development related congestion at the intersection of Wilson Bridge Road and High Street requires the Developer to improve the intersection as recommended in the traffic impact study. The design and construction of those improvements shall be completed to the satisfaction of the Director of Service and Engineering.*
  - c. *There is a possibility that this portion of E. Wilson Bridge Rd. would need to be restricted in the future to a right-in/right-out only movement with a divided median along E. Wilson Bridge Rd. if warranted.*
  - d. *The 100' setback along N. High St. would permit an access road that could possibly run parallel to N. High St. if needed in the future to provide access to the parcels along this portion of E. Wilson Bridge Rd. that would need to be discussed as part of a larger future roadway project in the S-curve portion of E. Wilson Bridge Rd. if warranted.*

**Planning Comments:**

1. *Site*
  - a. *The proposed building being so much closer to N. High St. than the buildings to the north and south will look out of place.*
    - *The movement of the building 15' to the east helps address this issue.*
  - b. *Bollards need to have black or bronze covers instead of yellow.*
  - c. *Parking lot light poles should not have exposed concrete bases.*
  - d. *The canopy ceilings may appear too bright due to the light color and the number of fixtures. Also, the lighting levels under the canopies, as well as for the site, should be reduced.*
  - e. *Patio furniture cut sheets are needed.*
  - f. *Traffic impact and utilities, including stormwater, must be satisfactory to the City Engineer. Nothing has changed regarding traffic.*
  - g. *Right-of-way dedication is required for the eastern 33' of the property.*
  - h. *The transformer should be brown in color.*
  - i. *Location of the hydrant appears too close to the E. Wilson Bridge Rd. entrance.*
  - j. *The sidewalk heading to US 23 would need approval from ODOT and the City and may not be allowed.*
2. *Building*
  - a. *Placement of expansion joints is preferred to be hidden at corners, gutters and other locations that would camouflage the joints.*

- b. Glass should be clear. Avoiding a reflective surface or permanent blocking of windows is the goal.
  - c. *Utility doors and cabinets should be painted bronze.*
- 3. Signage
  - a. The building signs should be reduced to 40 square feet each to meet the Code.
  - b. *The menu board signs seem typical for a drive-thru use.*
  - c. *Graphics proposed for the glass doors must be on the inside of the glass.*
  - d. The amount of proposed signage for the site has been lessened.
  - e. A thoughtful, minimal plan for other directional signs will be expected when the operator has been chosen.
- 4. *Any requested variances would need approval from the Board of Zoning Appeals.*
- 5. *Street Trees*
  - a. *Staff did not require street trees along E. Wilson Bridge Rd. as we did not require them with the redevelopment of the McDonalds site because of safety concerns for the line of sight for those entering and exiting these parcels in the S-curve of E. Wilson Bridge Rd.*

#### **Recommendations:**

Staff is recommending the Board and Commission consider the following:

- Reduction in size of building signs.
- Lowering lighting levels under the canopies and overall to meet the Code.
- Exposed concrete on light pole bases must be eliminated.
- Whether the windows on the front of the building should be blocked in with brick, have spandrel glass, or if there is another option.
- Should traffic be discussed further – the City Engineer will be at the meeting.

The other comments above will be expected to be handled satisfactorily without further discussion if acceptable to the Board/Commission.

#### **ARB Motion:**

**THAT THE REQUEST BY KIMLEY-HORN ON BEHALF OF CHICK-FIL-A FOR A CERTIFICATE OF APPROPRIATENESS TO DEMOLISH THE BUILDING AT 60 E. WILSON BRIDGE RD. AND CONSTRUCT A NEW RESTAURANT, AS PER CASE NO. ARB 109-2022, DRAWINGS NO. ARB 109-2022, DATED NOVEMBER 17, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

#### **MPC Motion:**

**THAT THE REQUEST BY KIMLEY-HORN ON BEHALF OF CHICK-FIL-A FOR A CONDITIONAL USE PERMIT TO OPERATE A DRIVE-IN RESTAURANT IN THE C-4 ZONING DISTRICT AT 60 E. WILSON BRIDGE RD., AS PER CASE NO. CU 09-2022, DRAWINGS NO. CU 09-2022, DATED NOVEMBER 17, 2023, BE APPROVED BASED ON THE PLANNING GOALS OF THE CITY, AS REFERENCED IN THE LAND USE PLANS AND THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

ARB-MPC Staff Memo

Meeting December 14, 2023

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## **F. Architectural Review Board – New Business**

### **1. Shuttered Windows – 44 W. New England Ave. (Kevin Rohyans) ARB 93-2023**

#### **Findings of fact & Conclusions**

##### **Background & Request:**

This property is roughly 1/4 acre in size and bordered on three sides by a municipal parking lot. The parcel was rezoned to C-5 in 2022. The Colonial Revival two-story house on this property was constructed in 1929 and is a contributing building in the Worthington Historic District. The original garage was demolished and a new one was constructed in 2018. A new roof and windows were approved in 2022 by the ARB and removal of a one-story addition in the rear was approved earlier this year.

This is a request to remove two rear windows and install shutters in their place.

##### **Project Details:**

1. The windows in question are small windows in the middle of the first floor.
2. Two shutters would be installed over each window opening and each shutter would have two vertical panels.
3. The shutters are proposed to be white.

##### **Land Use Plans:**

##### **Worthington Design Guidelines and Architectural District Ordinance**

Avoid permanent blocking in of windows; the original window pattern of a house is part of its overall design. Install window shutters only if they are appropriate to the style of the house and are sized and placed properly.

##### **Recommendation:**

The guidelines recommend against permanent blocking in of windows. This solution, however, may still give the look of having windows in those locations.

##### **Motion:**

**THAT THE REQUEST BY KEVIN ROHYANS FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL SHUTTERS IN PLACE OF WINDOWS AT 44 W. NEW ENGLAND AVE. AS PER CASE NO. ARB 93-2023, DRAWINGS NO. ARB 93-2023, DATED NOVEMBER 9, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

## 2. Directional Signs – **80 E. Wilson Bridge Rd.** (McDonald's) **ARB 95-2023**

### **Findings of Fact & Conclusions**

#### **Background & Request:**

McDonald's has operated at this location since 1979. The site was redeveloped in 2018.

At some point, likely during the pandemic, signs were added to the site to direct customers to parking spaces and through the drive-thru. At a meeting in March, the ARB gave suggestions for a more efficient way to install these directional signs. This is a new application with a different proposal.

#### **Project Details:**

1. Three poles permanently placed at the head of parking spaces are proposed. Each pole would have a dark gray bollard with one sign each point to 2 parking spaces. Overall sign height of 3' is proposed.
2. The signs would be either 24" x 24" or 18" x 24" with a dark gray background in the middle and yellow background on both sides. The middle would read "Mobile Order, Curbside, Pick Up" in white; a mobile app logo is proposed below; and "RESERVED" and "Drive Thru" would be at the bottom in white and yellow. The sides would have numbers with arrows pointing to the parking spaces.
3. There are 2 delivery driver signs placed on posts at parking spaces on the south side of the building with total height of 102". Yellow bollards wrap the post on the bottom. It is not clear if these signs would change.
4. All the bollards on the site would be painted dark gray.
5. The directional signs at the entrance have 11.5 square feet of area. Adding signs would require a variance to exceed 20 square feet of directional sign area.

#### **Land Use Plans:**

##### Worthington Design Guidelines and Architectural District Ordinance

The Worthington Design Guidelines and Architectural District Ordinance recommend signs be efficient and compatible with the age and architecture of the building. While the regulations permit a certain maximum square footage of signs for a business, try to minimize the size and number of signs. Place only basic names and graphics on signs along the street so that drive-by traffic is not bombarded with too much information. The Architectural District Ordinance calls for design and materials to be compatible.

##### Sign Code

(f) "Directional sign" means a sign used to direct on-site traffic and identify services such as restrooms, hours of operation, etc., and of which no more than fifty-percent of the graphic area is non-directional information. The display area for such signs shall not exceed twenty-four inches in height or width, and the above grade height for freestanding directional signs shall not exceed thirty-six inches. The total area for all such signage shall be no more than 20 square feet per parcel. Directional signs are excluded in the computation of sign area.

**Staff Comments:**

1. The outside edges of the signs should be white.
2. Delivery driver area sign information is needed.

**Recommendation:**

Staff is recommending approval with consideration of the comments above and with the condition a variance is obtained from the Board of Zoning Appeals for directional sign area.

**Motion:**

**THAT THE REQUEST BY NESA ROGERS ON BEHALF OF MCDONALD'S FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL NEW DIRECTIONAL SIGNS AT 80 E. WILSON BRIDGE RD., AS PER CASE NO. ARB 95-2023, DRAWINGS NO. ARB 95-2023, DATED NOVEMBER 17, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

**G. Municipal Planning Commission – New Business (continued)****2. Code Amendment****a. Sign Code – APZ 01-2023**

The new Sign Code language is included at the end of the packet and the following comments describe the changes that are proposed for the Sign Code – Chapter 1170 and related Code sections:

**1170.01 PURPOSE AND INTENT.**

This section was re-worded to make the purpose clearer and state the intent to comply with constitutional, statutory, and case law decisions requiring that sign regulations must be content neutral.

**1170.02 DEFINITIONS AND PROVISIONS.**

- Definitions were separated from provisions to help make the Code easier to interpret.
- Definitions were added for certain terms:
  - Used in the Code and not previously defined: Banner, For sale/for lease sign, Historical Marker, Logo, etc.
  - Newly used terms: Construction Fence sign, Portable Sign, Projected Image, etc.
- Name changed to match currently accepted industry terminology: Blade sign, Ground sign, Wall sign, etc.
- Some definitions were modified for clarity: Directional sign, Internal sign, Sign, etc.

**1170.03 SIGN PERMIT REQUIRED.**

This is section 1170.08 of the current Code with modifications:

- The allowance for all signs associated with a property to be part of the same permit application.
- A \$25 fee for face replacement added to account for staff time to issue permits.

#### **1170.04 PROHIBITED SIGNS.**

The information in this section is comprised of provisions formerly in other sections of the Code, or sign types that were not specifically addressed (i.e. Search lights or laser lights).

#### **1170.05 PROHIBITED SIGN LOCATIONS.**

This section is a consolidation of previously separated provisions.

#### **1170.06 PERMITTED SIGNS NOT REQUIRING A PERMIT.**

Included are:

- A consolidation of previously separated provisions
- Allowance for ATM signs and Directional signs without a permit
- Size regulations for flags and poles, and non-residential addresses added.
- Added limits to Residential construction signs – 6 square feet total in area; allowed only during construction period.
- Eliminated ability to place “open house” signs in the tree lawn.

#### **1170.07 GENERAL REQUIREMENTS FOR TEMPORARY AND PERMANENT SIGNS.**

In this section Design Requirements and Measurement are consolidated and General Requirements such as placement, materials, and maintenance are added.

#### **1170.08 PERMANENT SIGNS**

This section combines provisions in the following sections of the current Code:

- 1170.05 Commercial and Industrial District Requirements.
- 1181.05 Development Standards. (Wilson Bridge Corridor Districts – (e) Signs.)
- 1170.06 Residential District Dimensional Requirements.

Design Requirements and Measurements have not changed.

Non-residential building provisions would now also apply to signs in districts other than commercial and industrial.

Wall signs are limited to 40 square feet maximum and 1 per business unless the property abuts more than 1 right-of-way.

Joint identification ground signs can now display up to 6 individual listings instead of the current 3.

#### **1170.09 TEMPORARY SIGNS.**

These signs are allowed by issuance of a Temporary Use Permit in the current Code Section 1175.071 Temporary Use (Granted by City Manager or designee for up to 90 days).

Criteria for Temporary Signs have been added to this section based on current practices for issuance.

**1170.10 NONCONFORMING AND ABANDONED SIGNS.**

This section is essentially the same as Section 1170.09, Nonconforming and Abandoned Signs of the current Code.

**1170.11 RIGHT TO SUBSTITUTE MESSAGE.**

This section was added by the Law Director to ensure compliance with constitutional, statutory, and case law decisions requiring that sign regulations must be content neutral.

**1125.04 VIOLATIONS AND REMEDIES.**

The change this section would add “structure” so signs, fences, etc. would be included.

**1125.05 COMPLIANCE.**

Standard compliance language is needed.

**1181.05 DEVELOPMENT STANDARDS.**

It was felt the Wilson Bridge Corridor Districts Signs standards should be included in Chapter 1170 rather than be in Chapter 1181.

**Recommendation:**

Staff is recommending approval of the Code amendment for signs be forwarded to City Council.

**Motion:**

**THAT THE REQUEST TO AMEND PLANNING & ZONING CODE CHAPTER 1170 SIGNS AS PER CASE NO. APZ 01-2023, BE RECOMMENDED TO CITY COUNCIL FOR APPROVAL BASED ON THE PLANNING GOALS OF THE CITY, AS REFERENCED IN THE LAND USE PLANS AND ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**





## ARB APPLICATION ARB 0094-2023 80 W. Granville Rd.

**Plan Type:** Architectural Review Board  
**Project:**  
**App Date:** 11/17/2023  
**Work Class:** Certificate of Appropriateness  
**District:** City of Worthington  
**Approval Date:**  
**Status:** In Review  
**Valuation:** \$5,500.00

**Description:** Owners would like to install an 1890's wrought iron entry feature at the front sidewalk on Dublin Granville Road. The feature will include two short sections of historic curved fence with gate posts and gate. These will curve around and be backed by the existing boxwood hedge. Fence sections will be approximately 3-feet high (posts at 4-feet high), and will extend approximately 5-feet east and west in front of the hedge. The fence will be painted black.  
A similar entrance to the patio will be duplicated in the west side yard. This will be located approximately 60-feet north of the Dublin-Granville sidewalk. This entry feature will utilize the same fence, but with each section extending approximately 13-feet east and west of the patio walk.

<b>Parcel:</b> 100-000099	Main	<b>Address:</b> 80 W Dublin-Granville Rd Worthington, OH 43085	Main	<b>Zone:</b> R-10
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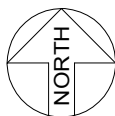
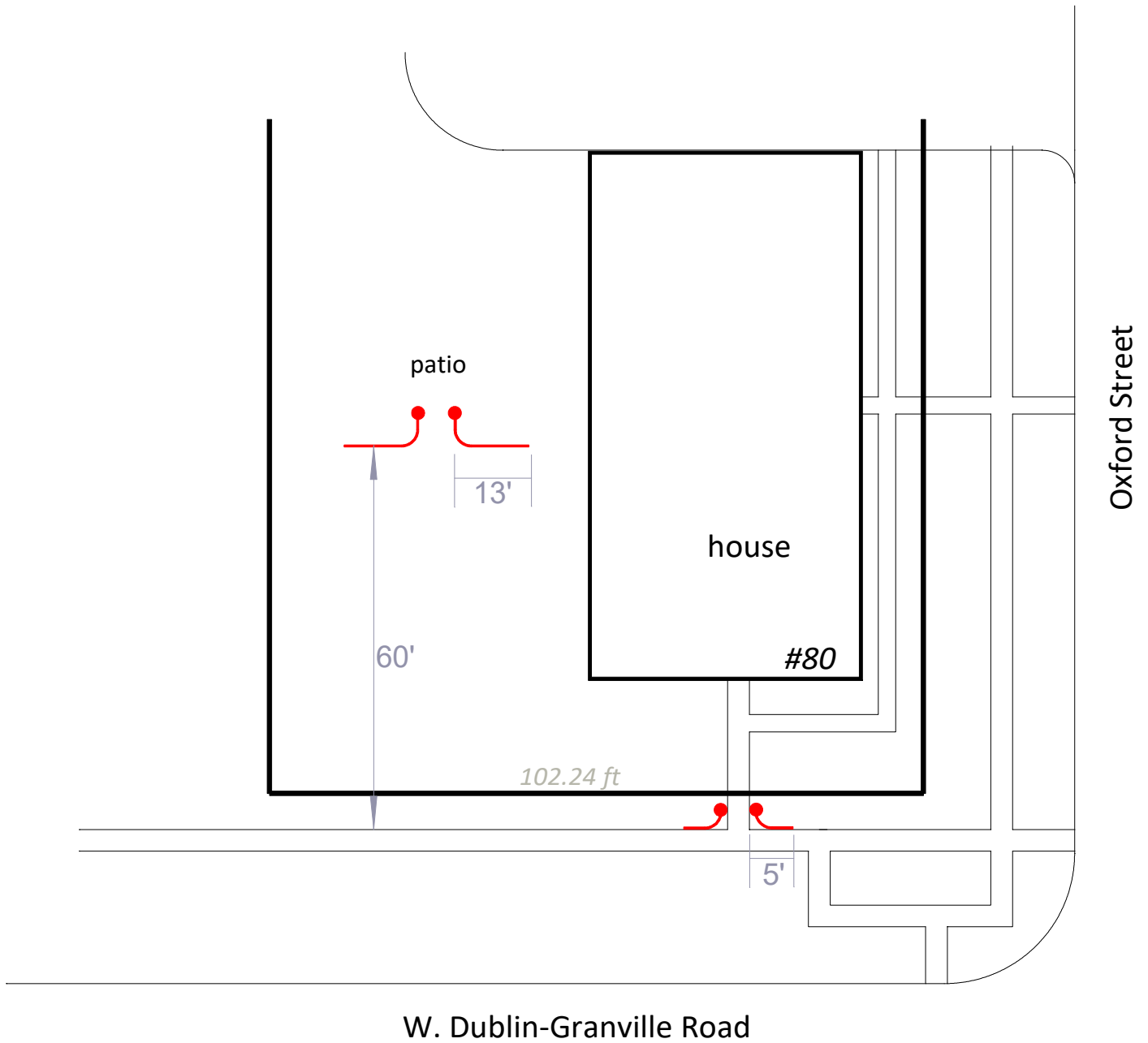
Owner	Applicant
Kathy Holcombe	Kathy Holcombe
80 W Granville Rd	80 W Granville Rd
Worthington, OH 43085	Worthington, OH 43085
Mobile: (614) 736-0809	Mobile: (614) 736-0809

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004907	Architectural Review Board	\$6.00	\$6.00
Total for Invoice INV-00004907		\$6.00	\$6.00
Grand Total for Plan		\$6.00	\$6.00



# 80 W. Granville Rd.





**HOLCOMBE**  
**80 W. Dublin-Granville Road**  
**Worthington, Ohio 43085**



CITY OF WORTHINGTON  
DRAWING NO. ARB 94-2023  
DATE 11/17/2023





CITY OF WORTHINGTON  
DRAWING NO. ARB 94-2023  
DATE 11/17/2023





CITY OF WORTHINGTON  
DRAWING NO. ARB 94-2023  
DATE 11/17/2023



## ARB APPLICATION ARB 0096-2023 569 Oxford St.

**Plan Type:** Architectural Review Board      **Project:**      **App Date:** 11/17/2023  
**Work Class:** Certificate of Appropriateness      **District:** City of Worthington  
**Status:** In Review  
**Valuation:** \$15,000.00  
**Description:** Replacement of AC Compressor with High-Efficiency Heat Pump

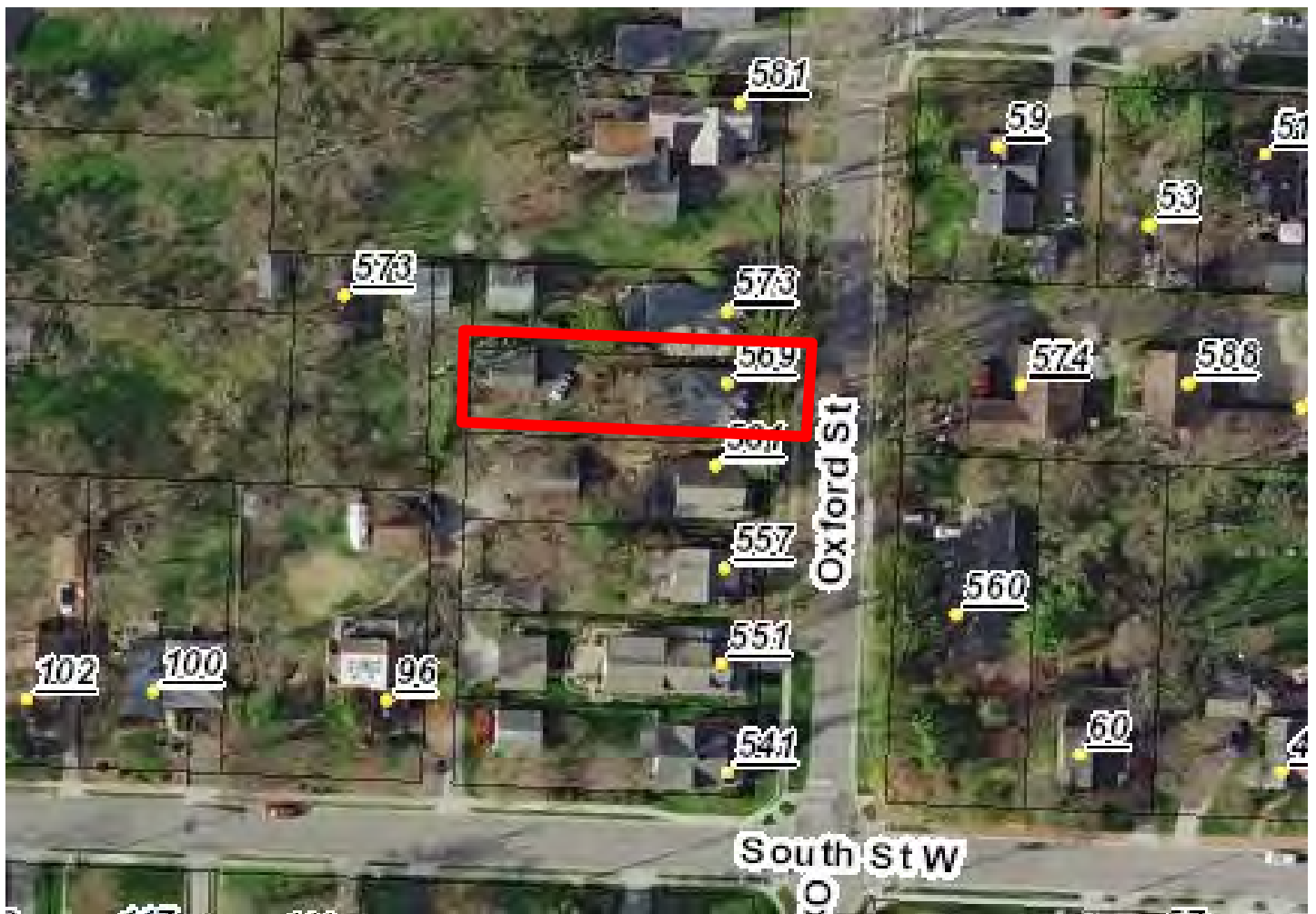
<b>Parcel:</b> 100-000201	Main	<b>Address:</b> 569 Oxford St Worthington, OH 43085	Main	<b>Zone:</b> R-10
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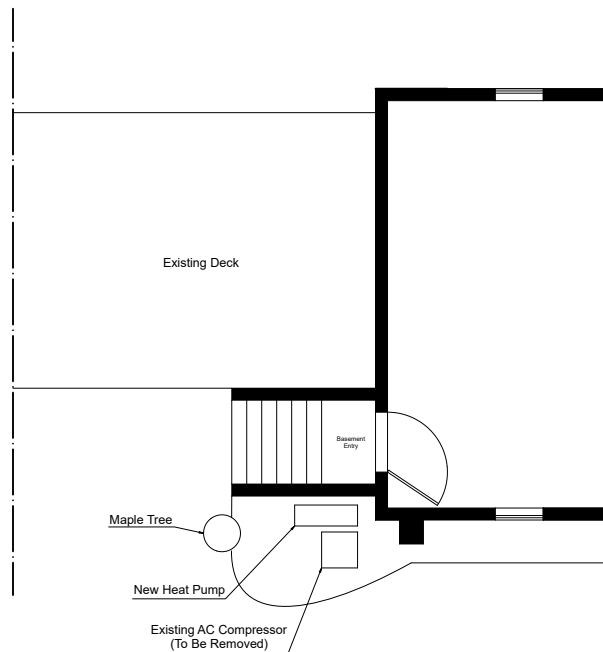
Applicant	Owner
Michael P Siroskey	Michael P Siroskey
569 OXFORD ST	569 OXFORD ST
Worthington , OH 43085	Worthington , OH 43085

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004914	Architectural Review Board	\$15.00	\$0.00
Total for Invoice INV-00004914		\$15.00	\$0.00
Grand Total for Plan		\$15.00	\$0.00

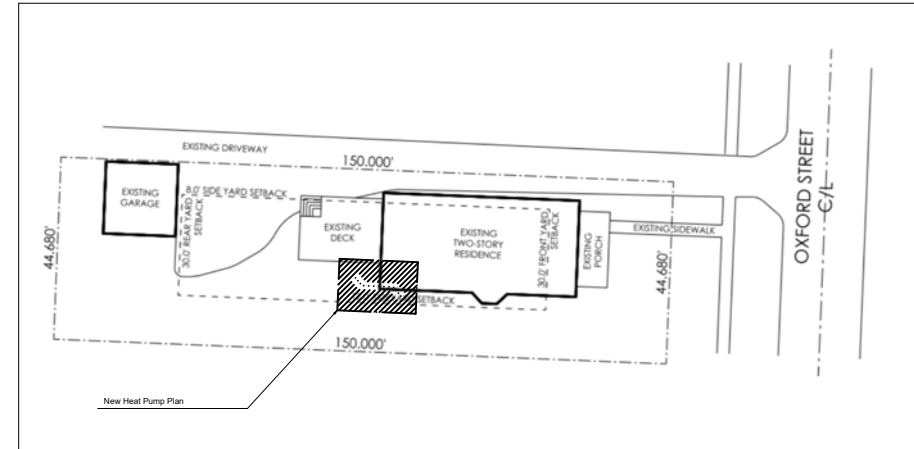


# 569 Oxford St.





New Heat Pump Plan



Site Plan



CITY OF WORTHINGTON  
DRAWING NO. ARB 96-2023  
DATE 11/17/2023



**MXZ-SM48NAMHZ-U1**  
**4-TON MULTI-ZONE INVERTER HEAT-PUMP SYSTEM**



Job Name:

System Reference:

Date:



**FEATURES**

- Compatible with M- and P-Series and CITY MULTI indoor units. Branch box required for connection with M- and P-Series
- Variable speed INVERTER-driven compressor
- Seacoast protection on heat exchanger and base panel (rated for 2,000 hrs in accordance with ASTM B117 testing)
- Thermal Differential 1°F (with PAC-MKA32/52BC only)
- Built-in base pan heater
- Quiet outdoor unit operation, rated sound pressure as low as 51 dB(A)
- High pressure protection
- Compressor thermal protection
- Compressor overcurrent detection
- Fan motor overheating/voltage protection
- Hyper-heating performance offers 100% heating capacity at 5°F and 75% heating capacity at -13°F



CITY OF WORTHINGTON  
DRAWING NO. ARB 96-2023  
DATE 11/17/2023

ENERGY STAR products are third-party certified by an EPA-recognized Certification Body.

# SPECIFICATIONS: MXZ-SM48NAMHZ-U1

Cooling <sup>1</sup> (Non-Ducted // Mix // Ducted)	Maximum Capacity	BTU/H	48,000 // 48,000 // 48,000
	Rated Capacity	BTU/H	48,000 // 48,000 // 48,000
	Minimum Capacity	BTU/H	16,000 // 16,000 // 16,000
	Maximum Power Input	W	3,665 // 3,930 // 4,245
	Rated Power Input	W	3,665 // 3,930 // 4,245
	Power Factor (208V, 230V)	%	98.5, 98.5 // 98.5, 98.5 // 98.5, 98.5
Heating at 47°F <sup>2</sup> (Non-Ducted // Mix // Ducted)	Maximum Capacity	BTU/H	54,000 // 54,000 // 54,000
	Rated Capacity	BTU/H	54,000 // 54,000 // 54,000
	Minimum Capacity	BTU/H	27,000 // 27,000 // 27,000
	Maximum Power Input	W	3,955 // 4,335 // 4,795
	Rated Power Input	W	3,955 // 4,335 // 4,795
	Power Factor (208V, 230V)	%	98.5, 98.5 // 98.5, 98.5 // 98.5, 98.5
Heating at 17°F <sup>3</sup> (Non-Ducted // Mix // Ducted)	Maximum Capacity	BTU/H	54,000 // 54,000 // 54,000
	Rated Capacity	BTU/H	39,000 // 39,000 // 39,000
	Maximum Power Input	W	6,330 // 7,750 // 3,665
	Rated Power Input	W	4,230 // 4,680 // 5,130
Heating at 5°F <sup>4</sup> (Non-Ducted // Mix // Ducted)	Maximum Capacity	BTU/H	54,000 // 54,000 // 54,000
	Maximum Power Input	W	7,915 // 8,120 // 8,330
Efficiency (Non-Ducted // Mix // Ducted)	SEER		23.0 // 19.75 // 16.5
	EER <sup>1</sup>		13.1 // 12.2 // 11.3
	HSPF (IV)		12.0 // 11.5 // 11.0
	COP at 47°F <sup>2</sup>		4.0 // 3.65 // 3.3
	COP at 17°F at Maximum Capacity <sup>3</sup>		2.5 // 2.0 // 1.8
	COP at 5°F at Maximum Capacity <sup>4</sup>		2.1 // 1.95 // 1.9
	ENERGY STAR® Certified		Yes // No // No
Electrical	Voltage, Phase, Frequency		208/230, 1, 60
	Guaranteed Voltage Range	V AC	187-253
	Voltage: Indoor - Outdoor, S1-S2	V AC	208/230
	Voltage: Indoor - Outdoor, S2-S3	V DC	24
	Short-circuit Current Rating (SCCR)	kA	5
	Recommended Fuse/Breaker Size if Branch Box Powered by Outdoor Unit	A	45
	Recommended Fuse/Breaker Size without Branch Box or Branch Box Powered Separate	A	40
	Recommended Wire Size (Indoor - Outdoor)	AWG	16
	MCA if Branch Box Powered by Outdoor Unit	A	42.0
	MCA without Branch Box or Branch Box Powered Separate	A	36
	MOCP if Branch Box Powered by Outdoor Unit	A	50
	MOCP without Branch Box or Branch Box Powered Separate	A	40
	Fan Motor Full Load Amperage	A	0.6+0.6
	Fan Motor Output	W	74
Outdoor unit	Airflow Rate (Cooling / Heating)	CFM	3,885 / 3,885
	Refrigerant Control		LEV
	Defrost Method		Reverse Cycle
	Heat Exchanger Type		Plate fin coil
	Heat Exchanger Coating		Blue Fin Coating
	Sound Pressure Level, Cooling <sup>1</sup>	dB(A)	51
	Sound Pressure Level, Heating <sup>2</sup>	dB(A)	54
	Compressor Type		Hermetic
	Compressor Model		ANB33FJSMT
	Compressor Motor Output	kW	3.4
	Compressor Rated Load Amps	A	19
	Compressor Locked Rotor Amps	A	22.0
	Compressor Oil Type // Charge	oz.	FV50S // 73
	Base Pan Heater		Built-in
	Unit Dimensions	W: In. [mm]	41-11/32[1,050]
		D: In. [mm]	13[330]
		H: In. [mm]	52-11/16[1,338]
	Package Dimensions	W: In. [mm]	43 [1,090]
		D: In. [mm]	18 [450]
		H: In. [mm]	57 [1,430]
	Unit Weight	Lbs.[kg]	278 [126]
	Package Weight	Lbs.[kg]	302 [137]

## NOTES:

AHRI Rated Conditions

(Rated data is determined at a fixed compressor speed)

<sup>1</sup>Cooling (Indoor // Outdoor)

<sup>2</sup>Heating at 47°F (Indoor // Outdoor)

<sup>3</sup>Heating at 17°F (Indoor // Outdoor)

<sup>4</sup>Heating at 5°F (Indoor // Outdoor)

°F 80 DB, 67 WB // 95 DB, 75 WB

°F 70 DB, 60 WB // 47 DB, 43 WB

°F 70 DB, 60 WB // 17 DB, 15 WB

°F 70 DB, 60 WB // 5 DB, 4 WB

Conditions

\*Applications should be restricted to comfort cooling only; equipment cooling applications are not recommended for low ambient temperature conditions.

<sup>A</sup> when 1 or more PLA-A-EA7 connected

<sup>B</sup> Branch box should be placed within the level between the outdoor unit and indoor units

<sup>C</sup> 5°F DB - 115°F DB when optional wind baffles are installed



CITY OF WORTHINGTON  
DRAWING NO. ARB 96-2023  
DATE 11/17/2023

For actual capacity performance based on indoor unit type and number of indoor units connected, please refer to MXZ Operational Performance.

Although the maximum connectable capacity is 130%, the outdoor unit cannot provide more than 100% of the rated capacity. Please utilize this over capacity capability for load shedding or applications where it is known that all connected units will NOT be operating at the same time.

# SPECIFICATIONS: MXZ-SM48NAMHZ-U1

Outdoor unit operating temperature range	Cooling Intake Air Temp (Maximum / Minimum)	°FDB	115 / 23
	Cooling Thermal Lock-out / Re-start Temperatures	°FDB	N/A / N/A
	Heating Intake Air Temp (Maximum / Minimum)	°FWB	59 / -13
	Heating Thermal Lock-out / Re-start Temperatures	°FDB	-24 / -14
Refrigerant	Type		R410A
	Charge	Lbs, oz	10, 9.0
Indoor unit connection	Maximum Number of Connected IDU with Branch Box		8 (6) <sup>A</sup>
	Maximum Number of Connected IDU without Branch Box		12
	Minimum Number of Connected IDU with Branch Box		2
	Minimum Number of Connected IDU without Branch Box		1
	Minimum Connected Capacity with Branch Box	BTU/H	12,000
	Maximum Connected Capacity	BTU/H	62,000
Piping	Liquid Pipe Size O.D. (Flared)	In.[mm]	3/8 [9.52]
	Gas Pipe Size O.D. (Flared)	In.[mm]	5/8 [15.88]
	Total Piping Length when using Branch Box	Ft. [m]	492 [150]
	Total Piping Length without Branch Box	Ft. [m]	984 [300]
	Maximum Height Difference <sup>B</sup> , ODU above IDU	Ft. [m]	164 [50]
	Maximum Height Difference <sup>B</sup> , ODU below IDU	Ft. [m]	131 [40]
	Maximum Height Difference <sup>B</sup> , between branch boxes	Ft. [m]	49 [15]
	Maximum Height Difference <sup>B</sup> , between branch boxes and IDU	Ft. [m]	49 [15]
	Maximum Height Difference between IDU and IDU without branch box	Ft. [m]	49 [15]
	Max. Piping Length between ODU and Branch Box	Ft. [m]	180 [55]
	Farthest Piping Length from ODU to IDU with Branch Box	Ft. [m]	262 [80]
	Farthest Piping Length from ODU to IDU without Branch Box	Ft. [m]	492 [150]
	Farthest Piping Length after Branch Box	Ft. [m]	82 [25]
	Total Piping Length between Branch Boxes and IDU	Ft. [m]	311 [95]
	Maximum Number of Bends for IDU		15

## NOTES:

AHRI Rated Conditions

(Rated data is determined at a fixed compressor speed)

<sup>1</sup>Cooling (Indoor // Outdoor)

°F 80 DB, 67 WB // 95 DB, 75 WB

<sup>2</sup>Heating at 47°F (Indoor // Outdoor)

°F 70 DB, 60 WB // 47 DB, 43 WB

<sup>3</sup>Heating at 17°F (Indoor // Outdoor)

°F 70 DB, 60 WB // 17 DB, 15 WB

Conditions

<sup>4</sup>Heating at 5°F (Indoor // Outdoor)

°F 70 DB, 60 WB // 5 DB, 4 WB

\*Applications should be restricted to comfort cooling only; equipment cooling applications are not recommended for low ambient temperature conditions.

<sup>A</sup> when 1 or more PLA-A-EA7 connected

<sup>B</sup> Branch box should be placed within the level between the outdoor unit and indoor units

<sup>C</sup> 5°F DB - 115°F DB when optional wind baffles are installed

For actual capacity performance based on indoor unit type and number of indoor units connected, please refer to MXZ Operational Performance.

Although the maximum connectable capacity is 130%, the outdoor unit cannot provide more than 100% of the rated capacity. Please utilize this over capacity capability for load shedding or applications where it is known that all connected units will NOT be operating at the same time.



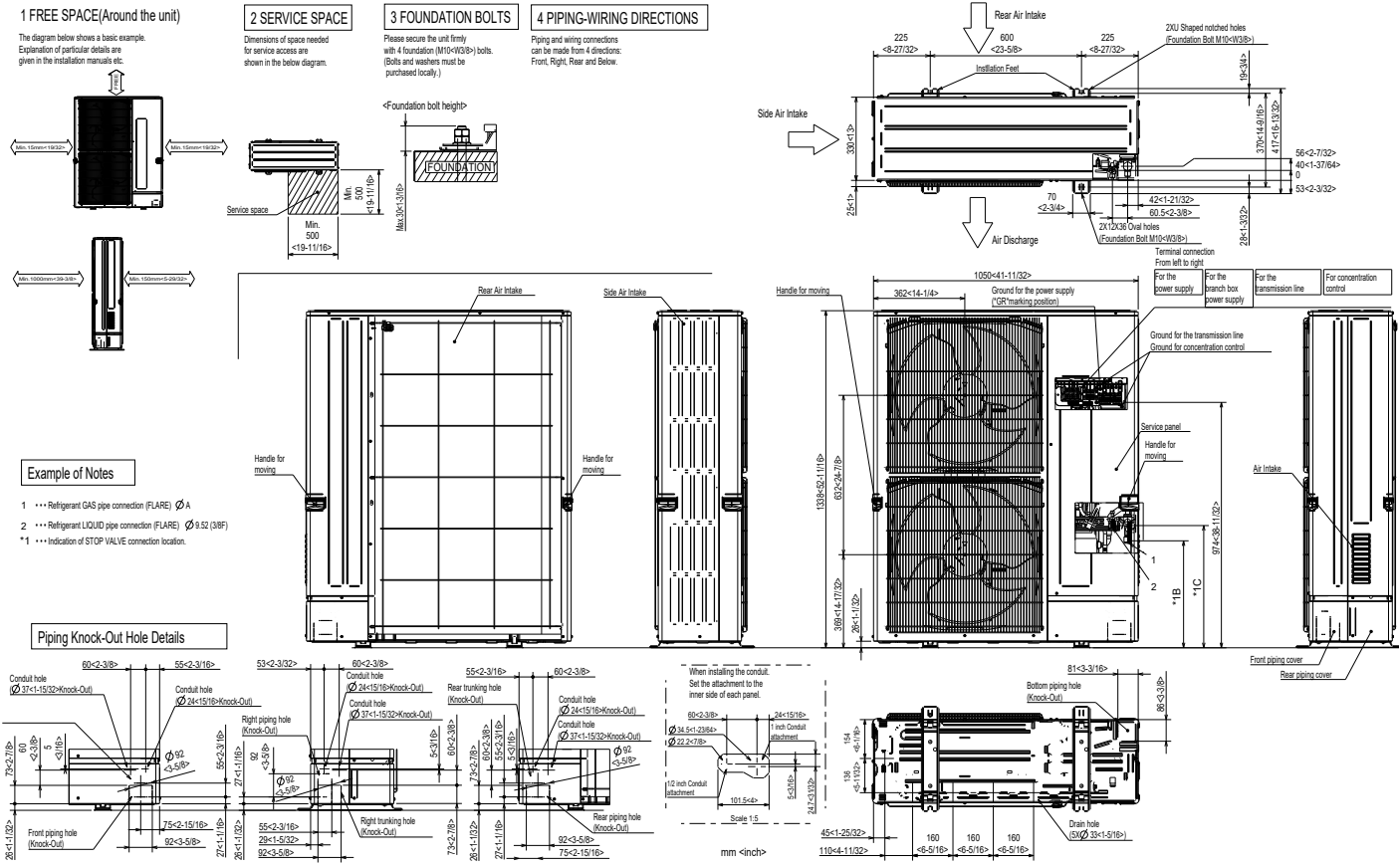
CITY OF WORTHINGTON  
DRAWING NO. ARB 96-2023  
DATE 11/17/2023

# OUTDOOR UNIT ACCESSORIES: MXZ-SM48NAMHZ-U1

Air Deflector	Vertical Air Deflector	ADV-1
Air Outlet Guide	Air Outlet Guide (1 Piece)	PAC-SH96SG-E (two pieces are required)
Ball Valve	Refrigeration Ball Valve - 1/2"	BV12FFSI2
	Refrigeration Ball Valve - 1/4"	BV14FFSI2
	Refrigeration Ball Valve - 3/8"	BV38FFSI2
	Refrigeration Ball Valve - 5/8"	BV58FFSI2
Branch Box	Branch Box	PAC-MKA32BC
	Branch Box	PAC-MKA52BC
	Branch Box Enclosure	BBE-1
Centralized Drain Pan	Central Drain Pan	PAC-SH97DP-E
Control Wire	M-Net Control Wire, 1,000' Roll (16-AWG, Standard, Twisted Pair, Shielded, Jacketed- Plenum rated)	CW162S-1000
	M-Net Control Wire, 250' Roll (16-AWG, Standard, Twisted Pair, Shielded, Jacketed- Plenum rated)	CW162S-250
Control/Service Tool	Maintenance Tool Interface	PAC-USCMS-MN-1
Distribution pipe	Brazed Connection	MSDD-50BR-E
	Flare Connection	MSDD-50AR-E
Hail Guards	Hail Guard	HG-A2
Mini-Split Wire	14 Gauge, 4 wire MiniSplit Cable—250 ft. roll	S144-250
	14 Gauge, 4 wire MiniSplit Cable—50 ft. roll	S144-50
	16 Gauge, 4 wire MiniSplit Cable—250 ft. roll	S164-250
	16 Gauge, 4 wire MiniSplit Cable—50 ft. roll	S164-50
Mounting Pad	Condensing Unit Mounting Pad: 24" x 42" x 3"	ULTRILITE2
	Outdoor Unit 3-1/4 inch Mounting Base (Pair) - Plastic	DSD-400P
Port Adapter	Adaptor: 1/2" x 3/8"	MAC-A455JP-E
	Adaptor: 1/2" x 5/8"	MAC-A456JP-E
	Adaptor: 3/8" x 1/2"	MAC-A454JP-E
	Adaptor: 3/8" x 5/8"	PAC-SG76RJ-E
Stand	18" Dual Fan Stand	QSMS1802M
	24" Dual Fan Stand	QSMS2402M
	Condenser Wall Bracket	QSWB2000M-1
	Condenser Wall Bracket - Stainless Steel Finish	QSWBSS
	Outdoor Unit Stand — 12" High	QSMS1202M
Wind Baffle	Front Wind Baffle	WB-PA3 (two pieces are required)



CITY OF WORTHINGTON  
DRAWING NO. ARB 96-2023  
DATE 11/17/2023



MXZ-SM36NAMHZ			
MXZ-SM42NAMHZ	15.88 (5/8")	426 <16-25/32>	485 <19-3/32>
MXZ-SM48NAMHZ			
MXZ-SM60NAM	19.05 (3/4")	393 <15-15/32>	450 <17-23/32>
MXZ-SM36NAM	15.88 (5/8")	426 <16-25/32>	485 <19-3/32>
MXZ-SM48NAM			
MODEL NAME	DIMENSION A	DIMENSION B	DIMENSION C

Unit: mm  
<inch>

OUTDOOR UNIT DIMENSIONS: MXZ-SM48NAMHZ-U1



CITY OF WORTHINGTON  
DRAWING NO. ARB 96-2023  
DATE 11/17/2023



## ARB APPLICATION

### ARB 0097-2023

### 148 E. South St.

**Plan Type:** Architectural Review Board      **Project:**      **App Date:** 11/18/2023  
**Work Class:** Certificate of Appropriateness      **District:** City of Worthington  
**Status:** In Review  
**Valuation:** \$5,025.00

**Description:** Request to replace existing fence that is in disrepair with a new 4' high cedar traditional picket fence with top & bottom finish trim and post caps. The new fence will be installed in the same location as the existing fence.

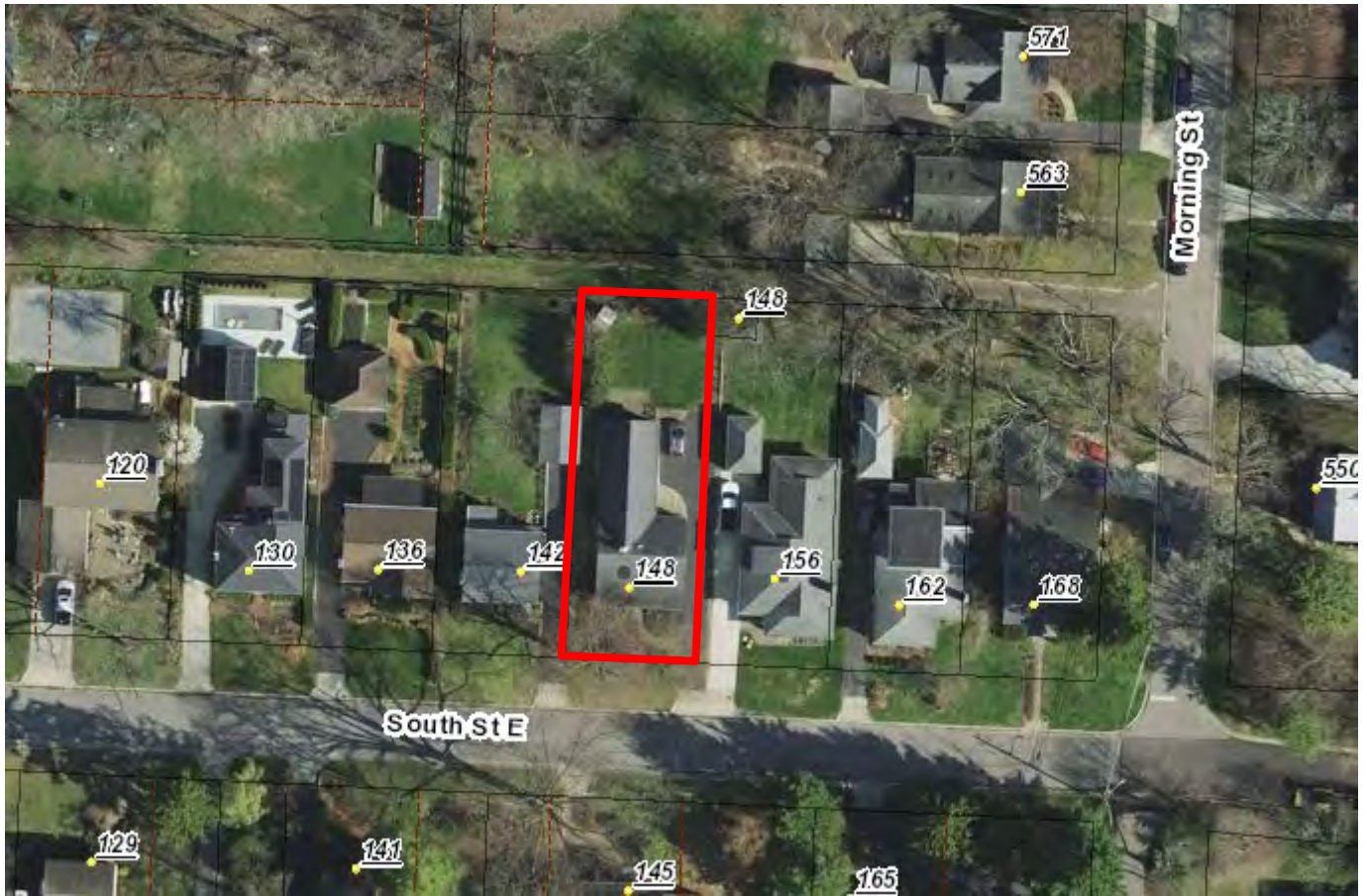
<b>Parcel:</b> 100-000128	Main	<b>Address:</b> 148 E South St Worthington, OH 43085	Main	<b>Zone:</b>
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<b>Applicant</b> Amy Weinsz 148 E SOUTH ST Worthington , OH 43085 Mobile: (614) 582-1250	<b>Owner</b> 148 E. South St LLC 6641 N HIGH ST Suite 209 Worthington , OH 43085
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Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004916	Architectural Review Board	\$6.00	\$6.00
Total for Invoice INV-00004916		\$6.00	\$6.00
Grand Total for Plan		\$6.00	\$6.00



# 148 E. South St.





November 16, 2023

To: Architectural Review Committee

From: Amy Weinsz

Subject: Fence Replacement 148 E. South Street Worthington

DESCRIPTION OF PROJECT:

There is currently a fence in place on the property that was previously approved by Architectural Review Board, City of Worthington when the home was owned by Jack and Melissa Conrath.

The existing fence is in disrepair. We have made efforts to prolong the useful life of the fence, however, it is time to do a complete replacement for the intended use. The most recent damage to the fence, we believe, was the result of a deer breaking and knocking over a full fence panel along the back (north side) of the property.

We have worked with Mae Fence company in the past on other projects/addresses. They have provided a quote for the work to be completed at 148 E. South. Total project cost quoted at \$5,025.

Included with our permit application is a drawing of the fence type, as provided by Mae Fence, including measurements of the 4' high fence components and finishes. I have also provided a photograph of the fence to be installed as shared by Mae Fence and copy of survey with yellow outline indicating the location of the existing fence which is also where the new fence will be installed. In reference to the photo image provided, there is a solid privacy fence in the background of the photo. It important to note that the privacy fence is NOT the fence type to be installed. The fence to be installed is the traditional picket fence with top and bottom trim pieces, post caps and spacing between pickets as seen in the foreground of the image provided.

Thank you.



CITY OF WORTHINGTON  
DRAWING NO. ARB 97-2023  
DATE 11/18/2023



# Myers Surveying Company, Inc.

2740 East Main Street, Columbus 43209 (Bexley), Ohio  
614-235-8677 FAX: 614-235-4559

A Mortgage Location Survey prepared for and certified to:

Chicago Title Insurance Company and/or ABN AMRO Mortgage Group

Legal Description: Situated in The State of Ohio, County of Franklin, City of Worthington Being Lot 12 Hannon Brothers' Subdivision  
Plat Book 10, Page 224

Applicant: Conrath, John 26120013

Posted Address: 148 South Street, Worthington, Ohio

F.E.M.A. Flood Zone Designation: Flood Zone "X" as per F.I.R.M. 390181 0135H

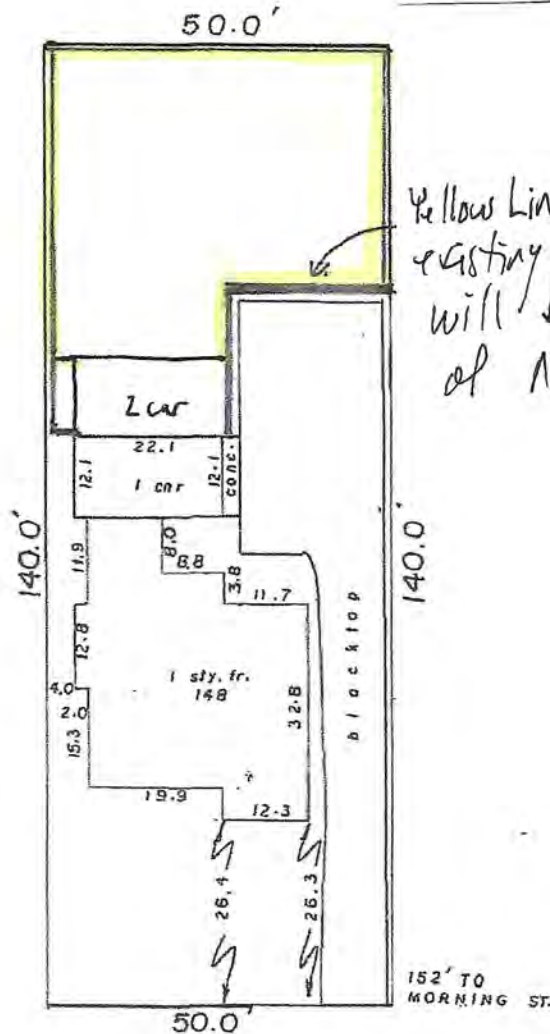
Apparent Encroachments: 1) None

15' ALLEY



Scale 1" = 20'

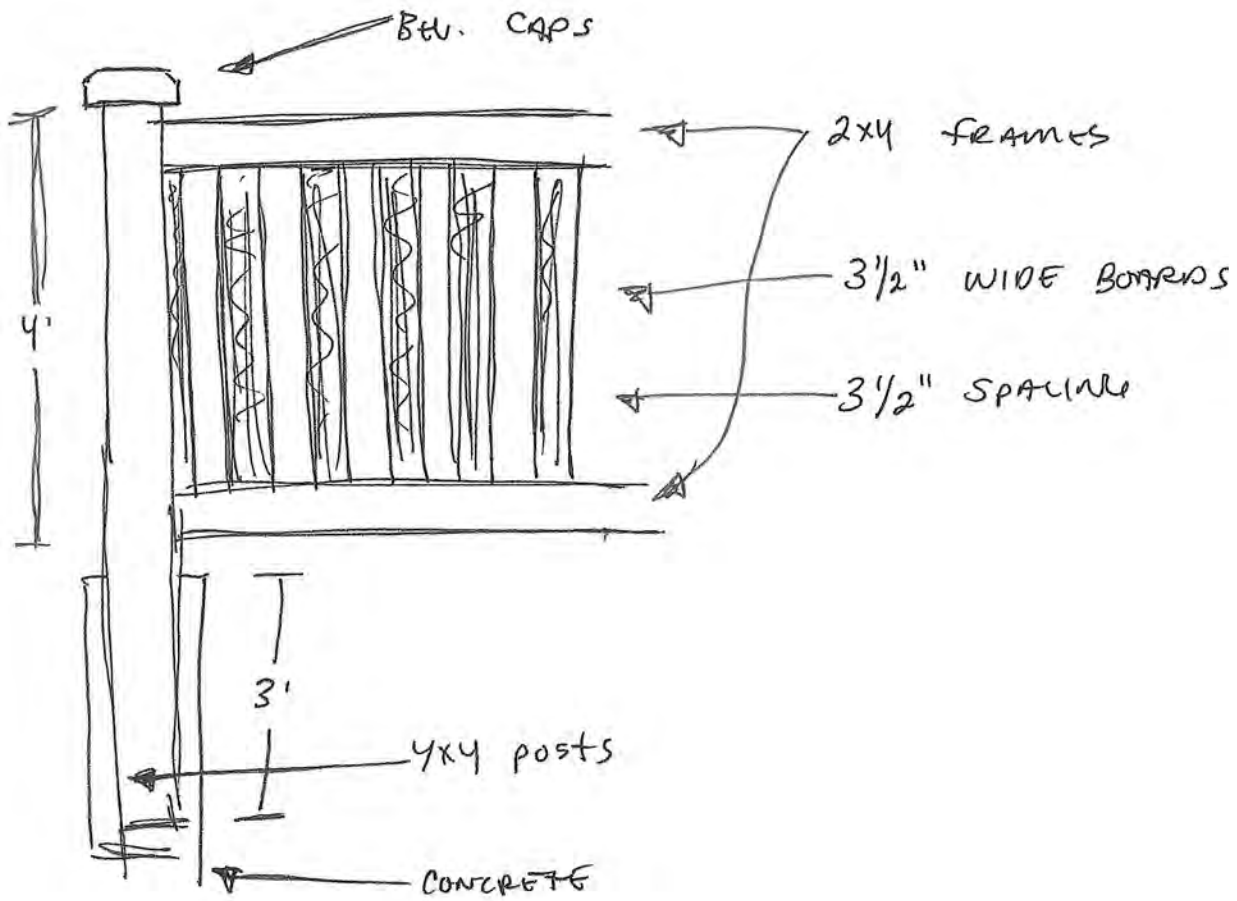
Date: 01/27/2006



Yellow Line shows  
existing fence which  
will be same placement  
of New fence.



CITY OF WORTHINGTON  
DRAWING NO. ARB 97-2023  
DATE 11/18/2023



4' SPACED TRADITIONAL FENCE - 50% OPEN



CITY OF WORTHINGTON  
DRAWING NO. ARB 97-2023  
DATE 11/18/2023

Example of fence style except pickets and space between would each be 3 1/2" wide.



CITY OF WORTHINGTON  
DRAWING NO. ARB 97-2023  
DATE 11/18/2023

## Proposed Chicken Regulations

### 505.08 NUISANCE CONDITIONS PROHIBITED.

(a) No person shall cause or allow any place where an animal is kept to become unclean or unwholesome. No person shall keep any swine, sheep or goats in the City. Horses, cattle and ~~chickens~~ *fowl* may not be kept anywhere within the City within 150 feet of any residence, other than the residence of the person keeping such animals or fowl.

*(b) Chickens (layer hens) are permitted in any "R" District provided that a permit has been obtained and fully complies with the applicable rules and regulations established in the Columbus City Health Code as administered by Columbus Public Health.*

(c) No person shall keep or harbor any animal in the City so as to create offensive odors, excessive noise or unsanitary conditions which are a menace to the health, comfort or safety of the public, or otherwise permit the commission or existence of a nuisance as defined herein.

(d) No person shall keep or otherwise harbor any animal within the City which, by frequent and habitual barking, howling or yelping, creates unreasonably loud and disturbing noises of such a character, intensity and duration as to disturb the peace, quiet and good order of the City. Any person who allows any animal habitually to remain, be lodged or fed within any dwelling, building, yard or enclosure, which he occupies or owns, shall be considered as harboring such animal.

(e) Any animal which scratches, digs, or defecates upon any lawn, tree, shrub, plant, sidewalk, building, park, playground, school ground or private property, other than the property of the owner or person in charge or control of such animal, is hereby declared to be a nuisance.

(f) No person being the owner or in charge or control of any animal shall allow or permit such animal to commit a nuisance on any school grounds, playground, City park, or upon any private property other than that of the owner or person in charge or control of such animal without the permission of the owner of such property. Where the owner or person in charge or control of such animal immediately removes all feces deposited by such animal and disposes of same in a sanitary manner, such nuisance shall be considered abated.

(g) Whoever violates this section is guilty of a minor misdemeanor.

### 1123.02 ACCESSORY USE OR STRUCTURE.

"Accessory use or structure" means a use, object or structure constructed or installed on, above or below the surface of a parcel and of a nature customarily incidental and subordinate to the principal use or structure. Among other things, accessory uses or structures include anything attached to or detached from the principal building of a subordinate nature; garages, sheds, walls, fences, billboards, poster panels, poles or parking places, whether located on, above or below the surface of a parcel. *If a permit has been issued by Columbus Public Health, the owning, keeping or harboring of 8 or less chickens (layer hens) and erection of a chicken coop shall be considered an accessory use and structure in any "R" District.*



**1149.08 SPECIAL YARD REQUIREMENTS.**

(a) At corner lots, no accessory uses, accessory structures, structures, material or equipment storage shall be located in any required front yard. Side yards fronting on the adjacent street can be reduced to two-thirds of the required front setback from the right of way of the adjacent street.

(b) No accessory buildings shall be located in any front or side yard except under unusual circumstances where such building shall not conflict with the intent and purposes of this Zoning Ordinance, or, where enforcement shall result in extreme hardship. In either case the decision to permit such activity shall be made by the Board of Zoning Appeals. Accessory buildings such as garages and storage buildings exceeding 120 square feet in area may be located in the rear yard provided such buildings are set back at least eight feet from the side lot lines and ten feet from the rear lot line. Accessory buildings of 120 square feet or less in area must be set back at least five feet from the side and rear lot lines. In any "R" District the total area for accessory buildings shall be limited to 850 square feet and must be compatible in materials and appearance to the other buildings in the area.

*(c) Chicken coops and runs may be located in the rear yard provided such structures are set back at least 3' from the side and rear lot lines. Chicken coops and runs approved by Columbus Public Health shall not count towards accessory building area as referenced in 1149.08(b) or be subject to approval from the Architectural Review Board as referenced in Chapter 1177.*

(d) No accessory uses or structures, off-street parking facilities, except for single family, or material or equipment storage shall be located in any required front yard, except as otherwise provided herein. On High Street northward from the Worthington-Galena Road parking facilities, which are incidental to the primary use of the property involved, but not including structures, may be located within fifty feet of the right of way.

(e) All yard areas not used for access, parking, circulation, buildings and services shall be landscaped and maintained.

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**221.05 STANDARDS RELATIVE TO ANIMALS** (*Amended 7/16/2019; Effective 7/30/2019; Resolution No. 19-14*)

(a) Definitions

- 1) “Animal” shall mean any animal, other than man.
- 2) “Business” shall mean animal dealers, hatcheries, stores, exhibitors, operators of auction sales, brokers, handlers, and/or carriers involved in the purchasing, selling, negotiating, soliciting, reselling, exchanging,

trading, transferring, exhibiting, boarding, riding and/or giving away of domestic animals requiring a permit as defined in this chapter. Business shall also include any operation that advertises the sale of eggs, animal products, or animal by-products resulting from the keeping of domestic animals requiring a permit.

- 3) "Certificate of Veterinary Inspection" means a form from the state of origin which has been issued and completed by a licensed and accredited veterinarian attesting to the health status and identification of an animal listed thereon.
- 4) "Department" shall mean the Columbus Health Department, also known as Columbus Public Health, its' Health Commissioner, his or her representative(s), including the Public Health Veterinarian, and/or any designated representative(s) or agent of the City of Columbus Board of Health.
- 5) "Domestic Animal" shall mean a Genus and Species of animal included in, but not limited to, the following list that is also widely accepted as no longer being a wild animal and has become adapted through breeding in captivity to a life intimately associated with man and is commonly known as: Alpaca, Bison, Budgerigar, Canary, Camel, Caribou, Cat (*Felis catus*), Cattle, Chicken, Cockatiel, Deer, Dog, Donkey, Dove, Duck, Elk, Fancy Rat, Ferret, Finch, Goat, Goose, Guinea Fowl, Guinea Pig, Hedgehog, Hissing Cockroach, Honeybee, Horse, Llama, Mink, Moose, Mule, Ox, Parakeet, Peafowl, Pheasant, Pig, Pigeon, Pony, Quail, Rabbit, Reindeer, Sheep, Silkworm, Swan, Turkey, Water Buffalo, fowl, or any other animal so determined by the Department.
- 6) "Domestic Animal(s) Requiring a Permit" shall mean a domestic animal included in, but not limited to, the following list: Alpaca, Bison, Camel, Caribou, Cattle, Deer, Donkey, Elk, Goat, Horse, Llama, Moose, Mule, Ox, Pig, Pony, Reindeer, Sheep, Water Buffalo, a kept outside bird, fowl, and/or any other animal so determined by the Department.
- 7) "Exhibition" shall mean one or more displays or demonstrations which are of educational or entertainment value to those witnessing such exhibition.
- 8) "Event" shall mean one or more exhibitions incorporating or allowing domestic animals requiring a permit to have contact with the public, other's property, or other animals.
- 9) "Fowl" shall mean a domesticated species of bird found in the scientific classification Order Galliformes, which includes chickens, grouse, ptarmigans, turkeys, pheasants, quail, partridges, chachalacas, and curassows; ducks and other water fowl; a bird kept or raised for meat or egg production; a game bird raised or hunted for sport; a bird kept or trained for competition; a bird kept outside a structure or shelter; and/or any other bird so determined by the Department.
- 10) "Health Commissioner" shall mean the Health Commissioner of the City of Columbus, Ohio or the Commissioner's authorized representative, including the Public Health Veterinarian.
- 11) "Individual owner" shall mean a person keeping an animal regulated by this Chapter on any premise, lot, or parcel of land and who does not meet the definition of a business, public contact temporary animal venue, or public contact mobile animal operation.
- 12) "Large Animal(s)" shall mean any domestic animal requiring a permit whose estimated, or projected, adult weight is greater than five-hundred (500) pounds, and/or any other animal so determined by the Department.
- 13) "Owner" shall mean any person owning, handling, keeping, possessing, harboring, maintaining, storing, breeding, propagating, sheltering, importing into the City, or having the care, custody or control of an animal.

- 14) "Permit" shall mean a written document issued by the Department as defined in this chapter, allowing a person to own a domestic animal requiring a permit within the jurisdiction of the City of Columbus Board of Health that would otherwise be prohibited.
- 15) "Person" shall mean any individual, partnership, corporation, organization, trade or professional association, firm, limited liability company, joint venture, association, trust, estate, governmental agency or any other entity recognized by law, and any officer, member, shareholder, director, employee, agent or representative thereof.
- 16) "Public Contact Mobile Animal Operation" shall mean a person that displays or exhibits animals regulated by this chapter or provides animal events or exhibitions in the City more than twelve (12) times per year and shall not operate more than seven (7) consecutive days per location.
- 17) "Public Health Veterinarian" shall mean the veterinarian of the City of Columbus, Ohio, also known as the City Veterinarian.
- 18) "Public Contact Temporary Animal Venue" shall mean any location where domestic animals requiring a permit are temporarily located, and have public contact with persons, property or other animals. Temporary Public Contact Animal Venue includes but is not limited to petting farms, petting zoos, farm tours, photo opportunities, and temporary educational exhibitions. For the purposes of this chapter, temporary shall mean no more than seven (7) consecutive days.
- 19) "Veterinarian" shall mean a veterinarian duly licensed under the laws of the State of Ohio, or another state, and recognized by the Department.

**(b) General Permit Standards**

- 1) No person shall possess a domestic animal requiring a permit on any premise, lot or parcel of land in the City without making application for the keeping of such animal(s) to the Health Commissioner. Any individual or business found to possess a domestic animal requiring a permit without obtaining a permit is subject to penalties set forth in Columbus City Health Code. Any individual or business found to possess a domestic animal requiring a permit without obtaining a permit or making application is subject to penalties set forth in Columbus City Health Code as well as fees set forth in Columbus City Health Code 221.05 (h)(4).
- 2) The following persons, as defined by Columbus City Health Code 221.05 (a)(15), shall be exempt from the requirements of this regulation:
  - i. A person housing an animal at the written request of the Department;
  - ii. Animal control or law enforcement agencies or officers acting under the authority of this chapter;
  - iii. Federal, state, or local agencies or officers who, by virtue of their office have statutory and/or regulatory authority over such animals, and are acting on behalf of their office;
  - iv. A facility that is an accredited member of the Association of Zoos and Aquariums (AZA);
  - v. A person or facility in the process of becoming an accredited member of the Association of Zoos and Aquariums(AZA);
  - vi. A research facility as defined in the Federal Animal Welfare Act or that is accredited by the Association for the Assessment and Accreditation of Laboratory Animal Care International;



- vii. A person who has been issued a license by the United States Department of Agriculture under the Federal Animal Welfare Act;
- viii. A veterinarian that is providing temporary veterinary care to a domestic animal requiring a permit;
- ix. A person who is traveling through the City with a domestic animal requiring a permit, and does all of the following:
  - 1. Confines the animal in a cage at all times;
  - 2. Confines the animal in a cage that is not accessible to the public;
  - 3. Does not exhibit the animal;
  - 4. Is in the City not more than twenty-four (24) hours unless the animal is receiving veterinary care.
- x. A person who has been issued a permit by the Ohio Department of Natural Resources or the Ohio Department of Agriculture in relation to the possession of animals regulated by this Chapter;
- xi. An educational institution that temporarily displays a domestic animal requiring a permit as a sports mascot;
- xii. A facility licensed by the State of Ohio Racing Commission;
- xiii. An accredited university or college with a course of study related to the care of and keeping of animals regulated by this Chapter.

3) The following criteria shall be used in making determinations regarding permits:

- i. The keeping of the animal(s) creates no adverse public safety, public health, or environmental effects, and does not create a nuisance;
- ii. The applicant is in compliance with all public safety, public health, animal confinement, animal cruelty, and animal welfare regulations as set forth in:
  - 1. The Columbus City Health Code;
  - 2. The Columbus City Code;
  - 3. Ohio Revised Code and Ohio Administrative Code;
  - 4. The Federal Code of Regulations.
- iii. Unless otherwise directed by the Department, animal(s) shall be examined, and treated if indicated, by an accredited veterinarian of the State of Ohio, or a specialist as recognized by the Department. Such examination shall be for: general health; intestinal parasites, as minimally determined by a fecal test; and absence of zoonotic disease symptoms within thirty (30) days prior to arrival to the Columbus Board of Health jurisdiction. A copy of such examination results shall be post-marked or received by the Public Health Veterinarian within seven (7) days following the examination.

Examination results may be satisfied by a written statement from the accredited veterinarian completing the examination, the submission of a Certificate of Veterinary Inspection including the required fecal test results or a current National Poultry Improvement Plan (NPIP) Veterinary Services Form 9-3, indicating sale and shipment directly to the applicant as submitted to the Department. Examination for intestinal parasites shall not be required of animals covered by a current NPIP Veterinary Services Form 9-3;

- iv. The number and type of animals;
  - v. Waste shall be stored, managed and disposed of in a manner that will not create a nuisance; transportation of raw animal waste is subject to applicable laws and rules of the City of Columbus, Franklin County and the State of Ohio;
  - vi. The prevention of waste substances from being accessible, and feed from being scattered, in such a manner that it may attract vermin and create other adverse environmental or health effects;
  - vii. The proximity of the caging, pen, or enclosure to other properties does not reasonably allow wastes to be directly deposited upon or carried into adjoining properties;
  - viii. An applicant must be at least eighteen (18) years of age;
  - ix. All required documentation and, if applicable, fee requirements have been met and/or received;
  - x. If a property is leased, the applicant must provide documentation that the property owner consents to the keeping of domestic animals requiring a permit.
- 4) The structure, animals, and premises shall be kept in a safe and sanitary condition so as to not become unsafe or reasonably offensive and so that they will not harbor animal or insect pests. The Department reserves the right to have any building or structure related to the keeping of animals regulated by this Chapter evaluated, at the expense of the applicant, by the Columbus Department of Building and Zoning Services, Columbus Division of Fire, or an agent approved by the Department for related hazards.
- 5) Unless otherwise specified, the keeping and housing of domestic animals requiring a permit shall meet the minimum requirements specified by the *Livestock Care Standards* as promulgated by Ohio Revised Code Chapter 904: under authority of the Ohio Livestock Care Standards Board (Ohio Administrative Code 901:12).
- 6) Unless specified in section 221.05 (c) (9) or 221.05 (d) (6), the number of animals that are allowed to be kept on any premise, lot, or parcel of land in the City will be determined by the Department. The Department shall make such determinations using guidance offered in specific scientific bulletins (e.g., Ohio State Extension Bulletin 604), journals, and publications, accepted practices, and the size of usable space for animals; or, in the absence of specific guidelines, will otherwise be determined by the Department.
- 7) Domestic animals requiring a permit that are considered to be noisy by the Department, or are subsequently determined to be noisy by the Department, are prohibited for individual owners on any premise, lot, or parcel of land. The following animals are prohibited:
- i. Roosters
  - ii. Peafowl

- iii. Geese
  - iv. Turkeys
  - v. Donkeys
- 8) The Department may order changes and/or actions to be taken to mitigate complaints pertaining to domestic animals requiring a permit that are noisy, or creating unreasonably loud or long noises, on premises, lots, or parcels of land.

(c) In addition to the general permit standards specified in Columbus City Health Code 221.05 (b), the following additional standards apply to keeping of fowl:

- 1) Each pen or enclosure shall have a floor of impervious material and be under cover.
  - i. Examples of impervious flooring include: thick rubber (e.g., stall mats), concrete, blacktop, pavers, blocks, bricks, treated plywood, covered wood, roofing materials, sheet metal.
- 2) A coop and/or run may not be located in a front yard or side yard area and shall not be located within three (3) feet of a side or rear yard line.
- 3) All permanent pens, runs, and coops must be rodent proof. Minimally this shall mean:
  - i. Waterproof (e.g., thick rubber, concrete, blacktop, pavers, blocks, bricks, etc.) rodent deterrent materials on the bottom surface, if in direct contact with the ground or soil, and water resistant (e.g., treated plywood, covered wood, etc.) rodent deterrent materials on the bottom surface, if not in direct contact with the ground or soil.
  - ii. Rodent proofing material (e.g., hardware cloth, wood, Plexiglas, glass, siding, etc.) from ground level up to a minimum of 36 inches from ground level on all sides.
  - iii. Rodent proofing material, or spacing less than one half inch, where any opening would reasonably allow rodents access.
  - iv. Any individual who has been issued a permit prior to January 1, 2015 shall not be required to meet the rodent proofing standards set forth above unless a rodent presence is verified by the Department.
- 4) Four hours of “free roaming” within a fence outside the designated pen, run or coop is allowed if the following conditions are met:
  - i. Flight when possible, even if to a limited degree, is restricted (wings clipped and/or overhead fencing/barrier, is in place, etc.).
  - ii. The perimeter of the “free roaming” area must not reasonably allow waste to be directly deposited upon or carried into adjoining properties via water, wind currents, fomites, etc.
  - iii. An owner is present with the birds while they are out of their pen.
  - iv. The birds can be easily and quietly returned to their pen upon demand.

- 5) Individual owners shall have only one permanent coop and run.
- 6) Individual owners may provide a temporary enclosure for isolated, injured, or juvenile fowl.
- 7) For individual owner permits, the area for the permanent coop and run shall be limited to sixty-four square feet and six feet in height, unless otherwise approved by the Department.
- 8) For individual owner permits, the coop shall be no more than thirty-two square feet, unless otherwise approved by the Department.
- 9) For individual owner permits, each adult bird shall have a minimum spacing in the coop and run as indicated in Table 1:
  - i. In calculating the maximum number of adult birds allowable, using Table 1 below, calculate the number of adult birds allowed per the proposed coop size, and then calculate the number of birds allowed per the proposed size of the run. The maximum allowable number of birds is the lesser of the two numbers.

**Table 1: Minimum Spacing Requirements for Adult Fowl**

TYPE OF BIRD	MINIMUM SPACE REQUIREMENTS	
	AREA IN SQ. FT. PER BIRD INSIDE COOP	AREA IN SQ. FT. PER BIRD - OUTSIDE RUN
Bantam Chickens	1	4
Laying Hens	1.5	8
Large Chickens	2	10
Ducks	3	15
Pigeons	2	N/A
Pheasant	5	25
Quail/Other Birds	To be determined by species, estimated/actual adult size, cruelty, and industry standards	To be determined by species, estimated/actual adult size, cruelty, and industry standards

- 10) Any individual who has been issued or applied for a permit prior to October 22, 2016 shall not be required to meet the spacing requirements in Columbus City Health Code 221.05 (c)(7) through (c)(9) unless adverse animal welfare, environmental or health effects are created as a result of the spacing or number of animals.
  - 11) Juvenile birds are not counted in Table 1.
  - 12) If related to a project for a youth educational organization, the spacing requirements as specified in Columbus City Health Code 221.05 (c)(2) and (c)(7) through (c)(9) shall not apply, so long as the project is temporary and no adverse animal welfare, environmental or health effects are created as a result of the spacing or number of animals.
- (d) In addition to the general permit standards specified in 221.05 (b), large animal permits standards shall additionally include:

- 1) No large animal shall be brought into the City without obtaining the initial permit as described in Columbus City Health Code 221.05 (g) (4).
- 2) Residents in proximity to the applicant's property will be notified of the application.
- 3) The nature of the surrounding community shall be taken into consideration.
- 4) No permit for any large animal species shall be granted without written approval from the Columbus Department of Building and Zoning Services for the use of the property as described in the permit application.
- 5) No permit for any large animal shall be granted without written approval from the Columbus Department of Building and Zoning Services for the use of the shelter and location as described in the permit application.
- 6) A minimum of ½ acre of contiguous land excluding all structures and parking, and suitable for the intended domestic animal's use shall be provided for each large animal as defined in this chapter, unless otherwise directed by the Department.
- 7) No permit for any large animal species shall be issued unless approved fencing is properly installed and maintained so as to prevent escape of the animal or injury to persons or property.
- 8) No large animal, as defined in this Chapter, shall be kept on a property without adequate shelter. Adequate shelter shall include a barn, stable or other structure as determined by the Department.
- 9) No person shall house a large animal except in a containment area large enough for the large animal to turn around, and to be able to be bedded in a minimum depth of six (6) inches of sawdust, wood shavings or other approved material.
- 10) No person shall operate a stable, barn, or other structure used for large animals regulated by this chapter unless the following requirements are met:
  - i. All stable, barn, or other structure locations shall be approved by the Department in addition to all applicable City, State, and Federal agencies;
  - ii. All stable, barn, or other structures shall be adequately ventilated to minimize odor, humidity and maintain temperature;
  - iii. All windows shall be screened to minimize insect and vector pest entry;
  - iv. All grain or grain-type feed shall be stored in rodent-proof containers, and hay shall be stored off the floor and at least eighteen (18) inches away from any wall;
  - v. All pens, stalls, or maintenance areas shall be picked and cleaned twice daily and stripped every seven (7) days;
  - vi. A stable or barn shall be of sufficient size to house all large animals, food supplies and equipment utilized in the caring of animals regulated in this chapter;
  - vii. A stable or barn shall be set back at least 300 feet from neighboring occupied permanent residential structures;

- viii. A stable or barn shall have complete restroom facilities immediately accessible which shall include a hand sink with hot and cold running water;
  - ix. A stable or barn shall have a minimum of forty (40) foot candles of light.
- 11) No large animal shall be kept in any stable or barn unless that stable or barn shall have a floor of impervious material and shall be so drained that all fluid excrement or refuse liquid shall be conducted into a sanitary sewer, or as otherwise directed by the Department.
- i. Exemption shall be made for land annexed into the City of Columbus which:
    - 1. Is zoned agricultural “R – Rural” use at the time of annexation.
    - 2. Remains zoned “R – Rural”.
    - 3. Poses no public safety, public health, or environmental hazards as designated by the Department.
- 12) When sewers are required or utilized, written approval from the City of Columbus Department of Public Utilities must be obtained prior to the issuance of a permit.
- 13) The applicant for a large animal permit shall prove their ability to respond in damages in a single minimum limit amount of one million dollars (\$1,000,000) for bodily injury to or death of any person or for damage to property owned by any other person which may result from the ownership, keeping, or maintenance of such animal. Proof of liability to respond in damages may be given by filing with the Department a certificate of insurance from an insurance company authorized to do business in the state stating that the applicant is, at the time of his/her application, and will be during the period of such large animal permit, insured against liability to respond in such damages, or by posting with the Department a surety bond conditioned on the payment of such damages during the period of such special permit. The liability insurance or surety bond shall indemnify the City of Columbus as an additional insured. Such certificate of insurance or bond shall provide that no cancellation of the insurance or bond will be made unless ten days written notice is first given to the Department.
- (e) In addition to the general permit standards specified in 221.05 (b), business permit standards shall additionally include:
- 1) Adequate permanent physical and/or behavioral barriers shall be in place at all times.
  - 2) No permit for any business shall be issued without written approval from the Columbus Department of Building and Zoning Services.
  - 3) The business shall monitor physical contact with the public or property by staff except when adequate physical and/or behavioral barriers are sufficient to prevent such contact.
  - 4) The business shall be required to keep purchase and sale/transfer/given away records for a period of time no less than two (2) years and produce records upon demand.
  - 5) When the business is associated with large animals, the requirements set forth in Columbus City Health Code 221.05 (d) shall apply to the issuance of the permit, unless otherwise directed by the Department.
  - 6) Handwashing signage shall be conspicuously posted. The signage shall state:

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- i. Animals carry germs that can make people sick.
    - ii. Wash hands with soap and water after touching animals, leaving the animal area, going to the restroom and/or preparing foods, eating or drinking.
  - 7) Unless otherwise directed by the Department, handwashing sinks shall be readily available and accessible on site and shall be stocked with hand soap and appropriate means of drying (i.e. no multi-use towels).
  - 8) All areas must have sufficient lighting of at least forty (40) foot candles of lighting.
  - 9) No domestic animal requiring a permit shall be sold, traded or given away to a minor without the presence of the minor's parent or guardian and written permission from said parent or guardian.
  - 10) Written procedures for quarantine and/or isolation of animals shall be provided for review.
  - 11) The business applicant shall prove their ability to respond in damages in a single minimum limit amount of one million dollars (\$1,000,000) for bodily injury to or death of any person or for damage to property owned by any other person which may result from the ownership, keeping, or maintenance of such animal. Proof of liability to respond in damages may be given by filing with the Department a certificate of insurance from an insurance company authorized to do business in the state stating that the applicant is, at the time of his/her application, and will be during the period of such animal permit, insured against liability to respond in such damages, or by posting with the Department a surety bond conditioned on the payment of such damages during the period of such special permit. The liability insurance or surety bond shall indemnify the City of Columbus as an additional insured. Such certificate of insurance or bond shall provide that no cancellation of the insurance or bond will be made unless ten days written notice is first given to the Department.
- (f) In addition to the general permit standards specified in 221.05 (b), public contact temporary animal venue and public contact mobile animal operation standards shall additionally include:
- 1) Public contact temporary animal venues
    - i. Temporary permits shall be valid for no more than seven (7) consecutive days.
    - ii. No large animal shall be brought into the City without obtaining a permit.
    - iii. Unless otherwise directed by the Department, temporary handwashing stations shall be readily available and accessible on site and shall be stocked with hand soap and appropriate means of drying (i.e. no multi use towels).
    - iv. No single entity shall obtain more than twelve (12) public contact temporary animal venue permits in any calendar year.
    - v. No single entity shall obtain more than two (2) permits in a calendar year for the same location.
    - vi. Handwashing signage shall be conspicuously posted. The signage shall state:
      - 1. Animals carry germs that can make people sick.

2. Wash hands with soap and water after touching animals, after leaving the animal area, and before preparing foods, eating, drinking, and using the restroom.
  - vii. The public contact temporary animal venue applicant shall prove their ability to respond in damages in a single minimum limit amount of one million dollars (\$1,000,000) for bodily injury to or death of any person or for damage to property owned by any other person which may result from the ownership, keeping, or maintenance of such animal. Proof of liability to respond in damages may be given by filing with the Department a certificate of insurance from an insurance company authorized to do business in the state stating that the applicant is, at the time of his/her application, and will be during the period of such animal permit, insured against liability to respond in such damages, or by posting with the Department a surety bond conditioned on the payment of such damages during the period of such special permit. The liability insurance or surety bond shall indemnify the City of Columbus as an additional insured. Such certificate of insurance or bond shall provide that no cancellation of the insurance or bond will be made unless ten days written notice is first given to the Department.
  - viii. Adequate/permanent physical and/or behavioral barriers shall be in place at all times.
  - ix. Temporary permit applications must be received by the Department at least two weeks in advance of the initial day of said events or exhibitions, unless reasonable cause is provided.
- 2) Public contact mobile animal operation
- i. Unless otherwise directed by the Department, temporary handwashing stations shall be readily available and accessible on site and shall be stocked with hand soap and appropriate means of drying (i.e. no multi use towels).
  - ii. No permit holder shall operate at the same physical location for more than four (4) exhibitions or events in a licensing period. A single exhibition or single event shall be limited to no more than seven (7) consecutive days per location.
  - iii. Handwashing signage shall be conspicuously posted. The signage shall state:
    1. Animals carry germs that can make people sick.
    2. Wash hands with soap and water after touching animals, after leaving the animal area, and before preparing foods, eating, drinking, and using the restroom.
  - iv. The public contact mobile animal operation applicant shall prove their ability to respond in damages in a single minimum limit amount of one million dollars (\$1,000,000) for bodily injury to or death of any person or for damage to property owned by any other person which may result from the ownership, keeping, or maintenance of such animal. Proof of liability to respond in damages may be given by filing with the Department a certificate of insurance from an insurance company authorized to do business in the state stating that the applicant is, at the time of his/her application, and will be during the period of such animal permit, insured against liability to respond in such damages, or by posting with the Department a surety bond conditioned on the payment of such damages during the period of such special permit. The liability insurance or surety bond shall indemnify the City of Columbus as an additional insured. Such certificate of insurance or bond shall provide that no cancellation of the insurance or bond will be made unless ten days written notice is first given to the Department.



- v. Adequate/permanent physical and/or behavioral barriers shall be in place at all times.
- vi. Permit holders shall provide a schedule of events or exhibitions at least two weeks in advance of said events or exhibitions, unless reasonable cause is provided.
- vii. The Department reserves the right to inspect events or exhibitions throughout the permit period.

(g) Permit Application, Renewal and Approval

- 1) The following must be received and approved by the Department prior to domestic animals requiring a permit being brought into the City:
  - i. A completed domestic animal plan review packet and applicable fee.
  - ii. Written plans including design details of the intended caging/confinement, and when already present on the property, photographs of the existing caging/confinement, demonstrating that it is inoffensive, secure, under cover, and, when required, has impervious flooring.
  - iii. A written document outlining the intended disinfection and cleaning schedule.
  - iv. A written document outlining a general knowledge of the proper handling and care for the species of animal.
- 2) Permit renewal. Except for public contact temporary animal venue permits and individual owner permits for animals not defined as large, all permits required by this Chapter are annual and expire on the last day of December of each year. Applications for permit renewal shall be made in December. Applications post marked on or before the last day of December shall be considered timely. Failure to renew permits annually shall be considered a violation of this Chapter and responsible parties may be subject to penalties set forth in Columbus City Health Code 209.99.
- 3) Individual owner permits, excluding large animals, are valid for a four (4) year licensing period.
- 4) Initial permit. An application for an initial permit shall include one or more inspections of the property to verify the plans submitted. The application shall include any applicable permit fees. A permit issued to a new permit holder after the first day of October does not expire until the end of the permit period next succeeding issuance of the permit.
- 5) Permits and permit fees established in accordance with this Chapter shall be specified in accordance with the following categories:
  - i. Individual owner
  - ii. Individual owner - large animal
  - iii. Business
  - iv. Public contact temporary animal venue
  - v. Public contact mobile animal venue

**(h) Fees**

- 1) There is levied and assessed in each category specified in Columbus City Health Code Chapter 221.05 (g)(5) the following fee:
  - i. Plan review application, fifty dollars (\$50.00)
    1. Plan review application fees are waived for temporary event and mobile public contact animal venue applications.
  - ii. Four year permit, individual owner, one-hundred dollars (\$100.00)
  - iii. Individual owner, large animal, one-hundred twenty five dollars (\$125.00)
  - iv. Business, one-hundred twenty-five dollars (\$125.00)
  - v. Public contact temporary animal venues, thirty dollars per event (\$30.00)
  - vi. Public contact mobile animal venue, one-hundred twenty five dollars (\$125.00)
- 2) Plan review and permit fees are non-refundable.
- 3) The initial permit fee is due upon receipt of completed initial permit application.
- 4) An additional fee of fifty dollars (\$50.00) shall be added to the plan review fee as specified in (h)(1)(i) when the Department determines that the domestic animals requiring a permit were kept on the property prior to submitting the plan review application as required by this Chapter.
- 5) Any applicant that can demonstrate that they are eligible for Supplemental Nutritional Assistance Program (SNAP) or eligible for supplemental nutrition program for Woman, Infants and Children (WIC) shall not be required to pay any fees prescribed in this section, yet are subject to other requirements specified in this regulation.

**(i) Inspections**

- 1) An inspection shall be conducted at least once during a permit term for all permits issued in accordance with this Chapter. Inspections shall be conducted either by the Health Commissioner or his/her designee
  - 2) Each inspection shall be recorded on a form prescribed by the Department.
- (j) An inspection may require the removal from the property of any animal, equipment, and/or structure(s) found to be maintained in a condition that presents a clear and present danger to the public safety and/or public health.
- (k) The Department shall keep records of all persons carrying a valid permit.
- (l) The Department may confiscate a domestic animal requiring a permit from an owner if the animals are being kept in manner, that by determination of the Health Commissioner or his/her designee causes an imminent danger to the public health, public safety or animal welfare. The applicant/licensee is liable for the costs of confiscation, placement and care for said animal from the time of confiscation until the time of return to the licensee or until the time the animal has been relocated to a facility approved by the Department, or until otherwise disposed in a manner approved by the Department.

- 
- (m) The requirements of a person to obtain a permit for specified animals in this section shall not apply to exempt persons as defined in this section.
  - (n) All permit holders and applicants shall allow the Health Commissioner or his/her designee to enter the premises, at all reasonable times, where animals are kept to ensure compliance with this Chapter, as prescribed by Columbus City Health Code 209.02 (c).
  - (o) All permit holders shall notify the Department of changes to the stated information on the permit within 30 days of any changes using the appropriate form, as supplied by the Department.
  - (p) The Health Commissioner, or his/her designee may modify or limit an animal permit at any time for violation of this chapter or other Federal, State or City regulations. The Board of Health may suspend, limit or revoke a permit as described in Columbus City Health Code 203.10.
  - (q) No person shall store animal food and/or feed animals in such a method or manner on any premise, lot or parcel of land within the jurisdiction of the City of Columbus Board of Health if such feeding creates a nuisance, insanitation and/or danger to any person and/or property. Such method or manner shall include, but not be limited to:
    - 1) Storing food in such a manner that it is accessible to non-domestic animals, nuisance animals, vermin, and other pests.
    - 2) Placing food in the open in a container that allows the scattering of such food upon the ground.
    - 3) Allowing food to remain after such feeding where it is accessible to non-domestic animals, nuisance animals, vermin, and other pests.
    - 4) Allowing food to remain in feed pans, troughs, and other feeder containers overnight without making such feeder equipment inaccessible to non-domestic animals, nuisance animals, vermin, and other pests.
  - (r) No person shall allow the house, caging, runs, yards or the premises where animals are kept to become offensive due to unsanitary conditions. Such animals shall not be allowed to create an unsanitary condition on the streets, alleys or sidewalks, or premises of others. Offensive, unsanitary conditions shall include but not be limited to odor, accumulated urine, urine soaked ground, feces and rodent harborages.
  - (s) If an owner, keeper, or harborer is cited for unsanitary conditions, the Health Commissioner or Public Health Veterinarian may limit the number of animals that may be maintained on a premise.
  - (t) No person shall allow any animal suffering from a zoonotic and/or communicable disease to run at large or to come in contact, either directly or indirectly, with any other animal or any person, except the owner or keeper of the animal, a household member, a licensed veterinarian, employees of an animal clinic/hospital, employees of the Columbus Humane, employees of the Franklin County Department of Animal Care and Control, or as designated by the Department.
  - (u) Upon the death of an animal the owner or keeper of the animal shall promptly make arrangements for proper disposition of the dead animal.
  - (v) Any person transporting a domestic animal requiring a permit within the City must maintain the animal within a confinement sufficient to prevent the animal from escaping and/or causing or resulting in serious injury, harm or disease to humans, domestic animals, and/or property.
  - (w) No person, owning or responsible for animals shall knowingly or negligently allow any of them to run at large in any

street, alley or unenclosed lot within the City.

The Department may declare any animal a nuisance, dangerous or vicious animal as defined in Chapter 243 of this Health Code.

#### **221.06 STANDARDS RELATIVE TO CARRIAGE HORSES**

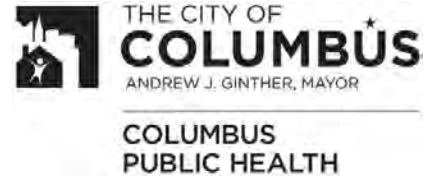
*(Amended 11/15/16; Effective 12/13/16; Resolution No. 16-20)*

- (a) In addition to the listed requirements below, all carriage horse companies shall meet the minimum requirements set forth in Columbus City Code Chapter 595 – Horse Drawn Carriages.
- (b) Each horse shall be identified by a brand, mark or tag, uniquely identifying the horse. A description (including photograph) of each horse, including brand, mark or tag, age, breed, sex, color and other identifying markings shall be filed with the Public Health Veterinarian.
- (c) A certificate of well-being shall be issued within thirty (30) days prior to use by horse carriage company. The horse shall be examined for soundness of its teeth, legs, hoofs, shoes and cardiovascular system, as well as for signs of drug abuse, injury, disease or deficiency. Each horse shall have flesh muscle tone, and weight sufficient to pull a carriage. This examination shall be performed by a veterinarian and a statement of this examination forwarded to the Public Health Veterinarian. Each horse deemed to have met the standards of this section shall be issued a certificate of wellbeing. The certificate shall identify the horse by breed, color, sex, and markings and shall state the type of carriage the horse can pull safely without causing injury to the horse.
- (d) The Public Health Veterinarian shall examine and/or accept a veterinarian's statement of examination of any horse ordered out of service for injury, illness or any horse involved in an accident. A re-certification statement shall be issued when the veterinarian finds the horse fit to return to service.
- (e) Animals shall not be tethered, kept, washed and/or groomed outside of the stable, barn, or other structure, except as needed, when being worked outside of the stable facility. Animals shall not be washed while at a designated tether location.

## PERMIT APPLICATION TO KEEP ANIMALS

Type: Animal Possessor

RECORD # \_\_\_\_\_



<b>Instructions</b>	Please complete this application by printing and signing where indicated. Fill out the form as completely as possible. If a question or comment does not apply, leave it blank. Questions about this form should be directed to the Public Health Veterinarian at (614) 645-6748.
<b>Please Provide:</b>  Name of person REQUESTING permit.  Birth date of adult permit applicant.  Convicted or found responsible of animal related offense?    Contact information for applicant.	<b>Applicant details</b> Title <input type="checkbox"/> Mr <input type="checkbox"/> Mrs <input type="checkbox"/> Ms <input type="checkbox"/> Miss <input type="checkbox"/> Other (specify) _____ Name _____ Date of Birth _____ (mm/dd/yyyy) Eligible for WIC ? <input type="checkbox"/> Yes <input type="checkbox"/> No      Eligible for SNAP / Food Stamps? <input type="checkbox"/> Yes <input type="checkbox"/> No Convicted of animal related offense(s)? <input type="checkbox"/> Yes <input type="checkbox"/> No Type of offense? _____ Signature of Applicant _____ Date ____/____/____ Address _____ City _____ State _____ Zip code _____ Phone _____ Fax _____ Mobile _____ E-mail: _____
<b>Please Provide:</b>  SITE where animal(s) are to be kept.  Fencing type, i.e. Wood, Chain link, etc. Height of fence in feet.  Zoning, i.e. Residential Commercial, etc.	<b>Animal location address and details</b> Street Address _____ City _____ State _____ Zip code _____ Is the area fenced? <input type="checkbox"/> No <input type="checkbox"/> Yes Fence Type _____ Fence Height _____ (feet) How is the land zoned? _____
<b>Please Provide:</b>  Property owner of animal location address	<b>Property Owner details</b> Name of Owner _____ Phone _____ Address _____ City _____ State _____ Zip code _____ Signature of Owner _____ Date _____ Print owner name _____

<p><b>Please Provide:</b></p> <p><b>Type and quantity.</b></p>	<p><b>Animals - General</b></p> <p>Type of Animal(s) _____</p> <p>Number of Animal(s) to be kept _____</p>
<p><b>Source of animals. (Breeder, pet shop, etc.)</b></p>	<p>Where will the Animal(s) be obtained? <input type="checkbox"/> "X" box if more than one source</p> <p>Name _____ Phone _____</p> <p>Address _____ City _____</p> <p>State _____ Zip Code _____</p>
<p><b>Veterinary care for animal(s).</b></p>	<p>Who will provide veterinary care for the Animal(s)? <input type="checkbox"/> "X" box if more than one facility</p> <p>Name _____ Phone _____</p> <p>Address _____ City _____</p> <p>State _____ Zip Code _____</p>

<p><b>Please Provide:</b></p> <p><b>Housing type(s)</b></p> <p><b>Species, breed, color, sex, age, etc. of animal(s).</b></p>	<p><b>Animal Details - Complete if you have the animal(s). Businesses STOP here.</b></p> <p>Housing: <input type="checkbox"/> Pen <input type="checkbox"/> Coop <input type="checkbox"/> Barn <input type="checkbox"/> Indoor</p> <p><input type="checkbox"/> Other (specify) _____</p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 25%; text-align: left; padding: 5px;"><b>Animal Information</b></th> <th style="width: 25%; text-align: left; padding: 5px;"><b>Animal # 1</b></th> <th style="width: 25%; text-align: left; padding: 5px;"><b>Animal # 2</b></th> <th style="width: 25%; text-align: left; padding: 5px;"><b>Animal # 3</b></th> </tr> </thead> <tbody> <tr> <td style="padding: 5px;">Name.....</td> <td>_____</td> <td>_____</td> <td>_____</td> </tr> <tr> <td style="padding: 5px;">Species.....</td> <td>_____</td> <td>_____</td> <td>_____</td> </tr> <tr> <td style="padding: 5px;">Breed.....</td> <td>_____</td> <td>_____</td> <td>_____</td> </tr> <tr> <td style="padding: 5px;">Color.....</td> <td>_____</td> <td>_____</td> <td>_____</td> </tr> <tr> <td style="padding: 5px;">Sex .....</td> <td>_____</td> <td>_____</td> <td>_____</td> </tr> <tr> <td style="padding: 5px;">Age.....</td> <td>_____</td> <td>_____</td> <td>_____</td> </tr> <tr> <td style="padding: 5px;">Microchip Number.....</td> <td>_____</td> <td>_____</td> <td>_____</td> </tr> <tr> <td style="padding: 5px;">Registration Number.....</td> <td>_____</td> <td>_____</td> <td>_____</td> </tr> <tr> <td style="padding: 5px;">Neutered/Spayed/Castrated?</td> <td><input type="checkbox"/> Yes <input type="checkbox"/> No</td> <td><input type="checkbox"/> Yes <input type="checkbox"/> No</td> <td><input type="checkbox"/> Yes <input type="checkbox"/> No</td> </tr> </tbody> </table>	<b>Animal Information</b>	<b>Animal # 1</b>	<b>Animal # 2</b>	<b>Animal # 3</b>	Name.....	_____	_____	_____	Species.....	_____	_____	_____	Breed.....	_____	_____	_____	Color.....	_____	_____	_____	Sex .....	_____	_____	_____	Age.....	_____	_____	_____	Microchip Number.....	_____	_____	_____	Registration Number.....	_____	_____	_____	Neutered/Spayed/Castrated?	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
<b>Animal Information</b>	<b>Animal # 1</b>	<b>Animal # 2</b>	<b>Animal # 3</b>																																						
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Species.....	_____	_____	_____																																						
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Registration Number.....	_____	_____	_____																																						
Neutered/Spayed/Castrated?	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No																																						

**CONTINUED ON NEXT PAGE**

**MAKE COPIES OF THIS PAGE BEFORE FILLING IN THE INFORMATION  
IF YOU ARE APPLYING FOR MORE THAN NINE (9) ANIMALS**

<b>Please Provide:</b>  <b>Housing type(s)</b>  <b>Species, breed, color, sex, age, etc. of animal(s).</b>	<b>Animals - Details (more than 3 animals)</b>			
	Housing: <input type="checkbox"/> Pen <input type="checkbox"/> Coop <input type="checkbox"/> Barn <input type="checkbox"/> Indoor <input type="checkbox"/> Other (specify) _____			
	<b>Animal Information</b>	<b>Animal #</b> __	<b>Animal #</b> __	<b>Animal #</b> __
	Name.....	_____	_____	_____
	Species.....	_____	_____	_____
	Breed.....	_____	_____	_____
	Color.....	_____	_____	_____
	Sex .....	_____	_____	_____
	Age.....	_____	_____	_____
	Microchip Number.....	_____	_____	_____
Registration Number.....	_____	_____	_____	
Neutered/Spayed/Castrated? <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No				
<b>Please Provide:</b>  <b>Housing type(s)</b>  <b>Species, breed, color, sex, age, etc. of animal(s).</b>	<b>Animals - Details (continued)</b>			
	Housing: <input type="checkbox"/> Pen <input type="checkbox"/> Coop <input type="checkbox"/> Barn <input type="checkbox"/> Indoor <input type="checkbox"/> Other (specify) _____			
	<b>Animal Information</b>	<b>Animal #</b> __	<b>Animal #</b> __	<b>Animal #</b> __
	Name.....	_____	_____	_____
	Species.....	_____	_____	_____
	Breed.....	_____	_____	_____
	Color.....	_____	_____	_____
	Sex .....	_____	_____	_____
	Age.....	_____	_____	_____
	Microchip Number.....	_____	_____	_____
Registration Number.....	_____	_____	_____	
Neutered/Spayed/Castrated? <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No				

**RETURN THIS FORM TO COLUMBUS PUBLIC HEALTH USING ONE OF THE FOLLOWING:**

**USPS MAIL:** Columbus Public Health  
C/O: Animal Program - 501288  
240 Parsons Avenue  
Columbus, Ohio 43215

**EMAIL:** Include "Animal Permit Application" in the subject line.  
Send to: [AnimalProgram@columbus.gov](mailto:AnimalProgram@columbus.gov)

**FAX:** Fax to the attention of the Animal Program.  
614-645-7155







**ARB APPLICATION**  
**ARB 0079-2023**  
**400 W. Dublin-Granville Rd.**

Tabled 10/12/2023

<b>Plan Type:</b>	Architectural Review Board	<b>Project:</b>		<b>App Date:</b>	10/02/2023, 12/4/2023
<b>Work Class:</b>	Certificate of Appropriateness	<b>District:</b>	City of Worthington	<b>Exp Date:</b>	
<b>Status:</b>	In Review			<b>Completed:</b>	
<b>Valuation:</b>	\$11,000,000.00			<b>Approval</b>	
<b>Description:</b>	This is the first submission for the TWHS Natatorium.				<b>Expire Date:</b>

<b>Parcel:</b>	100-006617	Main	<b>Address:</b>	300 W Dublin-Granville Rd Worthington, OH 43085	Main	<b>Zone:</b>	S-1(Special)
				400 W Dublin-Granville Rd Worthington, OH 43085			

Owner	Applicant	Owner
Worthington Schools	Schorr Architects, Inc.	Jeff Eble
Tim Gehring	Nathan Gammella	Business: (614) 450-6037
200 E WILSON BRIDGE RD	230 Bradenton Ave.	
Worthington , OH 43085	Dublin, OH 43017	
Business: 6148833000	Business: 6147982096	
Mobile: 6143614419	Mobile: 4409152422	

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004679	Architectural Review Board	\$200.00	\$200.00
Total for Invoice INV-00004679		\$200.00	\$200.00
Grand Total for Plan		\$200.00	\$200.00

Condition	Description	Date Created	Satisfied
No Build Document Must Be Reviewed	A no build document has been recorded for this parcel. Please review this document to ensure the permit cannot be issued.	06/29/2022	No
Building Code Variance On File	There is a building code variance on file that may affect future projects. Please check the parcel record.	07/13/2022	No





CITY OF WORTHINGTON  
DRAWING NO. ARB 79-2023  
DATE 12/04/2023



**Thomas Worthington High School  
Natatorium**

Worthington Pools  
400 WEST DUBLIN GRANVILLE RD.  
WORTHINGTON, OH 43085

**SITE PLAN - EXISTING AERIAL**

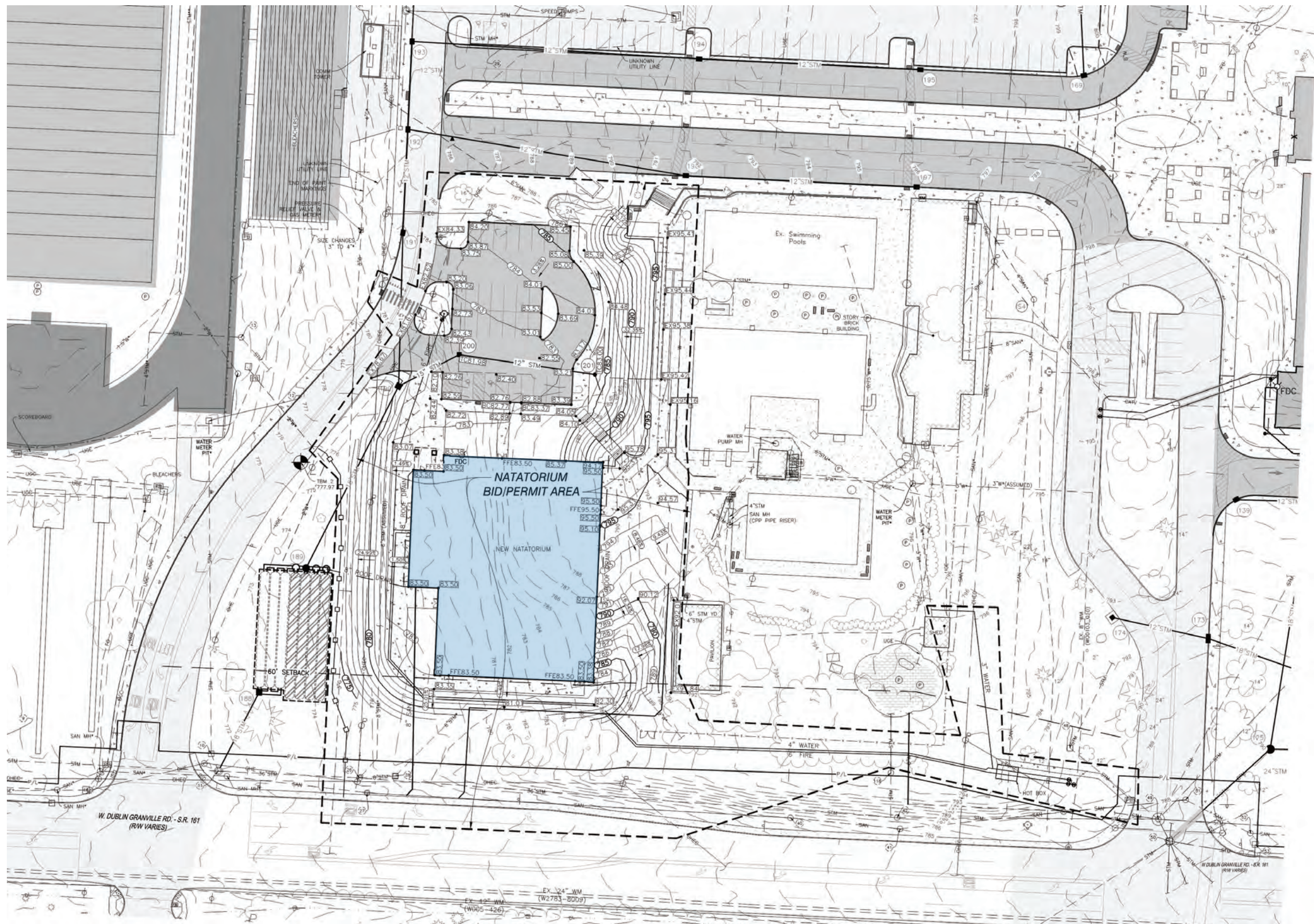
CITY OF WORTHINGTON  
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 12/04/2023

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CITY OF WORTHINGTON  
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DATE 12/04/2023



## Thomas Worthington High School Natatorium

Worthington Pools  
400 WEST DUBLIN GRANVILLE RD.  
WORTHINGTON, OH 43085

## SITE PLAN - NATATORIUM

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**Thomas Worthington High School  
Natatorium**

Worthington Pools  
400 WEST DUBLIN GRANVILLE RD.  
WORTHINGTON, OH 43085

**ELEVATION - SOUTH ELEVATION**

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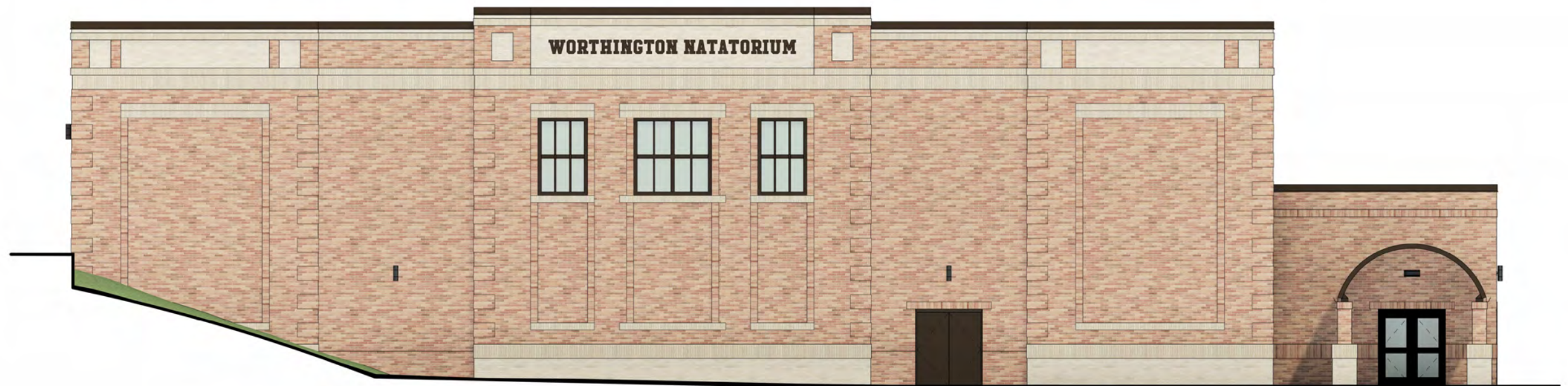
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DATE 12/04/2023



**Thomas Worthington High School  
Natatorium**

Worthington Pools  
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**ELEVATION - NORTH ELEVATION**

CITY OF WORTHINGTON  
ARCHITECTURAL REVIEW BOARD SUBMISSION

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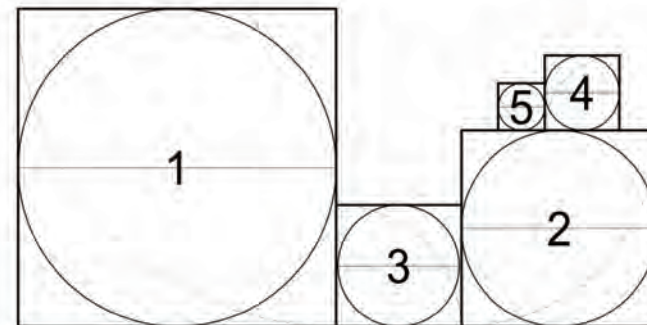
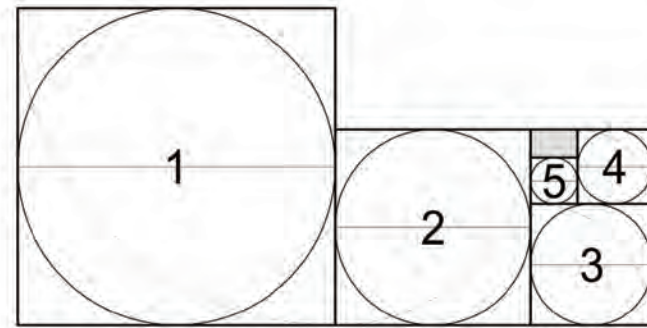
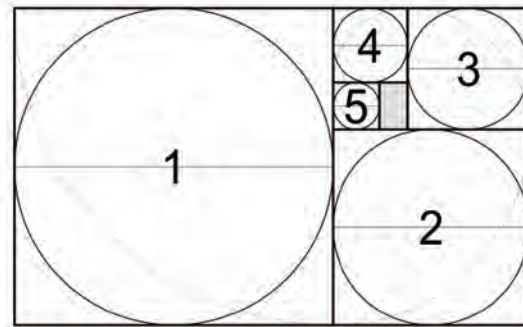
**schorr**  **architects**  
inc.

**CDA** **COMMUNITY**  
**DESIGN ALLIANCE**

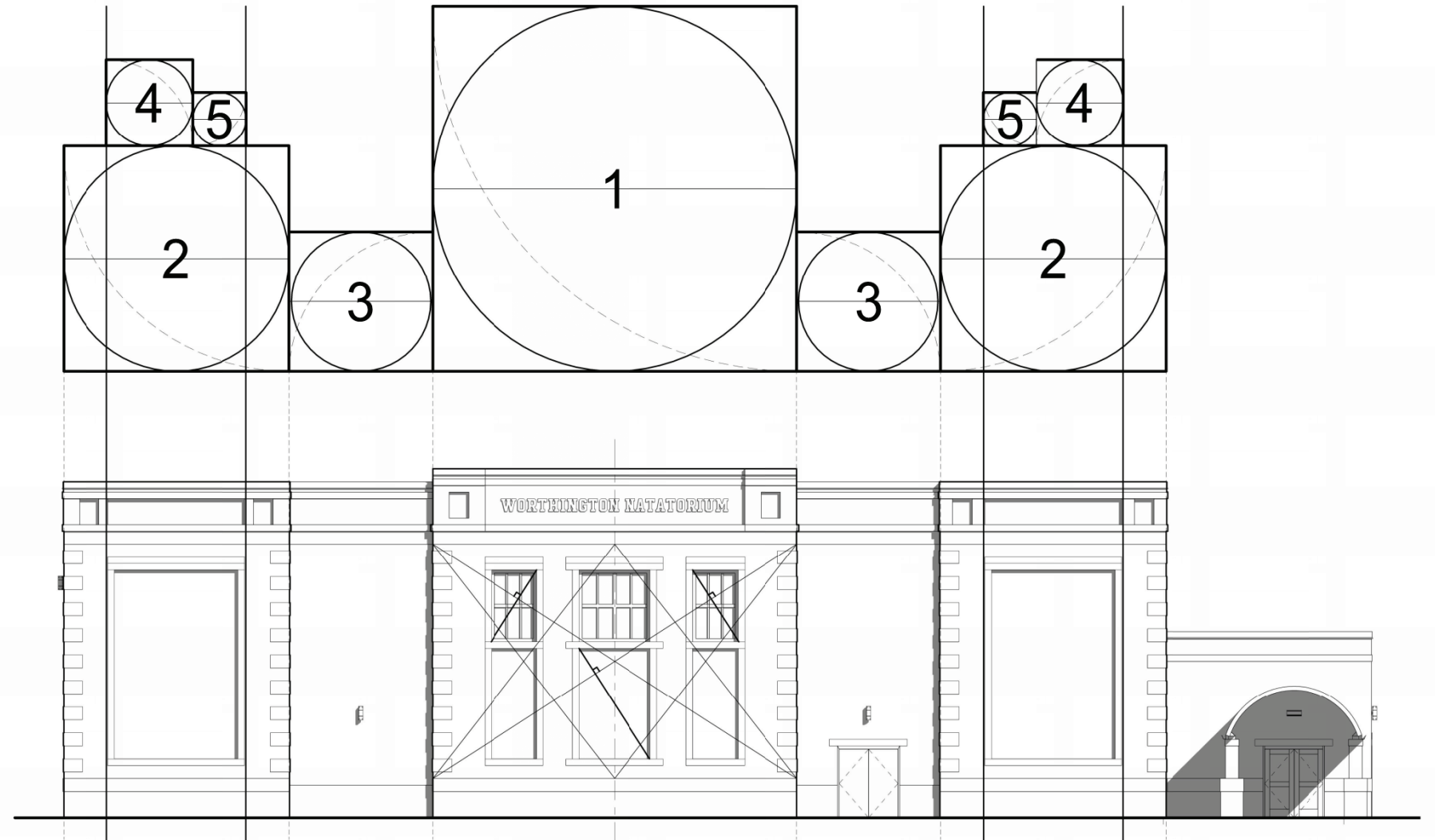


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DATE 12/04/2023





GOLDEN RECTANGLE  
ARRANGEMENT



CENTER BAY WITH  
TWS REGULATING LINES



**Thomas Worthington High School  
Natatorium**

Worthington Pools  
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**NORTH/SOUTH ELEVATION PROPORTION  
DIAGRAM**

CITY OF WORTHINGTON  
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DATE 12/04/2023



**Thomas Worthington High School  
Natatorium**

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400 WEST DUBLIN GRANVILLE RD.  
WORTHINGTON, OH 43085

**ELEVATION - WEST ELEVATION**

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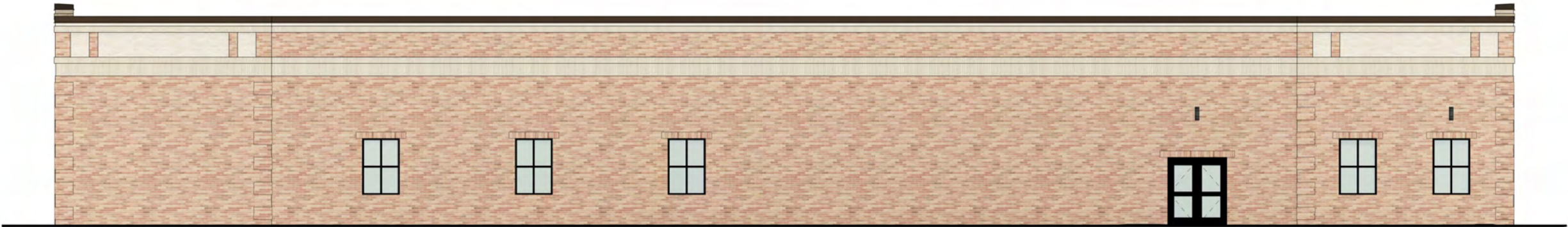
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DRAWING NO. ARB 79-2023  
DATE 12/04/2023







**Thomas Worthington High School  
Natatorium**

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WORTHINGTON, OH 43085

**ELEVATION - EAST ELEVATION**

CITY OF WORTHINGTON  
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**Thomas Worthington High School  
Natatorium**

Worthington Pools  
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WORTHINGTON, OH 43085

**RENDERING - SOUTH 1**

CITY OF WORTHINGTON  
ARCHITECTURAL REVIEW BOARD SUBMISSION

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**schorr**  **architects**  
inc.

**CDA** **COMMUNITY**  
**DESIGN ALLIANCE**





CITY OF WORTHINGTON  
DRAWING NO. ARB 79-2023  
DATE 12/04/2023



**Thomas Worthington High School  
Natatorium**

Worthington Pools  
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**RENDERING - SOUTH 2**

CITY OF WORTHINGTON  
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**Thomas Worthington High School  
Natatorium**

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**RENDERING - WEST**

CITY OF WORTHINGTON  
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**Thomas Worthington High School  
Natatorium**

Worthington Pools  
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**RENDERING - NORTH 1**

CITY OF WORTHINGTON  
ARCHITECTURAL REVIEW BOARD SUBMISSION

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**Thomas Worthington High School  
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**RENDERING - NORTH 2**

CITY OF WORTHINGTON  
ARCHITECTURAL REVIEW BOARD SUBMISSION

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**Thomas Worthington High School  
Natatorium**

Worthington Pools  
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WORTHINGTON, OH 43085

RENDERING AERIAL

CITY OF WORTHINGTON  
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 12/04/2023

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	MANUFACTURER	DESCRIPTION
BRICK COLOR o1 (RED BRICK)	BELDEN	MATCH TWHS; SAMPLE TO BE PROVIDED AT HEARING.
BRICK COLOR o2 (TAN BRICK)	BELDEN	MATCH TWHS; SAMPLE TO BE PROVIDED AT HEARING.
CAST-STONE COLOR	N/A	THERE IS NO CAST-STONE.
WINDOW FRAME/MULLIONS	PPG	BASIS OF DESIGN COLOR: DARK BRONZE TO MATCH FIELDHOUSE.
DOORS	PPG	BASIS OF DESIGN COLOR: DARK BRONZE TO MATCH FIELDHOUSE.
ROOF CANOPY & MISC. METALS	DMI	BASIS OF DESIGN COLOR: DARK BRONZE TO MATCH FIELDHOUSE.
LIGHTING	LITHONIA	MATCH TWHS; BUILDING LIGHTING AND SITE LIGHT POLE.



**Thomas Worthington High School  
Natatorium**

Worthington Pools  
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WORTHINGTON, OH 43085

**MATERIALS AND LIGHTING**

CITY OF WORTHINGTON  
ARCHITECTURAL REVIEW BOARD SUBMISSION

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CITY OF WORTHINGTON  
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DATE 12/04/2023



**Thomas Worthington High School  
Natatorium**

Worthington Pools  
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WORTHINGTON, OH 43085

**FLOOR PLAN - FIRST FLOOR**

CITY OF WORTHINGTON  
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 12/04/2023

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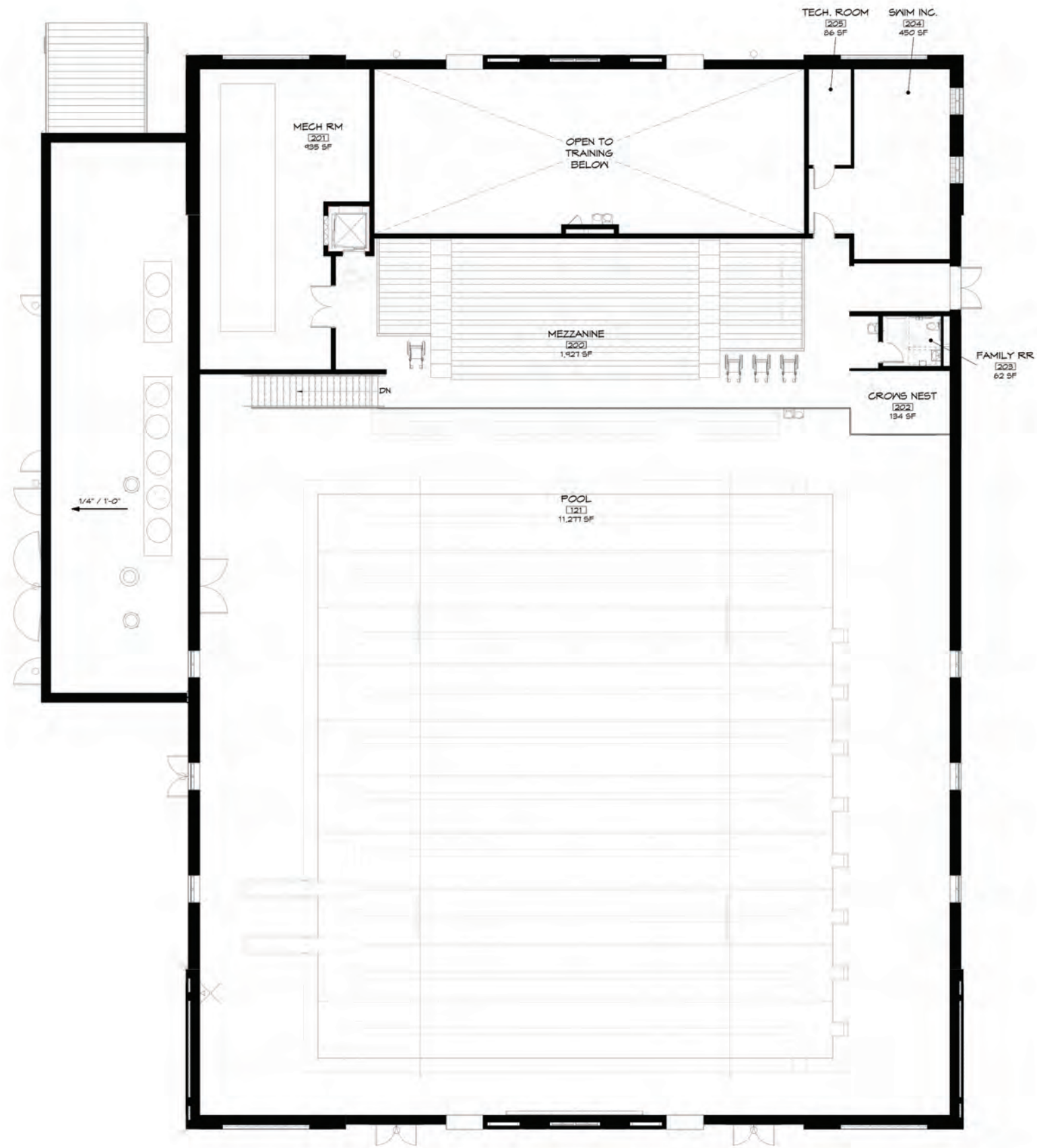
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CITY OF WORTHINGTON  
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# Thomas Worthington High School Natatorium

Worthington Pools  
400 WEST DUBLIN GRANVILLE RD.  
WORTHINGTON, OH 43085

## FLOOR PLAN - SECOND FLOOR

CITY OF WORTHINGTON  
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 12/04/2023

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CITY OF WORTHINGTON  
DRAWING NO. ARB 79-2023  
DATE 12/04/2023

**schorr**  **architects**  
inc.

**CDA** **COMMUNITY**  
**DESIGN ALLIANCE**





**ARB & CU APPLICATIONS**  
**ARB 0109-2022 & CU 09-2022**  
**60 E. Wilson Bridge Rd.**

**Tabled**  
**01-12-2023**  
**09-28-2023**  
**10-26-2023**

**Plan Type:** Architectural Review Board, Conditional Use      **Project:**      **Resubmittal Date:** 11/17/2023  
**Work Class:** Certificate of Appropriateness,      **District:** City of Worthington  
Conditional Use Permit  
**Status:** In Review  
**Valuation:** \$2,400,000.00

**Description:** Construction of a new Chick-fil-A restaurant with dual lane drive-thru, two free-standing canopies over the drive-thru, a dumpster enclosure that matches the building materials, a patio with seating and completely new parking lot. The traffic pattern in the area should remain relatively unchanged due to the large amount of traffic. The effect on public facilities should remain unchanged as the site currently operates as a restaurant. Sewerage will remain the same. Drainage facilities will be provided for stormwater management and water quality. Utilities are already provided to the site. Safety and health concerns should remain unchanged. There should be no increase in noise, odors or other noxious elements due to the project. Chick-fil-A operates Monday through Saturday from 6:30am to 10:00pm, closed Sunday. The site will provide landscape to meet the zoning code. The Chick-fil-A site and building will provide a compatible use and appearance with the general neighborhood.

<b>Parcel:</b> 100-002556      Main	<b>Address:</b> 60 E Wilson Bridge Rd      Main Worthington, OH 43085	<b>Zone:</b> C-4(Highway and Automotive Services)
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<b>Owner</b> Shaun Walker Business: (404) 765-8000	<b>Tenant</b> Buca di Beppo Business: 6148488466	<b>Applicant</b> Kimley-Horn Bill D Skebba 7965 N. High St. Suite 200 Columbus, OH 43235 Business: (614) 454-6698 Mobile: (440) 829-5133	<b>Applicant</b> Kimley-Horn Matt Shiflett 7965 N. High St. Suite 200 Columbus, OH 43235 Business: 3802239177
--	--	--	--

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003321	Architectural Review Board	\$200.00	\$200.00
Total for Invoice INV-00003321		\$200.00	\$200.00
Grand Total for Plan		\$200.00	\$200.00

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003322	Conditional Use Permit	\$25.00	\$25.00
Total for Invoice INV-00003322		\$25.00	\$25.00
Grand Total for Plan		\$25.00	\$25.00

60 E. Wilson Bridge Rd.





November 17, 2023

City of Worthington  
Lynda Bitar  
Planning Coordinator  
374 Highland Avenue  
Worthington, OH 43085

**RE: *Chick-fil-A  
Comments and Responses***

Dear Ms. Bitar:

This letter is in response to the comments provided by the Architectural Review Board and Municipal Planning Commission, for the Chick-fil-A resubmittal. We have reviewed the following comments and provided a response, as shown below in red.

1. **Comment:** Revise site the number of site signage.

**Response:** Site directional signage has been consolidated, and site plan has been updated to reflect the Signage Plan accompanying this re-submittal.

2. **Comment:** Relocate the underground detention location out of the High Street setback.

**Response:** The underground detention has been relocated.

3. **Comment:** Provide alternative solutions for mitigating traffic impact upon adjacent businesses to the proposed development.

**Response:** Per discussions with City Engineer John Moorehead, we have not been made aware of additional study nor analysis that can be pursued with the City to provide the Board and Commission with feedback regarding impacts to access for the adjacent points of ingress/egress to these properties. Chick-fil-A intends to continue discussions with the City Engineer regarding potential for additional roadside signage or pavement markings in E. Wilson Bridge Road.

4. **Comment:** Revise the photometric plan to reduce light levels at the property line.

**Response:** Site photometric plan has been revised to provide additional shielding to the light poles located within the parking area on-site. Kimley-Horn investigated the potential for additional shielding of the fixtures located in the Canopy Area. Given the inset nature of the fixtures, being mounted flush with the ceiling of the canopy,



shielding is not able to be provided. The typical lighting standard in place for safety of operational staff assisting customers is at minimum, 35fc. Our proposed plan has reduced these levels at the points of order placement and delivery to 19.2 fc, well below typical operational standard. We have provided additional clarity on the placement of adjacent non-shielded lights in the immediate proximity of our site as well. Within Please note there are multiple light poles with un-shielded fixtures that exist in the immediate adjacency of our site, including poles within . The light levels generated from these adjacent fixtures have not been included in our analysis.

45 **Comment:** Shift the building east to match the setback of the adjacent site tenants.

**Response:** The current building placement meets the code required 100-ft setback. Shifting the building to match the location of adjacent tenants would require an additional setback of approximately 60-ft. This shift would reduce the parking count by approximately 27 stalls. This would reduce the parking stalls provided to less than the code required minimum of 68 stalls.

If you have any questions or additional comments, please contact me at 614-454-6698 or [bill.skebba@kimley-horn.com](mailto:bill.skebba@kimley-horn.com)

Sincerely,

Bill Skebba, P.E.  
Kimley-Horn and Associates, Inc.



K:\CLB\_LUR\190241012\_Chick-fil-A\_Worthington\_OH\CD\Design\CD\Paralel\SS&P\Plan-Aerial\Drawing\_Sheet No. LAYOUT11\_Rev.dwg: msa:layfil.ctb Thursday, October 12, 2023 3:55 PM Printed by: shiflet, Matt - November 17, 2023 12:00 PM



CITY OF WORTHINGTON  
DRAWING NO. ARB 109-2022  
MPC 09-2022  
DATE 11/17/2023



Chick-fil-A  
5200 Buffington Road  
Atlanta, Georgia  
30349-2998

Kimley»Horn  
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
7985 NORTH HIGH STREET, SUITE 200, COLUMBUS, OH 43235  
PH: 614.291.1100  
WWW.KIMLEY-HORN.COM

PRELIMINARY

# CHICK-FIL-A

## WORTHINGTON FSU

60 E. WILSON BRIDGE ROAD  
WORTHINGTON, OH 43085

FSU# 05269

REVISION SCHEDULE	
NO.	DATE DESCRIPTION

AGENCY #	TBD
PROJECT #	190241012
PRINTED FOR	1ST
DATE	11/17/2023
DESIGN BY	WDS
DRAWN BY	MCS

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SHEET  
**SITE PLAN**  
**(AERIAL EXHIBIT)**  
SHEET NUMBER

C-2.2





**Chick-fil-A**  
5200 Buffington Road  
Atlanta, Georgia  
30349-2998

ROY A. WILLIAMS, ARCHITECT  
750 OLD HICKORY BLVD, SUITE 250  
BRENTWOOD, TN 37027  
PHONE: 615.377.3111  
EMAIL: GENMAIL@EANDHARCH.COM

PROTOTYPICAL SET

NOT FOR  
REGULATORY  
APPROVAL,  
BIDDING, OR  
CONSTRUCTION

**CHICK-FIL-A**  
**WORTHINGTON FSU**  
**60 E WILSON BRIDGE RD**  
**WORTHINGTON, OH 43085**

**FSR#05269**

BUILDING TYPE / SIZE: P14 SE LRG  
RELEASE: 22-08

DESIGN

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
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CITY OF WORTHINGTON  
DRAWING NO. ARB 109-2022  
MPC 09-2022  
DATE 11/17/2023

CONSULTANT PROJECT #	###
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DATE	11/15/2023
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DRAWN BY	Author
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SHEET  
**PERSPECTIVE**

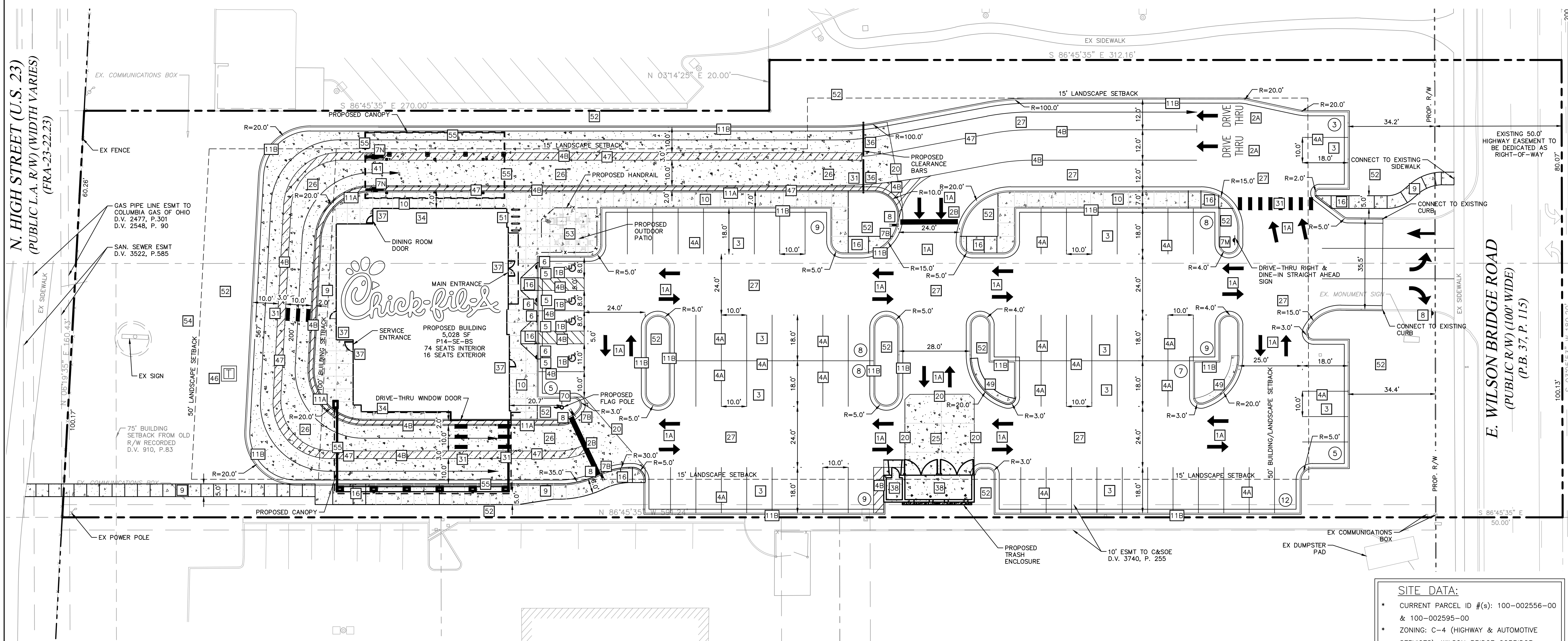
SHEET NUMBER

**A-305**



**PERSPECTIVE - FROM INTERSECTION OF NORTH HIGH & WILSON BRIDGE ROAD (FACING NORTH)**





SITE PLAN DESIGN NOTES & KEY PLAN

- 1A DIRECTIONAL ARROW  
1B PAINTED HANDICAP PARKING SYMBOL  
2A DRIVE-THRU GRAPHICS  
2B STOP LINE GRAPHIC  
3 STANDARD PARKING STALL (10.0'x18.0') PER CODE  
4 STANDARD 60 DEGREE PARKING STALL (9'x19')  
4A 4" SOLID WHITE STRIPING  
4B 4" SOLID YELLOW STRIPING  
4C 4" SKIP DASH YELLOW STRIPING  
5 BOLLARD MOUNTED SIGN (BLACK OR BRONZE COVER)  
6 ADA ACCESSIBLE PARKING SIGN  
7 DIRECTIONAL SIGNAGE

7A THRU 7I (SEE SIGNAGE LEGEND, THIS SHEET)

- 7J CHICK-FIL-A MONUMENT, SEE SIGNAGE PACKAGE  
7K CHICK-FIL-A "ENTER" SIGN, SEE SIGNAGE PACKAGE  
7L CHICK-FIL-A "EXIT" SIGN, SEE SIGNAGE PACKAGE  
7M CHICK-FIL-A "DRIVE THRU" SIGN, SEE SIGNAGE PACKAGE  
7N DRIVE THRU ORDERING STATION, SEE SIGNAGE PACKAGE  
7O FLAGPOLE, 50', SEE SIGNAGE PACKAGE

- 8 STOP SIGN, SEE SIGNAGE PACKAGE  
9 TYPICAL CONCRETE SIDEWALK, 5' MIN.  
10 7' WIDE SIDEWALK w/ CURB & GUTTER  
11 24" CONCRETE CURB & GUTTER  
11A SPILLING CURB SECTION  
11B CATCHING CURB SECTION  
11C DEPRESSED SPILLING CURB  
11D DEPRESSED CATCHING CURB  
12 CONCRETE PAVEMENT SECTIONS  
13 HANDICAP RAMP w/ SHORT FLARED SIDES (GRASSED AREAS)  
14 HANDICAP RAMP w/ FLARED SIDES (IN SIDEWALK)  
15 RETURNED CURB HANDICAP RAMP  
16 SIDEWALK (ADA COMPLIANT) RAMP  
17 DETECTABLE WARNING DEVICE  
18 TRANSVERSE & LONGITUDINAL CONTRACTION JOINT  
19 TRANSVERSE & LONGITUDINAL DOWELED CONSTRUCTION JOINT  
20 PAVEMENT EDGE DETAIL  
21 CONTRACTION JOINT  
22 KEYED CONSTRUCTION JOINT  
23 LONGITUDINAL BUTT JOINT  
24 EXPANSION JOINT  
25 CONCRETE APRON @ TRASH ENCLOSURE

- 26 CONCRETE PAVEMENT DRIVE-THRU LANE  
27 TYPICAL HMA PAVEMENT SECTION  
28 BUTT JOINT  
29 CONCRETE BOLLARD  
30 MULTI-LANE DIRECTIONAL GRAPHICS  
31 CROSSWALK MARKINGS  
32 FOUNDATION PLANTINGS  
33 TYPICAL ADA RAMP & HANDRAIL  
34 BUILDING DOWNSPOUT CONNECTION (TO SITE DRAINAGE SYSTEM)  
35 ROLL-OVER/MOUNTABLE CURB  
36 DRIVE-THRU CLEARANCE BAR  
37 ENTRY DOOR FROST SLAB DETAIL  
38 SCREENED REFUSE ENCLOSURE FOUNDATION  
39 MENU BOARD LOOP DETECTION SYSTEM  
40 MENU BOARD LOOP DETECTION SYSTEM (ISO VIEW)  
41 DRIVE-THRU ORDER POINT ISLAND  
42 DRIVE-THRU ISLAND FLUSH WITH FFE  
43 DRIVE-THRU PLANIMETRIC PLAN  
44 DRIVE-THRU PLAN = 2" BELOW FFE  
45 GREASE TRAP  
46 PROPOSED TRANSFORMER (BROWN)  
47 DRIVE-THRU STRIPING

- 48 MEAL DELIVERY AREA STRIPING  
49 LANDSCAPE & IRRIGATION PROTECTOR  
50 PROPOSED BOLLARD  
51 BIKE RACK  
52 LANDSCAPED AREA  
53 TYPICAL LOCATION FOR OUTDOOR TABLES (SEE EQUIPMENT SCHEDULE)  
54 CHICK-FIL-A PRIME SIGN (SEE SIGNAGE PACKAGE)  
55 FACE-TO-FACE DRIVE-THRU CANOPY SYSTEMS

SIGN LEGEND

- 6 DENOTES "HANDICAPPED PARKING" R7-8, 12" X 18" (TYP.)  
6B DENOTES "\$300 FINE" R7-1101 6" X 12" (TYP.)  
7A DENOTES "VAN ACCESSIBLE" D9-6P (BOLLARD MOUNTED WITH 6B)  
7B DENOTES "DO NOT ENTER" R5-1, 30" X 30" (TYP.)  
8 DENOTES "STOP" R1-1, 30" X 30" (TYP.)

PROJECT NOTES:

- TWO-WAY TRAFFIC SHALL BE MAINTAINED AT ALL TIMES ON, ALONG, AND ADJACENT TO E. WILSON BRIDGE ROAD.
- ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS AND OR CONNECTION TO PUBLIC SEWERS AND STREETS SHALL COMPLY WITH THE CITY OF WORTHINGTON STANDARD CONSTRUCTION SPECIFICATIONS.
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE CITY TO OBTAIN APPLICABLE CITY PERMITS.
- INGRESS/EGRESS WILL BE PROVIDED INTERNAL AND EXTERNAL TO THIS SITE.
- ALL CONCRETE CURB & GUTTER SHALL BE 24" (B6.18) UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL PAVEMENT DIMENSIONS ARE MEASURED TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL CURB ADJOINING SIDEWALKS SHALL BE DOWELED INTO THE CURB.
- ALL CONSTRUCTION MATERIALS, DUMPSTER, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC RIGHT-OF-WAY

SITE DATA:

- CURRENT PARCEL ID #(s): 100-002556-00 & 100-002595-00
- ZONING: C-4 (HIGHWAY & AUTOMOTIVE SERVICES), WILSON BRIDGE CORRIDOR
- PROPOSED PARCEL SIZE: 91,227 SQ. FT. (2.09 ACRES)
- GROSS AREA OF SITE: 85,280 SQ. FT.
- BUILDING FLOOR AREA: 5,028 SQ. FT.
- PAVEMENT AREA: 60,914 SQ. FT.
- TOTAL IMPERVIOUS AREA (TIA): 65,942 SQ. FT.
- IMPERVIOUS RATIO (IR):
  - PROVIDED = 0.72
  - REQUIRED = 0.75

BUILDING DATA:

- BUILDING FLOOR AREA: 5,028 SQ. FT.
- NUMBER OF EMPLOYEES DURING LARGEST SHIFT = 15 EMPLOYEES
- TOTAL NUMBER OF SEATS = 90
  - INDOOR SEATS = 74
  - OUTDOOR SEATS = 16

PARKING DATA:

- NUMBER OF REGULAR PARKING SPACES: 79
- NUMBER OF ADA SPACES: 4
- TOTAL NUMBER OF SPACES PROVIDED: 83
- TOTAL NUMBER OF SPACES REQUIRED: 68
- TYPICAL PARKING WIDTH: 10.0'
- TYPICAL 90° PARKING LENGTH: 18.0'
- MINIMUM AISLE WIDTH: 24.0' (90°)

PARKING FORMULA:

- RESTAURANTS:
- PER CITY CODE: 1 SPACE PER 75 SQ. FT. OF GROSS FLOOR AREA.
  - BUILDING AREA = 5,028 SQ. FT.
  - (5,028/75) = 68 SPACES



Chick-fil-A  
5200 Buffington Road  
Atlanta, Georgia  
30349-2998

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PRELIMINARY

CITY OF WORTHINGTON  
DRAWING NO. ARB 109-2022  
MPC 09-2022  
DATE 11/17/2023

CHICK-FIL-A  
WORTHINGTON FSU  
60 E. WILSON BRIDGE ROAD  
WORTHINGTON, OH 43085

FSU# 05269

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

AGENCY #	TBD
PROJECT #	190241012
PRINTED FOR	1ST
DATE	11/17/2023
DESIGN BY	WDS
DRAWN BY	MCS
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SHEET	

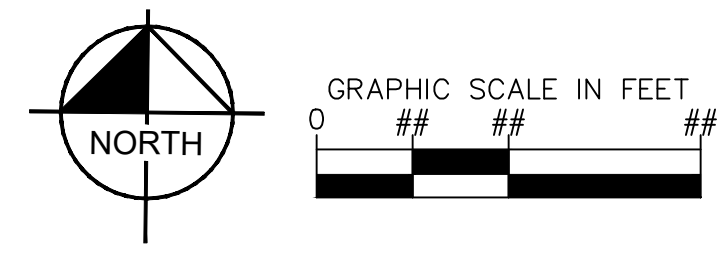
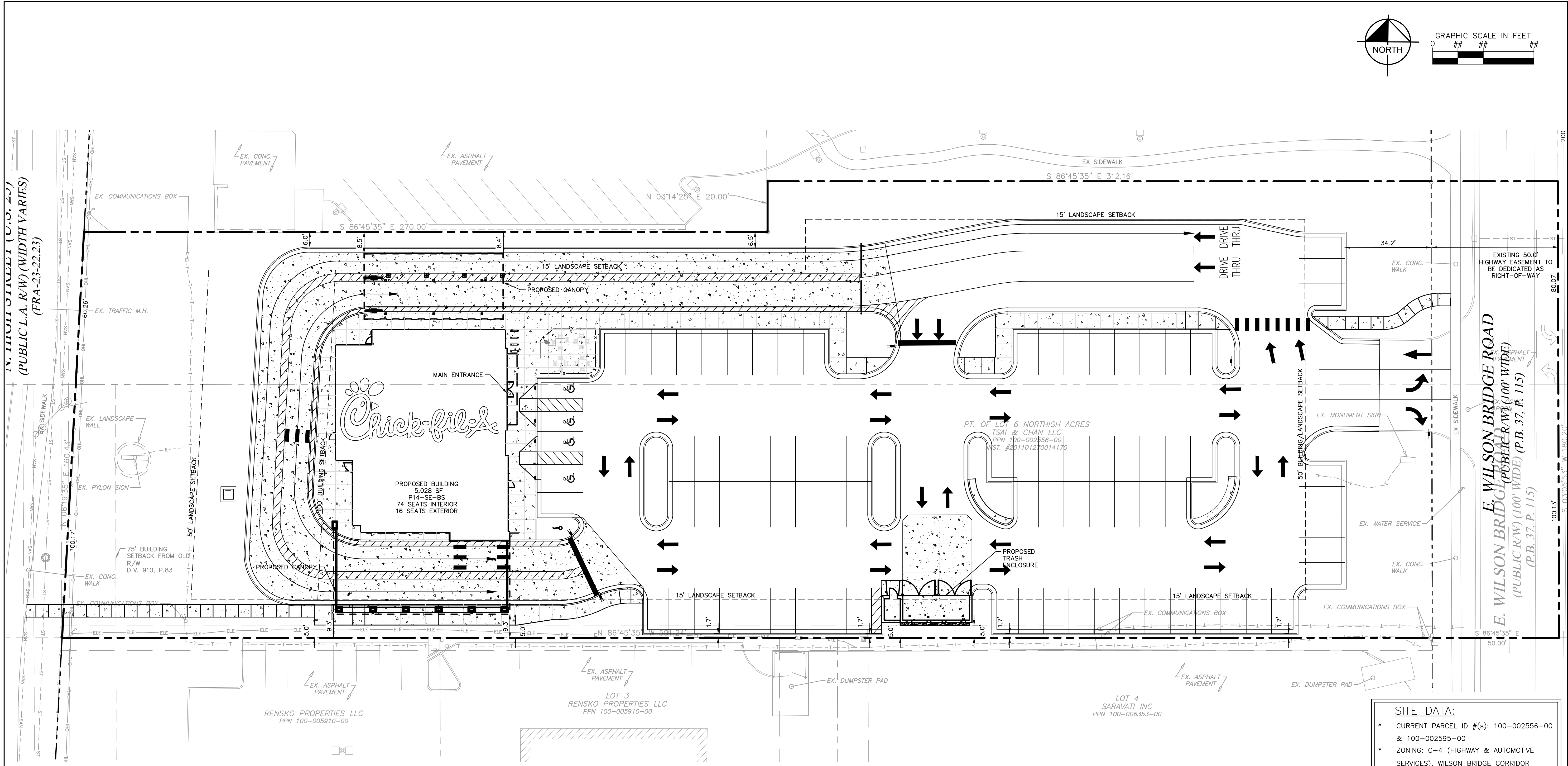
SITE PLAN

SHEET NUMBER

C-2.0



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PROJECT NOTES:

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- \* ALL PAVEMENT DIMENSIONS ARE MEASURED TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- \* ALL CURB ADJOINING SIDEWALKS SHALL BE DOWELED INTO THE CURB.
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- \* NUMBER OF ADA SPACES: 4
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- \* TYPICAL 90° PARKING LENGTH: 18.0'
- \* MINIMUM AISLE WIDTH: 24.0' (90°)

PARKING FORMULA:

- RESTAURANTS:
- \* PER CITY CODE: 1 SPACE PER 75 SQ. FT. OF GROSS FLOOR AREA.
  - \* BUILDING AREA = 5,028 SQ. FT.
  - \*\* (5,028/75) = 68 SPACES



CITY OF WORTHINGTON  
DRAWING NO. ARB 109-2022  
MPC 09-2022  
DATE 11/17/2023



Chick-fil-A  
5200 Buffington Road  
Atlanta, Georgia  
30349-2998

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PRELIMINARY

CHICK-FIL-A  
WORTHINGTON FSU  
60 E. WILSON BRIDGE ROAD  
WORTHINGTON, OH 43085

FSU# 05269

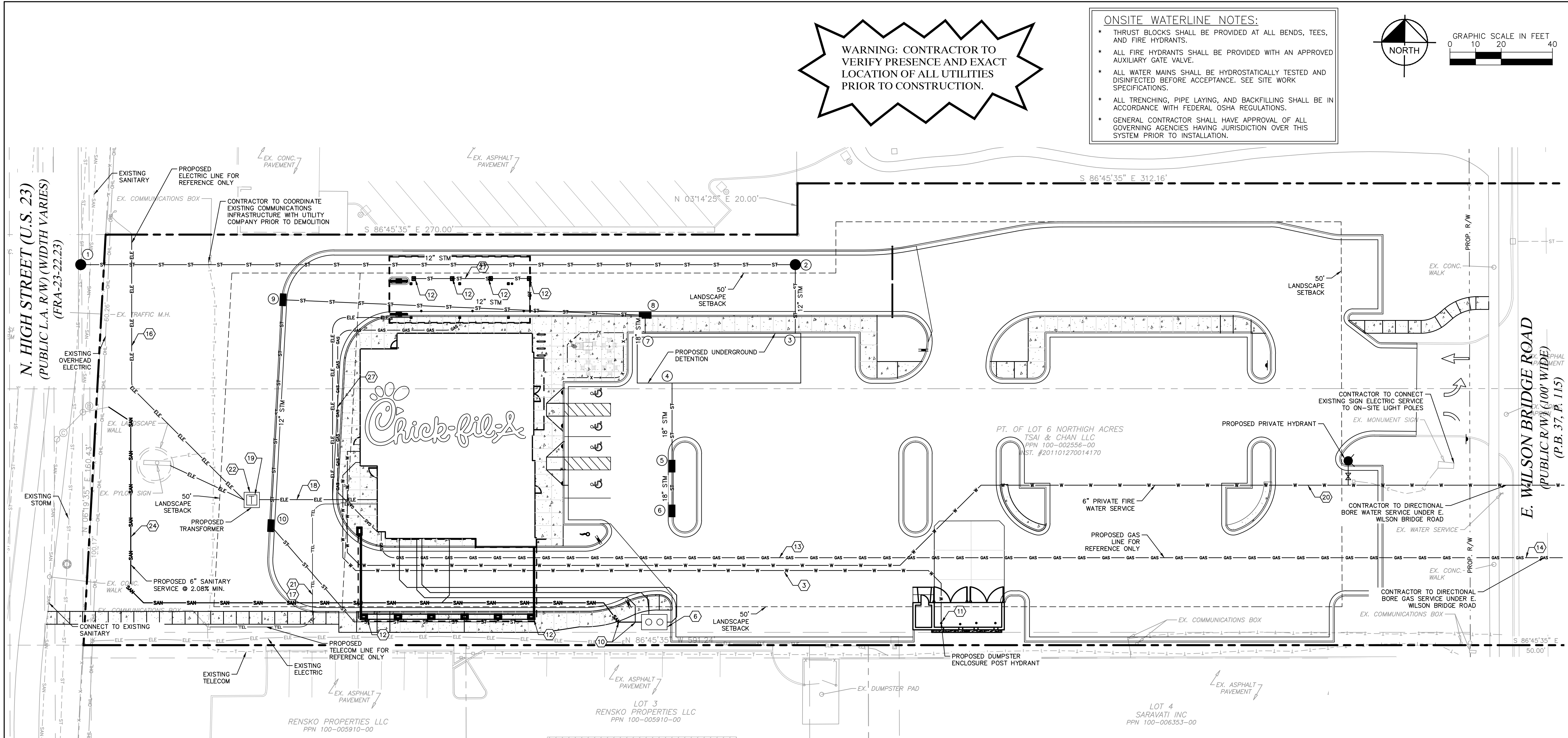
REVISION SCHEDULE  
NO. DATE DESCRIPTION


AGENCY #	TBD
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DATE	11/17/2023
DESIGN BY	WDS
DRAWN BY	MCS
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SHEET	
SITE PLAN (SIMPLIFIED)	
SHEET NUMBER	

C-2.1



K:\CLB\_L\01041012\_Chick-fil-A\_Worthington.dwg, CHD Design\CAD\Paradees\Utility Planning Sheet No. LAYOUT.1, Drawn by msa:arh:17, November 17, 2023 11:57 AM, Printed by: Stafflet, Mass.: November 17, 2023 11:58 AM



- ### UTILITY NOTES

  - REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR DUTY SERVICE SIZES AND EXACT LOCATIONS. CONTRACTOR TO CONFIRM SIZES OF ALL SERVICES PRIOR TO INSTALLATION. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
  - FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
  - PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
  - MAINTAIN A MINIMUM OF 4.0' COVER OVER ALL WATER SERVICES.
  - MAINTAIN A MINIMUM OF 3.5' COVER OVERALL SANITARY SEWER.
  - ADJUST ALL MANHOLES AND FRAMES TO FINISHED GRADES.
  - ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF WORTHINGTON.
  - 12" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY/STORM SEWER AND WATER MAIN.
  - MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND PUBLIC WATER MAINS.
  - WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES, UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY CALL "811" AT 1-800-382-2764 AT LEAST 72 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
  - LOCATION OF SITE UTILITIES SHALL BE VERIFIED WITH PROPER UTILITY COMPANY PROVIDING SERVICE.
  - ALL WATER AND SANITARY LEADS TO BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END.
  - SEE SITE SPECIFICATIONS "UNDERGROUND UTILITIES" FOR BACKFILLING AND COMPACTION REQUIREMENTS.
  - GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ALL TAP AND TIE ON FEES REQUIRED, AS WELL AS COST OF UNDERGROUND SERVICE CONNECTIONS TO THE BUILDING.
  - ELECTRICAL SERVICE TO PAD MOUNTED TRANSFORMER SHALL BE RUN UNDERGROUND, FROM EXIST. PRIMARY WIRE ALONG SOUTH SIDE OF PROPERTY TO TRANSFORMER LOCATION. ASSOCIATED COST BY GENERAL CONTRACTOR.
  - TRANSFORMER TO BE BROWN IN COLOR.
  - ALL EXISTING UTILITIES TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
  - FOR EXACT LIGHT POLE LOCATIONS SEE PHOTOMETRICS PLAN.
  - MATERIAL PERMITTED FOR USE AS SANITARY SEWER PIPES SHALL BE SDR 26 FOR 4" & 6".
  - COLUMBIA GAS WILL FURNISH AND INSTALL THE GAS MAINS AND GAS SERVICE UP TO AND INCLUDING THE METER. CONTRACTOR TO PROVIDE (1) 2" SCHEDULE 40 PVC CONDUIT UNDER PAVED AREAS IS PAVING IS COMPLETE PRIOR TO COLUMBIA GAS INSTALLING SERVICE LINE.
  - CONTRACTOR TO FURNISH AND INSTALL (2) 4" SCHEDULE 40 PVC CONDUITS FOR TELEPHONE SERVICE FROM VERIZON PEDESTAL TO BUILDING. VERIZON TO SUPPLY, PROVIDE AND INSTALL PRIMARY TELEPHONE SERVICE. CONDUITS TO BE INSTALLED A MINIMUM 24" BELOW FINISHED GRADE.
  - CONTRACTOR TO FURNISH AND INSTALL (2) 4" SCHEDULE 40 PVC CONDUITS WITH PULL WIRE FOR
- ### UTILITY NOTES

  - PRIMARY ELECTRIC SERVICE. CITY OF WORTHINGTON ELECTRIC DIVISION TO PROVIDE AND INSTALL PRIMARY ELECTRIC SERVICE. CONTRACTOR TO FURNISH AND INSTALL (4) 4" SCHEDULE 40 PVC CONDUITS WITH PULL WIRE FOR SECONDARY ELECTRIC SERVICE. CONDUITS SHALL HAVE A MINIMUM OF 36" OF COVER. CONTRACTOR TO PROVIDE AND INSTALL TRANSFORMER PAD AND SECONDARY SERVICE IN ACCORDANCE WITH CITY OF WORTHINGTON ELECTRIC DIVISION SPECIFICATIONS AND REQUIREMENTS. TRANSFORMER PAD SHALL BE INSTALLED TO FINAL GRADE AND LEVELED.
  - CONTRACTOR TO FURNISH AND INSTALL (1) 3" SCHEDULE 40 PVC CONDUIT WITH PULL STRING FOR ISP SERVICE FROM VERIZON MAIN TO BUILDING. VERIZON TO SUPPLY, PROVIDE AND INSTALL ISP SERVICE. CONDUIT TO BE INSTALLED MINIMUM 24" BELOW FINISHED GRADE.
  - ALL SEWER CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE CITY OF WORTHINGTON.
  - ALL CONNECTIONS TO PUBLIC SANITARY SEWERS SHALL BE PER CITY OF WORTHINGTON & CITY OF COLUMBUS STANDARD SPECIFICATIONS.
  - THE CFA FIRE SERVICE PIPE SHALL BE DIP CLASS 52 PIPE.
  - ALL FIELD TILES ENCOUNTERED SHALL BE REPLACED AND/OR CONNECTED TO THE STORM SEWER SYSTEM AND LOCATED AND IDENTIFIED ON THE RECORD PLANS BY THE CONTRACTOR.
  - ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
  - PROVIDE UNDERDRAINS FROM SEEPS OR SPRINGS ENCOUNTERED. EXTEND TO STORM SEWER SYSTEM OR DAYLIGHT AT THE BOTTOM OF THE FILL SLOPE.
  - ALL PROPOSED PIPE CONNECTIONS TO EXISTING OR PROPOSED MANHOLES SHALL CONFORM TO ASTM-C923.
  - TRACER WIRE IS REQUIRED PER STATE AND CITY STANDARDS.
  - IF EXISTING SANITARY/WATER LATERALS ARE NOT TO BE USED/REUSED, THEY SHALL BE ABANDONED AT MAIN PER CITY STANDARDS.
  - ALL UTILITY DOORS AND CABINETS SHALL BE PAINTED BRONZE.

- ### LAYOUT NOTES
- PAY CONNECTION FEES FOR 2" DOMESTIC/6" FIRE WATER SERVICE AND METER. DOMESTIC SERVICE TO SPLIT OFF FIRE SERVICE EXTERNAL OF BUILDING.
  - 1.5" SOFT COPPER (TYPE K) IRRIGATION LINE TO HAVE SEPARATE METER LOCATION ADJACENT TO DOMESTIC WATER METER EXTERNAL TO THE BUILDING. MAINTAIN MIN. 5.5' COVER.
  - 3/4" CW TO DUMPSTER POST HYDRANT (SOFT COPPER TYPE K). MAINTAIN MIN. 4.0' COVER.
  - CONNECTION TO EXIST. 8" SANITARY SEWER. CONTRACTOR TO VERIFY INVERT AT MAIN PRIOR TO ORDERING STRUCTURES. SEE SANITARY TAGS FOR INFO.
  - 4" OR 6" CLEAN OUT (SEE DETAIL). CLEANOUT SHALL BE FLUSH W/ PAVEMENT & INSTALLED UNDER A PROTECTIVE METAL BOX COVER SIMILAR TO A METER PIT COVER WITH A TRAFFIC BEARING LID.
  - PRECAST 1500 GAL. CAPACITY GREASE TRAP. PLUMBING CONTRACTOR TO COORDINATE WITH BUILDING CONTRACTOR. TOP OF MANHOLE TO BE 0.2' ABOVE FINISH GRADE AND MATCH SIDEWALK GRADES WHERE REQUIRED. VERIFY GREASE TRAP MEETS CITY/COUNTY SPECIFICATIONS PRIOR TO INSTALLATION. REFER TO PLUMBING PLAN, SHEET P-101.
  - 6" KITCHEN WASTE LINE (SEE SANITARY TAGS FOR INFO)
  - 3" VENT LINE. CONNECT TO GREASE INTERCEPTOR. (SEE SHEET P-101 FOR LOCATION)
  - 4" RESTROOM WASTE LINE (SEE SANITARY TAGS FOR INFO)
  - 4" OR 6" TWO-WAY CLEAN OUT (REFER TO PLUMBING PLANS) (SEE DETAIL 37/C-403)
  - DUMPSTER POST HYDRANT. REFER TO THE FIXTURE CONNECTION SCHEDULE (P-303) DEPICTED ON THE PROJECT PLUMBING PLANS.
  - DOWNSPOUT FOR ROOF DRAINAGE (REFER TO ARCHITECTURAL PLANS)
  - PROPOSED GAS SERVICE (SEE NOTE 19)
  - COORDINATE GAS METER INSTALLATION WITH GAS COMPANY.
  - 8" PVC SDR 26 ROOF DRAIN PIPE SYSTEM (CONNECT TO SITE STORM DRAIN)
  - UNDERGROUND PRIMARY ELECTRIC SERVICE. (SEE NOTE 21)
  - UNDERGROUND PRIMARY TELEPHONE SERVICE. (SEE NOTE 20)
  - UNDERGROUND SECONDARY ELECTRIC SERVICE TO BUILDING. (SEE NOTE 21)
  - PROPOSED PAD MOUNTED TRANSFORMER PER ELECTRIC COMPANY STANDARDS. SEE SERVICE UTILITY NOTES, THIS SHEET.
  - 6" DUCTILE IRON PIPE - FIRE SERVICE. MAINTAIN MIN. 4.0' COVER.
  - UNDERGROUND ISP SERVICE (SEE NOTE 22)
  - INSTALL TRANSFORMER PAD (SEE NOTE 21)
  - EXISTING WATERMAIN (APPROX. LOCATION. CONTRACTOR TO VERIFY LOCATION, DEPTH, & SIZE.)
  - 6" PVC C900 WATERMAIN QUALITY PIPE - SANITARY SERVICE PIPE
  - 6" PRESSURE TAP WITH VALVE & VALVE VAULT (CONTRACTOR TO VERIFY SIZE OF MAIN PRIOR TO ORDERING STRUCTURES)
  - 1.5" GAS SERVICE LINE TO DRIVE-THRU CANOPY

- ### MISCELLANEOUS NOTES:
- ALL BUILDING UTILITY SERVICE LOCATIONS TO BE VERIFIED W/ ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
  - FOR EXACT LIGHT POLE LOCATIONS SEE PHOTOMETRICS PLAN
  - AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE CITY AND/OR ODOT TO OBTAIN APPLICABLE PERMITS.
  - WORK WITHIN THE ROW SHALL BE DONE IN ACCORDANCE WITH THE CITY SPECIFICATIONS.
  - ONLY THE CITY OF WORTHINGTON PUBLIC WORKS DEPARTMENT MAY OPERATE EXISTING VALVES.
  - THE CONTRACTOR MUST CONTACT THE CITY OF WORTHINGTON PUBLIC WORKS DEPARTMENT TO SCHEDULE INSPECTIONS FOR ALL WORK WITHIN THE ROW.
  - TRACER WIRE ON THE WATER SERVICE SHALL BE CONNECTED TO THE TRACER WIRE ON THE WATER MAIN AND INSTALLED IN ACCORDANCE WITH THE CITY SPECIFICATIONS.
  - ANY WORK PERFORMED IN THE ROW SHALL BE PERFORMED BY A CITY "QUALIFIED" CONTRACTOR AND MONITORED BY PUBLIC WORKS.



CITY OF WORTHINGTON  
DRAWING NO. ARB 109-2022  
MPC 09-2022  
DATE 11/17/2023



Chick-fil-A  
5200 Buffington Road  
Atlanta, Georgia  
30349-2998

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PRELIMINARY

CHICK-FIL-A  
WORTHINGTON FSU  
60 E. WILSON BRIDGE ROAD  
WORTHINGTON, OH 43085

FSU# 05269

REVISION SCHEDULE  
NO. DATE DESCRIPTION


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PROJECT # 190241012  
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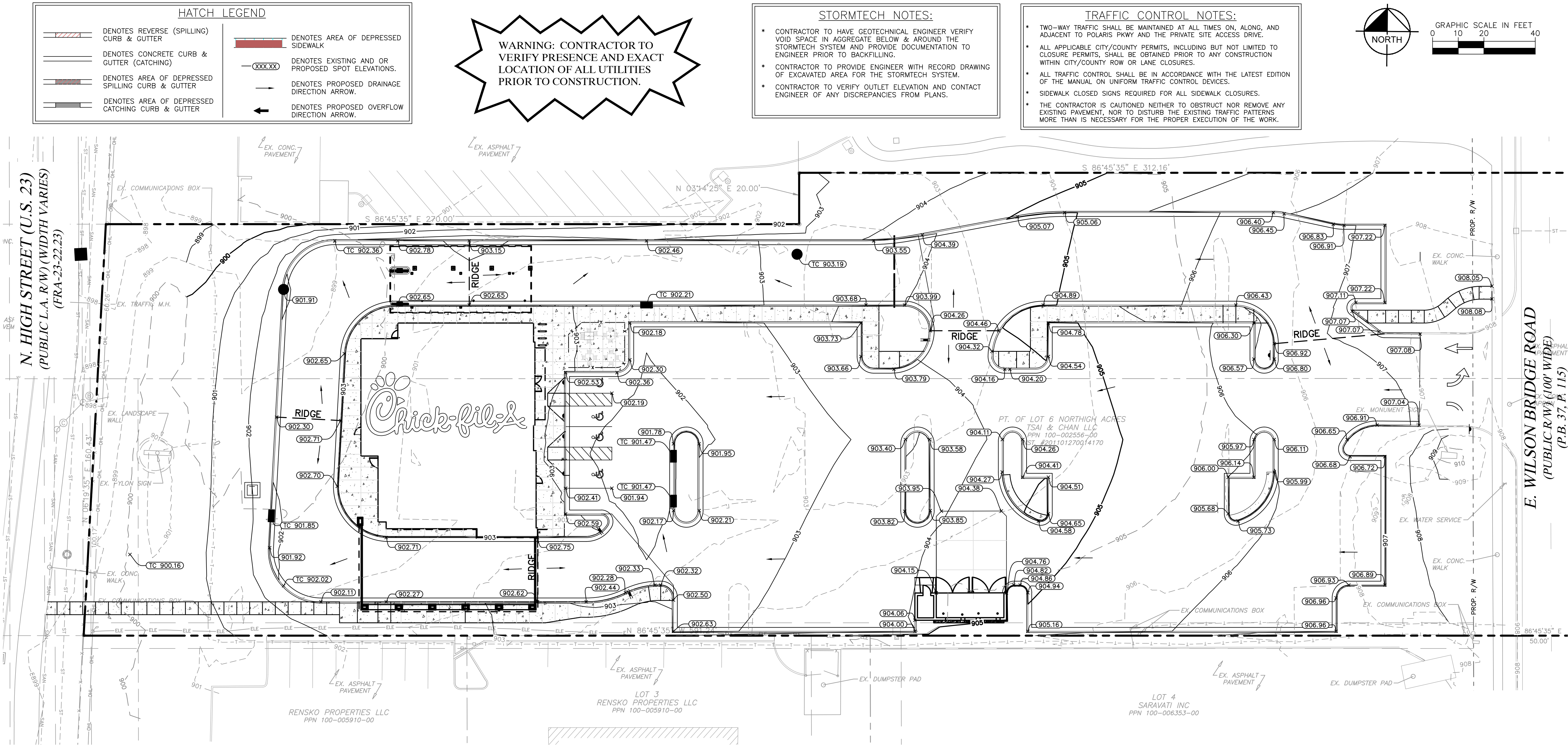
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SHEET  
PLUMBING SITE PLAN  
SHEET NUMBER

PS-1.0



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GRADING PLAN

SHEET NUMBER

C-3.0



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K:\CLUB\_Library\100241012\_Chick-fil-A\_Worthington\_GH2\_Design\CAD\Parc\Sheet\Landscape\Plan.dwg    Sheet No.: LAYOUT11    Created by: matt anfinlet - Thursday, October 12, 2023 3:05 PM    Printed by: S:\dell, Matt - November 17, 2023 12:04 PM

N. HIGH STREET (U.S. 23)  
(PUBLIC L.A. R/W) (WIDTH VARIES)  
(FRA-23-22.23)

EX SIDEWALK

EX. COMMUNICATIONS BOX

N 03°14'25" E 20.00'

EX SIDEWALK

E. WILSON BRIDGE ROAD  
(PUBLIC R/W) (100' WIDE)  
(P.B. 37, P. 115)



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SHEET

SHEET NUMBER

PLANT SCHEDULE

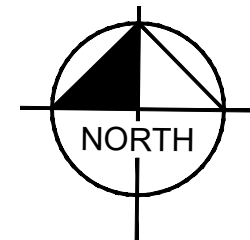
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL/SIZE
	GI	4	GLEDITSIA TRIACANTHOS INERMIS	THORNLESS HONEY LOCUST	B & B	3" CAL.
	MS	3	MALUS X 'SNOWDRIFT'	SNOWDRIFT CRABAPPLE	B & B	1.5" CAL.
	QP	12	QUERCUS PHELLOS	WILLOW OAK	B & B	3" CAL MIN
	TV	13	THUJA OCCIDENTALIS 'EMERA'	EMERALD GREEN ARBORVITAE	24" BOX	
	UB	8	ULMUS PARVIFOLIA 'UPMTF'	BOSQUE® LACEBARK ELM	B & B	3" CAL.
CONIFEROUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
	BB	72	BUXUS MICROPHYLLA	LITTLELEAF BOXWOOD	3 GAL	36" OC
	IB	12	ILEX AQUIFOLIUM 'BLUE GIRL'	BLUE GIRL ENGLISH HOLLY	3 GAL	36" OC
	IG	39	ILEX GLABRA	INKBERRY HOLLY	3 GAL	36" OC
	IS	2	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	3 GAL	36" OC
	TE	53	TAXUS X MEDIA 'EVERLOW'	EVERLOW ANGLO-JAPANESE YEW	3 GAL	36" OC
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
	HL	34	HYDRANGEA PANICULATA 'LIMELIGHT'	LIMELIGHT PANICLE HYDRANGEA	3 GAL	36" OC

PERENNIALS AND GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
	EF	188	EUONYMUS FORTUNEI	WINTERCREEPER	1 GAL	18" OC
	HO	36	HEMEROCALLIS X 'STELLA DE ORO'	STELLA DE ORO DAYLILY	1 GAL	18" OC
	LC	150	LIRIOPE SPICATA	CREEPING LILYTURF	1 GAL	18" OC
	NW	100	NEPETA X 'WALKER'S LOW'	WALKER'S LOW CATMINT	1 GAL	36" OC
	PH	127	PANICUM VIRGATUM 'HEAVY METAL'	HEAVY METAL SWITCH GRASS	3 GAL	36" OC
	RG	49	RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM'	GOLDSTURM CONEFLOWER	1 GAL	24" OC

LANDSCAPE REQUIREMNTS PER "CODE ORDINANCES OF WORTHINGTON, OH"		
CODE	REQUIREMENTS	PROVIDED
1171.02(h) SPECIAL PARKING PROVISIONS	1 TREE PER 6,000 SF OF PAVED SURFACE 71,487 SF / 6,000 = 12 TREES	12 TREES
1171.02(h) SPECIAL PARKING PROVISIONS	1 TREE PER (6) PARKING SPACES 78 PARKING SPACES	13 TREES

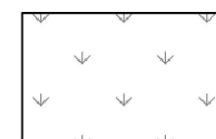


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GRAPHIC SCALE IN FEET  
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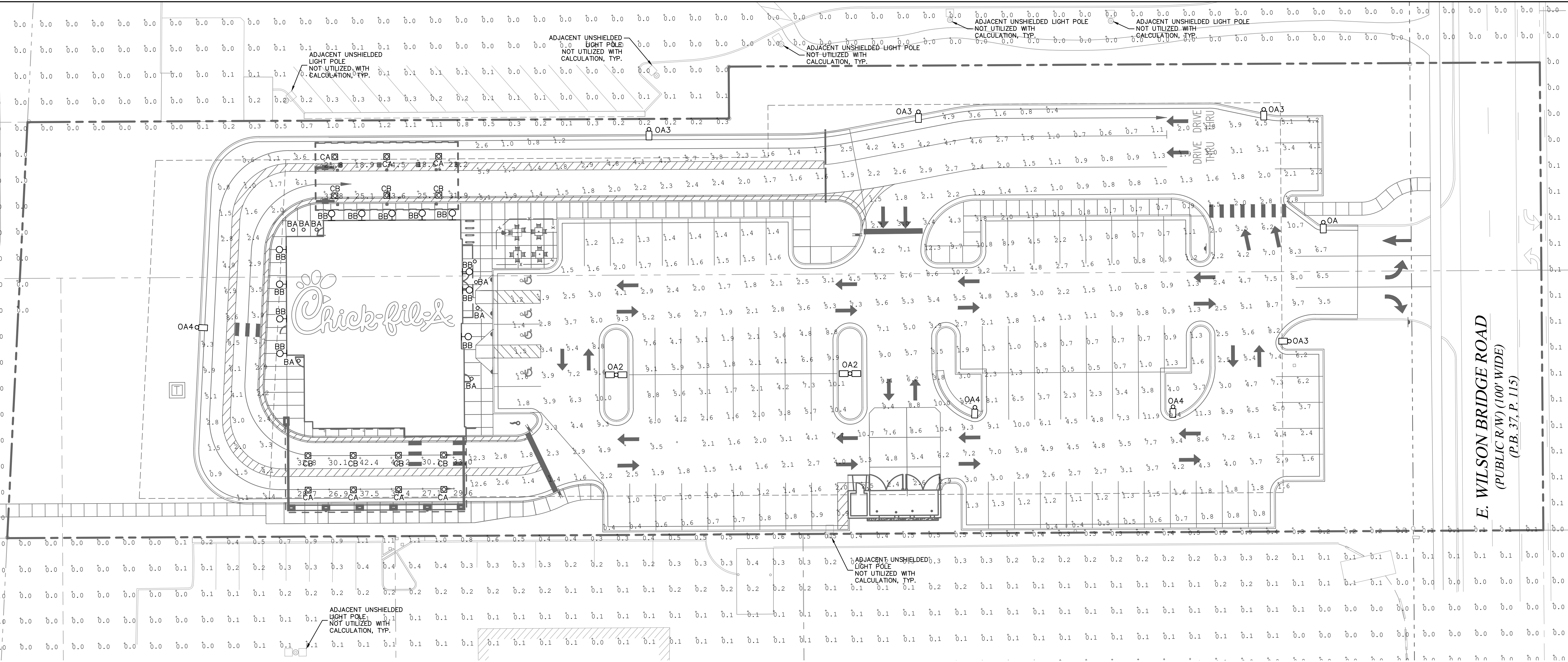
SODDING LEGEND



SOD  
GREEN VELVET TURF TYPE TALL FESCUE SOD



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SYMBOL	TAG	DESCRIPTION	MODEL NUMBER	LLF	CRI	MOUNTING STYLE	LAMPS	VOLTAGE	WATTS/FIXTURE	LUMENS/FIXTURE	COLOR	MOUNTING HEIGHT	NOTES
	OA	SINGLE LUMARK PREVAIL LED AREA/SITE LUMINAIRE (TYPE 4 DISTRIBUTION)	PRV-C60-D-UNV-T4-XX-XX-7030	0.90	70	POLE	LED	UNV	153	19,686	3000K	15'-0"	CONTRACTOR TO ORDER ALL ACCESSORIES NECESSARY TO MEET THE INTENT OF THE LIGHTING SYSTEM INCLUDING MOUNTING BRACKETS, ADAPTORS AND CONTROLS. COORDINATE WITH ELECTRICAL PLANS FOR LIGHTING CONTROL. COORDINATE WITH POLE FOUNDATION DESIGNER FOR POLE TYPE.
	OA2	DUAL LUMARK PREVAIL LED AREA/SITE LUMINAIRE	PRV-C60-D-UNV-T4-XX-XX-7030	0.90	70	POLE	LED	UNV	153	19,686	3000K	15'-0"	CONTRACTOR TO ORDER ALL ACCESSORIES NECESSARY TO MEET THE INTENT OF THE LIGHTING SYSTEM INCLUDING MOUNTING BRACKETS, ADAPTORS AND CONTROLS. COORDINATE WITH ELECTRICAL PLANS FOR LIGHTING CONTROL. COORDINATE WITH POLE FOUNDATION DESIGNER FOR POLE TYPE.
	OA3	SINGLE LUMARK PREVAIL LED AREA/SITE LUMINAIRE W/ HOUSE SHIELD (TYPE 3 DISTRIBUTION)	PRV-C40-D-UNV-T3-XX-XX-HSS	0.90	70	POLE	LED	UNV	131	16,832	3000K	15'-0"	CONTRACTOR TO ORDER ALL ACCESSORIES NECESSARY TO MEET THE INTENT OF THE LIGHTING SYSTEM INCLUDING MOUNTING BRACKETS, ADAPTORS AND CONTROLS. COORDINATE WITH ELECTRICAL PLANS FOR LIGHTING CONTROL. COORDINATE WITH POLE FOUNDATION DESIGNER FOR POLE TYPE.
	OA4	SINGLE LUMARK PREVAIL LED AREA/SITE LUMINAIRE (TYPE 3 DISTRIBUTION)	PRV-C60-D-UNV-T3-XX-XX-7030	0.90	70	POLE	LED	UNV	153	19,686	3000K	15'-0"	CONTRACTOR TO ORDER ALL ACCESSORIES NECESSARY TO MEET THE INTENT OF THE LIGHTING SYSTEM INCLUDING MOUNTING BRACKETS, ADAPTORS AND CONTROLS. COORDINATE WITH ELECTRICAL PLANS FOR LIGHTING CONTROL. COORDINATE WITH POLE FOUNDATION DESIGNER FOR POLE TYPE.
	CA	LSI SCOTSDALE LEGACY (CRUS) LED CANOPY LUMINAIRE	CRUS-AC-LED-LW-30-UE-XXX	0.90	70	CANOPY	LED	UNV	73	9,145	3000K	9'-6"	CONTRACTOR TO ORDER ALL ACCESSORIES NECESSARY TO MEET THE INTENT OF THE LIGHTING SYSTEM INCLUDING MOUNTING BRACKETS, ADAPTORS AND CONTROLS. COORDINATE WITH ELECTRICAL PLANS FOR LIGHTING CONTROL. COORDINATE WITH CANOPY DESIGNER FOR MOUNTING.
	CB	SINGLE LUMARK PREVAIL LED AREA/SITE LUMINAIRE	CRUS-SC-LED-LW-30-UE-XXX	0.90	70	CANOPY	LED	UNV	73	10,457	3000K	9'-6"	CONTRACTOR TO ORDER ALL ACCESSORIES NECESSARY TO MEET THE INTENT OF THE LIGHTING SYSTEM INCLUDING MOUNTING BRACKETS, ADAPTORS AND CONTROLS. COORDINATE WITH ELECTRICAL PLANS FOR LIGHTING CONTROL. COORDINATE WITH CANOPY DESIGNER FOR MOUNTING.
	BA	HALO SURFACE MOUNT DOWNLIGHT	SLDSL4069S1EMWR	0.90	80	BUILDING	LED	120V	8	635	3000K	8'-0"	CONTRACTOR TO ORDER ALL ACCESSORIES NECESSARY TO MEET THE INTENT OF THE LIGHTING SYSTEM INCLUDING MOUNTING BRACKETS, ADAPTORS AND CONTROLS. COORDINATE WITH ELECTRICAL PLANS FOR LIGHTING CONTROL. MOUNT INSIDE TRASH ENCLOSURE.
	BB	PROGRESS LIGHTING LED CYLINDER DOWNLIGHT SCONCE	P5675-31/30K	0.90	90	WALL	LED	120V	34	830	3000K	8'-0"	CONTRACTOR TO ORDER ALL ACCESSORIES NECESSARY TO MEET THE INTENT OF THE LIGHTING SYSTEM INCLUDING MOUNTING BRACKETS, ADAPTORS AND CONTROLS. COORDINATE WITH ELECTRICAL PLANS FOR LIGHTING CONTROL. COORDINATE WITH ARCHITECT FOR EXACT LOCATIONS.

#### PHOTOMETRICS NOTES

- ALL PHOTOMETRIC VALUES SHOWN ON SITE PLAN IN TABLES ARE IN FOOTCANDLES (FC).  
1 FC = 10.76 LUX.
- CALCULATED VALUES ARE DERIVED THROUGH A COMPUTER BASED MODEL WITH LIGHT FIXTURE DATA AS SUPPLIED BY MANUFACTURERS THROUGH IES FILES.
- ANY DEVIATION FROM SPECIFIED FIXTURE MODELS AND MOUNTING HEIGHTS IN THIS EXHIBIT WILL DISCOUNT THE VALIDITY OF THE CALCULATIONS.
- THE PHOTOMETRIC ANALYSIS EXCLUDES ALL EXISTING AND PROPOSED OFF SITE STREET LIGHTING AND LANDSCAPE LIGHTING THAT IS CONSIDERED IRRELEVANT TO THE PURPOSE OF THE STUDY.
- CONTRACTOR TO FIELD COORDINATE EXACT LOCATION OF POLES WITH UNDERGROUND UTILITY AND OTHER OBSTRUCTIONS.
- CONTRACTOR SHALL CONFIRM POLE AND FIXTURE FINISHES WITH OWNER AND ARCHITECT PRIOR TO PURCHASE. ALL PROPOSED LUMINAIRE STYLES, COLORS AND MOUNTING TYPES SHALL BE SUBMITTED AND APPROVED BY ENGINEER, ARCHITECT AND OWNER. EXACT BUILDING MOUNT LOCATIONS SHALL BE COORDINATED WITH ARCHITECT AND SHOULD BE CONFIRMED WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. EXACT CANOPY MOUNT FIXTURE LOCATION AND MOUNTING STYLE SHALL BE COORDINATED WITH CANOPY DESIGNER PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONFIRM THAT WALL AND CANOPY MOUNTED FIXTURES ARE COMPATIBLE WITH RESPECTIVE MOUNTING LOCATION. CONTRACTOR SHALL ORDER ACCESSORIES FOR APPROPRIATE MOUNTING.
- ALL LUMINAIRE SYMBOLS ARE DIAGRAMMATIC ONLY. EXACT LOCATION AND SETBACKS SHALL BE FIELD COORDINATED.
- FINAL ELECTRICAL DESIGN AND POLE FOUNDATION DETAILS BY OTHERS.
- LIGHTING DESIGN WAS PERFORMED IN ACCORDANCE WITH CFA STANDARD LIGHTING LEVELS AND WITH THE EXTERIOR LIGHTING DESIGN PRINCIPLES. ALL VALUE ENGINEER ALTERNATIVES SHALL BE SUBMITTED BY CONTRACTOR AND APPROVED BY ENGINEER, ARCHITECT AND OWNER PRIOR TO PURCHASE. CALCULATIONS BASED ON MODEL NUMBERS LISTED IN THE LIGHT FIXTURE SCHEDULE. VALUE ENGINEER ALTERNATIVES MAY NOT PRODUCE THE SAME CALCULATIONS.
- LUMINAIRE CONTROL PROVISIONS SHALL BE INCLUDED AND FINALIZED BY DESIGN ENGINEER. CONTROL SHALL BE COMPLIANT WITH CITY CODE. LIGHT FIXTURES SHALL BE ORDERED WITH ACCESSORIES TO MEET THE INTENT OF THE LIGHTING CONTROLS. ACCESSORIES THAT SHOULD BE INCLUDED FOR CONTROL ARE NOT LISTED ON THIS PLAN AND SHOULD BE CONFIRMED WITH DESIGN ENGINEER PRIOR TO PURCHASE.

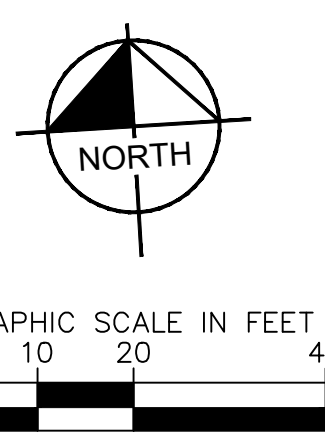
NOTE: O=OUTDOOR, C=CANOPY MOUNT, B=BUILDING/WALL MOUNT

#### PHOTOMETRICS LEGEND

	SINGLE LUMINAIRE MOUNTED AT 15' AFG (13' POLE ON 2' FOUNDATION)
	DOUBLE LUMINAIRE MOUNTED AT 15' AFG (13' POLE ON 2' FOUNDATION)
	BUILDING-SURFACE DOWNLIGHT
	WALL-SCONCE LUMINAIRE, WALL-MOUNTED
	CANOPY DOWNLIGHT
* X.X	CALCULATION POINT

#### CALCULATION SUMMARY

ZONE	CALC TYPE	AVG	MAX	MIN	AVG/MIN	MAX/MIN
①	PARKING LOT (TYPICAL)	3.47	12.6	0.4	8.68	3.63
②	CANOPY 1	27.68	44.4	18.8	1.47	1.61
③	CANOPY 2	32.98	42.5	26.5	1.25	1.29
④	SITE BOUNDARY	0.23	1.3	0.0	-	-



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**WORTHINGTON FSU**  
**60 E. WILSON BRIDGE ROAD**  
**WORTHINGTON, OH 43085**

**FSU# 05269**

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AGENCY # TBD

PROJECT # 190241012

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SHEET

**PHOTOMETRICS PLAN**

SHEET NUMBER

**PH-1.0**



Project		Catalog #		Type	
Prepared by		Notes		Date	



# Lumark

## Prevail LED

Area / Site Luminaire

### Product Features



### Product Certifications



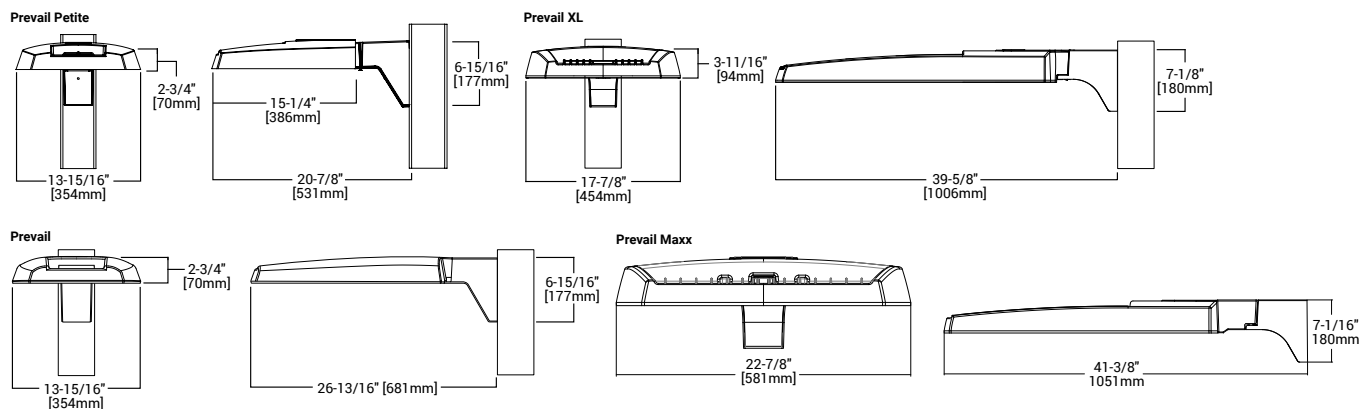
### Interactive Menu

- Ordering Information page 2
- Mounting Details page 3, 4
- Optical Configurations page 5
- Product Specifications page 5
- Energy and Performance Data page 6, 7
- Control Options page 8

### Quick Facts

- Lumen packages range from 4,800 - 84,000 lumens (35W - 588W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 160 lumens per watt
- Energy and maintenance savings up to 85% versus HID solutions
- Standard universal quick mount arm with universal drill pattern

### Dimensional Details



#### NOTES:

1. Visit <https://www.designlights.org/search/> to confirm qualification. Not all product variations are DLC qualified.
2. IDA Certified for 3000K CCT and warmer only.




CITY OF WORTHINGTON  
DRAWING NO. ARB 109-2022  
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## Ordering Information


SAMPLE NUMBER: PRV-XL-C75-D-UNV-T4-SA-BZ

Product Family <sup>1,2</sup>	Light Engine <sup>4</sup>	Color Temperature	Driver	Voltage	Distribution	Mounting	Color				
<b>PRV-P</b> =Prevail Petite <b>BAA-PRV-P</b> =Prevail Petite BAA Compliant <sup>3</sup> <b>TAA-PRV-P</b> =Prevail Petite TAA Compliant <sup>3</sup>	<b>C10</b> =(1 LED) 4,900 Nominal Lumens <b>C15</b> =(1 LED) 6,900 Nominal Lumens <b>C20</b> =(1 LED) 9,800 Nominal Lumens <b>C25</b> =(1 LED) 11,800 Nominal Lumens	<b>740</b> =70CRI, 4000K <b>727</b> =70CRI, 2700K <b>730</b> =70CRI, 3000K <b>750</b> =70CRI, 5000K <b>8540</b> =85CRI, 4000K	<b>D</b> =Dimming (0-10V)	<b>UNV</b> =Universal (120-277V) <b>H</b> =High Voltage, 347-480V <b>8</b> =480V <sup>5</sup> <b>9</b> =347V <b>DV</b> =DuraVolt (277-480V) <sup>5,6</sup>	<b>T2</b> =Type II <b>T3</b> =Type III <b>T4</b> =Type IV <b>T5</b> =Type V	<b>SA</b> =QM Standard Versatile Arm <b>MA</b> =QM Mast Arm <b>FMA</b> = Fixed Mast Arm <sup>28</sup> <b>WM</b> =QM Wall Mount Arm <b>ADJA-WM</b> =Adjustable Arm-Wall Mount <sup>30</sup> <b>ADJA</b> =Adjustable Arm-Pole Mount <sup>30</sup> <b>ADJS</b> =Adjustable Arm-Slipfitter, 3" vertical tenon <sup>30</sup> <b>SP2</b> =Adjustable Arm-Slipfitter, 2 3/8" vertical tenon <sup>28,30</sup>	<b>BZ</b> =Bronze <b>AP</b> =Grey <b>BK</b> =Black <b>DP</b> =Dark Platinum <b>GM</b> =Graphite Metallic <b>WH</b> =White				
<b>PRV</b> =Prevail <b>BAA-PRV</b> =Prevail BAA Compliant <sup>3</sup> <b>TAA-PRV</b> =Prevail TAA Compliant <sup>3</sup>	<b>C15</b> =(1 LED) 7,100 Nominal Lumens <b>C25</b> =(2 LEDs) 13,100 Nominal Lumens <b>C40</b> =(2 LEDs) 17,100 Nominal Lumens <b>C60</b> =(2 LEDs) 20,000 Nominal Lumens										
<b>PRV-XL</b> =Prevail XL <b>BAA-PRV-XL</b> =Prevail XL BAA Compliant <sup>3</sup> <b>TAA-PRV-XL</b> =Prevail XL TAA Compliant <sup>3</sup>	<b>C75</b> =(4 LED) 26,100 Nominal Lumens <b>C100</b> =(4 LED) 31,000 Nominal Lumens <b>C125</b> =(4 LED) 36,000 Nominal Lumens <b>C150</b> =(6 LED) 41,100 Nominal Lumens <b>C175</b> =(6 LED) 48,600 Nominal Lumens										
<b>PRV-M</b> =Prevail Maxx <b>BAA-PRV-M</b> =Prevail Maxx BAA Compliant <sup>3</sup> <b>TAA-PRV-M</b> =Prevail MaxxTAA Compliant <sup>3</sup>	<b>C200</b> =(9 LED) 48,000 Nominal Lumens <b>C225</b> =(9 LED) 56,000 Nominal Lumens <b>C250</b> =(9 LED) 65,000 Nominal Lumens <b>C275</b> =(9 LED) 73,000 Nominal Lumens										
Options (Add as Suffix)			Accessories (Order Separately) <sup>20,21</sup>								
<b>7030</b> =70 CRI / 3000K CCT <sup>7</sup> <b>7050</b> =70 CRI / 5000K CCT <sup>7</sup> <b>CC</b> =Coastal Construction finish <sup>31</sup> <b>HSS</b> =House Side Shield <sup>8</sup> <b>L90</b> =Optics Rotated 90° Left <b>R90</b> =Optics Rotated 90° Right <b>10K</b> =10kV/10kA UL 1449 Fused Surge Protective Device <b>20MSP</b> =20kV MOV Surge Protective Device <b>20K</b> =20kV UL 1449 Fused Surge Protective Device <b>HA</b> =50°C High Ambient Temperature <sup>9</sup> <b>PR</b> =NEMA 3-PIN Twistlock Photocontrol Receptacle <sup>11</sup> <b>PR7</b> =NEMA 7-PIN Twistlock Photocontrol Receptacle <sup>11</sup> <b>MS/DIM-L08</b> =Dimming Motion and Daylight Sensor, IR Remote Programmable, < 8' Mounting Height <sup>12,13,22,28</sup> <b>MS/DIM-L20</b> =Dimming Motion and Daylight Sensor, IR Remote Programmable, 8' - 20' Mounting Height <sup>12,22,13</sup> <b>MS/DIM-L40</b> =Dimming Motion and Daylight Sensor, IR Remote Programmable, 21' - 40' Mounting <sup>12,13</sup>			<b>SPB1</b> =Dimming Motion and Daylight Sensor, Bluetooth Programmable, < 8' Mounting Height <sup>12,14,22</sup> <b>SPB2</b> =Dimming Motion and Daylight Sensor, Bluetooth Programmable, 8' - 20' Mounting Height <sup>12,14,22</sup> <b>SPB4</b> =Dimming Motion and Daylight Sensor, Bluetooth Programmable, 21' - 40' Mounting Height <sup>12,14,28,29</sup> <b>ZW</b> =Wavelinx-enabled 4-PIN Twistlock Receptacle <sup>12</sup> <b>ZD</b> = DALI-enabled 4-PIN Twistlock Receptacle <sup>12</sup> <b>ZW-SWPD4XX</b> =WaveLinx Pro, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting <sup>12,15,16,17,22</sup> <b>ZW-SWPD5XX</b> =WaveLinx Pro, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting <sup>12,15,16,17,28,29</sup> <b>ZD-SWPD4XX</b> = WaveLinx Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting <sup>12,15,16,17,22</sup> <b>ZD-SWPD5XX</b> =WaveLinx Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting <sup>12,15,16,17,28,29</sup> <b>(See Table Below)</b> =LumenSafe Integrated Network Security Camera <sup>18,19</sup>					<b>PRVSA-XX</b> =Standard Arm Mounting Kit <sup>22</sup> <b>PRVMA-XX</b> =Mast Arm Mounting Kit <sup>22</sup> <b>PRVWM-XX</b> =Wall Mount Kit <sup>22</sup> <b>PRV-ADJA-XX</b> =Adjustable Arm - Pole Mount Kit <sup>22</sup> <b>PRV-ADJS-XX</b> =Adjustable Arm - Slipfitter Kit <sup>22</sup> <b>PRV-ADJA-WM-XX</b> =Adjustable Arm - Wall Mount Kit <sup>22</sup> <b>PRVXLSA-XX</b> =Standard Arm Mounting Kit <sup>29</sup> <b>PRVXLMA-XX</b> =Mast Arm Mounting Kit <sup>29</sup> <b>PRVXLWM-XX</b> =Wall Mount Kit <sup>29</sup> <b>PRV-XL-ADJA-XX</b> =Adjustable Arm - Pole Mount Kit <sup>29</sup> <b>PRV-XL-ADJS-XX</b> =Adjustable Arm - Slipfitter Kit <sup>29</sup> <b>PRV-XL-ADJA-WM-XX</b> =Adjustable Arm - Wall Mount Kit <sup>29</sup> <b>PRV-M-ADJA-XX</b> =Adjustable Arm - Pole Mount Kit <sup>28</sup> <b>PRV-M-ADJS-XX</b> =Adjustable Arm - Slipfitter Kit <sup>28</sup> <b>PRV-M-ADJA-WM-XX</b> =Adjustable Arm - Wall Mount Kit <sup>28</sup> <b>MA1010-XX</b> =Single Tenon Adapter for 3-1/2" O.D. Tenon <b>MA1011-XX</b> =2@180° Tenon Adapter for 3-1/2" O.D. Tenon		<b>MA1017-XX</b> =Single Tenon Adapter for 2-3/8" O.D. Tenon <b>MA1018-XX</b> =2@180° Tenon Adapter for 2-3/8" O.D. Tenon <b>SRA238</b> =Tenon Adapter from 3" to 2-3/8" <b>PRV/COB-FDV</b> =Full Drop Visor <sup>23</sup> <b>PRVXL/COB-FDV</b> =Full Drop Visor <sup>18</sup> <b>HS/VERD</b> =House Side Shield Kit <sup>8,24</sup> <b>VGS-F/B</b> = Vertical Glare Shield Kit, Front/Back <sup>24</sup> <b>VGS-SIDE</b> =Vertical Glare Shield Kit, Side <sup>24</sup> <b>OA/RA1013</b> =Photocontrol Shorting Cap <b>OA/RA1014</b> =NEMA Photocontrol - 120V <b>OA/RA1016</b> =NEMA Photocontrol - Multi-Tap 105-285V <b>OA/RA1201</b> =NEMA Photocontrol - 347V <b>OA/RA1027</b> =NEMA Photocontrol - 480V <b>FSIR-100</b> =Wireless Configuration Tool for Occupancy Sensor <sup>25</sup> <b>WOLC-7P-10A</b> =WaveLinx Outdoor Control Module (7-PIN) <sup>27</sup> <b>SWPD4-XX</b> =WaveLinx Sensor, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting <sup>15,16,17,22,26</sup> <b>SWPD5-XX</b> =WaveLinx Sensor, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting <sup>15,16,17,26,28,29</sup>	
<b>NOTES:</b> 1. DesignLights Consortium® Qualified. Refer to <a href="http://www.designlights.org">www.designlights.org</a> Qualified Products List under Family Models for details. 2. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to installation instructions IB500002EN and pole white paper WP513001EN for additional support information. 3. Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to <a href="http://DOMESTIC.PREFERENCES">DOMESTIC.PREFERENCES</a> website for more information. Components shipped separately may be separately analyzed under domestic preference requirements. 4. Standard 4000K CCT and 70CRI. 5. 480V not to be used with ungrounded or impedance grounded systems. 6. DuraVolt drivers feature added protection from power quality issues such as loss of neutral, transients and voltage fluctuations. Visit <a href="http://www.signify.com/duravolt">www.signify.com/duravolt</a> for more information. 7. Use dedicated IES files on product website for non-standard CCTs. 8. House Side Shield not suitable with T5 distribution. Not available with PRV-C60 lumen package. 9. Not available with PRV-C60 lumen package. Not available with PRV-P-C25 lumen package. 10. Coastal construction finish salt spray tested to over 5,000-hours per ASTM B117, with a scribe rating of 9 per ASTM D1654. 11. If DuraVolt (DV) is specified, use a photocontrol that matches the input voltage used. 12. Controls system is not available in combination with a photocontrol receptacle (PR & PER7) or another controls system (MS, SPB, ZD, or ZW). Option not available with DuraVolt (DV) voltage option. 13. Utilizes the Wattstopper sensor FSP-211. Sensor color white unless specified otherwise via PDR. To field-configure, order FSIR-100 accessory separately. 14. Utilizes the Wattstopper sensor FSP-3XX series. Sensor color determined by product finish. See Sensor Color Reference Table. Field-configures via mobile application. See Controls section for details. 15. Sensor passive infrared (PIR) may be overly sensitive when operating below -20°C (-4°F). 16. For the device to be field-configurable, requires WAC Gateway components WAC-PoE and WPOE-120 in appropriate quantities. Only compatible with WaveLinx system and software and requires system components to be installed for operation. See website for more Wavelinx application information. 17. Replace XX with sensor color (WH, BZ, or BK). 18. Only available in PRV-XL configurations C75, C100, C125, C150, or C175. 19. Not available with 347V, 480V, DV, or HA options. Consult LumenSafe system product pages for additional details and compatibility information. 20. Replace XX with paint color. 21. For BAA or TAA requirements, Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information. 22. Not for use with PRV-XL or PRV-M configurations. 23. Only for use with PRV. Not applicable to PRV-M, PRV-XL, or PRV-P. 24. Must order one per optic/LED when ordering as a field-installable accessory (1, 2, 4, 6 or 9). 25. This tool enables adjustment to Motion Sensor (MS) parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative for more information. 26. Requires 4-PIN twistlock receptacle (ZD or ZW) option. 27. Requires 7-PIN NEMA twistlock photocontrol receptacle (PR & PER7) option. The WOLC-7 cannot be used in conjunction with other controls systems (MS, ZD, ZW or LWR). Operates on 120-347V input voltages. 28. Only for use with PRV-M configurations. 29. Only for use with PRV-XL configurations. 30. Fixed for PRV-M.											

## LumenSafe Integrated Network Security Camera Technology Options (Add as Suffix)

Product Family	Camera Type	Data Backhaul		
<b>L</b> =LumenSafe Technology 	<b>H</b> =Dome Camera, High Res <b>Z</b> =Dome Camera, Remote PTZ	<b>C</b> =Cellular, Customer Installed SIM Card <b>A</b> =Cellular, Factory Installed AT&T SIM Card	<b>V</b> =Cellular, Factory Installed Verizon SIM Card <b>S</b> =Cellular, Factory Installed Sprint SIM Card	<b>E</b> =Ethernet Networking

## Stock Ordering Information

Product Family <sup>1</sup>	Light Engine	Voltage	Distribution
<b>PRVS</b> =Prevail	<b>C15</b> =(1 LED) 7,100 Nominal Lumens <b>C25</b> =(2 LEDs) 13,100 Nominal Lumens <b>C40</b> =(2 LEDs) 17,100 Nominal Lumens <b>C60</b> =(2 LEDs) 20,000 Nominal Lumens	<b>UNV</b> =Universal (120-277V) <b>347</b> =347V <sup>2</sup>	<b>T3</b> =Type III <b>T4</b> =Type IV
<b>PRVS-XL</b> =Prevail XL	<b>C75</b> =(4 LED) 26,100 Nominal Lumens <b>C100</b> =(4 LED) 31,000 Nominal Lumens <b>C125</b> =(4 LED) 36,000 Nominal Lumens <b>C150</b> =(6 LED) 41,100 Nominal Lumens <b>C175</b> =(6 LED) 48,600 Nominal Lumens		 CITY OF WORTHINGTON DRAWING NO. ARB 109-2022 MPC 09-2022 DATE 11/17/2023
<b>NOTES:</b> 1. All stock configurations are standard 4000K/70CRI, bronze finish, and include the standard versatile mounting arm. 2. Only available in PRVS configurations C15, C25, C40 or C60.			

## LED CANOPY LIGHT - LEGACY™ (CRUS)



US & Int'l. patents pending.

**HOUSING** - Low profile, durable die-cast, aluminum construction, providing a reliable weather-tight seal.

**LEDS** - Features an array of select, mid-power, high brightness, high efficiency LED chips; 5300°K color temperature, 70 CRI (nominal).

**DRIVE CURRENT** - Choice of Low Wattage (LW) or Super Saver (SS).

**OPTICS / DISTRIBUTION** - Symmetrical, which directs light through a clear tempered glass lens, to provide a uniform distribution of light to vertical and horizontal surfaces.

**OPTICAL UNIT** - Features an ultra-slim 7/8" profile die cast housing, with a flat glass lens. Unit is water-resistant, sealed to an IP67 rating. Integral designed heat sink does not trap dirt and grime, ensuring cool running performance over the life of the fixture.

**PRESSURE STABILIZING VENT** - Luminaire assembly incorporates a pressure stabilizing vent breather to prevent seal fatigue and failure.

**HAZARDOUS LOCATION** - Designed for lighter than air fuel applications. Product is suitable for Class 1 Division 2 only when properly installed per LSI installation instructions (consult factory).

**DRIVER** - State-of-the-art driver technology superior energy-efficiency and optimum light output. Driver components are fully encased in potting for moisture resistance. Complies with IEC and FCC standards.

**DRIVER HOUSING** - Die cast aluminum, wet location rated driver/electrical enclosure is elevated above canopy deck to prevent water entry, provide easy "knock-out" connection of primary wiring and contributes to attaining the lowest operating temperatures available. Seals to optical housing via one-piece molded silicone gasket.

**OPERATING TEMPERATURE** - -40°C to 50°C (-40°F to +122°F)

**ELECTRICAL** - Universal voltage power supply, 120-277 VAC, 50/60 HZ input. Drivers feature two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C62.41.2-2002, Scenario 1, Location Category C.

**FINISH** - Standard color is white and is finished with LSI's DuraGrip polyester powder coat process. DuraGrip withstands extreme weather changes without cracking or peeling.

**INSTALLATION** - One person installation. No additional sealant required. Installs in a 12" or 16" deck pan. Deck penetration consists of a 4" hole, simplifying installation and water sealing. Unit is designed to quickly retrofit into existing Scottsdale (4") hole as well as openings for Encore and Encore Top Access and to reconnect wiring for the SC/ECTA without having to relocate the conduit. Retro panels are available for existing Encores (see back page) as well as kits for recessed and 2x2 installations (see separate spec sheets). Support brackets are provided standard, to prevent sagging of deck.

**SHIPPING WEIGHT** - 27 pounds (single pack), 48 pounds (double pack).

**EXPECTED LIFE** - Minimum 60,000 to 100,000 hours depending upon the ambient temperature of the installation location. See LSI web site for specific guidance.

**WARRANTY** - Limited 5-year warranty.

**LISTING** - UL and ETL listed to UL 1598, UL 8750 and other U.S. and International safety standards. Suitable for wet locations.

**PHOTOMETRICS** - Applications layouts are available upon request. Contact LSI Petroleum Lighting or petroleum.apps@lsi-industries.com

### Consult Factory

**Class 1, Division 2** – Standard on SS & LW.

**T5 Temperature Classification** – The surface temperature of this product will not rise above 100°C., within a 40°C ambient.

**Gas Groups A,B,C, and D** – Group A: Acetylene / Group B: Hydrogen / Group C: Propane and Ethylene / Group D: Benzene, Butane, Methane & Propane.

This product, or selected versions of this product, meet the standards listed below.  
Please consult factory for your specific requirements.





# LED CANOPY LIGHT - LEGACY™ (CRUS)

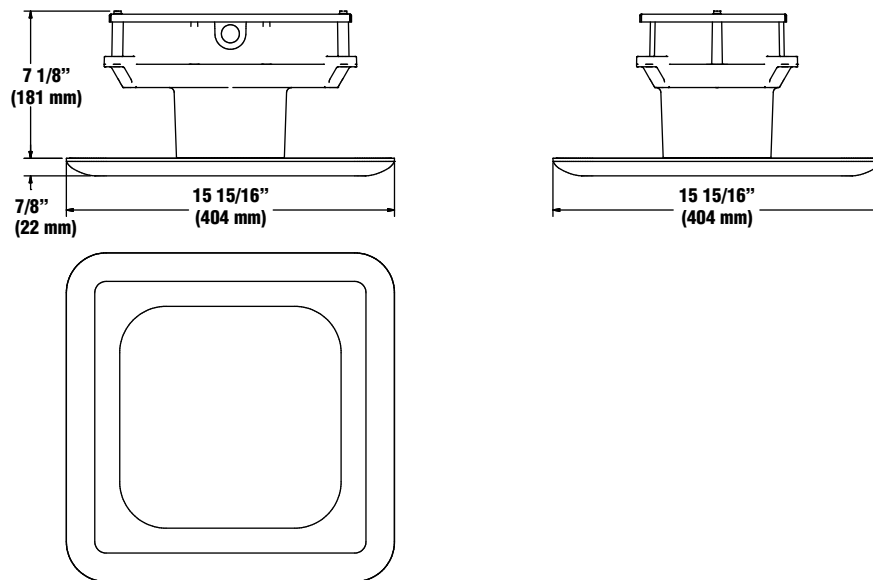
## LUMINAIRE ORDERING INFORMATION

TYPICAL ORDER EXAMPLE: **CRUS SC LED SS CW UE WHT**

Prefix	Distribution	Light Source	Drive Current	Color Temperature	Input Voltage	Finish	Options
CRUS	SC - Standard Symmetric	LED	LW - Low Watt SS - Super Saver	CW - Cool White	UE - Universal Voltage (120-277V)  347 - 347V	WHT - White BRZ - Bronze BLK - Black	None

ACCESSORY ORDERING INFORMATION (Accessories are field installed)			
Description	Order Number	Description	Order Number
Retrofit Panels - EC / ECTA / SCF to CRU, for 16" Deck Panel	525946	Kit - Hole Plugs and Silicone (enough for 25 retrofits) <sup>1</sup>	1320540
Retrofit Panels - ECTA / SCF to CRU, for 12" Deck Panel	530281	1- Consists of (25) 7/8" hole plugs and (1) 10.3 oz tube of RTV	
Retrofit 2x2 Cover Panel Blank (no holes)	357282	2- Flange Kit used to mount CRU in double deck applications	
Retrofit RIC Cover Panel Blank (no holes)	354702		

## DIMENSIONS



LIGHT OUTPUT - CRUS				
Cool White		Lumens	Watts	LPW
	LW - Low Watt	10,871	88	124
	SS - Super Saver	13,554	114	119



CITY OF WORTHINGTON  
DRAWING NO. ARB 109-2022  
MPC 09-2022  
DATE 11/17/2023

## DESCRIPTION

The Halo Surface LED Downlight (SLD) incorporates WaveStream™ technology to create an ultra-low profile surface mounting luminaire with the performance and look of a traditional downlight. SLD4 is designed for installation in many 3-1/2" and 4" round or octagon junction boxes. May also retrofit in 4" aperture IC and Non-IC recessed housings\*. Dedicated LED wiring connector meets high-efficacy code requirement in recessed downlighting. Suitable for residential or commercial installations. Ideal for closets, storage areas, attics and basements. Compliant with NFPA® 70, NEC® Section 410.16 (A)(3) and 410.16 (C)(5).

## SPECIFICATION FEATURES

### CONSTRUCTION

- Die cast aluminum trim ring and die formed aluminum frame

### OPTICS

- WaveStream™ technology provides uniform luminance from a low profile flat lens
- AccuAim™ optics provide directional control for the "cone-of-light" beam distribution of a traditional downlight
- Precision molded lens features high transmission polymer with UV stabilized protecting film

### DESIGNER TRIMS

#### Accessories (sold separately)

SLD designer trims are accessory rings that attach to the SLD for a permanent finish. Refer to SLD accessories specification sheet for details.

- White (Paintable)
- Satin Nickel
- Tuscan Bronze

### ELECTRICAL JUNCTION BOX MOUNTING

- SLD may be used in compatible electrical junction boxes in direct contact with insulation including spray foam insulation
- Suitable for installation in many 3-1/2" and 4" octagon and round electrical junction boxes.  
**Note:** Driver consumes 3 cubic inches of junction box.
- Installer must ensure compatibility of fit, wiring and proper mounting in the electrical junction box. This includes all applicable national and local electrical and building codes.
- Proprietary Slot-N-Lock quick installation system for junction box installation

- T-bracket with Slot-N-Lock mounting tabs included.

### RECESSED HOUSING MOUNTING Friction Blade

- Pre-installed precision formed friction blades included
- Friction blade design allows the SLD to be installed in any position within the housing aperture (360 degrees)

\* **Note:** Not for use in recessed housings in direct contact with spray foam insulation refer to NEMA LSD 57-2013

### LED

- Trilateral linear LED assembly is integrated in trim perimeter.
- Color Temperature: 2700K, 3000K, 3500K, 4000K
- CRI options: 80 and 90\*
  - 90 CRI can be used to comply with California Title 24 High Efficacy requirements. Certified to California Appliance Efficiency Database under JA8
- L70 at 50,000 hours projected in accordance with TM-21

### WARRANTY

Cooper Lighting Solutions provides a five year limited warranty on the SLD LED

### LED CHROMATICITY

- A tight chromaticity specification ensures LED color uniformity, sustainable Color Rendering Index (CRI) and Correlated Color Temperature (CCT) over the useful life of the LED
- LED chromaticity of 3 SDCM exceeds ENERGY STAR® color standards per ANSI C78.377-2008
- 90 CRI model features high color performance with R9 greater than 50

Catalog #		Type
Project		
Comments		Date
Prepared by		

- Every Halo LED is quality tested, measured, and serialized in a permanent record to register lumens, wattage, CRI and CCT.
- Halo LED serialized testing and measurement ensures color and lumen consistency on a per-unit basis, and validates long-term product consistency over time

### ELECTRICAL CONNECTIONS Junction Box

- Compatible with many 3-1/2" x 2" and 4" x 1-1/2" round and octagon boxes (2-1/8" deep boxes recommended)

- Supply Wire Adapter with LED quick connector included

### Recessed Housings

- LED connector is compatible with Halo 4" H995 and H245 Series LED Housings
- LED Connector meets California Title-24 high-efficacy luminaire standard as a non-screw base
- The included E26 Edison screw-base adapter provides capability for retrofit\*
- LED connector is a non-screwbase luminaire disconnect for tool-less installation

### LED DRIVER

- Driver is a 120V input high efficiency, dimmable electronic power supply providing DC power to the LED array
- Driver features high power factor, low THD, and has integral thermal protection in the event of over temperature or internal failure.
- Driver is replaceable if it should be required



### SLD4058xxWH

80CRI  
2700K, 3000K, 3500K,  
and 4000K

### SLD4059xxWH

90CRI  
2700K, 3000K, 3500K,  
and 4000K

### 4" Surface LED Downlight

Suitable for  
ceiling or wall  
electrical junction boxes

Suitable for  
4" recessed  
housing retrofit  
(IC, Non-IC & AIR-TITE™)

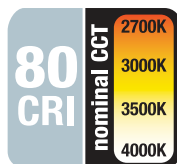
## ENERGY DATA

	80 CRI	90 CRI
Lumens (4000K models)	800	710
Input Voltage	120V	120V
Frequency	50/60 Hz	50/60 Hz
Input Current	0.10 A	0.10 A
Input Power	12.2 W	12 W
Efficiency (4000K models)	66 lm/W	59 lm/W
THD	≤ 20%	
Power Factor	≥ 0.90	
T Ambient	-30 - +40°C	
Sound Rating	Class A	

## NOMENCLATURE

### SLD405830WH

405 = 4" SLD  
8 = >80 CRI  
30 = 3000K  
WH = Matte White



Refer to ENERGY STAR® Certified Products List.



Refer to ENERGY STAR® Qualified Products List.  
Can be used to comply with California Title 24 High Efficacy requirements.  
Certified to California Appliance Efficiency Database under JA8.  
Indoor LED nominal CCT of 4000K or less.





**DIMMING**

- Designed for continuous dimming capability to nominally 5% with many 120V Leading Edge (LE) and Trailing Edge (TE) phase control dimmers. Dimming to 5% is best assured using dimmers with low end trim adjustment. Consult dimmer manufacturer for compatibility and conditions of use. (Note some dimmers require a neutral in the wallbox.)

**COMPLIANCE**

- cULus Listed ceiling and wall
- cULus Damp Location listed ceiling and wall
- cULus Wet Location Listed, ceiling only (shower rated)
- Suitable for use in closets, compliant with NFPA® 70, NEC® Section 410.16 (A)(3) and 410.16 (C)(5)

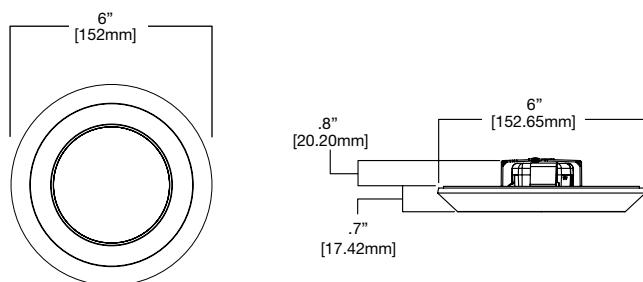
- SLD may be used in compatible electrical junction boxes in direct contact with insulation including spray foam insulation
- May be installed in IC recessed housings in direct contact with insulation (Not for use in recessed housings in direct contact with spray foam insulation. Refer to NEMA LSD 57-2013)
- UL Classified when used in retrofit with listed housings (See Housing Compatibility)
- EMI/RFI: meets FCC 47CFR Part 15 Class B limits, and is suitable for use in residential and commercial installations
- Airtight certified per ASTM E283 (not exceeding 2.0 CFM under 57 Pascals pressure difference)
- 90 CRI: Can be used to comply with California Title 24 High Efficacy requirements.
- 80 CRI: Can be used to comply with California Title 24 Non-Residential Lighting Controls requirements as a LED luminaire.
- Can be used for International Energy Conservation Code (IECC)
- ENERGY STAR® Certified luminaire - consult ENERGY STAR® Certified Product List
- Contains no mercury or lead and RoHS compliant.
- Photometric testing in accordance with IES LM-79
- Lumen maintenance projections in accordance with IES LM-80 and TM-21

**SLD4058xxWH**

80CRI

**2700K, 3000K, 3500K,  
and 4000K****SLD4059xxWH**

90CRI

**2700K, 3000K, 3500K,  
and 4000K****4" Surface LED  
Downlight****Suitable for  
ceiling or wall  
electrical junction boxes****Suitable for  
4" recessed  
housing retrofit  
(IC, Non-IC & AIR-TITE™)****DIMENSIONS****ORDERING INFORMATION****SAMPLE NUMBER:** SLD405927WH SLD4TRMSN**Junction Box Installation:** Order junction box separately, as supplied by others, to complete installation.**Recessed Installation:** Order Halo recessed housing separately to complete installation.

Models	Color Rendering Index	Color Temperature (CCT)	Finish	Accessories
<b>SLD405=</b> 4" Surface LED Downlight, 120V  <u>California non-E26 Models</u> <b>SLD405927WH-CA</b> <b>SLD405930WH-CA</b> <b>SSLD405935WH-CA</b> <b>SSLD405940WH-CA</b>	<b>8=</b> 80 CRI <b>9=</b> 90 CRI	<b>27=</b> 2700K <b>30=</b> 3000K <b>35=</b> 3500K <b>40=</b> 4000K	<b>WH=</b> White	<b>Designer Trims</b> Fit over the SLD4 for a designer finish <b>SLD4TRMSN=</b> 4" SLD Satin Nickel <b>SLD4TRMTBZ=</b> 4" SLD Tuscan Bronze <b>SLD4TRMWH=</b> 4" SLD White (paintable)  <b>J-Box Spacer Extension Ring</b> Add 15/16" depth when SLD driver cannot fit into installed junction box <b>SLD4EXT=</b> 4" Surface LED J-Box Extender, 7.75" O.D.  <b>RAD Adapters</b> When junction box is mounted flat on a ceiling or beam surface (not recessed in ceiling) <b>SLD4RAD=</b> 4" SLD Round Surface J-Box Adapter, 6.15" O.D. (For 4-inch round or octagon junction boxes)  <b>Spare Parts</b> <b>SLD4ACCKIT=</b> 4" Accessory Parts Replacement Kit (Screwbase adapter, torsion springs, friction blades) <b>SLD4BRKT=</b> 4" Junction Box Bracket & Screws  Refer to SLD Accessories specification sheet for further information.

## Cylinder

Wall Mounted • Damp Location Listed **PROGRESS LED**

### Description:

5" LED up down wall cylinder - wall lantern in Black. The P5675 Series are ideal for a wide variety of interior and exterior applications including residential and commercial. The Cylinders feature a 120V alternating current source and eliminates the need for a traditional LED driver. This modular approach results in an encapsulated luminaire that unites performance, cost and safety benefits. Specify P860045 top cover lens for use in wet locations.

### Specifications:

- Black finish.
- Powder coat finish.
- Die-cast aluminum construction with durable powder coated finish
- 1,100 lumens 26 lumens/watt per module (delivered)
- 3000K color temperature, 90+ CRI
- Meets California Title 24 high efficacy requirements for outdoor use only.
- Dimmable to 10% with many ELV dimmers
- Dimmable to 10% brightness (See Dimming Notes)
- Back plate covers a standard 4" recessed outlet box: 4.5 in W., 4.5 in ht., 2.95 in depth
- Mounting strap for outlet box included
- 6 in of wire supplied

### Performance:

Number of Modules	2
Input Power	17 W
Input Voltage	120 V
Input Frequency	60 Hz
Lumens/LPW (Down-Source)	795/46 (LM-82) per module
Lumens/LPW (Up-Source)	795/46 (LM-82) per module
Lumens/LPW (Source)	795/46 (LM-82)
Lumens/LPW (Delivered)	1,100/26 (LM-79)
CCT	3000 K
CRI	90 CRI
Life (hours)	60000 (L70/TM-21)
EMI/RFI	FCC Title 47, Part 15, Class B
Max. Operating Temp	30 °C
Warranty	5-year Limited Warranty
Labels	cCSAus Damp Location Listed

## P5675-31/30K



### Dimensions:

Width: 5 in  
Height: 14 in  
Depth: 8-7/8 in  
H/CTR: 8 in



CITY OF WORTHINGTON  
DRAWING NO. ARB 109-2022  
MPC 09-2022  
DATE 11/17/2023



EDWARDS + HOTCHKISS ARCHITECTS, P.C. – TWO BRENTWOOD COMMONS  
750 OLD HICKORY BLVD., 150-2, BRENTWOOD, TN 37027-4528  
Direct Line : 615.376.9236 FAX 615.377.0978 MAIL [heathers@eandharch.com](mailto:heathers@eandharch.com)

November 15, 2023

**Re: Proposed Chick-fil-A East Wilson Bridge Road**

Please see the list of changes made based on comments below. The changes are broken out by sheet.

- A-103
  - Rendered brick color modified to be more accurate to brick selection.
- A-104
  - Brick Rowlock course shifted to align with the building's watertable.
- A-105
  - No changes
- A-201
  - No changes
- A-301
  - E4 - Spandrel windows replaced with herringbone brick panel with clear transom windows.
  - C4 - Herringbone brick panels added to transom windows.
- A-302
  - No changes
- A-303
  - Rendered brick color updated to depict the specified brick more accurately.
  - The color of the bollards has been revised to dark bronze/black.
- A-304
  - Rendered brick color updated to depict the specified brick more accurately.
  - E4 - Spandrel windows replaced with herringbone brick panel with clear transom windows.
  - D4 - Herringbone brick panels added to transom windows.
- A-305
  - No changes
- A-306
  - Sheet added.
  - 3/16" scale elevations added to demonstrate Order Point canopy's relationship with the building.

Also included are (2) 11x17 sheets depicting our standard spandrel details and photos of the application on another project. We are providing these details for your consideration as an alternative to the brick panel option that has been incorporated in the above revisions. Blinds are not suitable for food preparation areas per 3717-1-06.1 (G) as they can be difficult to maintain the level of cleanliness required for food preparation areas.

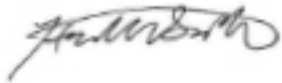


CITY OF WORTHINGTON  
DRAWING NO. ARB 109-2022  
MPC 09-2022  
DATE 11/17/2023



We appreciate your help with our review, please let us know if there is any further information required.

Sincerely,



Heather Simko  
Project Manager

615.376.9236

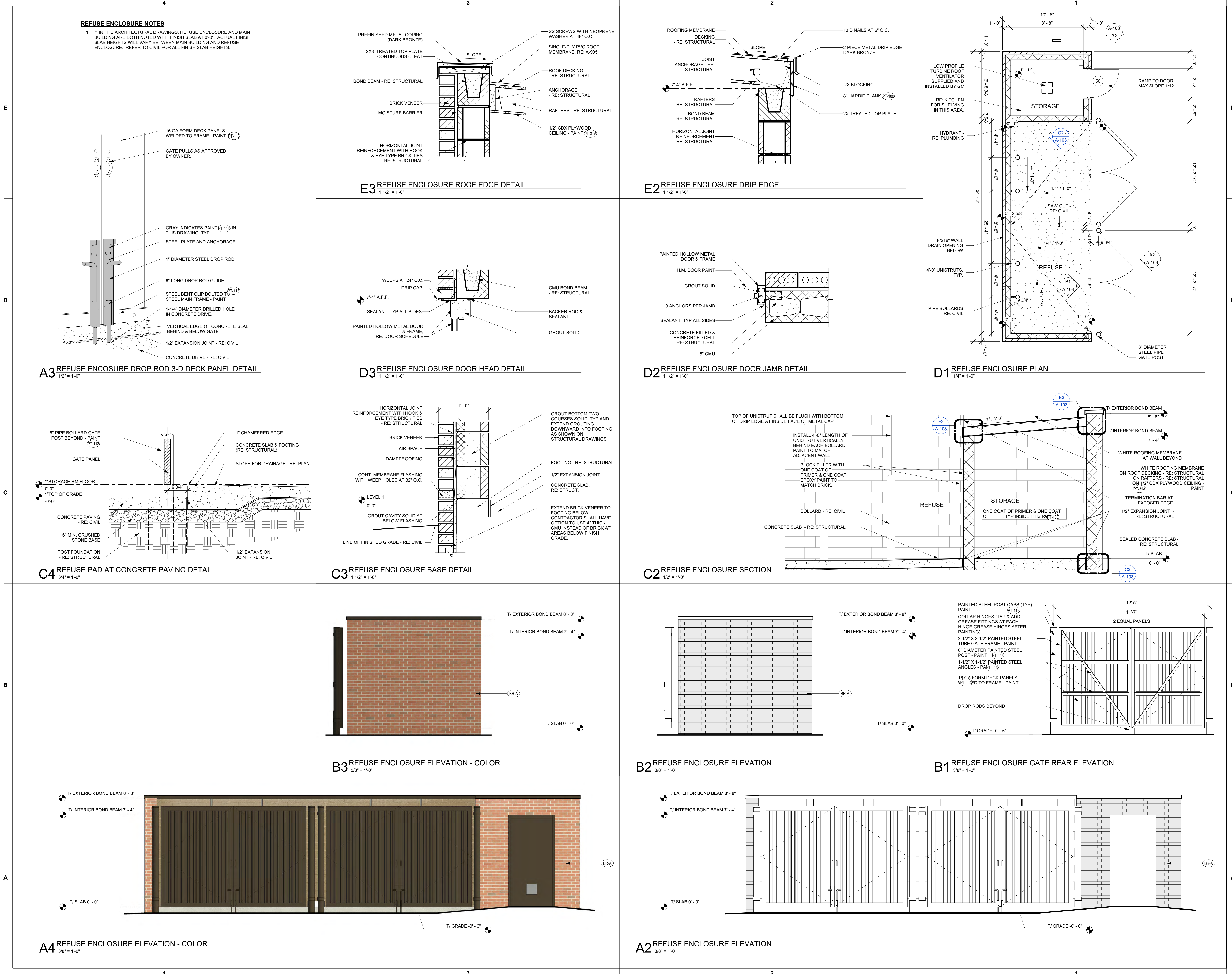
[HeatherS@eandharch.com](mailto:HeatherS@eandharch.com)

[MidwestCFA@eandharch.com](mailto:MidwestCFA@eandharch.com)





11/15/2023 4:22:18 PM Autodesk Docs:/OH\_05269\_Worthington (Oh) FSU\_2022.9\_FSR05269\_Worthington (Oh) FSU\_ARC.rvt 10-SE-05269-A-103-REFUSE ENCLOSURE



Chick-fil-A

Chick-fil-A  
5200 Buffington Road  
Atlanta, Georgia  
30349-2998

ROY A. WILLIAMS, ARCHITECT  
750 OLD HICKORY BLVD, SUITE 250  
BRENTWOOD, TN 37027  
PHONE: 615.377.3111  
EMAIL: GENMAIL@EANDHARCH.COM

PROTOTYPICAL SET

NOT FOR  
REGULATORY  
APPROVAL,  
BIDDING, OR  
CONSTRUCTION

CHICK-FIL-A  
WORTHINGTON FSU  
60 E WILSON BRIDGE RD  
WORTHINGTON, OH 43085

FSR#05269  
BUILDING TYPE / SIZE: P14 SE LRG  
RELEASE: 22-08

DESIGN  
REVISION SCHEDULE  
NO. DATE DESCRIPTION

CITY OF WORTHINGTON  
DRAWING NO. ARB 109-2022  
MPC 09-2022  
DATE 11/17/2023

CONSULTANT PROJECT #  
DATE 11/15/2023  
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Author  
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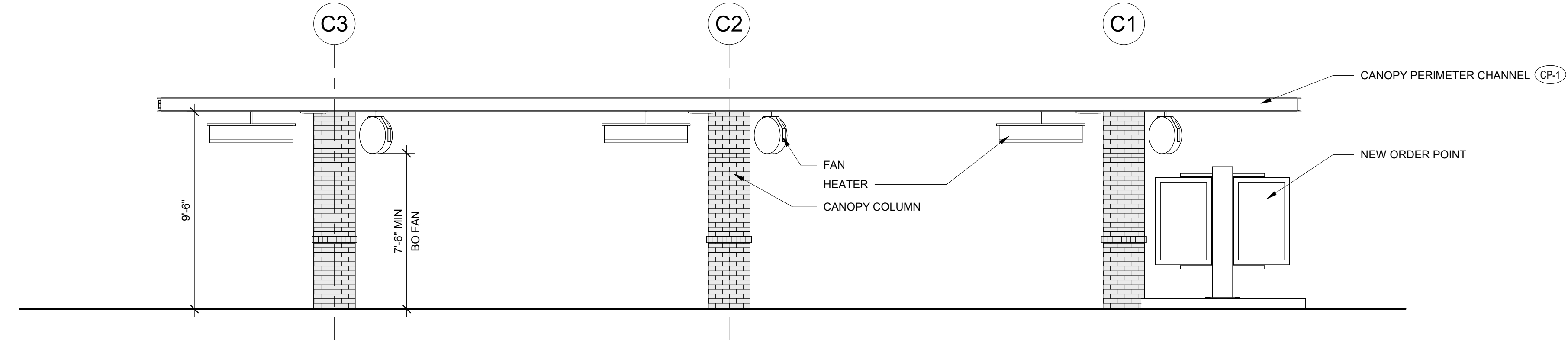
REFUSE ENCLOSURE  
SHEET  
SHEET NUMBER

A-103

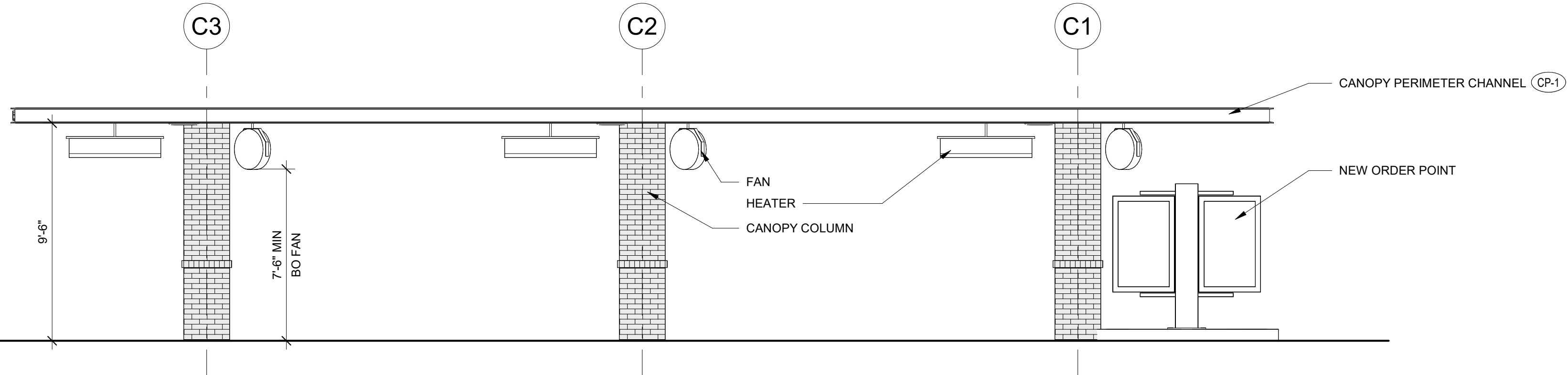


11/15/2023 4:28:20 PM Autodesk Docs:/OH\_05269\_Worthington (OH) FSU\_2022.9\_FSR05269\_Worthington (OH) FSU\_ARC.rvt 10-SE-05269-A-104-ORDER POINT CANOPY

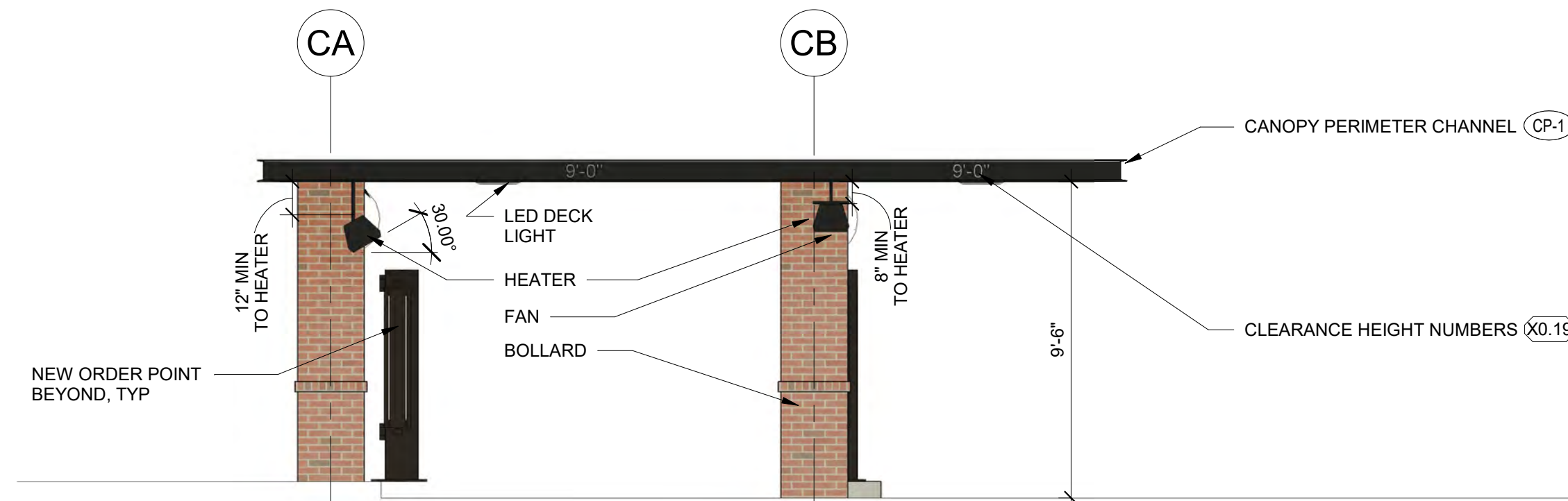
E4 SIDE ELEVATION - COLOR  
1/4" = 1'-0"



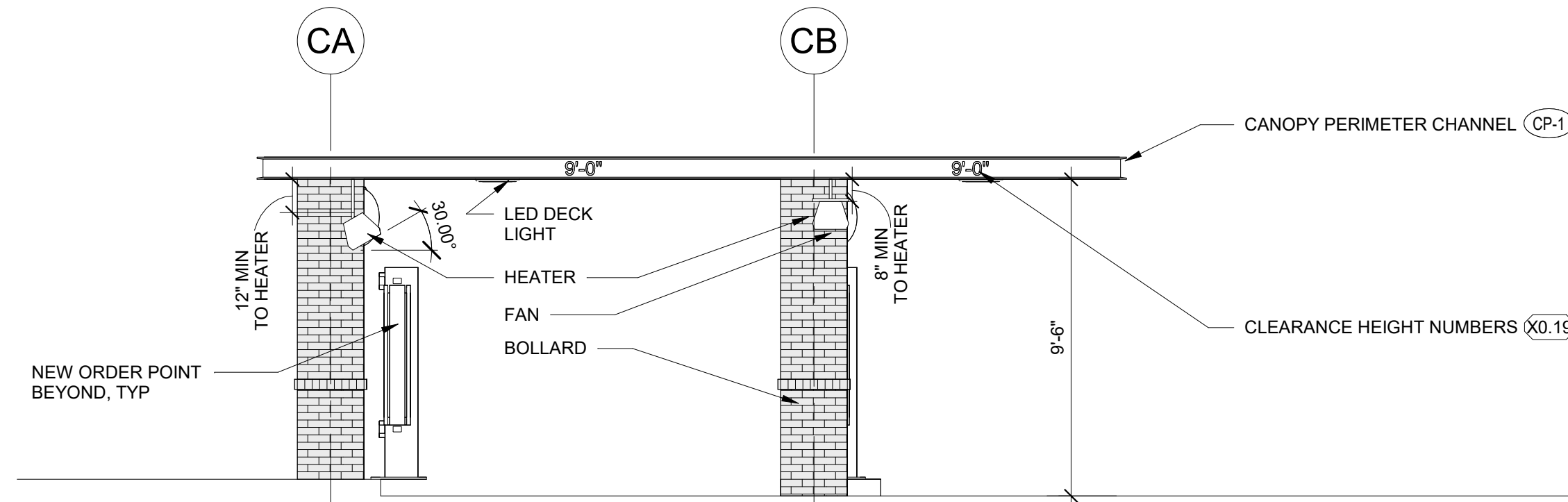
D4 SIDE ELEVATION  
1/4" = 1'-0"



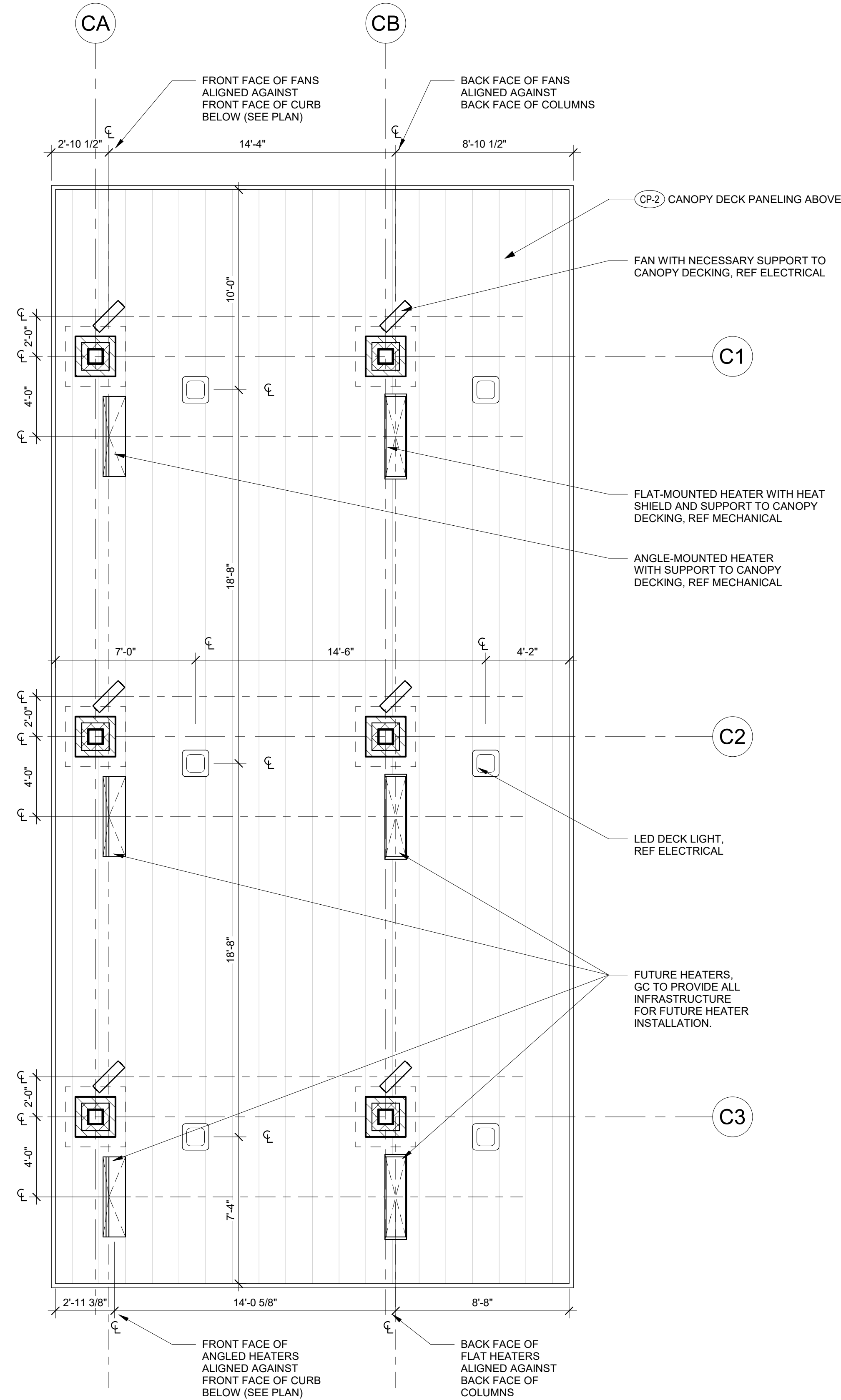
E2 ENTRY ELEVATION - COLOR  
1/4" = 1'-0"



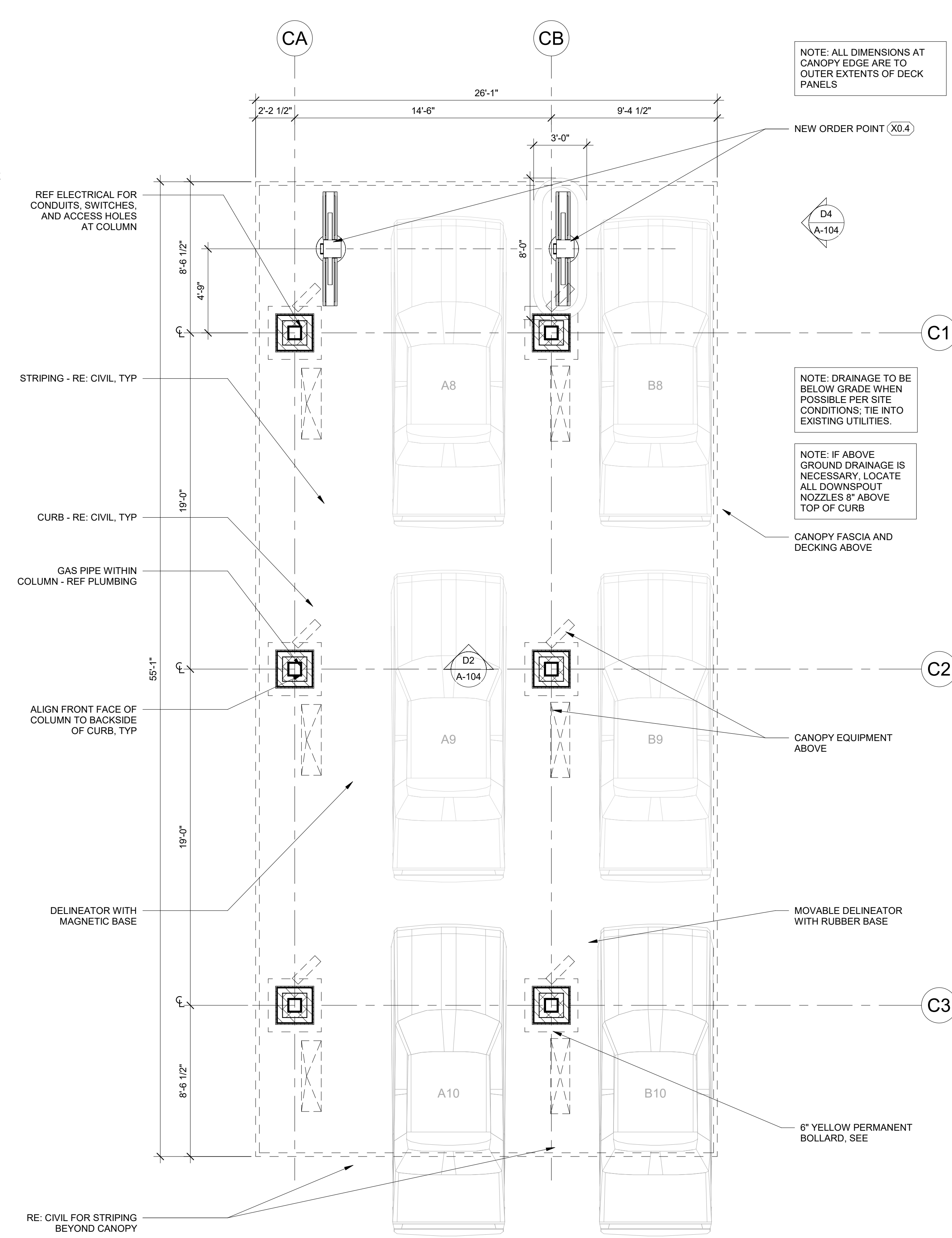
D2 ENTRY ELEVATION  
1/4" = 1'-0"



ORDER POINT EQUIPMENT SCHEDULE							
TAG	EQUIPMENT	APPLICABLE TIER			SUPPLIER	CONTACT	COMMENTS
		1	2	3			
X0.4	C7 ORDER POINT W/O CANOPY	-	X	X	UNISTRUCTURES OR CHANDLER SIGNS	Carolyn Ward (678-374-1759) c.ward@unistructures.com OR Kristen Hamilton, Amy McCann, or Scarlett Quintero (210-349-3804) CPA@chandler-signs.com	83" L x 15" W x 77" H. See shop drawings for more information. Dark Bronze textured finish. Route conduit from building to order point as indicated on drawings
X0.19	CLEARANCE TEXT	-	X	X	LANE OR FASHION	Larry Tolbert (705-545-7615) ltolbert@lanesupplyinc.com OR Jason Holmes (785-242-9111) jholmes@fashioninc.com	-



A2 ORDER POINT CANOPY REFLECTED CEILING PLAN  
1/4" = 1'-0"



A1 ORDER POINT CANOPY PLAN  
1/4" = 1'-0"



Chick-fil-A

Chick-fil-A  
5200 Buffington Road  
Atlanta, Georgia  
30349-2998

ROY A. WILLIAMS, ARCHITECT  
750 OLD HICKORY BLVD, SUITE 250  
BRENTWOOD, TN 37027  
PHONE: 615.377.3111  
EMAIL: GENMAIL@EANDHARCH.COM

PROTOTYPICAL SET

NOT FOR  
REGULATORY  
APPROVAL,  
BIDDING, OR  
CONSTRUCTION

CHICK-FIL-A  
WORTHINGTON FSU  
60 E WILSON BRIDGE RD  
WORTHINGTON, OH 43085

FSR#05269

BUILDING TYPE / SIZE: P14 SE LRG  
RELEASE: 22-08

DESIGN

REVISION SCHEDULE  
NO. DATE DESCRIPTION



CITY OF WORTHINGTON  
DRAWING NO. ARB-109-2022  
DATE 11/17/2023

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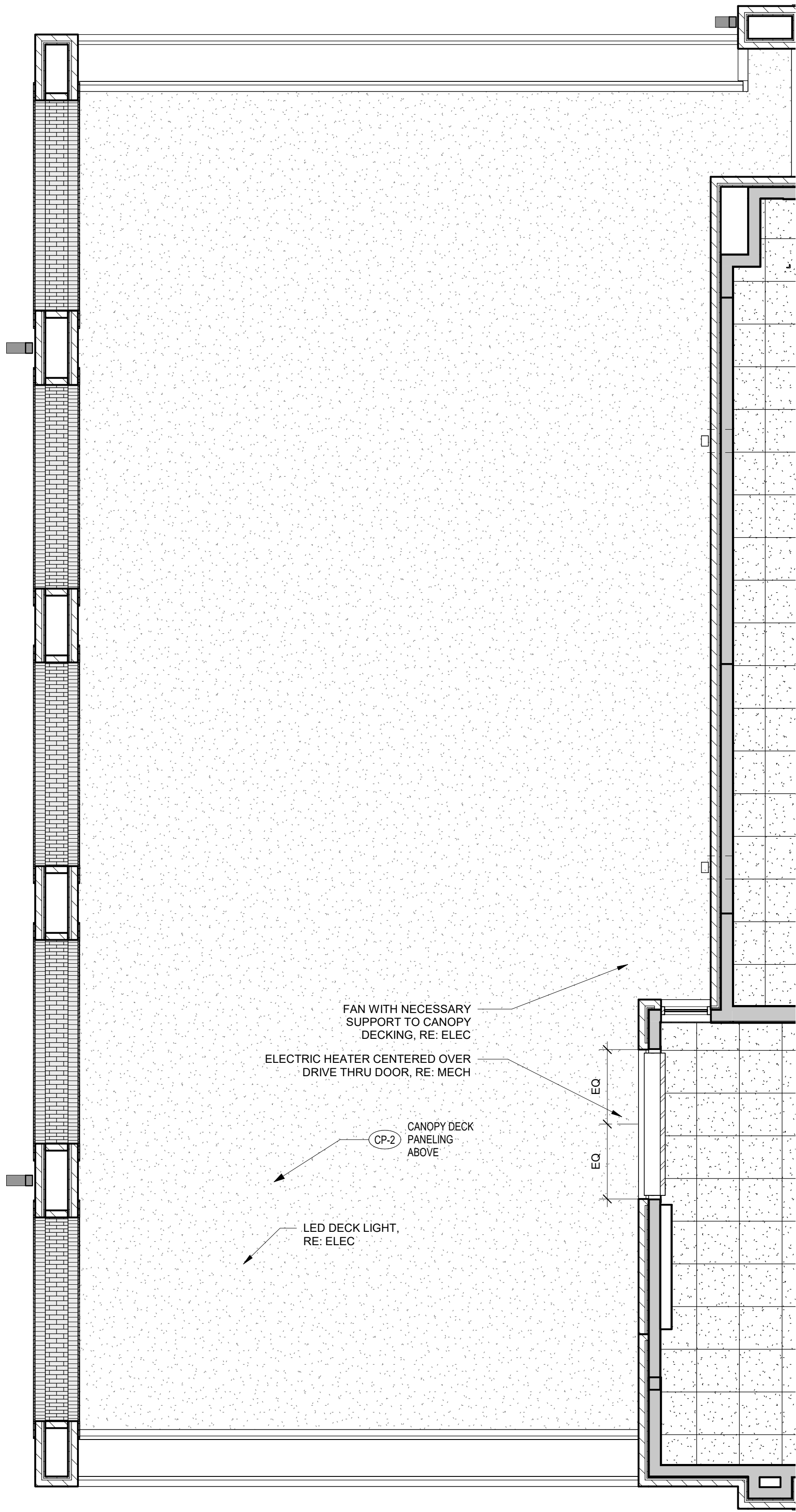
ORDER POINT CANOPY

SHEET NUMBER

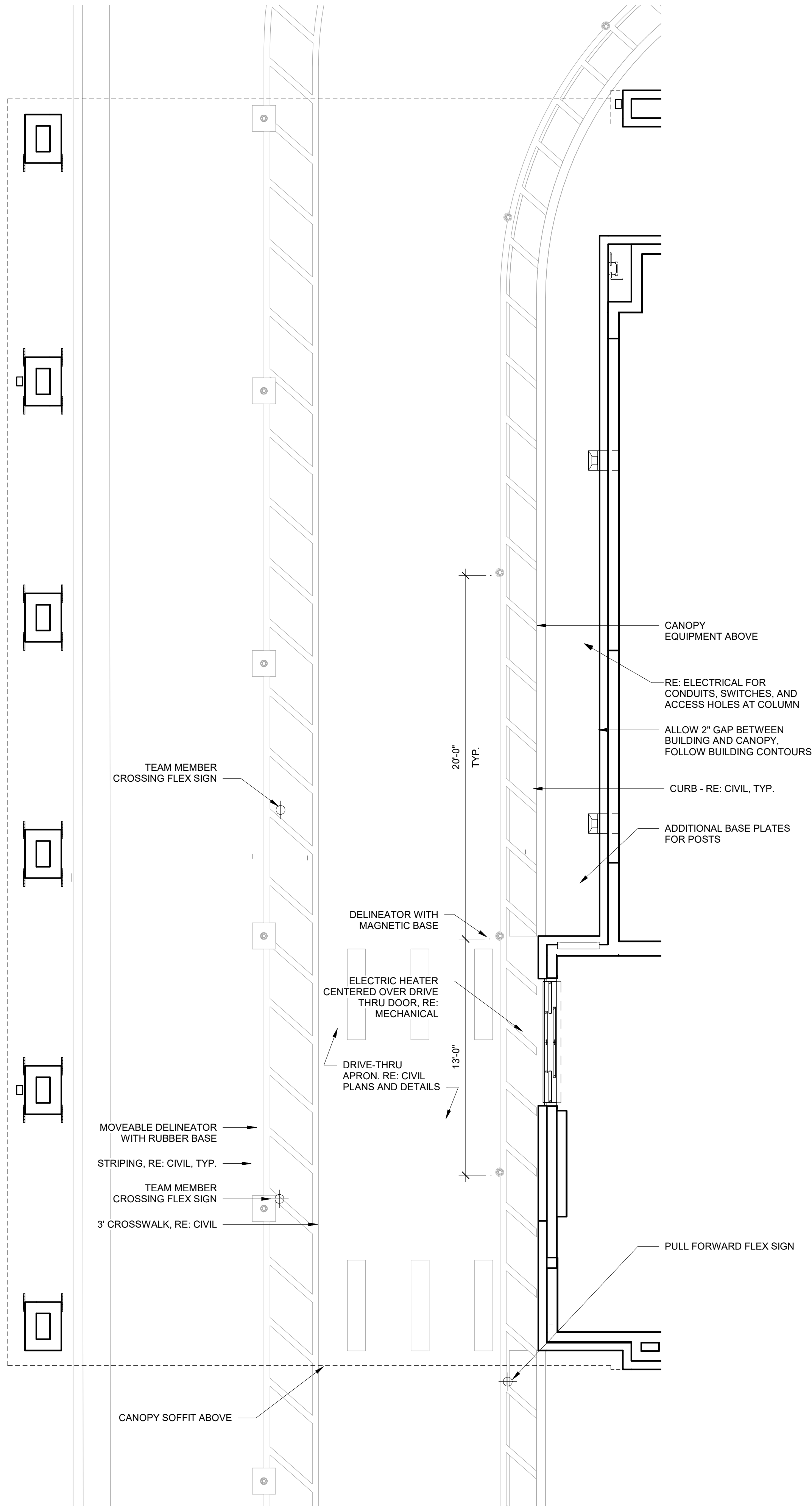
A-104



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B4 OUTSIDE MEAL DELIVERY CANOPY REFLECTED CEILING PLAN  
1/4" = 1'-0"



B2 OUTSIDE MEAL DELIVERY CANOPY PLAN  
1/4" = 1'-0"



**Chick-fil-A**  
5200 Buffington Road  
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30349-2998

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PHONE: 615.377.3111  
EMAIL: GENMAIL@EANDHARCH.COM

PROTOTYPICAL SET

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**CHICK-FIL-A**  
**WORTHINGTON FSU**  
**60 E WILSON BRIDGE RD**  
**WORTHINGTON, OH 43085**

**FSR#05269**

BUILDING TYPE / SIZE: P14 SE LRG  
RELEASE: 22-08

DESIGN

REVISION SCHEDULE  
NO. DATE DESCRIPTION



CITY OF WORTHINGTON  
DRAWING NO. ARB 109-2022  
MPC 09-2022  
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CONSULTANT PROJECT #  
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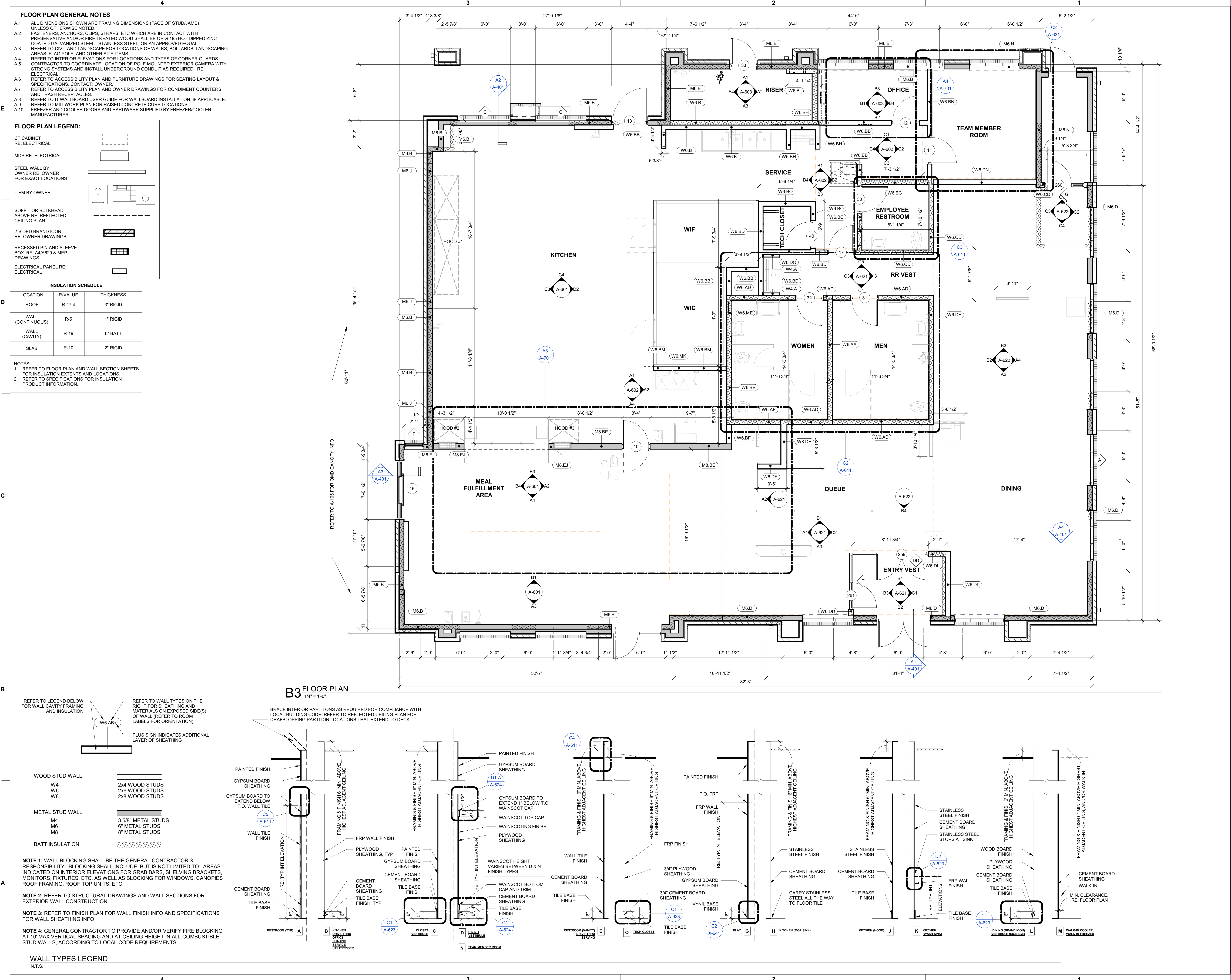
SHEET  
OUTSIDE MEAL DELIVERY  
CANOPY


SHEET NUMBER

**A-105**



11/15/2023 4:22:51 PM AutoCAD Docs:\OH\_05269\_Worthington (OH) FSU\_2022.9\_FSR05269\_Worthington (OH) FSU\_ARC.rvt 10-SE-05269-A-201-FLOOR PLAN





**Chick-fil-A**  
5200 Buffington Road  
Atlanta, Georgia  
30349-2998


ROY A. WILLIAMS, ARCHITECT  
750 OLD HICKORY BLVD, SUITE 250  
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PROTOTYPICAL SET

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**CHICK-FIL-A**  
**WORTHINGTON FSU**  
**60 E WILSON BRIDGE RD**  
**WORTHINGTON, OH 43085**

**FSR#05269**  
BUILDING TYPE / SIZE: P14 SE LRG  
RELEASE: 22-08  
PRINTED FOR  
**DESIGN**  
**REVISION SCHEDULE**  
NO. DATE DESCRIPTION

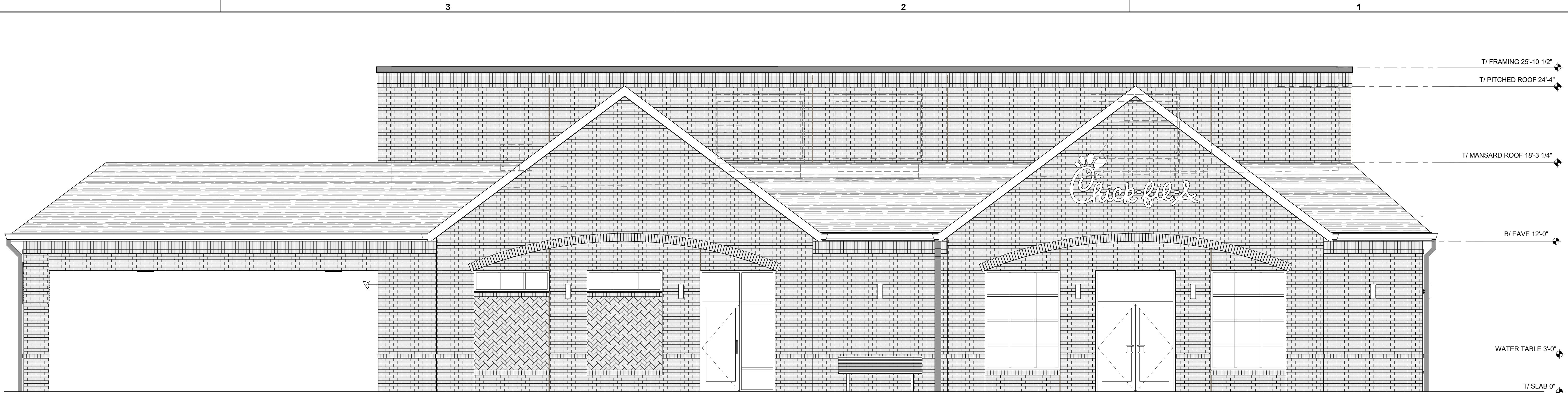


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MPC 09-2022  
DATE 11/17/2023

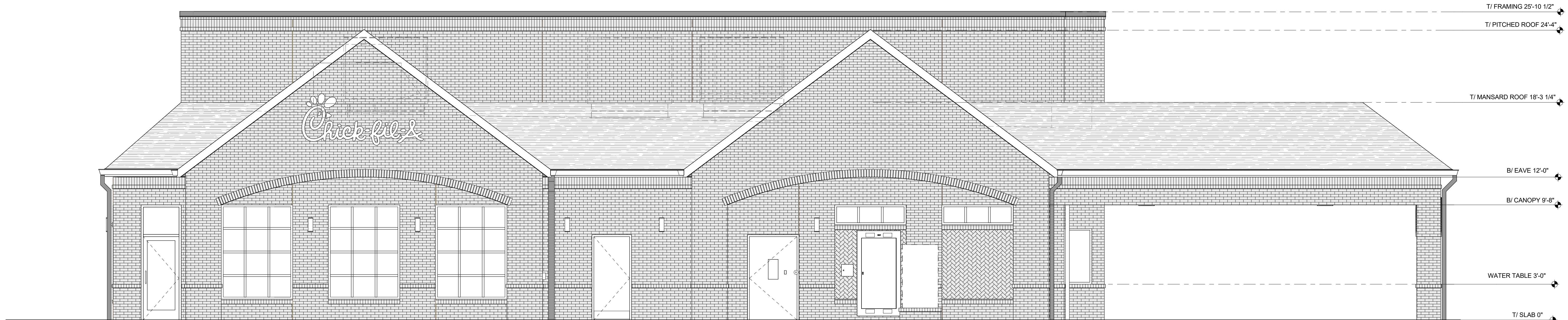
CONSULTANT PROJECT #  
DATE 11/15/2023  
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AUTHOR  
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SHEET  
**FLOOR PLAN**  
SHEET NUMBER  
**A-201**



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10-SE-05269-A-301-EXTERIOR ELEVATIONS



E4 EXTERIOR ELEVATION - EAST  
1/4" = 1'-0"



C4 EXTERIOR ELEVATION - WEST  
1/4" = 1'-0"

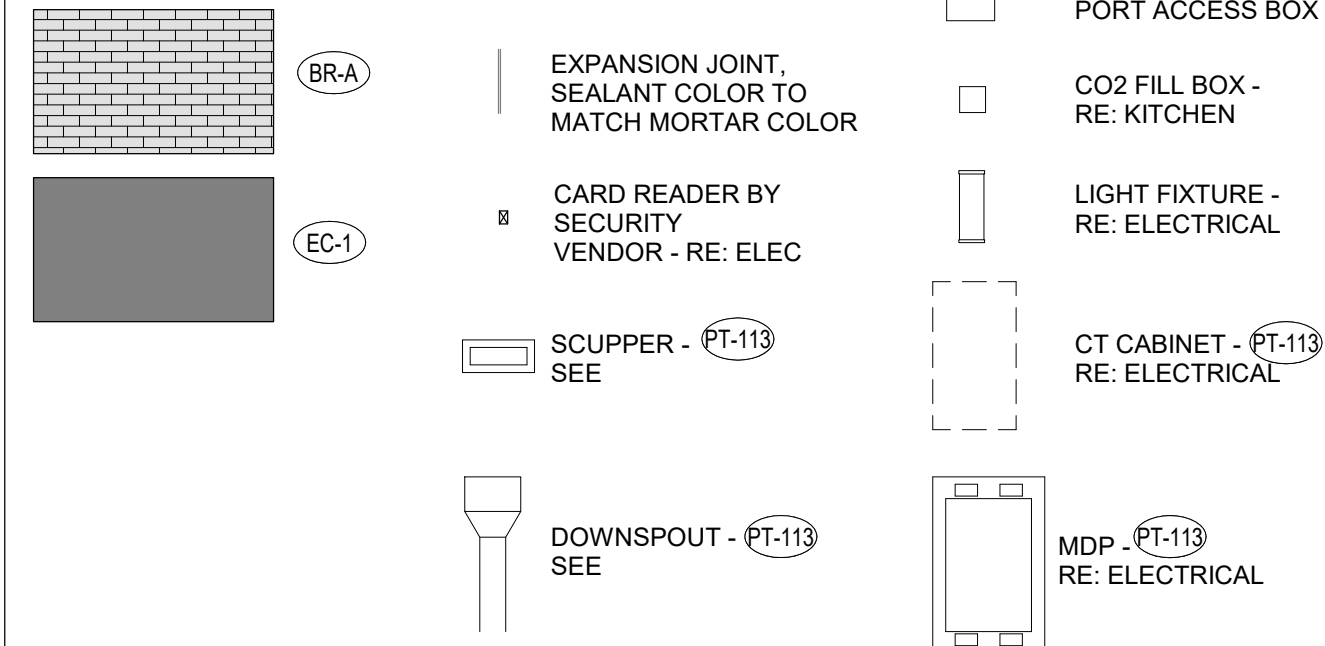
GENERAL NOTES  
1. ALL SIGNAGE PROVIDED BY OTHERS  
2. REF FLOOR PLAN AND WINDOW LEGEND FOR STOREFRONT INFORMATION

CANOPY NOTES:  
BUILDING MOUNTED CANOPIES - 8" THICK CANOPY  
- KYNAR FINISH OF STRUCTURE, FASCIA, & DECKING TO MATCH (CP-1)  
COLUMN MOUNTED CANOPIES - 10" THICK CANOPY  
- FINISH OF STRUCTURE TO BE (CP-1)  
- FINISH OF DECKING TO BE (CP-2)

#### FINISH SCHEDULE - EXTERIOR

MARK	DESCRIPTION	MANUFACTURER	MODEL NAME	MODEL NUMBER	COLOR	NOTE
BR-A	BRICK VENEER (PRIMARY)	GLEN-GERY	MODULAR	-	OLDE DETROIT	MORTAR: ARGOS SAN TAN / G402. CONTROL JOINTS TO MATCH RED BRICK
CP-1	CANOPY METAL FASCIA		DURA COAT	DC19ST-2703	DARK BRONZE	OIL RUBBED BRONZE METALLIC TEXTURE PVD
CP-2	CANOPY METAL DECK				WHITE	SMOOTH WHITE, HIGH GLOSS
EC-1	PARAPET WALL COPING	DUROLAST / EXCEPTIONAL METALS			MIDNIGHT BRONZE	
PT-100	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350	SW 2807	ROCKWOOD	REFUSE ENCLOSURE. FINISH: SEMI-GLOSS ON DOOR FRAMES, SATIN ON WALLS
PT-113	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350		DARK BRONZE	FINISH: SEMI-GLOSS
ST-1	STOREFRONT	YKK	YES 45		DARK BRONZE (MATTE)	SEE A-801 FOR GLAZING INFORMATION

#### LEGEND



**Chick-fil-A**  
5200 Buffington Road  
Atlanta, Georgia  
30349-2998

ROY A. WILLIAMS, ARCHITECT  
750 OLD HICKORY BLVD. SUITE 250  
BRENTWOOD, TN 37027  
PHONE: 615.377.3111  
EMAIL: GENMAIL@EANDHARCH.COM

PROTOTYPICAL SET

NOT FOR  
REGULATORY  
APPROVAL,  
BIDDING, OR  
CONSTRUCTION

**CHICK-FIL-A**  
**WORTHINGTON FSU**  
**60 E WILSON BRIDGE RD**  
**WORTHINGTON, OH 43085**

**FSR#05269**

BUILDING TYPE / SIZE: P14 SE LRG  
RELEASE: 22-08  
PRINTED FOR

DESIGN

REVISION SCHEDULE  
NO. DATE DESCRIPTION



CITY OF WORTHINGTON  
DRAWING NO. ARB 109-2022  
MPC 09-2022  
DATE 11/17/2023

CONSULTANT PROJECT # ###

DATE 11/15/2023

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EXTERIOR ELEVATIONS

SHEET NUMBER

**A-301**



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10-SE-05269-A-302-EXTERIOR ELEVATIONS

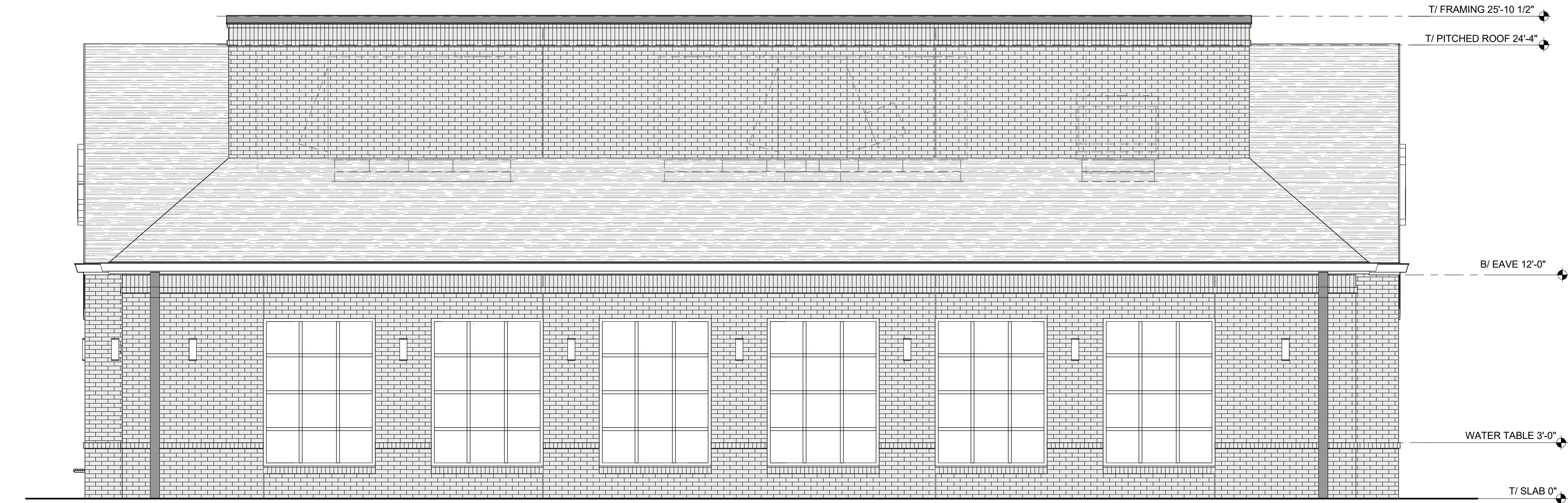
E

D

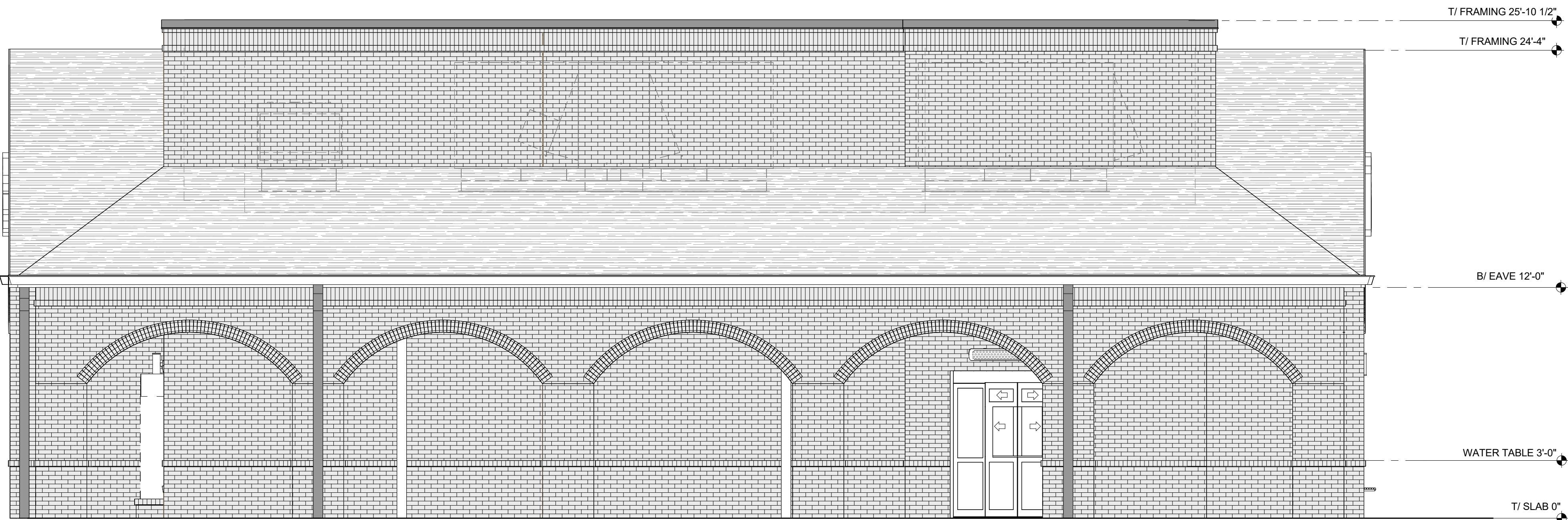
C

B

A



**D3** EXTERIOR ELEVATION - NORTH  
1/4" = 1'-0"



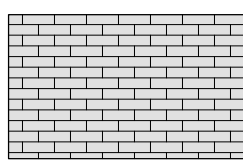
**B3** EXTERIOR ELEVATION - SOUTH  
1/4" = 1'-0"

FINISH SCHEDULE - EXTERIOR						
MARK	DESCRIPTION	MANUFACTURER	MODEL NAME	MODEL NUMBER	COLOR	NOTE
BR-A	BRICK VENEER (PRIMARY)	GLEN-GERY	MODULAR	-	OLDE DETROIT	MORTAR: ARGOS SAN TAN / G402, CONTROL JOINTS TO MATCH RED BRICK
CP-1	CANOPY METAL FASCIA		DURA COAT	DC19ST-2703	DARK BRONZE	OIL RUBBED BRONZE METALLIC TEXTURE PVD
CP-2	CANOPY METAL DECK				WHITE	SMOOTH WHITE, HIGH GLOSS
EC-1	PARAPET WALL COPING	DUROLAST / EXCEPTIONAL METALS			MIDNIGHT BRONZE	
PT-100	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350	SW 2807	ROOKWOOD	REFUSE ENCLOSURE, FINISH: SEMI-GLOSS ON DOOR FRAMES, SATIN ON WALLS
PT-113	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350		DARK BRONZE	FINISH: SEMI-GLOSS
ST-1	STOREFRONT	YKK	YES 45		DARK BRONZE (MATTE)	SEE A-801 FOR GLAZING INFORMATION

GENERAL NOTES  
1. ALL SIGNAGE PROVIDED BY OTHERS  
2. REF FLOOR PLAN AND WINDOW LEGEND FOR STOREFRONT INFORMATION

CANOPY NOTES:  
BUILDING MOUNTED CANOPIES - 8" THICK CANOPY  
- KYNAR FINISH OF STRUCTURE, FASCIA, & DECKING TO MATCH (CP-1)  
COLUMN MOUNTED CANOPIES - 10" THICK CANOPY  
- FINISH OF STRUCTURE TO BE (CP-1)  
- FINISH OF DECKING TO BE (CP-2)

LEGEND



EXPANSION JOINT, SEALANT COLOR TO MATCH MORTAR COLOR  
CARD READER BY SECURITY VENDOR - RE: ELEC

SCUPPER - PT-113  
SEE

DOWNSPOUT - PT-113  
SEE

OIL EXTRACTION PORT ACCESS BOX

CO2 FILL BOX - RE: KITCHEN  
LIGHT FIXTURE - RE: ELECTRICAL

CT CABINET - PT-113  
RE: ELECTRICAL

MDP - PT-113  
RE: ELECTRICAL



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30349-2998

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PHONE: 615.377.3111  
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PROTOTYPICAL SET

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APPROVAL,  
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CONSTRUCTION

**CHICK-FIL-A**  
**WORTHINGTON FSU**  
60 E WILSON BRIDGE RD  
WORTHINGTON, OH 43085

**FSR#05269**

BUILDING TYPE / SIZE: P14 SE LRG  
RELEASE: 22/08

DESIGN

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
-----	------	-------------



CITY OF WORTHINGTON  
DRAWING NO. ARB 109-2022  
MPC 09-2022  
DATE 11/17/2023

CONSULTANT PROJECT # ###  
DATE 11/15/2023

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EXTERIOR ELEVATIONS

SHEET NUMBER

**A-302**







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E4 EXTERIOR ELEVATION - EAST  
1/4" = 1'-0"



D4 EXTERIOR ELEVATION - WEST  
1/4" = 1'-0"



B4 EXTERIOR ELEVATION - NORTH  
1/4" = 1'-0"



A4 EXTERIOR ELEVATION - SOUTH  
1/4" = 1'-0"



FINISH SCHEDULE - EXTERIOR						
MARK	DESCRIPTION	MANUFACTURER	MODEL NAME	MODEL NUMBER	COLOR	NOTE
BR-A	BRICK VENEER (PRIMARY)	GLEN-GERY	MODULAR		OLDE DETROIT	MORTAR: ARGOS SAN TAN / G402, CONTROL JOINTS TO MATCH RED BRICK
CP-1	CANOPY METAL FASCIA		DURA COAT	DC19ST-2703	DARK BRONZE	OIL RUBBED BRONZE METALLIC TEXTURE PVD
CP-2	CANOPY METAL DECK				WHITE	SMOOTH WHITE, HIGH GLOSS
EC-1	PARAPET WALL COPING	DUROLAST / EXCEPTIONAL METALS			MIDNIGHT BRONZE	
PT-100	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350	SW 2807	ROOKWOOD	REFUSE ENCLOSURE, FINISH: SEMI-GLOSS ON DOOR FRAMES, SATIN ON WALLS
PT-113	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350		DARK BRONZE	FINISH: SEMI-GLOSS
ST-1	STOREFRONT	YKK	YES 45		DARK BRONZE (MATTED)	SEE A-801 FOR GLAZING INFORMATION

GENERAL NOTES  
1. ALL SIGNAGE PROVIDED BY OTHERS  
2. REF FLOOR PLAN AND WINDOW LEGEND FOR STOREFRONT INFORMATION

#### ATTACHED CANOPY SCHEDULE

Mark	Description	Count	Overall Width	Overall Depth	Tie Back Mounting (Offset From Top)	Integral Lighting
------	-------------	-------	---------------	---------------	-------------------------------------	-------------------

CANOPY NOTES:  
BUILDING MOUNTED CANOPIES  
- 8" THICK CANOPY  
- KYNAR FINISH OF STRUCTURE, FASCIA, & DECKING TO MATCH (CP-1)  
COLUMN MOUNTED CANOPIES  
- 10" THICK CANOPY  
- FINISH OF STRUCTURE TO BE (CP-1)  
- FINISH OF DECKING TO BE (CP-2)

#### EXTERIOR FINISHES



(BR-A)  
BRICK VENEER  
COLOR: OLDE DETROIT  
SIZE: MODULAR  
\*CONTROL JOINTS TO MATCH RED BRICK

(EC-1)  
PREFINISHED METAL COPING  
COLOR: MIDNIGHT BRONZE

(PT-113)  
EXTERIOR PAINT  
COLOR: DARK BRONZE  
FINISH: SEMI-GLOSS

(ST-1)  
STOREFRONT  
COLOR: DARK BRONZE



Chick-fil-A

Chick-fil-A  
5200 Buffington Road  
Atlanta, Georgia  
30349-2998

ROY A. WILLIAMS, ARCHITECT  
750 OLD HICKORY BLVD, SUITE 250  
BRENTWOOD, TN 37027  
PHONE: 615.377.3111  
EMAIL: GENMAIL@EANDHARCH.COM

PROTOTYPICAL SET

NOT FOR  
REGULATORY  
APPROVAL,  
BIDDING, OR  
CONSTRUCTION

CHICK-FIL-A  
WORTHINGTON FSU  
60 E WILSON BRIDGE RD  
WORTHINGTON, OH 43085

FSR#05269

BUILDING TYPE / SIZE: P14 SE LRG  
RELEASE: 22.08

PRINTED FOR DESIGN

REVISION SCHEDULE  
NO. DATE DESCRIPTION



CITY OF WORTHINGTON  
DRAWING NO. ARB 109-2022  
DATE 11/17/2023

CONSULTANT PROJECT #  
DATE 11/15/2023

DRAWN BY: Author  
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EXTERIOR ELEVATIONS  
COLOR

SHEET  
SHEET NUMBER

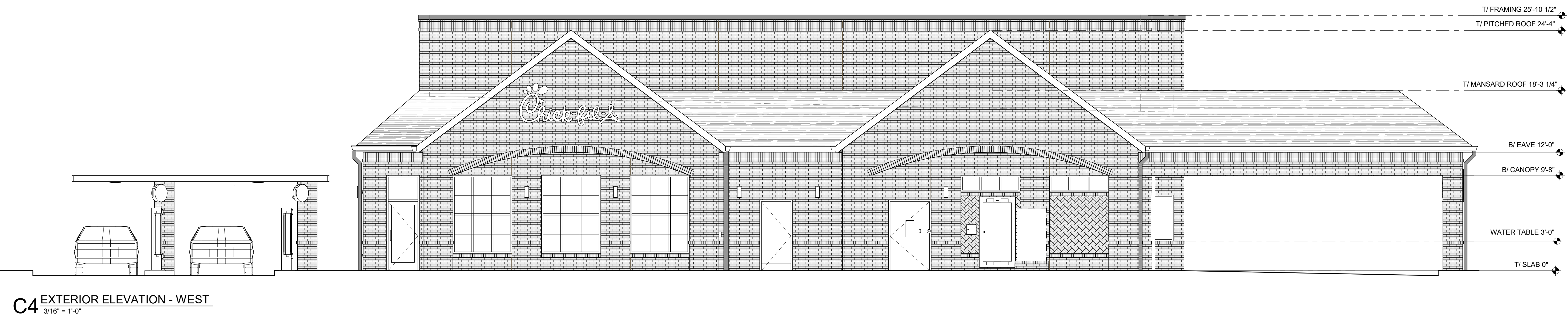
A-304



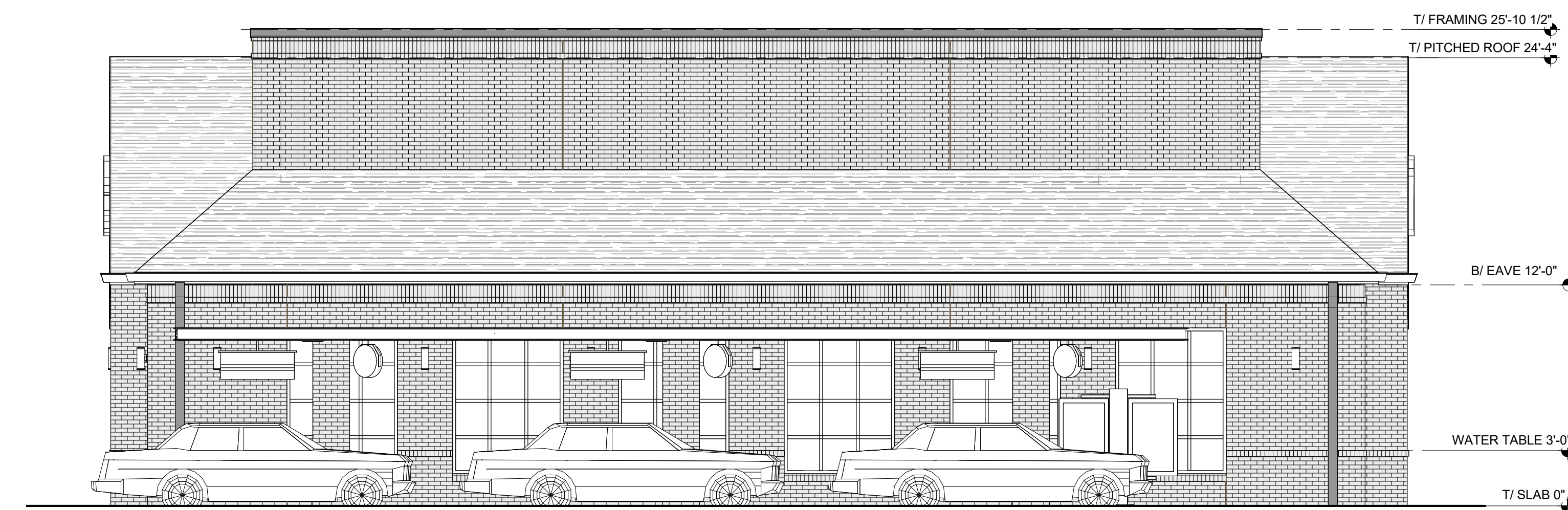
11/15/2023 4:24:52 PM 10-SE-05269-A-306-SITE ELEVATIONS  
Autodesk Docs: /OH\_05269\_Worthington (OH) FSU\_2022.9\_FSR05269\_Worthington (OH) FSU\_ARC.rvt



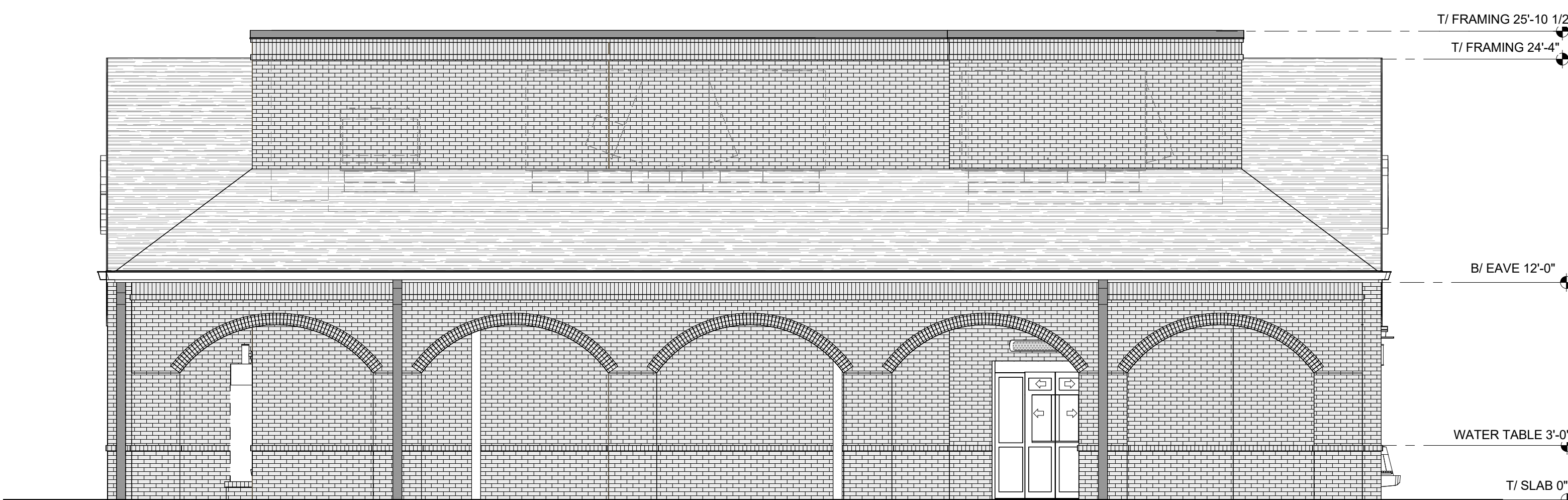
D4 EXTERIOR ELEVATION - EAST  
3/16" = 1'-0"



C4 EXTERIOR ELEVATION - WEST  
3/16" = 1'-0"



B2 EXTERIOR ELEVATION - NORTH  
3/16" = 1'-0"



A2 EXTERIOR ELEVATION - SOUTH  
3/16" = 1'-0"



**Chick-fil-A**  
5200 Buffington Road  
Atlanta, Georgia  
30349-2998

ROY A. WILLIAMS, ARCHITECT  
750 OLD HICKORY BLVD, SUITE 250  
BRENTWOOD, TN 37027  
PHONE: 615.377.3111  
EMAIL: GENMAIL@EANDHARCH.COM

PROTOTYPICAL SET

NOT FOR  
REGULATORY  
APPROVAL,  
BIDDING, OR  
CONSTRUCTION

**CHICK-FIL-A**  
**WORTHINGTON FSU**  
**60 E WILSON BRIDGE RD**  
**WORTHINGTON, OH 43085**

**FSR#05269**

BUILDING TYPE / SIZE: P14 SE LRG  
RELEASE: 22-08

DESIGN

REVISION SCHEDULE  
NO. DATE DESCRIPTION



CITY OF WORTHINGTON  
DRAWING NO. ARB 109-2022  
MPC 09-2022  
DATE 11/17/2023

CONSULTANT PROJECT #  
DATE 11/15/2023

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SHEET  
SITE ELEVATIONS

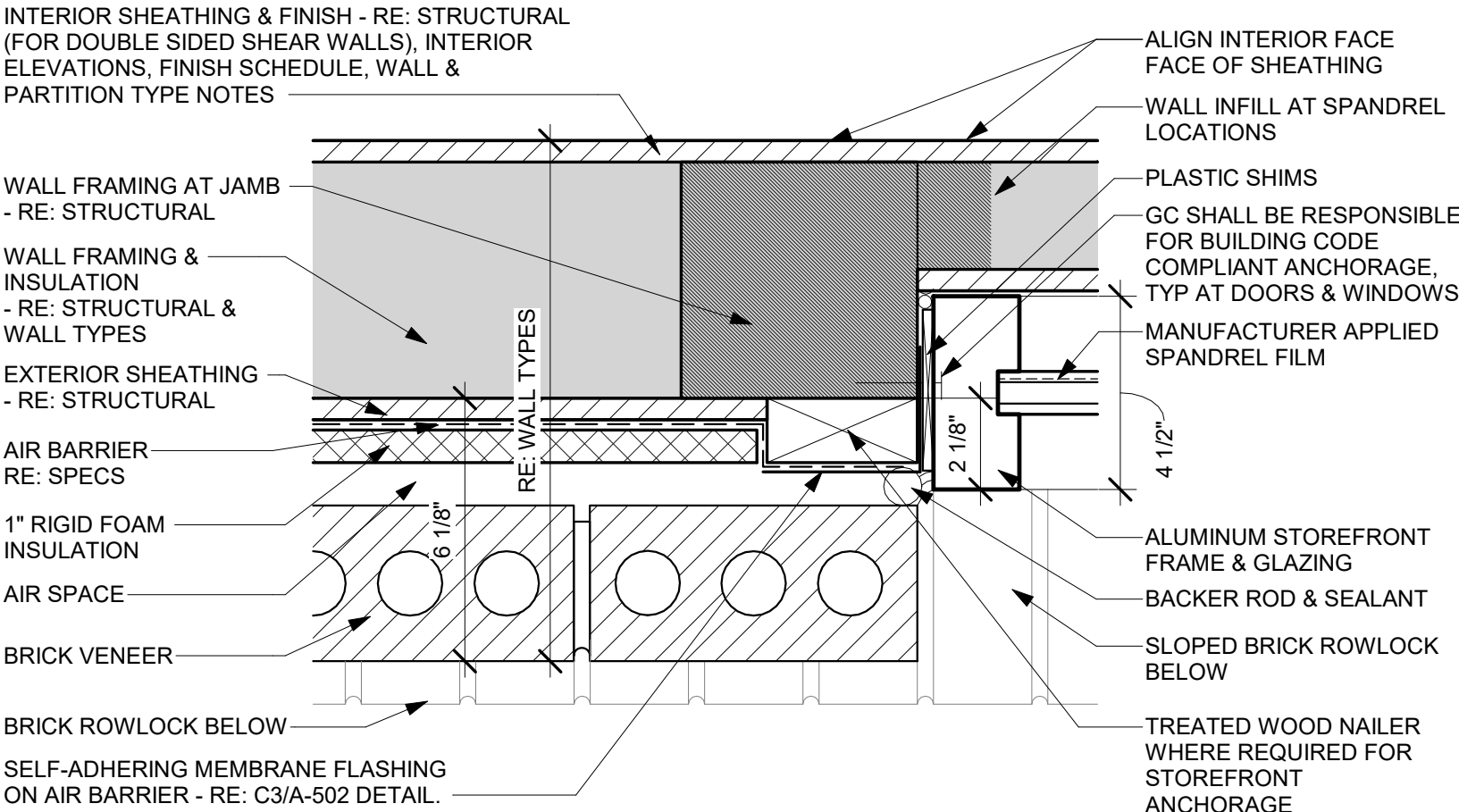
SHEET NUMBER

**A-306**





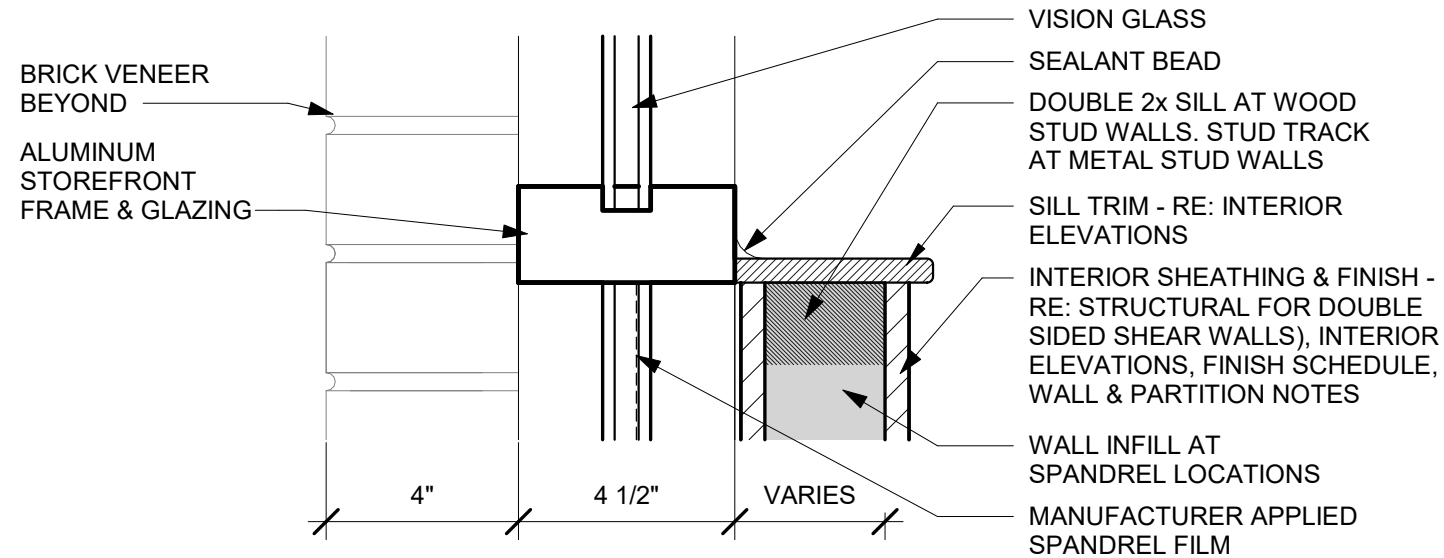
Clear Glass  
Spandrel Glass



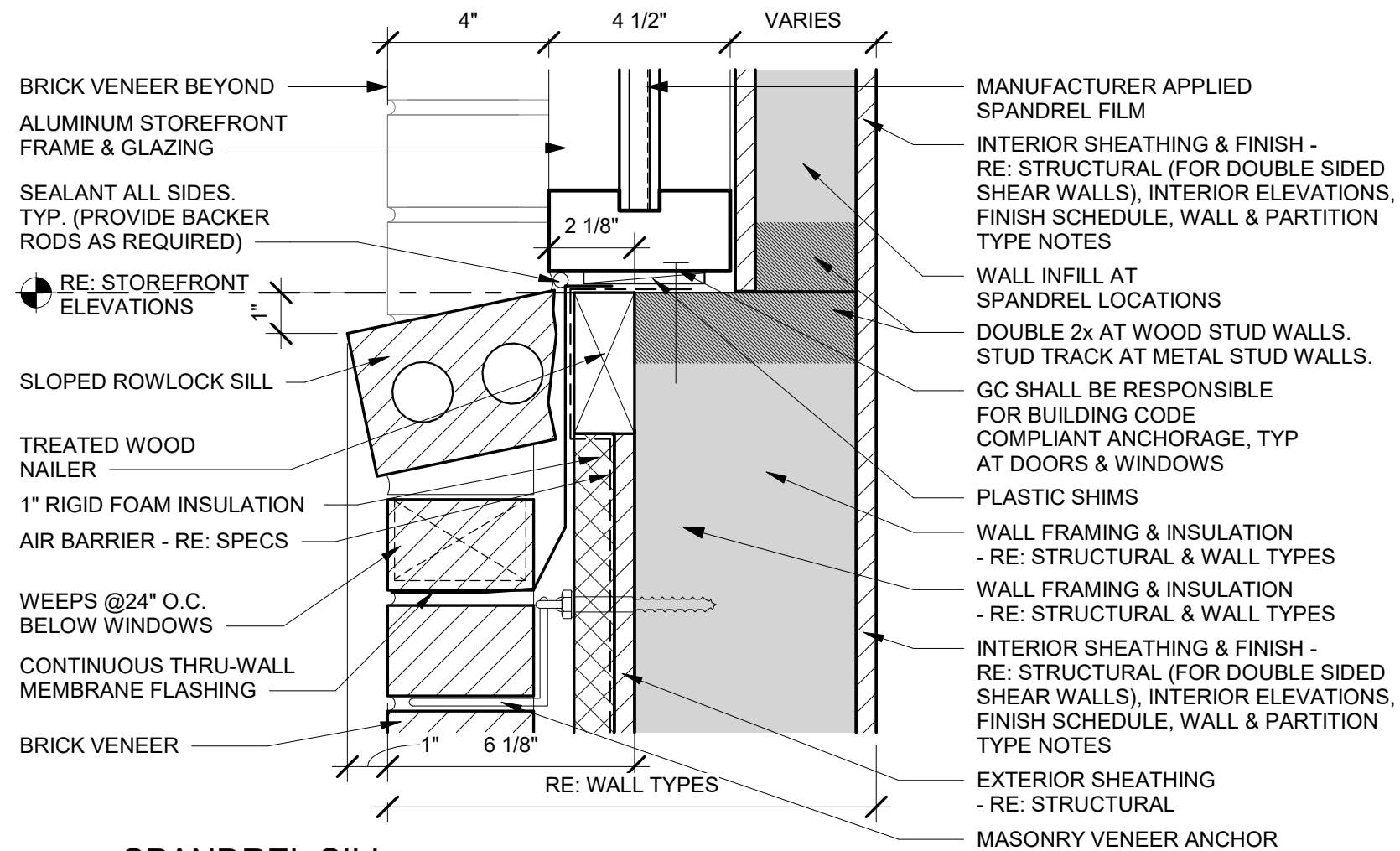
**A1** SPANDREL JAMB  
3" = 1'-0"

SPANDREL DETAILS





**B1** SPANDREL TO TRANSOM SECTION  
3" = 1'-0"



**A1** SPANDREL SILL  
3" = 1'-0"

SPANDREL DETAILS



CITY OF WORTHINGTON  
DRAWING NO. ARB 109-2022  
MPC 09-2022  
DATE 11/17/2023

11/15/2023



11/15/2023 4:20:54 PM  
X-002

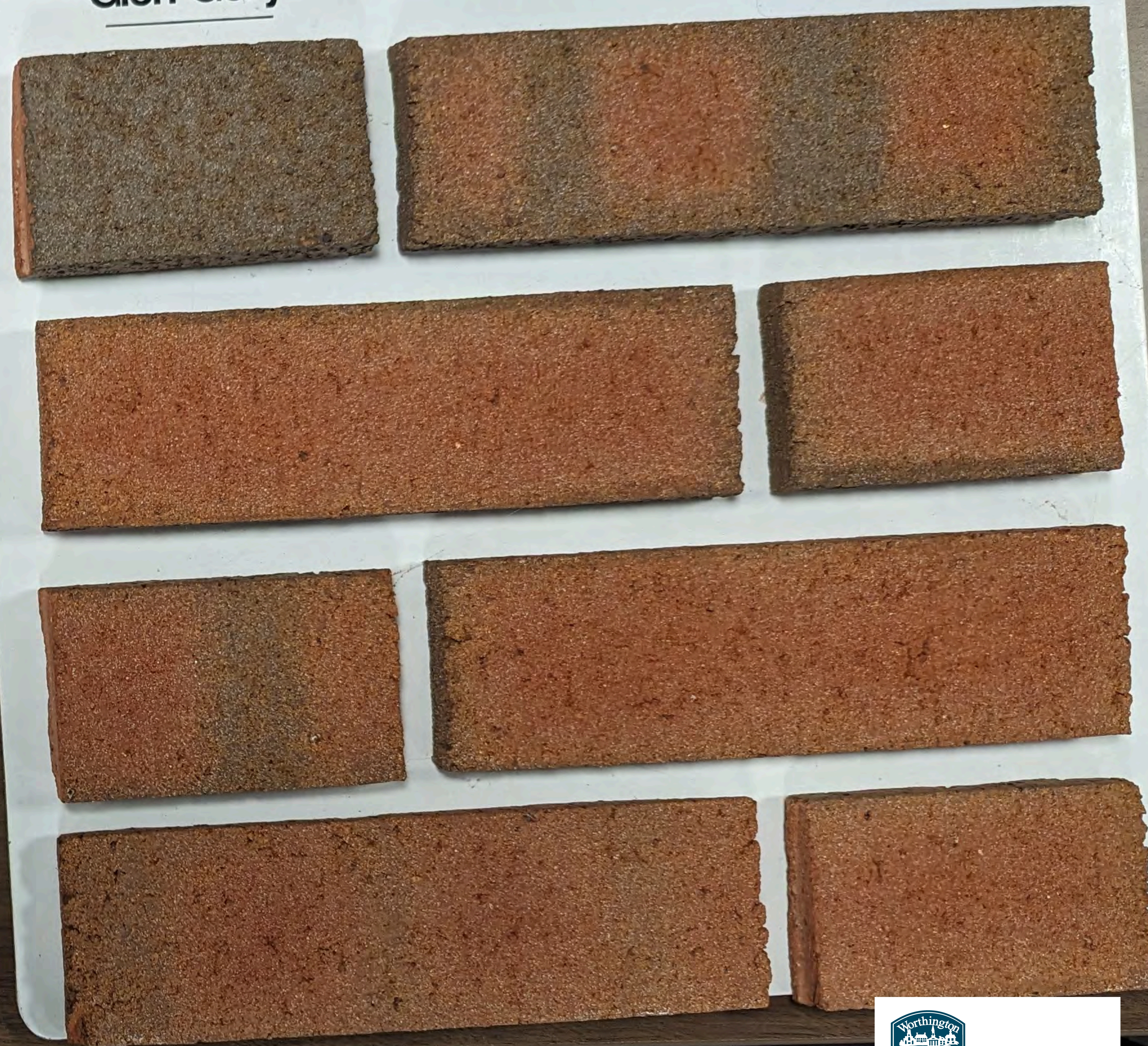




RICHMOND  
Modular



RICHMOND  
Modular

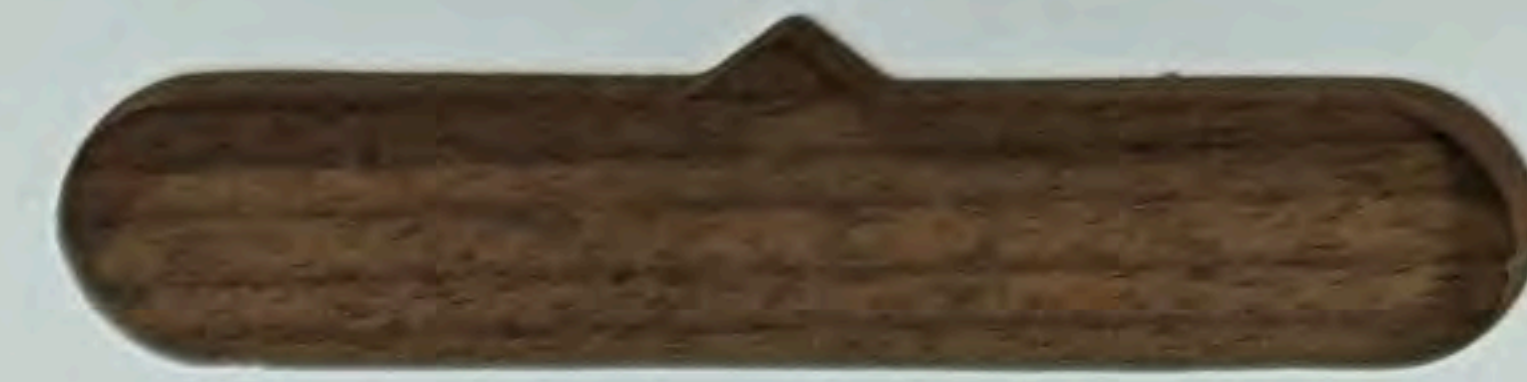


CITY OF WORTHINGTON  
DRAWING NO. ARB 109-2022  
MPC 09-2022  
DATE 11/17/2023





ABERDEEN  
Modular or Modular Thin



ABERDEEN  
Modular or Modular Thin



CITY OF WORTHINGTON  
DRAWING NO. ARB 109-2022  
MPC 09-2022  
DATE 11/17/2023





OLDE DETROIT  
Modular or Modular Thin



OLDE DETROIT  
Modular or Modular Thin



CITY OF WORTHINGTON  
DRAWING NO. ARB 109-2022  
MPC 09-2022  
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*Since 1965*

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Please see below the list of changes made based on comments. The changes are broken out by page.

**Re: Proposed Chick-fil-A East Wilson Bridge Road**

- Overall - Signs that are regulated by the sign ordinance have been separated into sets from signs that are not regulated and are traffic safety signs.
- Site Plan
  - Sign C (north wall) was removed.
  - Sign D (south wall) was removed.
  - One sign P directional sign was removed.
- Building Elevations
  - Sign C (north wall) was removed.
  - Sign D (south wall) was removed.
- Sign A1 – Freestanding Sign
  - Changed the faces to be opaque backgrounds.
- Sign A2 - Freestanding Sign
  - Changed the faces to be opaque backgrounds.
- Location B (wall sign)
  - The size of the sign was changed from 5'-0" to 4'-6".
- Location E (wall sign)
  - The size of the sign was changed from 5'-0" to 4'-6".
- Location P
  - The height of directional sign was reduced to 3'-0".
- Location FP
  - The height of the flagpole was reduced to 25' tall.

Regards,

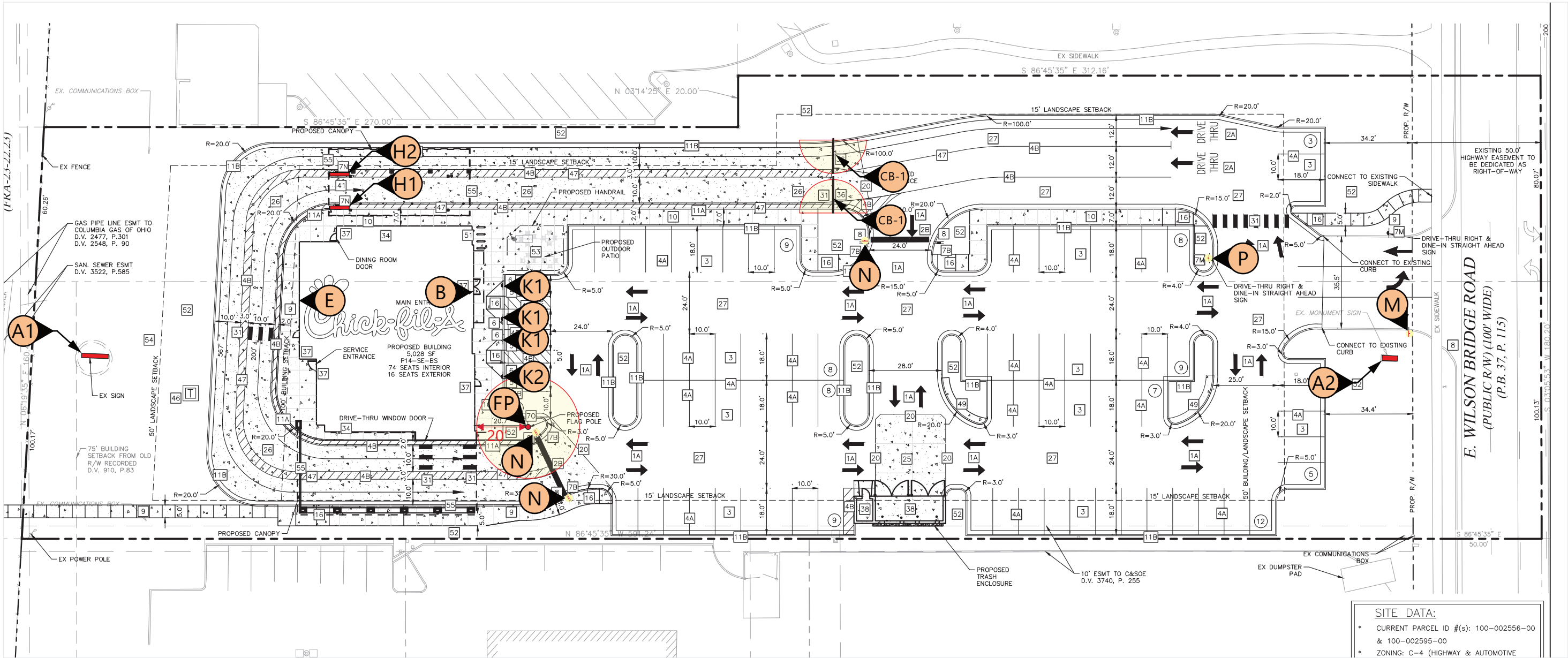
Ben Holliday - Clayton Signs, Inc.



CITY OF WORTHINGTON  
DRAWING NO. ARB 109-2022  
MPC 09-2022  
DATE 11/17/2023

Item	Description	Qty	Sign Area	Allowed
A1	Renovate Existing Main ID Sign	1	EXISTING	EXISTING
A2	Renovate Existing Main ID Sign	1	EXISTING	EXISTING
B	Wall Sign - Script 4.5'	1	47.58	BELOW
D	Wall Sign - Script 4.5'	1	47.58	BELOW
Aggregate Totals			95.16	100.00

Item	Description	Qty
K1	DOT - Handicapped Parking	3
K2	DOT - Handicapped Parking (Van)	1
M	DOT - Stop	1
N	DOT - Stop / Do Not Enter	3
P	DOT - Drive Thru Dine In with arrows	1
H1-H2	Menu Board (Lane 1 and 2)	2
CB-1	Clearance Bar (single) 13.00'	2
FP	Flag pole (25')	1



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SITE PLAN

DRAWING FILE - CFA - WORTHINGTON, OH SIGNAGE.CDR

ALL ELECTRICAL  
SIGNS ARE  
120 VOLTS  
UNLESS  
OTHERWISE INDICATED

DRAWN BY Ben Holliday  
ACCOUNT REP. Ben Holliday  
DRAWING DATE August 23, 2022  
REVISION DATE November 1, 2023

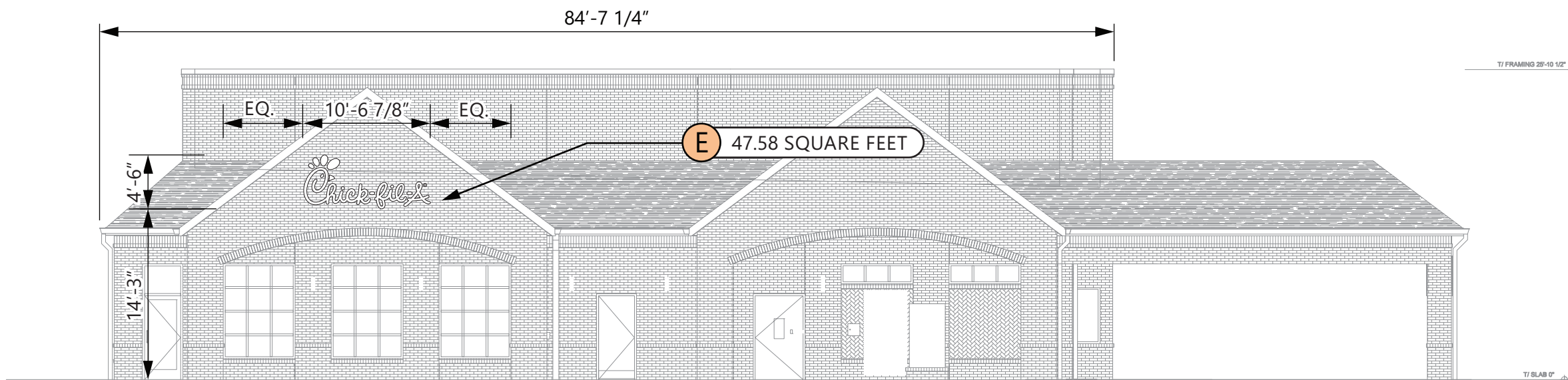
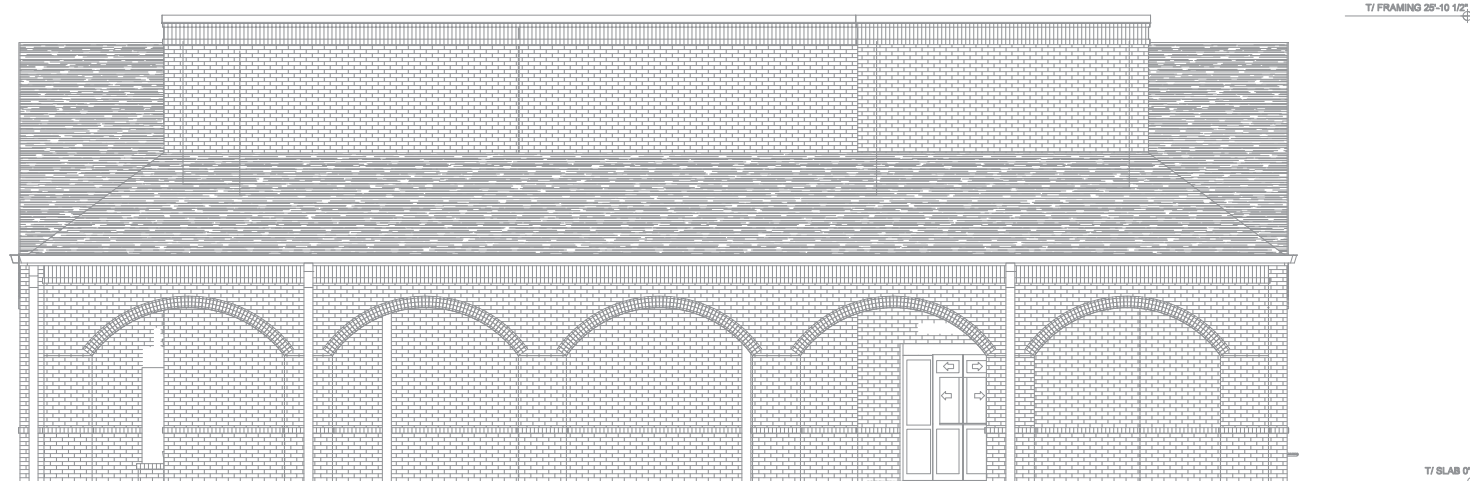
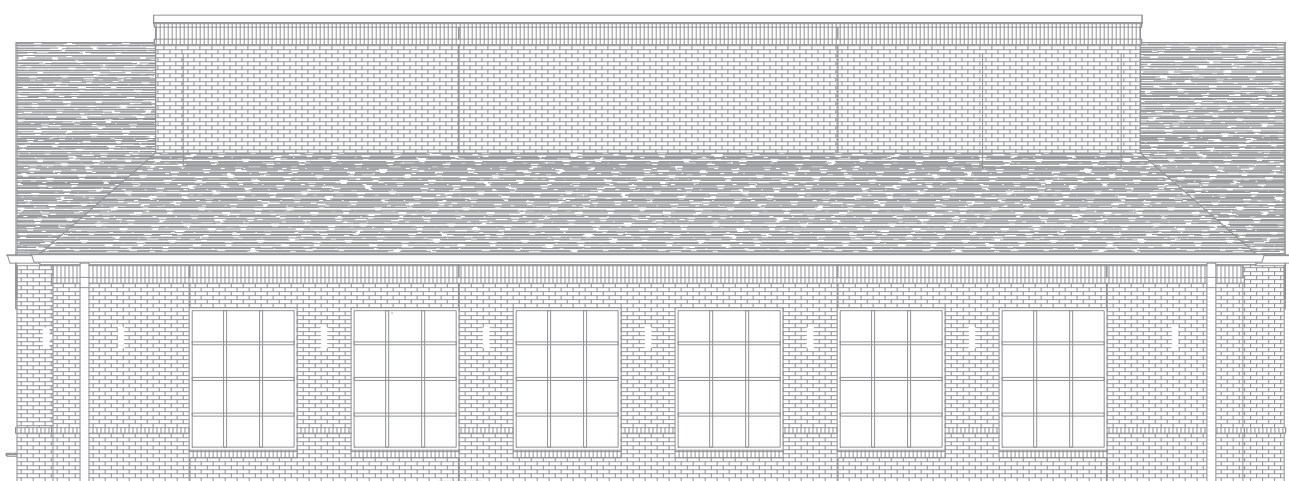
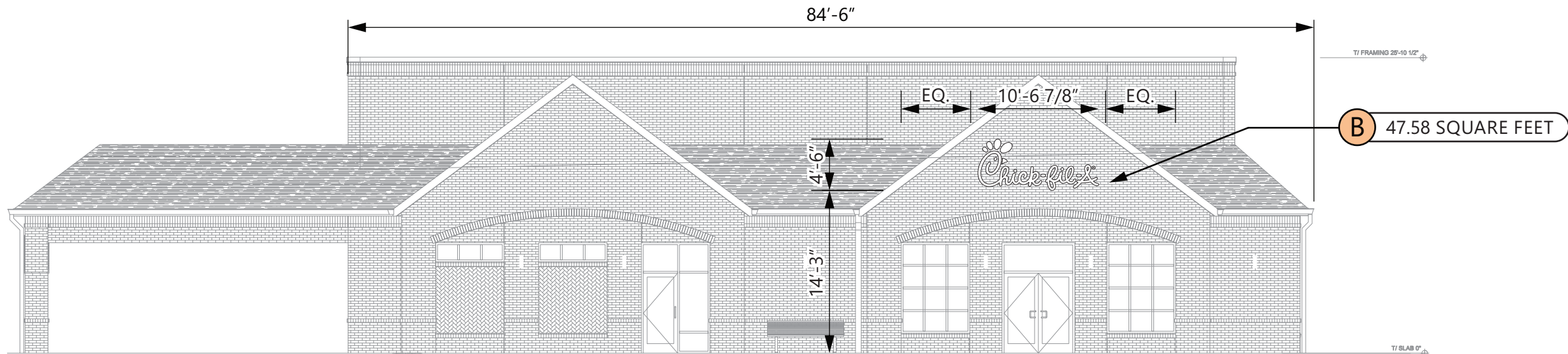
STORE NUMBER	STORE ADDRESS
L05269	Chick-fil-A at Worthington, OH 60 E. Wilson Bridge Road Worthington, OH 43085

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SITE  
PLAN





# ELEVATIONS

SCALE - 3/32" = 1'- 0"



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## ELEVATIONS

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ALL ELECTRICAL  
SIGNS ARE  
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DRAWN BY Ben Holliday  
ACCOUNT REP. Ben Holliday  
DRAWING DATE August 23, 2022  
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CITY OF WORTHINGTON  
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MPC 09-2022  
DATE 11/17/2023

BUILDING  
ELEVATIONS

SPECIFICATIONS

- RENOVATE EXISTING SIGN WITH THE FOLLOWING:
- REPLACE FACES IN BOTH CABINETS ON BOTH SIDES
- REPAINT CABINETS AND POLES
- REPLACE INTERIOR LIGHTING WITH LED'S
- UPPER CABINET FACES ARE WHITE acrylic FACE DECORATED WITH VINYL FILM GRAPHICS.



3M #3630-53 TRANSLUCENT CARDINAL RED (OPAQUE)



WHITE FLEX  
7328 WHITE ACRYLIC



MATTHEWS #74155 DARK BRONZE



BEFORE



AFTER

BACKGROUND MUST BE OPAQUE



ELEVATION  
SCALE - 1/2" = 1'- 0"



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RENOVATE EXISTING SIGN

DRAWING FILE - CFA - WORTHINGTON, OH SIGNAGE.CDR

ALL ELECTRICAL  
SIGNS ARE  
120 VOLTS  
UNLESS  
OTHERWISE INDICATED

DRAWN BY	Ben Holliday
ACCOUNT REP.	Ben Holliday
DRAWING DATE	August 23, 2022
REVISION DATE	November 1, 2023

STORE NUMBER	STORE ADDRESS
L05269	Chick-fil-A at Worthington, OH 60 E. Wilson Bridge Road Worthington, OH 43085

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DRAWING NO. ARB 109-2022  
MPC 09-2022  
DATE 11/17/2023

LOCATION  
A1



SPECIFICATIONS

- RENOVATE EXISTING SIGN WITH THE FOLLOWING:
- REPLACE FACES IN BOTH CABINETS ON BOTH SIDES
- REPAINT CABINET
- REPLACE INTERIOR LIGHTING WITH LED'S



3M #3630-53 TRANSLUCENT CARDINAL RED (OPAQUE)



WHITE FLEX  
7328 WHITE ACRYLIC



MATTHEWS #74155 DARK BRONZE

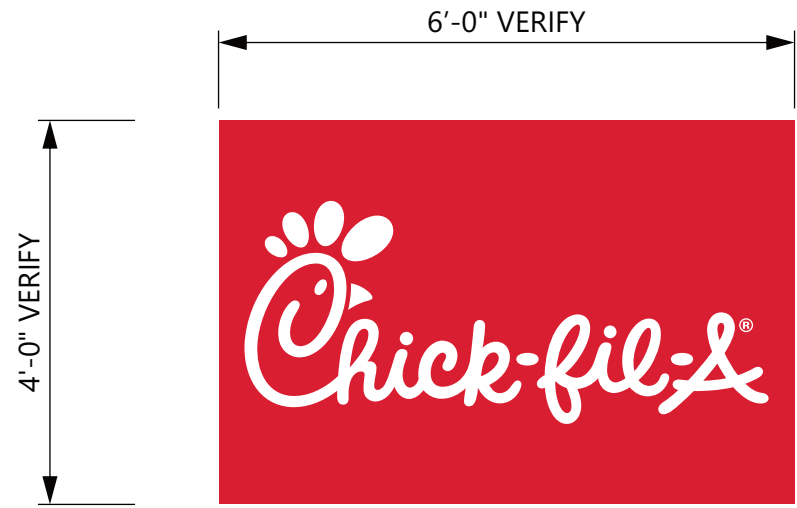


BEFORE



AFTER

BACKGROUND MUST BE OPAQUE



ELEVATION  
SCALE - 1/2" = 1'- 0"



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RENOVATE EXISTING SIGN


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ALL ELECTRICAL  
SIGNS ARE  
120 VOLTS  
UNLESS  
OTHERWISE INDICATED

DRAWN BY	Ben Holliday
ACCOUNT REP.	Ben Holliday
DRAWING DATE	August 23, 2022
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STORE NUMBER	STORE ADDRESS
L05269	Chick-fil-A at Worthington, OH 60 E. Wilson Bridge Road Worthington, OH 43085

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MPC 09-2022  
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LOCATION  
A2

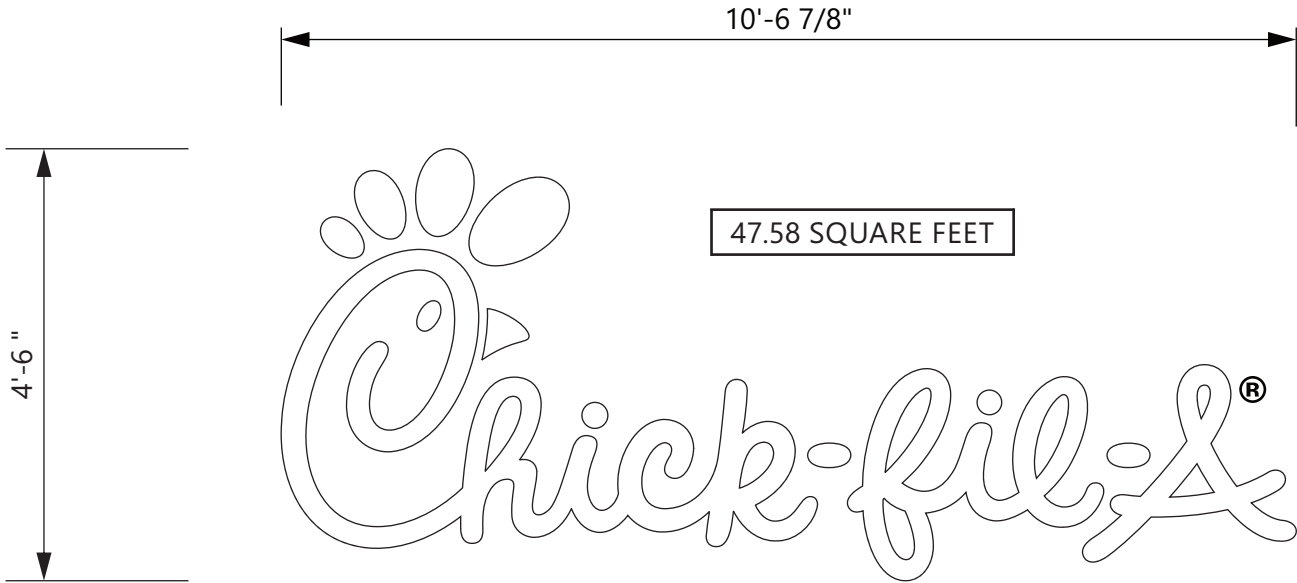


SPECIFICATIONS

CHICK-FIL-A SCRIPT LETTERS  
LETTERS ARE LED-ILLUMINATED  
CHANNEL LETTERS MOUNTED  
ON ALUMINUM SURFACE OF BUILDING  
WITH TRANSFORMERS REMOTELY  
LOCATED BEHIND THE WALL IN  
UL APPROVED TRANSFORMER BOXES.  
FACES ARE 3/16" ACRYLIC  
RETURNS ARE .063 ALUMINUM  
BACKS ARE .080 ALUMINUM  
ALL RETURNS ARE ARC-WELDED TO  
LETTER BACKS

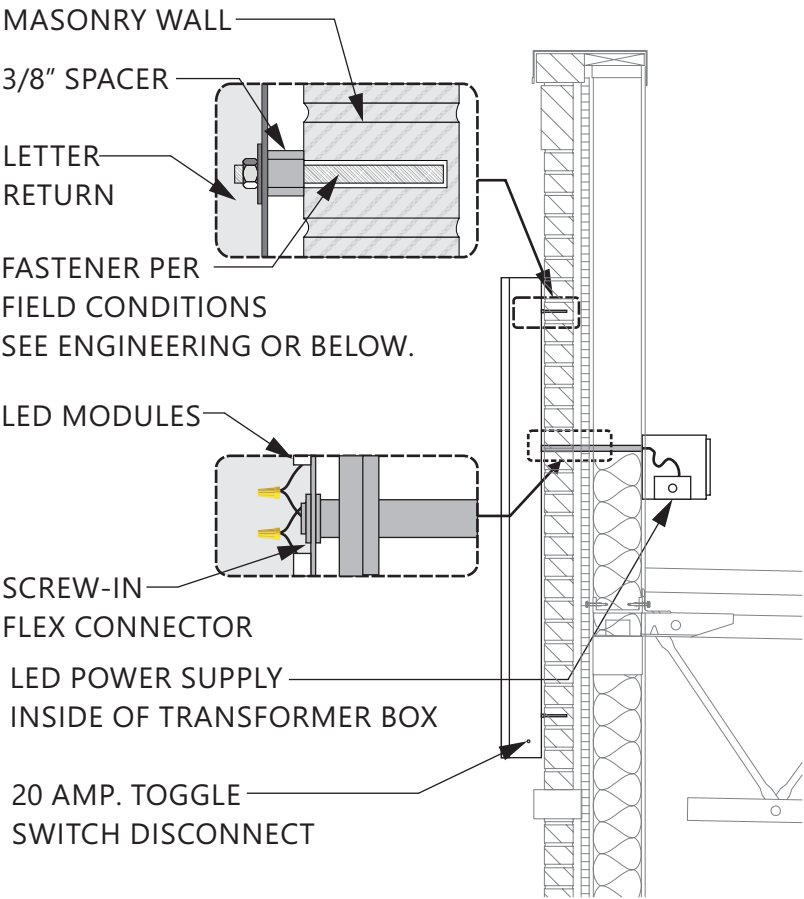


WHITE ACRYLIC  
1" WHITE JEWELITE TRIMCAP  
WHITE RETURNS  
WHITE LED'S



ELEVATION

SCALE - 1/2" = 1'- 0"



FASTENER NOTE:  
USE 18-8 STAINLESS STEEL BOLTS W/ SPACERS THRU EIFS.  
EXPANSION BOLTS IN CONCRETE OR BRICK WALLS.  
TOGGLE BOLTS IN CONCRETE BLOCK OR PANEL WALLS.  
TEK SCREWS IN METAL STUDS. LAG-BOLTS IN WOOD STUDS.  
ALL THREAD BOLTS WITH BLOCKING BETWEEN STUDS.

CROSS-SECTION

SCALE - 1/2" = 1'- 0"

CLAYTON  
Signs  
50 YEARS  
SINCE 1965

**CHANNEL LETTERS (WHITE ILLUMINATION)**

LED's  
JTSL5065W-0.5 WHITE LED  
POWER SUPPLY  
BL-120-12-60 POWER SUPPLY

**WET LOCATION**

CONNECT THE AC LINE TO THE BLACK (LINE) AND WHITE (NEUTRAL) INPUT WIRES OF THE POWER SUPPLY USING 18-14 AWG TWIST ON WIRE CONNECTORS. GROUND POWER SUPPLY GREEN WIRE TO GROUNDING SCREW. REPLACE JUNCTION BOX COVER.

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING & BONDING OF THE SIGN.



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LED-ILLUMINATED  
CHANNEL LETTERS

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SIGNS ARE  
120 VOLTS  
UNLESS  
OTHERWISE INDICATED

DRAWN BY Ben Holliday  
ACCOUNT REP. Ben Holliday  
DRAWING DATE August 23, 2022  
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LOCATION  
B,E



SPECIFICATIONS

ALUMINUM CONSTRUCTION CABINETS  
WITH DIGITAL DISPLAY BOARDS  
WITH STATIC IMAGES

MENU BOARDS FURNISHED  
BY COATES GROUP AND  
INSTALLED BY HONOR BUILT

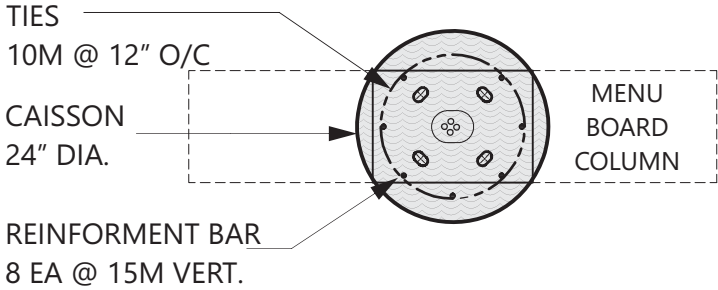
MENU BOARD COLUMN AND FRAMING  
FURNISHED AND INSTALLED BY  
PATTISON SIGN GROUP

ANCHOR CAGES AND FOOTINGS  
FURNISHED AND INSTALLED BY  
CLAYTON SIGNS

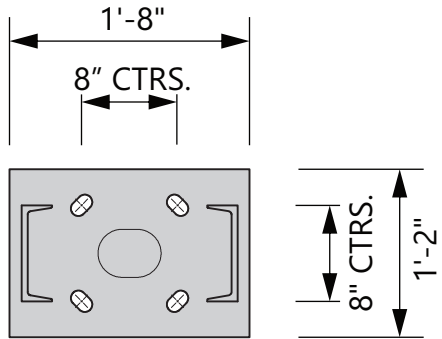
COLORS

CHICK-FIL-A DARK BRONZE

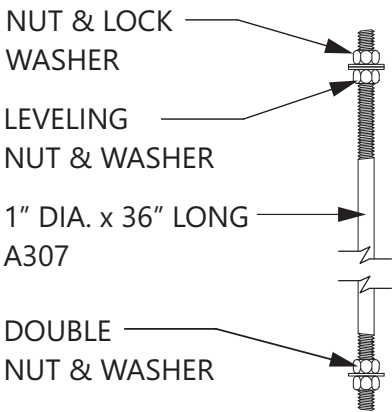
WHITE REFLECTIVE VINYL FILM



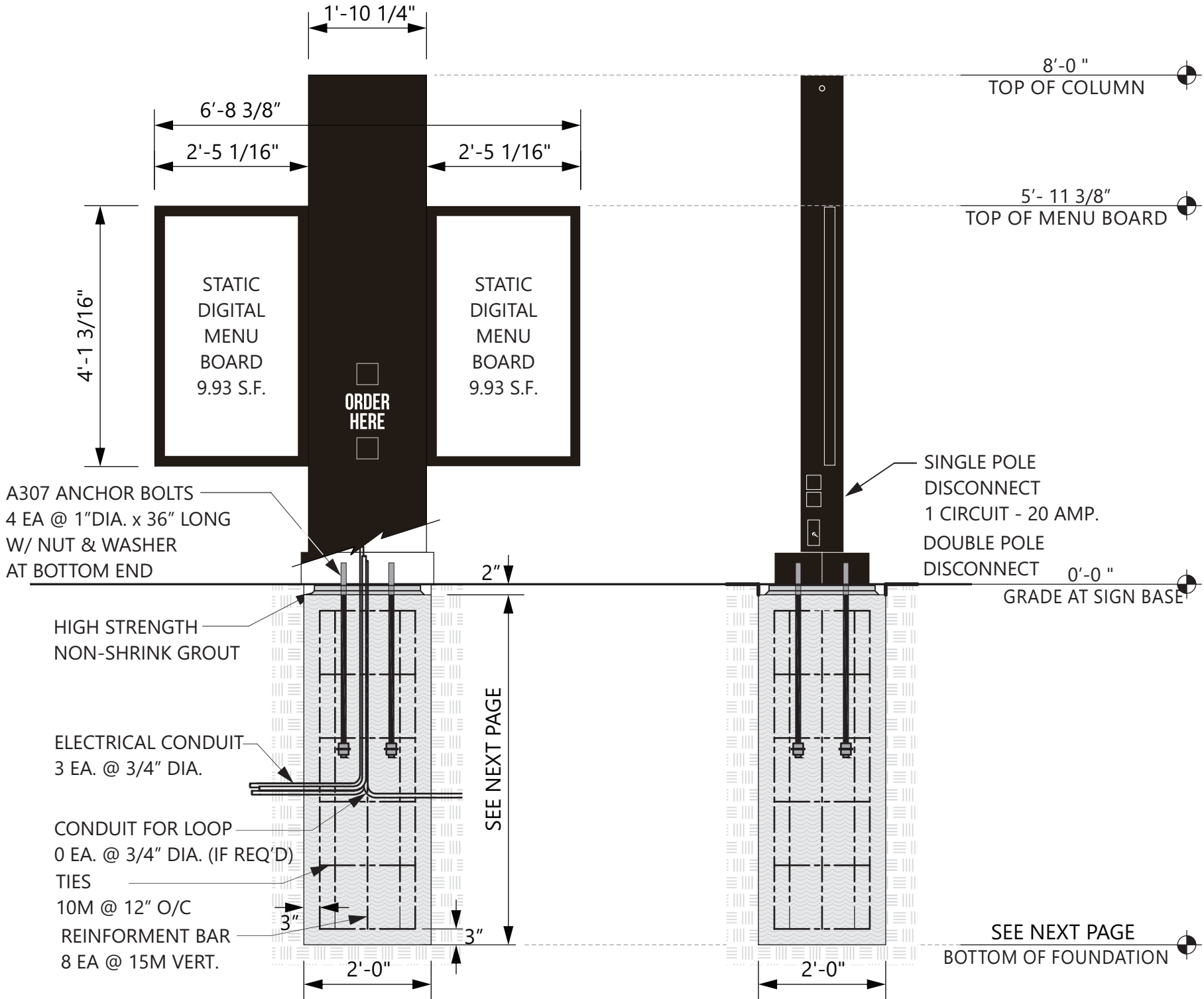
PLAN VIEW  
SCALE - 1/2" = 1'- 0"



BASE PLATE DETAIL  
SCALE - 3/4" = 1'- 0"



ANCHOR BOLT - QTY. 4  
NOT TO SCALE



ELEVATION  
SCALE - 1/2" = 1'- 0"

END VIEW  
SCALE - 1/2" = 1'- 0"



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STATIC DIGITAL DRIVE-THRU  
MENU BOARDS

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ALL ELECTRICAL  
SIGNS ARE  
120 VOLTS  
UNLESS  
OTHERWISE INDICATED

DRAWN BY	Ben Holliday
ACCOUNT REP.	Ben Holliday
DRAWING DATE	August 23, 2022
REVISION DATE	November 1, 2023

STORE NUMBER	STORE ADDRESS
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LOCATION  
H1/H2

CITY OF WORTHINGTON  
DRAWING NO. ARB 109-2022  
MPC 09-2022  
DATE 11/17/2023







SPECIFICATIONS

SIGN PANELS

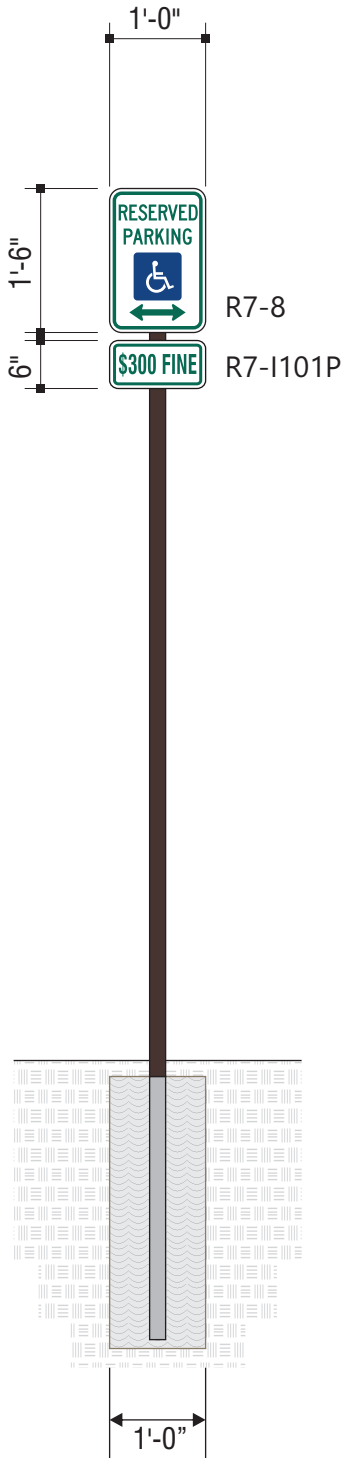
PANELS ARE .080 ALUMINUM  
WITH REFLECTIVE BACKGROUND  
AND GRAPHICS.

SIGN POSTS

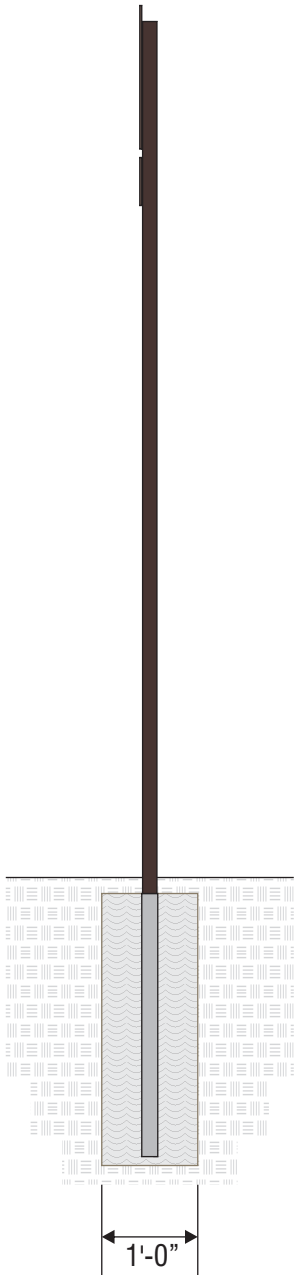
POSTS ARE 2" x 2" SQUARE  
ALUMINUM TUBING CAPPED ON TOP



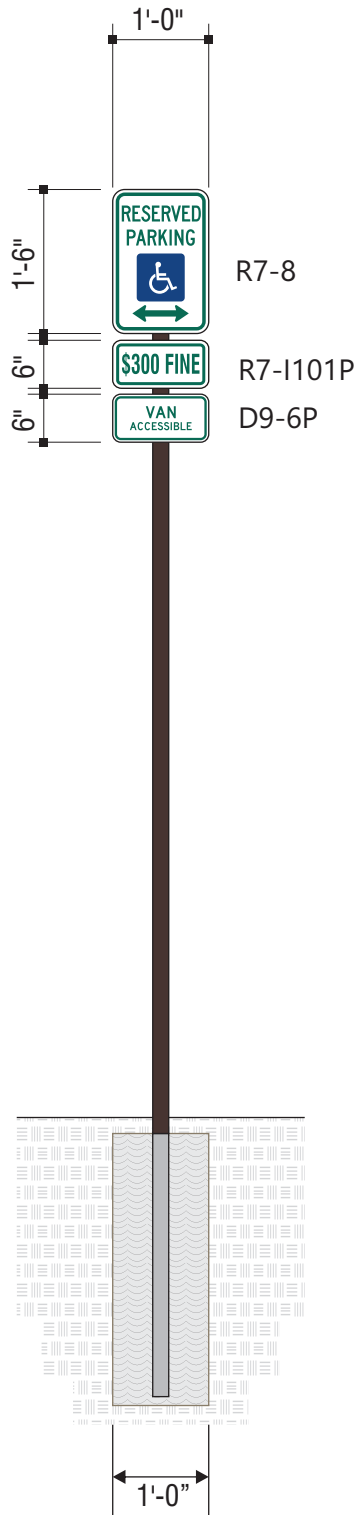
BACK OF SIGN PANEL AND POST  
MP 20181 DARK BRONZE  
SW #DDM460012



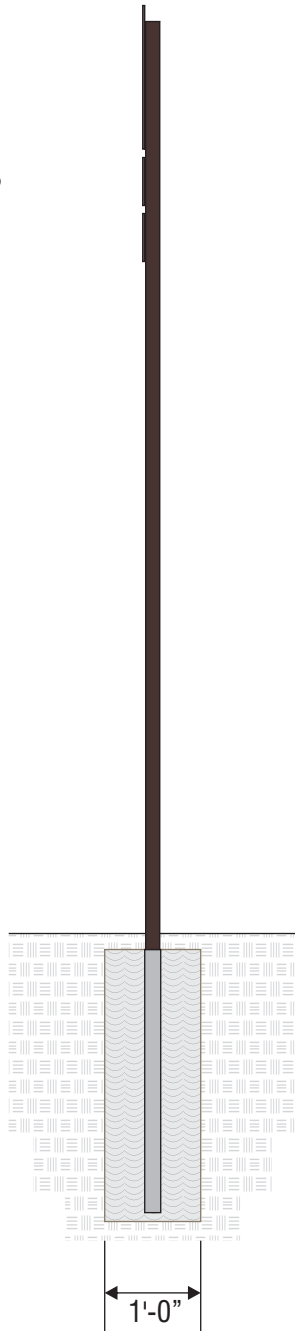
ELEVATION  
SCALE - 1/2" = 1'- 0"



END VIEW  
SCALE - 1/2" = 1'- 0"



ELEVATION  
SCALE - 1/2" = 1'- 0"



END VIEW  
SCALE - 1/2" = 1'- 0"

NOTE: IF THIS SIGN IS LOCATED ON THE SIDEWALK THEN  
IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR  
TO INSTALL A PVC SLEEVE INTO THE CONCRETE WHEN THE  
SIDEWALK IS POURED PRIOR TO INSTALLATION OF THE SIGN'  
BY CLAYTON SIGNS.

7'-0"  
BOTTOM OF PANEL

0'-0 "  
GRADE AT SIGN BASE

-3'-0 "  
BOTTOM OF FOUNDATION



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DOT REGULATORY TRAFFIC SIGNS

DRAWING FILE - CFA - WORTHINGTON, OH SIGNAGE.CDR

ALL ELECTRICAL  
SIGNS ARE  
120 VOLTS  
UNLESS  
OTHERWISE INDICATED

DRAWN BY Ben Holliday  
ACCOUNT REP. Ben Holliday  
DRAWING DATE August 23, 2022  
REVISION DATE November 1, 2023

STORE NUMBER	STORE ADDRESS
L05269	Chick-fil-A at Worthington, OH 60 E. Wilson Bridge Road Worthington, OH 43085

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CITY OF WORTHINGTON  
DRAWING NO. ARB 109-2022  
MPC 09-2022  
DATE 11/17/2023

LOCATION  
K1/K2

SPECIFICATIONS

SIGN PANELS

PANELS ARE .080 ALUMINUM  
WITH REFLECTIVE BACKGROUND  
AND GRAPHICS.

SIGN POSTS

POSTS ARE 2" x 2" SQUARE  
ALUMINUM TUBING CAPPED ON TOP



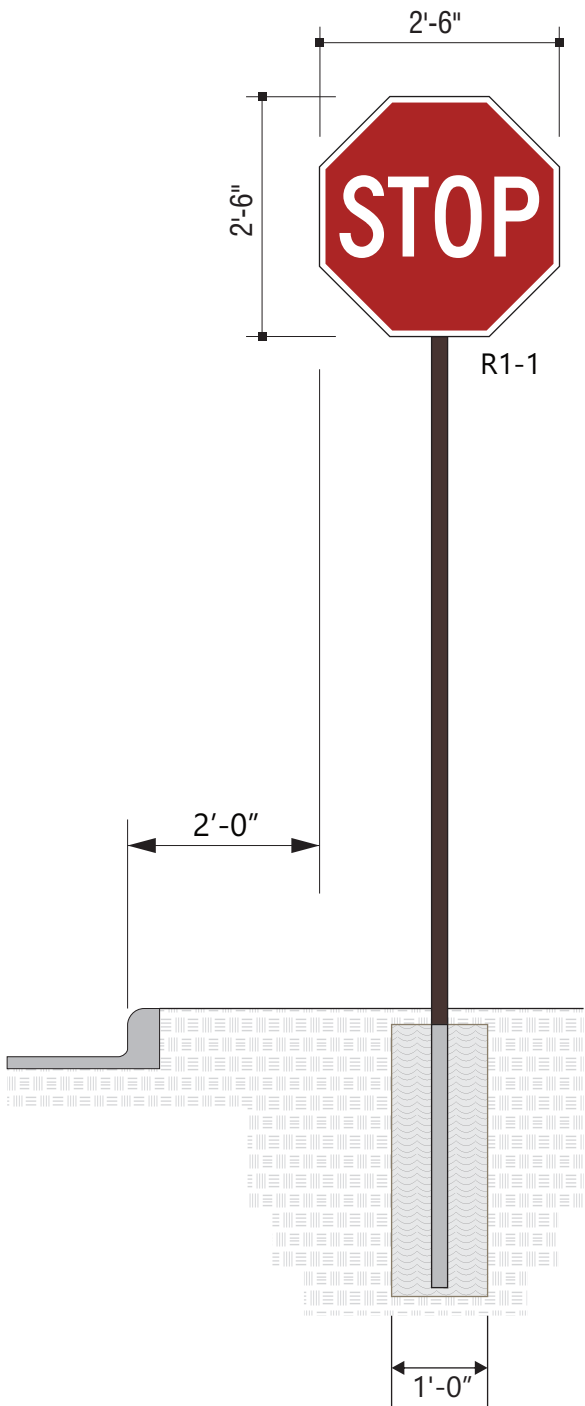
SIGN PANEL  
3M #680-82 REFLECTIVE RED.



SIGN PANEL  
3M #680-10 REFLECTIVE WHITE

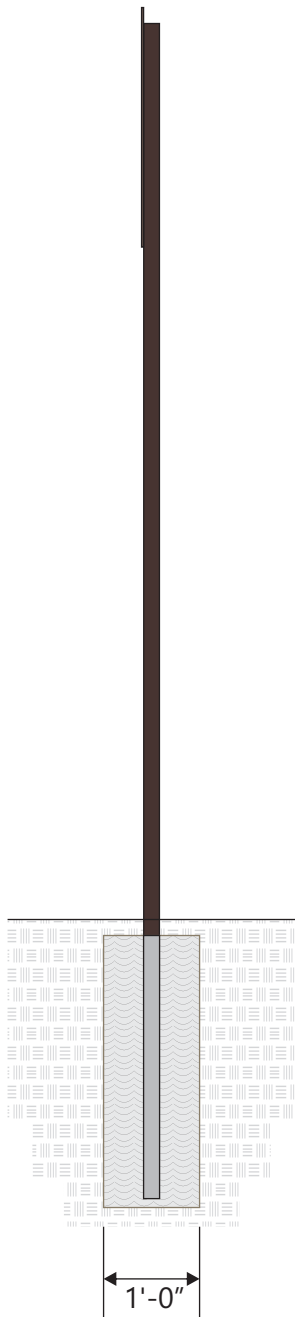


BACK OF SIGN PANEL AND POST  
MP 20181 DARK BRONZE  
SW #DDM460012



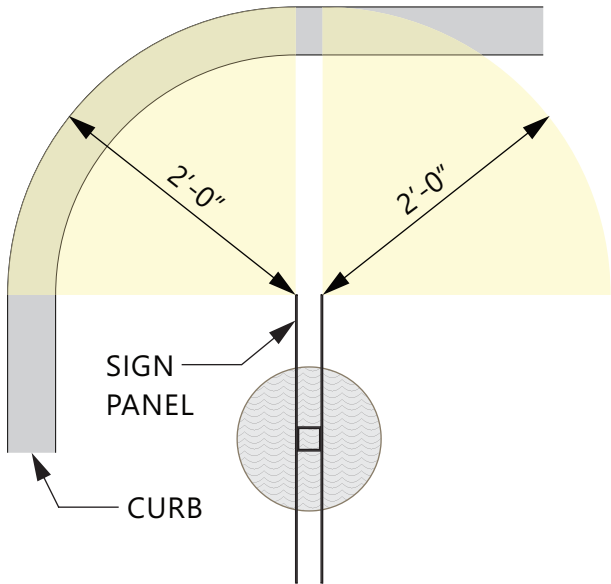
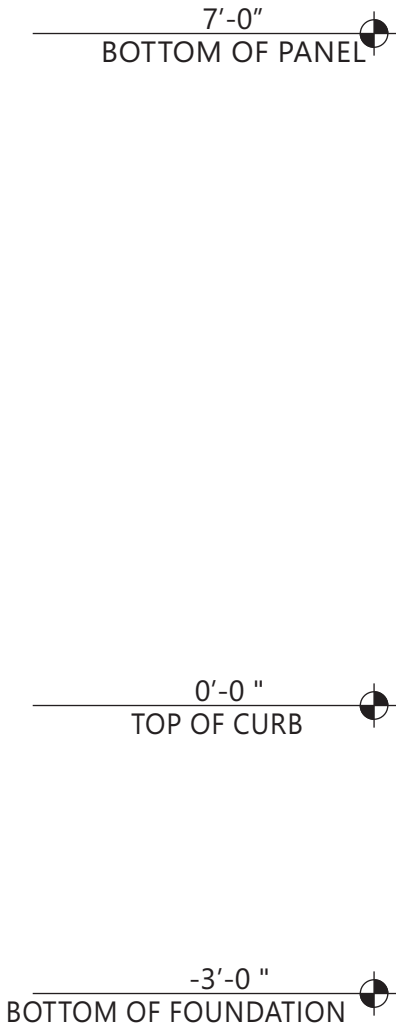
ELEVATION

SCALE - 1/2" = 1'- 0"



END VIEW

SCALE - 1/2" = 1'- 0"



PLAN VIEW

SCALE - 3/4" = 1'- 0"



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DOT REGULATORY TRAFFIC SIGNS

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ACCOUNT REP. Ben Holliday  
DRAWING DATE August 23, 2022  
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STORE NUMBER	STORE ADDRESS
L05269	Chick-fil-A at Worthington, OH 60 E. Wilson Bridge Road Worthington, OH 43085

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CITY OF WORTHINGTON  
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DATE 11/17/2023

LOCATION  
M



SPECIFICATIONS

SIGN PANELS

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AND GRAPHICS.

SIGN POSTS

POSTS ARE 2" x 2" SQUARE  
ALUMINUM TUBING CAPPED ON TOP



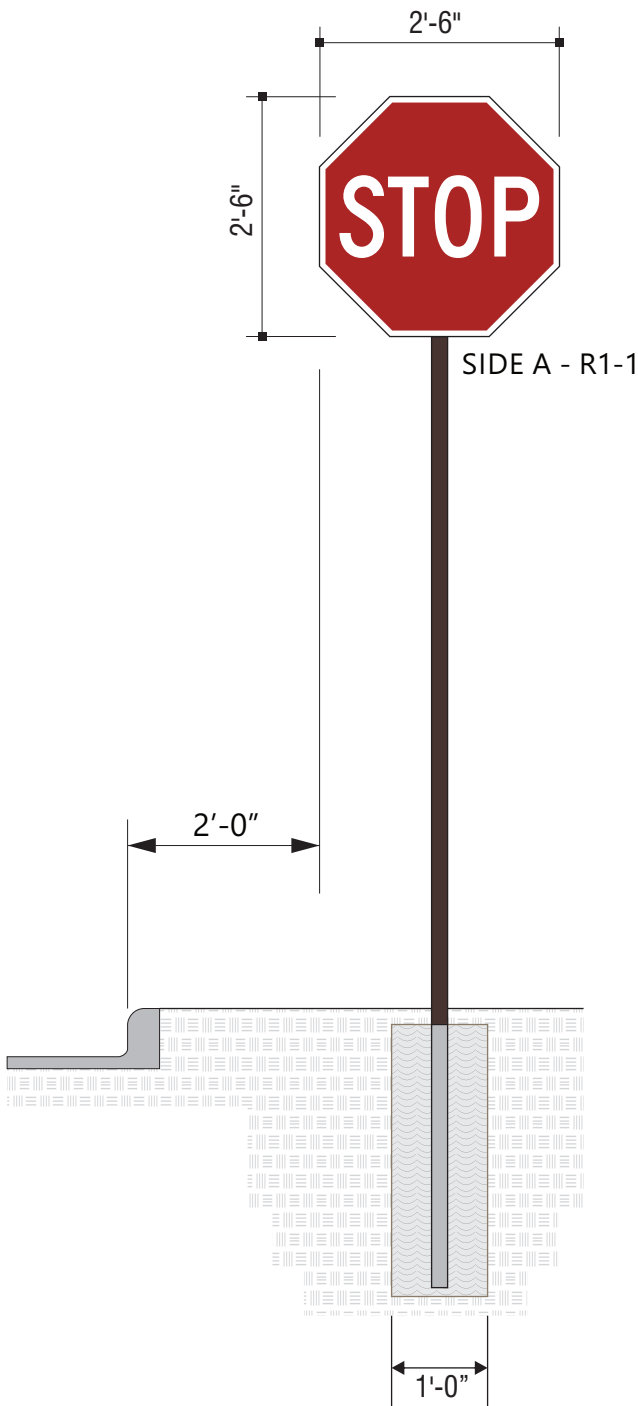
SIGN PANEL  
3M #680-82 REFLECTIVE RED.



SIGN PANEL  
3M #680-10 REFLECTIVE WHITE

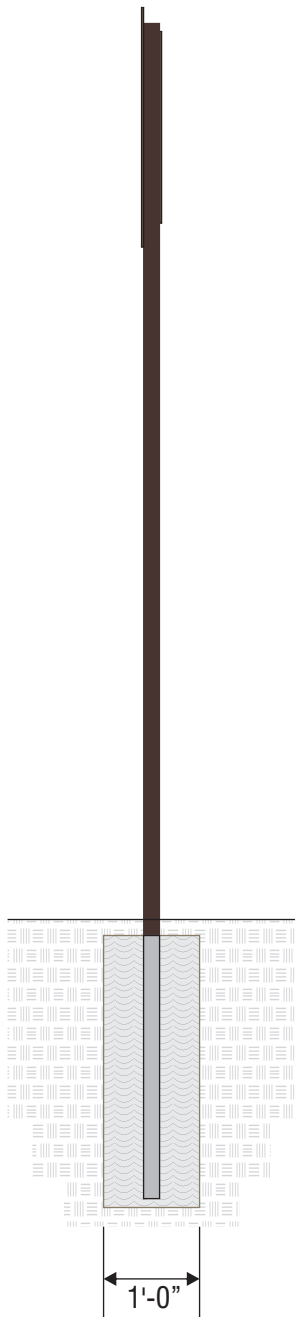


BACK OF SIGN PANEL AND POST  
MP 20181 DARK BRONZE  
SW #DDM460012



ELEVATION

SCALE - 1/2" = 1'- 0"



END VIEW

SCALE - 1/2" = 1'- 0"

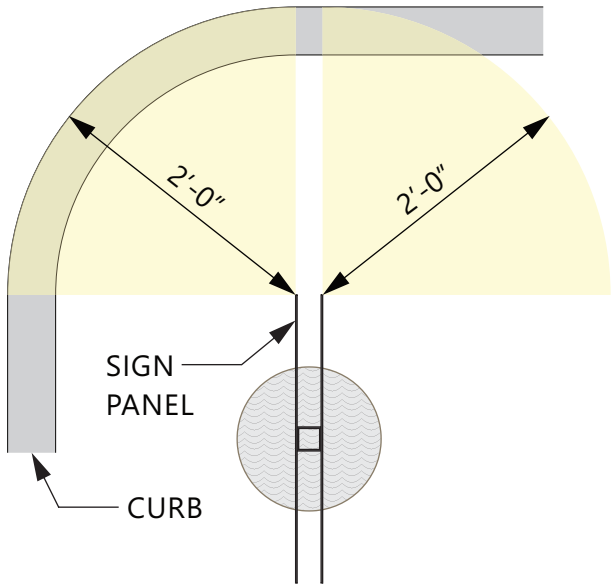


SIDE B - R5-1

7'-0"  
BOTTOM OF PANEL

0'-0 "  
TOP OF CURB

-3'-0 "  
BOTTOM OF FOUNDATION



PLAN VIEW

SCALE - 3/4" = 1'- 0"



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DOT REGULATORY TRAFFIC SIGNS

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LOCATION  
N

SPECIFICATIONS

SIGN PANELS

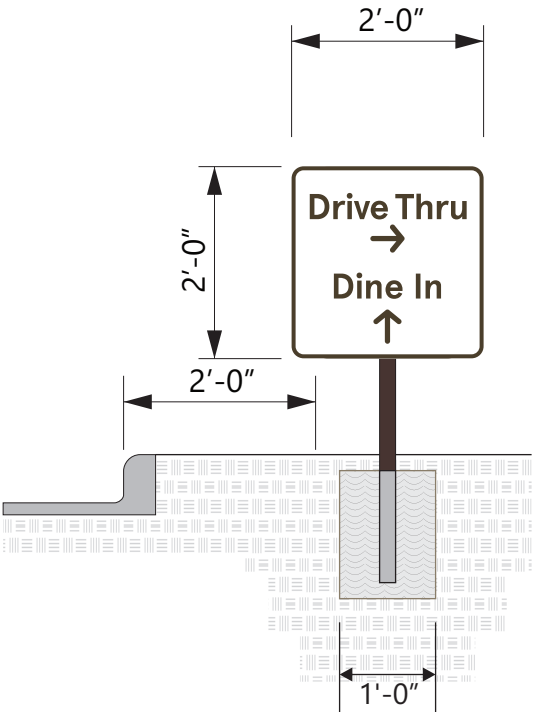
SIGNS PANELS  
PANELS ARE .080" ALUMINUM. BACKS TO BE PAINTED  
TO MATCH POSTS.  
POSTS ARE 2" x 2" SQUARE ALUMINUM TUBING CAPPED ON TOP



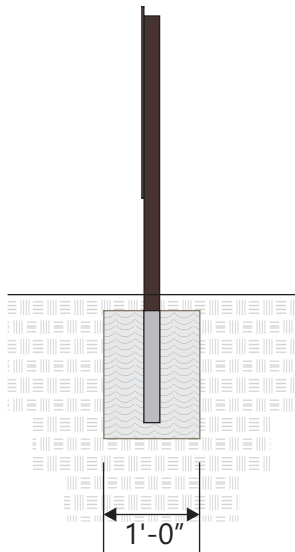
SIGN PANEL  
3M #680-10 REFLECTIVE WHITE



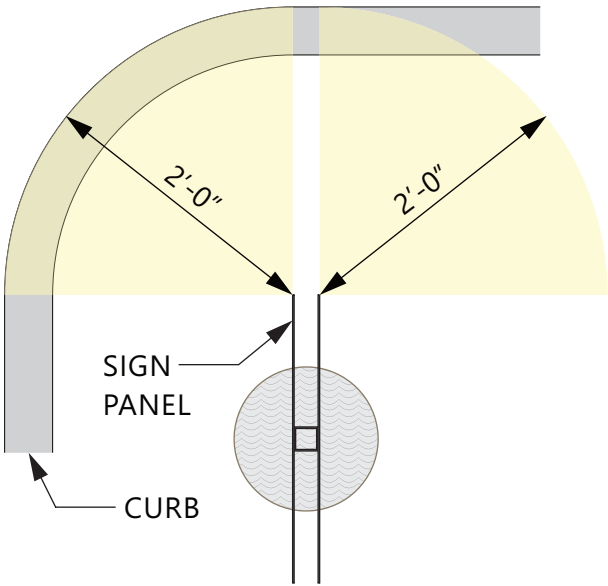
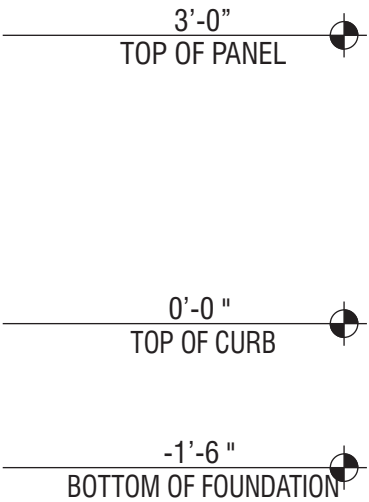
BACK OF SIGN PANEL AND POST  
MP 20181 DARK BRONZE  
SW #DDM460012



ELEVATION  
SCALE - 1/2" = 1'- 0"



END VIEW  
SCALE - 1/2" = 1'- 0"



PLAN VIEW  
SCALE - 3/4" = 1'- 0"



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DOT REGULATORY TRAFFIC SIGNS

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STORE NUMBER	STORE ADDRESS
L05269	Chick-fil-A at Worthington, OH 60 E. Wilson Bridge Road Worthington, OH 43085

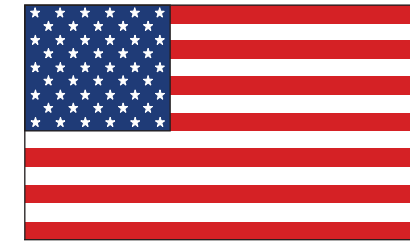
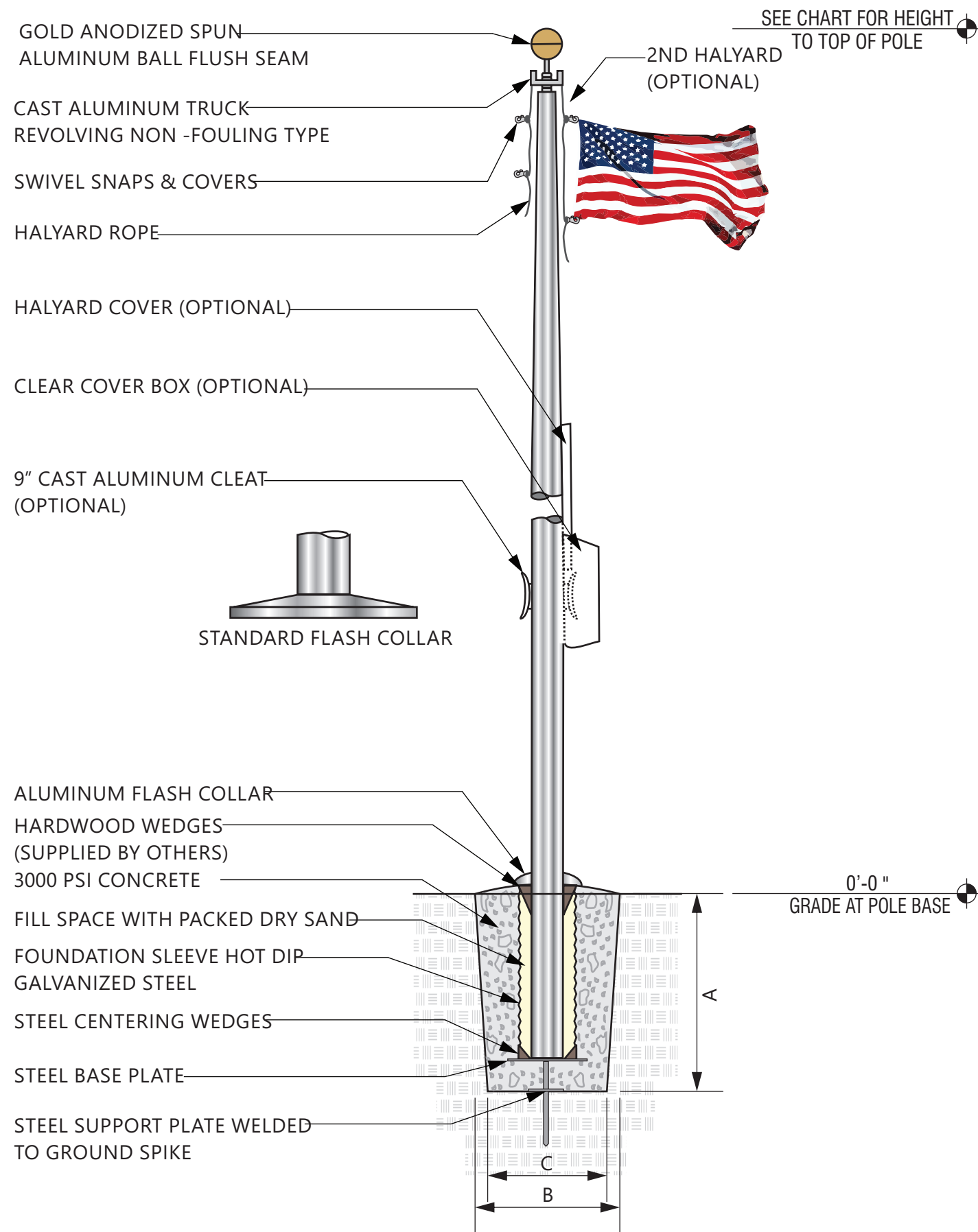
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CITY OF WORTHINGTON  
DRAWING NO. ARB 109-2022  
MPC 09-2022  
DATE 11/17/2023

LOCATION

P





## FLAG SIZES

POLE	A	B	MATERIAL
20'	3'0"	5'0"	POLYESTHER
25'	4'0"	6'0"	POLYESTHER
30'	5'0"	8'0"	POLYESTHER
35'	6'0"	10'0"	POLYESTHER
40'	8'0"	12'0"	POLYESTHER
45'	8'0"	12'0"	POLYESTHER
50'	12'0"	18'0"	POLYESTHER

## FOUNDATION SIZES

HEIGHT	A	B	C
20'	3'6"	30"	24"
25'	3'6"	30"	24"
30'	3'6"	30"	24"
35'	4'0"	36"	30"
40'	4'6"	42"	36"
45'	5'0"	48"	42"
50'	5'6"	48"	42"

GROUND SLEEVE AND CONCRETE INSTALLED  
BY THE GENERAL CONTRACTOR  
POLE INSTALLED ON PRE-INSTALLED GROUND  
SLEEVE BY SIGN CONTRACTOR



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## FLAG POLE

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ACCOUNT REP. Ben Holliday  
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STORE NUMBER	STORE ADDRESS
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LOCATION  
FP

SPECIFICATIONS

CLEARANCE BAR

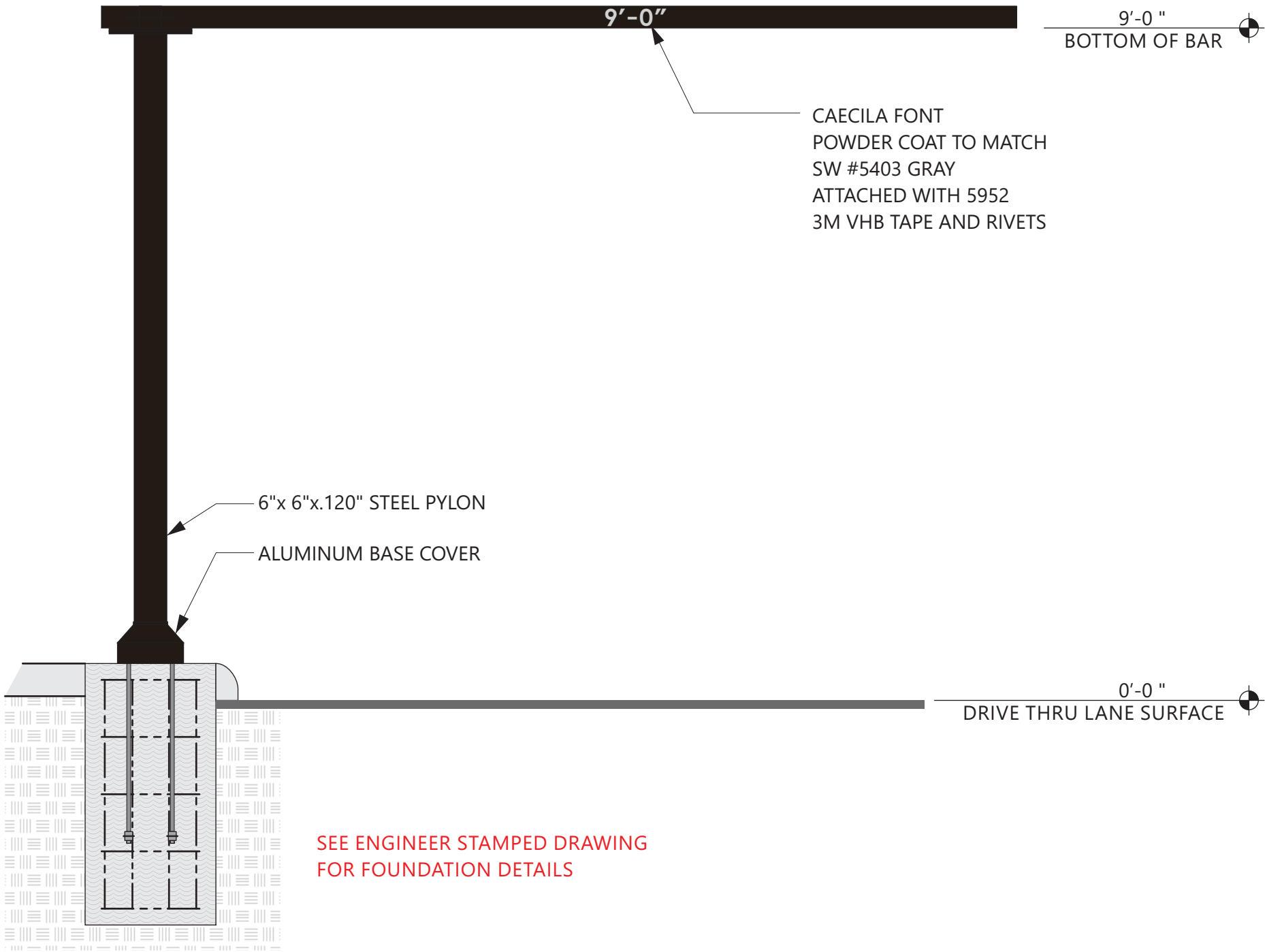
COLORS



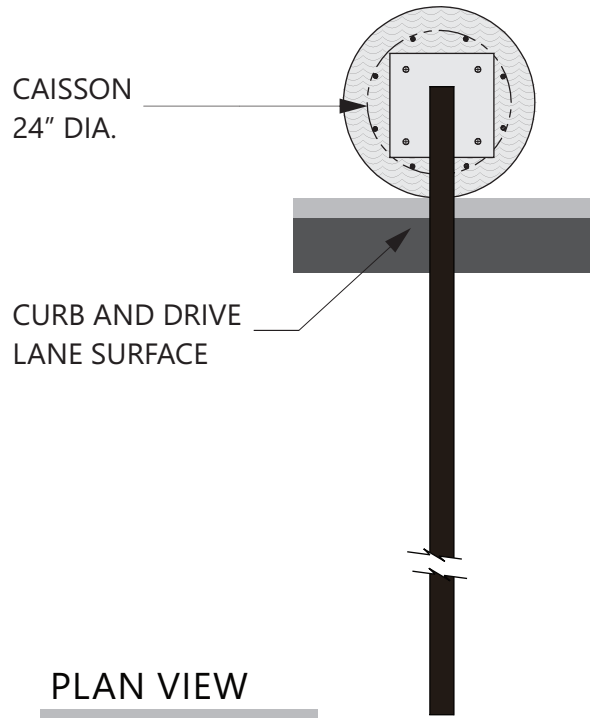
MATTE BLACK TEXTURED



SHERWIN WILLIAMS  
SW 5403 GRAY



SEE ENGINEER STAMPED DRAWING  
FOR FOUNDATION DETAILS



PLAN VIEW

SCALE - 1/2" = 1'- 0"



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DRIVE-THRU  
CLEARANCE BAR

DRAWING FILE - CFA - WORTHINGTON, OH SIGNAGE.CDR

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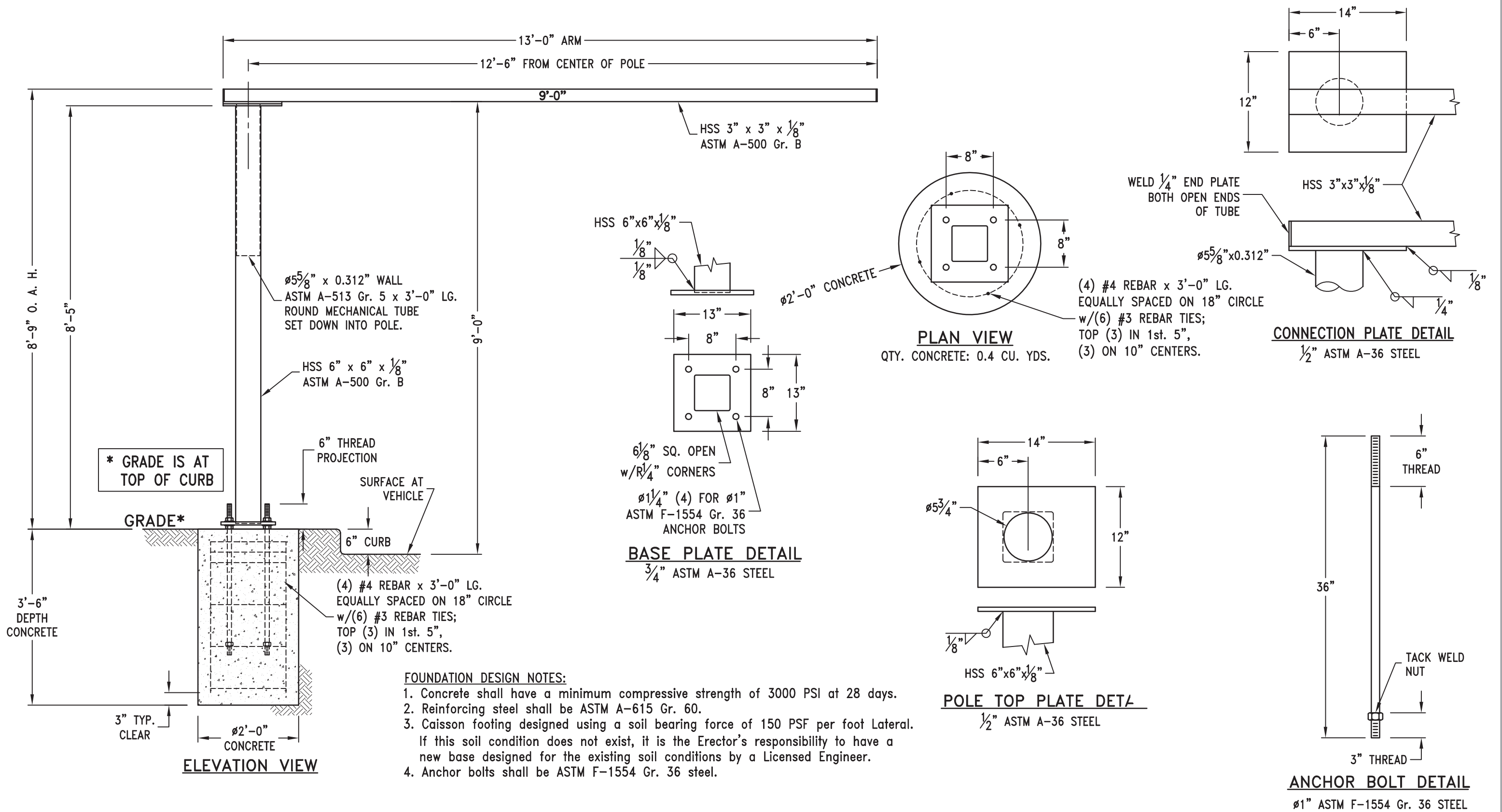
STORE NUMBER	STORE ADDRESS
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LOCATION  
CB

CITY OF WORTHINGTON  
DRAWING NO. ARB 109-2022  
MPC 09-2022  
DATE 11/17/2023





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## DRIVE-THRU CLEARANCE BAR

DRAWING FILE - CFA - WORTHINGTON, OH SIGNAGE.CDR

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OTHERWISE INDICATED

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REVISION DATE November 1, 2023

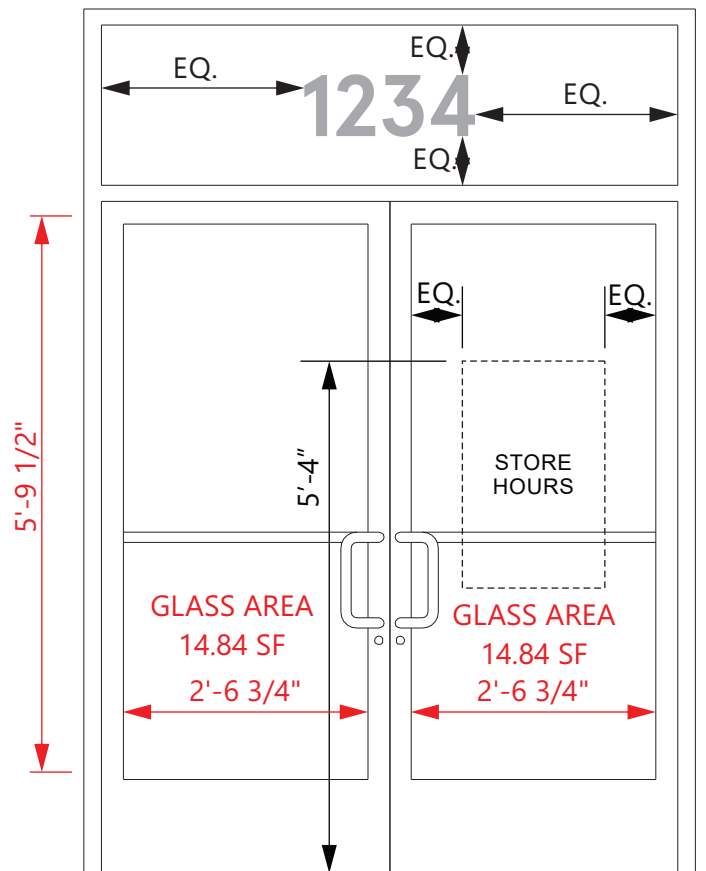
STORE NUMBER	STORE ADDRESS
L05269	Chick-fil-A at Worthington, OH 60 E. Wilson Bridge Road Worthington, OH 43085

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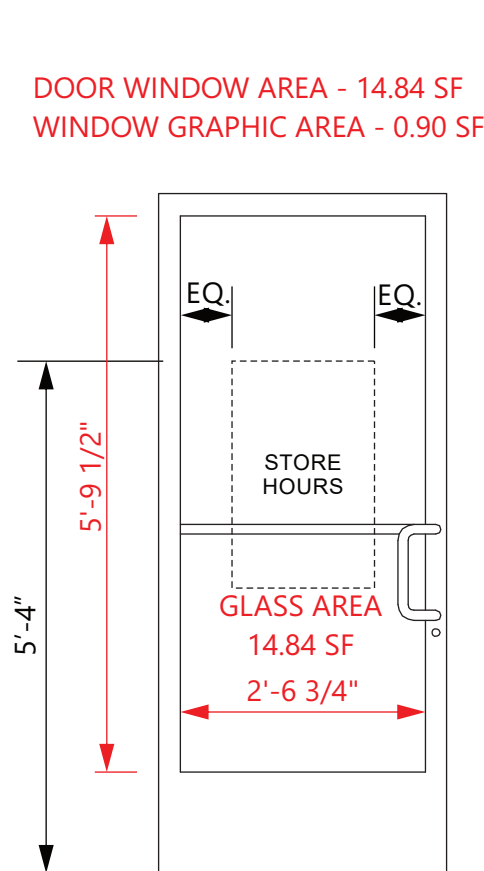
Worthington  
CITY OF WORTHINGTON  
DRAWING NO. ARB 109-2022  
MPC 09-2022  
DATE 11/17/2023

LOCATION  
**CB-1**

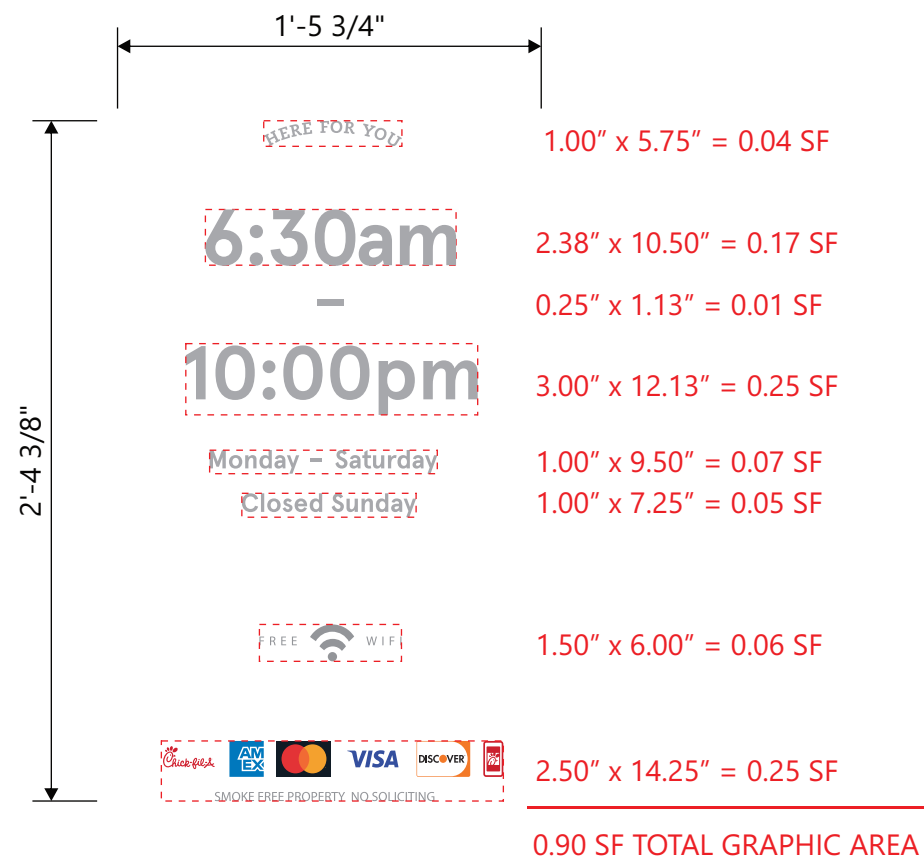




ELEVATION  
SCALE - 1/2" = 1'- 0"



ELEVATION  
SCALE - 1/2" = 1'- 0"



ELEVATION  
SCALE - 1 1/2" = 1'- 0"

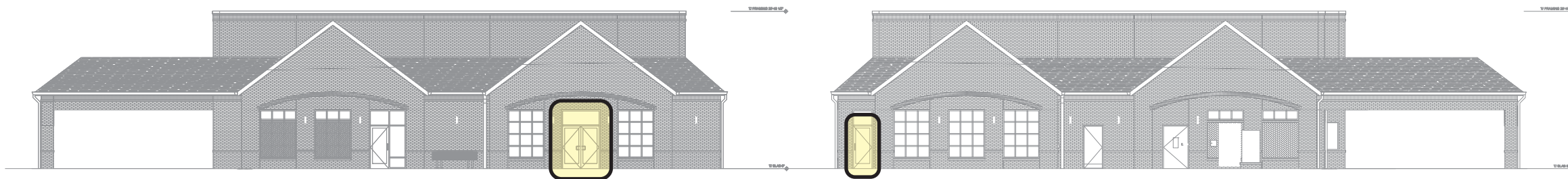
LETTERING IS 3M #7725-10 OPAQUE WHITE VINYL FILM (SHOWN IN GREY FOR ILLUSTRATION)  
CREDIT CARD LOGOS ARE INDIVIDUAL PRINTED DECALS ON CLEAR FILM.  
ALL GRAPHICS ARE APPLIED TO EXTERIOR SURFACE OF GLASS.  
STORE HOURS MAY BE DIFFERENT PER STORE.  
SUNDAY HAS RED VINYL FILM STRIKE THROUGH ON IT.  
PROVIDE EXTRA 6:00 PER EACH SET.

8" 1234

8" TALL ADDRESS NUMBERS ARE 3M #7725-10 OPAQUE WHITE VINYL FILM APPLIED TO EXTERIOR SURFACE OF GLASS. (SHOWN IN GREY FOR ILLUSTRATION) APERCU BOLD FONT

VERIFY ADDRESS BEFORE MAKING NUMBERS

ELEVATION  
NOT TO SCALE



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## WINDOW GRAPHICS

DRAWING FILE - CFA - WORTHINGTON, OH SIGNAGE.CDR

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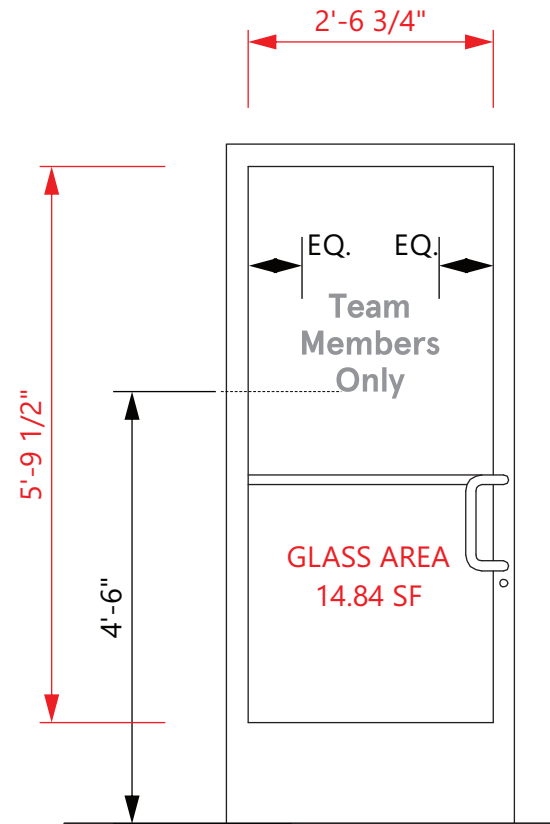
STORE NUMBER	STORE ADDRESS
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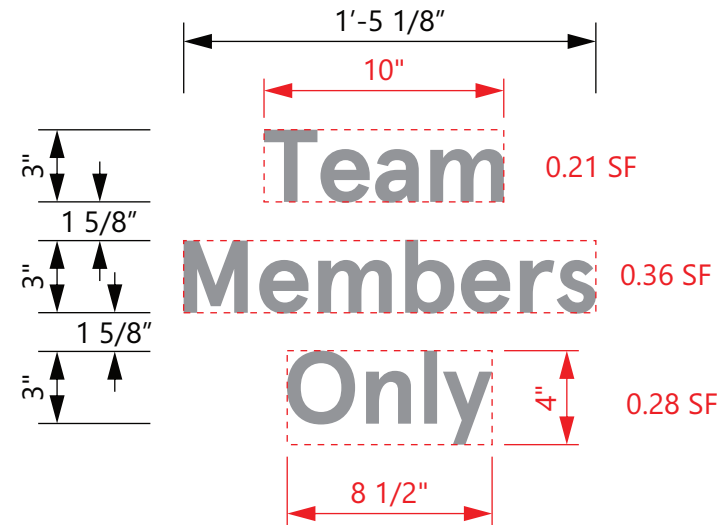


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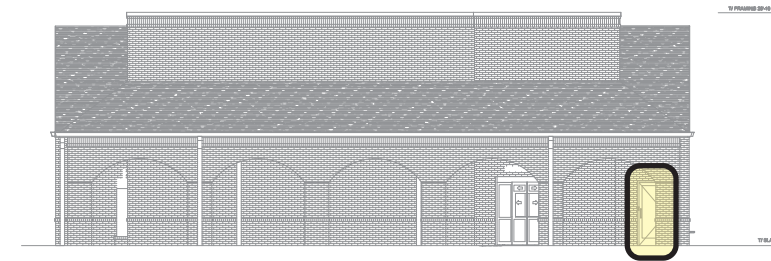
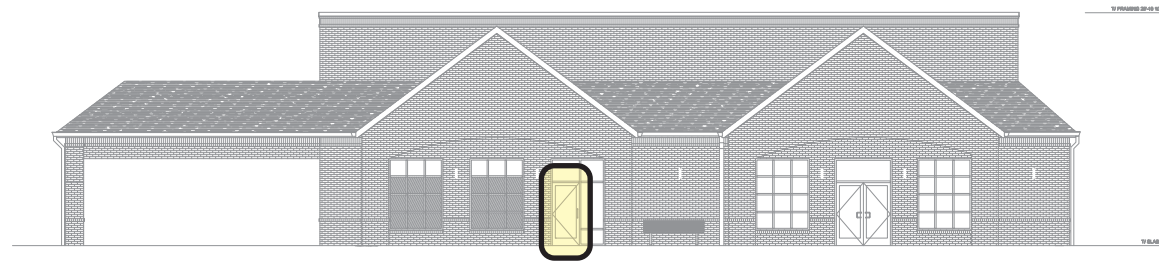


ELEVATION  
SCALE - 1/2" = 1'- 0"



ELEVATION  
SCALE - 1 1/2" = 1'- 0"

LETTERING IS 3M 7725-10  
OPAQUE WHITE APPLIED VINYL  
ALL GRAPHICS ARE APPLIED TO  
EXTERIOR SURFACE OF GLASS.  
(SHOWN IN GREY FOR ILLUSTRATION  
PURPOSES ONLY)



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8" 1234

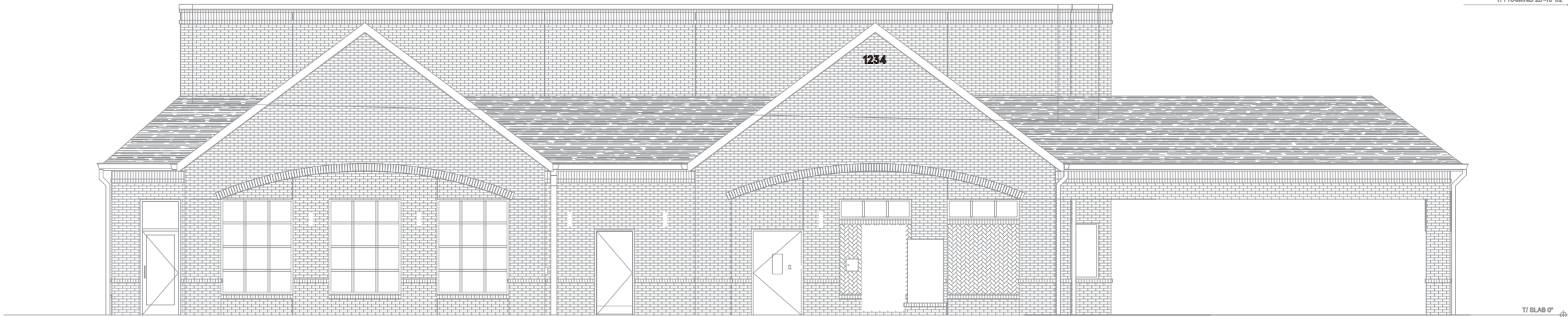
8" TALL ADDRESS NUMBERS  
ARE 1/4" DEEP FLAT CUTOUT  
ALUMINUM NUMBERS PIN-MOUTED  
TO WALL.

VERIFY ADDRESS BEFORE  
MAKING NUMBERS

ELEVATION  
NOT TO SCALE



MP 20181 DARK BRONZE  
SW #DDM460012



ELEVATION  
SCALE - 3/32" = 1'- 0"



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ADDRESS NUMBERS

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**ARB APPLICATION**  
**ARB 0093-2023**  
**44 W. New England Ave.**

**Plan Type:** Architectural Review Board      **Project:**      **App Date:** 11/09/2023  
**Work Class:** Certificate of Appropriateness      **District:** City of Worthington      **Approval Date:**  
**Status:** In Review  
**Valuation:** \$1,000.00  
**Description:** Modify existing ARB approval to change existing windows to faux shutters to allow for interior modifications.

<b>Parcel:</b> 100-000679      Main	<b>Address:</b> 44 W New England Ave      Main Worthington, OH 43085	<b>Zone:</b>
-------------------------------------	---	--------------

Owner 44 New England LLC 634 HIGH ST A Worthington , OH 43085	Applicant Kevin Rohyans 634 High St Suite A Worthington, OH 43085 Business: 6143329237
--	--

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004865	Architectural Review Board	\$2.00	\$2.00
Total for Invoice INV-00004865		\$2.00	\$2.00
Grand Total for Plan		\$2.00	\$2.00

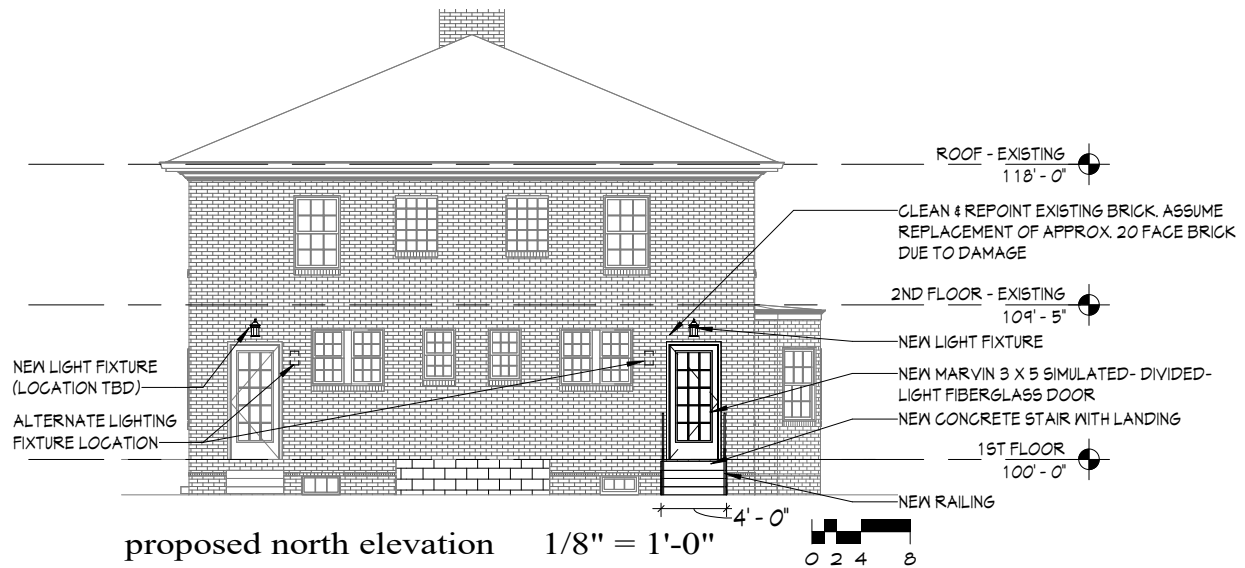


# 44 W. New England Ave.

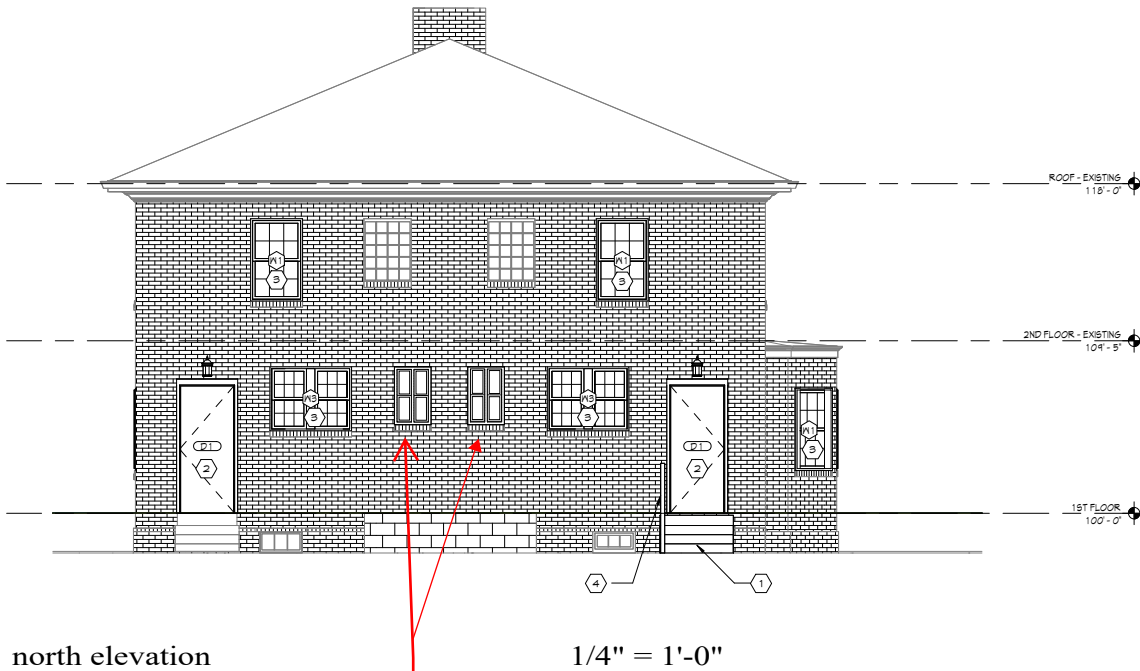




Previously approved elevation



Revised elevation



**FAUX SOLID PANEL SHUTTER  
(JAMES HARDIE BOARD AND TRIM)  
COLOR TO MATCH TRIM ON EXISTING  
WINDOWS**







**ARB APPLICATION**  
**ARB 0095-2023**  
**80 E. Wilson Bridge Rd.**

**Plan Type:** Architectural Review Board      **Project:**      **App Date:** 11/17/2023  
**Work Class:** Certificate of Appropriateness      **District:** City of Worthington      **Approval Date:**  
**Status:** In Review  
**Valuation:** \$2,000.00

**Description:** New curbside and reserved drive thru signs. All with the same messaging and colors. There will no longer be yellow bases. Permanent poles installed at the parking spaces with dark-gray bollards over the poles. 1 pole & sign per 2 parking spots. 3 poles & signs total to represent 6 curbside/reserved drive thru parking spots. Painting drive thru bollards all the same color as well - dark gray to match the drive thru speakers.

Signs will either be 24"x24" or 18"x24". Pole + sign will be 36" tall (above grade).

<b>Parcel:</b> 100-005497	Main	<b>Address:</b> 80 E Wilson Bridge Rd	Main	<b>Zone:</b>
Owner Scott Holowicki Mobile: (614) 363-1023	Applicant Wicki Ventures LLC, dba McDonald's Nesa Rogers 2101 Riverside Dr Columbus, OH 43221 Business: 61436310232103 Mobile: 7403600018			

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004909	Architectural Review Board	\$2.00	\$2.00
		<u>Total for Invoice INV-00004909</u>	<u>\$2.00</u>
		<b>Grand Total for Plan</b>	<b>\$2.00</b>

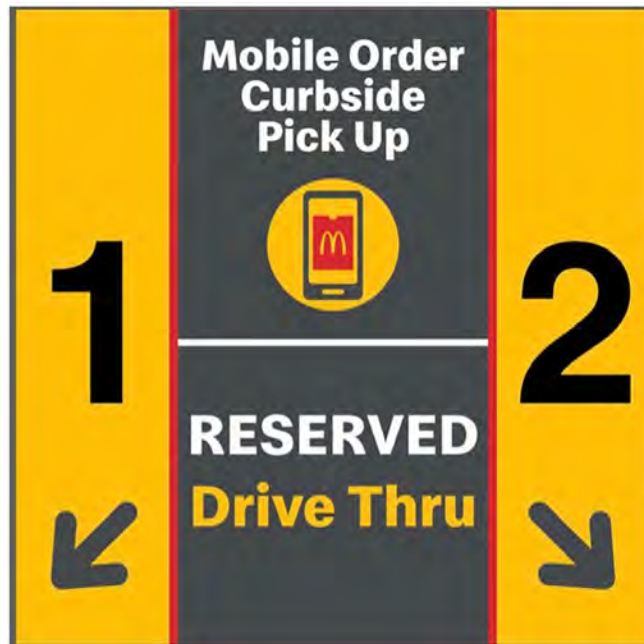


# 80 E. Wilson Bridge Rd.





- Poles with one sign each  
24" x 24" or 18" x 24"





# Existing





# Existing





# Existing



McDelivery Driver Parking Signs:

Sign = 102" high (total).

Yellow Bollard= 52"h x 7.25"w

Pole space between sign face & bollard = 3"

Pole = 1.75"w x 1.75"d

Sign Face = 47"h x 14 1/16"w





**CHAPTER 1170**  
**Signs**

- 1170.01 Purpose and intent.
- 1170.02 Definitions.
- 1170.03 Permit required.
- 1170.04 Prohibited signs.
- 1170.05 Prohibited sign locations.
- 1170.06 Permitted signs not requiring a permit.
- 1170.07 General requirements for temporary and permanent signs.
- 1170.08 Permanent signs.
- 1170.09 Temporary signs.
- 1170.10 Nonconforming and abandoned signs.
- 1170.11 Right to Substitute Message.



### **1170.01 PURPOSE AND INTENT.**

Signs can obstruct views, distract, or confuse motorists, displace alternative uses for land, lead to visual clutter, harm community aesthetics, and pose other problems that call for regulation. The City has significant and compelling interests in reducing these harms; these regulations are designed to be content-neutral and narrowly tailored to these interests, and to leave ample alternative channels of communication available. The purpose of this chapter is the following:

- (a) To protect the general health, safety and welfare by:
  - (1) Protecting and encouraging a more attractive economic and business climate;
  - (2) Providing an instrument for protecting the physical appearance of the community; and
  - (3) Encouraging high quality, effective outdoor graphics for the purposes of navigation, information, and identification.
- (b) To encourage the proper development and use of signage and to permit and regulate signs in such a way as to support and complement land-use objectives set forth in the Zoning Ordinance.
- (c) To provide businesses in the city with equitable sign standards in accord with fair competition and aesthetic standards acceptable to the community, to provide the public with a safe and effective means of locating businesses, services and points of interest within the city, and to provide for a safe vehicular and pedestrian traffic environment.
- (d) In addition to protecting from distractions and obstructions that can contribute to traffic and pedestrian accidents, it is the intent of these regulations to control and regulate signs to prevent them from negatively impacting adjacent properties and the community.
- (e) It is the intent of this chapter to comply with all requirements of the U.S. and Ohio constitutional, statutory, and case law decisions requiring that sign regulations remain content neutral.

### **1170.02 DEFINITIONS.**

- (a) “Abandoned sign” means a sign associated with an abandoned use or a sign that remains after the termination of the business.
- (b) “Animated sign” means any sign that uses or has the appearance of movement or change of artificial and natural lighting or noise to depict action or create a special effect or scene.
- (c) “Awning sign” means a sign painted on or affixed to an awning.



- (d) “Banner” means a non-rigid cloth, plastic, paper, or canvas sign, used on a temporary basis.
- (e) “Billboard” means an off-premises sign directing attention to a specific business, product, service, entertainment or other activity sold, offered, or conducted off-site on a lot or parcel.
- (f) “Blade sign” means a sign, other than a wall sign, suspended from or supported by a building and projecting out from a building.
- (g) “Bulletin board” means a sign for public and semi-public uses with non-digital changeable copy that is used for the purpose of publicizing public events.
- (h) “Business flag” means a flag displaying the corporate or business emblem or seal.
- (i) “Changeable Copy Sign” means a sign or portion thereof with characters, letters, or illustrations that can be changed or rearranged by mechanical, electronic, or manual means.
- (j) “Construction fence sign” means signs affixed to construction fencing.
- (k) “Construction period sign” means a temporary sign erected only between the time a permit for construction is issued and until construction is completed.
- (l) “Directional sign” means a sign used to direct on-site traffic.
- (m) “Directory sign” means small signs or placards affixed to a wall adjacent to the main entrance to a multiple-tenant building typically used to list tenants located within the building.
- (n) “For sale/for lease sign” means a sign indicating the sale, rental, or lease of a structure or property.
- (o) “Gas-inflated sign or device” means any device which is capable of being expanded by any gas and used on a permanent or temporary basis to attract attention to a product or event, whether or not the sign or device includes any movement or moving parts. This definition includes both hot- and cold-air balloons tethered or otherwise anchored to the ground.
- (p) “Governmental sign” means a sign erected and maintained pursuant to and in discharge of any government functions or required by law, ordinance, or other governmental regulations. Governmental signs shall include but not be limited to traffic control or similar regulatory devices, official signs and notices, official “Welcome to Worthington” signs, “Block Watch” signs, “Tree City USA” signs, legal notices, warnings at railroad crossings, or any other such sign required by law.
- (q) “Ground sign” means any sign which is physically attached to a sign structure. These are commonly known as ground, pole, or monument signs.



- (r) “Historical Marker” means a marker that meets the qualifications of the Ohio History Connection.
- (s) “Illuminated sign” means any sign lighted by or exposed to artificial lighting either by light on or in the sign or directed toward the sign.
- (t) “Internal sign” means an indoor sign viewed through glass from the exterior of the building or structure.
- (u) “Joint identification sign” means a ground sign displaying more than one tenant.
- (v) “Logo” means a graphic representation on a sign of a corporate trademark, or symbol of a company name, trademark, emblem, figure, element, abbreviation, etc., uniquely designed for recognition.
- (w) “Nonconforming sign” means a pre-existing legal sign, which does not conform to the standards set forth in this code.
- (x) “Off-premises sign” means a sign located on a property other than the property where the goods or services are sold or offered for sale.
- (y) “Pennant” means a flag or banner often wider at one end than the other, usually tapering to a point(s).
- (z) “Permanent sign” means any permitted or legal nonconforming sign intended to remain in place. A permanent sign must be securely attached or installed upon a building, structure, or the ground.
- (aa) “Portable sign” means any sign that is designed to be or capable of being moved or transported, and not attached to any building, structure, or ground.
- (bb) “Professional nameplate” means a sign displaying the name of the business or occupant of a specific space in a building.
- (cc) “Projected image” means an image projected onto a building, structure, or sign.
- (dd) “Promotional signs” means a temporary sign that provides information regarding a special event, community activity, or similar activity.
- (ee) “Refacing” means any alteration to the face of a sign involving the replacement of materials or parts. Refacing does not refer to replacing the entire sign structure or the removal of the sign.
- (ff) “Residential development sign” means a sign identifying a subdivision or other single or multi-family development.
- (gg) “Roof sign” means any sign installed, erected upon, against or directly above the parapet of a building, including a sign affixed to any structure erected upon a roof.



- (hh) “Sale, leasing or open house period sign” means a temporary sign erected only during any period when a premises or part thereof is actively offered for sale or lease, including open houses.
- (ii) “Scoreboard” means an electronically- or non-electronically (mechanical) controlled changeable copy sign used to display scoring information for sporting events. Such signs are associated with a sports field.
- (jj) “Sidewalk sign” means a temporary sign intended to be placed on the ground.
- (kk) “Sign permit” means the document issued by the Director of Planning & Building or designee authorizing construction and installation of signs.
- (ll) “Sign” is defined as any name, number, symbol, identification, description, display, illustration, object, graphic, sign structure, or part thereof, whether permanent or temporary, which is affixed to, painted on, represented directly or indirectly upon, or projected onto a building, structure, lot, or other device, whether mobile or affixed to the ground, and which directs attention to any object, product, place, activity, person, institution, organization, or business. This definition includes all signs visible from any public right-of-way or adjacent property, including interior signs oriented toward the exterior façade of any building or structure as well as back-lighted panels or strip lighting affixed to any window or interior of a building but visible from the exterior that serves to identify and attract attention rather than illuminate space for human activity.
- (mm) “Sign face” means the surface intended for the display of information on the sign.
- (nn) “Sign structure” means the supporting unit of a sign face, including, but not limited to, frames, braces, and poles.
- (oo) “Street address sign” means a sign bearing only the street address of the properties on which they are located for the purpose of aiding first responders.
- (pp) “Temporary sign” means a sign associated with a temporary use or structure.
- (qq) “Wall sign” means a sign which is physically attached to a building façade or associated appurtenance and intended to provide visibility for either pedestrians or motorists. Wall signs are typically used to identify commercial tenants within the building or to identify the general name of a residential building or associated development.



### 1170.03 SIGN PERMIT REQUIRED.

(a) Sign Permit.

- (1) All signs located on land within or hereafter annexed to the city shall comply with this chapter unless specifically exempt by Section 1170.06.
- (2) No person shall locate or retain any sign, or cause a sign to be located, relocated, altered, modified, or retained unless all provisions of this chapter have been met.
- (3) To ensure compliance with these regulations, a sign permit shall be secured from the Director of Planning & Building or designee for signs unless such signs are specifically exempted in this chapter. All signs associated with a property may be part of the same permit application.
- (4) Permit Fees will be required when the permit is approved.

(b) Submittal Requirements.

Each application for a sign permit shall be accompanied by the following information:

- (1) A drawing showing the design proposed;
- (2) The size, style, and color of letters, lines, symbols, and graphics;
- (3) The method of illumination;
- (4) A site plan showing the exact location of signs in relation to the building, property lines, and easements;
- (5) The details and specifications for construction; and
- (6) Or any other information deemed relevant by the Director of Planning and Building or designee.

(c) Fee.

Fees shall be paid as follows:

SIGN TYPE	FEE PER SIGN
Sign area less than 16 square feet	\$50/sign
Sign area 16-32 square feet	\$100/sign
Sign area greater than 32 square feet	\$150/sign
Change to the faces of a sign that does not modify the area of the sign, sign cabinet, or electrical service	\$25/sign



Fees are exempted for Public and Semi-public Uses.

#### **1170.04 PROHIBITED SIGNS.**

The following signs are prohibited unless otherwise permitted as referenced herein.

- (a) Billboards;
- (b) Changeable copy, except for gasoline station price signs, bulletin boards, scoreboards, and drive-thru menu boards;
- (c) Externally visible neon and neon look-alike signs, except where allowed otherwise in this chapter;
- (d) Flashing signs, projected images, and animated signs, and signs with moving or moveable parts;
- (e) Off-premises signs, except for sidewalk signs where permitted;
- (f) Pennants, feather flags, banners, streamers, or spinners;
- (g) Portable signs, except for sidewalk signs where permitted;
- (h) Roof signs;
- (i) Search lights or laser lights;
- (j) Temporary signs shall be prohibited except with issuance of a Temporary Use Permit as per Sections 1129.05(b)(5) and 1175.071, or as provided for in Section 1170.06(1) Sidewalk signs; and
- (k) Any look-alike version of any of the sign types prohibited in Section 1170.04.

#### **1170.05 PROHIBITED SIGN LOCATIONS.**

Signs may not be installed in any of the following locations:

- (a) Closer than ten feet to any public right-of-way or in any public right-of-way or highway easement, unless specifically authorized by this chapter or the City;
- (b) In any utility easement or no-build zone;
- (c) In any public park or other public property, unless specifically authorized by this chapter or the City;
- (d) On any traffic control signs, fences, utility poles, street signs, trees, or other natural objects unless specifically authorized by this chapter; and
- (e) In any R, AR or SC Zoning District unless specifically authorized by this chapter.



## **1170.06 PERMITTED SIGNS NOT REQUIRING A PERMIT.**

The following permanent signs do not require a permit but are subject to the restrictions listed in this chapter unless expressly exempted. Nothing in this section shall be construed to allow any sign which is prohibited in Section 1170.04 and Section 1170.05, unless any such sign is expressly permitted.

- (a) ATM signs. Signage for all ATM's (Automated Teller Machines) shall be limited to one square foot of sign area per each individual ATM and include no more than four colors. ATM signs are excluded in the computation of sign area.
- (b) Barber poles. According to Ohio state law, all barber shops must display either a barber pole or a window sign reading "Barber." If a pole is displayed, it may not exceed 28 inches in height.
- (c) Bulletin board. A bulletin board shall not exceed fifteen square feet in area and shall not be internally illuminated.
- (d) Construction period signs.
  - (1) General. Construction period signs are permitted for the purpose of identifying or screening a construction project.
  - (2) Location. Must be installed on the property for which a valid permit is in effect.
  - (3) Illumination. May not be illuminated.
  - (4) Construction period fence signs.

Shall be affixed to construction fencing and shall not extend beyond the associated fence, in terms of height, width, or other measurement or dimension.
  - (5) Construction Period Ground Signs.

Non-residential construction period ground signs shall not exceed 32 square feet in area or 16 square feet per side for double sided signs, and 8 feet in height. One sign shall be allowed per street frontage.

Residential construction period ground signs shall not exceed 6 square feet in area or 3 square feet per side for double sided signs, and 3 feet in height. One sign shall be allowed per street frontage.
- (e) Directional signs. The display area for directional signs shall not exceed 6 square feet in area or 3 square feet per side for double sided signs, and 3 feet in height. No more than fifty percent of the graphic area may be non-directional information. The total area for all such signage shall be no more than twenty square feet per parcel. Directional signs are excluded in the computation of sign area.



- (f) Flags. Poles for such flags shall not exceed 25 feet in height. The area of such flags shall not exceed 24 square feet per side.
- (g) Flags, Business. Business flags may be displayed if flown on a vertical staff or pole and in conjunction with the national flag. There shall be no more than one per parcel. Such business flags shall be flown on the same staff or pole and below the national flag or on a separate staff or pole at a lower level than the national flag if such separate staff or pole is not in front of the national flag. The business flag shall not be larger than the national flag and in no instance exceed three feet in width or five feet in length. Business flags shall be limited to the business logo. Business flags are excluded in the computation of sign area.
- (h) Governmental Signs.
- (i) Historical Markers. Ohio Historical Markers meeting the qualifications of the Ohio History Connection shall be exempt from all dimensional requirements of Code.
- (j) Internal signs. Internal signs may be attached to the surface of glass provided the total area does not occupy more than 25% of the area of the glass upon which it is affixed. Internal signs that occupy more than 25% of the area of the glass or are illuminated must be at least 4 feet away from any exterior glass. Internal signs are excluded in the computation of sign area.
- (k) Professional Nameplates
- (l) Sale or leasing period signs.
  - (1) Location. Must be installed on the property that is the subject of the sign.
  - (2) Illumination. May not be illuminated.
  - (3) Non-residential sale or leasing period signs.
    - A. General. Non-residential sale or leasing period signs are permitted in all non-residential districts.
    - B. Number. There shall be no more than one ground sign per site on properties with less than 200 feet of frontage. For properties with 200 feet of frontage or more, one additional sign is permitted spaced at least 100 feet from the other sign.
    - C. Size. Such signs shall not exceed 16 square feet in area or 8 square feet per side for double sided signs and 6 feet in height.
    - D. Duration. Such signs shall be permitted for 30 days continuously and no more than 90 total days in a calendar year and must be removed within 14 days after the sale, rental, or lease has occurred.



- E. Construction. Such signs shall be professionally designed and constructed. Plywood and cardboard are not permitted materials.
- (4) Residential sale or leasing period sign.
  - A. General. Residential sale or leasing period signs are permitted in all residential districts.
  - B. Number. One sign is permitted per property.
  - C. Size. Such signs shall not exceed 6 square feet in area or 3 square feet per side for double sided signs, and 3 feet in height.
  - D. Duration. Such signs shall be permitted during any period when any premise or part thereof is actively offered for sale or lease and must be removed no later than 14 days after the premises or part thereof is occupied by a new owner or tenant.
- (5) Residential open house sign.
  - A. General. Residential open house signs shall be permitted on the property open for inspection.
  - B. Duration. Such signs shall be permitted only when the property is open for inspection.
  - C. Size. Such signs shall not exceed 6 square feet in area or 3 square feet per side for double sided signs, and 3 feet in height.
- (m) Sidewalk signs. Sidewalk signs may be located on the sidewalk or tree lawn in front of a business establishment in the C-5 Central Commercial District, as well as on parcels with frontage on High Street between North Street and South Street.
  - (1) Such signs shall be limited to a maximum of one for each business or tenant, and placed on the sidewalk only during the hours the business is open.
  - (2) Sidewalk signs shall be located not closer than three feet from the back edge of the curb, a minimum of ten feet from any other sidewalk sign and allow a minimum of five feet of sidewalk in front of each business for pedestrian circulation.
  - (3) Sidewalk signs may be double-sided and shall be no wider than three feet and not taller than five feet in height including any base. Signs with a three-dimensional form shall not exceed 30 cubic feet in area. The signs shall be suitable for pedestrian traffic and shall not be illuminated.



- (4) A sidewalk sign may be erected without prior architectural review. Any sign erected that fails to satisfy the regulations of this section shall be removed immediately upon notification. Sidewalk signs shall be sufficiently stable and safe. Any sign found to be unsafe or to present a hazard as determined by the City's Director of Service and Engineering shall be removed immediately upon notification.
- (n) Street address signs. An owner, occupant(s) or person(s) having control of a residential, commercial, industrial, or public building shall display the numerical address of the building meeting the following requirements.
  - (1) All street address signs shall be displayed using commonly recognized numbers.
  - (2) The color of the numbers shall contrast to the color of the surface on which they are mounted, and the numbers shall have an unobstructed view from the street on which the building is numbered.
  - (3) The numbers shall be placed on the wall of the building facing the street on which the building is numbered.
  - (4) For buildings not having entrance doors facing the street on which the buildings are numbered, numbers of all units within such building shall be placed either on the wall of the building facing the street on which the building is numbered or on a sign not greater than two square feet in area.
  - (5) The owner of a residential building may post additional sets of address numbers provided that one set complies with the provisions of this section.
  - (6) For residences, such numbers shall be a minimum of three inches in height.
  - (7) For non-residential uses, the minimum height of numbers and letters shall vary according to front setback, as follows.
    - A. If the setback is less than 100 feet, the minimum height is 12 inches, and the maximum height is 24 inches.
    - B. For setbacks between 100 feet and 200 feet, the minimum height is 18 inches, and the maximum height is 36 inches.
    - C. For setbacks over 200 feet, the minimum height is 24 inches, and the maximum height is 48 inches.

#### **1170.07 GENERAL REQUIREMENTS FOR TEMPORARY AND PERMANENT SIGNS.**

- (a) General Requirements.
  - (1) All signs must be constructed to meet all current building code regulations.



- (2) No sign shall interfere with vehicular or pedestrian safety in any manner.
  - (3) All signs and related surroundings shall be properly maintained and shall not show signs of rust or corrosion, exposed wiring, chipped paint or faces, cracked, broken, or missing faces, or loose materials.
  - (4) The structural integrity of all sign foundations must be maintained.
  - (5) All signs shall be constructed of quality materials commensurate with the duration of sign and that are colorfast.
- (b) Design Requirements.
- (1) Movement. No sign shall incorporate movement or the illusion of movement. Pennants, streamers, banners, and other non-rigid devices are prohibited. Business flags are an exception.
  - (2) Illumination. External illumination is preferred and shall be installed so that the light source is not visible and does not illuminate the public right-of-way, sidewalks, and adjoining premises. Internally illuminated signs shall be constructed so as to allow the illumination of only letters, numbers or other identifying symbols on the display surface. No light shall pass through the background.
  - (3) Styles. Signs shall be comprised of not more than two styles of lettering plus one logo. There shall be not more than three sizes of all such lettering, including a logo.
  - (4) Colors. Not more than four colors, including black and white, shall be used on any sign.
- (c) Measurement.
- (1) Sign area is calculated by totaling all display areas of a sign, including sign faces, molding, and framing, but excluding supporting members less than or equal to 24 inches in width.
  - (2) Allowable permanent sign area for any single business shall be limited according to the widths of the building or part of the building occupied by such enterprise. For the purposes of this section, width shall be measured along the building face nearest parallel to the street line. In the case of a corner lot, either frontage may be used in determining maximum area for signage.
  - (3) For ground signs, planters, or other decorative supporting structures shall be excluded in the computation of sign area unless the structure exceeds two feet in height or eight feet in width, in which case the entire structure shall be included in the computation of sign area.



- (4) The area for wall signs, including those that consist of individually mounted letters, numbers, or other symbols, on a fascia or wall or other permanent or temporary structure shall be the area of a rectangle circumscribed around the letters, numbers, or other symbols.

## **1170.08 PERMANENT SIGNS**

### **(a) Non-Residential Buildings.**

- (1) General. The following standards apply to all buildings that are not residential in use, except for mixed-use buildings that must comply with this section.

- A. Total sign area. The area of all permanent signs for any single business or other non-residential use shall be equivalent to one and one-half square feet of sign area for each lineal foot of width of the building or part of the building occupied by the business.
- B. Wall signs. Each business and other non-residential use shall be permitted one wall sign which shall not exceed 40 square feet in area. Wall signs shall be designed appropriately for the building and shall not be constructed as cabinet box signs or have exposed raceways.

Businesses occupying 50% or more of a building on a parcel abutting more than one right-of-way may have a wall sign facing each right-of-way.

Businesses occupying 25% or more of a building abutting the I-270 right-of-way may have a wall sign facing each right-of-way. Such signs may have a non-illuminated background up to 200 square feet in area. The graphic portion of such signs shall not exceed 100 square feet in area.

- C. Ground signs. There shall be no more than one ground sign per site on properties with less than 200 feet of frontage. For properties with 200 feet of frontage or more, one additional sign is permitted spaced at least 100 feet from the other sign.

Ground signs shall not exceed 30 square feet in area per side and have a maximum of two sides. No part of any ground sign shall exceed an above-grade height of 10 feet. Ground signs shall be located not closer than ten feet to a public right of way or ten feet to an adjoining property line.

- D. Blade signs. Each business occupying 25% or more of a building may have one blade sign which shall not exceed 6 square feet in area per side. No part of any blade sign shall extend more than three feet from the building upon which it is attached. No part of any blade sign shall be less than eight (8) feet above the sidewalk or ground level adjacent to the building.



- (2) Joint identification sign.
    - A. Joint identification ground signs shall display no more than 6 individual listings.
    - B. Joint identification wall signs may advertise more than 6 individual listings.
  - (3) Central Commercial District. Businesses and other non-residential uses in the C-5, Central Commercial Zoning District are permitted one wall sign, and either one blade sign or one ground sign, the total area not to exceed the allowable square footage in 1170.08 (a) (1) A.
  - (4) Gasoline Service Stations and Gasoline/Convenience Store Stations. In addition to the signage permitted in this Chapter, gasoline service stations and gasoline/convenience store stations shall be permitted other signs as may be required by law on the motor fuel pumps, provided each sign does not exceed one square foot in area. Such signs shall not be subject to Architectural Review Board approval or require sign permits.
- (b) Residential buildings and developments.
- (1) Home occupations. Signs identifying a home occupation use shall be wall signs, non-illuminated, and not more than one square foot in area. There shall be not more than one sign per dwelling unit.
  - (2) Residential development sign.
    - A. In residential developments less than 20 acres in size, one residential development sign may be erected provided such sign is not larger than 20 square feet and is not closer than 10 feet to any street or alley right-of-way.
    - B. In residential developments of 20 or more acres, one sign, not more than 20 square feet in area, may be erected at each principal entrance provided that the total sign area does not exceed 60 square feet for all such signs. Such signs shall not be closer than 10 feet to any street or alley right-of-way.

#### **1170.09 TEMPORARY SIGNS.**

- (a) General.

Temporary signs as referenced in Section 1175.071 require issuance of a Temporary Use Permit.
- (b) Criteria.



- (1) General. Temporary signs are permitted during a grand opening, community event, or other such celebration, or during the time between opening a business and installation of a permanent sign.
- (2) Location. All temporary signs shall be located on the site where the above-mentioned activity occurs. They shall not be located in any public right-of-way.
- (3) Illumination. Temporary signs shall not be illuminated.
- (4) Size. Such signs shall be a maximum of 20 square feet in area or 10 square feet per side if double-sided.
- (5) Placement. All temporary signs shall be safely and tautly secured to a building, structure, or stakes.
- (6) Duration. Temporary signs shall in general be allowed two times per year for a maximum of 14 days each time, but shall be allowed up to 90 days to account for delay in installing a permanent sign after a business opens.

#### **1170.10 NONCONFORMING AND ABANDONED SIGNS.**

- (a) Nonconforming Signs. Where a lawful sign exists at the effective date of adoption of this Zoning Ordinance or amendment thereto, but does not meet the conditions of this ordinance, such sign shall be deemed legally nonconforming and may be continued subject to the following provisions:
  - (1) Should such nonconforming sign or portion thereof be destroyed or altered by any means to an extent of more than 50%, it shall not be reconstructed except in conformity with the provisions of this Ordinance.
  - (2) Should the graphics portion of a nonconforming sign be destroyed by any means to an extent of more than 50% of its replacement cost at the time of destruction, the graphics portion shall not be reconstructed except in conformity with the provisions of this Ordinance.
- (b) Abandoned Signs. If any sign becomes abandoned in the manner defined herein, such a sign shall be removed. An abandoned sign is defined as any sign that meets any one of the following criteria:
  - (1) Any sign associated with an unlawful nonconforming use.
  - (2) Any conforming sign that remains after the termination of a business if the business has ceased operations and is closed to the public for at least 180 days or six months within a twelve-month period. Seasonal businesses are exempt from this determination.
  - (3) Any nonconforming sign that remains after the termination of a business.



Upon determining that a sign is abandoned, the Building Inspector shall make a reasonable effort to notify, in writing, the owner of the property on which the sign is located. Upon receiving notification that an abandoned sign exists on the property, the owner shall have the abandoned sign removed within 30 days or shall file an appeal to the Board of Zoning Appeals under the procedure prescribed in Chapter 1129. The filing of such an appeal shall stay the time for removal of the sign pending decision of the Board of Zoning Appeals. If the Board upholds the decision of the Building Inspector, the abandoned sign shall be removed within 30 days of the Board's decision. If thereafter the property owner does not remove the sign, the City Manager shall instruct the Director of Law to take appropriate steps to have the sign removed at the owner's expense.

#### **1170.11 RIGHT TO SUBSTITUTE MESSAGE.**

- (a) Subject to the landowner's consent, a non-commercial message of any type may be substituted for any duly permitted or allowed commercial message or any duly permitted or allowed non-commercial message; provided, that the sign abides by the provisions of this Chapter, without consideration of message content.
- (b) The purpose of this Section is to prevent any inadvertent favoring of commercial speech over non-commercial speech or favoring of any particular non-commercial message over any other non-commercial message.
- (c) This provision does not create a right to increase the total amount of signage on a parcel nor does it affect the requirement that a sign must comply with all other regulations set forth in this Chapter.

#### **1125.04 VIOLATIONS AND REMEDIES.**

In case any building or structure is or is proposed to be located, erected, constructed, reconstructed, enlarged, changed, maintained or used, or any land is or is proposed to be used in violation of this Zoning Ordinance or any amendment or supplement hereto, the Building Inspector or person designated by the City Manager, the Director of Law or any adjacent or neighboring property owner who would be specially damaged by such violation, in addition to other remedies provided by law, may institute injunction, mandamus, abatement or any other appropriate action, actions, proceeding or proceedings to prevent, enjoin, abate or remove such unlawful location, erection, construction, reconstruction, enlargement, change, maintenance or use.

#### **1125.05 COMPLIANCE.**

No person shall violate or assist in violating any of the provisions of this code, or any lawful order issued pursuant thereto.



**1181.05 DEVELOPMENT STANDARDS. (Wilson Bridge Corridor Districts)**

~~(e) Signs:~~

~~— (1) General:~~

- ~~— A. All new signs, including sign face replacement, shall be subject to the provisions herein.~~
- ~~— B. The provisions in Chapter 1170 shall apply to all signs in the WBC unless otherwise stated in this section.~~
- ~~— C. Exterior lighting fixtures are the preferred source of illumination.~~

~~— (2) Freestanding Signs~~

- ~~— A. There shall be no more than one freestanding sign on parcels less than 2 acres in size, and no more than two freestanding signs on parcels 2 acres in size or greater.~~
- ~~— B. Freestanding signs shall be monument style and no part of any freestanding sign shall exceed an above-grade height of 10'. Sign area shall not exceed 50 square feet per side, excluding the sign base. The sign base shall be integral to the overall sign design and complement the design of the building and landscape.~~
- ~~— C. Freestanding signs may include the names of up to eight tenants of that parcel.~~
- ~~— D. Light sources shall be screened from motorist view.~~

~~— (3) Wall-mounted Signs~~

- ~~A. Each business occupying 25% or more of a building may have one wall sign and one projection sign. Wall-mounted signs shall not exceed 40 square feet in area, and projection signs shall not exceed 12 square feet in area per side.~~
- ~~B. Businesses occupying 25% or more of a building on a parcel abutting more than one Right-of-Way may have a wall sign facing each Right-of-Way.~~
- ~~C. Businesses occupying 25% or more of a building abutting the I-270 Right-of-Way may have a wall sign facing each Right-of-Way. Such signs may have a non-illuminated background up to 200 square feet in area. The graphic portion of such signs shall not exceed 100 square feet in area.~~
- ~~D. Wall-mounted and projection signs shall be designed appropriately for the building and shall not be constructed as cabinet box signs or have exposed raceways.~~