



BOARD OF ZONING APPEALS
-AGENDA-
Thursday, February 1, 2024 at 7:00 P.M.

Louis J.R. Goorey Worthington Municipal Building
The John P. Coleman Council Chamber
6550 North High Street
Worthington, Ohio 43085

A. Call to Order - 7:00 pm

1. Roll Call
2. Pledge of Allegiance
3. Approval of minutes of the January 4, 2024 meeting
4. Affirmation/swearing in of witnesses

B. Items of Public Hearing

1. **Extension of Construction Completion Period** – New House – **100 W South St.** (Neil Toepfer) **EXCP 01-2024**
2. **Variance** – Side Yard Setback – Sunroom Addition – **183 Franklin Ave.** (Brenda Ruf/Zadnik) **VAR 01-2024**
3. **Variances** – Front & Side Yard Setbacks, Accessory Building Area – Garage – **141 Northhigh Dr.** (Eagle Home Services) **VAR 02-2024**
4. **Variances** – Setbacks on a Corner Lot – Fence – **27 E. Riverglen Dr.** (Ryan McChesney) **VAR 03-2024**

C. Other

D. Adjournment



MEMORANDUM

TO: Members of the Board of Zoning Appeals

FROM: Lynda Bitar, Planning Coordinator

DATE: January 26, 2024

SUBJECT: Staff Memo for the Meeting of February 1, 2024

B. Items of Public Hearing

1. **Extension of Construction Completion Period** – New House – **100 W South St.** (Neil Toepfer) **EXCP 01-2024**

Findings of Fact and Conclusions

Background:

This property is in the R-10 (Low Density Residential) Zoning District and within the Architecture Review District in Old Worthington. In March 2018, the Architectural Review Board approved the construction of a new dwelling and garage on the property. The permit was issued in August 2018 and expired in early 2020. The Board of Zoning Appeals approved an extension in May 2020 until the end of that year. In March 2021, another extension was approved until the end of 2021. In December 2021, an extension was approved until the end of 2022. The last extension was approved in December 2022, expiring at the end of 2023.

As the project is not complete, the owner is requesting an additional extension.

Worthington Codified Ordinances:

Section 1129.05 Powers and Duties (BZA)

(6) Extension and construction completion periods. The Board may authorize, for good cause shown, extension of the time period provided for the completion of structures in the Building Code. However, the Board may not authorize extension of the period for greater than a one-year extension of time subject to one-year renewals and such conditions as well safeguard the public health, safety, convenience and general welfare.

Section 1305.06 Compliance with Ordinances

(b) The permit authorizing the work as shown on the approved construction documents is invalid if the work is not completed, inspected, and approved within eighteen months of the issuance of the permit.

(c) Before any work authorized by a permit may continue for which the permit is invalid, the owner shall make application to the Board of Zoning Appeals for an extension of time as required under Chapter 1129 of the Planning and Zoning Code. Failure to complete work within said time period or any additional time granted by the Board of Zoning Appeals shall constitute a violation of this code.

Request:

The applicant is requesting what should be a final time extension until June 2024.

Project Details:

1. The remaining exterior work includes completion of the driveway, sidewalk, siding and deck railing, and landscaping, which the property owner plans to complete in March.
2. Interior work to be completed is installation of a 2nd floor bathroom and 1st floor radiant heating.

Conclusion:

The property owner has made progress with the new house and should be able to complete the project by June of this year.

Motion:

THAT THE REQUEST BY NEIL TOEPFER FOR AN EXTENSION OF THE CONSTRUCTION COMPLETION PERIOD UNTIL JUNE 30, 2024, AT 100 W. SOUTH ST., AS PER CASE NO. EXCP 01-2024, DRAWINGS NO. EXCP 01-2024 DATED DECEMBER 28, 2024, BE APPROVED, BASED ON THE FINDINGS OF FACT CONCLUSIONS IN THE STAFF MEMO AND/OR PRESENTED AT THE MEETING.

2. **Variance** – Side Yard Setback – Sunroom Addition – **183 Franklin Ave.** (Brenda Ruf/Zadnik) **VAR 01-2024**

Findings of fact & Conclusions

Background & Request:

This 50' wide x 200' deep lot was created in 1896 as part of the Griswolds East Side Addition to Worthington subdivision. A house and garage were in place on this lot and the adjacent lot to the east, and the structures were demolished in 1992. Variances were granted in 1992 to allow two new houses to be constructed in the required side yards, 3' from both side property lines. The house at 183 Franklin Ave. is 2144 square feet in area. The property is an existing lot of record in the R-10 Low Density Residence Zoning District.

Worthington Codified Ordinances:**Section 1149.05 Existing Lots of Record.**

The side yard setback for a building addition to an existing primary structure may be reduced to no less than six feet and the sum of side yards reduced to no less than twelve feet if the addition projects no further into the side yard than the existing structure.

Request:

The applicant is requesting a variance to construct a sunroom addition 3.5' from the east side property line for a variance of 2.5'.

Project Details:

1. Although the house was allowed to be 3' from the side property lines, the submitted survey shows it at 2.4' from the east side property line.
2. The sunroom addition is proposed to be about 21.3' deep x 13.1' wide with the main wall 5' from the property line. There is a direct vent fireplace at the middle of the sunroom wall that would extend another 1.5' to the east.
3. The sunroom is designed to match the materials and style of the existing house and would open to a new deck and patio.

Division of Building Regulation Comments:

The direct vent gas fireplace "bump-out" is less than 5' from the property line. The walls within the 5' fire separation distance will need to be a 1-hour fire-resistance rated assembly per [RCO 302.1](#), including the underside of that "bump-out". The through penetration of this rated assembly would not require a penetration firestop system since it is not less than 3' from the property line.

Conclusion:

The proposed addition should not substantially alter the essential character of the neighborhood as the addition would be no closer to the property line than the existing house, be subordinate and to the rear, and the design and materials would match.

Motion:

THAT THE REQUEST BY BRENDA RUF ON BEHALF OF KARLA AND KURT ZADNIK FOR A VARIANCE TO ALLOW AN ADDITION IN THE REQUIRED SIDE YARD AT 183 FRANKLIN AVE., AS PER CASE NO. VAR 01-2024, DRAWINGS NO. VAR 01-2024, DATED JANUARY 2, 2024, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

3. **Variances – Front & Side Yard Setbacks, Accessory Building Area – Garage – 141 Northigh Dr. (Eagle Home Services) VAR 02-2024**

Findings of Fact and Conclusions**Background:**

This property is 1.01 acres in area (111' wide x 391.35' deep) and Lot #52 of the Northigh Acres subdivision which was approved in 1923. The property is in the R-10 (Low Density Residential)

Zoning District. The existing house was constructed in 1979, is about 2200 square feet in area, and sits about 56 feet from the front property line. The owner is planning a house addition and renovation and would like to construct a two-story freestanding garage north of the house.

Worthington Codified Ordinances:

1149.01 Yard, Area and Height for Dwellings and Accessory Structures.

The required minimum front yard in the R-10 Zoning District is 30’.

The required minimum side yard in the R-10 Zoning District is 8’.

Section 1149.08 Special Yard Requirements.

(b) No accessory buildings shall be located in any front or side yard except under unusual circumstances where such building shall not conflict with the intent and purposes of this Zoning Ordinance, or, where enforcement shall result in extreme hardship. In either case the decision to permit such activity shall be made by the Board of Zoning Appeals. Accessory buildings such as garages and storage buildings exceeding 120 square feet in area may be located in the rear yard provided such buildings are set back at least eight feet from the side lot lines and ten feet from the rear lot line. Accessory buildings of 120 square feet or less in area must be set back at least five feet from the side and rear lot lines. In any “R” District the total area for accessory buildings shall be limited to 850 square feet and must be compatible in materials and appearance to the other buildings in the area.

1123.30 Dwellings.

(b) "Dwelling unit" means one room or rooms connected together, constituting a separate, independent housekeeping establishment for owner occupancy or rental or lease on a monthly or longer basis, and physically separated from any other rooms or dwelling units which may be in the same structure and containing independent cooking and sleeping facilities.

1147.01 Permitted and Conditional Uses

In the R-10 Low Density Residence zoning district single-family dwellings are a permitted use.

Requests:

The applicant is requesting approval to construct a new detached garage at the northwest corner of the property and is asking for the following variances:

1. Front Yard: Garage – 19’ 11 ½” from front property line; Variance – 10’ ½”
2. Side Yard: Garage – 5’ from west side property line; Variance – 3’
3. Accessory Building Area: 1940 square feet total; Variance – 1055 square feet

Project Details:

1. The proposed garage is 32’ x 26’4” and would sit on a concrete slab north and west of the existing attached garage on the house.
2. The new garage would hold three cars and have stairs at the rear on the first floor. The second floor is proposed with a full bathroom, a furnace, and open space. Use as a home office and storage is proposed. An additional dwelling unit would not be permitted.
3. A front house addition and the garage would have similar design (gable roof forms) and matching materials (board and batten siding, stone).

Conclusions:

- Placement of freestanding garages closer to the right-of-way than the main house is not typical in Worthington.
- Along Northhigh Drive the structures are at least 30' from the front property line with most, including houses adjacent to this property, being set back further. The proposed placement could alter the character of the neighborhood.
- The Accessory Building Area variance would typically be acceptable on a 1 acre property if the location was not problematic.
- The garage could not be used as a dwelling unit as the Code only allows one dwelling unit per property in the R-10 Zoning District.

Motion:

THAT THE REQUEST BY EAGLE HOME SERVICES FOR VARIANCES FROM CODE REQUIREMENTS TO ALLOW CONSTRUCTION OF A FREESTANDING GARAGE IN THE FRONT AND SIDE SETBACK, AND EXCESSIVE ACCESSORY BUILDING AREA, AT 141 NORTHHIGH DR., AS PER CASE NO. VAR 02-2024, DRAWINGS NO VAR 02-2024 DATED JANUARY 4, 2024, BE APPROVED, BASED ON THE FINDINGS AND CONCLUSIONS IN THE STAFF MEMO AND/OR PRESENTED AT THE MEETING.

4. **Variances** – Setbacks on a Corner Lot – Fence – **27 E. Riverglen Dr.** (Ryan McChesney)
VAR 03-2024

Findings of Fact & Conclusions**Background & Request:**

This property is the result of a combination of Lots 34 & 35 of the Colonial Hills subdivision of 1927. The 1872 square foot house was built in 1930 and is on the eastern 50' of the property. The western 50' is vacant. Lot depth is 158' feet for total area of 15,800 square feet. The property is in the R-10 (Low Density Residential) Zoning District.

Worthington Codified Ordinances:

[1149.01 Yard, Area and Height for Dwellings and Accessory Structures.](#)

The required front yard in the R-10 Zoning District is 30'.

[1149.08 Special Yard Requirements.](#)

(a) At corner lots, no accessory uses, accessory structures, structures, material or equipment storage shall be located in any required front yard. Side yards fronting on the adjacent street can be reduced to two-thirds of the required front setback from the right of way of the adjacent street.

The required side yard along the alley is 20'.

[1180.02 "R" Districts. \(Fences\)](#)

(a) In any "R" District, no fence or wall shall be erected in the area between the right of way line and the building setback line except for a wall necessary to accommodate differences in grade. No fence or wall in an "R" district shall exceed a height of six feet.

Request:

The applicant would like approval to install fencing along the alley, potentially as close as 1' from the right-of-way line for a variance of 19'. The north end of the fence would start about 28' from the E. Riverglen Dr. property line for a variance of 2'.

Project Details:

1. An existing wire fence runs along the alley amongst a thick tree and brush line. The fence has been in place for many years and a variance was never granted for its placement.
2. Proposed in place of the wire fence is a 6' high solid cedar fence with rails at the top and bottom and placed between the existing vegetation as much as possible. The new fence would mostly be about 2.5' from the alley property line.
3. The owner states the tenants in the adjacent apartments and the dumpster service vehicles sometimes bump into the brush along the alley, but the new fence would be 6' back from the edge of the brush so should not be in the way.
4. Other fences are in similar locations along this alley.
5. The fence would stop about 28' south of the Riverglen Dr. property line, approximately lining up with the house.

Conclusions:

- The essential character of the neighborhood would not be substantially altered as a result of the variances.
- The variances should not adversely affect the delivery of governmental services.
- The owner did not have knowledge of the zoning restriction as he thought a variance had previously been granted.

Motion:

THAT THE REQUEST BY RYAN MCCHESENEY FOR A VARIANCE TO INSTALL A NEW FENCE IN THE REQUIRED SETBACKS ON A CORNER LOT AT 27 E. RIVERGLEN DR., AS PER CASE NO. VAR 03-2024, DRAWINGS NO. VAR 03-2024, DATED JANUARY 5, 2024, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

1129.05 Powers and Duties.

(b) Exceptions. In hearing and deciding appeals, the Board shall have the power to grant an exception in the following instances:

(5) Temporary use permits. A temporary use permit may be granted where the temporary use of a structure or premises in any district where such temporary use shall be for a period of more than ninety days is proposed for a purpose or use that does not conform to the regulations prescribed elsewhere in this Zoning Ordinance for the district in which it is located, provided that such use be of a temporary nature and does not involve the erection of a substantial structure. A temporary use permit for such use shall be granted in the form of a temporary and revocable permit, for not more than a six-month period, subject to a six months' renewal and such conditions as will safeguard the public health, safety, convenience, and general welfare.

(6) Extension and construction completion periods. The Board may authorize, for good cause shown, extension of the time period provided for the completion of structures in the Building Code. However, the Board may not authorize extension of the period for greater than a one-year extension of time subject to one-year renewals and such conditions as will safeguard the public health, safety, convenience, and general welfare.

(c) Area Variances. The Board shall have the power to hear and decide appeals and authorize variances from the provisions or requirements of this Zoning Ordinance. In authorizing a variance, the Board may attach conditions and require such guarantee or bond as it may deem necessary to assure compliance with the objective of this Zoning Ordinance. The Board may grant a variance in the application of the provisions of the Zoning Ordinance when it is determined that practical difficulty exists based on the following factors:

(1) Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance;

(2) Whether the variance is substantial;

(3) Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer a substantial detriment as a result of the variance;

(4) Whether the variance would adversely affect the delivery of governmental services (e.g. water, sewer, garbage).

(5) Whether the property owner purchased the property with knowledge of the zoning restriction;

(6) Whether the property owner's predicament feasibly can be obviated through some method other than a variance; and,

(7) Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting the variance.

(d) Interpretation of District Map. In case of any questions as to the location of any boundary line between zoning districts, a request for interpretation of the Zoning District Map may be made to the Board which shall interpret the Map in such a way as to carry out the intent and purpose of this Zoning Ordinance.

(e) Extension of Nonconforming Use. The Board shall have the authority to grant an extension of a building or the expansion of the use of a lot devoted to a nonconforming use upon a lot occupied by such building or use, or on a lot adjoining, provided that such lot was under the same ownership as the lot in question on the date such building or use became nonconforming, and where such extension is necessary and incidental to the existing use of such building or lot. However, the floor areas or lot areas of such extensions shall not exceed, in all, 100 percent (100%) of the area of the existing building or lot devoted to a nonconforming use.



MINUTES OF THE REGULAR MEETING
BOARD OF ZONING APPEALS
January 4, 2024

A. Call to Order – 7:00 p.m.

1. Roll Call - the following members were present: Cynthia Crane, Chair; Garrett Guillozet, Vice-Chair; Brian Seitz, Secretary; Beth Benzenberg; and Mikel Coulter, Representative of the MPC. Also present were Lee Brown, Director of Planning and Building; and Lynda Bitar, Development Coordinator.
2. Pledge of Allegiance
3. Oath of Office
Mr. Brown gave the Oath of Office to Mrs. Crane
4. Election of Officers
Mr. Seitz moved to keep the existing slate of Officers, and Mr. Coulter seconded the motion. All members voted “aye” for the following officers: Mrs. Crane, Chair; Mr. Guillozet, Vice-Chair; and Mr. Seitz, Secretary.
5. Approval of Minutes of December 7, 2023, meeting
Mr. Guillozet moved to approve the minutes and Mr. Seitz seconded the motion. All members voted “Aye” and the minutes were approved.
6. Affirmation/swearing in of witnesses

B. Items of Public Hearing

1. **Variance** – Rear Yard Setback – Screened Porch – **561 Hallmark Pl.** (Dean Kiourtsis) **VAR 42-2023**

Mrs. Bitar reviewed the following from the staff memo:

Findings of Fact & Conclusions

Background:

This 0.48 acre property is on a cul-de-sac so is shaped narrowly at the front, has flared side property lines, and has two rear property lines. The property is in the R-10 Zoning District. The house was built in 1959 and is 2276 square feet in area. The owners would like to construct a screened porch on the rear of the home.

Worthington Codified Ordinances:**1149.01 Yard, Area and Height for Dwellings and Accessory Structures.**

The required rear yard for a building addition in the R-10 Zoning District is 30’.

Request:

A corner of the proposed screened porch would extend to 22’8” from the rear property line for a variance request of 7’4”.

Project Details:

1. The 20’ wide x 16’8” deep porch is proposed near the southwest corner of the house, having a chamfered wall at the corner to allow room between the addition and a stone wall.
2. A gable roof to be built adjacent to and matching an existing gable over the dining room is proposed.
3. Siding and roofing for the porch would match the existing house.

Conclusion:

The essential character of the neighborhood would not be substantially altered, and adjoining properties would not suffer a substantial detriment as a result of the variance.

Discussion:

Mrs. Crane: Is the applicant here? Please come forward, state your name and address into the microphone.

Mr. Dean Kiourtsis: Sure, I'm Dean Kiourtsis, this is my wife, Mary Jo, 561 Hallmark Place.

Mrs. Crane: Do you have anything to add to staff's presentation?

Mr. Kiourtsis: No, we just recently moved here in August, and we love the outdoors, so we wanted to have a screen porch to be able to be outside and not be eaten up by the bugs. I don't know if anyone has questions for us.

Mrs. Crane: Questions for the applicants? Is there anyone in the audience who would like to speak for or against this proposal?

Motion:

Mr. Seitz moved:

THAT THE REQUEST BY DEAN KIOURTSIS FOR A VARIANCE TO CONSTRUCT A SCREENED PORCH IN THE REQUIRED REAR YARD AS PER CASE NO. VAR 42-2023, DRAWINGS NO. VAR 42-2023, DATED NOVEMBER 27, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

Mr. Guillozet seconded the motion. Mr. Brown called the roll. Mr. Coulter, aye; Mrs. Benzenberg, aye; Mr. Guillozet, aye; Mr. Coulter, aye; and Mrs. Crane, aye. The motion was approved.

2. **Variance** – Setback from Alley – Fence – **148 E. South St.** (Amy Weinsz/Mansfield) **VAR 43-2023**

Mrs. Bitar reviewed the following from the staff memo:

Findings of Fact & Conclusions

Background & Request:

This house is about 1100 square feet in area and is a contributing building in the Worthington Historic District. The 0.16 acre lot is 50' wide and 140' deep, and in the R-10 Zoning District. The lot is adjacent to an alley at the rear of the property. There is an existing wire fence enclosing the rear of the property that the owner would like to replace.

Worthington Codified Ordinances:

[1180.02 "R" Districts.](#)

(a) In any "R" District, no fence or wall shall be erected in the area between the right of way line and the building setback line except for a wall necessary to accommodate differences in grade.

[1149.01 Yard, Area and Height for Dwellings and Accessory Structures.](#)

The required rear yard for dwellings and accessory structures in the R-10 Zoning District is 30'.

Request:

The applicant would like approval to replace an existing fence that is in the required rear yard at an alley. The location is on the property line, so the variance request is 30'.

Project Details:

1. The existing fence is green wire farm fencing mounted on 4" x 4" wood poles that surrounds the rear yard behind the garage and driveway. The fence has been in place for many years and a variance was never granted for its placement.
2. Proposed is a 4' high cedar picket fence with rails at the top and bottom and placed in the same location as the existing. The fence would have 3 ½" wide pickets spaced 3 ½" apart.

Conclusion:

The essential character of the neighborhood would not be substantially altered, and adjoining properties would not suffer a substantial detriment as a result of the variance.

Discussion:

Mrs. Crane: Is the applicant here? Please come forward. State your name and address.

Ms. Amy Weinsz: Hello, I'm Amy Weinsz, 148 E South Street.

Mrs. Crane: Do you have anything to add to staff's presentation? Any questions for the applicant? Is there anybody in the audience who would like to speak for or against this application? Do I hear any further thoughts or motions?

Motion:

Mrs. Benzenberg:

THAT THE REQUEST BY AMY WEINSZ FOR A VARIANCE TO INSTALL A NEW FENCE IN THE REQUIRED SETBACK AT AN ALLEY AT 148 E. SOUTH ST., AS PER CASE NO. VAR 43-2023, DRAWINGS NO. VAR 43-2023, DATED DECEMBER 7, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

Mr. Seitz seconded the motion. Mr. Brown called the roll. Mr. Guillozet, aye; Mr. Coulter, aye; Mr. Seitz, aye; Mrs. Benzenberg, aye; and Mrs. Crane, aye. The motion was approved.

3. Variances – Setbacks, Lighting, Signage – New Chick-fil-A Restaurant – 60 E. Wilson Bridge Rd. (Bill Skebba) VAR 44-2023

Mrs. Bitar reviewed the following from the staff memo:

Findings of Fact & Conclusions

Background & Request:

Buca di Beppo opened at this location in 2001 and has operated there ever since. The property is in the C-4 Zoning District and is also subject to provisions in the Wilson Bridge Corridor (WBC) chapter of the Code. The site is made up of a parcel that is 582.5' deep on the north side (33' of that depth is part of a highway easement); 591.37' deep on the south side (33' of that depth is part of a highway easement); about 180' wide at E. Wilson Bridge Rd.; and about 160' wide at N. High St. for a total of about 2.3 acres (2.18 acres without the area in the highway easement). The highway easement needs to be dedicated to the City as right-of-way. Although the site has frontage on N. High St. and E. Wilson Bridge Rd., access is only allowed from E. Wilson Bridge Rd. as N. High St. is limited access right-of-way.

The applicant is proposing to demolish the existing building and construct a new Chick-fil-A restaurant with a drive-thru. The Architectural Review Board and Municipal Planning Commission approved the project at the December 14, 2023 meeting. Variances are needed for the redevelopment.

Worthington Codified Ordinances:

1149.02 Yard, Area and Height for All Buildings other than Dwellings.

The required side yard in the C-4 Zoning District is 15'.

1149.07 Setback of Buildings on Principal Streets and Highways.

The required front yard along E. Wilson Bridge Rd. is 50' as the road is a regional thoroughfare.

Chapter 1170 Signs

1170.02 Definitions and Provisions.

- (f) “Directional sign” means a sign used to direct on-site traffic and identify services such as restrooms, hours of operation, etc., and of which no more than fifty-percent of the graphic area is non-directional information. The display area for such signs shall not exceed twenty-four inches in height or width, and the above grade height for freestanding directional signs shall not exceed thirty-six inches. The total area for all such signage shall be no more than 20 square feet per parcel. Directional signs are excluded in the computation of sign area.

1170.05 Commercial and Industrial District Requirements.

- (a) Sign area. Allowable permanent sign area for any single business shall be limited according to the widths of the building or part of the building occupied by such enterprise. For the purposes of this section, width shall be measured along the building face nearest parallel to the street line. In the case of a corner lot, either frontage may be used in determining maximum area for signage. The area of all permanent signs for any single business shall be equivalent to one and one-half square feet of sign area for each lineal foot of width of the building or part of the building, but shall not exceed a maximum area of 100 square feet per business.

Wilson Bridge Corridor

Lighting: All exterior lighting shall be integrated with the building design and site and shall contribute to the night-time experience, including façade lighting, sign and display window illumination, landscape, parking lot, and streetscape lighting.

- a. The average illumination level shall not exceed 3 footcandles. The light level along a property line shall not exceed 0 footcandles.
- b. The height of parking lot lighting shall not exceed 15' above grade and shall direct light downward. Parking lot lighting shall be accomplished from poles within the lot, and not building-mounted lights.
- c. For pedestrian walkways, decorative low light level fixtures shall be used and the height of the fixture shall not exceed 12' above grade.

Signs:

Exterior lighting fixtures are the preferred source of illumination.

a. Freestanding Signs

- There shall be no more than one freestanding sign on parcels less than 2 acres in size, and no more than two freestanding signs on parcels 2 acres in size or greater.
- Freestanding signs shall be monument style and no part of any freestanding sign shall exceed an above-grade height of 10'. Sign area shall not exceed 50 square feet per side, excluding the sign base. The sign base shall be integral to the overall sign design and complement the design of the building and landscape.

b. Wall-mounted Signs

- Each business occupying 25% or more of a building may have one wall sign and one projection sign. Wall-mounted signs shall not exceed 40 square feet in area, and projection signs shall not exceed 12 square feet in area per side.
- Businesses occupying 25% or more of a building on a parcel abutting more than one Right-of-Way may have a wall sign facing each Right-of-Way.

Requested Variances:

1. Both drive-thru canopies are in the required 15' side yards.
 - a. 8.4' from the north property line – 6.6' variance
 - b. 9.3' from the south property line – 5.7' variance
2. Parking on the east side is closer than 50' from the right-of-way.
 - a. 34.4' from the property line – 15.6' variance
3. Lighting levels are higher than 0 footcandles at the property lines per the photometric drawing.
4. Signage
 - a. Freestanding Signs – Parcels in the WBC over 2 acres can have 2 freestanding signs. The digital menu boards and clearance bars would be considered additional freestanding signs for a total of six signs.
 - b. The N. High St. freestanding sign structure is not new but changes to it have not been approved since the Wilson Bridge Corridor requirements were approved. Sign height is allowed to be up to 10'; the existing sign is 15' high which met the old requirement.
 - c. Total Sign Area – 100 square feet allowed; 256.3 sf proposed.
 - d. The digital menu boards would need variances to have illuminated backgrounds and changeable copy.

Project Details:

1. Site:
 - a. Building Location:
 - A 5028 square foot (sf) building is proposed about 100' from the N. High St. right-of-way.
 - b. Canopy Locations:
 - The required side yard in the C-4 Zoning District is 15' so the two canopies would also be closer than allowed to the property lines.
 - The north side canopy would be a 55'1" x 26'1" freestanding structure at approximately 8.4' from the northern property line.
 - The south side canopy would be a roughly 69' x 31' part of the building and approximately 9.3' from the southern property line.
 - c. Parking:
 - The existing 35.5' wide drive would be reused and allow for an entrance lane, and right and left turn lanes out of the property.
 - Asphalt pavement framed with curb and gutter would start at 34.4' from the E. Wilson Bridge Rd. property line and cover most of the site between that line and the building.
 - d. Lighting:
 - Pole lights are proposed for the parking lot with the fixture mounting heights being 15' and 10'. The bases would not have exposed concrete. The rectangular fixtures and poles are proposed in black. LED light sources would have color temperature of 3000k.

- Round low-profile surface mounted fixtures are proposed under canopies on the building.
 - The drive-thru canopies would have 6 square fixtures each in the ceilings, which are 12' high. The color temperature would be 3000k. The applicant has reduced the light level under the canopies to 30 footcandles or less per the ARB approval.
 - The photometric drawing shows the average footcandles for the site would be 2.98. The average has been reduced from the 3.47 footcandles as was seen by the ARB.
2. Building:
- a. The proposed one-story building would have a mansard roof with the top having a flat roof about 26' in height, the top 6-7' of the walls being a parapet to hide rooftop mechanical equipment. On the east and west elevations, two gables are proposed that appear like large dormers extending from the parapet walls above.
 - b. The drive-thru pick-up canopy on the south side would have the lower part of the mansard roof but without parapet walls on top.
 - c. The drive-thru order canopy on the north side would be a freestanding flat-roofed metal canopy with brick columns.
3. Signage:
- a. Building:
 - Two wall signs are proposed – one each on the East and West sides of the building. The “Chick-fil-A” signs would be made of white channel letters with white returns.
 - b. Freestanding Signs:
 - N. High St. – Face replacement is proposed for the existing pole sign which is 15' high. The new sign faces would be cardinal red with “Chick-fil-A” in white, and the sign box and pole would be painted dark bronze. The backgrounds would be opaque.
 - E. Wilson Bridge Rd. - The existing cabinet for the monument sign is proposed to be painted dark bronze. The faces would have cardinal red backgrounds and white “Chick-fil-A” acrylic lettering. The backgrounds would be opaque.
 - Drive-thru Signs:
 - Menu Boards – Two menu board signs are proposed under the north canopy. The support column would be dark bronze 1'10 ¼" wide and 8' tall and have one sign on each side. The menu areas are proposed as digital.
 - Clearance Bar – A clearance bar is proposed to be 9' above grade at the start of the each concrete drive-thru lane. The support pole would be a matte black color and the dimension would be SW 5403 Gray.
 - c. Directional Signs:
 - Directional sign area cannot exceed 20 square feet for the site, and the signs must meet dimensional requirements for individual signs. A future application will be needed for directional sign variances. At this point there is not enough information to calculate area.
 - Regulatory signs such as stop, do not enter, and handicap parking are shown as part of the sign package but approval is not necessary. The handicap parking signs were reduced in height to 5' to the bottom of the sign by the ARB.

- One 2' high x 2' wide "Drive Thru/Dine In" sign with arrows is proposed near the site entrance. Total height would be 3'.
 - Other directional signs are shown on the site plan under the canopies, but the style, size and number have not been identified.
 - Curbside pickup signs have not been included with this submittal but are expected at a later date.
 - Magnetic delineators are proposed all along the lanes and team member crossing signs are shown on the architectural plans. Dimensions and numbers of these directional signs has not been provided.
4. Sign Area:
- a. Wall Signs:
 - Two wall signs – 9' 8 5/16" wide x 4' 1 1/2" high, 39.98 square feet (sf) in area each = 80 sf total.
 - b. Freestanding signs:
 - High St. – The cabinet dimensions are 10' wide x 4' high, 40 square feet/side or 80 sf total.
 - E. Wilson Bridge Rd. – New sign faces would be 6' wide x 4' high, 24 square feet/side or 48 sf total.
 - Two menu boards – Two sections each – 4' 1 3/16" high x 2' 5 1/16" wide on each side of the post with the top at about 6' high. Total area would be 9.93 sf each or 19.9 sf/sign = 39.7 sf total.
 - Two clearance bars – Additional freestanding signs with 13' x 4" cross bars, 4.29 sf/bar = 8.6 sf.
 - 6 freestanding signs = 176.3 sf
 - c. Total Sign Area:
 - 80 sf + 176.3 = 256.3 sf

Conclusion:

The essential character of the neighborhood would not be substantially altered as a result of the variances.

Discussion:

Mr. Seitz: Does the existing fence along High St. remain?

Mrs. Bitar: Yes. It is owned by the City and there will always be one there due to the limited access right-of-way.

Mr. Seitz: Where is the directional sign? And the clearance bars?

Mrs. Bitar showed them on the screen.

Mr. Seitz: Was that added to the sign package because of 9' at the top?

Mrs. Bitar: This is an additional structure so the easiest thing was to put it in the sign package. The area was 8.6 square feet.

Mr. Seitz: Did we include the address numbers as sign area?

Mrs. Bitar: No, because they are called out separately in the Code.

Mrs. Crane: You mentioned directional signs would be coming back. What are we approving and not approving?

Mrs. Bitar: You are approving the permanent signs – 6 freestanding and 2 walls signs, total area; drive-thru canopies in the side yard setbacks; lighting; setback of parking on Wilson-Bridge.

Mrs. Crane: But we are not approving temporary signs?

Mrs. Bitar: Right. There are going to be temporary lane markers; signs for curbside pickup; etc. They may or may not be permanently placed in the ground. We imagine there will be more than the 20 square feet allowable for directional signs. At this point there is just the one directional sign at 4 square feet.

Mrs. Hinz: What about traffic signs?

Mrs. Bitar: We do not regulate because they are regulated by laws. One thing the ARB did was require the handicap parking signs to be lowered to 5' at the bottom.

Mr. Coulter: Chick-fil-A work well with the ARB on the reduction of signage, as well as the lighting levels and the setback. The Board could not get a good feel about the number of portable signs. They said that is operator driven. The Board got comfortable – they agreed to do things they probably don't typically do. The architecture is different. I was the architect for the first colonial style Wendy's. This will be the first Worthington style Chick-fil-A. The Board did get comfortable with things in the end. The temporary signs need to come back, and they may want to tweak things here and there.

Mrs. Crane: Any other questions for staff. Is the applicant here? Please come forward state your name and address. I know you are filling in for someone.

Mr. Matt Shiflett: My name is Matt Shiflett, address 7965 North High Street, Columbus Ohio. Yes, I'm filling in for Bill Skebba, I believe he was representing Chick-fil-A at the ARB meetings. So, I just wanted to first thank you guys for taking the time to review the case. I think Lynda did a great job of kind of hitting all the marks and covering it. I will just go over a few points just to emphasize them. I know that during the design process as far as the setback challenges we had, we really worked hard with Chick-fil-A and the design team to find a footprint that worked the best we could within that area. We tried to push the drive-thrus a little you know not as wide as they typically are the buildings one of the smaller footprints, so we really tried to do our best here to avoid those setbacks in those areas and we're just kind of stuck with what we have shown here. As Lynda mentioned we were initially pushed further towards North High the frontage. We were able to pull that back to the 100-foot setback along North High. What that did was cause a setback and friction on the east side. Unfortunately, with the parking requirements that was kind of what we had to deal with there.

As far as the lighting goes I know that we did make an effort to lower the foot candles as best we could to keep that average pretty low throughout the site while meeting Code and keeping you know a safe level of lighting that Chick-fil-A also felt comfortable with. I think we're average around half a foot candle around the perimeter total which isn't too severe at all. Lighting shouldn't be a problem with those levels especially with the bordering McDonald's the uses to the south. But we did our best to keep those low. I know that we focused on lowering the canopy lights, so we did our best with that.

As far as the signage we've really kind of minimized that as much as we could while working with the City. The clearance bars are just something that we have to have to avoid you know collisions with the canopies and to keep people safe and vehicles safe and all that stuff, and then the ordering

boards they are changeable digital menu boards but that will actually reduce the size of overall signage or area because we can change screens instead of having one massive screen that has all the menu items on there. So, I think that's all I had extra to add. I'm happy to take any questions from you guys.

Mrs. Crane: Do we have other digital menu boards in the City?

Mrs. Bitar: Yes, we do. McDonald's has them and Dunkin Donuts has them.

Mr. Seitz: The way the future huh?

Mrs. Bitar: It is apparently.

Mr. Coulter: It does keep the signs smaller.

Mrs. Bitar: It does help keep them a bit smaller. They're still big.

Mr. Seitz: Second question. Can you or maybe you and the applicant can anybody give us a point of reference for what half a foot candle is?

Mrs. Bitar: It's really not that much lighting. It's probably what we have here at our property line. Except that I think I think FC is even a little bit brighter than that. I think we get more concerned about lighting levels at the property line when commercial properties are adjacent to residential.

Mrs. Benzenberg: Based on properties here also have lights which are not accounted for...

Mrs. Bitar: Correct.

Mrs. Benzenberg: While half a foot candle is pretty dim it will actually be brighter at those property lines.

Mr. Seitz: I just wanted to get it into the minutes.

Mrs. Crane: Is there anyone in the audience - sir please come up state your name and address. You're not on camera till you get there.

Mr. Conroy: This is the first Chick-fil-A in Worthington.

Mrs. Crane: Your name and address.

Mr. Charles Conroy: Charles Conroy 108 East Dublin Grandville Road, Worthington. So, is this the first Chick-fil-A in Worthington?

Mrs. Bitar: Yes.

Mr. Conroy: Okay I don't have anything against people who like chicken but I think Chick-fil-A kind of connotes you know fileting a chicken which might be animal cruelty. I think they should change the name or add to it to make it a little more digestible. Well, there's nothing we can do but I thought I'd bring it up now before it's in business. I mean they've already made plans about their signage. They're going to remove some of their signs. I think that's good.

Mrs. Crane: That's nothing we have any control over at all.

Mr. Conroy: I know I know I just said bring it up.

Mrs. Crane: I think their representative probably has heard your concern and well I don't know if there's anything that will be done about it. They've been in business for quite a while and it's just not something that we will be doing.

Mr. Conroy: But it's new in Worthington.

Mr. Brown: Madam Chair we're not legally allowed to regulate content. We can regulate size colors, but legally we are not allowed to regulate content.

Mrs. Crane: That's from the flag issue that we had. All right was there anything else?

Mr. Conroy: Um not right now.

Mrs. Crane: Thank you. Is there anyone else who would like to speak for or against this proposal? Any more discussion? Motions?

Motion:

Mr. Guillozet:

THAT THE REQUEST BY BILL SKEBBA ON BEHALF OF CHICK-FIL-A FOR VARIANCES TO CONSTRUCT A NEW RESTAURANT AT 60 E. WILSON BRIDGE RD., AS PER CASE NO. VAR 44-2023, DRAWINGS NO. VAR 44-2023, DATED DECEMBER 7, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

Mr. Seitz seconded the motion. Mr. Brown called the roll. Mr. Coulter, aye; Mrs. Benzenberg, aye; Mr. Seitz, aye; Mr. Guillozet, aye; and Mrs. Crane, aye. The motion was approved.

Mrs. Crane: That concludes our items of public hearing for tonight. In other business I do know this gentleman in the corner wanted to speak so please come up and state your name and address again or at least your name for the record.

Mr. Conroy: Charles Conroy 108 East Dublin Granville Road, Worthington, Ohio. What I'm concerned about is the changes that are happening in Columbus and Worthington. I think you know I was reading some stuff on my phone here that said Worthington has dropped 13 places in one year or something. I don't know if you guys read this stuff or not but as far as our academics are concerned and I think it's because there's another guy here who says that we didn't - got on my screenshots. Planning up when we had the high school design. It's now we used to have a building that was one story looked one story from the front and now it's going to look like a two-story building which means people are going to be climbing up and down stairs all day and if you really get down to it it's probably the biggest building in Worthington anyway is the high school. So, that's going to affect downtown, North Worthington, and I think it's going to probably affect parts of Columbus. So, I don't know if there's anything we can do about it and you know work on designing some more. You just didn't get enough feedback when you went through all the stuff you did to get it done.

Mr. Guillozet: I would just say that this Board has no authority in that realm.

Mr. Conroy: You are the Zoning Board right?

Mr. Guillozet: That's correct we are the Zoning Board, so most of those decisions that come to us are already made and approved by other entities within the city and in some cases do not require any approval. It's only when they want to operate outside of what the current rules are that this Board hears their cases.

Mr. Conroy: Okay so anyway so um to get back on to this um you know I wanted - is just going out live all over Worthington?

Mrs. Crane: Yes

Mr. Conroy: Okay well I wanted to make sure I mentioned this before we got any further into the new year because it's going to be colder this winter and you know Columbus has their new parking uh system where you have to use a phone if you want to park you know that's going to hurt Columbus that's two things that aren't that aren't going good so

Mrs. Crane: Of course, we're Worthington they're Columbus.

Mr. Conroy: But it affects us it affects because you know.

Mrs. Crane: We have no legal jurisdiction over them .

Mr. Conroy: I know but I thought I would bring it up now in case somebody wants to also see if they can do anything about it you know and let me say that the reason I do this is because um I really believe in the euro you know and what they do is they try to make everything real green, they have their green ideas

Mrs. Crane: All right you believe in what?

Mr. Conroy: You know the euro, the euro nation.

Mrs. Crane: Okay, the European Union? Okay.

Mr. Conroy: If we were trying uh you know think uh we could have done probably a much better job with the high school and how much Columbus could have done better with their parking you know so you know at Ohio State can there be one more thing you know they

Mrs. Crane: You have one more minute .

Mr. Conroy: Okay um I'm a theater major from Ohio State I'm in the yearbook there I'm in the yearbook at the, in the Worthington have a big full page spread you know I don't really enjoy it but can't remember what I was gonna say now. What was I on? The drinking you know Ohio State has turned out the drinking and why did they do that who knows you know it was perfectly all right that's going to affect the Columbus, the campus area that's three things that are going to affect um that the elderly and the young people it's going to be a lot colder this winter and I think we just start planning to prepare for it tonight.

Mrs. Crane: Thank you, your time is up I said five minutes, and you are about exactly on time. As I said most of those things... but if you want to be heard I'm happy to give you that chance. Is there any other items of business to come before the Board?

C. Other

Mr. Brown: I did want to remind everyone I did send out an email today asking those of you that would like to attend the Groundhog Day luncheon. Thankfully it's a luncheon versus the breakfast because it always seems to snow. It's at Brookside, it's going to be February 2nd, Friday, at 11:30 a.m., so if any of you are interested you can let me know and we'll get you registered and that's all I have.

D. Adjournment

Mr. Seitz moved to adjourn the meeting, and Mr. Coulter seconded the motion. All Board members voted, "Aye," and the meeting adjourned at 7:46 p.m.



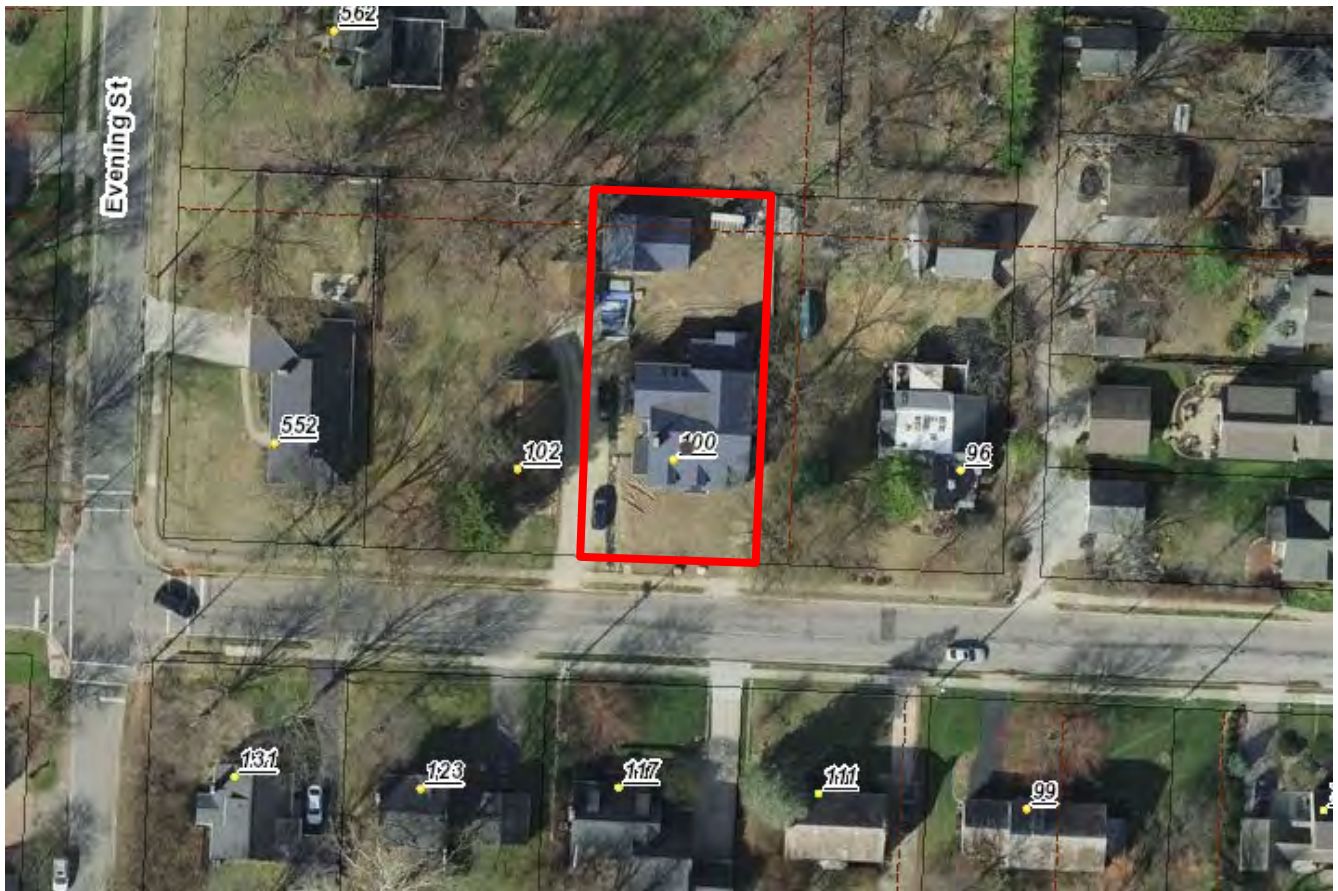
BZA APPLICATION EXCP 0001-2024 100 W. South St.

Plan Type: Extension of Construction Completion Period **Project:** **App Date:** 12/28/2023
Work Class: Extension of Construction Completion Period **District:** City of Worthington
Status: In Review
Valuation: \$0.00

Description: Permit extension for permit # 20181523 - need extra time to complete driveway work and pass final inspections.

Parcel: 100-000203	Main	Address: 100 W South St Worthington, OH 43085	Main	Zone:
Applicant Neil Toepfer 100 W SOUTH ST Worthington , OH 43085 Mobile: 614-956-8667		Owner Neil Toepfer 100 W SOUTH ST Worthington , OH 43085 Mobile: 614-956-8667		

100 W. South St.



Outside work remaining includes the following, we are likely completing in March based on weather and our contractor's availability to do the driveway and sidewalk work. We plan on doing a lot of landscaping this spring/summer since we're tired of looking at dirt and mud!

- Driveway installation and replacement of front sidewalk
- Front walk to house installation (will be done at the same time as the driveway and other sidewalk work)
- Remaining siding and deck railing (was waiting on the limestone completion to proceed)

Inside we have several items to complete for final inspections:

- Installation of 2nd floor bathroom
- 1st floor radiant heating

Jerry the inspector tells me the heating is not needed for passing a final but we're doing it regardless so it will be there when the final inspections happen. I would say June is a safe bet for completion of everything.

Please let me know if you have any other questions.

Thank you!
Neil



CITY OF WORTHINGTON
DRAWING NO. EXCP 01-2024
DATE 12/28/2023

From: [Sarah Iles Johnston](#)
To: [Planning: Fritz Graf](#)
Subject: [EXTERNAL] 100 W. South St.
Date: Friday, January 19, 2024 5:05:28 PM

Dear Lynda,

We write in response to your letter of January 17, in which you state that Neil Toepfer has requested an extension of his building permit at 100 W. South St.

If we understand your letter, this is the last time that Neil expects to ask for an extension. We look forward to having Neil, Karen, Colin and Erin return as our neighbors and to having construction activity come to an end.

We very much hope that the construction of a driveway will bring with it as early as possible in Spring the landscaping of the yard (planting of trees and grass, etc.) and the final painting of things that are not yet painted.

Sincerely,

Fritz Graf and Sarah Iles Johnston
117 W. South St.
Worthington, OH 43085

--

Sarah Iles Johnston

New book: Gods and Mortals: Ancient Greek Myths for Modern Readers
(Princeton: 2023)

Academic web-page (courses, business address, link to CV, etc.)
Personal website (new projects, links to books, etc.)



BZA APPLICATION VAR 0001-2024 183 Franklin Ave.

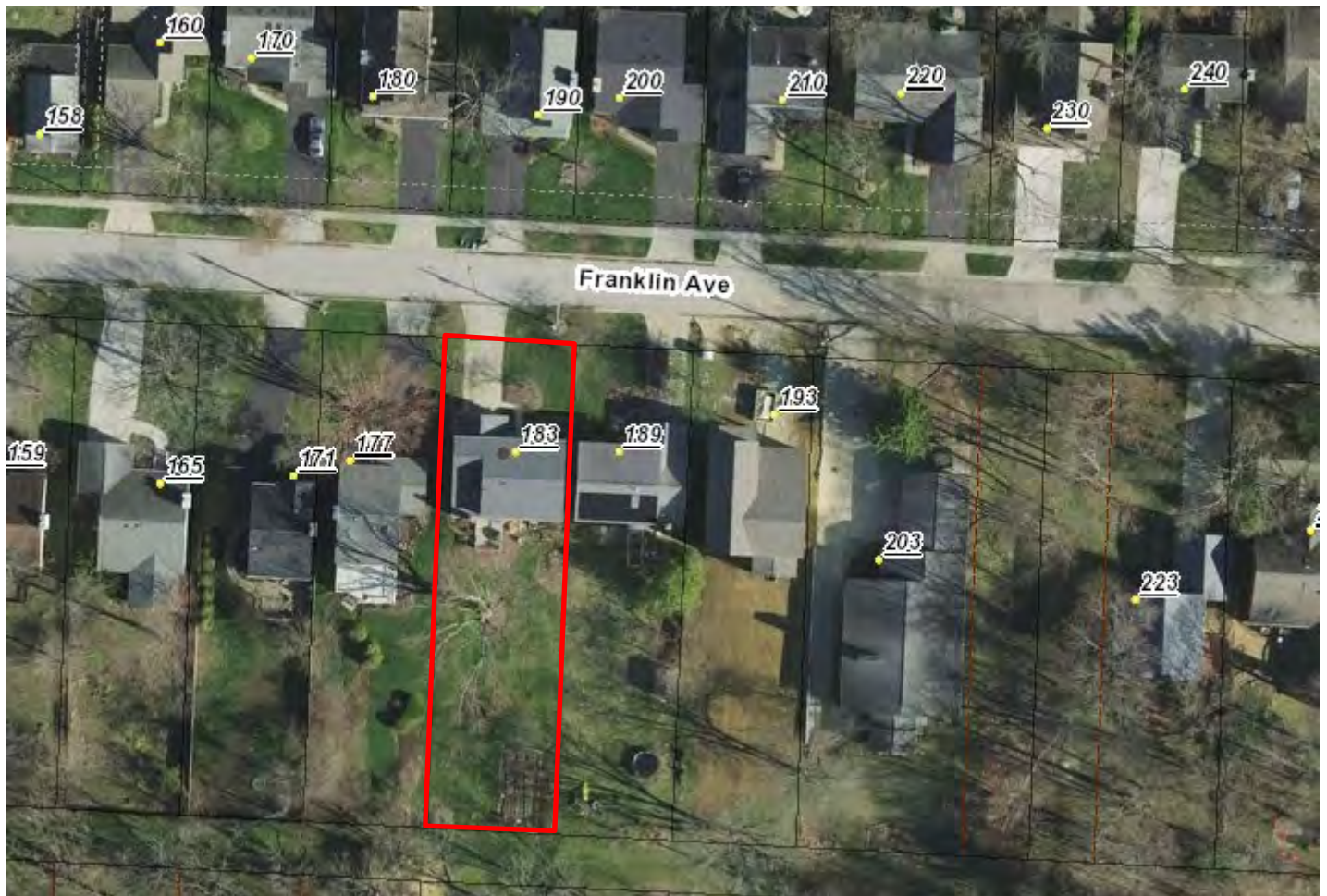
Plan Type: Variance
Project:
App Date: 01/02/2024
Work Class: Variance Residential
District: City of Worthington
Status: In Review
Valuation: \$0.00

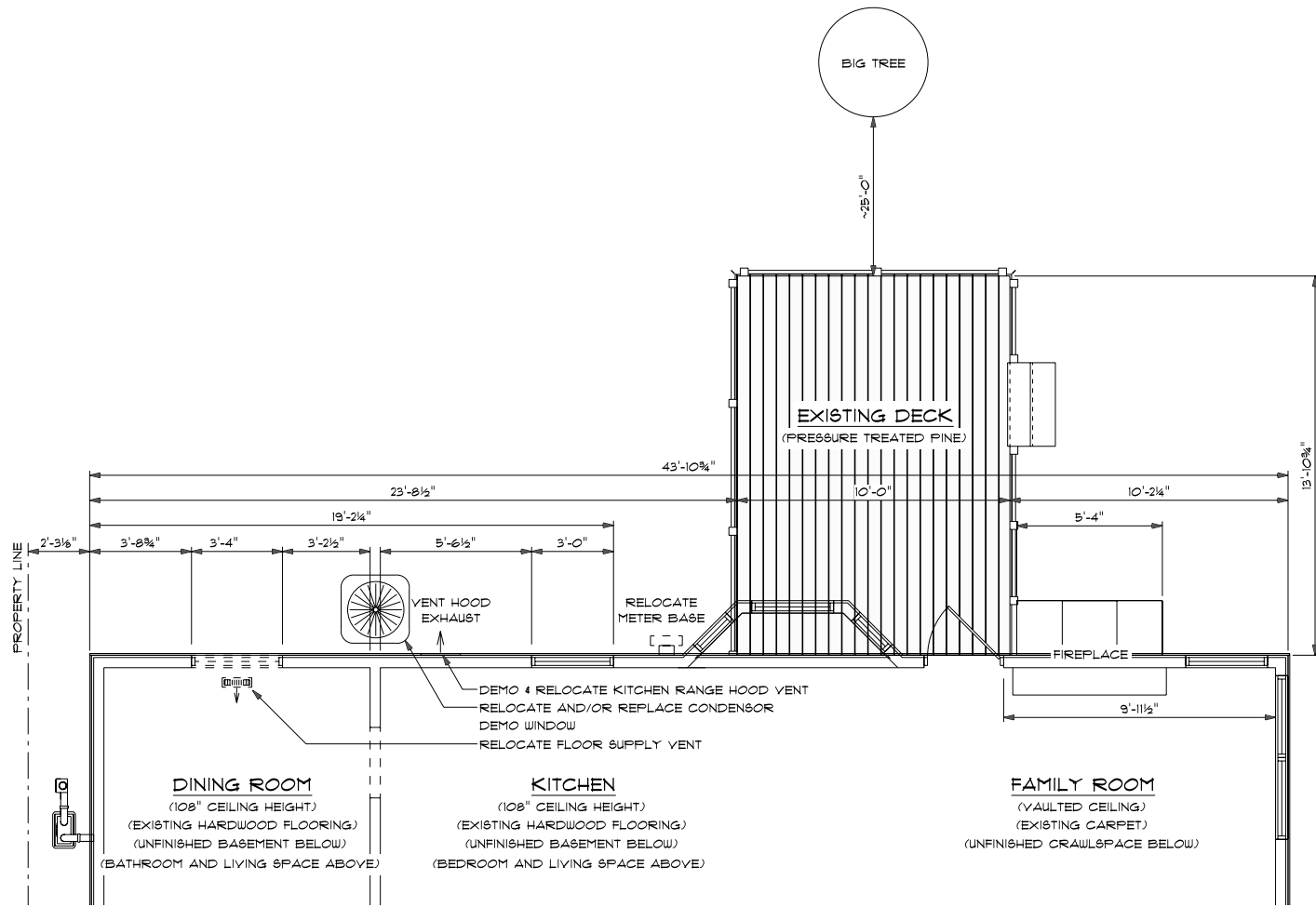
Description: Proposed addition of a sunroom and deck to the southeast side of the house that encroaches into the side yard set back. The existing house does not conform with the set back requirements and the proposed addition will not exceed the existing footprint into the set back. The character of the addition will be cohesive to the existing aesthetic in materials and style. There should be no change to governmental services. No set back restrictions were known to the homeowner at the time of purchase. Narrow lot width and floorplan prohibits other cost effective options. The variance will allow increased value to the home as well as additional first floor living space for the homeowners.

Parcel: 100-000404	Main	Address: 183 Franklin Ave Worthington, OH 43085	Main	Zone:
Owner Karla S Zadnik, trustee 183 FRANKLIN AVE Worthington , OH 43085	Owner Kurt A Zadnik, trustee 183 FRANKLIN AVE Worthington , OH 43085	Applicant Brenda Ruf 3505 W. Dublin Granville Rd. Columbus, OH 43235 Business: 6144597211 Mobile: (614) 519-3513		

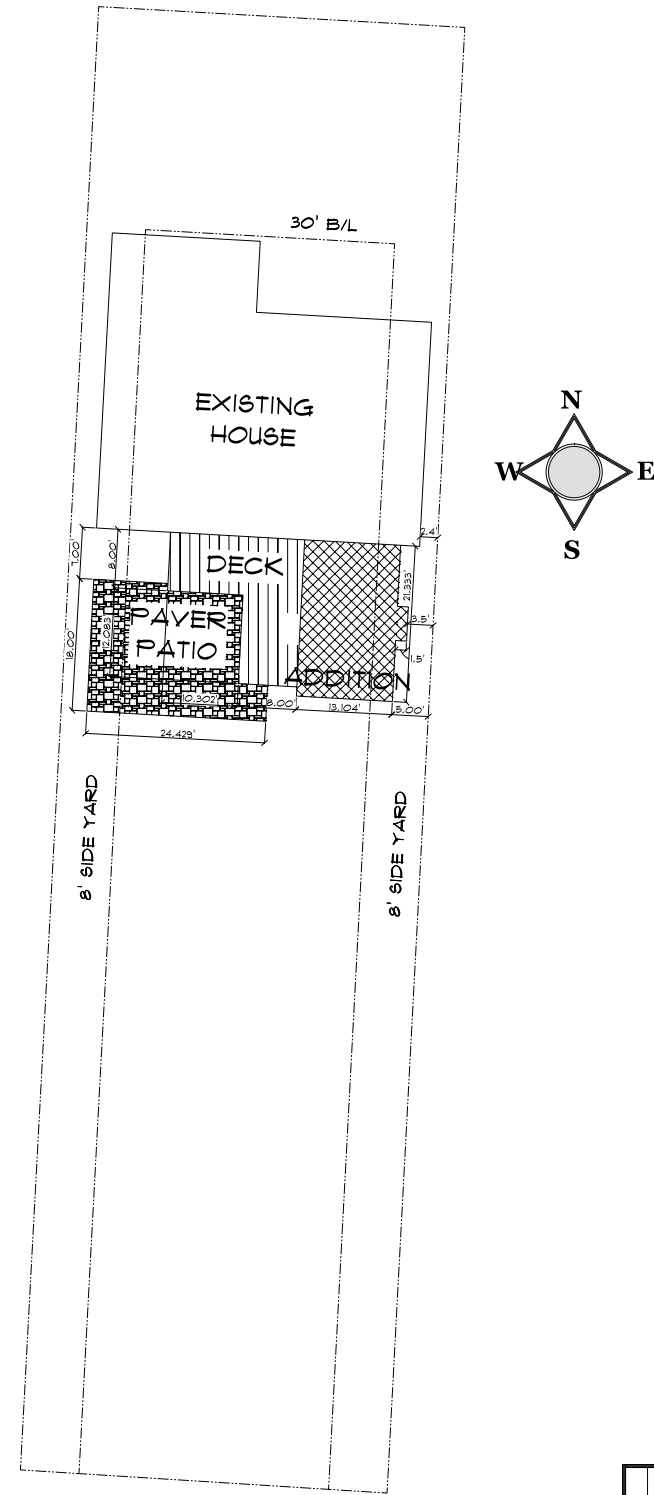
Invoice No.	Fee	Fee Amount	Amount Paid
INV-00005048	(Residential) Board of Zoning Appeals	\$25.00	\$25.00
Total for Invoice INV-00005048		\$25.00	\$25.00
Grand Total for Plan		\$25.00	\$25.00

183 Franklin Ave.





1ST FLOOR AS-BUILT



SITE PLAN
(SCALE: 1/16" = 1')



CITY OF WORTHINGTON
DRAWING NO. VAR 01-2024
DATE 01/02/2024

COORDINATE ALL FRAMING,
CABINET LAYOUTS & FINAL
FINISHES w/ DFR ID & DC
PRIOR TO INSTALLATION

FIELD VERIFY ALL EXISTING
CONDITIONS & DIMENSIONS
PRIOR TO CONSTRUCTION
ANY VARIATIONS SHOULD BE
REPORTED TO THE PM & DC

Scale: 1/4" = 1' (unless otherwise noted)

REVISION	DATE
FOR CLIENT REVIEW	DATE
RETAINED	08.11.23
DESCRIPTION	DATE

KURT & KARLA ZADNIK RESIDENCE
183 FRANKLIN AVE., WORTHINGTON, OH 43085

DAVE FOX
DESIGN • BUILD REMODELERS

DESIGNED BY:
EVAN LITTLE
ID BY:
FAITH HERRING
PM BY:
T.B.D.
PROJ. # 2316607

SITE PLAN
AS-BUILT

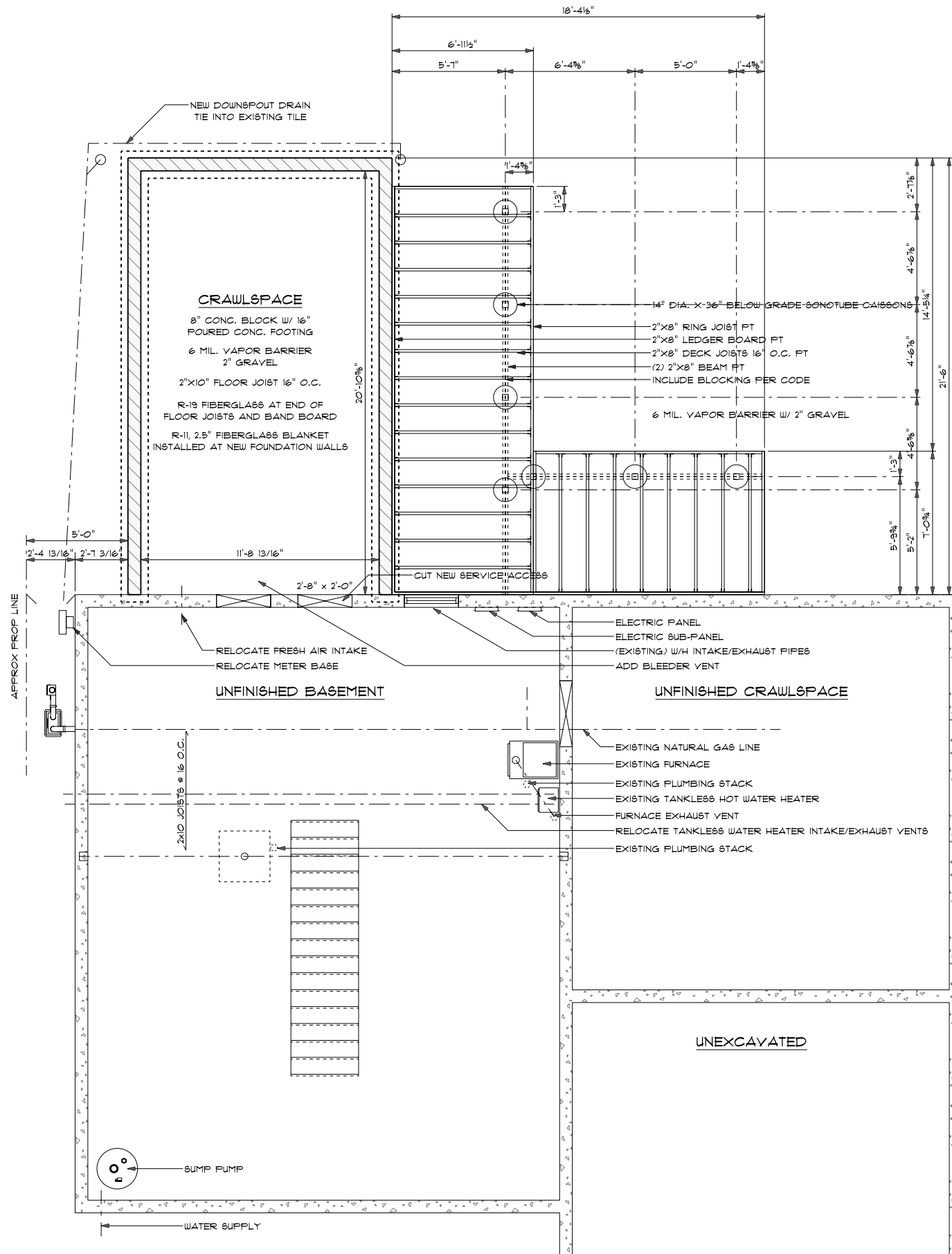
SHEET #

1 OF 5

A-1

Owner: _____ Date: _____

3505 W. Dublin-Granville Rd; Columbus, OH 43235 www.davefox.com 614-459-7211



FOUNDATION PLAN



CITY OF WORTHINGTON
DRAWING NO. VAR 01-2024
DATE 01/02/2024

COORDINATE ALL FRAMING, CABINET LAYOUTS & FINAL FINISHES w/ DFR ID & DC PRIOR TO INSTALLATION

FIELD VERIFY ALL EXISTING CONDITIONS & DIMENSIONS PRIOR TO CONSTRUCTION ANY VARIATIONS SHOULD BE REPORTED TO THE PM & DC

REVISION	DATE
FOR CLIENT REVIEW	DATE
RETAINED	08.11.23
DESCRIPTION	DATE

DESIGNED BY: EVAN LITTLE
ID BY: FAITH HERRING
PM BY: T.B.D.
PROJ. # 2316607

FOUNDATION PLAN

SHEET # 2 OF 5

A-1

DAVE FOX
DESIGN • BUILD REMODELERS

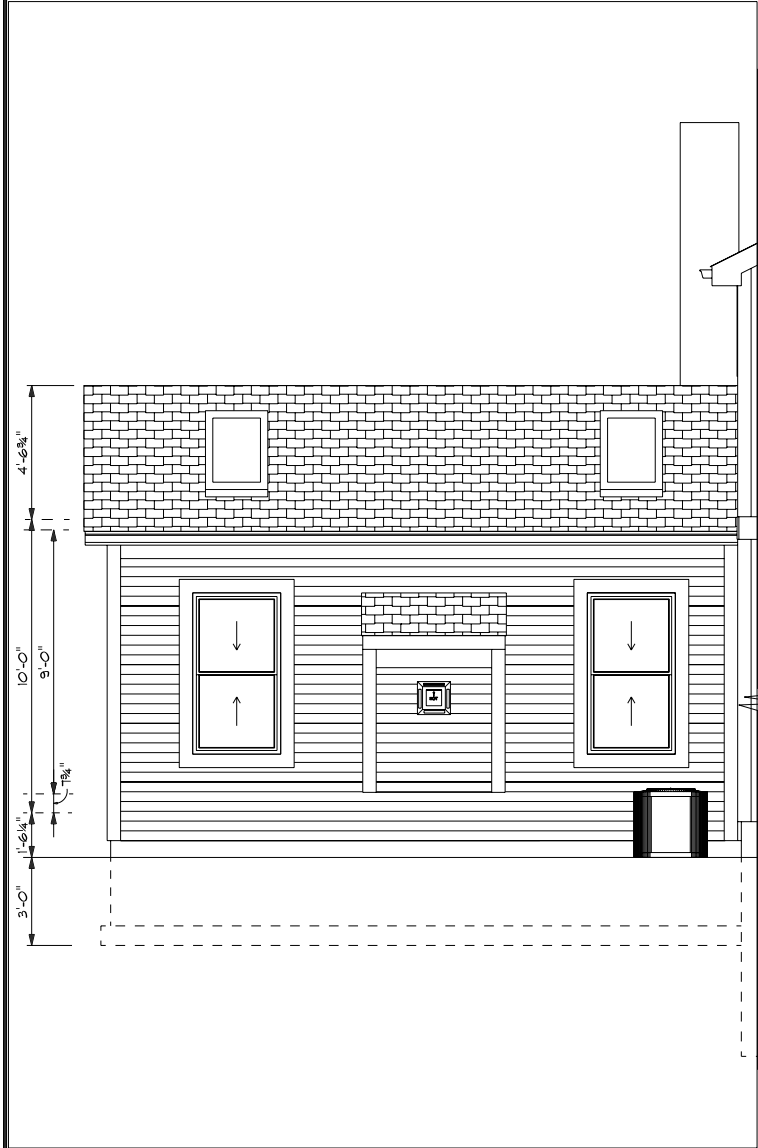
3505 W. Dublin-Granville Rd; Columbus, OH 43235 www.davefox.com 614-459-7211

KURT & KARLA ZADNIK RESIDENCE
183 FRANKLIN AVE., WORTHINGTON, OH 43085

Design Plans: For use by agents of DFR only. Use of or modifications of these plans without express permission of DFR is strictly prohibited. Mechanical plans to be verified by licensed contractor.

Approved by: _____ Date: _____
Owner: _____ Date: _____
Owner: _____ Date: _____

Scale: 1/4" = 1' (unless otherwise noted)



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION



CITY OF WORTHINGTON
DRAWING NO. VAR 01-2024
DATE 01/02/2024

COORDINATE ALL FRAMING,
CABINET LAYOUTS & FINAL
FINISHES w/ DFR ID & DC
PRIOR TO INSTALLATION

FIELD VERIFY ALL EXISTING
CONDITIONS & DIMENSIONS
PRIOR TO CONSTRUCTION
ANY VARIATIONS SHOULD BE
REPORTED TO THE PM & DC

Scale: 1/4" = 1' (unless otherwise noted)

REVISION	DATE
FOR CLIENT REVIEW	DATE
RETAINED	08.11.23
DESCRIPTION	DATE

REVISIONS

DESIGNED BY:
EVAN LITTLE
ID BY:
FAITH HERRING
PM BY:
T.B.D.

PROJ. # 2316607

ELEVATIONS

SHEET #

4 OF 5

A-1

KURT & KARLA ZADNIK RESIDENCE
183 FRANKLIN AVE., WORTHINGTON, OH 43085

Design Plans: For use by agents of DFR
only. Use of or modifications of these
plans without express permission of DFR
is strictly prohibited. Mechanical plans
to be verified by licensed contractor.

Approved by:

Owner:

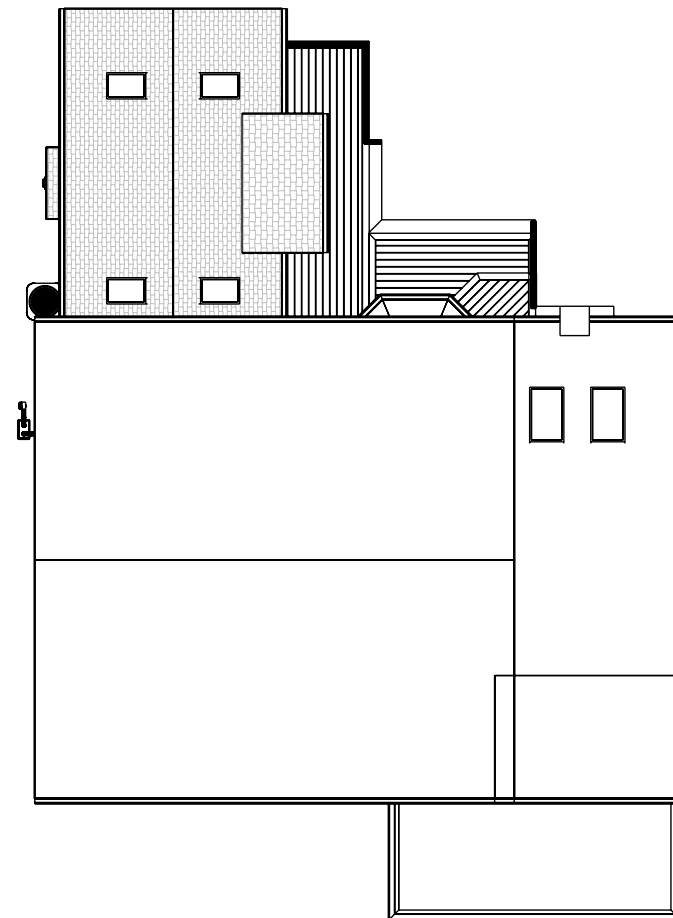
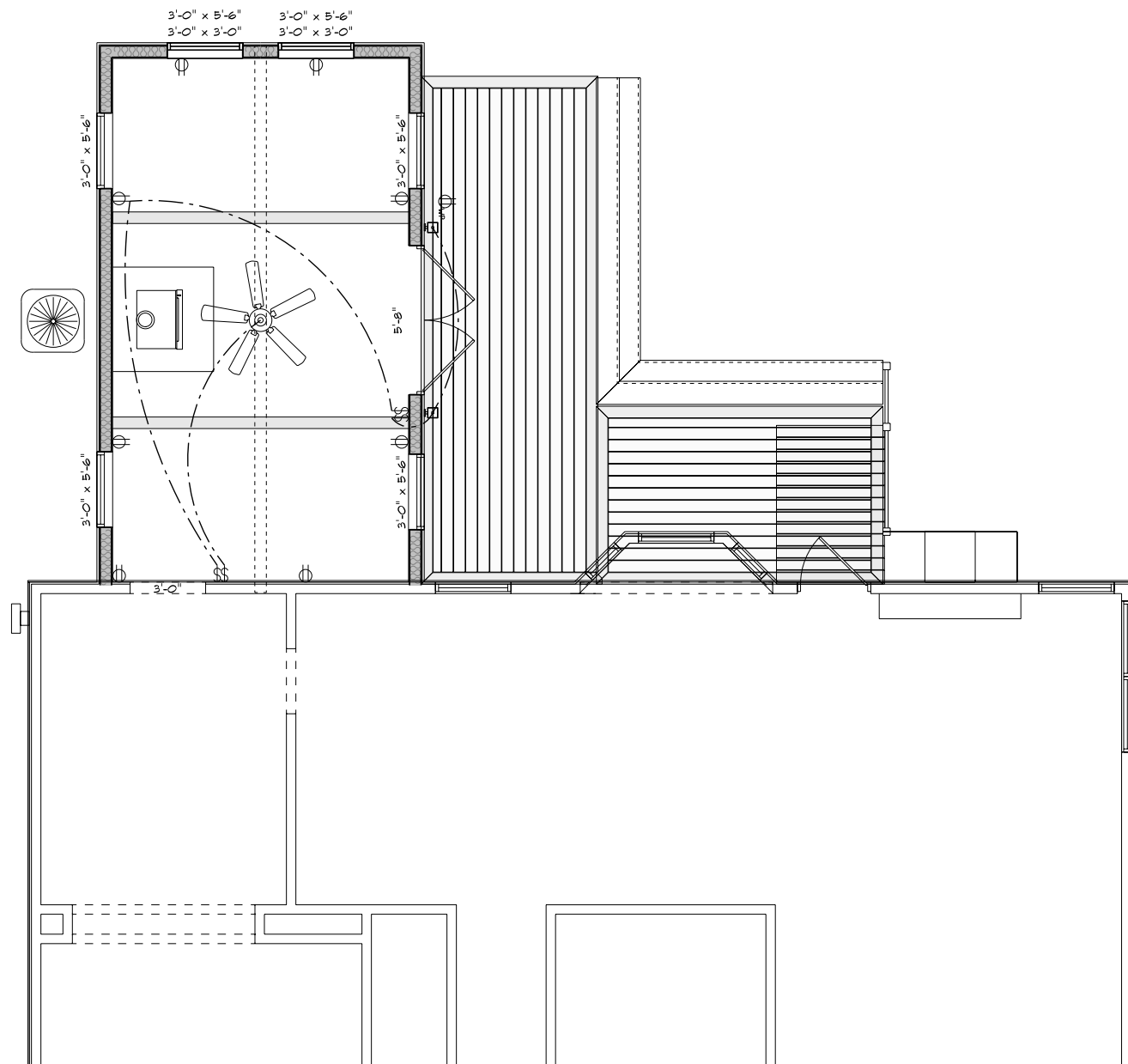
Date:

Owner:

Date:

DAVE FOX
DESIGN • BUILD • REMODELERS

3505 W. Dublin-Granville Rd; Columbus, OH 43235 www.davefox.com 614-459-7211



ROOF PLAN
(1/8" = 1'-0" SCALE)

(1/8" = 1'-0" SCALE)



CITY OF WORTHINGTON
DRAWING NO. VAR 01-2024
DATE 01/02/2024

DRAWING NO. VAR 01-2024

DATE 01/02/2024

COORDINATE ALL FRAMING,
CABINET LAYOUTS & FINAL
FINISHES w/ DFR ID & DC
PRIOR TO INSTALLATION

FIELD VERIFY ALL EXISTING
CONDITIONS & DIMENSIONS
PRIOR TO CONSTRUCTION
ANY VARIATIONS SHOULD BE
REPORTED TO THE PM & DC

Scale: 1/4" = 1' (unless otherwise noted)

REVISION	DATE
REVISION	DATE
FOR CLIENT REVIEW	DATE
RETAINED	08.11.23
DESCRIPTION	DATE

KURT & KARLA ZADNIK RESIDENCE
183 FRANKLIN AVE., WORTHINGTON, OH 43085

183 FRANKLIN AVE., WORTHINGTON, OH 43085

Design Plans: For use by agents of DFR only. Use or modifications of these plans without express permission of DFR is strictly prohibited. Mechanical plans to be verified by licensed contractor.

Approved by: _____

Owner: _____

DESIGNED BY:
EVAN LITTLE
ID BY:
FAITH HERRING
PM BY:
T.B.D.

PROJ. #	2316607
---------	---------

ID BY:

FAITH HERRING

PM BY:

T.B.D.

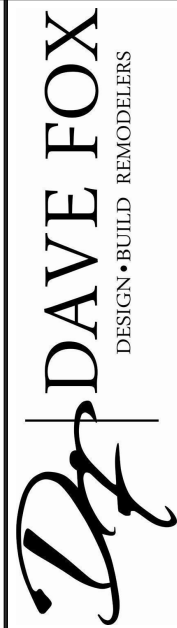
PROJ. #	2316607
---------	---------

ROOF PLAN
ELECTRIC PLAN

SHEET #

5 OF 5

A-1



3505 W. Dublin-Granville Rd; Columbus, OH 43235 www.davefox.com 614-459-7211



**BZA APPLICATION
VAR 0002-2024
141 Northigh Dr.**

Plan Type: Variance **Project:** **App Date:** 01/04/2024
Work Class: Variance Residential **District:** City of Worthington
Status: In Review
Valuation: \$0.00

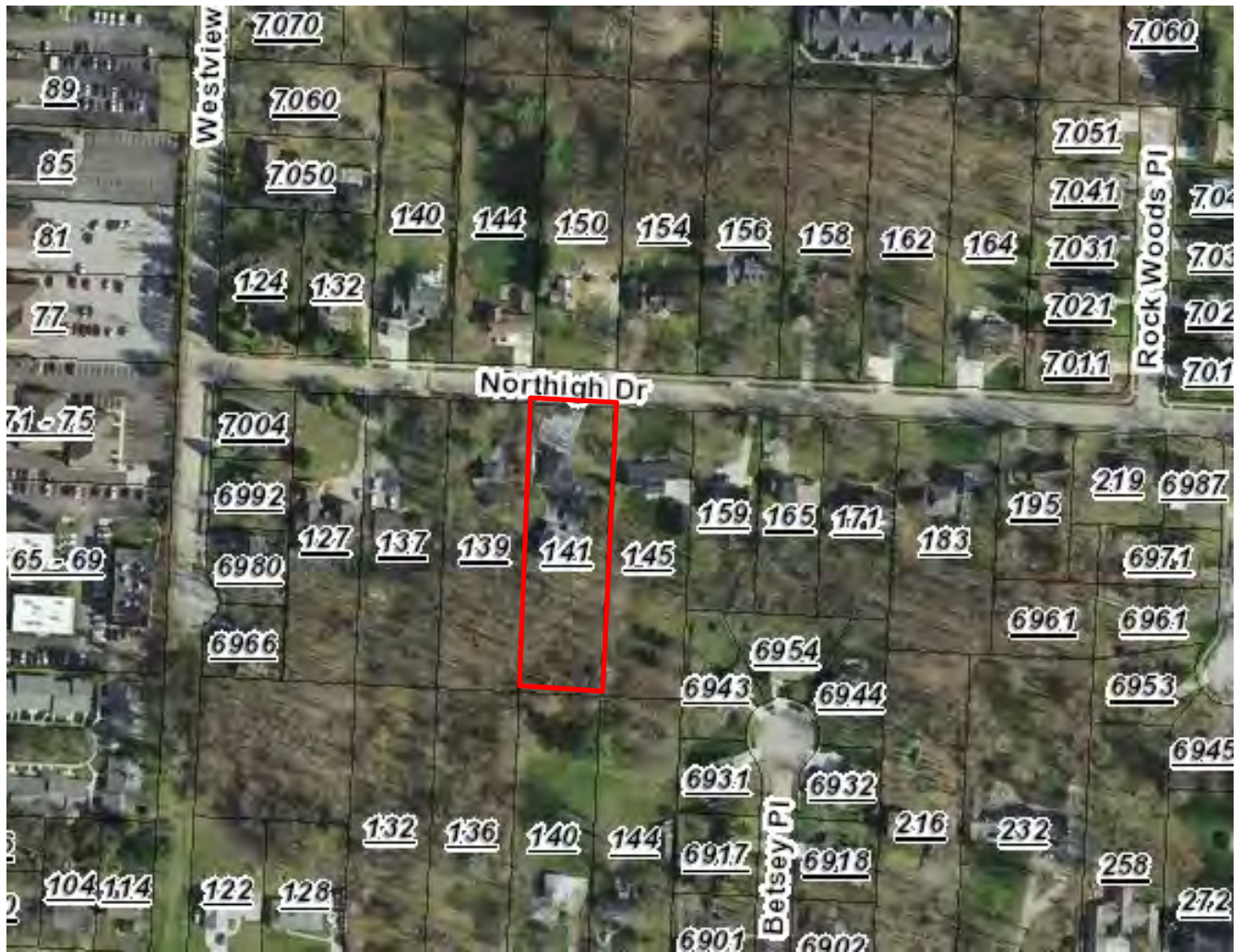
Description: build a 3 car garage at front right of property and extend the existing house to the front 15 ft

Parcel: 100-002513	Main	Address: 141 Northigh Dr Worthington, OH 43085	Main	Zone:
---------------------------	------	--	------	--------------

Applicant	Owner
Eagle Home Services	Eagle Home Services
William Hernandez	William Hernandez
787 Harmon Ave.	787 Harmon Ave.
Columbus, OH 43223	Columbus, OH 43223
Business: 6148345332	Business: 6148345332

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00005059	(Residential) Board of Zoning Appeals	\$25.00	\$25.00
Total for Invoice INV-00005059		\$25.00	\$25.00
Grand Total for Plan		\$25.00	\$25.00

141 Northhigh Dr.



William B Hernandez

141 Northhigh Dr, Worthington Oh 43085

I'm Proposing to build a detached garage for couple reasons that I'm going to try to explain bellow.

-Our cars that we park outside are getting damaged by the tree branches and nuts that fall off the trees outside.

-My existing garage is too small to be used as storage and park two cars in it. We'll keep the construction consistent with the house materials and colors for the neighborhood.

-Will respect the property lines and set back.

-I know the square footage will be little over the limit but if we do a smaller garage will go back like the one the previous owner had before, that's why I'm proposing a garage with better curb appeal.

-My existing garage is 20x23 and the one we propose is 25x32 with an attic for storage and office.

-Is important for me to get approval for the garage because I'm planning to extend the house to make a bigger layout for my children's bedrooms and it will be less expensive for me to build it together with the addition that we'll be doing to the house.



141 Northhigh Dr. Worthington, OH 43085

PERMIT SET

GENERAL CRITERIA

PROJECT	:	HOUSE ADDITION
JURISDICTION	:	CITY OF WORTHINGTON BUILDING DEPARTMENT
BUILDING CODE	:	RCO 2019
EXISTING HOUSE AREA	:	2,199 SQ FT
ADDITION AREA	:	700 SQ FT
NEW HOUSE AREA	:	2,999 SQ FT
GARAGE LEVEL	:	818 SQ FT
GARAGE UPPER SPACE	:	662 SQ FT
GARAGE TOTAL	:	1,480 SQ FT
PROJECT TYPE	:	RESIDENTIAL ADDITION AND NEW GARAGE

SCOPE:
CONSTRUCTION OF A SINGLE STORY HOME ADDITION. WOOD CONSTRUCTION AND MASONRY FOUNDATION. NEW FRONT ENTRY. INTERIOR TO ADD LIVING ROOM, BEDROOM EXTENSIONS, AND TWO NEW BATHROOMS. NEW PLUMBING, ELECTRICAL AND HVAC FOR ADDITION. NEW TWO STORY GARAGE WITH SECOND FLOOR OPEN SPACE WITH FULL BATHROOM.

Franklin County Auditor - Michael Stinziano 100-002513-00

Owner Name	EAGLE HOMES PROPERTIES INC	Prop. Class	R - Residential
		Land Use	510 - ONE-FAMILY DWLG ON PLATTED L
Site Address	141 NORTHIGH DR	Tax District	100 - CITY OF WORTHINGTON
		Sch. District	2516 - WORTHINGTON CSD
		App Nbrhd	03114
		Tax Lein	No
LegalDescriptions	141 NORTHIGH DR NORTHIGH ACRES LOT 52	CAUV Property	No
		Owner Occ. Credit	2022: No 2023: No
		Homestead Credit	2022: No 2023: No
		Rental Registration	No
Owner Address	575 CORR RD COLUMBUS, OH 43207	Board of Revision	No
		Zip Code	43085
		Annual Taxes	8,638.80
Transfer Date	09/28/2021	Taxes Paid	13,584.66
Transfer Price	365,000.00	Calculated Acreage	1.01
Instrument Type	GW	Legal Acreage	.00

	Current Market Value			Taxable Value		
	Land	Improv	Total	Land	Improv	Total
Base	\$122,300	\$195,500	\$317,800	\$42,810	\$68,430	\$111,240
TIF	\$0	\$0	\$0	\$0	\$0	\$0
Exempt	\$0	\$0	\$0	\$0	\$0	\$0
Total	\$122,300	\$195,500	\$317,800	\$42,810	\$68,430	\$111,240
CAUV	\$0					

Building Data

Year Built	1979	Full Baths	2
Finished Area	2199	Half Bath	1
Rooms	7	Heat/AC	2
Bedrms	4	Wood Fire	1 / 2
Dining Rooms	1	Stories	1

Sketch Legend

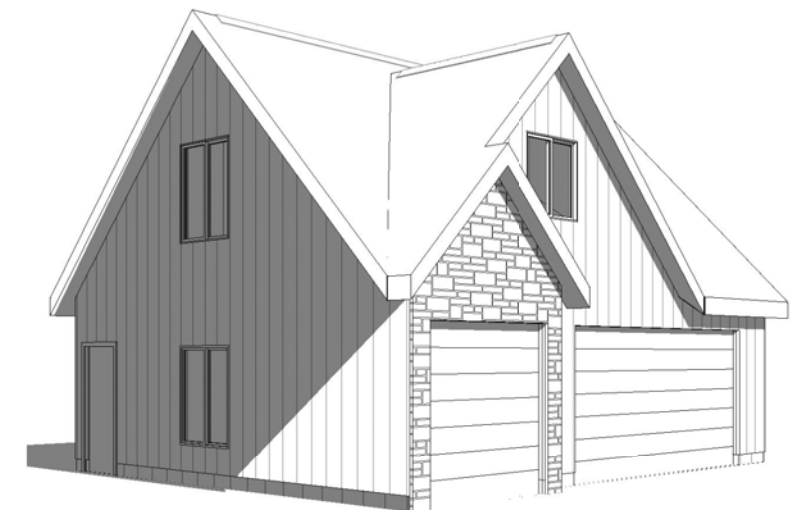
0 1s FR/B 2199 Sq. Ft.
1 FRG - 15 FRAME GARAGE 624 Sq. Ft.
2 CNPY - 39 CANOPY 120 Sq. Ft.
5 WDDK - 38 WOOD DECK 288 Sq. Ft.
1 FRAME SHED - RS1 FRAME UTILITY SHED 96 Sq. Ft.
2 BATH HSE - RBH BATH HOUSE 48 Sq. Ft.
3 POOL - RP2-PREFABRICATED VINYL POOL 528 Sq. Ft.
4 OFF - OFF-OPEN FRAME PORCH 664 Sq. Ft.
5 OUTDOOR KTC - OKT-BUILT IN OUTDOOR KITCHEN 1 Sq. Ft.
6 FIREPL - FP1 FIREPLACE - 1 S 1 Sq. Ft.



100-002513 08/26/2022



3 house addition



2 garage SCALE



1 site plan
SCALE 1" = 10'-0"

NO.	SHEET TITLE	1	2	3	4	5	6	Current Revision Date
A0-0	COVER							
A1	FLOOR PLANS							
A-2	ELEVATIONS							
A-3	SECTIONS AND DETAILS							
A-4	GARAGE							
A-5	GARAGE ELEVATIONS							
MEP-1	MEP PLANS							
S-1	FRAMING PLAN							

GENERAL NOTES:

2. CONTRACTORS TO FIELD VERIFY FIELD CONDITIONS BEFORE START OF WORK AND NOTIFY GC AND OWNER IF ANY DISCREPANCIES ARE FOUND.

SET INFORMATION

<p><u>DRAWING SET</u></p> <p><input type="checkbox"/> _____ preliminary</p> <p><input type="checkbox"/> _____ check</p> <p><input type="checkbox"/> _____ bid</p> <p><input checked="" type="checkbox"/> <u>08-28-2023</u> permit</p> <p><input type="checkbox"/> _____ construction</p> <p><u>REVISIONS</u></p> <p>△ _____</p> <p>△ _____</p> <p>△ _____</p> <p>△ _____</p> <p>△ _____</p> <p>△ _____</p> <p>△ _____</p>	<p><u>PROJECT NUMBER</u></p> <p><u>DRAWING SET</u></p> <p>PERMIT SET</p> <p><u>SEAL</u></p>
--	---

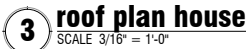
Disclaimer: The information on this web site is prepared from the real property inventory maintained by the Franklin County Auditor's Office. Users of this data are notified that the primary information source should be consulted for verification of the information contained on this site. The county and vendors assume no legal responsibilities for the information contained on this site. Please notify the Franklin County Auditor's Real Estate Division of any discrepancies.

NORTHIGH DR ADDITION & GARAGE

141 Northigh Dr. Worthington, OH 43085

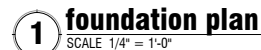


CITY OF WORTHINGTON
DRAWING NO. VAR 02-2024
DATE 01/04/2024



MISC:	
CONTROLS	PROGRAMMABLE THERMOSTAT INITIALLY HEATING NO HIGHER THAN 70 F, COOLING NO LOWER THAN 78 F
LIGHTING SYSTEMS	MINIMUM OF 90% PERMANENT LIGHTING HIGH-EFFICACY LAMPS

INTERIOR WALLS:
2X4 STUD WALLS @ 16" O.C. WITH 1/2"
DRYWALL ON EXPOSED SIDES.

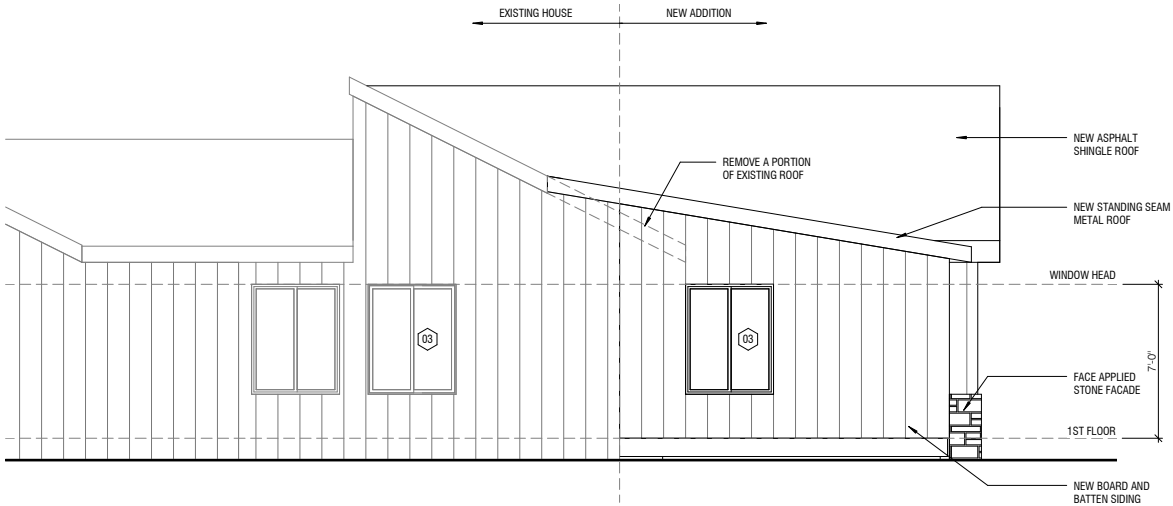


141 Northhigh Dr. Worthington, OH 43085

A1



WINDOW SCHEDULE			
Type Mark	Width	Height	Comments
01	4' - 0"	4' - 0"	
02	2' - 8"	6' - 0"	
03	4' - 0"	5' - 0"	
04	5' - 0"	5' - 0"	
05	5' - 0"	2' - 0"	
07	6' - 0"	2' - 0"	
08	3' - 0"	5' - 0"	



2 east elevation
SCALE 1/4" = 1'-0"



1 north elevation
SCALE 1/4" = 1'-0"

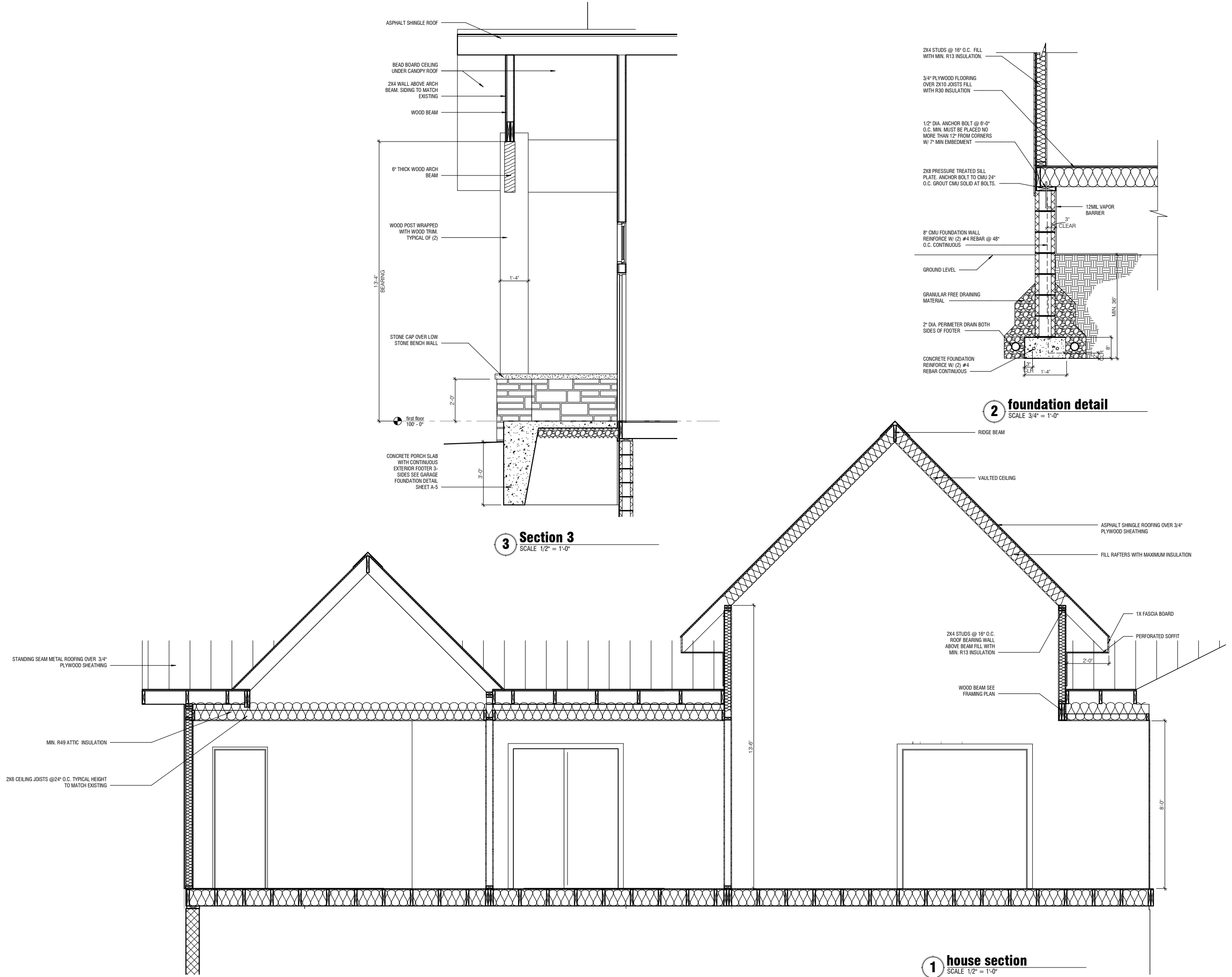
NORTHIGH DR ADDITION & GARAGE

141 Northigh Dr. Worthington, OH 43085

Drawings		
<input type="checkbox"/>	Preliminary	_____
<input type="checkbox"/>	Set	_____
<input type="checkbox"/>	Permit Set	_____
<input type="checkbox"/>	Construction	_____
Revisions		
#	Date	Description
1		
2		
3		
4		
5		
6		
7		
8		


CITY OF WORTHINGTON
DRAWING NO. VAR 02-2024
DATE 01/04/2024

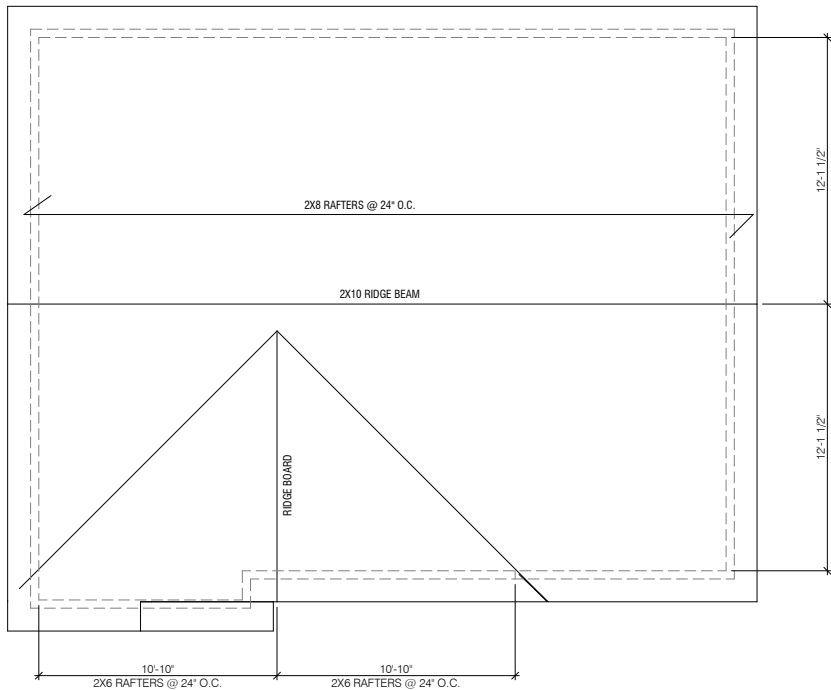
ELEVATIONS



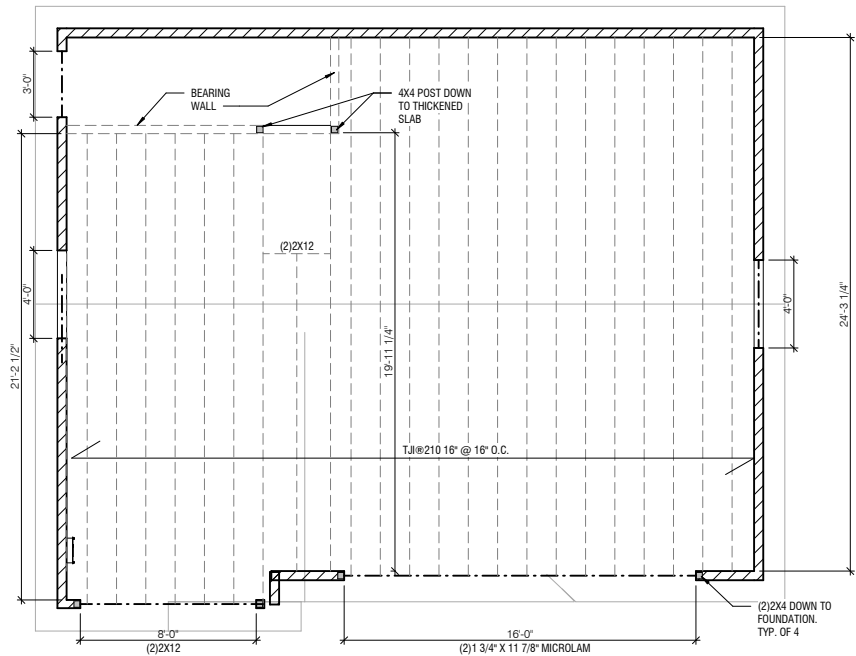
NORTHIGH DR ADDITION & GARAGE

141 Northigh Dr. Worthington, OH 43085

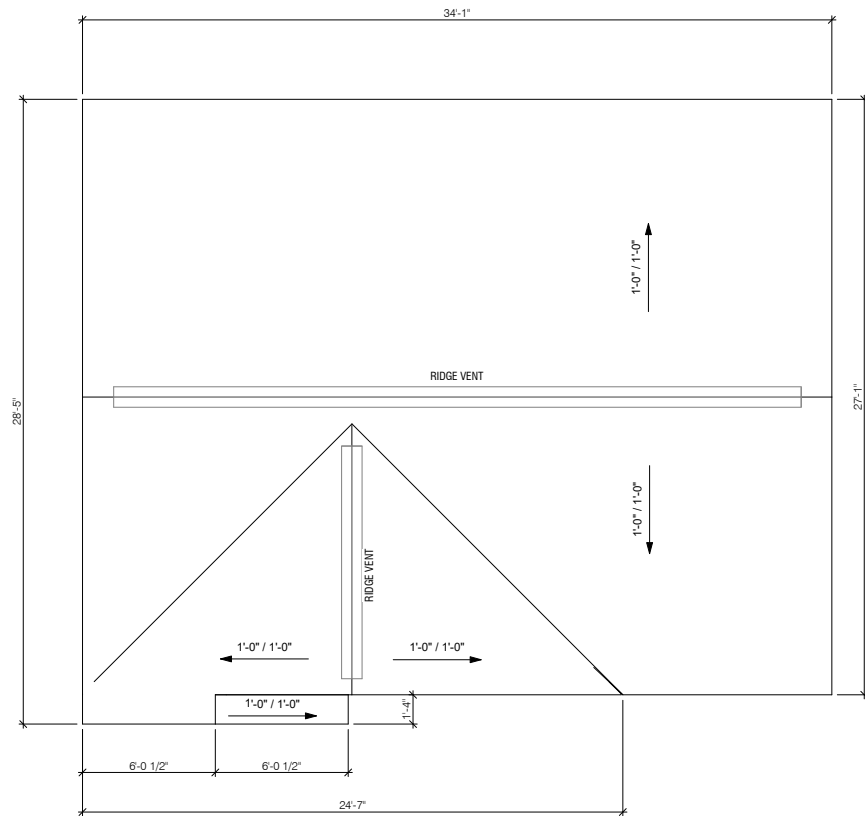
Drawings		
<input type="checkbox"/>	Preliminary	
<input type="checkbox"/>	Set	
<input type="checkbox"/>	Permit Set	
<input type="checkbox"/>	Construction	
Revisions		
#	Date	Description
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		



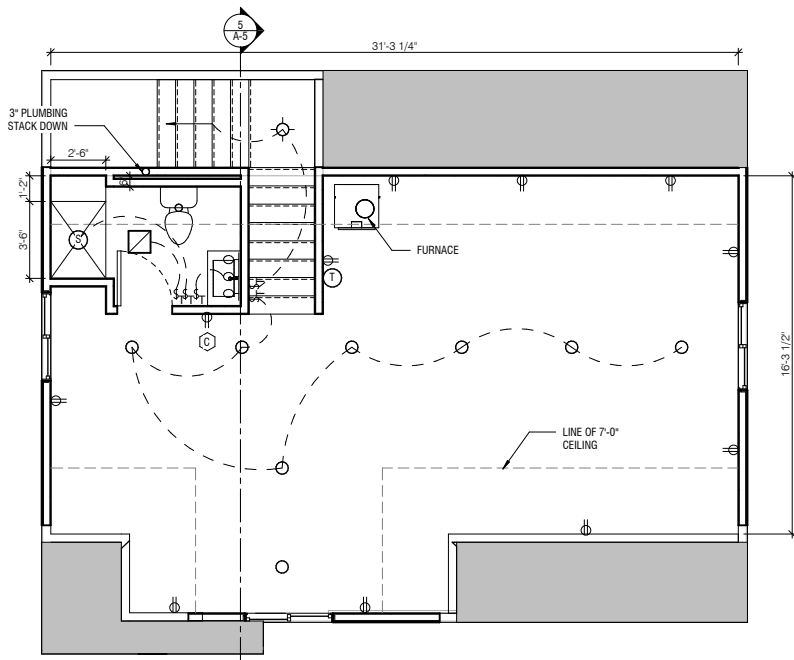
6 garage roof framing
SCALE 1/4" = 1'-0"



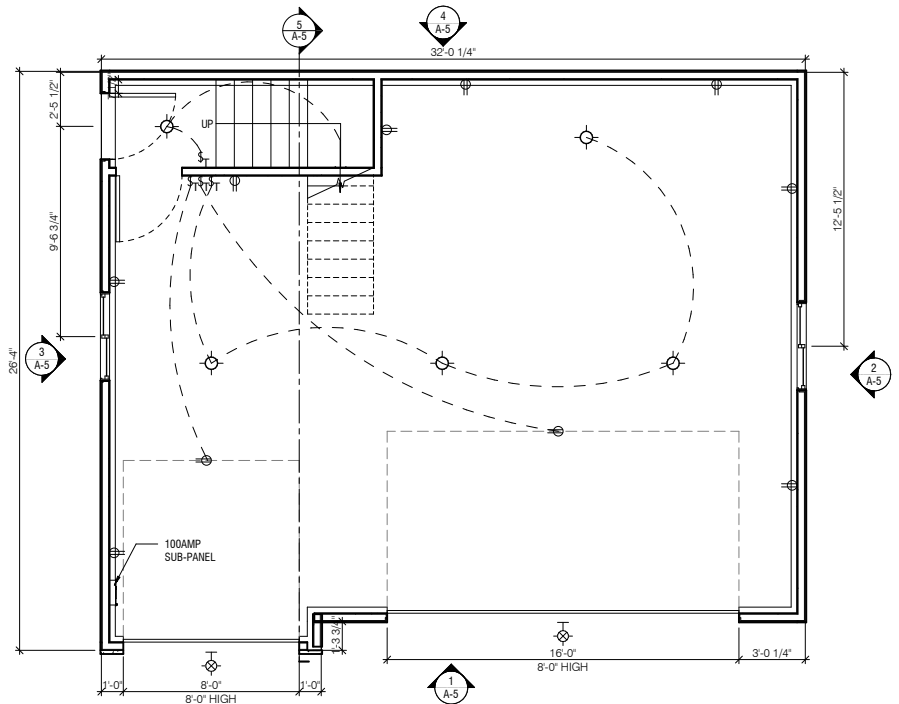
5 garage 2nd floor framing
SCALE 1/4" = 1'-0"



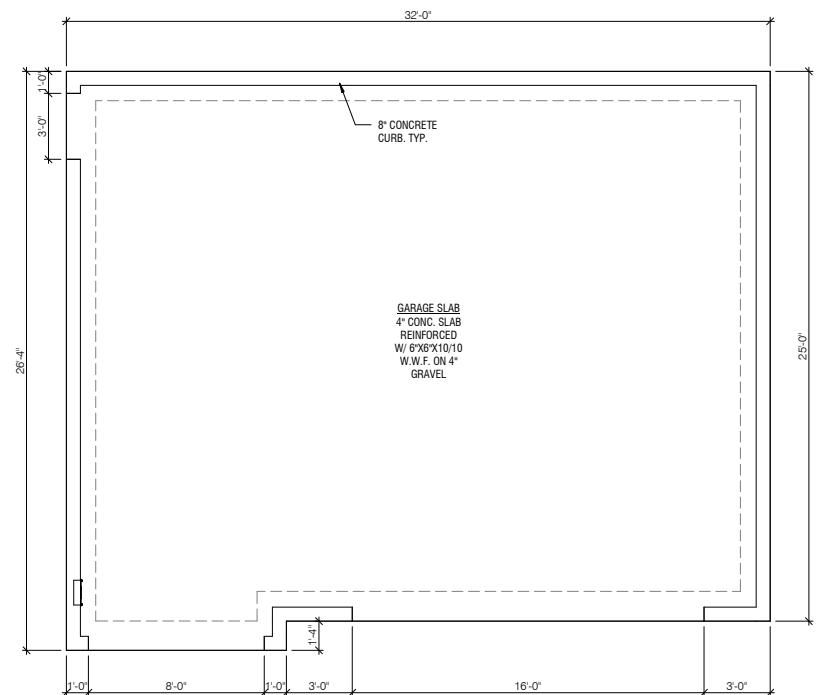
4 garage roof
SCALE 1/4" = 1'-0"



3 garage 2nd
SCALE 1/4" = 1'-0"



2 garage plan 1st
SCALE 1/4" = 1'-0"



1 garage slab
SCALE 1/4" = 1'-0"

NORTHIGH DR ADDITION & GARAGE

141 Northigh Dr. Worthington, OH 43085

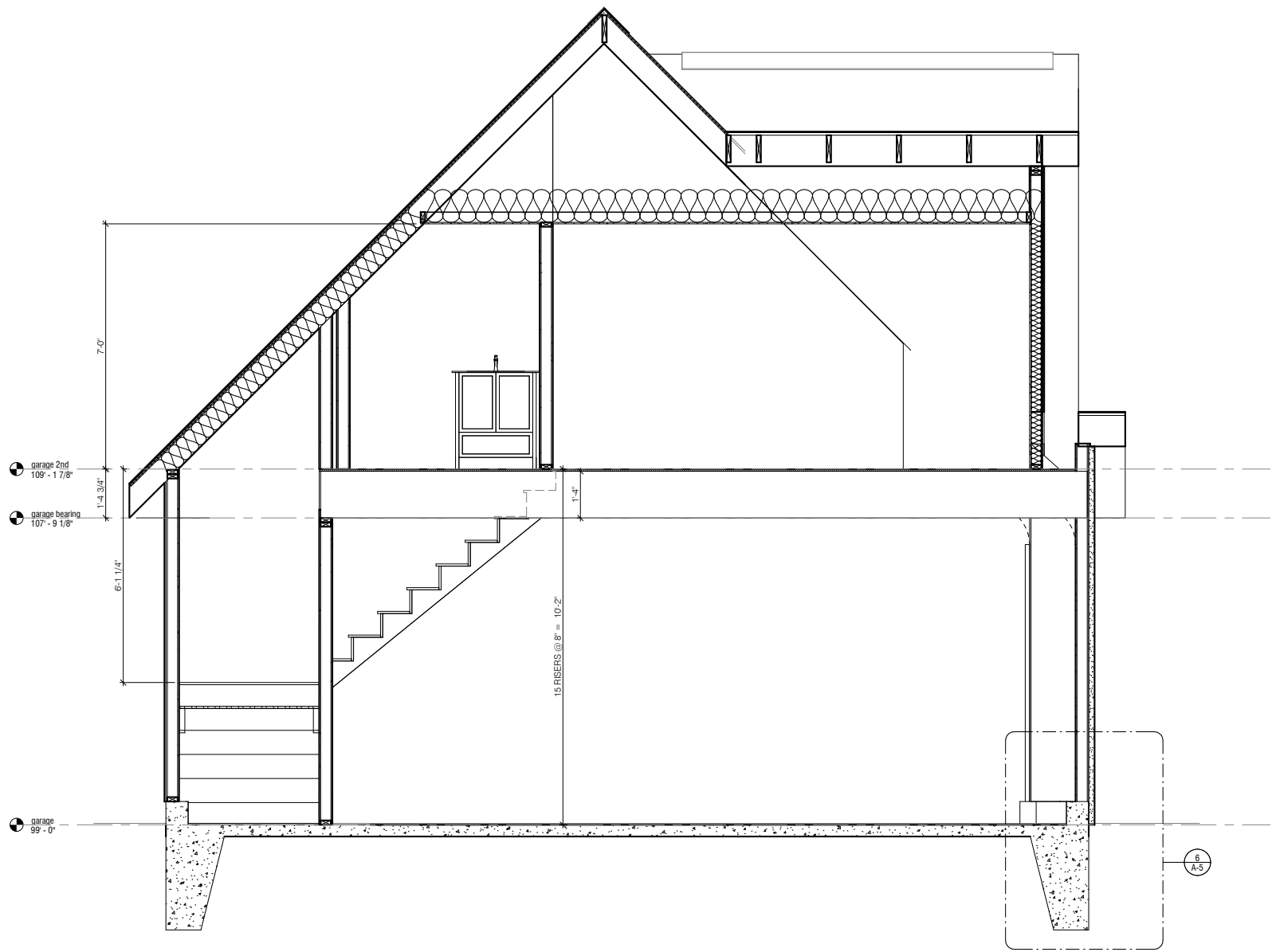
Drawings		
<input type="checkbox"/>	Preliminary	
<input type="checkbox"/>	Set	
<input type="checkbox"/>	Permit Set	
<input type="checkbox"/>	Construction	

Revisions	#	Date	Description
△			
△			
△			
△			
△			
△			
△			
△			

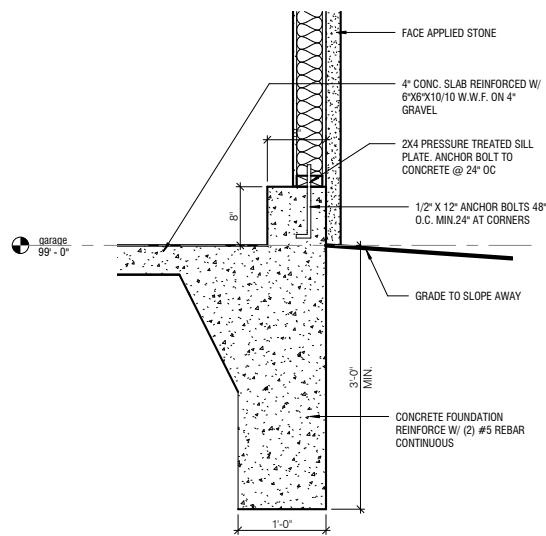

CITY OF WORTHINGTON
DRAWING NO. VAR 02-2024
DATE 01/04/2024

GARAGE

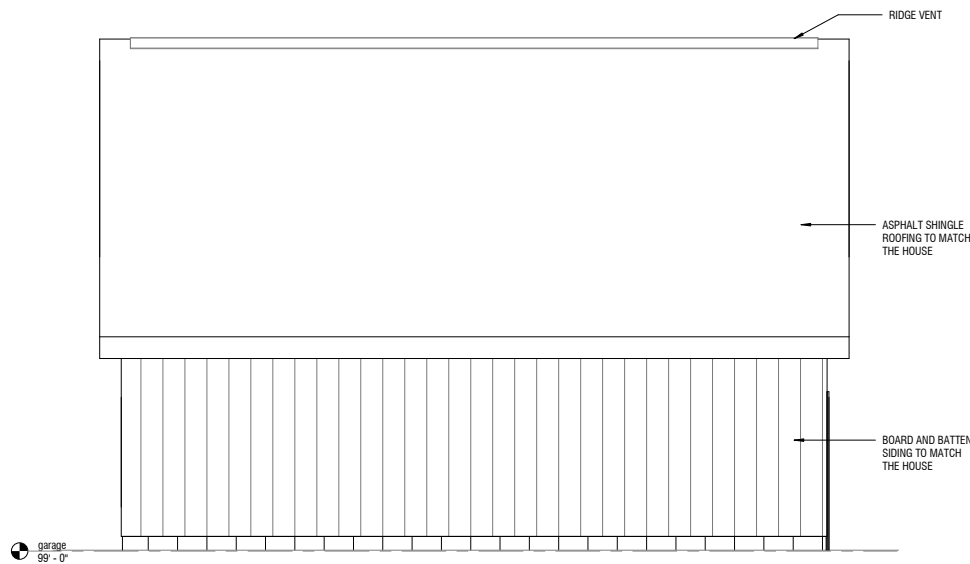
A-4



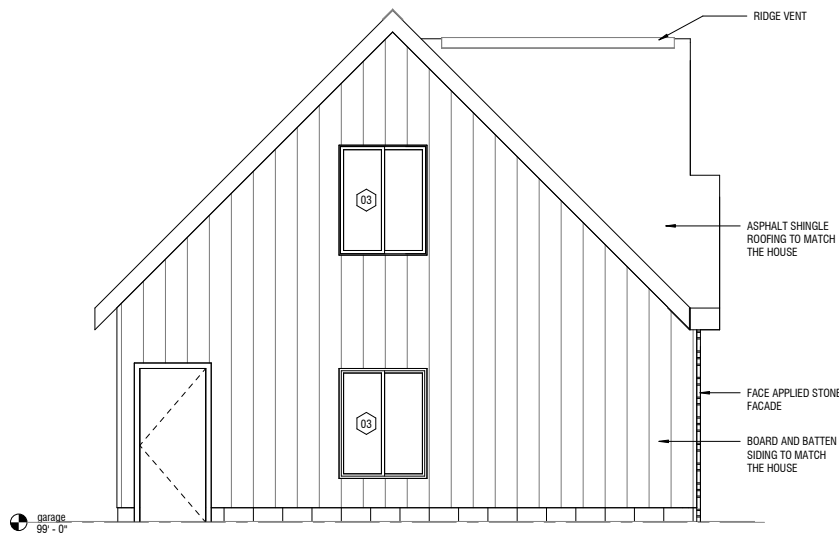
5 garage section
SCALE 1/2" = 1'-0"



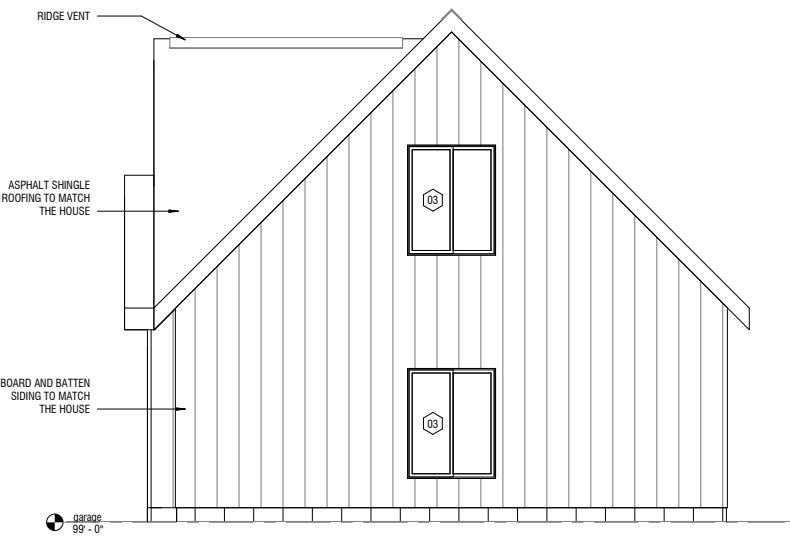
6 garage foundation detail
SCALE 1" = 1'-0"



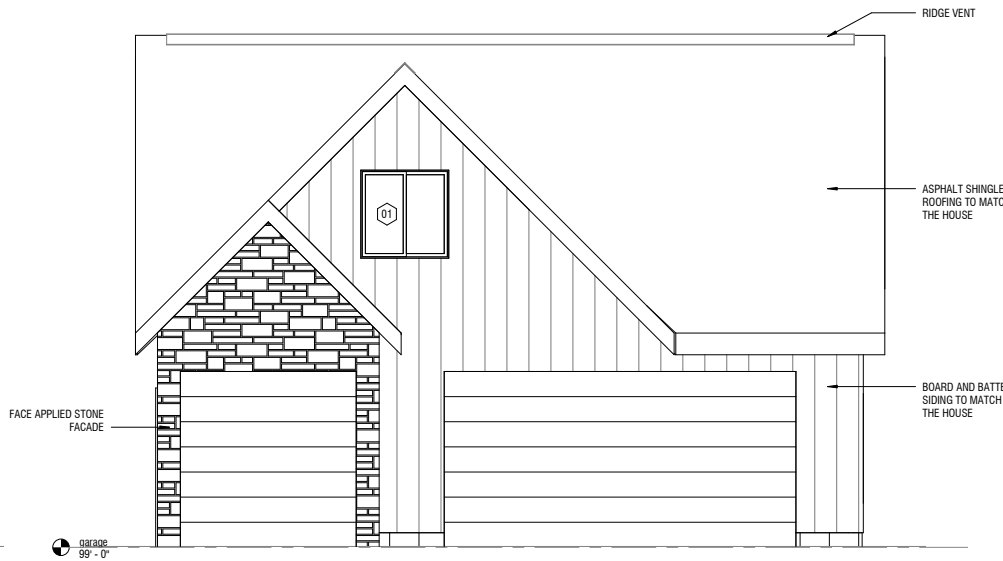
4 garage west
SCALE 1/4" = 1'-0"



3 garage south
SCALE 1/4" = 1'-0"



2 garage north
SCALE 1/4" = 1'-0"



1 garage east
SCALE 1/4" = 1'-0"

NORTHIGH DR ADDITION & GARAGE

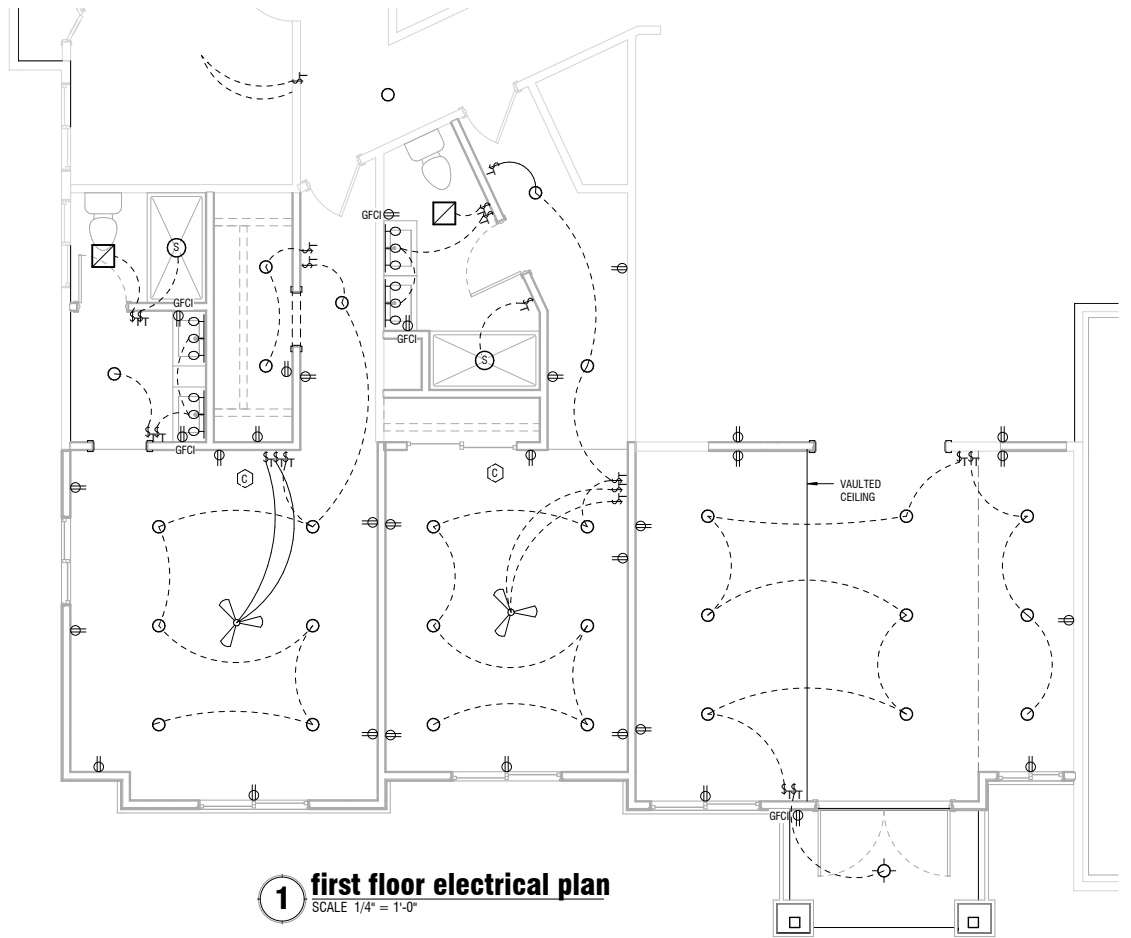
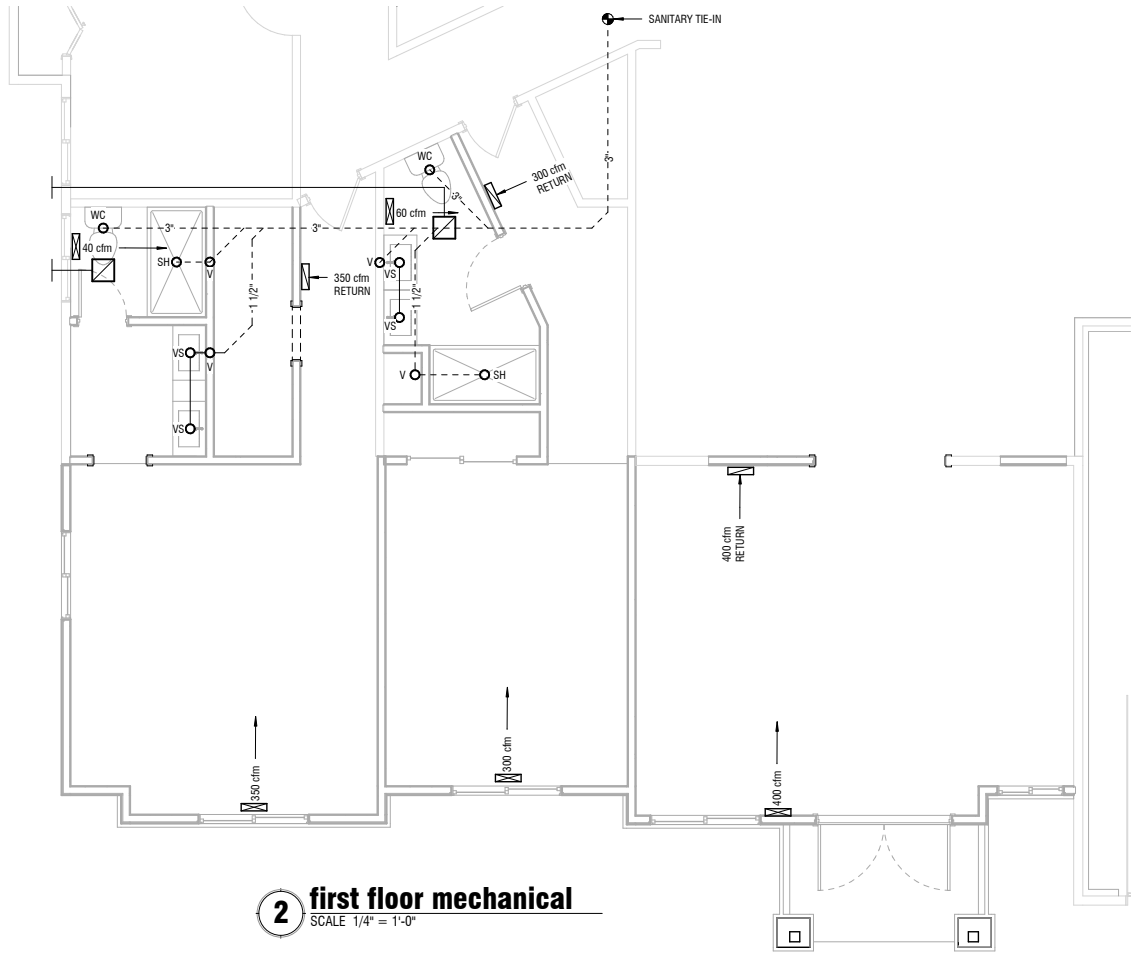
141 Northigh Dr. Worthington, OH 43085

Drawings		
<input type="checkbox"/>	Preliminary	
<input type="checkbox"/>	Set	
<input type="checkbox"/>	Permit Set	
<input type="checkbox"/>	Construction	
Revisions		
#	Date	Description
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		


CITY OF WORTHINGTON
DRAWING NO. VAR 02-2024
DATE 01/04/2024

GARAGE ELEVATIONS

A-5



ELECTRICAL NOTES

1. THIS IS AN EXISTING STRUCTURE. FIELD VERIFY BEFORE START OF WORK. ONLY NEW WORK IS SHOWN.
2. ALL WORK SHALL MEET OR EXCEED ALL CURRENT NEC STANDARDS.
3. ALL BRANCH CIRCUITS SHALL BE PROVIDED WITH 20A BREAKERS
4. ALL RECEPTACLES NOT OTHERWISE NOTED TO HAVE GFCI PROTECTION ARE TO BE ARC FAULT PROTECTED AND TAMPER-PROOF
5. ALL BATHROOM RECEPTACLES SHALL BE GFCI RECEPTACLES ALL RECEPTACLES IN THE KITCHEN MOUNTED AT COUNTERTOP HEIGHT ARE TO HAVE GFCI PROTECTION.
6. ALL SMOKE DETECTORS SHALL BE 120 VOLT WITH AUDIBLE ALARM AND BATTERY BACKUP AND SHALL BE ELECTRONICALLY INTERCONNECTED SO THAT DETECTION OF SMOKE BY ANY DETECTOR SHALL GO INTO ALARM. SMOKE DETECTORS SHALL BE BRK CAT. \$4120B.
7. CARBON MONOXIDE DETECTORS TO BE HARDWIRED AND INTERCONNECTED WITH BATTERY BACKUP.
8. INSTALL WALL OUTLETS WITH THE BOTTOM OUTLET AT LEAST 18" A.F.F.
9. INSTALL WALL SWITCHES WITH THE SWITCH ITSELF BEING NO HIGHER THAN 42" A.F.F.
10. TIE-IN NEW ELECTRICAL ON NEW CIRCUITS TO EXISTING 200 AMP ELECTRICAL PANEL LOCATED IN BASEMENT NOT SHOWN.

SYMBOL LEGEND

- RECESSED CAN 6"
- CEILING LIGHT
- FLOOD LIGHT / DAWN TO DUSK
- 1/2 SWITCHED DUPLEX RECEPTACLE
- COMBO CARBON DIOXIDE / SMOKE DETECTOR
- LIGHT SWITCH
- EXHAUST FAN
- VANITY LIGHT
- CHANDELIER
- SHOWER LIGHT
- FAN / LIGHT
- THERMOSTAT
- PENDANT LIGHT

PLUMBING NOTES

1. ALL NEW PLUMBING TO BE INSTALLED PER CURRENT CODE.
2. ALL PLUMBING SHALL BE RUN ON INTERIOR SIDE OF CONDITIONED SPACES.
3. OWNER TO SELECT FINISHES AND FIXTURES. COORDINATE WITH OWNER AND SELECTED FIXTURES ON EXACT LOCATIONS OF PLUMBING.
4. SHOWER VALVE (SV) TO BE INSTALLED FOR SHOWER.
5. ONLY NEW PLUMBING IS SHOWN. EXISTING TO REMAIN.

- WC = WATER CLOSET
- VS = VANITY SINK
- KS = KITCHEN SINK
- S = SINK
- US = UTILITY SINK
- BS = BAR SINK
- WB = WASHER BOX
- SH = SHOWER
- TUB = BATH TUB
- DW = DISHWASHER
- V = VENT

HVAC NOTES

1. ALL NEW HVAC EQUIPMENT AND DUCTWORK SHALL COMPLY WITH CURRENT BUILDING CODES.
2. BEDROOM DUCTWORK AND DIFFUSERS TO BE ADJUSTED FOR NEW LAYOUT. INSTALL NEW WHERE NEEDED.
3. HVAC CONTRACTOR TO PROVIDE MANUFACTURER SPEC FOR MAXIMUM EQUIVALENT LENGTH IN REGARDS TO EQUIPMENT VENTING.
4. CONNECT NEW DUCT TO EXISTING FURNACE.

- EXHAUST FAN
- SUPPLY
- RETURN
- THERMOSTAT
- TIE-INTO EXISTING

Drawings		
<input type="checkbox"/>	Preliminary	
<input type="checkbox"/>	Set	
<input type="checkbox"/>	Permit Set	
<input type="checkbox"/>	Construction	

Revisions	#	Date	Description
	1		
	2		
	3		
	4		
	5		
	6		
	7		
	8		
	9		
	10		

ALL HEADERS AND BEAMS TO BEAR ON MINIMUM (1) KING STUD & (1) JACK STUD EACH SIDE OF OPENING, U.N.O.

3'-0" AND LESS (2) 2X6 #2 SPF
3'-1" TO 6'-0" (2) 2X8 #2 SPF
6'-1" TO 18'-0" (2) 2X12 #2 SPF

1. ALL RAFTERS SHALL BE NAILED TO CEILING JOISTS TO FORM A CONTINUOUS TIE BETWEEN EXTERIOR WALLS WHERE JOISTS ARE PARALLEL TO THE RAFTERS. WHERE RAFTERS ARE PARALLEL, RAFTERS SHALL BE TIED WITH A RAFTER TIE WHICH SHALL BE LOCATED AS NEAR TO THE PLATE AS PRACTICAL. RAFTER TIES SHALL NOT BE SPACED MORE THAN 48" O.C.
2. RAFTERS SHALL BE FRAMED TO RIDGE BOARD, OR TO EACH OTHER, WITH GUSSET PLATES AS A TIE.
3. RIDGE BOARDS SHALL BE AT LEAST 2" NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER. WHEN THE CUT END OF THE RAFTER EXCEEDS 11 1/4" THE RIDGE BOARD SHALL BE CONSTRUCTED OF A SOLID 2x4 WITH AN ADDITIONAL 2x4 FURRED TO THE BOTTOM EDGE OF THE 2x12.
4. VALLEY AND HIP RAFTERS SHALL NOT BE LESS THAN 2" NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER.
5. HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT THE RIDGE BY A BRACE TO A SUPPORTING PARTIAL WALL, OR BE DESIGNED TO CARRY / DISTRIBUTE THE SPECIFIC LOAD AT THAT POINT.



141 Northigh Dr. Worthington, OH 43085

Drawings

☐ Preliminary _____

☐ Bid Set _____

☐ Permit Set _____

☐ Construction _____

Revisions

#	Date	Description
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		



S-1



BZA APPLICATION VAR 0003-2024 27 E. Riverglen Dr.

Plan Type: Variance

Work Class: Variance Residential

Status: In Review

Valuation: \$0.00

District: City of Worthington

App Date: 01/05/2024

Description: We recently acquired an additional parcel which is adjacent the the parcel where our house sits. The new parcel is next to the alley which runs between Southington and South Street. The Western edge of the property which abuts the alley has had a thick tree / brush line along with an old wire fence. We are requesting a variance to install a cedar wooden fence where the existing wire fence was, approximately 2.5' inside the property line.

The fence would be 6 feet high and be aesthetically pleasing. Being a stained cedar fence with clean lines, it would make the property look better not only from the inside but also to the rest of the community as seen from the alley.

Our request is a variance to reduce the setback of the fence location from 20' to 1'. With the natural barrier of the existing tree line, this fence would be set back within these trees to not encroach on the alley at all.

The tenants of the apartment as well as their dumpster service sometimes bump into the brush along the alley edge but our fence will be 6 feet back from this edge of brush along the alley to ensure the fence will not be in the way.

It should be noted that there are several other existing fences on properties along the alley edge with similar locations as relative to the property line as we are requesting.

We have taken into account the line of site for drivers in the alley to ensure the fence does cause any safety issues. For that reason we are proposing stopping the fence 24 feet before the yield sign heading North on the alley.

At least once a year, the City's Engineering team trims the brush along the alley. With the proposed fence location, this will not affect their work.

We bought the property with the understanding that a variance had already been secured, which does not seem to be the case. Our initial understanding was that this setback requirement was for buildings, not fences, which I now know is not correct.

The opportunity to visually complete and secure our property with a fence we feel is a reasonable request and would not affect any other parties, residents or city services.

Parcel: 100-000914	Main	Address: 27 E Riverglen Dr Worthington, OH 43085	Main	Zone:
---------------------------	------	--	------	--------------

Applicant Ryan McChesney 27 E Riverglen Dr Worthington, OH 43085 Home: (614) 419-0338 Business: (614) 419-0338 Mobile: (614) 419-0338	Owner Ryan McChesney Home: (614) 419-0338 Mobile: (614) 419-0338
---	---

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00005065	(Residential) Board of Zoning Appeals	\$25.00	\$25.00
Total for Invoice INV-00005065		\$25.00	\$25.00
Grand Total for Plan		\$25.00	\$25.00

27 E. Riverglen Dr.



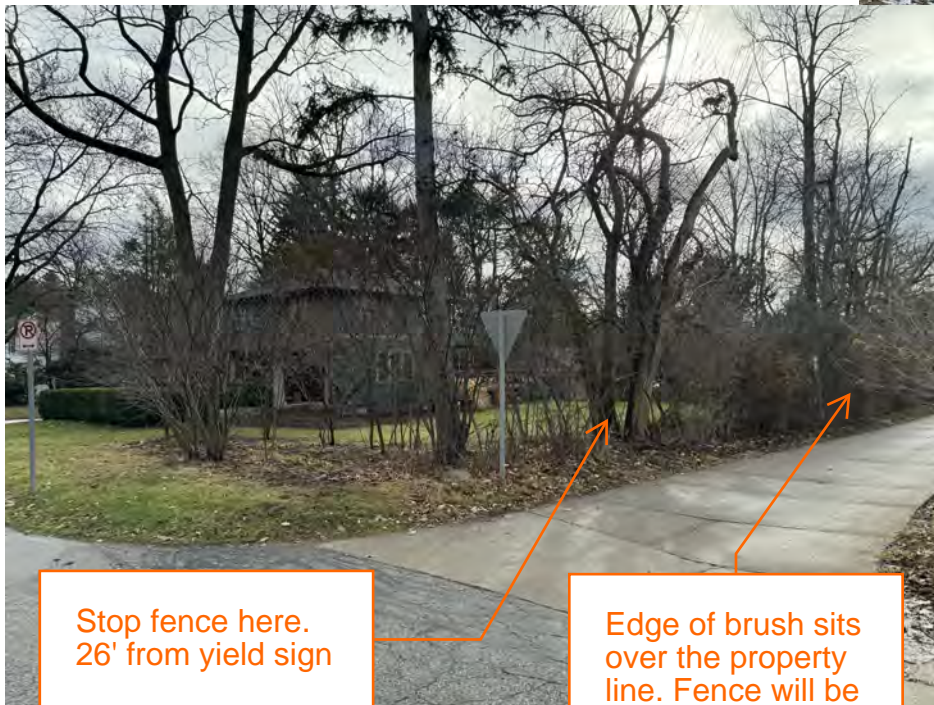


Approx. Fence Line



Property Line Pin

Approx. Location of Fence. Around 2.5' off Property Line



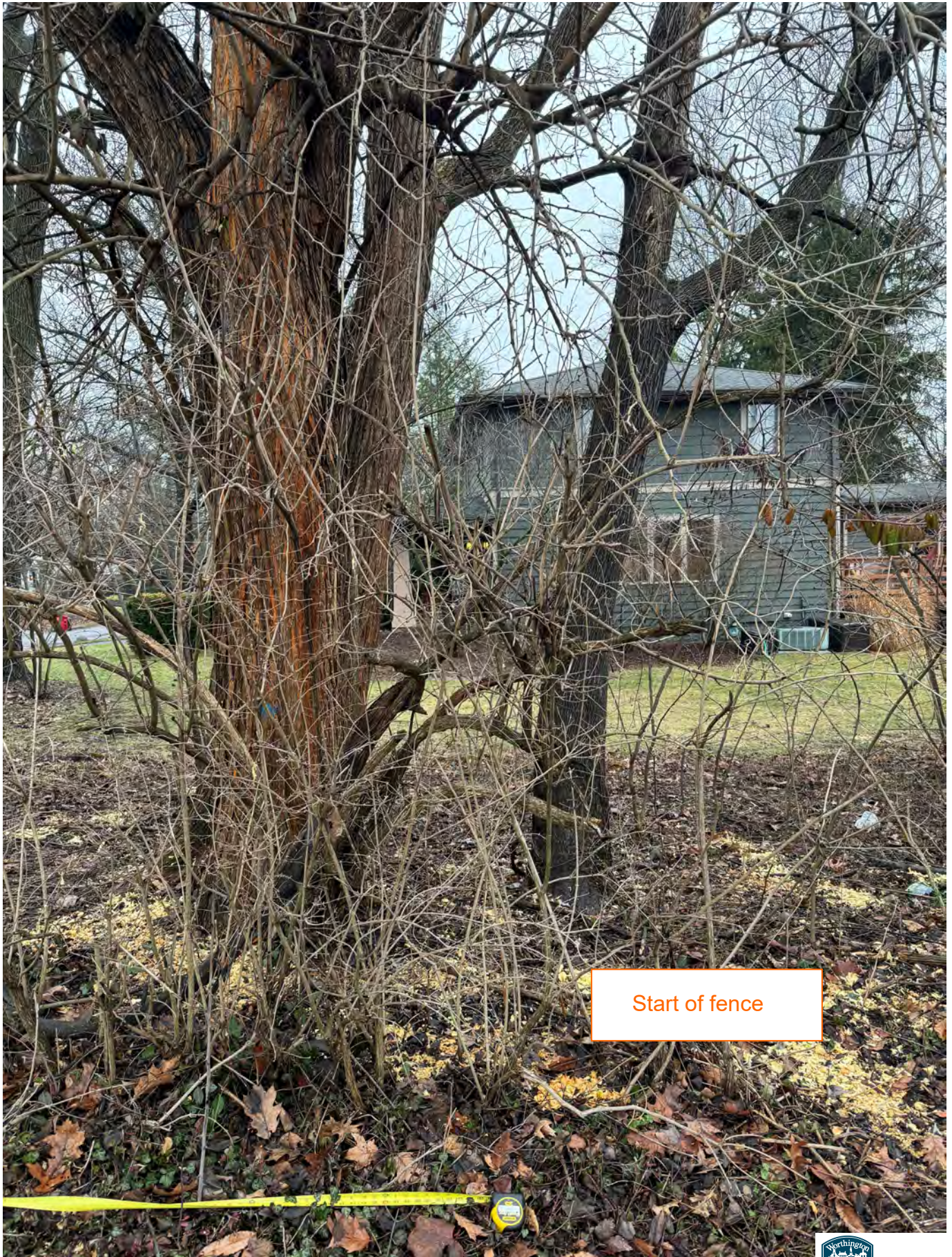
Stop fence here. 26' from yield sign

Edge of brush sits over the property line. Fence will be approx 6' back from edge of brush



Neighbors fence on North side of Riverglen. Similar setup as our request.





Start of fence



CITY OF WORTHINGTON
DRAWING NO. VAR 03-2024
DATE 01/05/2024



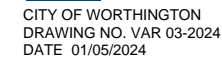


CITY OF WORTHINGTON
DRAWING NO. VAR 03-2024
DATE 01/05/2024



566 West Rich Street
Columbus, Ohio 43215
614.296.2635
www.foregroundstudio.com

General Notes



Client
MCCHESENEY RESIDENCE

Project Location
27 E. RIVERGLEN DR.
WORTHINGTON, OH 43085

Project
PHASE 1 SD

Drawn _____

Checked _____

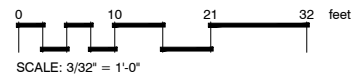
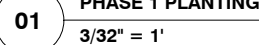
Scale	Date
$3/32 = 1'$	2023/10/06

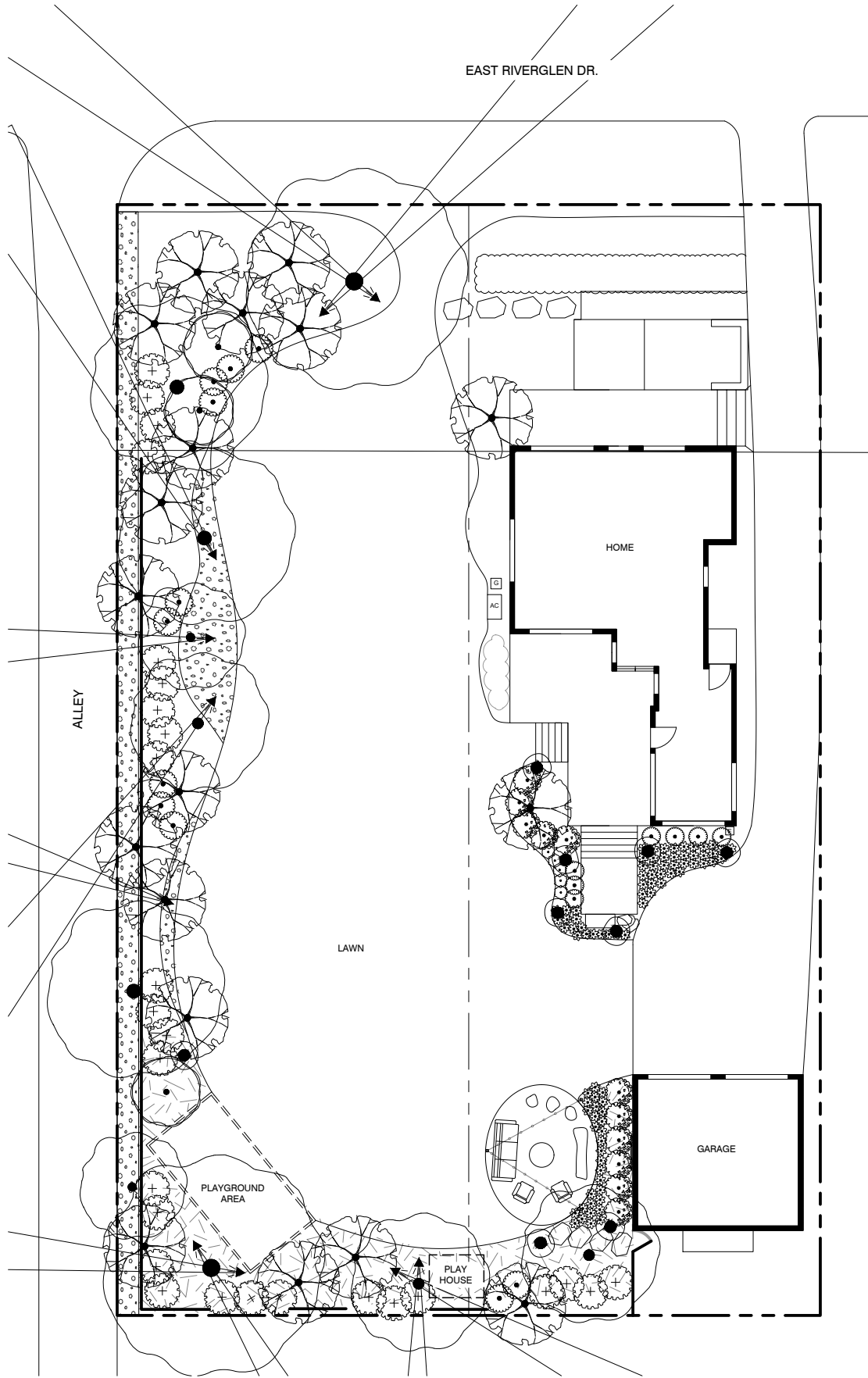
Sheet
LAYOUT

Sheet Number
SD-100



<u>CODE</u>	<u>BOTANICAL NAME</u>	<u>SIZE</u>	<u>QTY</u>
<u>TREES</u>			
COR PRI	Cornus florida 'Cherokee Princess'	5 gal.	3
<u>SHRUBS</u>			
CLE ALN	Clethra alnifolia	3 gal.	5
FOT GAR	Fothergilla gardenii	3 gal.	11
HYD TWS	Hydrangea macrophylla 'PIIHM-I'	5 gal.	11
LIR MUS	Liriope muscari	1 gal.	83
VIB BU3	Viburnum x 'Burkwoodii'	5 gal.	27

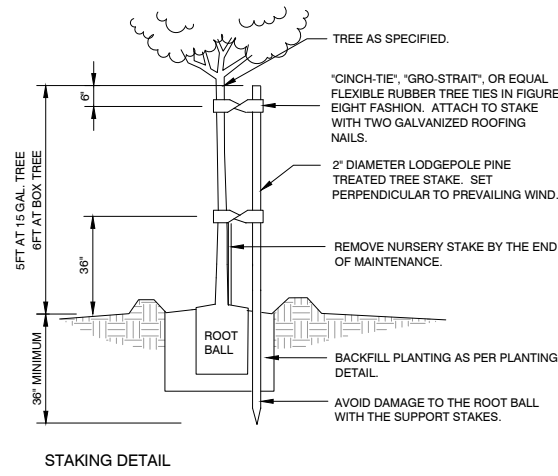
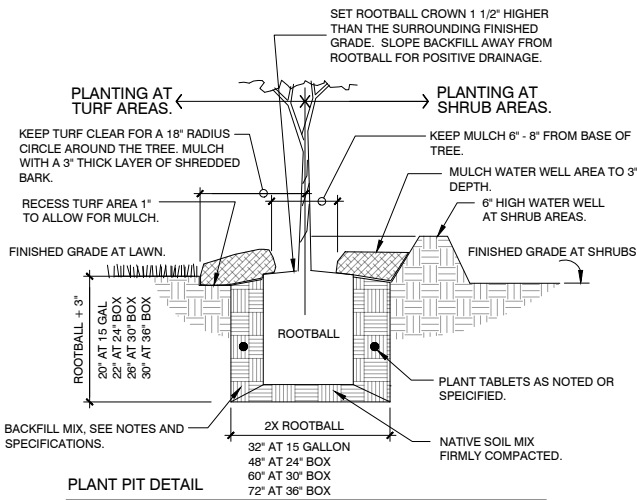
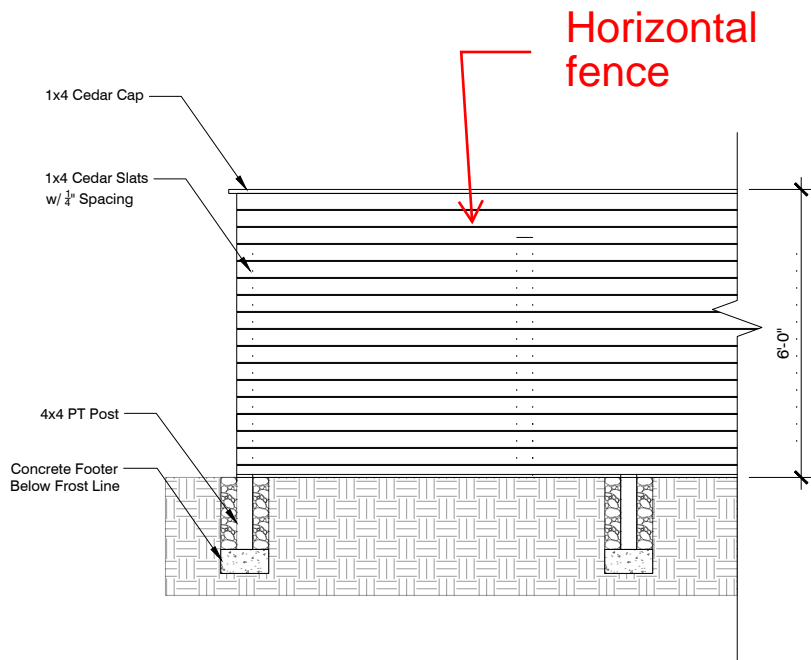




LIGHTING SCHEDULE

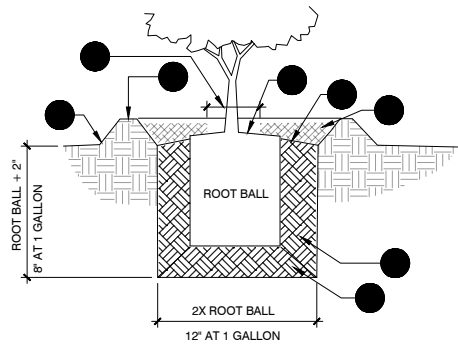
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	WAC Landscape Lighting 5011 LED Landscape Accent Spotlight Order code: 5011, Aluminum Alloy, (BBR) Bronze on Brass, Mounting Stake Lamp: 5011 Integrated LED, 18W 23VA, 2700K, Beamspread: Wide
	WAC Landscape Lighting 6053 6in. Cap Canopy LED Path Light Order code: 6053, Aluminum Alloy, (BBR) Bronze on Brass, Mounting Stake Lamp: 6051 Integrated LED, 6.5W 9.5VA, 2700K, Beamspread: Default





1 HORIZONTAL CEDAR FENCE

1/2" = 1'-0" P-RE-CAR-02



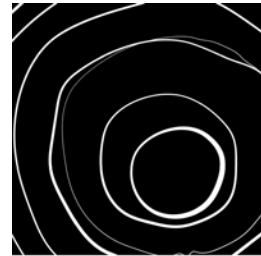
- 4" HIGH WATER WELL.
- SET ROOT BALL CROWN 1" HIGHER THAN SURROUNDING FINISHED GRADE.
- SLOPE FINISHED GRADE AT BACKFILL AWAY FROM ROOT BALL.
- MULCH TO 2" DEPTH AT WATER WELL.
- FINISHED GRADE.
- KEEP MULCH FREE FROM A 6" RADIUS AT THE PLANT TRUNK.
- BACKFILL WITH NATIVE SOILD WITHOUT ANY SOIL AMENDMENT.
- NATIVE SOIL MIX FIRMLY COMPACTED.

3 SHRUB PLANTING

1" = 1'-0" FX-PL-FX-SHRB-09

2 TREE SINGLE STAKE PLANTING

1" = 1'-0" FX-PL-FX-TREE-02



**FOREGROUND
STUDIO** landscape design +
project management

LIVE OUTSIDE OF ORDINARY

566 West Rich Street
Columbus, Ohio 43215
614.296.2635
www.foregroundstudio.com

Revision			
1	DESCRIPTION	YYYY/MM/DD	
2	DESCRIPTION	YYYY/MM/DD	
3	DESCRIPTION	YYYY/MM/DD	
4	DESCRIPTION	YYYY/MM/DD	
5	DESCRIPTION	YYYY/MM/DD	
6	DESCRIPTION	YYYY/MM/DD	

General Notes



CITY OF WORTHINGTON
DRAWING NO. VAR 03-2024
DATE 01/05/2024

Client
MCCHESNEY RESIDENCE

Project Location
27 E. RIVERGLEN DR.
WORTHINGTON, OH 43085

Project
PHASE 1 SD

Drawn Checked

Scale Date
2023/10/06

Sheet
DETAIL

Sheet Number
D-601