



**ARCHITECTURAL REVIEW BOARD
MUNICIPAL PLANNING COMMISSION
-AGENDA-
Thursday, July 23, 2020 at 7:00 P.M.**

**This will be a virtual meeting that will be streamed on the internet:
worthington.org/live**

A. Call to Order - 7:00 pm

1. Roll Call
2. Pledge of Allegiance
3. Approval of minutes of the July 9, 2020 meeting

B. Architecture Review Board – New Business

1. Garage Bay Extension – **787 Oxford St.** (Ed and Chasity Hofmann) **AR 43-2020**
2. Fence – **662 Hartford St.** (Lindsay McComas) **AR 44-2020**
3. Garage Door – **690 Evening St.** (Chad Kiner) **AR 45-2020** (Amendment to AR 04-2020)

C. Architecture Review Board – Unfinished Business

1. Security Lights – **137 E. Granville Rd.** (Mark Goyer/Sharon Memorial Hall)
AR 37-2020

Starting after 7:30pm

2. Stafford Village Redevelopment including Demolition of Buildings – **Northeast Corner of Hartford St. and Stafford Ave.** (pH7 Architects/National Church Residences) **AR 14-2019**

D. Municipal Planning Commission

1. Planned Unit Development – Final Plan

- a. Stafford Village Redevelopment – Northeast Corner of Hartford St. and Stafford Ave. (pH7 Architects/National Church Residences) PUD 01-2019F**

2. Subdivision

- a. Stafford Village Redevelopment – Northeast Corner of Hartford St. and Stafford Ave. (National Church Residences) SUB 01-2020**

E. Other

F. Adjournment



MEMORANDUM

TO: Members of the Architectural Review Board
Members of the Municipal Planning Commission

FROM: R. Lee Brown, Director
Lynda Bitar, Planning Coordinator

DATE: July 16, 2020

SUBJECT: Staff Memo for the Meeting of July 23, 2020

B. Architecture Review Board – New Business

1. Garage Bay Extension – 787 Oxford St. (Ed and Chasity Hoffman) AR 43-2020

Findings of Fact & Conclusions

Background & Request:

This Homestead style house was constructed in 1919 and is a contributing building in the Worthington Historic District. Recent approvals by the ARB involved extending the deck; adding a pergola and fencing to the rear of the house; installation of a spa; and the addition of a pergola at the rear of the property.

An addition is now proposed to add a bay and pergola to the garage.

Project Details:

1. The applicant is proposing a 14' wide x 21'2" deep addition to the detached garage on this property. The new bay is proposed west of the existing garage and would have a shed roof finished in a dark standing seam metal that would be similar in color to the asphalt shingles on the existing garage and house. Gray vinyl siding with darker trim is also proposed to match the existing. A single overhead door would be on the south side and a sliding glass door is proposed on the west side. A light would be above the garage door and two light fixtures are shown beside the sliding door that would match existing fixtures on the garage. A window is proposed on the rear.
2. West of the new bay would be a 7'10" wide x 21'2" deep wood pergola to match the pergola at the rear of the house.
3. A variance would be needed for total accessory structure area due to the attached pergola and the pergola approved at the rear of the property last year.

Land Use Plans:**Worthington Design Guidelines and Architectural District Ordinance**

There are recommendations in the Worthington Design Guidelines for new outbuildings to use design cues from older nearby structures, including form, massing, roof shape, roof pitch and height, materials, window and door types and detailing. Try to create a new building compatible in appearance with the house it accompanies. Compatibility of design and materials, exterior details and relationships are standards of review in the Architectural District ordinance.

Recommendation:

Staff is recommending approval of this application, as the design and character are compatible with the existing garage and house.

Motion:

THAT THE REQUEST BY EDWIN & CHASITY HOFMANN FOR A CERTIFICATE OF APPROPRIATENESS TO CONSTRUCT AN ADDITION TO THE GARAGE AT 787 OXFORD ST., AS PER CASE NO. AR 43-2020, DRAWINGS NO. AR 43-2020, DATED JUNE 30, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

2. Fence – 662 Hartford St. (Lindsay McComas) AR 44-2020**Findings of Fact & Conclusions****Background & Request:**

This Farmhouse was built in the mid 1850's and is a contributing building in the Worthington Historic District. The house was remodeled and added onto in the late 1970's and early 1980's. The owners gained approval late last year to replace and expand the rear patio and add a seat wall.

This request is to install a fence in the rear yard.

Project Details:

1. New fencing is proposed to enclose the rear yard. Replacement of the existing shadowbox fencing running south from the house and along a portion of the south property line is part of the project. The new fencing would be in the same location and extend along the south to a point short of the rear property line to allow retention of trees and to keep a distance from the neighbors' driveway. A gate is proposed at the rear so the owners can maintain that area of their property. Along the north property line, the fence would also be away from the property line to allow retention of existing vegetation and would terminate at the northeast corner of the garage. A section of fence with a gate is proposed between the house and garage on the north side.
2. The proposed fencing would be 4' high split rail fence with a metal mesh attached to the inside.

Land Use Plans:**Worthington Design Guidelines and Architectural District Ordinance**

Fences have long been used to mark property boundaries, to restrict access to properties by people and animals and for decorative purposes. They serve these traditional purposes in Worthington and can add to the character of a neighborhood when they are well executed and properly cared for. Fencing should be open in style; constructed with traditional materials; 3' to 4' in height; in the back yard; and of simple design, appropriate for the house style.

Consider using natural plant materials instead of fences. Various bushes and shrubs can be used to mark property lines or to set off private areas such as rear patios. Some of these may be evergreens; some may lose their leaves in the fall. Get good advice from a nursery or professional arborist about plant size, shape, rate of growth and care before choosing a natural fencing material.

Whether natural or man-made, all fencing materials require maintenance. Do not let plants get overgrown or full of litter; keep wood fences painted or coated with opaque stain; keep metal fences from rusting; and watch for mortar loss and other deterioration in masonry walls.

Recommendation:

Staff is recommending approval of this application, as the proposed fence meets the Design Guidelines in terms of location, height, openness, design, and materials.

Motion:

THAT THE REQUEST BY LINDSAY MCCOMAS FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL A FENCE AT 662 HARTFORD ST. AS PER CASE NO. AR 44-2020, DRAWINGS NO. AR 44-2020, DATED JULY 9, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

3. Garage Door – **690 Evening St.** (Chad Kiner) **AR 45-2020** (Amendment to AR 04-2020)

Findings of fact & Conclusions**Background & Request:**

This house was built in the early 1900's and is a two-story Colonial Revival style house. Approval was granted in 2015 and 2016 by the ARB to allow renovation of the house and replacement of the garage. Earlier this year the ARB approved plans to construct an addition at the rear of the garage that would function as an enclosed sport court.

This application would change the door to the addition.

Project Details:

1. The garage addition was approved to be 33' wide, and ~31.6' deep, located 10.2' from the rear property line. On the north side Pella wood multi-slide patio doors with 8 full-light glass panels were proposed. The patio doors were to be 28' wide and 8' high.

2. Approval is now sought to install a 20' wide by 8' high glass and aluminum overhead door instead of the patio doors. The owner would like the aluminum to be black or white and the 24 tempered glass panels would be tinted.

Land Use Plans:Worthington Design Guidelines and Architectural District Ordinance

There are recommendations in the Worthington Design Guidelines for new outbuildings to use design cues from older nearby structures, including form, massing, roof shape, roof pitch and height, materials, window and door types and detailing. Try to create a new building compatible in appearance with the house it accompanies.

Recommendation:

Staff is recommending approval of this application. Although the proposed glass door is not typical, it is in a location that is relatively hidden and seems fitting for the use. It may be appropriate to have the aluminum framing match the color of the tinted glass.

Motion:

THAT THE REQUEST BY CHAD KINER FOR APPROVAL TO AMEND CERTIFICATE OF APPROPRIATENESS NO. AR 04-2020 WITH A CHANGE TO THE DOOR ON THE GARAGE ADDITION AT 690 EVENING ST., AS PER CASE NO. AR 45-2020, DRAWINGS NO. AR 45-2020, DATED JULY 9, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

C. Architecture Review Board – Unfinished Business

1. Security Lights – **137 E. Granville Rd.** (Mark Goyer/Sharon Memorial Hall) **AR 37-2020**

This application was tabled without discussion at the July 9th meeting.

Findings of Fact & Conclusions**Background & Request:**

This building was built as a residence in 1861 and used as such until 1946. After WWII, voters approved a War Memorial Levy and the building was purchased and dedicated as Sharon Memorial Hall in 1947. When zoning was established in 1971, the property was zoned R-10, Low Density Residence, which allows for single family dwellings and public and semi-public uses. Many community groups and organizations used the building until 1975, at which time the Sharon Township Trustees moved their offices and police department into the building. The Township moved its operations to E. Wilson Bridge Rd. in 2009 and the building was renovated. Attempts were made by the Sharon Memorial Board, the entity responsible for Sharon Memorial Hall, to find public and semi-public users for the building that would generate revenue and allow maintenance of the building and site. After no users were found, the VM, Veterans Memorial zoning district was created in 2010, the property was rezoned from R-10 to VM, and the space was

leased to small office users. Sharon Memorial Hall is listed on the National Register of Historic Places and is a contributing building in the Worthington Historic District.

Two security lights were replaced that did not receive approval from the Architectural Review Board.

Project Details:

1. This is a request to retain the security light fixtures that were installed on the east and west sides of the building. The lights were installed in June of 2019 in place of fixtures that had not worked for about 15 years.
2. The new fixtures are LED with 3500 Lumens and 5000K in color.
3. There have been no neighbor complaints about the new lights, and it is felt by tenants and others the area feels more secure.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Keep lighting at a pedestrian scale along the streetscape. Avoid lighting fixtures mounted high above the ground. Avoid excessive brightness. In recent years great care has been taken by the ARB to assure newly installed lighting fixtures are not overly bright and that the light source is not visible from the right of way.

Compatibility of design and materials, exterior detail and relationships, and window treatment are standards of review in the Architectural District ordinance.

Recommendation:

Although the installed fixtures are designed and situated so the light sources are visible, and the lights are a bright white color, there are only two lights and residential neighbors are not bothered. A different style fixture that is angled toward the ground or warmer bulb color may be more appropriate, but the change may not be necessary in this situation.

Motion:

THAT THE REQUEST BY MARK GOYER ON BEHALF OF THE SHARON TOWNSHIP MEMORIAL HALL BOARD FOR A CERTIFICATE OF APPROPRIATENESS TO RETAIN LIGHT FIXTURES AT 137 E. GRANVILLE RD., AS PER CASE NO. AR 37-2020, DRAWINGS NO. AR 37-2020, DATED JUNE 16, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

Starting after 7:30pm

2. Stafford Village Redevelopment including Demolition of Buildings – **Northeast Corner of Hartford St. and Stafford Ave.** (pH7 Architects/National Church Residences) **AR 14-2019**

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D. Municipal Planning Commission

1. Planned Unit Development – Final Plan

- a. Stafford Village Redevelopment – **Northeast Corner of Hartford St. and Stafford Ave.**
(pH7 Architects/National Church Residences) **PUD 01-2019F**

Findings of Fact & Conclusions

Background & Request:

Stafford Village was developed in the early 1970's and is entirely owned by National Church Residences. The main part of the apartment complex is at the northeast corner of E. Stafford Ave. and Hartford St. Other units are located further to the north, and at the southwest corner of North and Hartford Streets. Also, houses at 862, 868 and 874 Hartford St. are owned by National Church Residences.

National Church Residences was rezoned to a Planned Use District (PUD) on February 18, 2020 and is now continuing to the next phase of the development process for a PUD. We will be reviewing the following applications: PUD - Final Plan, Architectural Review, and a Subdivision.

The proposal is to re-develop the main portion of the complex, which is on approximately 3-acres and currently contains 58 dwelling units, as a new senior housing development with 86-units of senior housing. The project will include 85-units in the new two to three story building that will be constructed. Of those 85 new units, 34-units of affordable housing were approved for a 30-year period. There are currently 10 buildings on the site, seven multi-tenant buildings and three existing single-family homes along Hartford St. All three of the single-family houses on Hartford St. are included in the PUD and are contributing buildings in the Worthington Historic District. The southern house is the only structure to remain, as the northern two houses (868 & 874 Hartford St.) are to be demolished as part of this redevelopment.

Application History:

- February 14, 2019 – The Municipal Planning Commission and the Architectural Review Board reviewed and tabled the proposal for the site where the applicant received feedback from the Commission & Board and the general public.
- February 28, 2019 – The Municipal Planning Commission and the Architectural Review Board reviewed and tabled the proposal for the site where the applicant received feedback from the Commission & Board and the general public.
- April 30, 2019 and May 2, 2019 – Members of the Municipal Planning Commission and the Architectural Review Board did a walking tour of the property.
- December 12, 2019 – The Municipal Planning Commission and the Architectural Review Board reviewed and tabled the proposal for the site where the applicant received feedback from the Commission & Board and the general public.
- January 9, 2020 – The Municipal Planning Commission recommended approval of the rezoning to City Council by a 4 to 1 vote and the Architectural Review Board tabled the Architectural Review application pending approval of zoning by City Council.

- February 3, 2020 – City Council introduced legislation to rezone the property to a PUD and set a public hearing date.
- February 18, 2020 – City Council reviewed and approved the rezoning of the property to a PUD by a 5 to 2 vote at to allow for the redevelopment of the property.
- April 20, 2020 – This is the effective date of the zoning since there is a 60-day referendum period after a property has been rezoned.

Project Details:

1. Demolition of Buildings

The Architectural Review Board is needed for the demolition of seven (7) multi-family buildings and two (2) single-family homes as part of the redevelopment of Stafford Village that was approved by City Council.

868 Hartford Street – To be demolished

This 1 ½-story vernacular style home with a detached garage was constructed in 1929 and is a contributing building in the Worthington Historic District. The home received ARB approval in the past for several projects including a major renovation and addition to the home in 1990 and 1996.

874 Hartford Street – To be demolished

This one-story vernacular style home with a detached garage was constructed in 1940 and is a contributing building in the Worthington Historic District, however it is believed that this house was actually two separate houses from the mid 1800's and were combined and moved to this location in 1940.

Stafford Village – To be demolished

There are 7 one-story brick cape cod influenced buildings that were constructed in 1970. These buildings are not contributing buildings in the Worthington Historic District.

2. Allowable Uses

- a. Senior Citizen Development
 - i. Senior Residential – means multi-family facilities with occupancy restricted to age 55 and over. Social rooms, limited staff and garages may be included. Unit sizes also vary and be as large as typical apartments.
 - ii. Facility programing space throughout the interior to accommodate a full range of congregate services, dining, health, and wellness.
- b. Single-family residential

3. Updates

The following is a list of the development details that have been updated:

- Siding colors have been updated. The ochre color has been replaced with a historical pale yellow.
- The courtyard design and landscaping have been clarified. Paving and plant materials have been improved and updated.
- The eastern courtyard along E. Stafford Ave. has been adjusted on the ground floor to reflect an enlarged dining room on first floor.

- The western courtyard along Hartford St. has been enhanced with an arbor structure and additional plantings to create a private outdoor space for the residents.
- Emergency access drive will be paved asphalt with a small portion in the area in front of a control gate being a heavy-duty cobblestone. The 5' high control gate will manually swing open and is to be constructed of wood painted white.
- Bollards with a removable chain and hanging signage will be on the east end of the emergency access drive.
- Internal circulation related to the garage has been updated to reflect a one-way entrance on the eastern side of the building with a one-way exit on the north side of the building that will then be directed east back through the parking lot.
- In coordination with the City Arborist, several trees along E. Stafford Ave. are shown to be removed related to the condition of the trees. These were identified as possible trees that might need to be removed when we were going through the rezoning process. The landscape plans have been updated to reflect additional street trees along the public right-of-way and within the courtyards.

4. Character & Design

a. Buildings:

The project is designed as one large building with a façade that gives the look of many connected separate buildings with varying architectural styles, many of which are found in Worthington. The 3-story portion of the building will be confined to the central part of the site with the 2-story portions are now located around the periphery to be more compatible in scale to the surrounding homes.

A variety of roof shapes would hide the flat roof behind that would house the condensing units and other mechanical equipment for the building. All rooftop mechanicals will be screened from public view.

Needed:

- Clarification needed on the number of condensing units and air handling units.

The units along the street rights-of-way would have exterior entrances and porches with walkways leading from the public sidewalk. Interior entrances are also proposed for those units, as well as the other units in the building. Several of the eastern units along E. Stafford Ave. will be able to have zero-step entry into the units. Walks are proposed around much of the perimeter of the building. The main entrance to the building will be accessed from the resident parking lot. Other entrances would be at various locations on the exterior and in the garage. Two courtyard areas are proposed on the E. Stafford Ave. frontage that would help to add relief to the south side of the building and add gathering areas for the residents. Walkways are proposed to connect to these areas from the public sidewalk.

Predominant building materials will be brick, cementitious fiberboard, standing seam and asphalt shingles.

Along the street frontage of the site, the structure would be a 2-story building, with placement increasing from 17' to 21.3' from Hartford St. (excluding porches) and increased around the preserved Sycamore tree, and 20' from E. Stafford Ave. (excluding porches). The center section of the building that is proposed to be a 3-story building and has been pushed back from the streets to the middle of the site, with the first floor of the center of the building being structured covered parking. Parking is also proposed on a surface lot at the northeast area of the site.

b. Site:

The main vehicular entrance to the site would be from E. Stafford Ave., with an emergency access planned to Hartford St. The emergency access will be asphalt with a heavy-duty cobblestone approach between the sidewalk and the gate. The drive will have a gate that will prohibit vehicles from entering the site from Hartford St. and there will be bollards with a chain across the access drive that would prohibit the residents from using this emergency drive, but can easily be moved by the Division of Fire if needed. The Division of Fire reviewed and approved the emergency access drive with a gate and chain with the condition that the emergency access drive is to be maintained year-round. This would include the removal of snow. The Division of Fire has also asked that signage be installed along the north side of the development prohibiting parking in this area so that it would not create an issue for the Division of Fire if there was an emergency.

Needed:

- Additional signage is needed along the northern portion of the site that would prohibit parking in this area and that would direct the residents now exiting the garage to make a right-turn only upon exiting the garage. An additional do not enter sign is needed to prohibit residents and visitors from trying to exit by utilizing the emergency access drive along the northern side of the development.
- Guarantee that the emergency access drive will be maintained at all times and be clear of snow in case of an emergency.
- Clarification on the exact location of the gate.

Bicycle parking locations are shown along E. Stafford Ave., with bicycle racks being inverted "U" style as shown on Sheet C-13.

In addition to parking lot trees, other trees and shrubs are proposed around the site. East of the drive and adjacent to the surface parking on the east side two sections of 3' high walls are proposed to screen cars from the residential neighbors. The plan calls for a mix of 4' to 6' high fencing with landscaping around the perimeter of the site. A combination of fencing and screening is not uncommon in Old Worthington to provide screening of a parking areas from neighboring residents.

Needed:

- Material and detail for walls.
- Clarification on whether the proposed fencing will be painted or left natural. Staff's preference would be to leave it natural.

There are three separate courtyards for the residents to enjoy. The larger courtyard for the residents is located behind the existing single-family home on Hartford St. that is to remain. This courtyard will have a seating area and arbor for the residents. The other two courtyards face E. Stafford Ave.

c. Lighting:

The following language was added to the Development Text stating that all decorative light poles shall be no higher than 12-feet, and the concrete bases shall not be exposed for public sidewalk pedestrian lighting. Light color shall be 2,700 K or less. Light level shall be zero-foot candles at the property line.

Needed:

- Information is needed for the lighting shown on Sheet C-13 and Sheet C-20.

d. Signage:

One monument sign is now shown west of the access drive entrance on Stafford Avenue and a projection sign attached to the building at the corner of Hartford St. and E. Stafford Ave. and originally shown attached to the building by the access drive off of E. Stafford Ave.

Needed:

- Clarification needed on the location and number of projection signs. Sheet D-9
- Revised signage material is needed. The proposed signage does not meet the Design Guidelines for materials and does not meet the requirements found in the Sign Code for number of colors. Sheet D-9

5. Infrastructure:

a. Stormwater:

Stormwater will be handled by catch basins located throughout the site that will direct the stormwater to underground retention. The underground detention is located under the main access drive from E. Stafford Ave., parking lot area and the emergency access drive area. Sheet D-6, Sheet C-2 and C-3 show the location of the underground retention. The final design is currently being reviewed by MS Consultants. Preliminary design has been approved by the Service & Engineering Department and MS Consultants.

Needed:

- An Operation & Maintenance Plan will be required and will need to be recorded with the Franklin County Recorder. Final design will need to be approved prior to recording the Final Plat and receiving permit approval for construction.

b. Sanitary Sewer:

There is an existing 12" sanitary sewer line that runs east to west through the middle of the property. As part of the redevelopment of this site, the applicant will be vacating the old sanitary sewer easement and platting a new 12" sanitary sewer line that will be located in a new 20' wide easement. This will be handled as part of the Subdivision process. The new building will connect by a 6" sanitary service line to an existing 8' sanitary line along Hartford St.

Needed:

- The sanitary sewer line has been misidentified on several sheets. The plans referencing storm versus sanitary need to be corrected.

c. Central Water:

The new building will connect by a new 3" domestic waterline in addition to a 6" for fire sprinklers for the building that connects from an existing 6" waterline along Hartford St.

d. Traffic & Parking:

A Traffic Impact Study was submitted and approved by the City Engineer and the City's traffic consultant Carpenter Marty. Access to the property shall be along the southeast from Stafford Ave. with an emergency access to Hartford St. north of the proposed building. Service and delivery to the property is limited to the Stafford Ave. access point. Parking will be completely screened from Hartford St. and Stafford Ave. The covered garage parking will accommodate 53 parking spaces with an additional uncovered 32 parking spaces for a total of 85 spaces. Bicycle racks are shown at three separate locations along E. Stafford Ave.

e. Natural Features:

A Tree Preservation Plan and new detailed Landscape Plan are included in the materials submitted by the applicant. The detailed Landscaping Plan can be viewed on Sheet C-10, Sheet C-14 to C-17 and Sheet C-19 shows the landscaping in addition to the proposed fencing. A tree protection plan is included primarily for the protection of the 56' Pin Oak and 46" Sycamore will be required during construction. City Council agreed to reduce the Fee in Lieu of payment for caliper inch replacement to \$57,900.00.

Needed:

- The Fee in Lieu of payment will be required to be paid prior to receiving a permit to start construction.

f. Public Area Payment:

The Public Area Payment will be \$250/dwelling unit (\$21,250.00).

Needed:

- The Public Area Payment will be required to be paid prior to receiving a permit to start construction.

g. Amenities:

There will be three accessible courtyards as part of this development. Two of the courtyards are along the south side of the buildings facing E. Stafford Ave. that will provide outdoor seating, decorative waste receptacles and decorative pedestrian lighting.

h. Public Amenities:

The development will be providing the following:

- Decorative benches and brickwork along E. Stafford Ave.
- Bicycle racks along E. Stafford Ave.
- New sidewalks along Hartford St. and E. Stafford Ave. at 5' in width.
- Freestanding decorative lighting fixtures will be finalized with the Architectural Review Board application.
- Additional street trees along Hartford St. and Stafford Ave. where needed.

6. Construction Timeline

Construction will begin in 2021 and continue for approximately 18 months in one single phase.

7. Covenants and other restrictions which will be imposed upon the use of the land, buildings, and structures

- The applicant is the owner of record for the property.
- Ordinance #07-2020 approved the PUD Development Plan and Development Text to permit 86-units for senior housing. There will be 85-units in the new building with 34 of those units designated as affordable.
- Resolution 09-2020 approved by City Council gave the City Manager the authority to enter into an agreement with National Church Residences that requires that there be 34-units of affordable housing units for a 30-year fixed period.

Needed:

- The Agreement still needs to be signed prior to recording the Final Plat and receiving permit approval for construction.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance:

Demolition:

The Board shall determine by a vote of its members whether to issue a Certificate of Appropriateness based on the determination:

- That such building is not historically or architecturally significant;
- That if the building is found to be historically or architecturally significant, there is no feasible or prudent alternative or change that would allow preservation of the building; and
- The proposal for grading, landscaping and other design treatment once the structure is removed meets the standards of this chapter.

In any circumstance, the Board shall not deny a request for a certificate of appropriateness if it determines either:

- That such denial will deny all reasonable use of the property or
- That such denial shall result in an unsafe condition because of the structural or physical condition of the building.

New Development:

- New commercial/institutional development sites generally are larger than existing sites and may involve one large or many smaller land parcels. They might include land that has never been developed, or that has some existing development that could be removed for new development.
- These sites often have natural and man-made features that serve as enhancements to a development or that blend in with the existing built environment of the city. Natural features include watercourses, distinct topography, and mature trees. Man-made features include fences, stone walls, gardens and plantings, and historic buildings. Planning for the development of a new site should include an inventory and evaluation of features, and the development should retain those that add scenic or historic value or that help integrate the new development into the existing cityscape.
- Connecting new development with what has come before is an important consideration. In the past, new commercial development tended to extend the urban fabric, building at the edges of existing development. Most development after the mid-20th century, which had an automobile orientation, went to the edge of town and grew as separate shopping centers or individual buildings with little to connect them physically.
- In Worthington, new developments should build upon and extend the pedestrian scale and walkability of the city's commercial heart. Efforts to establish this connection can include multiple pathways to existing streets, following traditional grid street patterns in commercial developments, and extending amenities such as sidewalks, lawns and shade trees into new developments.
- Scale refers to the apparent size of a building and its components in relation to the size of a human being and in comparison to adjacent buildings. Buildings are often referred to as being either grand or intimate in scale. The city of Worthington, with few exceptions, expresses an intimate scale – especially in Old Worthington's Central Business District – that contributes to a sense of comfort and friendliness attractive to residents or visitors.
- Form and massing are related concepts. The combination of various geometric forms leads to the overall massing of a building. A rectangular wing attached to a square building, for example, might result in a T-shaped or L-shaped form. In Old Worthington, the form and massing of every building is not always apparent because there are so many shared walls. Generally, commercial and institutional buildings in this area are rectangular in form, with a simple massing as a result. Some properties, such as churches, have wings or additions that made their massing more complex.
- New construction in Old Worthington should take special care to employ scale, form, and massing that are similar to and compatible with existing building designs. To maintain the predominant sense of scale in Old Worthington, most buildings should be two stories in height; in some instances, two-and-a-half stories may be appropriate but this must be evaluated on a case-by-case basis. Rectangular forms and simple massing, designed to

resemble the characteristics of existing buildings, are the most appropriate in Old Worthington.

- Any construction of new commercial buildings should maintain the same setback as adjacent buildings. Retention of the area's continuous commercial facades is a high priority. In designing new institutional structures, study existing buildings of this type. Select a setback that is consistent with code requirements but that also is appropriate for the size, shape and scale of the new structure.
- In Old Worthington, many roofs are flat, but there also are gable and mansard roofs. This variety in roof shape helps give the area its character. Outside Old Worthington there is a similar variety in newer commercial and institutional structures. New infill structures should employ roof shapes typical of Old Worthington and selected specifically for compatibility with the roof shapes of immediately adjacent structures. Roof heights of new buildings should approximate those of existing buildings and should not be significantly higher or lower.
- Brick is the predominant building material in Old Worthington, but wood can also be found. Traditionally, these were the materials used by builders in downtown districts. There are some modern materials, but the historic ones are the most apparent; some of the brick has been painted and some remains unpainted. New buildings in this area should employ only traditional wood and brick. Contemporary materials that simulate wood can be acceptable if done well, and brick veneer construction over a wood frame also is acceptable. Observe existing historic buildings to see how materials are used: brick patterns; types of wood surfaces; and decorative uses of these materials in wall surfaces. Consider using similar techniques to provide visual interest and variety in a new building.
- Windows in commercial/institutional buildings are important elements in architectural compositions. This is especially so in the case of commercial storefront windows, which create a connection between the interior of a retail space and the exterior space outside. Upper floor windows are also important, since they help define the pattern of solids and voids along the streetscape. This is particularly true in Old Worthington, where these patterns have long been a part of the area's character. New buildings built in Old Worthington should follow traditional window patterns on the first and the upper floors. Traditional storefront design should prevail on the first floor, with individual windows on upper floors. Observe the size, proportions, and spacing of storefront and upper floor windows on Old Worthington buildings. Use these as a guide in developing a new building design to enhance the new structure's compatibility with existing buildings. For new buildings, simple 1 over 1 double-hung sash are the most appropriate (and usually least expensive) for upper floor use. Avoid multiple-paned effects and ornamental windows such as stained glass.
- Doors and the entrances surrounding them -- entries -- are significant elements in a building design. Traditionally they were focal points of building facades, often located symmetrically and made easily visible so it was readily apparent where people should enter a building. More recent building designs often downplay the entry to the point that it becomes simply a slight variation in a continuous facade. In new infill construction, follow traditional door and entrance design that can be found throughout Old Worthington. Entries may be symmetrically or asymmetrically placed; doors should be solid wood or glazed in the upper half. Simple trim around the entrance will help

distinguish it as the point of entry to the building. Simple paneled doors are the most appropriate; avoid heavily ornate doors.

- Ornamentation makes a building more visually appealing and distinguishes it from other structures. Worthington's commercial buildings display ornamentation trends from the early 19th century to the early 20th. This was a period of increasingly ornate ornamentation as the 19th century progressed and increasing simplicity during the early 20th century. The variety of ornamentation and detail in Old Worthington shows how much variety could be achieved among buildings that otherwise were fairly plain and followed traditional commercial design concepts. Observe Worthington's historic architecture for information on the kinds and amounts of ornamentation employed on various commercial/institutional building styles and periods. When designing a new commercial building in Old Worthington, use ornamentation conservatively. Use it in traditional locations around windows and doors and along the cornice. Use simple forms to create ornamentation. A reflection or simulation of complex 19th century ornamentation usually is more successful than trying to duplicate the actual appearance. Sometimes just a little ornamentation can have a major impact.
- Color can have a significant impact upon a building's design and appearance, and the Architectural Review Board encourages the use of colors appropriate to the buildings and the overall character of Worthington. There is a policy of flexibility in color use, and the Board can provide information on appropriate selections. There are no hard and fast requirements for particular colors or color combinations. Once again, however, it will be instructive to study Worthington's existing commercial/institutional building stock to get a sense of appropriate colors and combinations of colors. Avoid removing paint from older painted brick walls, since paint removal processes can damage soft older bricks. Unpainted brick walls should remain unpainted, the better to reflect their historic character. In general, avoid bright colors not typical on Worthington commercial buildings. For new infill buildings select colors compatible with those already used along the streetscape. Most buildings use light colors for the building body and darker colors for the trim. Following this pattern is encouraged. Avoid using too many colors. Usually one body color and one trim color are sufficient.

PUD Final Plan Submission Requirements:

- (a) After approval by the City Council of the PUD Ordinance and prior to beginning construction of each phase of the development, Final Plans addressing one or more phases of the proposed development shall be submitted to the Municipal Planning Commission. At the time of filing each Final Plan application, the applicant shall pay a fee of two-hundred dollars (\$200.00), no part of which shall be refundable. No Final Plan shall be approved until the effective date of said Ordinance.
- (b) Final Plan submittals shall include the following:
 - (1) An exhibit showing which phases of the Preliminary Plan are part of the proposed Final Plan;
 - (2) An updated construction schedule;
 - (3) All items required in the Preliminary Plan, revised as necessary to meet the approved PUD Ordinance;

- (4) Proposed final design and location of Structures, Accessory Structures, streets, drives, Sidewalks or Recreation Paths, parking, entry features, site lighting, landscaping, screening and other features as required by the City;
 - (5) Evidence that the applicant has sufficient control over the land to undertake the proposed development; and
 - (6) Covenants and other restrictions which will be imposed upon the use of the land, Buildings, and Structures, and a copy of any bylaws.
- (c) For any development involving the extension of utilities, the owner shall also submit conceptual utility drawings containing the following information:
- (1) The pipe size, slope, manholes and location of the sanitary sewer system;
 - (2) The size, shape and slope for all pipes, channels and basins of the storm sewer system with accompanying storm drainage calculations;
 - (3) The size and location of water lines and fire hydrants; and
 - (4) Street or drive grades, cross sections, elevations and contours at two foot intervals.
 - (5) If a conceptual utility plan is required, the applicant shall pay a fee of fifty dollars (\$50.00) per acre for each acre in the development; however, such fee shall not be less than two hundred fifty dollars (\$250.00) for the purposes of reviewing such utility plans.

PUD Procedures:

(a) Pre-application – ***Completed***

(b) Preliminary Plan:

1. Municipal Planning Commission – ***Completed***
2. City Council – ***Completed***

(c) Final Plan:

1. The Municipal Planning Commission shall review Final Plans for compliance with the approved PUD Ordinance and shall:
 - A. Approve the Final Plan as requested;
 - B. Approve the Final Plan with modifications as agreed by the applicant which do not change the essential character of the approved PUD and do not need review by the City Council;
 - C. Recommend the Final Plan to the City Council with changes that require an amendment to the PUD Ordinance; or
 - D. Disapprove the proposed Final Plan when said plan does not meet the requirements of the PUD.

Staff Comments:

Demolition of Buildings:

While staff does not typically support the demolition of contributing buildings in the Worthington Historic District, we believe that the demolition will allow for the overall redevelopment of Stafford Village. City staff previously asked the applicant to look at the possibility of moving the two residential homes to another location, however it was determined to be financially impossible. City staff did ask the applicant to coordinate with the Worthington Historical Society prior to the demolition of the buildings so the Historical Society would have the opportunity to document the existing structures for their records prior to demolition.

Use Considerations:

Senior residential housing is an appropriate use for this site as it is currently being used for the same use and is in close proximity to a grocery store, pharmacy, library, transit, senior center, churches and other amenities in Old Worthington.

Character & Design Considerations:

- The proposed structure is a two-story to three-story structure. The Design Guidelines for new residential and new commercial/industrial recommends buildings should not be higher than 2 ½ stories in height; some instances 2 ½ stories may be appropriate but should be evaluated on a case-by-case basis.
 - The current PUD zoning permits a two-story to three-story structure.
- New construction in Old Worthington should employ scale, form, and massing similar to and compatible with existing building designs. Although there are other two to three-story structures in Old Worthington, the residential structures in the immediate vicinity of this project are smaller in scale and height. Kilbourne Middle School, Saint John's Episcopal Church, Huntington Bank and the Old Worthington Library are in the immediate vicinity and are larger in scale and height.
- During the Municipal Planning Commission and Architectural Review Board review process the applicant made design changes in response to comments concerning the overall height:
 - The applicant moved the three-story portion of the building back from Stafford Ave. to the center of the site and lowered the heights and roof lines on the proposed building. The three-story portion previously had hipped roofs and cupolas that have since been removed to bring down the building height.
 - The previous three-story building with a cupola on Stafford Ave. had a height of 53' with a roof ridge of 38.5 and is now reduced to 51.6' with the cupola to a roof ridge of 34.8' in height.
 - The three-story portion of the building previously showed a height of 60' for the cupolas and 39' for the roof ridge. The cupolas on the three-story portions of the building have been removed and the height has been reduced to 36' for the roof ridge.
 - The building setbacks along Hartford St. have increased by 4' to 5' and pushed the building back 40' to 60' around the Sycamore.
- Parking is typically desired to be screened from streets by buildings or landscaping and this proposal provides this screening.
- The amount of proposed onsite parking meets what is required by City Code and would likely be sufficient, however there may still be residents and guests that park along Hartford St. and E. Stafford Ave. near those unit entrances. The proposal provides much more onsite parking than what is there today, and is expected to alleviate existing parking congestion on Hartford St.
- The public amenities being provided are the following:
 - Courtyards open to the general public (because of their location they may be used more by the residents and those visiting vs. the general public).
 - Decorative lighting
 - Decorative benches and brickwork
 - Decorative bike racks

- Decorative trashcans
- New 5' wide sidewalks along the perimeter
- Additional street trees as needed

Comprehensive Plan Considerations:

- The proposal ties to the Comprehensive Plan objective to promote residential densities around Old Worthington that address targeted housing markets.
- The proposal offers options for residents that would like to stay in Worthington beside staying in their existing single-family home. The proposal provides options for those that wish to rent vs. owning a home. The proposal goes towards Worthington's goal to be a life-span community and provide housing alternatives to its residents across their life. The proposal does not impact the school system with additional children as the proposed project is restricted to Senior Residential restricted to age fifty-five and over. The increase in property taxes would be a net win for the schools as opposed to typical single-family home developments.
- The proposal improves the City's housing balance concerning types of housing available within the City. The project works towards the goals of Worthington becoming a life-span community. It provides a diversity of housing options aimed at empty nesters. There are few opportunities to offer an alternative housing type within Worthington. It provides a housing option that is not necessarily automobile oriented due to its close proximity to a grocery store, pharmacy, library, transit, Griswold Senior Center, churches and other amenities in Old Worthington.
- The proposal meets the location recommended for urban village residential development where non-single-family residential development could occur.
- The proposal meets the location recommended for urban village residential development around Old Worthington. The development complements the character of the area and incorporates the Design Guidelines into the development. The proposal is sensitively placed on the site while respecting existing property rights and neighboring properties while looking at the architecture, site plan and overall design for the project.

Discussion Items:

- Additional information is needed for the windows, exterior doors, garage doors, lighting, porch railings and garage screen. We typically see spec sheets for the materials.
- Sheet D-1
 - Cupola
 - Details needed concerning the materials that will be used for the cupola.
 - Will the cupola be lit at night?
 - Windows
 - Roofing
 - Porch Railings
 - What material?
 - Porch Columns
 - Columns should line up with fascia, with capitals extending beyond.
 - Porch Roof
 - Clarification needed on whether the porch roofs will be standing seam or dimensional shingles. It appears to be dimensional shingles.

- Shutters
 - The windows in the attic area are now shown to not to have shutters.
- Sheet D-2:
 - Shutters
 - The window in the attic area are now shown to not have shutters.
 - Courtyard 2 – West Elevation
 - Windows and doors have slightly changed in location and number.
 - Courtyard 2 – South Elevation
 - Small area on the southern elevation that is now siding that was previously shown as brick.
 - Courtyard 1 – East Elevation
 - Windows and doors have slightly changed in location and number
 - There appears to be a blank area on the east elevation. Clarification is needed on what this is to look like in the future.
 - Courtyard 1 – South Elevation
 - Shows the expanded dining area on the first floor.
 - Courtyard 1 – West Elevation
 - Small area on the western elevation that is now brick that was previously shown as siding.
- Sheet D-3:
 - Partial West Elevation
 - Windows align with the window on the second story balcony.
 - Additional door added along the western elevation.
- Sheet D-4:
 - Hartford Courtyard – West Elevation
 - Windows have been adjusted on the second and third floor.
 - Garage windows/screen
 - Material and color. Details needed.
 - Is it an actual screen or wide open?
 - Hartford Courtyard – North Elevation
 - Small area on the north elevation that is now siding that was previously shown as siding.
 - Should there be a patio door to access the second story balcony?
 - Additional door added to the first-floor porch.
 - Existing house to be painted sporty blue on the original portion of the house with the addition to the rear being painted origami white.
- Sheet D-5:
 - Partial North Elevation
 - Additional doors added to the west of the main entrance to the building.
 - There appears to be a blank area on the northern elevation of the first floor with a porch. Clarification is needed on what this is to look like in the future.
 - The attic window above the third-floor balcony is now round vs. previously being shown as a square window.

- Partial North Elevation
 - Single car garage door added on the northern elevation.
 - Information needed on the materials and look of the proposed garage door.
- Sheet D-6:
 - Partial East Elevation
 - Modifications to the layout of the windows.
 - Partial East Elevation
 - A double car wide garage door was previously shown in this location, there is now a single car garage door.
 - Information needed on the materials and look of the proposed garage door.
 - Paint color changed to reflect the use of Roycroft Vellum (yellow) vs. the previous yellow.
 - Third floor bump out area by the balcony increased.
- Sheet D-7:
 - Products & Materials
 - Roycroft Vellum (yellow) replaced the Rockwood Amber (orange) color.
 - Brick – Type 2 – Brickcraft – Chicago Heritage
 - Examples needed to show what this would look like in the real world.
- Sheet D-8:
 - Porch Columns
 - Columns should line up with fascia, with capitals extending beyond.

Recommendation:

Staff is recommending approval of these applications after the ARB & MPC feel all items have been addressed satisfactorily.

ARB Motion:

THAT THE REQUEST BY PH7 ARCHITECTS ON BEHALF OF NATIONAL CHURCH RESIDENCES FOR A CERTIFICATE OF APPROPRIATENESS TO DEMOLISH THE EXISTING BUILDINGS AND REDEVELOP THE PROPERTY AT THE NORTHEAST CORNER OF HARTFORD ST. AND E. STAFFORD AVE., AS PER CASE NO. AR 14-2019 DRAWINGS NO. AR 14-2019, DATED JULY 10, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

PUD Final Plan – MPC Motion:

THAT THE REQUEST BY PH7 ARCHITECTS ON BEHALF OF NATIONAL CHURCH RESIDENCES FOR APPROVAL OF THE PUD FINAL PLAN TO REDEVELOP THE PROPERTY AT NORTHEAST CORNER OF HARTFORD ST. AND E. STAFFORD AVE., AS PER CASE NO. PUD 01-2019F, DRAWINGS NO. PUD 01-2019F, DATED JULY 10, 2020, BE APPROVED BASED ON THE PLANNING GOALS OF THE CITY, AS REFERENCED IN THE LAND USE PLANS AND ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

2. Subdivision

- a. Stafford Village Redevelopment – **Northeast Corner of Hartford St. and Stafford Ave.**
(National Church Residences) **SUB 01-2020**

Findings of Fact & Conclusions

Background & Request:

To accommodate the redevelopment of Stafford Village, the property must be combined into one parcel. The Preliminary and Final Plats are included in this request.

Project Details:

1. The applicant will be combining ten (10) separate parcels to create one new parcel. The proposed development was designed as though the parcels were already combined. Sheets C-1 to C-3 show existing and proposed conditions as required in the Preliminary Plat.
2. As part of the redevelopment process the owner will be vacating an existing 12” sanitary sewer line and platting a new 12” sanitary sewer line in a 20’ easement as shown on the subdivision plat.

Land Use Plans

Worthington Subdivision Regulations

“Subdivision” means the division or combination of any parcel or parcels of land shown as a unit or as contiguous units on the latest tax roll.

Section 1101.09 Preliminary Plat Contents and Section 1101.12 Final Plat Contents outline the necessary information required to consider an application complete to be approved by the Municipal Planning Commission and be sent to City Council for final approval.

Recommendation:

Staff is recommending **approval** of this request as all standards for review have been met.

Motion:

THAT THE REQUEST BY NATIONAL CHURCH RESIDENCES TO COMBINE PROPERTIES, VACATE AN EXISTING SANITARY SEWER EASEMENT AND PLAT A NEW SANITARY SEWER EASEMENT AT THE NORTHEAST CORNER OF HARTFORD ST. AND E. STAFFORD AVE. AS PART OF THE REDEVELOPMENT OF STAFFORD VILLAGE AS PER CASE NO. SUB 01-2020, DRAWINGS NO. SUB 01-2020, DATED JULY 10, 2020, BE RECOMMENDED TO CITY COUNCIL FOR APPROVAL BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.



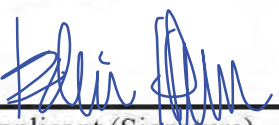
City of Worthington
ARCHITECTURAL REVIEW BOARD
Certificate of Appropriateness
Application

Case # AR 43-2020
Date Received 6/30/2020
Fee \$10.00pd
Meeting Date 7/23/2020
Filing Deadline _____
Receipt # _____

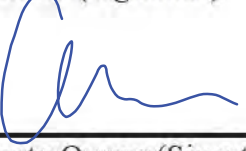
1. **Property Location** 787 Oxford Street Worthington, OH. 43085
2. **Present/Proposed Use** Residential
3. **Zoning District** R10
4. **Applicant** Ed + Chasity Hofmann
- Address** 787 Oxford Street
- Phone Number(s)** 718-419-3489
5. **Property Owner** Ed + Chasity Hofmann
- Address** 787 Oxford Street
- Phone Number(s)** 718-419-3489
6. **Project Description** ADD 14' GARAGE BAY EXTENSION
7. **Project Details:**
- a) **Design** MATCH EXISTING SIDING WITH METAL SEAM ROOF
- GREY VINYL SIDING TO MATCH EXISTING GARAGE WITH PAINTED CORNERS + DARK
- b) **Color** METAL STANDING SEAM ROOFING
- c) **Size** 14'x23'
- d) **Approximate Cost** \$10k **Expected Completion Date** DEC 2020

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.


Applicant (Signature)

30 June 20
Date


Property Owner (Signature)

6/30/20
Date

ABUTTING PROPERTY OWNERS
FOR
787 Oxford St.

Tenant	803 Oxford St.	Worthington, OH 43085
George Callendine	341 Pecan Ct.	Delaware, OH 43015
Scott Heitkamp	783 Oxford St.	Worthington, OH 43085
John Shields	794 Evening St.	Worthington, OH 43085
798 EVENING LLC	798 Evening St.	Worthington, OH 43085
Anne Riley	784 Oxford St.	Worthington, OH 43085
Charles Cooper	790 Oxford St.	Worthington, OH 43085

July 2020

Worthington ARB:

We'd like to add a single bay extension to the West side of our existing garage to accommodate an extra vehicle and storage – approx. 14' x 22'. The extension would be a shed roof style with matching siding and a standing seam roof (as the roof is being kept low and shallow to mitigate its size and scale.) This location will shield its views from the street. We'd also like to include a small wood pergola to the West of the new addition overlooking the rear yard area. Thanks for your consideration.

Ed + Chasity Hofmann

CITY OF WORTHINGTON

DRAWING NO. AR 43-2020

DATE 06-30-2020

787 Oxford St.





CITY OF WORTHINGTON
DRAWING NO. AR 43-2020
DATE 06-30-2020

**Existing Garage. Addition to be
to left side (West) of garage**



CITY OF WORTHINGTON
DRAWING NO. AR 43-2020
DATE 06-30-2020

**Existing Garage Southeast
View**



CITY OF WORTHINGTON
DRAWING NO. AR 43-2020
DATE 06-30-2020

**West elevation of existing
garage**



CITY OF WORTHINGTON
DRAWING NO. AR 43-2020
DATE 06-30-2020

**Northwest View of existing
garage**



CITY OF WORTHINGTON
DRAWING NO. AR 43-2020
DATE 06-30-2020

Existing Garage Window to Match




CITY OF WORTHINGTON

DRAWING NO. AR 43-2020

DATE 06-30-2020

Existing Garage Sconce to Match

A close-up photograph of a metal roof with standing seams. The seams are dark and run diagonally across the frame. The metal panels are a light, metallic color. The sky is visible in the background.

CITY OF WORTHINGTON
DRAWING NO. AR 43-2020
DATE 06-30-2020

**Standing seam to be sim in color
and character**

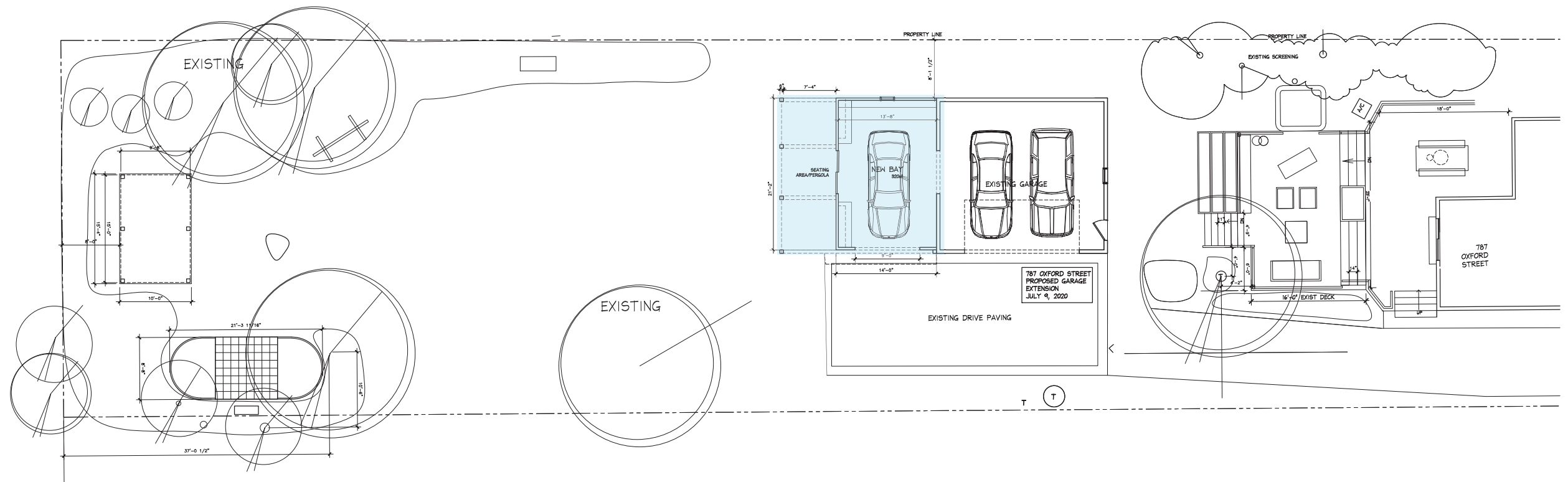


CITY OF WORTHINGTON

DRAWING NO. AR 43-2020

DATE 06-30-2020

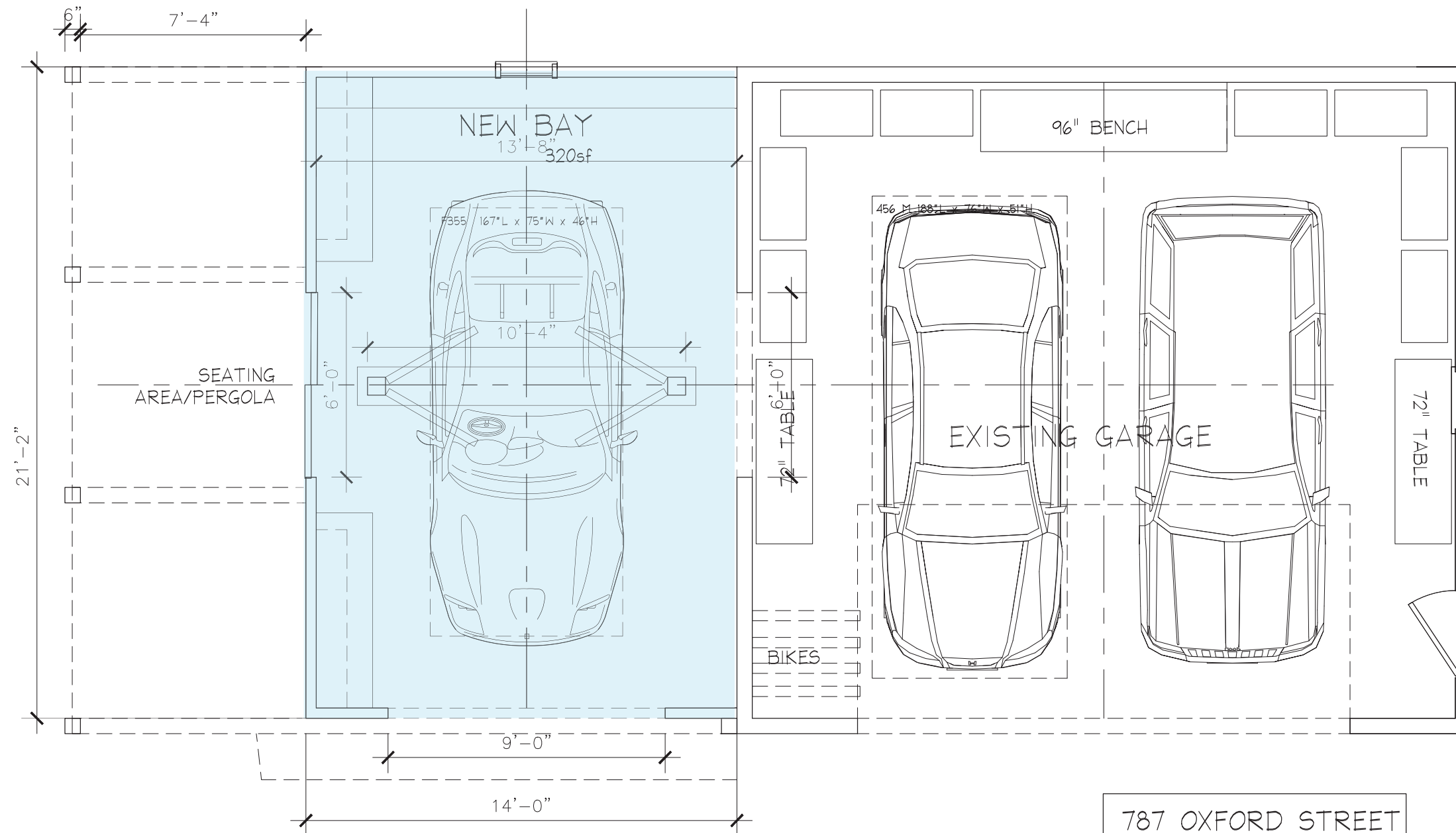
**Existing Deck for Reference
of Cedar Trellis**



CITY OF WORTHINGTON

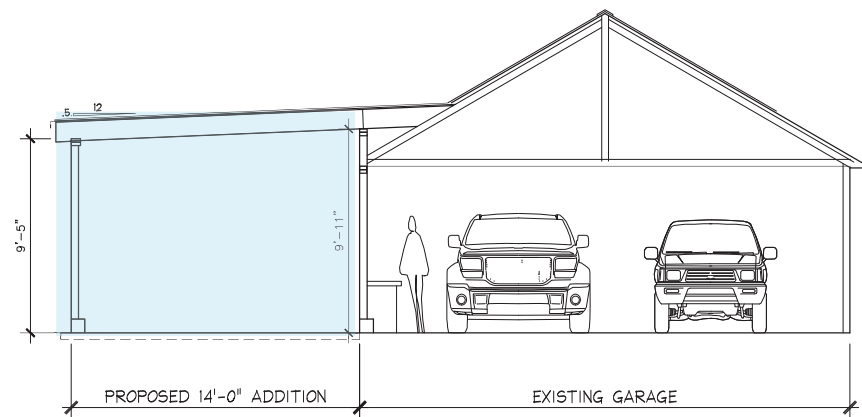
DRAWING NO. AR 43-2020

DATE 06-30-2020

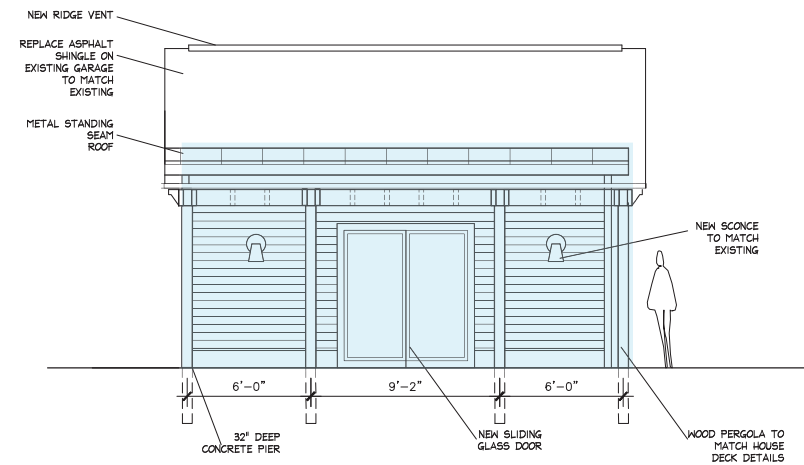


CITY OF WORTHINGTON
DRAWING NO. AR 43-2020
DATE 06-30-2020

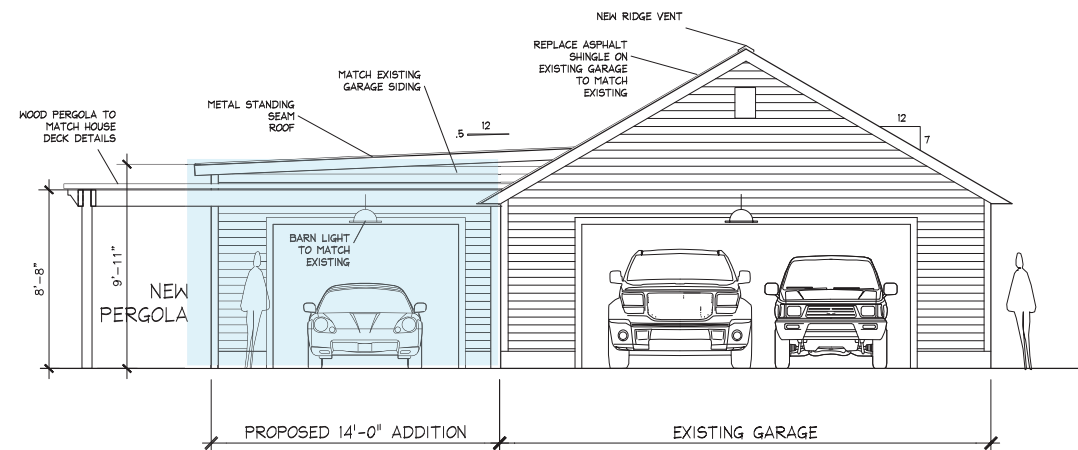
787 OXFORD STREET
PROPOSED GARAGE
EXTENSION
JULY 9, 2020



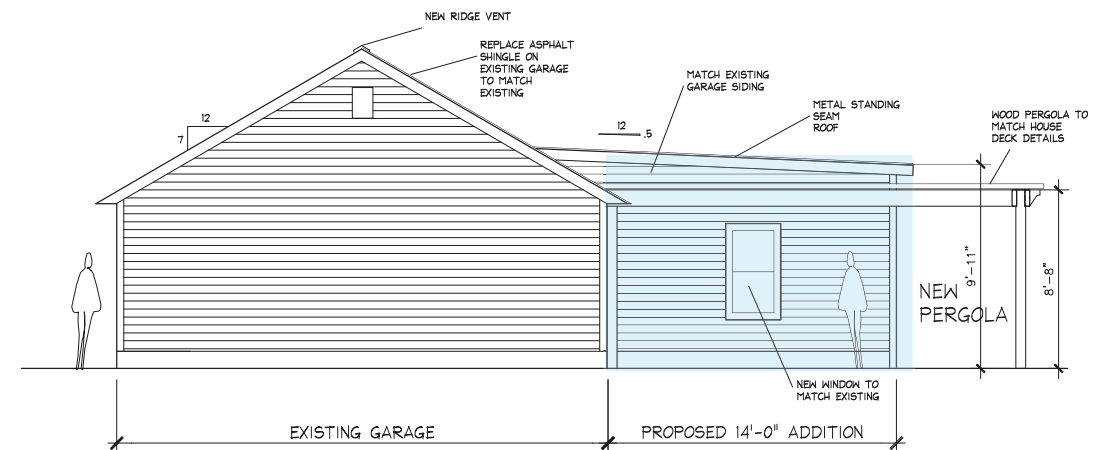
PROPOSED CROSS SECTION



PROPOSED WEST ELEVATION



PROPOSED SOUTH ELEVATION



PROPOSED NORTH ELEVATION



City of Worthington
ARCHITECTURAL REVIEW BOARD
Certificate of Appropriateness
Application

Case #	AR 44-2020
Date Received	07-09-2020
Fee	\$6.00pd
Meeting Date	07-23-2020
Filing Deadline	
Receipt #	

1. Property Location 662 HARTFORD ST
2. Present/Proposed Use RESIDENTIAL
3. Zoning District _____
4. Applicant LINDSAY MCCOMAS
Address 662 HARTFORD ST
Phone Number(s) (614) 507-2448
Email _____
5. Property Owner LINDSAY MCCOMAS
Address 662 HARTFORD ST.
Phone Number(s) (614) 507-2448
Email _____
6. Project Description BACKYARD FENCE
7. Project Details:
 - a) Design 4 FT SPLIT RAIL w/ WELDED WIRE
 - b) Color NATURAL WOOD
 - c) Size 252 FT
 - d) Approximate Cost \$6000 Expected Completion Date TBD UPON BOARD APPROVAL

Summer
2020

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Lindsay McComas
Applicant (Signature)

06/25/20
Date

Lindsay McComas
Property Owner (Signature)

06/25/20
Date

ABUTTING PROPERTY OWNERS
FOR
662 Hartford St.

Frank Cordray
Frederick Pfarr
Ned Alexander
Daniel Mullen
Allen Ponsun
Robert Click

668 Hartford St
96 E. New England Ave.
654 Hartford St.
655 Hartford St.
665 Hartford St.
667 Hartford St.

Worthington, OH 43085
Worthington, OH 43085
Worthington, OH 43085
Worthington, OH 43085
Worthington, OH 43085
Worthington, OH 43085

Our property has an existing privacy fence on the southwest corner that is falling. We are proposing removing the existing fence to replace with a shorter, less invasive fence. The new 4 ft split rail with welded wire will sit where the existing fence does now and extend around the backside of the property. It will stop behind the garage, so the visibility from the street will remain the same as it is today. We have discussed the changes with our three adjacent property owners.

CITY OF WORTHINGTON

DRAWING NO. AR 44-2020

DATE 07-09-2020

662 Hartford St



57.34

67.34

Proposed fence
marked by X

Map data not
yet available

Map
data not
yet available

Map data not
yet available

Map d
ata not
yet av

100-000061

Map data not
yet available
100-000331

Map data not
yet available
100-000144

Map data not
yet available

Map data not
yet available

Map data not
yet available

Map
data not
yet

100-000580

CITY OF WORTHINGTON

DRAWING NO. AR 44-2020

DATE 07-09-2020

Attachment 2



CITY OF WORTHINGTON

DRAWING NO. AR 44-2020

DATE 07-09-2020

Hamilton Fencing

1509 County Rd 26 Marengo Oh 43334
614 505 6237
hamiltonfencing1@yahoo.com
740 817 1966 Cecil cell

Estimate

Estimate No: 2528
Date: 05/19/2020

For: Mccomas
mccomas.lindsay@gmail.com
662 Hartford St
Worthington, OH, 43085

Description	Quantity	Rate	Amount
	1	\$6,584.00	\$6,584.00
install 252ft 4ft wood fence			
style picket			
1 walk			
1 8ft double gate			
1×6×4 cedar pickets			
2×4 cedar stringers			
4×4 pressure treated wood post			
concrete filled holes			
6 holes core drilled			
float fence by tree			
remove old fence 68ft			
concrete filled holes			
12 month interest free option available through enerbank with approval			
cash only option no tax 6584.00			

CITY OF WORTHINGTON

DRAWING NO. AR 44-2020

DATE 07-09-2020

Description	Quantity	Rate	Amount
X option 2	1	\$6,080.00	\$6,080.00
install 252ft 4ft high split rail with welded wire			
1 walk			
1 8ft double			
6 core drill holes			
remove 68ft of old fence			
float fence by tree			
cash only option no tax 6080.00			
Subtotal			\$12,664.00
TAX 7%			\$886.48
Total			\$13,550.48
Total			\$13,550.48

CITY OF WORTHINGTON
DRAWING NO. AR 44-2020
DATE 07-09-2020



City of Worthington

ARCHITECTURAL REVIEW BOARD

Certificate of Appropriateness Application

Case #	AR 45-2020
Date Received	7/9/2020
Fee	\$2.00
Meeting Date	7/23/2020
Filing Deadline	
Receipt #	

1. **Property Location** 690 E. Evening Street, Worthington, Ohio 43085

2. **Present/Proposed Use** Residential

3. **Zoning District** R-10

4. **Applicant** Chad Kiner

Address 690 Evening Street Worthington, Ohio 43085

Phone Number(s) 614-204-7879

Email

5. **Property Owner** Chad Kiner

Address 690 E. Evening Street, Worthington, Ohio 43085

Phone Number(s) 614.204.7879

Email

6. **Project Description** Change to entry doors on addition
~~999.1 square foot addition at the rear of an existing detached garage.~~

7. **Project Details:**

a) **Design** Glass panel door with black or white framing and tinted glass

b) **Color** Benjamin Moore, York Harbor Yellow, 2154-40, to match existing.

c) **Size** ~~999.1 square foot~~

d) **Approximate Cost** **Expected Completion Date**

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Applicant (Signature)

Date

Property Owner (Signature)

Date

Abutting Property Owners List for
690 Evening St.

John and Kimberly Wheatley	702 Evening St.	Worthington, Oh 43085
Mikel and Brenda Coulter	686 Evening St.	Worthington, Oh 43085
Benjamin and Amy Struewing	109 W. Granville Rd.	Worthington, Oh 43085
Joesph and Rachel Hartings	115 W. Granville Rd.	Worthington, Oh 43085
Mary Debitetto	693 Evening St.	Worthington, Oh 43085
Joesph and Shelly Stotzer	687 Evening St.	Worthington, Oh 43085

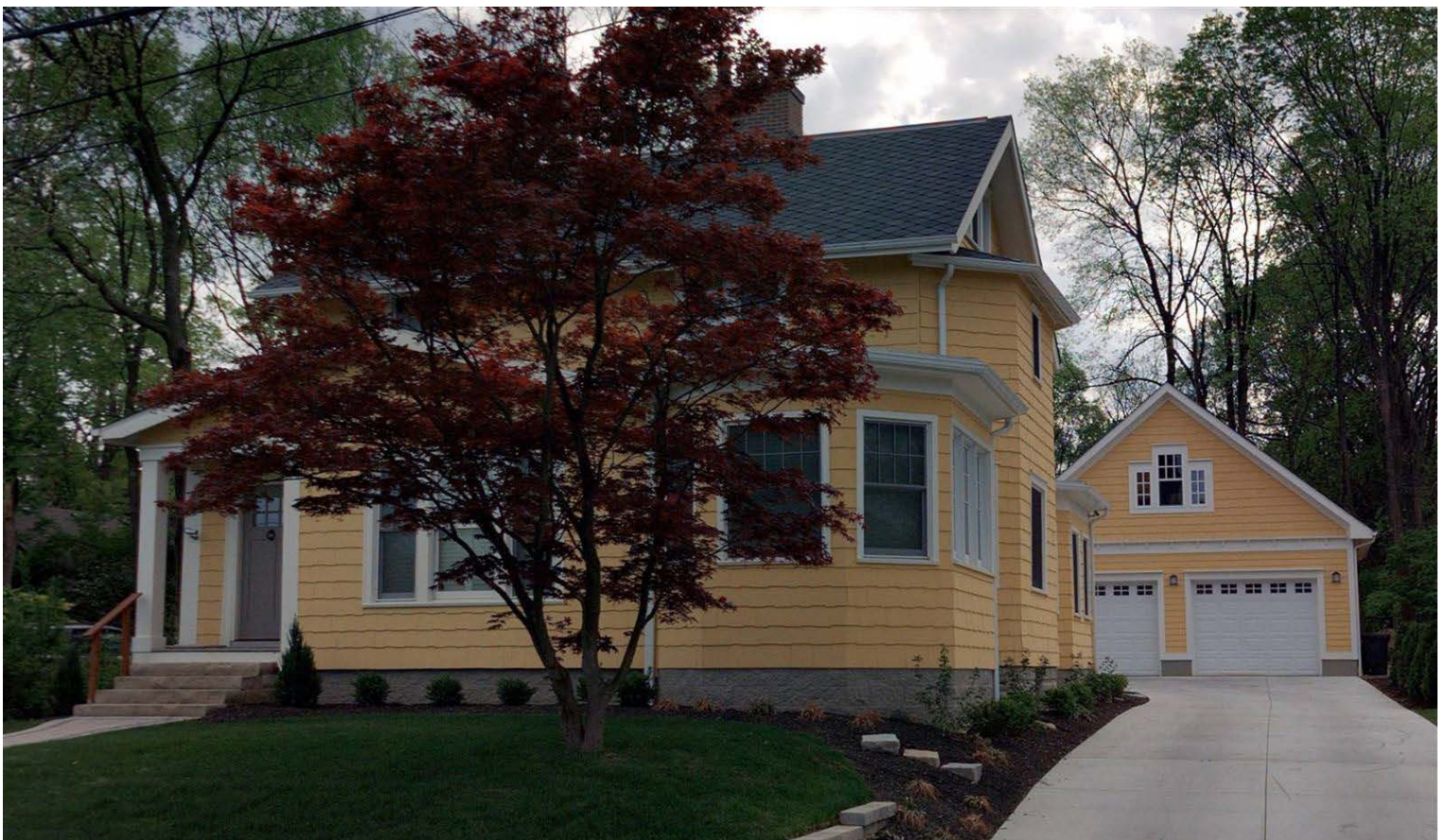
Accompanied with my revision of my ARB application is a statement as follows as to why I am requesting a change from an eight panel sliding door which equals 28 feet in width to an overhead door which will equal 20 feet in width. Each option would equate to 8 feet in height. The primary driver for the change is two fold; 1) maintenance: I've been advised by two contractors that a sliding door operation could present maintenance issues. 2) safety: I was also cautioned that the sliding doors are heavy and could present safety concerns with kids opening and closing compared to an overhead door which will simply open and close automatically with a touch of a button.

CITY OF WORTHINGTON

DRAWING NO. AR 45-2020

DATE 07-09-2020

690 Evening St



Previous Approval



LEFT (NORTH) ELEVATION

SCALE: 3/16" = 1'-0"

Approved
Architectural Review Board
City of Worthington
Date 01/09/2020
Jynda Butar
Clerk

CITY OF WORTHINGTON

DRAWING NO. AR 04-2020

DATE 12-20-2019



MODERN design meets Asian INSPIRATION

Aluminum and glass combine to create a sleek, contemporary look. Many window options are available to control the degree of light transmission and privacy.

STYLE AND CONSTRUCTION



- Aluminum frame provides a virtually maintenance-free, long-lasting door.
- Tempered glass, acrylic or solid aluminum panel options. (See panel options on page 9.) Insulated glass is also available for increased energy efficiency.
- Integral reinforcing fin provides increased strength and longevity.
- Heavy-duty steel ball bearing rollers with nylon tires provide quiet operation.

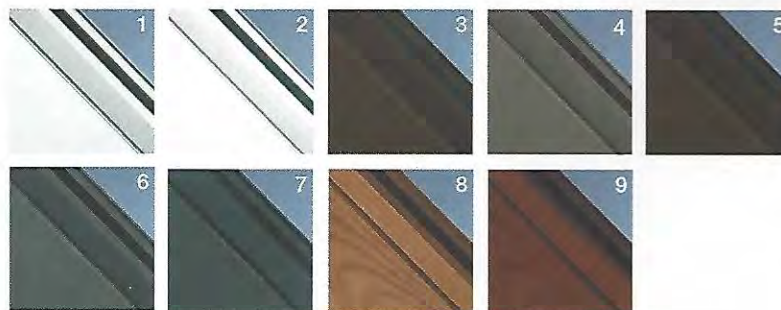
See your Clopay Dealer for WINDCODE® availability.

CITY OF WORTHINGTON

DRAWING NO. AR 45-2020

DATE 07-09-2020

FRAME/SOLID PANEL COLOR OPTIONS



- 1 Clear Aluminum (Anodized)
- 2 Standard White
- 3 Bronze (Painted)
- 4 Chocolate (Painted)
- 5 Bronze (Anodized)
- 6 Black (Anodized)
- 7 Dark Bronze (Anodized)
- 8 Ultra-Grain® Cherry Light Finish
- 9 Ultra-Grain® Cherry Dark Finish

Due to the anodizing process, color variation may occur.
The use of "Bronze (Painted)" is recommended for a more consistent bronze finish color.
Custom colors available.



CITY OF WORTHINGTON

DRAWING NO. AR 45-2020

DATE 07-09-2020



City of Worthington
ARCHITECTURAL REVIEW BOARD
Certificate of Appropriateness
Application

Case # AR 37-2020
Date Received 06-16-2020
Fee \$2.00
Meeting Date 07-09-2020
Filing Deadline _____
Receipt # _____

1. Property Location Sharon Township Memorial Hall
2. Present/Proposed Use Memorial to ALL Veterans
3. Zoning District _____ w/ Emphasis to Local/Worthington
4. Applicant Sharon Township Memorial Hall, Veterans
Address 137 East Dublin Granville Rd. Worthington
Phone Number(s) Mark Goyer - 614.370.0424 / Valerie Kerbler 614.558.8395
Email _____
5. Property Owner As Above
Address 11
Phone Number(s) 11
Email 11 Mark Goyer -
6. Project Description Repair/ Replace 2 Security Lights
N.E. Corner & N.W. Corner of Building
7. Project Details:
 - a) Design Security - outside - light Fixture
 - b) Color Black/ Chrome
 - c) Size 5" x 8"
 - d) Approximate Cost \$300.00 Expected Completion Date 21 June 2019

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Mark Goyer
Applicant (Signature)

16 June 2020
Date

N/A
Property Owner (Signature)

Date

Abutting Property Owners List for
137 E. Granville Rd.

Leasure Blackston Post	239 American Legion Trs.	700 Morning St.	Worthington, OH 43085
Daniel and Rachel Gibson		701 Morning St.	Worthington, OH 43085
James and Carol Masters		160 E. Granville Rd.	Worthington, OH 43085
Jeffrey Deville		132 E. Granville Rd.	Worthington, OH 43085
Barbara Myers		138 E. Granville Rd.	Worthington, OH 43085
John & Allison Chapman		144 E. Granville Rd.	Worthington, OH 43085
Sandra Masters		152 E. Granville Rd.	Worthington, OH 43085
Eugene & Kimberly Wells		151 E. Granville Rd.	Worthington, OH 43085
Timothy & Sherril Berridge		686 Morning St.	Worthington, OH 43085
Daniel & Rachel Gibson		PO Box 1284	Worthington, OH 43085
Glenn Laine	Aber Garneta	707 Morning St.	Worthington, OH 43085
JC Rice		119 E. Granville Rd.	Worthington, OH 43085
Patricia Herban		120 E. Granville Rd.	Worthington, OH 43085

Addendum: Architectural Review Board Application

16 June 15, 2020

Re: Sharon Township Memorial Hall 700 Morning Street Worthington, OH 43085

PROJECT DESCRIPTION: "Repairing 2 Outside Security Lights" One, NE Side of Hall, other NW Side of Hall

Dear A.R.B. Members:

About 2 years ago, the Sharon Township Memorial Board had received some complaints of poor exterior lighting out front of our building from our patrons and tenants. This was a concern for us, since many of our patrons are elderly, especially from the local V.F.W. Chapter and the District Boy Scout Council, both that meet at Sharon Township Hall in the evenings.

For unknown reasons, previous Board Member Administrators, never felt the need to have these Security Lights working properly. Our best guess, is that these Security Lights have not been operable 15 Plus years. We hired Electrical Energy Systems of Galena, Ohio, owner Chris Boling, to come and fix our problem. At this time as a Board, we had no idea that this would be something that the A.R.B. should be made aware of. We were thinking of just needing a "new light bulb." Well, because of the age and deterioration of the Security Light, it was suggested from our Contractor, the Light Appliance itself, needed to be replaced. We asked our Contractor to go ahead and replace with a "like" item as well as "like" Light Coverage at the exact same locations." The Contractor strongly suggested going with an LED Bulb due to increased energy savings. Work was completed 21 June 2019.

Since June 2019, to this date, we have yet to receive any types of complaints from any of our neighbors, about any excess brightness of lights. We have even had the opportunity to inquire with some of our neighbors of the change; no complaints. A couple homeowners even said that they like the new lights, has no issues with them, whatsoever. Blue Star Mothers, an organization that sends Care Packages to active duty personnel overseas, thinks the new lights are great! They say that they feel more secure during the evenings, making deliveries, being able to park safely in the NE parking area.

Please let us know if any additional information is needed or if you have any questions. Thank you all for your consideration! FYI: Sharon Hall just completed a major replacement of replacing the large Front Porch, Handrails and West Sidewalks, cost was \$24K, completed for the safety and well-being of our patrons/visitors. Building Permits and A.R.B. were both consulted and approved by City of Worthington.

Again, Thank you!

Sincerely,

Mark Goyer, Sharon Township Hall Board Member 614.370.0424 markgoyer1020@yahoo.com

Valerie Kerbler, Sharon Township Hall Finance Director 614.558.8395 valeriestar@sbcglobal.net

Enclosures: A.R.B. Application, 4 Color Pictures w/Descriptions

CITY OF WORTHINGTON

DRAWING NO. AR 37-2020

DATE 06-16-2020

137 E. Granville Rd.





old security light

northwest

CITY OF WORTHINGTON

DRAWING NO. AR 37-2020

DATE 06-16-2020



new security light

northeast

CITY OF WORTHINGTON

DRAWING NO. AR 37-2020

DATE 06-16-2020

New
Life



new security light

northwest

CITY OF WORTHINGTON

DRAWING NO. AR 37-2020

DATE 06-16-2020

new light appliance



LED Wall Pack Applique

Security Light
Éclairage de Sécurité



WALL PACK
APPLIQUE

DAYLIGHT
LUMIÈRE
DU JOUR

5

250W

3500
LUMENS

5000K

MVOLT
120-277

CITY OF WORTHINGTON

DRAWING NO. AR 37-2020

DATE 06-16-2020



City of Worthington
ARCHITECTURAL REVIEW BOARD
Certificate of Appropriateness
Application

Case #	AR 14-2019
Date Received	07/10/2020
Fee	Pd
Meeting Date	
Filing Deadline	
Receipt #	

1. **Property Location** Northeast corner of E. Stafford Ave. and Hartford St.
2. **Present/Proposed Use** Multi-Family Residential/No change
3. **Zoning District** AR-4.5
4. **Applicant** pH7 on behalf of Owner National Church Residences Stafford Worthington OH
Address Underhill & Hodge LLC, 8000 Walton Parkway, Suite 260, New Albany, Ohio 43054
Phone Number(s) 614-335-9320
5. **Property Owner** National Church Residences Stafford Worthington OH
Address 2335 North Bank Drive, Columbus, Ohio 43220
Phone Number(s) 800.388.2151
6. **Project Description** The proposed facility is a replacement facility for (7) one-story apartment structures located on approximately three acres. The existing apartment buildings will be demolished to make way for the new apartment building. The project will consist of a two and three-story wood framed structure comprised of (85) apartment units with a portion of the project sitting above a concrete parking podium. The project will also preserve an existing single-family residence on the site.
7. **Project Details:**
 - a) **Design** See enclosed project narratives
 - b) **Color** Color varies but will be compatible and consistent with existing neighborhood colors
 - c) **Size** approximately 110,000 SF, two and three-story
 - d) **Approximate Cost** 15,000,000 **Expected Completion Date** Est. end of 2021

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

David Hodge

Applicant (Signature)

11/22/2019

Date

David Hodge

Property Owner (Signature)

11/22/2019

Date

Abutting Property Owners List for Stafford Village

Worthington Public Library	820 High St.	Worthington, OH 43085
Tenant	839 Morning St.	Worthington, OH 43085
Tenant	837 Morning St.	Worthington, OH 43085
Tenant	835 Morning St.	Worthington, OH 43085
Tenant	833 Morning St.	Worthington, OH 43085
WJD Property LLC	104 Highland Ave.	Worthington, OH 43085
JMAR Property LLC	104 Highland Ave.	Worthington, OH 43085
Tenant	150 Stafford Ave.	Worthington, OH 43085
Tenant	148 Stafford Ave.	Worthington, OH 43085
Tenant	146 Stafford Ave.	Worthington, OH 43085
Tenant	144 Stafford Ave.	Worthington, OH 43085
Holly Coll	847 Morning St.	Worthington, OH 43085
John and Tamara Ament	897 Morning St.	Worthington, OH 43085
Resident	899 Morning St.	Worthington, OH 43085
Doris Weiner	5019 Ivy Loop W	Columbus, OH 43229
Adam and Jamie Rice	901 Morning St.	Worthington, OH 43085
Karen Germann	905 Morning St.	Worthington, OH 43085
Megan Bury	907 Morning St.	Worthington, OH 43085
Tenant	129 E. North St.	Worthington, OH 43085
Keith and Barbara Brown, Tr.	7602 Coteswood Dr.	Myrtle Beach, SC 29572
Tenant	139 E. North St.	Worthington, OH 43085
Tenant	117 E. North St.	Worthington, OH 43085
Earl Metz	226 E. Granville Rd.	Worthington, OH 43085
Manley and Karen Hopkins	105 E. North St.	Worthington, OH 43085
Katherine Glenn-Applegate	912 Hartford St.	Worthington, OH 43085
Tenant	910 Hartford St.	Worthington, OH 43085
Claire Brill	6078 Telford Dr.	Columbus, OH 43229
Sandra Diconzo	876 Hartford St.	Worthington, OH 43085
Blair Davis	1 Hartford Ct.	Worthington, OH 43085
Debbie Musgrove	2 Hartford Ct.	Worthington, OH 43085
Steven and Wendy Cole	3 Hartford Ct.	Worthington, OH 43085
Denise Yohe	4 Hartford Ct.	Worthington, OH 43085
Tenant	5 Hartford Ct.	Worthington, OH 43085
Jane Hummer	6 Hartford Ct.	Worthington, OH 43085
Connie Queeney	7 Hartford Ct.	Worthington, OH 43085
Dirk and Linda Smith	8 Hartford Ct.	Worthington, OH 43085
Olde Village Rentals	129 E. South St.	Worthington, OH 43085
Michael Smith, et al	2926 Redding Rd.	Worthington, OH 43085
Resident	48 E. Stafford Ave.	Worthington, OH 43085
Resident	50 E. Stafford Ave.	Worthington, OH 43085
J Four Properties Ltd.	364 Highland Way	Worthington, OH 43085
Resident	54 E. Stafford Ave.	Worthington, OH 43085
Resident	56 E. Stafford Ave.	Worthington, OH 43085
58-60 Stafford LLC	PO Box 509	Worthington, OH 43085
Resident	58 E. Stafford Ave.	Worthington, OH 43085
Resident	60 E. Stafford Ave.	Worthington, OH 43085
66 Frambes Ltd	3820 N. High St.	Columbus, OH 43214
Resident	175 E. Clearview Ave.	Worthington, OH 43085
Thomas and Carole Kozicki, Tr.	P.O. Box 881	Centerburg, OH 43011
Resident	164 E. Stafford Ave.	Worthington, OH 43085
Resident	168 E. Stafford Ave.	Worthington, OH 43085
Laurel River Properties	364 Highland Way	Worthington, OH 43085
Resident	163 E. Stafford Ave.	Worthington, OH 43085
Resident	165 E. Stafford Ave.	Worthington, OH 43085
Fay and Marvin Walker	824 Morning St.	Worthington, OH 43085



City of Worthington

PLANNED UNIT DEVELOPMENT FINAL PLAN APPLICATION

Case #	PUD 01-2019F
Date Received	07/10/2020
Fee	\$200 pd
Meeting Date	
Filing Deadline	

1. Property Location Corner of Stafford Avenue and Hartford Street
2. Present Zoning AR-4.5 Present Use Multi-Family Residential
3. Proposed Use Multi-Family Residential / No Change
4. Applicant pH7 Architects
Address 448 Nationwide Boulevard, Columbus, OH 43215
Home Phone _____ Work Phone (614) 459-2955
Email bpauling@ph7architects.com
5. Property Owner National Church Residences Stafford Worthington OH
Address 2335 North Bank Drive, Columbus, OH 43220
Home Phone _____ Work Phone (614) 273-3702
Email gtabit@nationalchurchresidences.org
6. Project Description The Proposed facility is a replacement facility for (7) one-story apartment structures located on approximately three acres. The existing apartment buildings will be demolished to make way for a new apartment building. The project will consist of a two-story and three-story wood framed structure comprised of (85) apartment units with a portion of the project sitting above a concrete parking podium. The project will also preserve an existing single-family residence on the site.

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

C. B. Pauling
Applicant (Signature)

07/09/20
Date

Mark Pauling
Property Owner (Signature)

7/10/20
Date

Northeast corner of Hartford and Stafford Sts.





Every detail.
Every possibility.

448 W Nationwide Blvd
Loft 100
Columbus, OH 43215
P 614.459.2955
F 614.455.2955

CITY OF WORTHINGTON

DRAWING NOS. AR 14-2019

PUD 01-2019F

July 9, 2020

ARCHITECTURAL NARRATIVE

DATE 07-10-2020

[UPDATED 07/09/20] Provided for clarification of the proposed Final Development Plan and Architectural Review Board Certificate of Appropriateness the following elements represent development improvements and changes made for this application. Each item and brief summary are provided:

- The proposed siding colors have been updated. The ochre color has been replaced with a historical pale yellow. This modification better aligns with the neighborhood and historic Worthington structures.
- The courtyard design and landscaping have been clarified. Paving and Plant materials have been improved and updated.
- The North Wall within the East Courtyard along Stafford Ave has been adjusted on the ground floor to provide some architectural variation in this courtyard and provide visual hierarchy to both the façade and functional interior and exterior plan elements. The Campus dining amenity has been enlarged to better serve the anticipated residents.
- The West Courtyard along Hartford St has been enhanced with an arbor structure and additional planting to create an private outdoor space.
- The fire lane material and access control has been reviewed with Worthington Fire Department. A paved asphalt fire lane is now proposed along the north. A portion of the fire lane from the Right of Way Apron to an access control gate for the fire lane is proposed to be constructed of decorative concrete pavers. The decorative pavers will signify special entrance and visually feel more residential than an asphalt drive. The control gate is proposed as a manually swinging wood gate. The gate shall be 5' high. 3' of solid material to visually conceal the asphalt fire lane from the street and 2' of trellis material above. A set of bollards with a removable chain and hanging signage is shown on the east end of the fire lane to limit egress from the property except for emergency vehicles.
- The parking garage internal circulation has been studied and a one way exit from the garage has been added out of the north end of the garage. Traffic will be directed to the east upon exit from the garage improving the properties internal traffic flow.
- After further discussion with the City Arborist, several additional trees along Stafford Ave are shown to be removed due to condition of the trees and conflicts with building utilities. The landscaping plans have added the new planting of new street trees along Hartford in addition to more tree plantings in the building courtyards.

The proposed senior living community would replace a nearly 50 year-old set of apartments that will soon be unsustainable. A modern, 85 apartment community will provide more spacious apartments, enhanced community amenities, and alleviate current parking concerns. The new apartment community will be wood framed construction with brick veneer and cementitious lap siding in a two and three story structure that includes a concrete podium structure designed to minimize surface parking. New parking, circulation and site infrastructure are also anticipated as part of this project.

A variety of roof shapes will give the building a more interesting appearance and give the viewer a sense that these are separate buildings that evolved over decades, much in keeping with the New England style village of the community and the variety of homes in near proximity. Some of these elements will also help to conceal flat roof areas from view which will accommodate mechanical equipment.

Vertically proportioned vinyl windows are proposed to be used with muntins to provide a multiple-paned window look consistent with multiple-paned windows typically found in Federal, Greek Revival, Colonial, and New England building styles found in the neighborhood.

Miscellaneous architectural elements will be used to help the building blend in with the style of the existing neighborhood. Such elements include chimneys, walk-up porches, balconies, infilled porches, shutters, and cupolas. Several gardens / pocket parks will also be incorporated to create a more pedestrian friendly and natural atmosphere.

The three-story portion of the building will be confined to the central wing of the design while the two-story portions are located on the periphery so as to transition to a scale compatible to the surrounding homes. The facade will be broken up using various materials, colors, massing, and design elements to resemble clusters of homes rather than one large structure. The materials proposed include primarily brick, siding, stucco, and shingles. Brick areas will be left natural in color and siding and trim will be painted in colors to blend in with the existing neighborhood.

Interior finishes will consist of the following:

Common Areas:

- Solid core Masonite 6 panel doors, 8'-0" tall, painted where visible by public
- Solid core Masonite flush panel doors, 6'-8" tall, painted in back of house areas
- Luxury vinyl tile flooring in high-traffic areas
- Broadloom carpet in corridors, lounges, and resident amenity spaces
- Ceramic tile floors in public toilet rooms
- 5 1/4" painted wood base
- Painted wood door and window trim
- Painted wood crown moulding in public and common area spaces
- Painted gypsum board walls
- Vinyl wall covering on specialty / accent walls
- Schlage locksets and cylinders
- Schlage electronic card readers / keypads at areas requiring access control
- A mixture of painted gypsum board ceilings with decorative soffits in public spaces and acoustical tile ceilings in back of house spaces. Cleanable ceiling tile will be specified in the kitchen area.
- Painted wood handrails along corridor walls
- Merillat Classic collection cabinets with thermofoil finish, Ralston style doors, and satin nickel hardware
- Standard Kohler fixtures in public toilet rooms
- Solid surface countertops in public spaces
- Plastic laminate countertops in back of house spaces
- LED light fixtures

Resident Units:

- Solid core Masonite 6 panel entry doors, 8'-0" tall, painted
- Hollow core Masonite 6 panel interior unit doors, 6'-8" tall, painted
- Luxury vinyl tile flooring in kitchens
- Broadloom carpet in living rooms, bedrooms, and closets

CITY OF WORTHINGTON
DRAWING NOS. AR 14-2019
PUD 01-2019F
DATE 07-10-2020

- Ceramic tile floors in bathrooms
- 5 1/4" painted wood base
- Painted wood door and window trim
- Painted wood crown moulding in living rooms
- Painted gypsum board walls
- Ceramic tile walls to 6'-0" at tubs
- Prefabricated shower units
- 12" deep wire shelving with hangar rod
- Schlage locksets and cylinders
- Painted gypsum board ceilings
- Merillat Classic collection cabinets with thermofoil finish, Ralston style doors, and satin nickel hardware
- Standard Kohler fixtures in kitchens and bathrooms
- Solid surface countertops in kitchens and bathrooms
- LED light fixtures
- Standard Whirlpool stainless steel appliances

STAFFORD VILLAGE INDEPENDENT LIVING

CITY OF WORTHINGTON
DRAWING NOS. AR 14-2019
PUD 01-2019F
DATE 07-10-2020

FOR
NATIONAL CHURCH
RESIDENCES



National Church Residences STAFFORD VILLAGE

2245 NORTH BANK DRIVE
COLUMBUS, OHIO 43220

07/09/2020

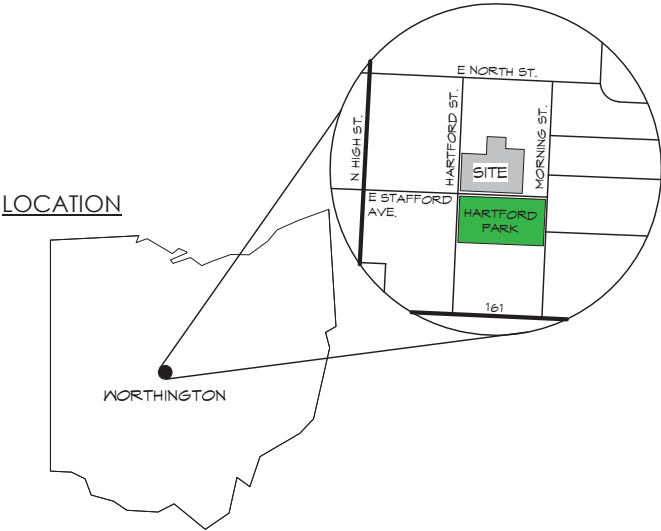


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CITY OF WORTHINGTON
DRAWING NOS. AR 14-2019
PUD 01-2019F
DATE 07-10-2020

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- NEIGHBORHOOD CONTEXT
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- MATERIAL/COLOR CONTEXT

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STAFFORD VILLAGE

PLANNED UNIT DEVELOPMENT TEXT

CURRENT ZONING: AR-4.5, R-6.5, and R-10

PROPOSED ZONING: PUD Planned Unit Development

APPLICANT: National Church Residences
c/o Brian Kent Jones Architects

ATTORNEY: David Hodge, Underhill & Hodge LLC

DATE: July 9, 2020

I. Introduction:

National Church Residences, (the “Applicant”), headquartered in Upper Arlington, is the country’s largest nonprofit provider of senior housing serving 42,000 seniors with an array of housing and health care options. The Applicant proposes redevelopment of 3.06 +/- acres located within historic Old Worthington north of Stafford Avenue and east of Hartford Street (the “Property”). “Old Worthington is the heart and symbol of the Worthington community and it is one of the most successful original town centers in Ohio.” (Comprehensive Plan Update, Page 27). Old Worthington provides a mix of land uses including commercial, residential, recreational, civic, and institutional. Pursuant to Worthington’s Comprehensive Plan, additional urban village housing opportunities should be created within Old Worthington where possible. “If one of Worthington’s core missions is to be a life-span community and provide housing alternatives to its residents across their life span, then there appear to be gaps in the available housing market. If properly designed and located, these alternate housing types can be incorporated into Worthington’s housing stock and fill missing segments that will provide living opportunities for those who want to remain in the City. However, because there is so little ground for new development, this will require redevelopment and higher densities to achieve.” (Comprehensive Plan Update, Page 24).

As recommended by the Comprehensive Plan update, the Applicant seeks to introduce the urban village development concept to the property and seeks to fulfill the stated directive to foster the continued graceful maturation of the City of Worthington. “Urban Village development is an appropriate and encouraged redevelopment option for certain sites in the City of Worthington. It will increase the variety of housing options in the city, attract young professionals and empty-nesters (here the latter), optimize the use of the city’s valuable land, and further promote the walkability and good design that are hallmarks of this community. These condominium and apartment developments are attractive in appearance and style, tend toward individual character (though they maintain a consistent theme), and provide amenities as well as

an increased density.” “These urban village living units are townhouse-like in nature in that they are built to the sidewalk, are two to four stories in height (never one-story), share outside walls, and have differentiated architecture. These developments are oriented around or near amenities such as pocket parks. Parking and garages are usually placed internally to the development off private drives while the building facades face and anchor the public streets. Urban village design incorporates differentiated architecture so that the development does not appear as one large structure or repeated look-alike units, but rather a series of attractive, individual buildings next to each other – much like downtown Old Worthington. These developments are in close walking distance to shops, restaurants, libraries, parks, community and recreational facilities, etc.” (Comprehensive Plan Update, Page 74).

As part of the process of preparing this urban village redesign, National Church Residences reached out to and sought input from residents, neighbors, grassroots groups, historic preservationists, senior advocates, community organizations such as the library and Griswold Center, public officials and those who help set architectural standards for the community. In addition to conducting more than 85 meetings with members of the public, the organization also conducted a survey of Stafford Village residents and commissioned a 300-person phone survey of Worthington residents.

The research and these conversations uncovered several key objectives for the new design concept. These include: responding to the scarcity of senior housing options; respecting the affordability and diversity at the site; complementing the New England village character of this historic neighborhood; consolidating parking on-site for safety and convenience; maintaining a sense of community where neighbors and residents interact; and preserving greenspace and mature trees.

The package proposed here keeps and protects the site’s communal feel, affordability, greenspace and trees as much as possible. It adds to the number of units available to Worthington seniors, better reflects its historic home and enhances safety and convenience with on-site parking.

The property to the north and east is zoned AR-4.5 and R-10, the property to the south across East Stafford Avenue is zoned R-6.5, and the property to the west across Hartford Street is zoned R-10. The Property’s existing use is predominately apartment residential. As with the rest of Old Worthington, and certain other areas within Worthington proper, the Property is situated within the Architectural Review District. Therefore, the design of the proposed redevelopment will take form based on the character of Old Worthington and within the context of adopted Worthington Design Guidelines.

The request is to rezone the property from AR-4.5, R-6.5, and R-10 residential districts to the PUD, Planned Unit Development District, as provided by Chapter 1174 of the Codified Ordinances of the City of Worthington (the “Code”) to foster redevelopment of the Property for a senior living community serving the growing need for this type of housing, and consistent with the adopted and long-standing land use recommendation for the Property. In addition to the construction of a new 85-unit senior apartment building, the proposed community will also incorporate an existing single-family home, for a total of 86 age restricted senior units.

II. Permitted Uses:

1. Senior Citizen Development, as defined by Code Section 1123.641, includes the following:
- a. “Senior residential” means multi-family facilities with occupancy restricted to age fifty-five and over. Social rooms, limited staff and garages may be included. Unit sizes may vary and be as large as typical apartments.

b. Facility programming space throughout the interior to accommodate a full range of congregate services, dining, health, and wellness.
2. Single-family residential.

III. Development Standards

A. Design Regulations:

1. Character/Design:
- a. An architectural narrative is provided with the Final Development Plan materials as **Exhibit B-1**. The architectural character and design of the Property shall be reflective of Worthington’s tradition of quality and history, with a blend of design elements and building materials. In addition to the incorporation of an existing single-family home, the facility consists of 85 Senior Residential units in a two and three-story wood framed structure, with a portion located above a concrete parking podium. The three-story portion of the building is confined to the central wing, while the two-story portions are located along the sides for transition to a scale compatible to surrounding single-family residential. The façade will be broken up using various materials, colors, massing, and design elements to resemble separate buildings that evolved over decades, much in keeping with the New England style village of the community and the variety of homes

in near proximity. This approach makes the structure more architecturally appealing and promotes a walkable environment.

- b. The predominate building materials will be brick, cementitious fiberboard, stucco, and shingles. Vinyl siding shall be prohibited.
- c. A variety of roof shapes will assist in breaking up the building façade and create a more interesting appearance. Proposed roof shapes include hip, gable, and gambrel roofs with dormers. Some of these elements will also help to conceal flat roof areas from view which will accommodate and fully screen mechanical equipment. The height of each roof element shall be in substantial conformity with the heights depicted in Elevations, included herewith as **Exhibits D-1 through D-6**.
- d. Vertically proportioned vinyl windows shall include muntins to provide a multiple-paned window look consistent with multiple-paned windows typically found in Federal, Greek Revival, Colonial, and New England styles found in Old Worthington.
- e. To further blend the building into the neighborhood aesthetically, elements including chimneys, walk-up porches, balconies, infilled porches, shutters, and cupolas shall be incorporated. Several gardens / pocket parks will also be incorporated to create a more pedestrian friendly and natural atmosphere.
- f. The Property shall be developed in substantial conformity with the setbacks and other standards depicted on the Site Plan, included herewith as **Exhibit C-1**.
- g. All condensing units shall be placed on the roof, and along with other mechanical equipment shall be screened from public view.
2. Screening:
- a. Landscaping and screening shall be installed in substantial compliance with the Landscape Plan included herewith as **Exhibit C-10** and the Fence Typology Plan included herewith as **Exhibit C-19**.
- b. The north perimeter will vary between a 4’ fence and a 6’ shadow box fence and will include ornamental trees. The east perimeter will vary between a 4’ fence and a 3’ retaining wall and will include a mix of hedges, ornamental grasses, and 6’ columnar deciduous vegetation.

3. Tract coverage:
- a. Total tract coverage will be approximately 75% as reflected on the Site Plan attached as **Exhibit C-1**.
4. Lighting:
- a. Decorative light poles shall be not higher than twelve (12) feet, and the concrete bases shall not be exposed for public sidewalk pedestrian lighting. Light color shall be 2,700 K or less. Light level shall be zero foot candles at the property line. Site lighting is detailed in **Exhibit C-20**.
5. Graphics/Signage:
- a. One low freestanding monument signage shall be located west of the main drive entrance on Stafford Avenue. The sign base shall match the material of the proximate building and sign copy may only include the property address and development name. Copy shall not exceed 25 square feet per side. Sign locations are depicted on **Exhibit C-1 & D-9**.
- b. Projection signage shall be used as reflected on **Exhibits C-1** through **C-6**, mounted on the angle at the southwest corner of the building at the intersection of Hartford Street and Stafford Avenue and at the southeast corner of the building at the East Drive. Colors shall be chosen for compatibility with the age, architecture and colors of the buildings with which they are associated.

B. Traffic & Parking

1. Traffic:
- a. Access to the property shall be as depicted throughout the Final Development Plans, refer to Site Plan **Exhibit C-1**. Access to the property shall be along the southeast from Stafford Avenue, which is the only access point to the parking structure and surface parking where both residents, staff, and visitors shall park. A one-way emergency egress point to Hartford Street is located along the northern end of the site.
- b. Service and delivery to the property shall be limited to the Stafford Avenue access point.
- c. The Applicant conducted a traffic impact study. It was concluded that the counted traffic volumes were not increased for the following two reasons: both Stafford Avenue and Hartford Street are local streets with minimal through traffic and the surrounding area is

- completely built out. Furthermore, an increase to background traffic is not expected to impact the results of the analysis.
2. Parking:
- a. 86 parking spaces shall be provided, 52 garage spaces, 32 surface spaces, and 2 for the unit remaining along Hartford Street.
- b. Bicycle parking shall be provided in three publicly accessible locations and accommodate a minimum of nine bicycles.

C. General Requirements

1. Environment:
- a. The City may request environmental studies for the property and may request and receive reports and studies from any agency having jurisdiction over the property, indicating whether there are any environmental issues that would affect the property and/or surrounding properties with the proposed development.
2. Natural Features:
- a. Landscaping shall be provided in a manner substantially similarly to that reflected on the submitted Landscape Plans.
- b. Natural Features shall be preserved as shown on the submitted Preservation Plan.
- c. Tree Inventory and Preservation Plan. A tree inventory was conducted by a Board-Certified Master Arborist, included as **Exhibit C-9**. Those included in the survey are 6 inches in diameter measured at 4.5 feet above grade. Trees are being preserved, maintained, and enhanced whenever possible, included as **Exhibit C-9**. 22 mature trees are being preserved totaling 513 caliper inches. This includes the most mature trees on the property, a 56.75-inch Pin Oak tree located along the eastern perimeter, and a 46-inch Sycamore located on Hartford Street. The Landscape Plan at **Exhibit C-10** reflects that the new plantings will restore, maintain, and enhance the character of the surrounding neighborhood and community. The submitted Landscape Plan are an appropriate accommodation for Natural Features. Full replacement would result in unreasonable overcrowding of trees or such replacement is not feasible given site conditions the Applicants seeks to pay a fee-in-lieu to the Special Parks Fund. The Applicant is making appropriate Natural Feature and screening commitments throughout the Property. It

should be noted that the stormwater mitigation chamber was designed and located on the site to ensure preservation of the 56.75-inch landmark Pin Oak tree.

A Board-Certified Master Arborist, working in conjunction with a City of Worthington Arborist, shall remain engaged to analyze the present condition of the referenced mature Pin Oak and Sycamore trees, and to advise as to their protection during construction and post-development by providing a long-term maintenance plan to care for these trees into the future.

3. Stormwater Drainage:

- a. Engineering and feasibility studies were conducted for the proposed development of the Property, a Civil Narrative is attached as **Exhibit B-6**. Utility and Grading Plans are attached as **Exhibits C-2 and C-3**. Stormwater runoff will be mitigated in accordance with all Worthington requirements, and approved by its engineering or consulting engineering staff. Stormwater Management Plans and Reports have been prepared as the attached **Exhibits C-5 through C-7**.

2. Utilities & Facilities:

- a. The development will be serviced by the existing available City of Worthington water and sewer lines, **Exhibits C-2 and B-9**.

3. Public Area Payments:

- a. The applicant shall comply with Code Section 1174.05(c)(3)(B), requiring a monetary contribution to the City of Worthington Special Parks Fund.

4. Public Space Amenities:

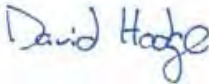
- a. The applicant is incorporating two accessible courtyards along the south side of the building, as reflected throughout the Final Development Plan materials, see **Exhibit C-1**. The western courtyard is 4,150 square feet, and the eastern courtyard is 3,835 square feet. In and around these courtyards, and across the site, Public Space Amenities include sidewalk connectivity, the requisite sitting spaces, decorative waste receptacles and decorative pedestrian lighting.
- b. Bicycle parking shall be provided in three publicly accessible locations and accommodate a minimum of nine bicycles, as depicted on the Site Plan.

- c. Decorative benches shall be provided in publicly accessible locations along Stafford Avenue, and public courtyards, as depicted on the Site Plan.
- d. The Site shall increase the width of the Stafford Avenue and Hartford Street sidewalks from four feet to a minimum of five feet.
- e. The Site shall provide decorative lighting along Stafford Avenue and Hartford Street.

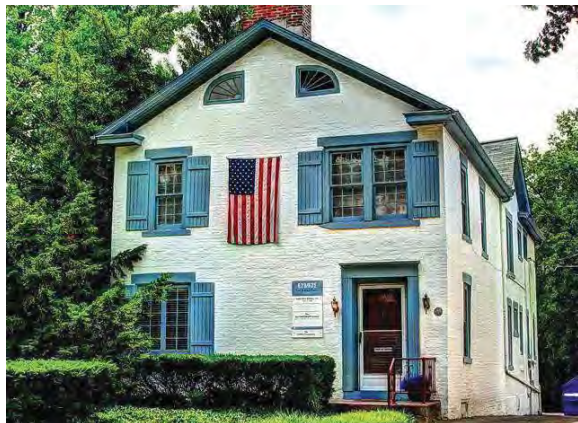
IV. **Divergences**

- 1. 1174.05(c)(2)(B) – Natural Features. The applicant requests a determination by the Municipal Planning Commission that full replacement would result in the unreasonable crowding of trees upon the Lot, and that such replacement is not feasible given site conditions. A variance is requested to the fee in lieu of replacement requirement requesting the fee in lieu paid to the Special Parks Fund be established at \$150 per caliper inch of trees lost, given the commitments to preservation of existing mature vegetation where feasible, and the installation of new landscaping.

Respectfully Submitted,



David Hodge
Attorney for National Church Residences



RIPLEY HOUSE



OLD RECTORY



ORANGE JOHNSON HOUSE



72 EAST NORTH STREET



WORTHINGTON INN



DR. LONGENECKER OFFICE



TOPPING-EVANS HOUSE

CITY OF WORTHINGTON

DRAWING NOS. AR 14-2019

PUD 01-2019F

DATE 07-10-2020

07/09/2020



HARTFORD STREET ELEVATION



HARTFORD AND STAFFORD VIEW



STAFFORD AND MORNING VIEW



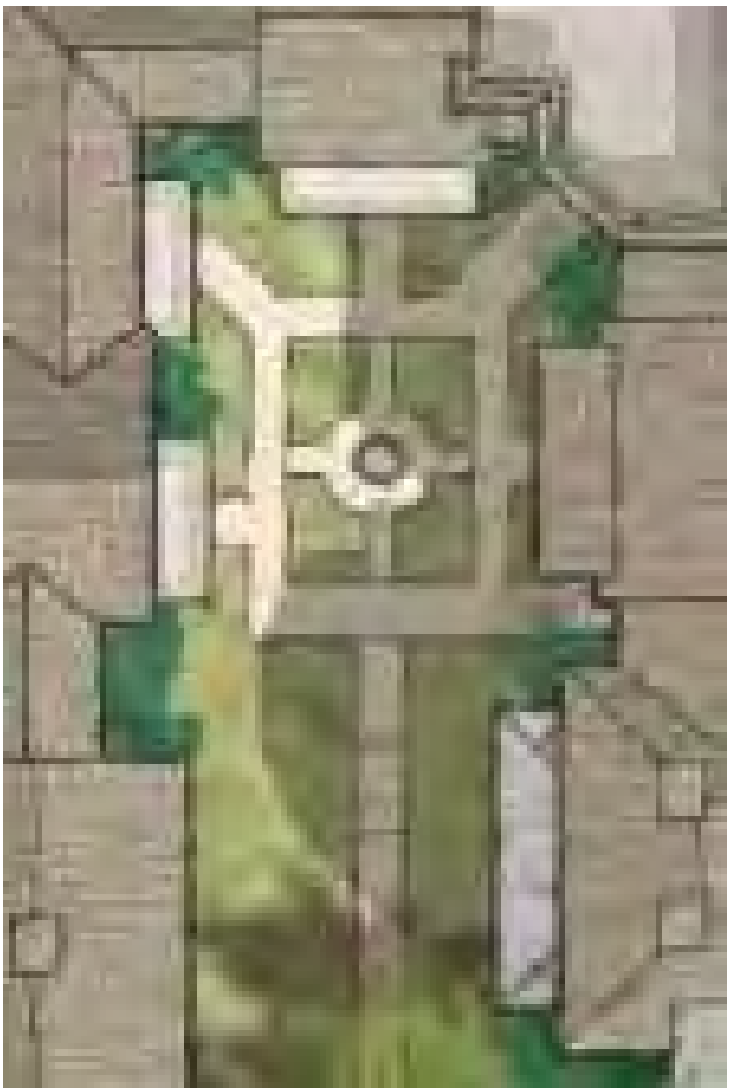
RESIDENTIAL COURTYARD CHARACTER



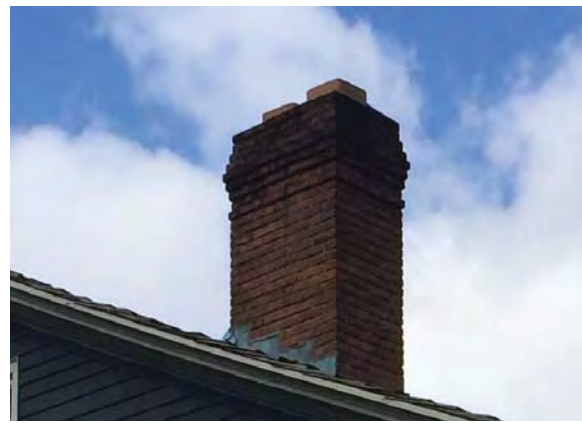
RESIDENT COURTYARD



HARTFORD ELEVATION VIEW



RESIDENT COURTYARD



CHIMNEY 721 VILLAGE GREEN SW



PORCH 80 WEST DUBLIN GRANVILLE



PORCH 682 OXFORD STREET



94 WEST DUBLIN GRANVILLE



581 OXFORD STREET



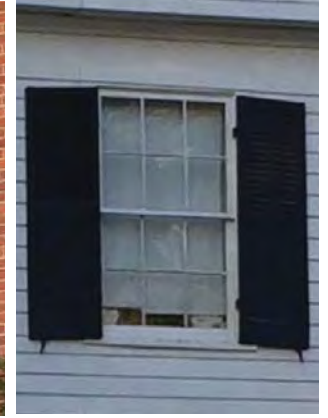
GAMBREL ROOF 28 WEST DUBLIN GRANVILLE



CUPOLA KILBOURNE MIDDLE SCHOOL



SHUTTERS



INFILL PORCH 822 OXFORD STREET



WINDOW DETAIL 347 EAST DUBLIN GRANVILLE



HARTFORD AND STAFFORD VIEW



LIGHT GREEN SIDING

92 E DUBLIN GRANVILLE RD



WHITE SIDING

OLD RECTORY



LIGHT YELLOW SIDING

847 MORNING STREET



ORANGE/RED BRICK

67 E DUBLIN GRANVILLE RD



DARK RED BRICK

159-161 E DUBLIN GRANVILLE RD



BLUE/GREEN SIDING

77 W SOUTH ST



DARK BLUE SIDING

94 W DUBLIN GRANVILLE RD

DESCRIPTION OF 3.062 ACRES FOR ZONING PURPOSES

Situated in the City of Worthington, County of Franklin, State of Ohio; also being all of Lots 18, 31 & 34 and parts of Lots 32 and 33 of Plat of Worthington as recorded in Plat Book 3 Page 330; also being those lands as conveyed to National Church Residences Stafford Worthington OH as described in Instrument No. 201512220179244 Parcels One through Six, Instrument No. 201512220179248 Parcel Two, Instrument No. 201605310067263, Instrument No. 201605310067264 and Instrument No. 201705040060250; being more particularly described as follows:

Beginning at the intersection of the northerly line of Stafford Avenue (66' right-of-way) and the easterly right-of-way line of Hartford Avenue (66' right-of-way), said point being the southwesterly corner of said Lot 34, said point also being the **TRUE POINT OF BEGINNING**, and from said beginning point running thence,

Along the easterly right-of-way line of Hartford Avenue, also being along the westerly line of said Lot 34, the westerly line of said Lot 31 and the westerly line of said Lot 18, **North 02° 56' 00" East for a distance of 403.35'** to a point, said point being the northwesterly corner of said Lot 18; thence,

Along the northerly line of said Lot 18, **South 86° 59' 25" East for a distance of 252.52'** to a point, said point being the northeasterly corner of said Lot 18 and the northwesterly corner of Lot 17 of said Plat of Worthington; thence,

Along the easterly line of said Lot 18 and along the westerly line of said Lot 17, **South 02° 56' 00" West for a distance of 134.45'** to a point, said point being a common corner of said Lots 17, 18, 31 and 32; thence,

Along a portion of the northerly line of said Lot 32, **South 86° 59' 25" East for a distance of 117.25'** to a point; thence,

Along a line through said Lot 32 and then through said Lot 33, **South 02° 56' 00" West for a distance of 268.90'** to a point, said point being along the northerly right-of-way line of Stafford Avenue and along the southerly line of said Lot 33; thence,

Along the northerly right-of-way line of Stafford Avenue, also being along a portion of the southerly line of said Lot 33 and then the southerly line of said Lot 34, **North 86° 59' 25" West for a distance of 369.77'** to the point of beginning, containing 3.062 acres of land, more or less.

Basis of bearings is the State Plane Coordinate System, Ohio South Zone (NAD83-NSRS2007).

This description is intended to be used for zoning purposes only.



Michael L. Keller

Michael L. Keller
Professional Surveyor, Ohio License No. 7978

11/21/2019

Date

CITY OF WORTHINGTON
DRAWING NOS. AR 14-2019
PUD 01-2019F
DATE 07-10-2020

STAFFORD VILLAGE OF WORTHINGTON



LEGEND

- 5/8" CAPPED IRON PIN SET
- 5/8" IRON PIN FOUND
- ⊙ 1" IRON PIPE FOUND


THE KLEINGERS GROUP
CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE
www.kleingers.com
350 Worthington Rd
Suite B
Westerville, OH 43082
614.882.4311

CITY OF WORTHINGTON

DRAWING NOS. AR 14-2019

PUD 01-2019F

DATE 07-10-2020

SEAL:



NO. DATE DESCRIPTION

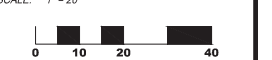
STAFFORD VILLAGE OF WORTHINGTON

A RESUBDIVISION OF LOTS 18, 31 & 34, & PART OF LOTS 32 & 33
PLAT OF TOWN OF WORTHINGTON
PB 1 PG 456 (DESTROYED BY FIRE)
REPLATTED AS PB 3 PG 330
CITY OF WORTHINGTON,
FRANKLIN COUNTY, OHIO

PROJECT NO: 150491.004

DATE: 7/10/2020

SCALE: 1" = 20'



SHEET NAME:

REPLAT OF 3.062 ACRES

SHEET NO.

A-2

HARTFORD AVENUE
66' R/W (4 RODS)

HARTFORD AVENUE
49.5' R/W (3 RODS)

STAFFORD AVENUE
66' R/W (4 RODS)

HARTFORD COURT
(50' R/W)

LOT 1
3.062 ACRES

PLAT OF
WORTHINGTON
PB 3 PG 330

SANDRA A. DICENZO
IN. 19891102074639
PID: 100-000229

15

S86°59'25"E 252.52'

20' SANITARY SEWER EASEMENT

NATIONAL CHURCH RESIDENCES
STAFFORD WORTHINGTON OH
IN. 201705040060250

NATIONAL CHURCH RESIDENCES
STAFFORD WORTHINGTON OH
IN. 201605310067263

NATIONAL CHURCH RESIDENCES
STAFFORD WORTHINGTON OH
IN. 201605310067264

NATIONAL CHURCH RESIDENCES
STAFFORD WORTHINGTON OH
IN. 201512220179244
PARCEL TWO
PID: 100-003051

NATIONAL CHURCH RESIDENCES
STAFFORD WORTHINGTON OH
IN. 201512220179244
PARCEL THREE
PID: 100-000189

NATIONAL CHURCH RESIDENCES
STAFFORD WORTHINGTON OH
IN. 201512220179248
PARCEL TWO
PID: 100-000611

NATIONAL CHURCH RESIDENCES
STAFFORD WORTHINGTON OH
IN. 201512220179244
PARCEL FOUR
PID: 100-000281

NATIONAL CHURCH RESIDENCES
STAFFORD WORTHINGTON OH
IN. 201512220179244
PARCEL FIVE
PID: 100-000063

ADAM A. RICE AND
JAMIE L. RICE
IN. 201608180107966
PID: 100-000019

DORIS R. WEINER
IN. 200704270073033
PID: 100-000615

JOHN M. & TAMARA
H. AMENT
IN. 200201090008688
PID: 100-000527

5/8" IRON PIN FOUND
N88°52'03"W 0.45'
FROM CORNER

HOLLY M. COLL &
MARTIN T. HYNES
IN. 200608080111495
PID: 100-000101

WJD PROPERTY LLC
IN. 201306240106325
IN. 201306240106324
PID: 100-002801

JMAR PROPERTY, LLC
IN. 201707060091845
PID: 100-002716

1" IRON PIPE FOUND
N10°08'44"E 0.40'
FROM CORNER

N86°59'25"W 369.77'

217.37'

171.58'

263.90'

N86°50'45"W 20.00'

SANITARY SEWER EASEMENT
DB 2736 PG 259
HEREBY RELEASED

SANITARY SEWER EASEMENT
DB 2736 PG 259
TO REMAIN

20' SANITARY SEWER EASEMENT

20' SANITARY SEWER EASEMENT

NATIONAL CHURCH RESIDENCES
STAFFORD WORTHINGTON OH
IN. 201512220179244
PARCEL SIX
PID: 100-003053

S78°50'32"E 142.19'
N78°50'33"W 142.21'
20' SANITARY SEWER EASEMENT

S86°59'25"E 117.25'

50.39'

64.21'

S02°56'00"W 134.45'

54.33'

S02°56'00"W 134.45'

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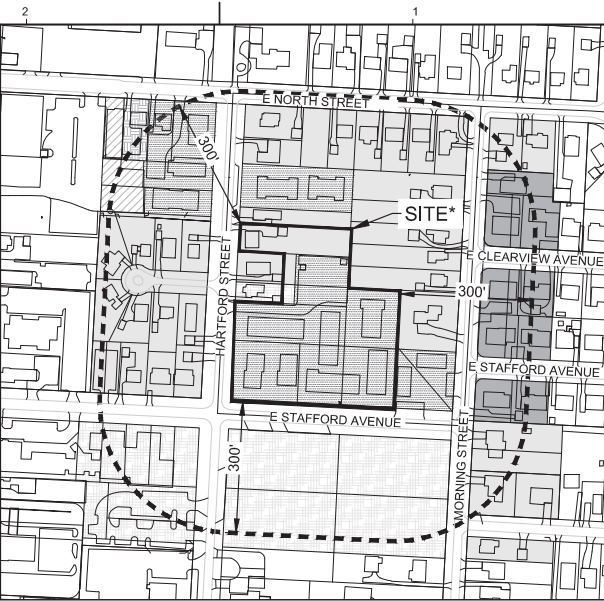
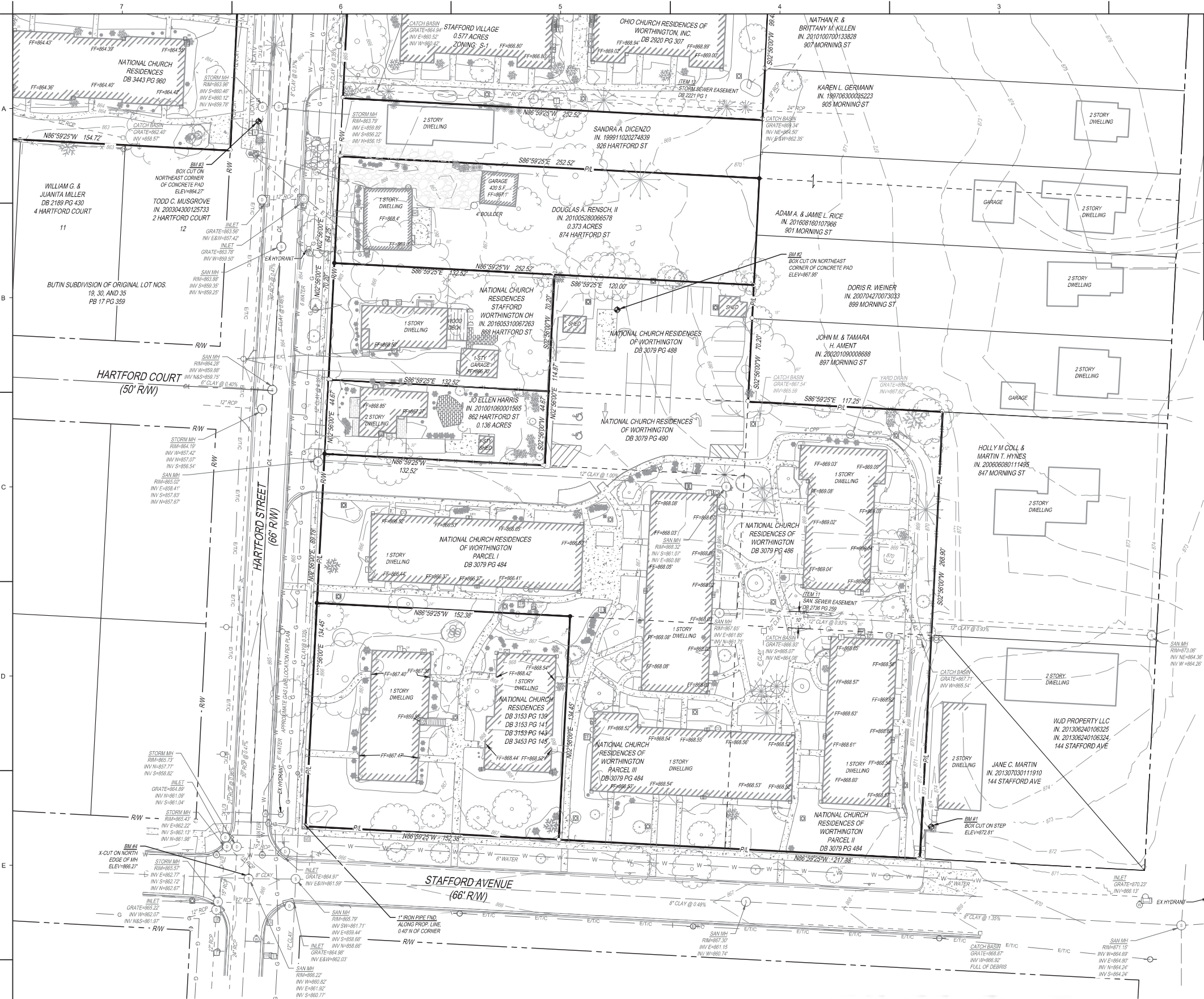
120.00'

S02°56'00"W 134.45'

120.00'

S02°56'00"W 134.45'

120.00'



ZONING LEGEND

- RESIDENTIAL: AR-4.5
- RESIDENTIAL: R-6.5
- RESIDENTIAL: R-10
- COMMERCIAL: C-2 ZONING DISTRICT
- COMMERCIAL: C-3 ZONING DISTRICT
- SPECIAL: S-1 ZONING DISTRICT

(*) - SUBJECT PROPERTY IS TO BE REZONED TO PUD AS PART OF THIS APPLICATION PROCESS.

NOTES

- OCCUPATION IN GENERAL FITS SURVEY, WITH THE EXCEPTION OF GRAVEL DRIVE EXTENDING OVER NORTHERLY PROPERTY LINE AS SHOWN AS SHOWN; ALSO, HOUSE APPEARS TO BE WITHIN THE FRONT YARD SETBACK.
- SOURCE DOCUMENTS AS NOTED.
- ALL MONUMENTATION IS IN GOOD CONDITION UNLESS OTHERWISE NOTED.
- BEARINGS ARE BASED ON THE STATE PLANE COORDINATE SYSTEM, OHIO SOUTH ZONE (NAD83-NSRS2007).
- VERTICAL DATUM IS NAVD83, BASED ON SOURCE BENCHMARKS "CIRCLE" AND "T12 RESET 1995".
- THE SUBJECTS PROPERTY IS LOCATED IN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DETERMINED BY GRAPHIC INTERPRETATION OF THE FLOOD INSURANCE RATE MAPS COMMUNITY NUMBER 39049C0159K EFFECTIVE JUNE 17, 2008.
- UTILITIES SHOWN ARE BASED ON PHYSICAL MARKINGS. PLAN INFORMATION PROVIDED BY UTILITY OWNERS, AND LOCATIONS OF ABOVE-GROUND APPURTENANCES. THE OHIO UTILITY PROTECTION SERVICE (OUPS) WAS CONTACTED ON AUGUST 26, 2015. OUPS TICKET NUMBER A523-801-478, A523-801-480, A523-801-219, A523-801-526, A523-801, 558 & A523-801-562, ON APRIL 12, 2016. OUPS TICKET NUMBER A610-301-633, A610-301-656 & A610-301-657, AND ON MARCH 23, 2017. OUPS TICKET NUMBER A708-200-990 & A708-200-998.
- THERE IS NO EVIDENCE OF CURRENT EARTHWORK, BUILDING CONSTRUCTION OR BUILDING ADDITION.
- THERE ARE NO KNOWN CHANGES, COMPLETED OR PROPOSED, IN THE STREET RIGHT-OF-WAY LINES.
- THERE IS NO OBSERVABLE EVIDENCE OF USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL ON THE SUBJECT PROPERTY.
- NO DIVISION OR PARTY WALLS ARE LOCATED ALONG THE BOUNDARY.
- NO EVIDENCE OF WETLAND AREAS AS DELINEATED BY APPROPRIATE AUTHORITIES WAS SEEN.
- THIS DRAWING IS BASED ON ACTUAL FIELD SURVEYS PERFORMED BY THE KLEINGERS GROUP IN AUGUST, 2015, APRIL, 2016; AND MARCH, 2017.

LEGEND

- | | | |
|---------------------------|-------|----------------------|
| 5/8" CAPPED IRON PIN SET | G | GAS MAIN |
| 5/8" IRON PIN FOUND | ⊙ | GAS VALVE |
| 1" IRON PIPE FOUND | UCATV | UNDERGROUND CABLE TV |
| BENCHMARK | W | WATER MAIN |
| UTILITY POLE | ⊕ | FIRE HYDRANT |
| GUY WIRE | ⊗ | WATER VALVE |
| UNDERGROUND ELECTRIC | ⊗ | WATER METER |
| OVERHEAD ELECTRIC | ⊙ | MANHOLE |
| HVAC UNIT | ⊙ | CLEAN OUT |
| TRANSFORMER | ⊗ | SANITARY SEWER |
| GROUND LIGHT | --- | STORM SEWER |
| ELECTRIC BOX | □ | CATCH BASIN |
| LIGHT POLE | ⊙ | INLET |
| LAMP | ⊙ | YARD DRAIN |
| UNDERGROUND TELEPHONE | ⊕ | FLAG POLE |
| OVERHEAD TELEPHONE | X | FENCE |
| DOWN SPOUT | ⊙ | HARDWOOD TREE |
| TRAFFIC CONTROL CABINET | 801 | CONTOUR LINES |
| TRAFFIC SIGNAL POLE | 805 | |
| SIGN | | |
| GUARD POST (PIPE BOLLARD) | | CONCRETE |
| ELECTRIC METER | | GRAVEL |
| DOWNSPOUT | | BRICK / PAVER |
| MAILBOX | | WOOD |
| TELEPHONE MANHOLE | | |
| TELEPHONE PEDESTAL | | |

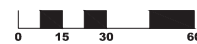
SHEET INDEX
1- EXISTING CONDITIONS PLAN
2- DETAILS SHEET
3- FINAL DEVELOPMENT PLAN
4- UTILITY PLAN
5- GRADING PLAN

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STAFFORD VILLAGE
INDEPENDENT LIVING
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NO.	DATE	REVISION

JOB NO. : 2018-53
PHASE : DESIGN
ISSUED FOR : DEVELOPMENT
DATE : ISSUE DATE

EXISTING
CONDITIONS PLAN

A-3

FOUNDATION SYSTEMS

Preliminary foundation design is based upon the assumption of using shallow spread footings. This assumption requires that all the existing structures, including subgrade structures, basements and footings, will be completely removed prior to start of the new building construction. Furthermore, it is assumed that voids from the excavation of existing structures will be regraded with compacted engineered fill and that the native soil will be improved to both achieve a minimum allowable soil bearing capacity of 3,000 psf. In the absence of a site-specific geotechnical report, soil conditions will be verified prior to construction. The final site grading is assumed to be flat and no footing steps will be required. Exterior and perimeter footings will be founded at a minimum of 36” below finish grade for frost protection.

Typical perimeter wall footings supporting wood framing

- Approximately 2’-0”x1’-0” spread footing with a 12” concrete stem wall at brick support and 8” at walls supporting siding (12” and 8” fully grouted CMU stem walls are a possible alternate).

Typical perimeter wall footings supporting concrete walls (around the perimeter of the podium)

- Approximately 3’-0”x1’-6” spread footing with a 16” concrete stem wall at brick support and 12” at walls supporting siding and adhered brick.

Typical exterior post footings (usually at patios and porches)

- 3’-0”x3’-0”x1’-6” isolated spread footings (pad and pier) with a concrete pedestal

Concrete column footings (in the podium)

- Typical column load of approximately 230 kips
- Typical column footing is 9’-0”x9’-0”x2’-0” spread footing reinforced with rebar at bottom
- Column supporting storage and mechanical area load of approximately 345 kips
- Typical column footing is 11’-0”x11’-0”x2’-0” spread footing reinforced with rebar at bottom

Steel column footings

- Typical column load of approximately 60 kips
- Typical column footing is 6’-0”x6’-0”x2’-0” spread footing reinforced with rebar at bottom

Typical interior bearing wall footings supporting wood framing

- 2’-0”x1’-0” thickened slab with (2) #5 continuous bottom reinforcing

Typical interior bearing wall footings supporting concrete walls

- 4’-0”x1’-0” thickened slab with (4) #5 continuous bottom reinforcing

Slab on ground

- 4”-5” thick with fiber reinforcing or 6x6-W2.9xW2.9 welded wire mesh throughout the building and parking garage.

PODIUM

Preliminary podium framing narrative is based-on the assumption that the podium is supported internally by concrete columns and a concrete wall along the perimeter of the podium, except at the drive aisle.

Podium

- 12” to 14” thick two-way post tensioned concrete slab with drop panels at columns.
- Mild reinforcing: 3.0 to 3.5 psf
- PT: 1.0 to 1.5 psf

Podium Support Framing

- 18”x18” concrete columns spaced at a maximum of 30’-0”± x 30’-0”± on center.
- Perimeter of podium is supported by a 12” thick concrete wall. It is assumed that walls will be reinforced with two layers of rebar.
- Lateral force resisting system is concrete shear walls at the perimeter of the podium.

Typical elevator and stair shaft framing

- Elevator and stair shafts will be 12” concrete walls at the exterior walls supporting the podium and 8” CMU at the interior with reinforcing steel in grouted cells likely spaced at 48” on center.

GROUND FLOOR FRAMING

Preliminary framing design is based-on the assumption of typical stacked wood framing (structural walls and openings align vertically). Areas not stacked will require atypical framing not described below, most likely with the use of steel beams and columns.

Typical wall framing

- 7/16” APA span rating 24/16 wall sheathing on 2x6 studs spaced at 24” on center for all bearing walls. Studs shall align directly under truss bearing locations. Additional studs may be required to meet architectural UL and/or STC assembly requirements. Stud quantities in bearing walls will increase from the top to the bottom of the building.
- Window and door headers will be of conventional 2x framing. Large openings will likely require engineered lumber (LVLs).
- Sill plates for exterior and bearing walls will be anchored to the stem wall or thickened slab as required.
- Double top plates and sill plates of exterior walls and bearing walls will be engineered lumber, either LVL or PSL to mitigate shrinkage and differential movement associated with the concrete podium protruding into the inside of the building footprint.
- Loose laid steel lintels will support brick veneer over typical openings with conventional brick veneer.

Typical stair shaft framing

- Stair shafts will be 8” CMU with reinforcing steel in grouted cells likely spaced at 48” on center.

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STRUCTURAL NARRATIVE | NCR STAFFORD VILLAGE

Typical lateral force resisting system framing

- Wood shear walls sheathed with 7/16” OSB. Dependent on quantity and layout of shear walls, some shear walls may require OSB sheathing on both sides.
- Shear walls will be anchored to the foundations with traditional Simpson hold-downs at each end.

Framing at south center wing south of stair shaft

- Steel w-beams on HSS or w-columns will support elevated framing.
- Moment frames will be required as the lateral force resisting system framing

ELEVATED FLOOR & ROOF FRAMING

Preliminary framing design is based-on the assumption of typical stacked wood framing (structural walls and openings align vertically). Areas not stacked will require atypical framing not described below, most likely with the use of steel beams and columns. Transition from conventional wood framed support of the elevated framing to podium supported framing will happen at a corridor or a bearing wall (i.e. not in the middle of the units) for the entirety of the protrusion of the podium into the building. A building construction/expansion joint is likely required at this transition from podium supported framing to ground-supported framing.

Typical floor framing

- 23/32” Advantech span rating 48/24 tongue and groove sheathing with ¾” max gypcrete on 24” deep pre-engineered open web wood trusses spaced at 24” on center. Long span trusses may require special delivery and installation procedures.
- Trusses at the 2nd floor elevation and over the conventionally wood framed ground floor will be hung off of the top plate and will not bear on the interior or exterior bearing walls. This atypical arrangement is due to the likelihood of differential movement and increased probability of shrinkage across the transition from podium supported to ground supported wood floor framing.
- Floor framing configuration and orientation will either be placed to span the floor trusses from exterior walls to corridor walls or to span trusses between interior demising walls.

Typical roof framing

- 19/32” APA span rating 40/20 sheathing on pre-engineered open web wood trusses spaced at 24” on center. Truss profiles required to achieve architectural requirements include common truss, mono truss, mansard truss, flat truss and gambrel truss. In addition to pre-engineered trusses, certain roof profiles will require over-framing, stick built.
- The height and pitch of the roofs will likely require trusses to have multiple segments piggy-backed on top of the main roof truss in certain locations.
- Areas of flat roof will have the top chord sloped to drain while maintaining a minimum of 18” of truss depth.
- Dormers are considered atypical roof framing and will be stick built.
- Roof trusses will typically span from exterior wall to corridor wall.
- Roof trusses will be fastened with hurricane ties to wall double 2x top plates or nailers attached to the top of steel beams.
- Cupolas are premanufactured and will bolt down to the framing below.

STRUCTURAL NARRATIVE | NCR STAFFORD VILLAGE

Typical wall framing

- 7/16” APA span rating 24/16 wall sheathing on 2x6 studs spaced at 24” on center for all bearing walls. Studs shall align directly under truss bearing locations. Additional studs may be required to meet architectural UL and/or STC assembly requirements. Stud quantities in bearing walls will increase from the top to the bottom of the building.
- Window and door headers will be of conventional 2x framing. Large openings will likely require engineered lumber (LVLs).
- Loose laid steel lintels will support brick veneer over typical openings with conventional brick veneer.
- Thin-brick or adhered brick will be utilized in areas where brick is not supported by the ground.

Typical shaft framing

- Elevator and stair shafts will be 8” CMU with reinforcing steel in grouted cells likely spaced at 48” on center.

Typical lateral force resisting system framing

- Wood shear walls sheathed with 5/8” gypsum board in the upper level and 7/16” OSB in the lower levels. Dependent on quantity and layout of shear walls, some shear walls may require OSB sheathing on both sides. OSB sheathing will likely be required on at least one side of all shear walls on the second floor.
- Shear walls will be anchored between floors with traditional Simpson hold-downs at each end.

Framing at south center wing south of stair shaft

- Conventional wood floor trusses described above spanning between steel w-beams supported by steel columns.
- Conventional gambrel wood roof trusses and framing described above with dormers stick built.
- Moment frames will be required as the lateral force resisting system framing.

Framing at club room

- Conventional wood floor trusses described above spanning between steel w-beams supported by steel columns.
- Non-stacking 2nd floor wall framing supporting the third floor and roof framing will be carried by w-beams.

Framing at 3rd floor east wall

- Non-stacking 3rd floor wall framing supporting the roof framing will be supported by transfer beams and girder trusses at the 2nd floor roof and 3rd floor framing.

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Stafford Village Senior Living
Worthington, OH
Schematic Design – Narrative

January 9, 2019

D22 PLUMBING

D2200 PLUMBING CODES AND STANDARDS

- A. Applicable Codes and Guidelines
 - 1. 2017 Ohio Plumbing Code
 - 2. 2012 International Energy Conservation Code
 - 3. 2012 International Fuel Gas Code
 - 4. All other local and State Codes and Standards shall be complied with where applicable and available.
- B. Plumbing systems shall consist of plumbing fixtures, domestic hot water heating equipment, hot water re-circulating pumps, cold and hot water piping, gas piping, sanitary sewer and vent piping.
- C. Plumbing fixtures shall include water closets, lavatories, urinals, showers, service sinks, sinks, hose bibs and drinking fountains. Handicapped type fixtures meeting the requirements of ADA Standards shall be provided, where required.
- D. Domestic water heating system for Independent Living shall consist of Bradford White 4.5kw 45 gallon tank located within units.
- E. Domestic water heating system for commercial kitchen and common areas shall consist of centralized tank type gas-fired domestic water heaters equal to (1) 199,900 btu AO Smith Cyclone series. Domestic hot water shall be provided in loops with circulation pumps, mixing valves, etc. as required to meet demand.

D2210 PLUMBING FIXTURES

General: Plumbing fixtures will be selected to meet program requirements and to meet handicapped accessibility and water conservation standards. Plumbing Fixtures to be low flow type.

*Final plumbing fixture selections in public areas to be reviewed and approved by Architect or Interior Designer

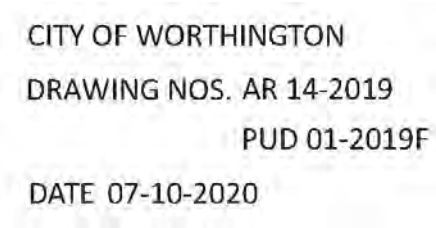
IL plumbing fixtures

- A. Water Closets:
 - 1. Resident Units
 - a. Sterling floor mounted comfort height (17”) for seniors
 - b. Kohler Seat and Lid
 - c. Approved Alternates By: American Standard, Zurn
- B. Lavatory Sinks:
 - 1. Under-mount Lavatories
 - a. Kohler under-mount lavatory
 - b. Kohler Faucet Set
 - c. Kohler Drain
 - d. Kohler P-trap

- e. Approved Alternates by: American Standard, Zurn
- C. Kitchen and Bar Sinks: 20 gauge, stainless steel.
 - 1. Compartment Kitchen Sinks: Self rimming stainless steel, 20 gauge with sound dampening undercoating, undermount stainless steel at granite countertop locations.
 - a. Sterling Southaven double compartment
 - b. Kohler Faucet
 - c. McGuire Strainer
 - d. McGuire P-trap
 - e. Approved Alternates By: American Standard, Elkay
- D. Showers and Bath Tubs: Single-control, thermostatically regulated temperature.
 - 1. Showers
 - a. Shower Enclosures (Transfer Showers)
 - a. Sterling Accord
 - b. Kohler shower drain
 - c. Kohler hand shower and accessories, Kohler valve and trim.
 - b. Shower Enclosure (Roll In)
 - a. Aquatic series with all accessories trim include
 - 2. Bath Tubs
 - a. Bath/Shower Enclosures (ADA)
 - a. Sterling Ensemble
 - b. Kohler tub and overflow drain
 - c. Kohler hand shower and accessories, valve and trim.
 - b. Bath/Shower Enclosures (Non-ADA)
 - d. Aquatic series
 - e. Kohler tub and overflow drain
 - f. Kohler hand shower and accessories, Kingsley valve and trim.
 - a. Approved Alternates By: American Standard, Kohler

Amenities Fixture

- A. Drinking Fountains/Cooler: ADA-compliant type.
 - 1. Electric Water Coolers: Bi-level, wall hung stainless steel
 - a. Hasley Taylor Wall Hung Vandal Resistant Barrier-Free
- B. Water Closets:
 - a. Sterling floor mounted comfort height (17”) for seniors
 - b. Kohler Seat and Lid
 - c. Approved Alternates By: American Standard, Zurn
- C. Lavatory Sinks:
 - 2. Under-mount Lavatories
 - f. Kohler under-mount lavatory
 - g. Kohler Faucet Set
 - h. Kohler Drain
 - i. Kohler P-trap
 - j. Approved Alternates by: American Standard, Zurn



D2220 DOMESTIC WATER DISTRIBUTION

- A. Domestic water systems under this scope of work will extend to 5' outside the building consisting of a 3” service size at 150gpm. Points-of-connection to main will be coordinated with the Civil Engineer.
- B. Domestic water piping systems will be sized in accordance with the following table:

SYSTEM	MAXIMUM VELOCITY FEET/SEC	MAXIMUM PRESURE DROP PSIG/100’
Domestic Water Mains	8	2
Domestic Water Branches & Risers	8	2
Domestic Water Fixture Runouts	5	3

- C. Circulating Systems: Domestic hot water circulating systems will be provided for kitchen and public fixtures. These systems will be fed from a separate centrifugal pump package. Water heaters will be set at 125° for all resident use areas and 140° for kitchen area.
- D. Cold water and hot water isolation valves will be provided at each kitchen, resident unit, mechanical room, restroom, and other group of six or more fixtures.
- E. Shut-Off Valves
- 1. Shut-off valves and unions or flanges will be provided for each piece of equipment, such as; water heaters, water softeners and pumps, and will be clearly and permanently labeled.
 - 2. Shut-off valves in domestic water systems will be gate valves or ball valves.
- F. Pressure Reducing Valves: Pressure reducing Valves will be provided to limit pressure to 80 PSIG at first fixture, if pressure exceeds 80 PSIG and if required.
- G. Water Hammer Arrestors: Manufactured water hammer arrestors will be provided in piping serving fixtures utilizing flush valves, dishwashers and washing machines.
- H. Domestic water piping may be installed underground within the building, at branch piping to island sinks. This piping will be Type K copper (if underground) without joints or Schedule 40 CPVC with Armaflex insulation or sleeve. Aboveground piping within the building to be CPVC or PEX. Primary plumbing equipment connections shall be Type L Copper. Primary plumbing equipment includes, but not limited to the following, reduced pressure zone backflow preventer, domestic hot water heaters, water softeners and domestic water booster pump, if required.
- I. Piping Concealment: All domestic water piping will be concealed above ceilings (between floors) and within walls. Sufficient headroom will be maintained throughout the building. No domestic piping to be installed in unconditioned space, attic etc.
- J. Access Panels: Access panels will be provided in hard ceilings and walls for access to all domestic water valves above ceiling. Fire-rated panels shall be provided as necessary per rated ceiling locations.
- K. Hydrants: Wall hydrants will be provided around the perimeter of the building at grade level spaced not more than 50' apart or more than 20’ from exterior mechanical equipment.
- 1. Concealed, freeze-proof, wall hydrant with lockable cover.
- L. Water Heaters: Domestic water heaters will be sized in accordance with ASPE and ASHRAE recommendations.
- M. Pipe Insulation: Cold water, hot water and hot water circulating piping will be insulated in accordance with specifications.

D2230 GAS PIPING

- A. The building gas service will be piped from the meter to all gas-fired equipment including, but not limited to the following: commercial gas kitchen equipment, fireplace (in core area only), and building heating equipment. The system will consist of low to medium-pressure gas piping and regulators. A gas meter/regulator assembly shall

be installed at the new building, per local gas utility requirement with the gas main extended from the street gas main, by the local gas utility provider. Final connection will be coordinated with civil contractor.

D2240 SANITARY WASTE

- A. Description:
- 1. Sanitary sewer service(s) exiting the building and extending to manholes outside the building, shall be sized according to drainage fixture unit totals.
 - a. System may be broken into multiply drainage lateral exits, reducing the overall size of service to manholes outside of the building.
 - 2. Grease waste piping will be provided within the commercial kitchen area and will exit to (1) 1500 gallon grease interceptor, located outside of the building.
 - 3. All sanitary piping shall be traditionally vented, except for kitchen island sink locations , where waste-vent piping methods shall be used, as allowed by code.
 - 4. Coordination will take place with project Civil Engineer for points-of-connection at manholes and sewer mains.
- B. Piping - General: Schedule 40 PVC with solvent welded joints, piping 3” and larger shall be sloped at 1/8” per foot. Piping 3” and smaller shall be sloped at 1/4” per foot.
- C. Floor Drains and Sinks: Floor drains shall be placed, per local code requirements, for the following but not limited to public restrooms, water and fire risers, trash areas, and mechanical back of house areas. Provide floor sinks as called out by food service. Floor drains and floor sinks will have flashing rim and clamp.
- 1. Floor drains: Adjustable, round body floor sinks
- D. Trap Primers: Trap primers and or Trap seal guards will be provided for all floor drains / hub drains subject to infrequent discharge into traps, which are at risk to evaporation.
- E. Floor Cleanouts: Floor cleanouts and wall cleanouts will be provided throughout the facility in accordance with code requirements. Floor cleanouts will not be located in high traffic or public areas; contractor shall provide wall cleanouts instead. Wall cleanouts will be provided with stainless steel wall caps.

D2250 STORM SYSTEM

- A. Storm drainage system: Storm water will be drained from flat roof area by primary and secondary roof drains. Primary and overflow drain piping shall be routed internally. Overflow drains shall be routed internally and discharge above grade, through a downspout nozzle. All sloped roofs with downspouts shall be discharged to grade, with a splash block or tie into site storm system. Design team to coordinate connection points and fixture specification.
- B. Piping - General: Schedule 40 or cast iron piping. Cast iron is recommended to be used to avoid sound attenuation, from moving water in the piping system. Schedule 40 PVC is an acceptable alternate.

D2260 OTHER PLUMBING SYSTEMS

- A. Fire Protection System: A complete and operational fire protection system will be design-build, by a separate fire protection contractor. A performance specification and limited single line representation will be provided. The system will comply with owner’s insurance carrier, NFPA and local Fire Marshal requirements. Refer to Division 21 for fire protection system components.
- B. For Core amenities (A occupancies) to be designed to NFPA 13 standard.
- C. For IL (R-2 occupancies) to be designed NFPA 13R standard.

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D. No fire protection to be installed in unconditioned space.

END



Stafford Village
Worthington, OH
Schematic Design – Narrative

January 09, 2019

D30 HEATING, VENTILATION, AND AIR CONDITIONING (HVAC)

D3000 CODES AND STANDARDS

- A. The following design conditions will be used for heating loads, cooling loads and equipment selection:
1. Location: Worthington, OH

2. Latitude: 40.09° N.

3. Elevation: 863 feet.

4. Winter DB: -1° F.

5. Summer DB: 90° F.

6. Summer WB: 74° F.
- B. The Mechanical system will be designed in compliance with:
1. 2017 Ohio Mechanical Code

2. 2012 International Energy Conservation Code

3. 2005 ASHRAE Handbook of Fundamentals

4. ASHRAE Standard 15, Safety Code for Mechanical refrigeration

D3010 HVAC SYSTEM

- A. The building(s) shall be supplied with direct expansion split systems (minimum 14.0 SEER) with electric heat as specified. All condensers shall be roof mounted.
1. Resident Units: Equipment serving living units shall be ducted split systems. These shall be comprised of vertical air handlers with resistance heating coils located in dedicated mechanical closets. Basis of design shall be Goodman. HVAC shall be sized for: 1.5-tons for units less than 750 sf, 2.0-tons for units 750-1,000 sf, and 2.5-tons for units 1,001-1,250 sf.

a. Indoor Unit: Goodman model AWUF

b. Outdoor Unit: Goodman model GSX14

2. Public Areas: Units serving public amenity areas shall be ducted split systems and/or electric cooled / natural gas heating packaged roof top units. These shall be comprised of vertical air handlers with resistance heat located in dedicated mechanical closets. Basis of design shall be Goodman air handlers and Carrier roof top units. HVAC shall be sized for approximately 300-350 sf/ton, but may vary on an individual space-by-space case.

a. Indoor Unit: Goodman model ASPT

b. Outdoor Unit: Goodman model GSX14

c. Outdoor Unit: Carrier model 48HC

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D3040 HVAC DISTRIBUTION

- A. All low pressure duct systems will be sized at a maximum 0.10"/100 FT pressure drop using equal friction and shall be sealed in accordance with IECC leakage requirements.
- B. All ductwork will be galvanized sheet metal installed in accordance with the SMACNA Duct Construction Standards. Dimensions shown are clear, inside dimensions. Allowances shall be made for duct liner for the first 5’-0” of duct downstream of all air handling units, or where called for on plans.
 - 1. Fiberglass ductboard will be allowed for discharge plenums only as approved by owner.
- C. All supply ductwork will be round spiral or rectangular sheet metal without duct sealer and rated for pressures up to +2" WC. Insulate with 2", 1 ½# foil face duct wrap in unconditioned spaces.
- D. All flexible ducts shall be UL Listed Class 0 or Class 1 insulated flexible duct.
 - 1. Public Areas: flexible duct may be used for branch runs from trunk line to air device. All runs shall be pulled tight to avoid any unnecessary bends. Any bends shall be as large of a radius as possible. Spin-in or Tab Type fittings with bell mouth flange will be provided for each device.
 - 2. Living Units: flexible duct may be used for branch runs from trunk line to air device. All runs shall be pulled tight to avoid any unnecessary bends. Any bends shall be as large of a radius as possible.
- E. All duct connections to air outlets will be the same size as the device neck.
- F. All general exhaust ductwork will be 26 ga galvanized sheet metal for fire rated assemblies and 28 ga . galvanized sheet metal for non-fire assemblies.
- G. All spaces shall be mechanically ventilated. Outside air shall be ducted to each air handler via 26 ga galvanized sheet metal duct. All outside air ducts shall connect to return air duct/plenum upstream of air filter.
 - a. Intake louvers shall be utilized for the ventilation air serving the ground level and second floor common areas.
- H. All air handlers shall be provided with 1” thick MERV 6 filters, sized for a maximum 250 fpm face velocity. Provide plenum box with filter rack beneath air handler as filter size required will not fit in integral air handler filter rack.
- I. All ductwork in unconditioned spaces shall be insulated with R-4 minimum. Where ductwork is located outside the thermal envelope, ductwork shall be insulated with R-8 minimum.
- J. All gas-fired water heaters, furnaces, fire places, etc. shall have a flue vent and combustion air intake routed to the exterior.
- K. Public Spaces:
 - 1. Manual volume dampers will be provided in the main and branch ductwork at all splits in supply, return and exhaust ductwork where the branch flow is 20% or greater than the main flow.
 - 2. Fire dampers or fire/smoke dampers will be provided in all rated floor, ceiling and wall openings where required by code. Access doors will be provided in ductwork for each damper. For dampers installed above hard ceilings, access doors will be provided for ceiling to be installed by others.
 - 3. Miscellaneous exhaust systems will be provided as required for restrooms and as required.
 - 4. All air intakes will be of the low water penetration type, aluminum type with bird screen, and will be sized for a maximum face velocity of 750 FPM with a maximum pressure of 0.10" WC. All exhaust caps will be of the low water penetration type with approved color, integral bird screen (except dryer exhaust), and sized per manufacturer’s recommendations.
 - 5. Supply air distribution will be provided with louvered face ceiling diffusers with adjustable pattern. Construction will be mitered face. Diffuser spacing will not exceed twice the ceiling height. Diffuser model will be as approved by the Architect for all public areas.
 - 6. Extruded aluminum linear type diffusers will be provided in wet areas, or where approved and required by Architect.
 - 7. Return air grilles will be louvered face type sized for a maximum of 500 FPM face velocity. Grille model will be as approved by the Architect.

- 8. All restrooms will be exhausted at the rate of 75 CFM/water closet (WC).
- L. Living Units:
 - 1. Ceiling radiation dampers shall be provided at all rated ceiling penetrations as required by code. CRD’s shall be accessible by removal of air device. Access doors will be provided in ductwork where necessary.
 - 2. Dryer vents shall be 4” and route from a UL-listed vent box recessed in a 6” wall, up through the top plate, and out to an exterior wall cap.
 - 3. All intake louvers will be of the low water penetration type and will be sized for a maximum face velocity of 750 FPM with a maximum pressure of 0.10" WC. All exhaust louvers will be of the low water penetration type and sized for a maximum face velocity of 1000 FPM and a maximum pressure drop of 0.22" WC.
 - 4. Return air grilles will be louvered face type sized for a maximum of 500 FPM face velocity. Grille model will be as approved by the Architect.
 - 5. Sidewall supply registers will be 3-way deflection louvered face with 20° blades and multi-shutter dampers. Registers will be as approved by the Architect.
 - 6. Living unit bathrooms shall be vented at a rate of 50 cfm via a wall-mounted exhaust fan ducted up through the top plate and out to an exterior wall cap. Fan shall be interlocked to the light fixture over (or directly in front of) the tub/shower. Exhaust fans shall be Energy Star rated (Broan LP-80 or equal). Bathroom exhaust duct shall be 4”.
- M. Sufficient headroom will be maintained throughout building under all duct systems, minimum of 8’.
- N. Access doors in ductwork and hard ceilings will be provided for access to valves, dampers, etc. Access doors in fire rated ceilings will also be fire rated. Access doors for ceiling to be installed by others. All access door locations will be coordinated with the Architect.
- O. Sufficient access as required by building operations will be provided around all mechanical equipment for ease of servicing.
- P. Secondary drain pans will be provided under all air-handling units and fan coil units installed above finished ceilings. Secondary drains shall be terminated as required by code.
- Q. Rooms containing fire risers and water entrances will be heated with electric unit heaters.
- R. Stair wells shall be provided with an electric wall heater at the first level.

D3060 HVAC INSTRUMENTATION AND CONTROLS

- A. Local 7-day programmable thermostats shall be provided for each zone of conditioned area.
- B. Living units will each be considered a single zone except for Memory Care.

D3080 TESTING, ADJUSTING, AND BALANCING

- A. Test and balance shall be performed by Mechanical Contractor for all common area units.
- B. All equipment warranty periods and start dates will be submitted to the Owner in spreadsheet form, by the Mechanical Contractor. Minimum information will include type of equipment, type of warranty, length of warranty, local equipment supplier and contact name including phone number.

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Worthington, OH
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January 09, 2019

D26 ELECTRICAL

D26-1 APPLICABLE CODES, GUIDELINES, AND STANDARDS

- A. 2017 National Electrical Code with local amendments.
- B. 2012 International Energy Conservation Code with local amendments.
- C. All other local and state codes and standards shall be complied with where applicable and available.

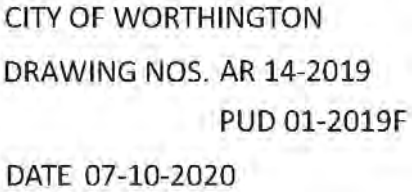
D26-2 ELECTRICAL SERVICES AND DISTRIBUTION

- A. Electrical Service:
 - 1. The main house electrical service will be 120/208V three-phase, sized approximately 1600A.
 - 2. The main residential electrical service will be divided into (2) 120/208V three-phase services, both sized approximately 1600A each.
 - a. Each IL residential unit will receive a 120/208V single-phase, 125A-150A loadcenter.
 - 3. Branch Circuit Panelboards will be placed locally throughout the facility for misc. power requirements.
- B. The utility transformer will be located on our site electrical plan and will be coordinated with the local power company, the civil engineer, and the architect. Proposed location are as shown on DD plans.
- C. Service Equipment:
 - 1. The main service will be shown in the proposed location on the site plan and building plan. We will utilize a basis of design of Square-D equipment for space allocation.
 - a. QED Series main breaker type switchgear will be used for the house service main.
 - b. EZM Easy Meter Equipment – For the residential service; this equipment will be 3-phase incoming and 3-phase outgoing to the meter sections.
 - c. EZM Easy Meter Equipment – For the residential meter sections; this equipment will be 3-phase incoming and 1-phase outgoing to each apartments loadcenter.
 - d. Service disconnects fused appropriately where required.
 - e. We will show a direct service lateral from the utility transformer to the fire pump controller, if a fire pump is required.
- D. Branch Circuit Panelboards: House panels will be located within the areas that they serve.
 - 1. The basis of design is Square-D NF/NQ for panelboards for space allocation.
 - 2. General Requirements for Panelboards:
 - a. Enclosures: Flush and surface mounted.
 - 1) Indoor general purpose: NEMA 250, Type 1.
 - 2) Wet / outdoor locations: NEMA 250, Type 3R. (lockable).

- 3) Hazardous locations and protected against heavy splashing or hose-directed water: NEMA 250, Type 4X.
 - 4) Front: Secured to box with concealed trim clamps.
 - 5) Directory card.
 - b. Incoming Mains Location: Top and bottom.
 - c. Service and panelboard feeder conductors: Aluminum or copper.
 - d. Phase, Neutral, and Ground Buses: Aluminum or Copper.
 - 1) Optional Buses: Equipment ground, isolated ground and extra-capacity neutral.
 - e. Conductor Connectors: Mechanical-type main and neutral lugs.
 - 1) Optional Features: Mechanical-type feed-through lugs and extra-capacity neutral lugs.
 - f. Panelboard Short-Circuit Current Rating: UL Listed series-rated combinations or Fully rated to interrupt symmetrical short-circuit current available at terminals.
- 3. Lighting and Appliance Branch-Circuit Panelboards:
 - a. Branch Overcurrent Protective Devices: Bolt-on circuit-breaker type.
- 4. Disconnecting and Overcurrent Protective Devices:
 - a. Molded-Case Circuit Breaker: Interrupting capacity to meet available fault currents.
 - 1) Circuit Breakers: Thermal-magnetic types.

D26-3 LIGHTING AND BRANCH WIRING

- A. Electrical Wiring:
 - 1. Materials:
 - a. Conductors and Cables:
 - 1) Branch circuitry conductors: Copper.
 - 2) Conductor Insulation: Types THW, THHN-THWN, XHHW and SO.
 - 3) Multiconductor Cable: Metal-clad cable, Type MC, and Type SO with ground wire.
 - 4) Type NM (Romex) allowed only with AHJ approval.
 - b. Connectors and Splices: Factory fabricated.
 - 2. Conductor and insulation applications: (Clubhouse and apartment building common areas).
 - a. Service Entrance: Type XHHW, single conductors in raceway.
 - b. Exposed Feeders: Type THHN-THWN, single conductors in raceway.
 - c. Feeders Concealed in Ceilings, Walls, Partitions, and Crawlspace: Type THHN-THWN, single conductors in raceway.
 - d. Feeders Concealed in Concrete, below Slabs-on-Grade, and Underground: Type THHN-THWN, single conductors in raceway.
 - e. Exposed Branch Circuits: Type THHN-THWN, single conductors in raceway and Metal-clad cable, Type MC.
 - f. Branch Circuits Concealed in Ceilings, Walls, and Partitions: Type THHN-THWN, single conductors in raceway, Metal-clad cable, Type MC, and Type NM (Romex), where permitted by NEC Article 334 and the AHJ.
 - g. Branch Circuits Concealed in Concrete, below Slabs-on-Grade, and Underground: Type THHN-THWN, single conductors in raceway.
 - 3. Raceway and boxes materials:
 - a. Metal Conduit and Tubing:
 - 1) Conduit: Rigid steel.



- 2) EMT.

3) FMC: Zinc-coated steel.

4) LFMC.

b. Nonmetallic Conduit and Tubing: RNC.

c. Metal Wireways: Sheet metal, NEMA Type 1.

1) Wireway Covers: Screw-cover type.

d. Surface Raceways: Metal, galvanized steel.

e. Boxes, Enclosures, and Cabinets:

1) Outlet and Device Boxes: Sheet metal.

2) Floor Boxes: Sheet metal.

3) Pull and Junction Boxes: Sheet metal.

4) Hinged-Cover Enclosures: Metal.

5) Cabinets: Galvanized steel.

f. Hand holes and Boxes for Exterior Underground Wiring: Polymer concrete, prototype tested for compliance with SCTE 77.

4. Raceway Applications:

a. Outdoors:

1) Exposed: Rigid steel or RNC, Type EPC-80-PVC.

2) Concealed, Aboveground: Rigid steel or EMT.

3) Underground: RNC, Type EPC-40-PVC, direct buried.

4) Connection to Vibrating Equipment: LFMC.

5) Boxes and Enclosures, Aboveground: NEMA Type 4.

6) Underground hand holes and Boxes: SCTE tier 15 3000-lbf structural load rating.

b. Indoors:

1) Exposed: EMT or RNC.

2) Exposed and Subject to Severe Damage: Rigid steel.

3) Concealed: EMT.

4) Connection to Vibrating Equipment: FMC, except LFMC in damp or wet locations.

5) Damp or Wet Locations: Rigid steel.

6) Raceways for Distribution of Communications Cable: EMT.

7) Boxes and Enclosures: NEMA Type 1, except Type 4 in damp or wet locations.

B. Interior Lighting: Lighting product selection shall be provided to architect and/or owner for their approval. We will strive to have all LED lighting with a color range of 3000-3500K and a CRI of 90% wherever possible.

1. Provide all LED luminaire fixtures where possible.

2. Color range of 3000-3500K where possible.

3. CRI of 90% where possible

C. Exit Lighting:

1. Exit signs will be LED type and will be circuited to the local lighting circuit ahead of any controls with battery back-up.

D. Egress Lighting:

1. Egress lighting will be provided in corridors and public areas with normal fixtures that are backed up by battery.

E. Exterior Building Lighting:

1. Exterior lighting, for security, egress or accent lighting will be coordinated with the architect and landscape lighting professional.

a. Per code emergency lighting will also be provided exterior of the building at each exit door and connected to the exit sign on the inside of the building.

2. The lighting power density shall comply with the unit lighting power densities for building exteriors indicated per applicable energy codes.

3. The minimum efficacy of the exterior lighting shall comply with applicable energy codes.

4. Provide all LED luminaire fixtures where possible.

5. Color range of 4000-5000K where possible.

6. CRI of 90% where possible

F. Lighting Controls:

1. Occupancy sensors will be utilized where appropriate to meet energy code requirements.

2. Photocell sensors will be utilized for outdoor lighting and signage.

3. Lighting control panels will be utilized for other circuitry and networked together for universal control through one computer.

a. Basis of design will be Cooper Greengate or Lithonia Blue Box.

G. Power will be provided (if required) to any water booster pump.

H. Power will be provided (if required) to any trash compactors. Basis of design will be 10HP until notified otherwise.

I. Power will be provided (if required) to any elevator. Basis of design shall be 40HP until notified otherwise.

J. Power will be provided (if required) to any jockey pump. Basis of design shall be 5HP until notified otherwise.
- D28-1 LOW-VOLTAGE / OTHER ELECTRICAL SYSTEMS**
- A. Telephone / Data Outlets:

1. Conduit stub and single gang boxes for these devices will be shown on the power plans in common locations for the specified device and/or per the architect’s direction.

2. Receptacles and branch circuiting will be provided to support the voice data system as needed and / or per the architect’s direction.

B. Cable TV Outlets:

1. Conduit stub and single gang boxes for these devices will be shown on the power plans in common locations for the specified device and/or per the architect’s direction.

2. Receptacles and branch circuiting will be provided to support the Cable TV system as needed and / or per the architect’s direction.

C. IT / Cable:

1. IT / Telephone / Data and/or Cable TV equipment locations will be indicated on our site utility plan and will be coordinated with the civil engineer and the architect.

D. Fire Alarm System plans will be provided by others.

1. We will provide performance spec device layout for an addressable system with battery back-up.

END

Stafford Village Senior Living
Worthington, Ohio
PE Services Project No. 18094

Division 26 / 28

CITY OF WORTHINGTON
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PUD 01-2019F
DATE 07-10-2020

Electrical
01/09/2019

Stafford Village Senior Living
Worthington, Ohio
PE Services Project No. 18094

Division 26 / 28

Electrical
01/09/2019

B-5



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Memorandum
November 22, 2019
Site Civil Narrative for National Church Residences
150491.004

Memorandum

Project # 150491.004

TO: Blake Williams (pH7 Architects)
CC: Charity Sims (pH7), Michael Healy (pH7)
FROM: Brendan M. Fleming, P.E.
DATE: November 22, 2019
RE: **Site Civil Narrative for National Church Residences**

Existing Site Features

The development site is located at the northeast corner of Stafford Avenue and Hartford Street in the City of Worthington, Franklin County, Ohio. It is made up of several residential properties and is surrounded by existing residential development on all sides, with Stafford Avenue to the south and Hartford Street to the west. There are currently two (2) curb openings for the subject site along Hartford Street. The southern is a shared access for an existing single-family dwelling and interior driveway connecting the central parking area. The northern is for a private drive serving a single-family dwelling. Impervious surfaces cover approximately 47% of the area, with the remaining 53% consisting of grass areas, trees, vegetation, and common open spaces. The topography of the site falls from a high spot at the southeast corner (873) to a low spot at the NW corner (865), equating to approximately eight (8') feet of relief across the entire area. Slopes range onsite from about 33% along the eastern property line to about 1.5% over the interior parking areas.

Proposed Site Development

The proposed development will consolidate the various residential properties and demolish the existing centralized dwellings and appurtenant features to accommodate the construction of a new eighty-five (85) unit senior living facility. There will be one single-family residence along Hartford Street to remain. Features appurtenant to the new facility include a new thirty-two (32) space surface parking lot, lighting and landscaping measures, utility connections, and subsurface stormwater conveyance/detention. New curb openings onto Hartford Street and Stafford Avenue will be proposed, with the Hartford Street access occurring at the northwest corner of the site and the Stafford Avenue access occurring at the southeast corner of the site. Impervious surfaces will now cover approximately 75% of the area, with the remaining 25% consisting of perimeter grass areas and common open spaces. Slopes within the development will be consistent with existing conditions, but three (3') to five (5') foot high retaining walls will be required to make up the grade difference along the eastern property line. Additionally, several existing trees will require removal throughout the site.

Storm Water Management

The increase in impervious surface onsite will increase peak runoff release rates/volumes and therefore will require water quantity (detention) and quality treatment. This will be accomplished with an underground system that will be sized to temporarily store the additional volumes of runoff, and release rates will be attenuated to local authority acceptable levels via the use of a staged outlet structure. Placement of the underground system will be around the proposed building and runoff will be conveyed to this location via new storm water conduit conveyance. The option of placing the underground storm water storage under the building's ground level parking will also be explored. New inlets will be at the connection points of this conveyance system to collect runoff generated over the new impervious surfaces. Roof runoff will be conveyed to the system via a collection manifold system around its perimeter. The ultimate release point for the system will be the existing storm sewer that runs along the center of Hartford Street. Connection to this system may require the lowering of existing utilities within the right-of-way. It is recommended that all utilities be field verified (pot-holed) prior to construction.

The disturbance and exposure of soil will also require water quality treatment measures to be imposed onsite pursuant to the current Ohio EPA Stormwater General Construction Permit. Conformance with the requirements of this permit will be demonstrated via extended detention within the underground system, and pretreatment of tributary runoff via the use of upstream manufactured treatment devices sized to treat 50%-80% of all total suspended solids.

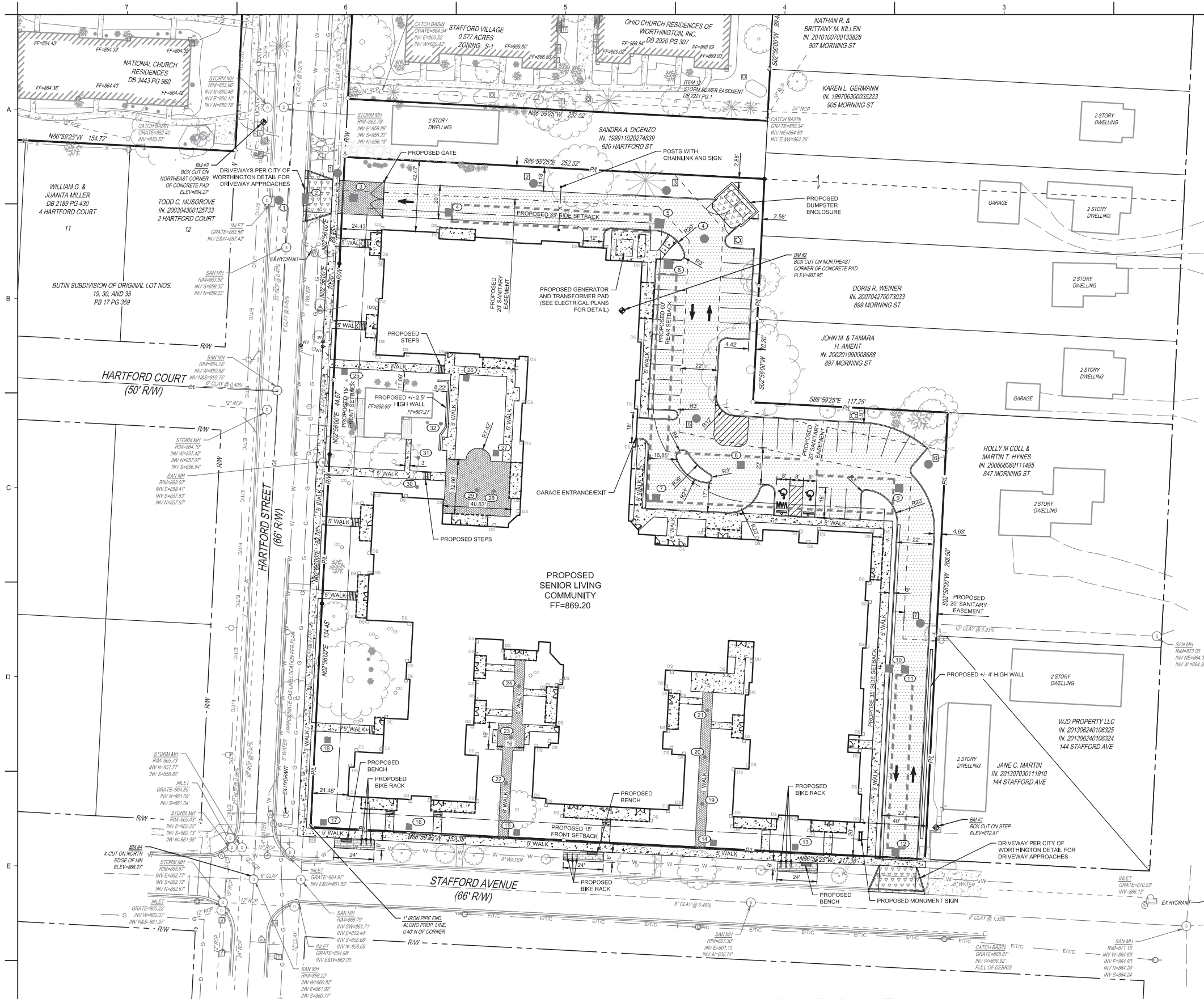
Sanitary Sewer

There is an existing 12" sanitary sewer that runs through the center of the development site which conveys runoff from Morning Street to the 12" sewer main within Hartford Street. The proposed building will require the re-routing of this sewer along the eastern and northern property lines to a connection point further downstream within Hartford Street. Due to the extended length of pipe needed to redirect the line, as well as the need to maintain slope capacity, there is the potential that the rerouting of the sewer will not meet the original capacity. Further investigation is required however to determine the capacity within the sewer and the ability to run the pipe at a flatter slope. If capacity is not able to be met, this could result in the need of a lift station just prior to the downstream connection point. Connection of the new building will most likely occur at the 12" main within Hartford Street, although further investigation into this matter is also required to certify upstream capacity. Options to locate the sanitary sewer main and easement away from the east property line will be explored to save the large tree.

Water

There is an existing 6" main within Hartford Street that will serve as the service connection. New fire and domestic services (sized by others) will split off a single tap to the main near the right-of-way and continue to the building. Backflow prevention and metering can occur within the building based on the current location chosen, and there will be no need for an external meter pit. Fire code will also require an FDC from the utility room to be placed near an existing fire hydrant on the street side of the building. Further coordination will need to be done with the City of Worthington Division of Fire & EMS to determine the location of the FDC and the need for additional fire hydrants.

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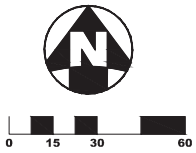
PROPOSED LEGEND	
	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONCRETE
	PROPOSED HEAVY DUTY CONCRETE
	PROPOSED PAVERS (SEE LANDSCAPE PLAN FOR DETAIL)
	PROPOSED BRICK (SEE LANDSCAPE PLAN FOR DETAIL)
	PROPOSED UNDERGROUND DETENTION SYSTEM LIMITS
	STORM MANHOLE
	PROPOSED CATCH BASIN
	PROPOSED YARD DRAIN
	SANITARY MANHOLE
	PROPOSED WATER VALVE
	FIRE DEPARTMENT CONNECTION
	TRAFFIC FLOW DIRECTION (FOR REFERENCE ONLY)
	PROPOSED LIGHTPOLE (SEE PHOTOMETRIC PLAN FOR DETAIL)

SITE DATA TABLE	
PID(S)	100-000096-00; 100-000284-00; 100-000040-00; 100-004125-00; 100-003051-00
EXISTING ZONING DISTRICT	AR-4.5, S-1, R-10
PROPOSED ZONING DISTRICT	PLANNED UNIT DEVELOPMENT (PUD)
ADJACENT ZONING DISTRICTS	S-1 (SOUTH); R-10 (NORTH); AR-4.5 AND R-10 (EAST); R-10 (WEST)
EXISTING USE	APARTMENT RESIDENCES
PROPOSED USE	SENIOR LIVING COMMUNITY, 85 DWELLING UNITS
PROPOSED BUILDING HEIGHT	39.5'
TOTAL PROPOSED SITE AREA	3.06 AC (133,381 SF)
PROPOSED BUILDING AREA	57,831 SF
DWELLING UNITS PER ACRE	85 DWELLING UNITS / 3.06 AC = 28 DWELLING UNITS PER AC
PROPOSED FRONT BUILDING SETBACK	20' (STAFFORD AVENUE); 21.37' (HARTFORD STREET)
PROPOSED SIDE SETBACK	42.47' (NORTH); 40.00' (EAST)
TOTAL REQUIRED PARKING	1 SPACE FOR EACH BEDROOM AND/OR STUDIO
TOTAL PROVIDED PARKING	TOTAL REQUIRED PARKING SPACES = 85 UNITS x 1 SPACES = 85 SPACES 32 SURFACE SPACES (INCLUDING 2 ADA SPACES) 53 GARAGE SPACES (INCLUDING 2 ADA SPACES) 2 EXISTING HOUSE SPACES 32 + 53 + 2 = 87 SPACES
PROPOSED PARKING SETBACKS	14.18' (NORTH); 4.63' (EAST)
EXISTING BUILDING COVERAGE	24.2%
PROPOSED BUILDING COVERAGE	43.4%
EXISTING LOT COVERAGE	46.7%
PROPOSED LOT COVERAGE	75.0%
CRITICAL YEAR STORM	5
FLOOD DESIGNATION	ZONE X (FIRM MAP 39049C0159K EFFECTIVE 06/17/2008)
WATERSHED ID	OLENTANGY RIVER

- NOTES:
- ALL RADII ARE 5' UNLESS OTHERWISE NOTED
 - ALL DIMENSIONS ARE TO EDGE OF PAVEMENT OR FACE OF CURB UNLESS OTHERWISE NOTED
 - ALL REGULAR PARKING SPACES SHALL BE 9'X18' WITH 1' OF OVERHANG TO HAVE AN AREA OF 171 SF
 - SEE LANDSCAPE PLAN FOR BENCH AND BIKE RACK DETAILS

CITY OF WORTHINGTON
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PUD 01-2019F
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PROJECT NARRATIVE
THIS PROJECT INCLUDES THE PROPOSED CONSTRUCTION OF A NEW SENIOR LIVING APARTMENT BUILDING WITH ASSOCIATED PARKING AND UTILITIES. EXISTING HOUSES AND PARKING WILL BE REMOVED EXCEPT FOR ONE EXISTING HOUSE THAT WILL BE TO THE WEST OF THE PROPOSED BUILDING.



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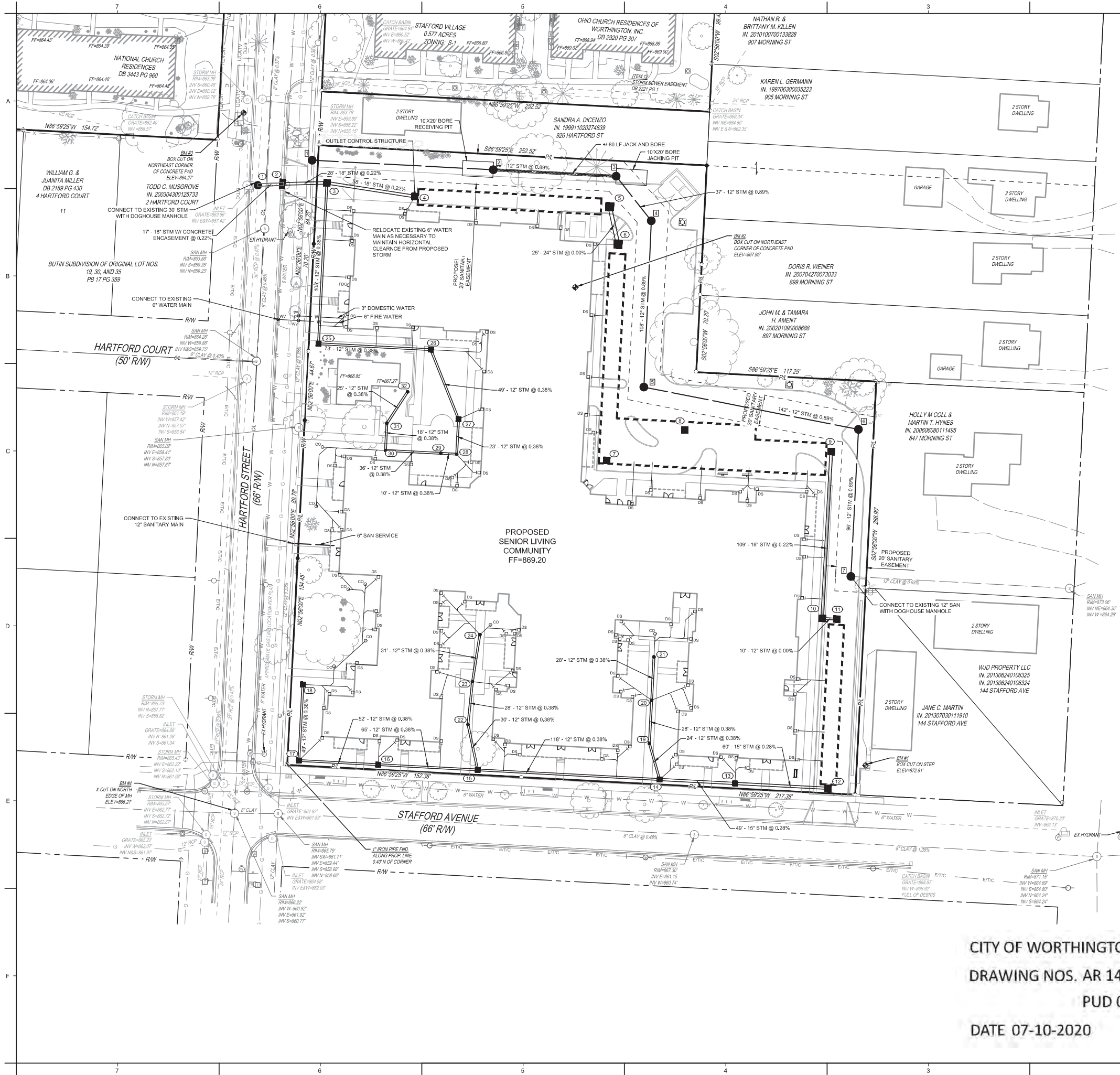
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INDEPENDENT LIVING
82 E. STAFFORD AVE.
WORTHINGTON, OHIO 43085
NATIONAL CHURCH RESIDENCES
2245 NORTH BANK DRIVE
COLUMBUS, OHIO 43220

NO.	DATE	REVISION

JOB NO.: 2018-53
PHASE: DESIGN DEVELOPMENT
ISSUED FOR:
DATE: ISSUE DATE

FINAL DEVELOPMENT
PLAN

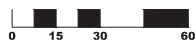
C-1



- PROPOSED LEGEND**
- 865 — EXISTING CONTOUR
 - 866 — EXISTING CONTOUR
 - 865 — PROPOSED CONTOUR
 - 866 — PROPOSED CONTOUR
 - STM — PROPOSED STORM PIPE
 - SAN — PROPOSED UNDERGROUND DETENTION SYSTEM LIMITS
 - SAN — PROPOSED SANITARY SEWER PIPE
 - W — PROPOSED WATER
 - T — STORM MANHOLE
 - T — PROPOSED CATCH BASIN
 - T — PROPOSED YARD DRAIN
 - CO — PROPOSED CLEANOUT
 - DS — PROPOSED DOWNSPOUT
 - SM — SANITARY MANHOLE
 - WV — PROPOSED WATER VALVE
 - FDC — BUILDING MOUNTED FIRE DEPARTMENT CONNECTION

- NOTES:**
- CONTRACTOR TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES. IF IN CONFLICT WITH PROPOSED THEN LOWER EXISTING UTILITIES. CAUTION WHEN EXCAVATING, IF SITE CONDITIONS WOULD PROHIBIT THE LOWERING OR RELOCATION OF EXISTING UTILITIES, THE DESIGN ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
 - CONTRACTOR TO ENSURE 18" MINIMUM CLEARANCE ON ALL UTILITY CROSSINGS
 - WATER SIZES SERVICING THE BUILDING SHALL BE CONFIRMED BY THE MEP
 - ALL DOWNSPOUTS TO CONNECT TO 8" STM PIPE @ 0.75% MIN SLOPE
 - UTILITY TRENCHES SHOULD BE HAND DUG WHERE IN CLOSE PROXIMITY TO TREES THAT ARE PROPOSED TO REMAIN

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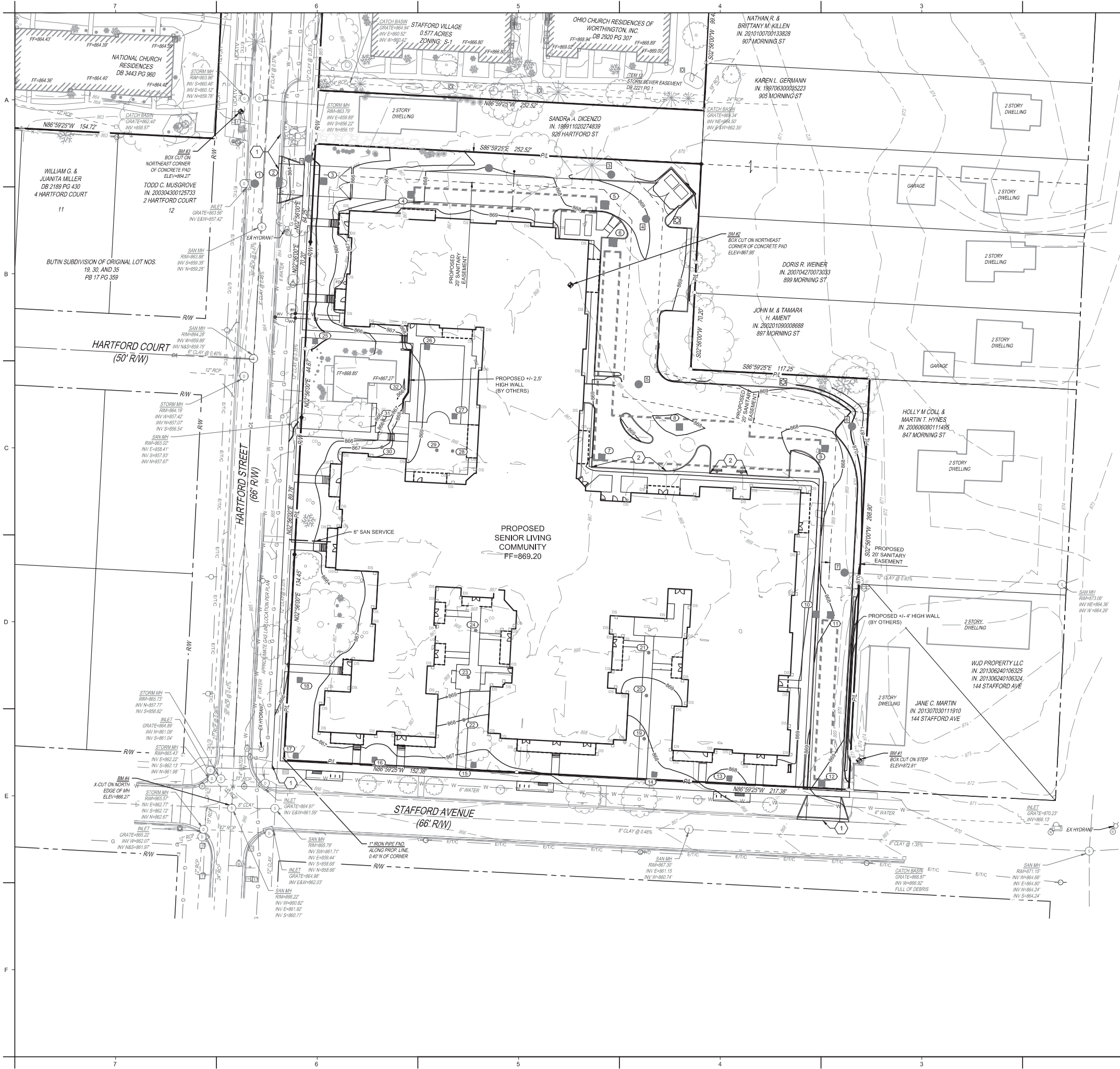
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UTILITY PLAN

C-2



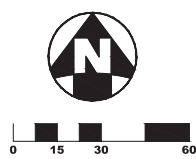
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 - - - - - PROPOSED UNDERGROUND DETENTION SYSTEM
 - 1 STORM MANHOLE
 - 1 PROPOSED CATCH BASIN
 - 1 PROPOSED YARD DRAIN
 - 1 SANITARY MANHOLE
 - 1 WV PROPOSED WATER VALVE
 - 1 FDC BUILDING MOUNTED FIRE DEPARTMENT CONNECTION

- CODED NOTES**
- 1 MEET AND MATCH EXISTING GRADE
 - 2 FLUSH CURB

NOTES:

1. ALL GRADING WITHIN COURTYARDS SHALL BE PER LANDSCAPE PLANS

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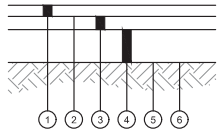
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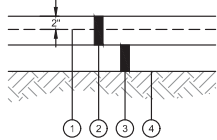
GRADING PLAN

C-3



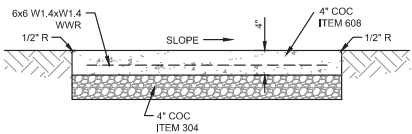
- 1 1/2" COC ITEM 441 ASPHALT CONCRETE SURFACE COURSE, TYPE 1, (448), PG64-22
- COC ITEM 407 TACK COAT, APPLY IF TIME BETWEEN ASPHALT LIFTS EXCEEDS 30 DAYS
- 2 1/2" COC ITEM 441 ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 2, (448), PG64-22
- 10" COC ITEM 304 AGGREGATE BASE
- WOVEN GEOTEXTILE FABRIC, COC ITEM 712.09 TYPE D
- SUBGRADE COMPACTION, REFERENCE COC ITEM 204, AND SOILS REPORT

HEAVY DUTY
ASPHALT PAVEMENT DETAIL
N.T.S.



- 6x6 W4XW4 WELDED WIRE REINFORCEMENT
- 8" COC ITEM 452 NONREINFORCED PORTLAND CEMENT CONCRETE PAVEMENT
- 6" COC ITEM 304 AGGREGATE BASE
- SUBGRADE COMPACTION, REFERENCE COC ITEM 204 AND SOILS REPORT

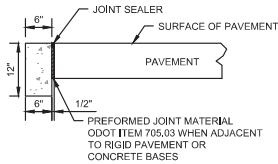
HEAVY DUTY
CONCRETE PAVEMENT DETAIL
N.T.S.



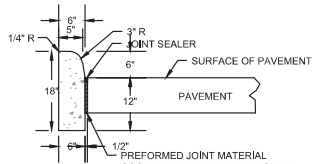
NOTES:

- INSTALL EXPANSION JOINTS AT 30' OC MAXIMUM AND WHERE SLAB ABUTS STRUCTURES. WHERE NEW WALK ABUTS ADJOINING WALK, SAWCUT EXISTING WALK TO NEAREST JOINT AND INSTALL EXPANSION JOINT. EXPANSION JOINTS SHALL BE 1/2" WIDE BY DEPTH OF SLAB. SEAL ALL EXPANSION JOINTS.
- INSTALL CONTROL JOINTS AT 6' OC MAXIMUM. CONTROL JOINTS SHALL BE 3/8" WIDE BY 1 1/2" DEEP. SAWED JOINTS ARE PERMITTED.
- WALK SHALL HAVE A MINIMUM CROSS SLOPE OF 1.00%, MAXIMUM CROSS SLOPE OF 1.56%.
- WATER AND UTILITY BOXES IN THE WALK AREA SHALL BE ADJUSTED FLUSH WITH THE FINAL SURFACE.
- REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL DETAIL AT ALL BUILDING DOORS.

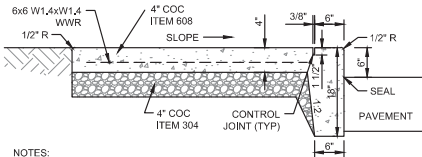
EXTERIOR CONCRETE
SLAB WALK DETAIL
N.T.S.



FLUSH CURB DETAIL
N.T.S.



BARRIER CURB DETAIL
N.T.S.



NOTES:

- INSTALL EXPANSION JOINTS AT 30' OC MAXIMUM AND WHERE SLAB ABUTS STRUCTURES. WHERE NEW WALK ABUTS ADJOINING WALK, SAWCUT EXISTING WALK TO NEAREST JOINT AND INSTALL EXPANSION JOINT. EXPANSION JOINTS SHALL BE 1/2" WIDE BY DEPTH OF SLAB. SEAL ALL EXPANSION JOINTS.
- INSTALL CONTROL JOINTS AT 6' OC MAXIMUM AND AT 6" BEHIND INTEGRAL CURB. CONTROL JOINTS SHALL BE 3/8" WIDE BY 1 1/2" DEEP. SAWED JOINTS ARE PERMITTED.
- WALK SHALL HAVE A MINIMUM CROSS SLOPE OF 1.00%, MAXIMUM CROSS SLOPE OF 1.56%.
- WATER AND UTILITY BOXES IN THE WALK AREA SHALL BE ADJUSTED FLUSH WITH THE FINAL SURFACE.
- REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL DETAIL AT ALL BUILDING DOORS.

EXTERIOR CONCRETE SLAB WALK
WITH INTEGRAL CURB DETAIL
N.T.S.



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DETAILS SHEET

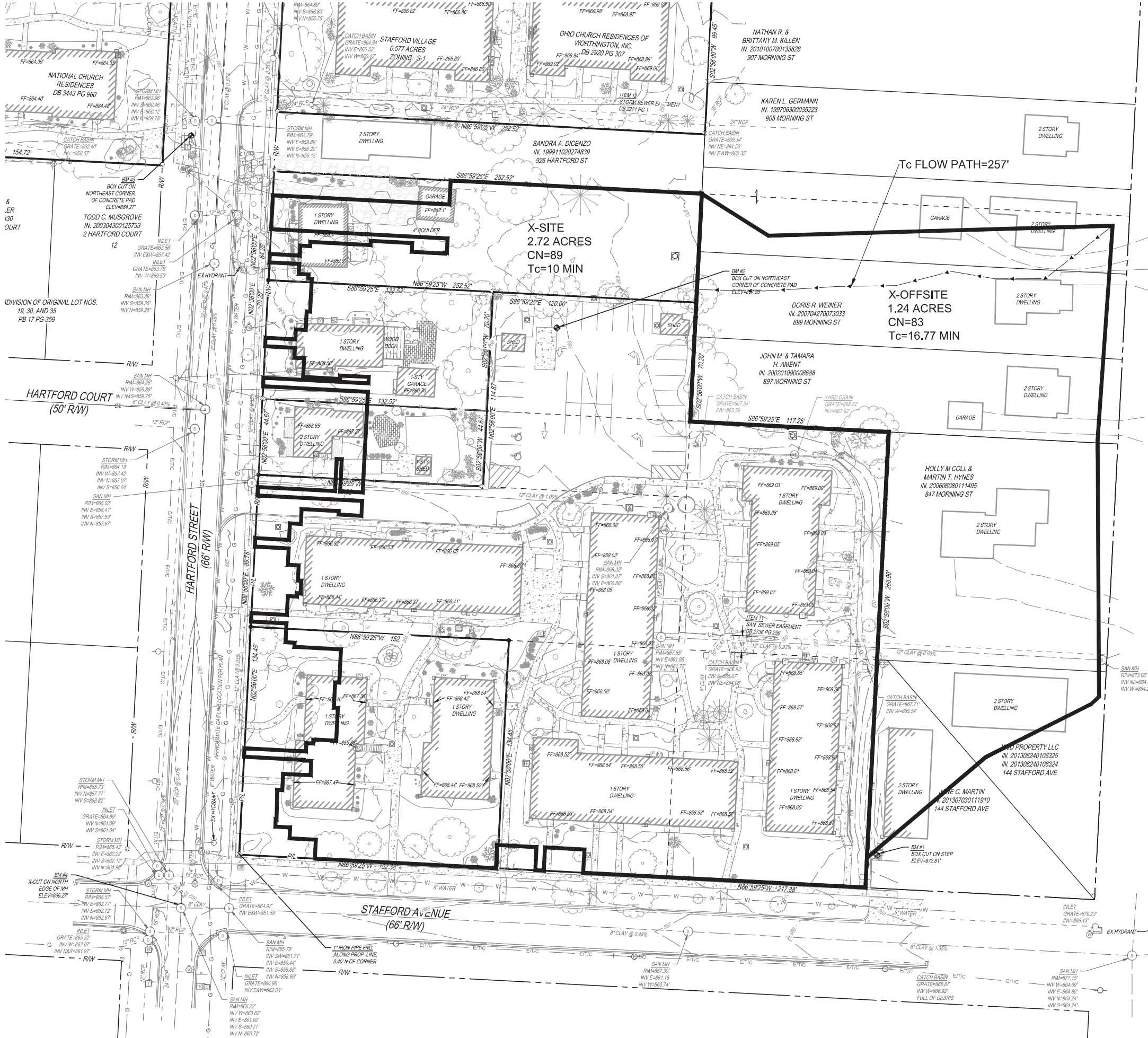
C-4

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THE
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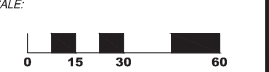
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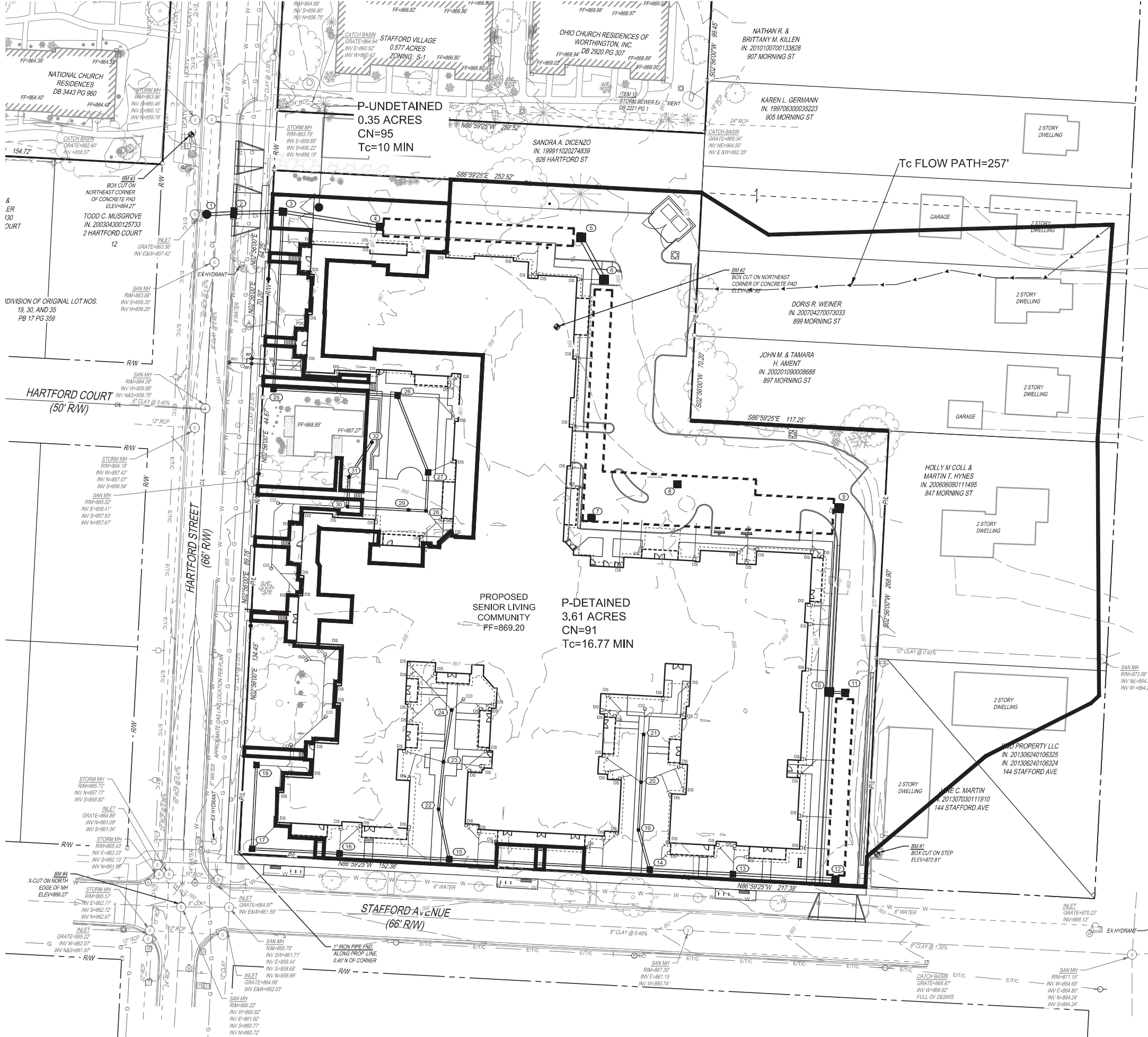
NCR STAFFORD
CITY OF WORTHINGTON, OHIO

PROJECT NO: 150491.004
DATE: 06/29/2020



SHEET NAME:
**PRE-DEVELOPED
DRAINAGE MAP**

SHEET NO.
C-5



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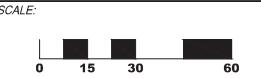
THE KLEINGERS GROUP
CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE
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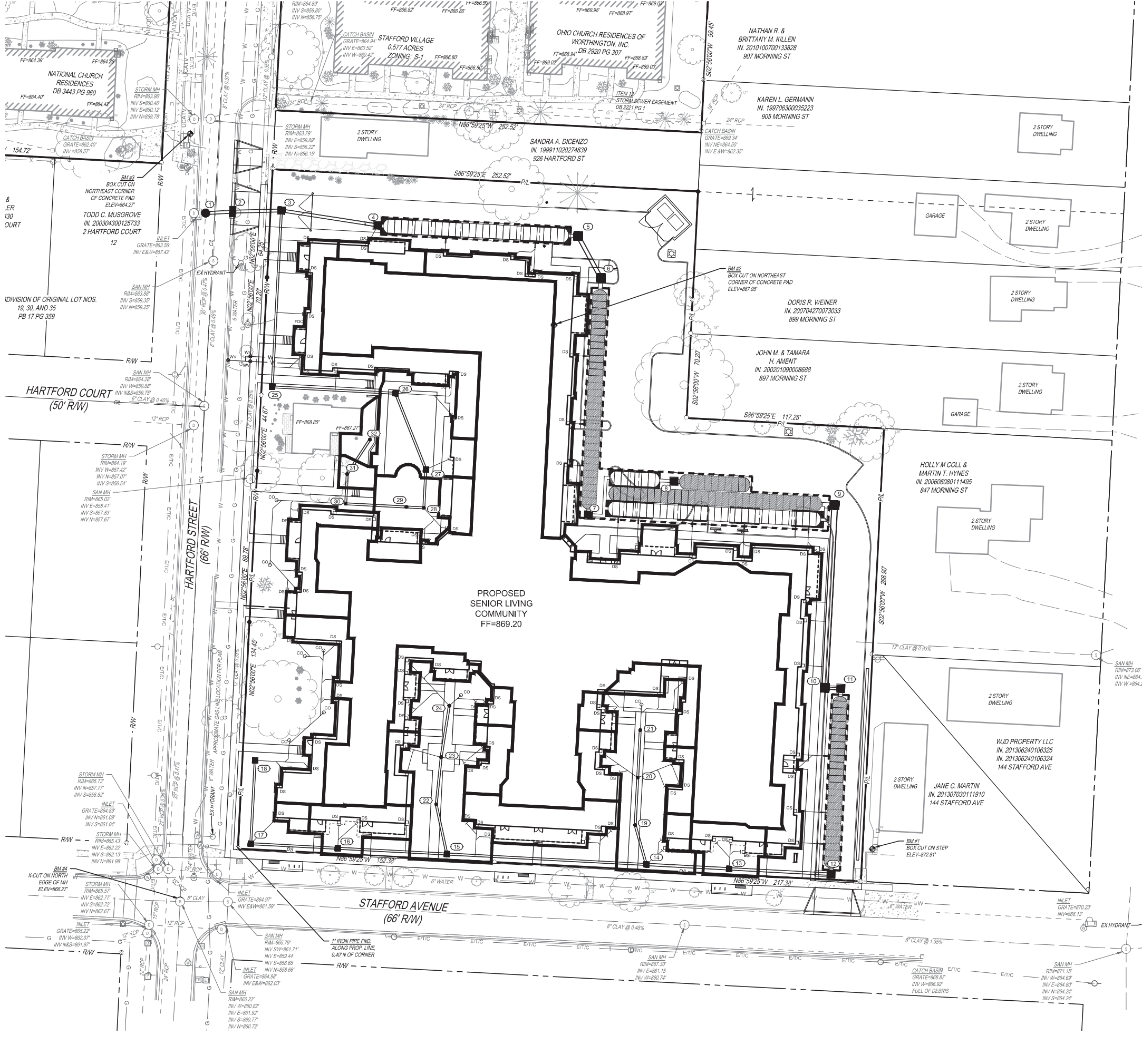
PROJECT NO: 150491.004
DATE: 06/29/2020



SHEET NAME:

POST-DEVELOPED DRAINAGE MAP

SHEET NO. C-6



LOCAL INLET INFORMATION			
INLET	AREA (AC)	C	TC (MIN)
32	0.01	0.53	10
31	0.01	0.50	10
30	0.04	0.94	10
29	0.03	0.94	10
28	0.03	0.94	10
27	0.07	0.66	10
26	0.04	0.94	10
25	0.02	0.94	10
24	0.13	0.70	10
23	0.03	0.94	10
22	0.00	0.00	10
21	0.12	0.72	10
20	0.03	0.94	10
19	0.00	0.00	10
18	0.04	0.99	10
17	0.01	0.94	10
16	0.03	0.81	10
15	0.05	0.94	10
14	0.01	0.94	10
13	0.03	0.74	10

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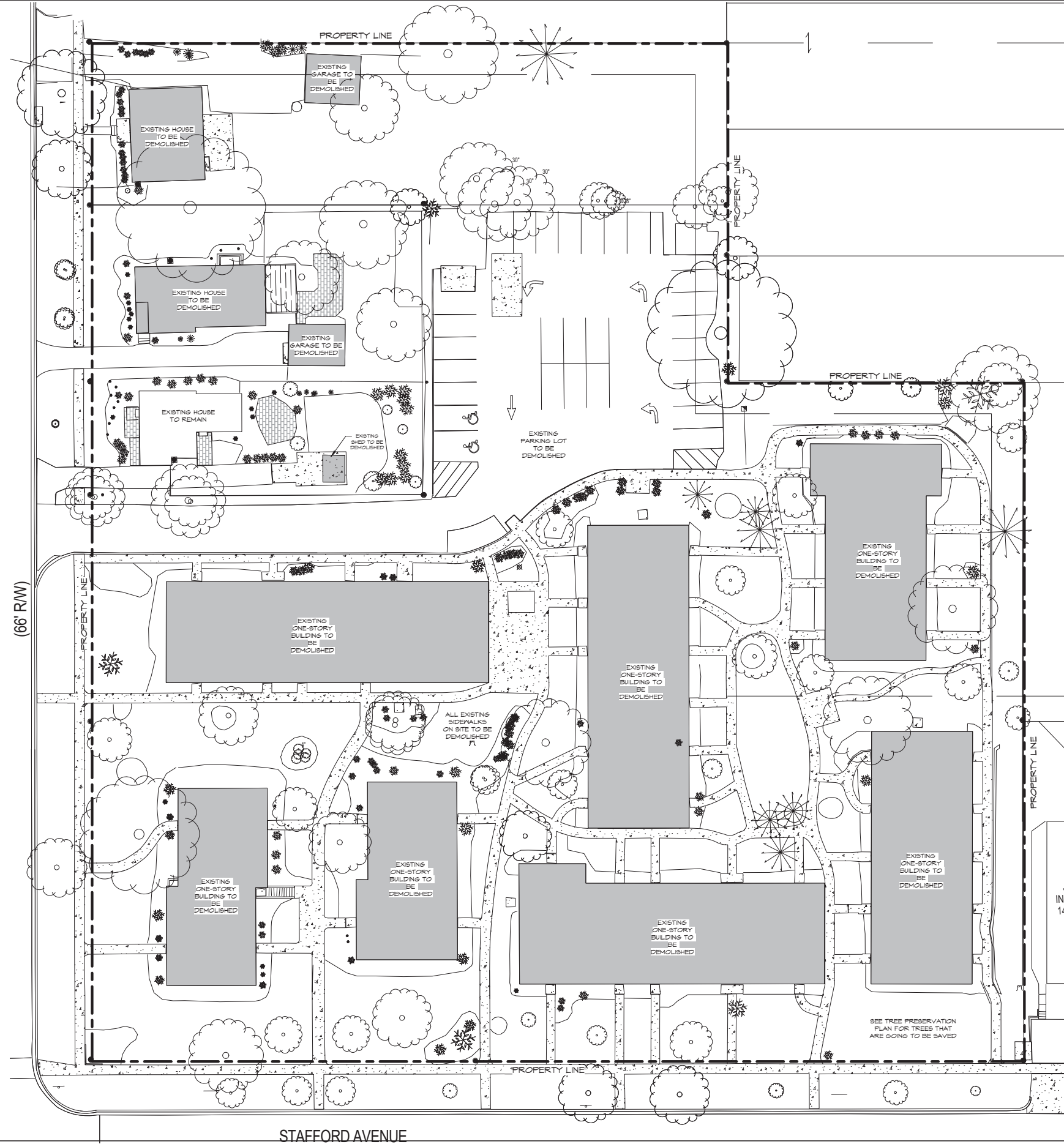
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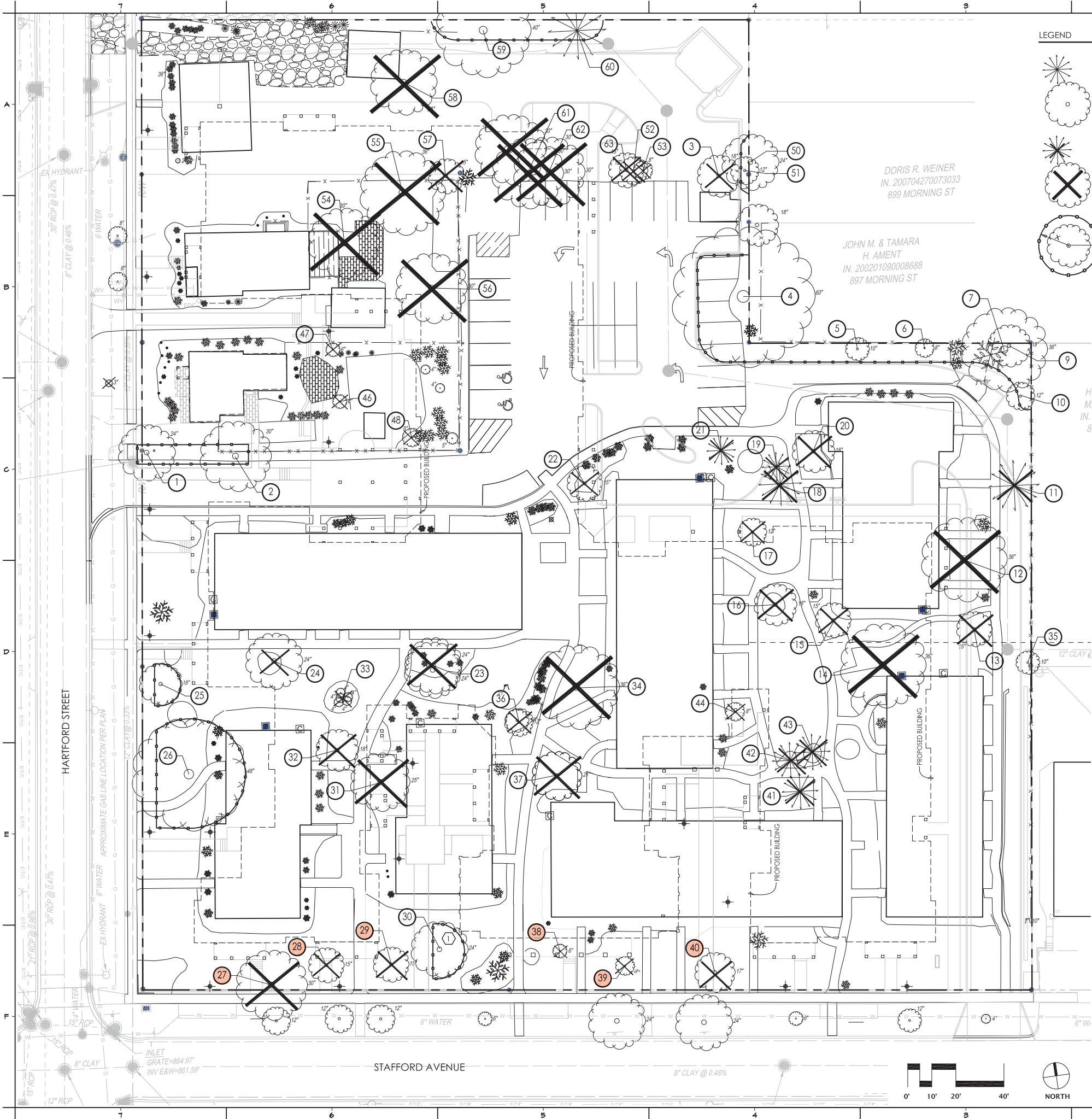
NCR STAFFORD
CITY OF WORTHINGTON, OHIO

PROJECT NO: 150491.004
DATE: 06/29/2020
SCALE:
0 15 30 60

SHEET NAME:
**LOCAL DRAINAGE
MAP**

SHEET NO:
C-7





LEGEND

- EXISTING TREES TO BE PRESERVED
- EXISTING TREES TO BE REMOVED
- TREE PROTECTION FENCE
- TREE TO BE PROTECTED
- X = 1" PER CALIPER INCH (DBH) UNLESS NOTED OTHERWISE

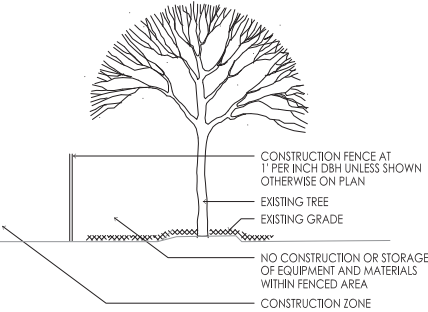
- GENERAL NOTES
- ALL TREES IN THE CONSTRUCTION AREA NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PRESERVED. TREES TO BE PRESERVED SHALL BE PROTECTED WITH HIGH VISIBILITY TREE PROTECTION FENCE AS SHOWN ON PLAN.
 - ONLY TREES 6" CAL. (DBH) AND LARGER WITHIN DEVELOPMENT LIMITS NOTED ON THESE PLANS.
 - PROTECTION FENCING OR BARRIER SHALL REMAIN THROUGHOUT CONSTRUCTION AND ANY SUBSEQUENT GRADING OR EXCAVATION UNLESS OTHERWISE APPROVED ON A CLEARING AND GRADING PLAN. IN NO CASE SHALL MATERIALS, DEBRIS, FILL, VEHICLES OR EQUIPMENT BE STORED WITHIN THIS ENCLOSURE.

- CONSTRUCTION NOTES:
- TRIM BRANCH EXTENDING NORTH ENCRANCHING ON PROPOSED BUILDING LIMITS. REVIEW WITH OWNER'S REP PRIOR TO BEGINNING WORK.

NOTE:
ADDITIONAL TREES HAVE BEEN ADDED TO THE REMOVAL COUNT DUE TO SITE CONSTRAINTS AND PROXIMITY TO PROPOSED UTILITY WORK. THE AREA OF WORK IS BETWEEN THE NEW BUILDING AND THE STAFFORD R.O.W.
ADDITIONAL REMOVED TREES ARE AS FOLLOWS:
27, 28, 29, 39, 40

TREE INVENTORY SCHEDULE

TAG #	COMMON NAME	DBH	CONDITION	REMOVED	PRESERVED
27	SILVER MAPLE	14", 10", 15"	POOR	15"	
28	BRADFORD PEAR	20"	FAIR	20"	
29	BRADFORD PEAR	18"	FAIR	18"	
39	FLOWERING PEAR	10"	FAIR	10"	
40	SCOTCH PINE	20"	GOOD	20"	



1 TREE PROTECTION FENCE
NTS

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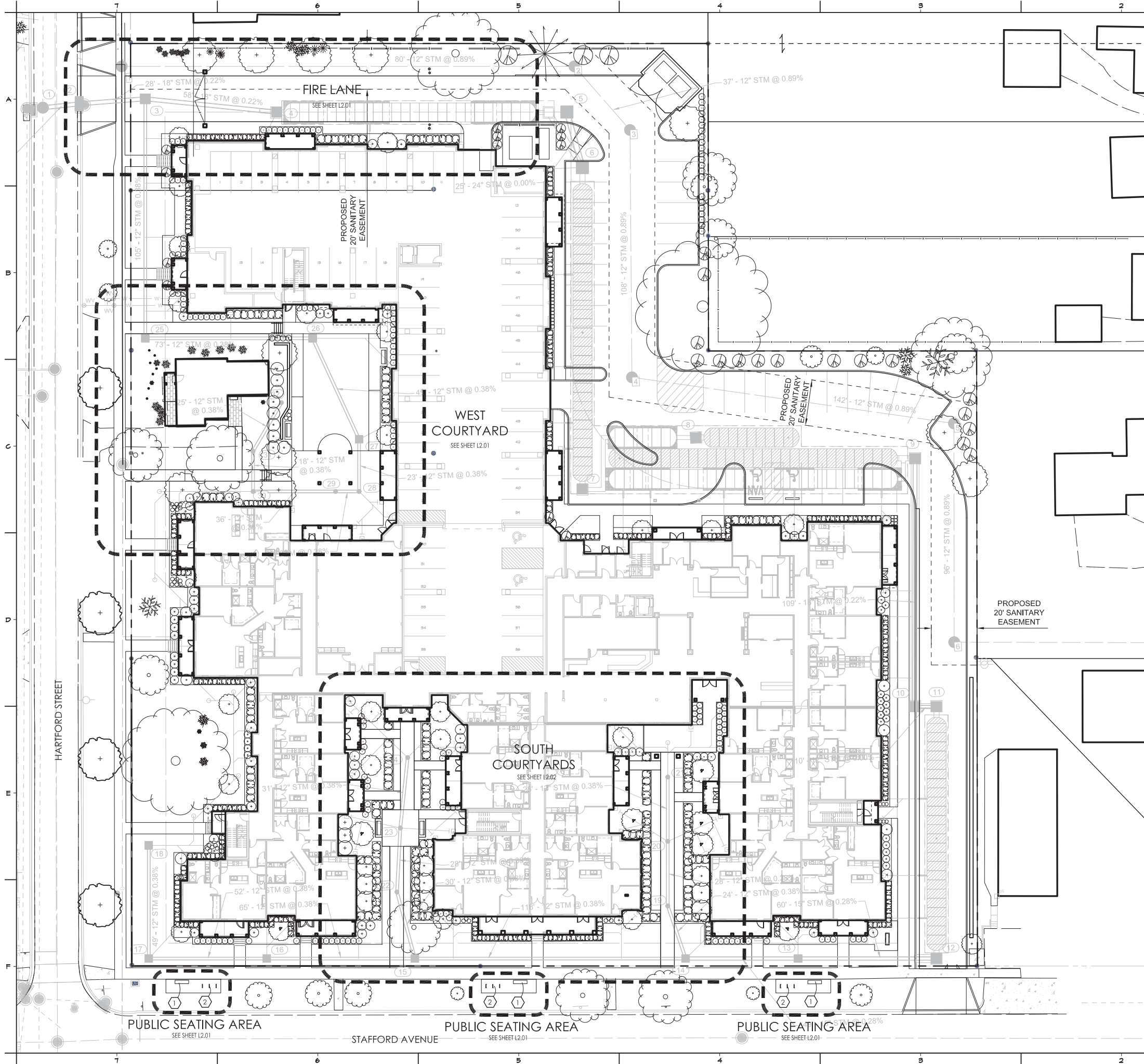
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TREE
PRESERVATION
PLAN

C-9



GENERAL LANDSCAPE NOTES:

1. EACH CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
2. EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
3. CONTRACTOR RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR TO THE SATISFACTION OF THE OWNER.
4. ALL PLANT MASSES TO BE CONTAINED WITHIN 3" DEEP HARDWOOD BARK MULCH BED.
5. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS.
6. FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
7. CONTRACTOR SHALL SEED OR SOD ALL AREAS DISTURBED DURING CONSTRUCTION. SEE PLAN.
8. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
9. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.

CONSTRUCTION NOTES:

1. BENCH (TYP. OF 3) - SEE DETAIL #6/ L2.03
2. BIKE RACK (TYP. OF 9) - SEE DETAIL #7/ L2.03

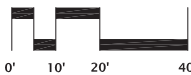
NOTE:
1. FOR ALL PROPOSED SCREEN FENCING SEE PLAN L3.01 AND DETAILS L3.04

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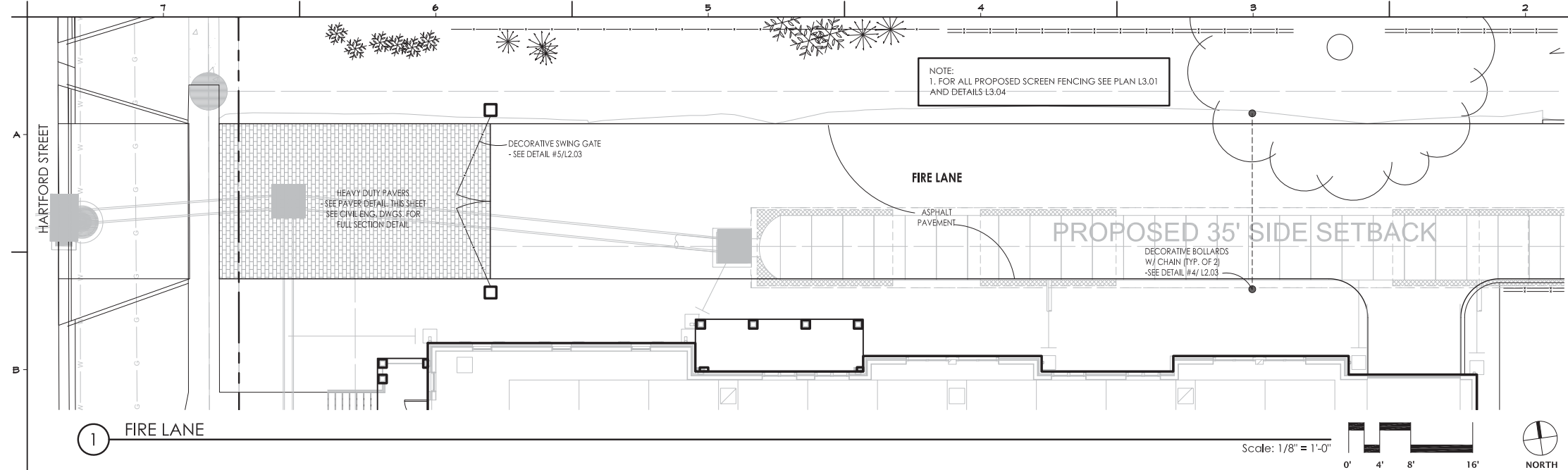
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KEY
PLAN

C-10



- GENERAL NOTES
1. ALL DIMENSIONS USING CURBS, BUILDING WALLS OR PAVEMENT AS A REFERENCE ARE FROM FACE OF CURB, FINISHED FACE OF BUILDING, FINISHED FACE OF WALL OR EDGE OF PAVEMENT, UNLESS NOTED OTHERWISE.
 2. EACH CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES.
 3. EACH CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY IF A DISCREPANCY IS FOUND BETWEEN THE DIMENSION GIVEN AND ACTUAL DIMENSIONS IN THE FIELD, PRIOR TO CONSTRUCTION.
 4. ALL LAYOUT TO BE BY A REGISTERED SURVEYOR OR ENGINEER, THE OWNER'S REPRESENTATIVE WILL REVIEW THE LAYOUT FOR GENERAL CONFORMANCE PRIOR TO CONSTRUCTION.
 5. WORK SHOWN IS BASED ON A SURVEY PROVIDED BY: THE KLEINGERS GROUP.
 6. EXTERIOR PAVEMENT ELEVATIONS AT ALL ENTRANCES TO BUILDING ARE TO BE FLUSH WITH THE FINISHED FLOOR ELEVATION OF THE BUILDING.

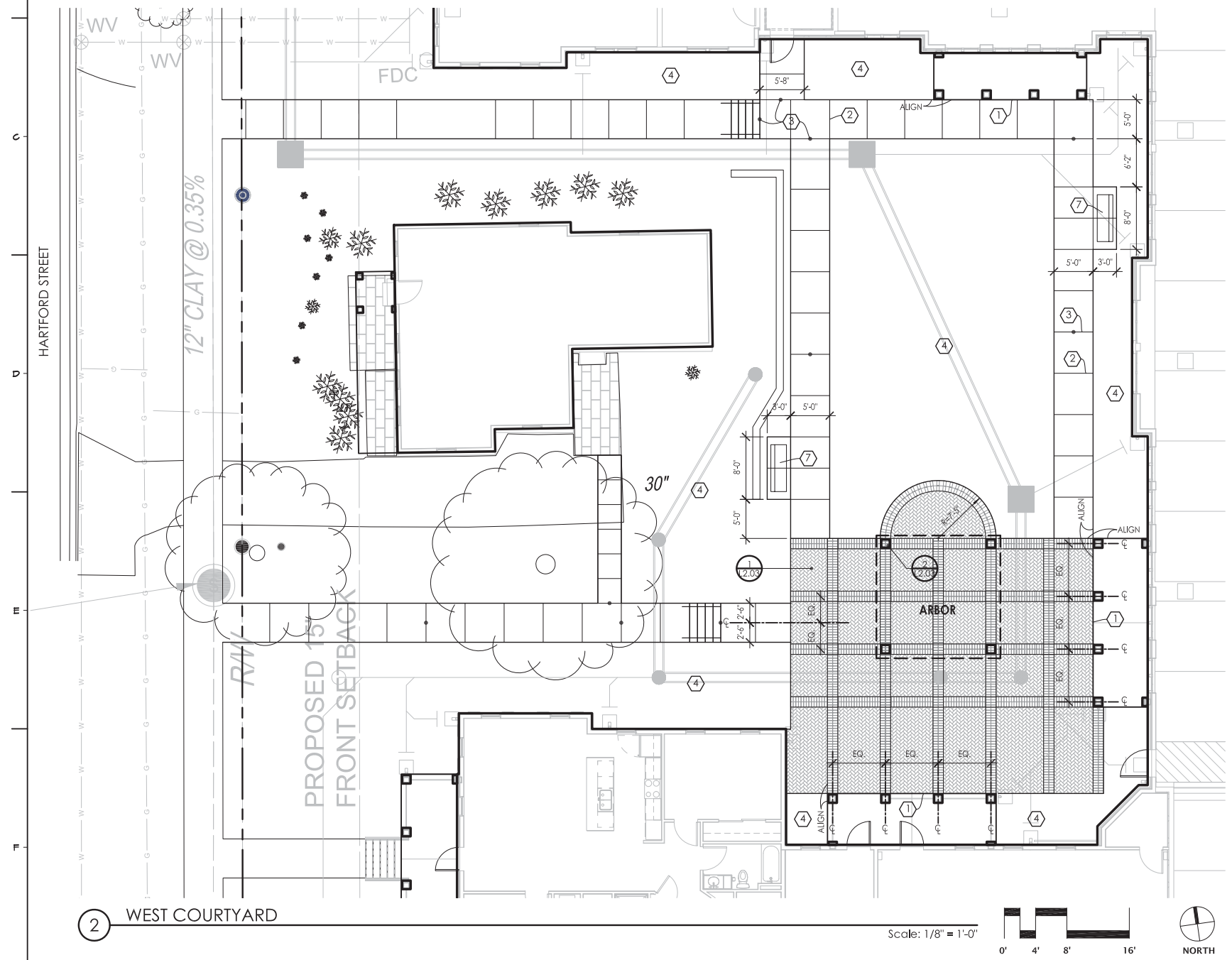
- CONSTRUCTION NOTES:
- ① PAVEMENTS TO MEET FLUSH.
 - ② TYPICAL CONTROL JOINT.
 - ③ TYPICAL EXPANSION JOINT.
 - ④ LAWN/ LANDSCAPE AREA - SEE PLANTING PLANS.
 - ⑤ 6' BENCH (TYP. OF 3) - SEE DETAIL #6/ L2.03
 - ⑥ BIKE RACK (TYP. OF 9) - SEE DETAIL #7/ L2.03
 - ⑦ 6' BENCH - STYLE TBD

PAVEMENT LEGEND

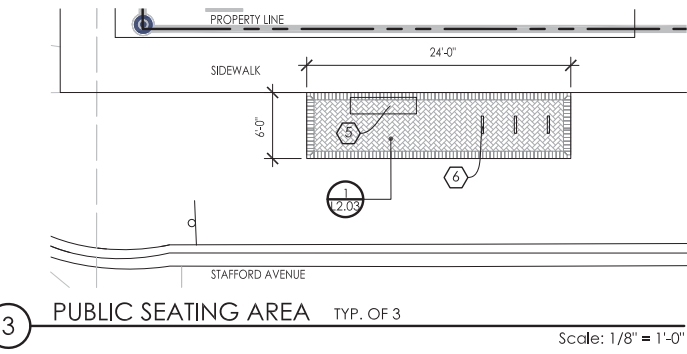
- CONTROL JOINT
- EXPANSION JOINT
- CONCRETE PAVEMENT
- BRICK PAVERS - FIELD 45° HARRINGBONE
- BRICK PAVERS - BAND 2 ROW STACK BOND

HEAVY DUTY PAVERS - FIRE LANE ONLY

COBBELSTONE STYLE PAVERS AS MANUFACTURED BY: UNILOCK
STYLE: COURSTONE
SIZE: 2-3/8" THICK, RANDOM SIZES 5"x5" TO 5"x8-1/2"
PAVER COLOR: PEBBLE TAUPE
JOINTING COLOR: TAN SAND (POLYMERIC SAND)



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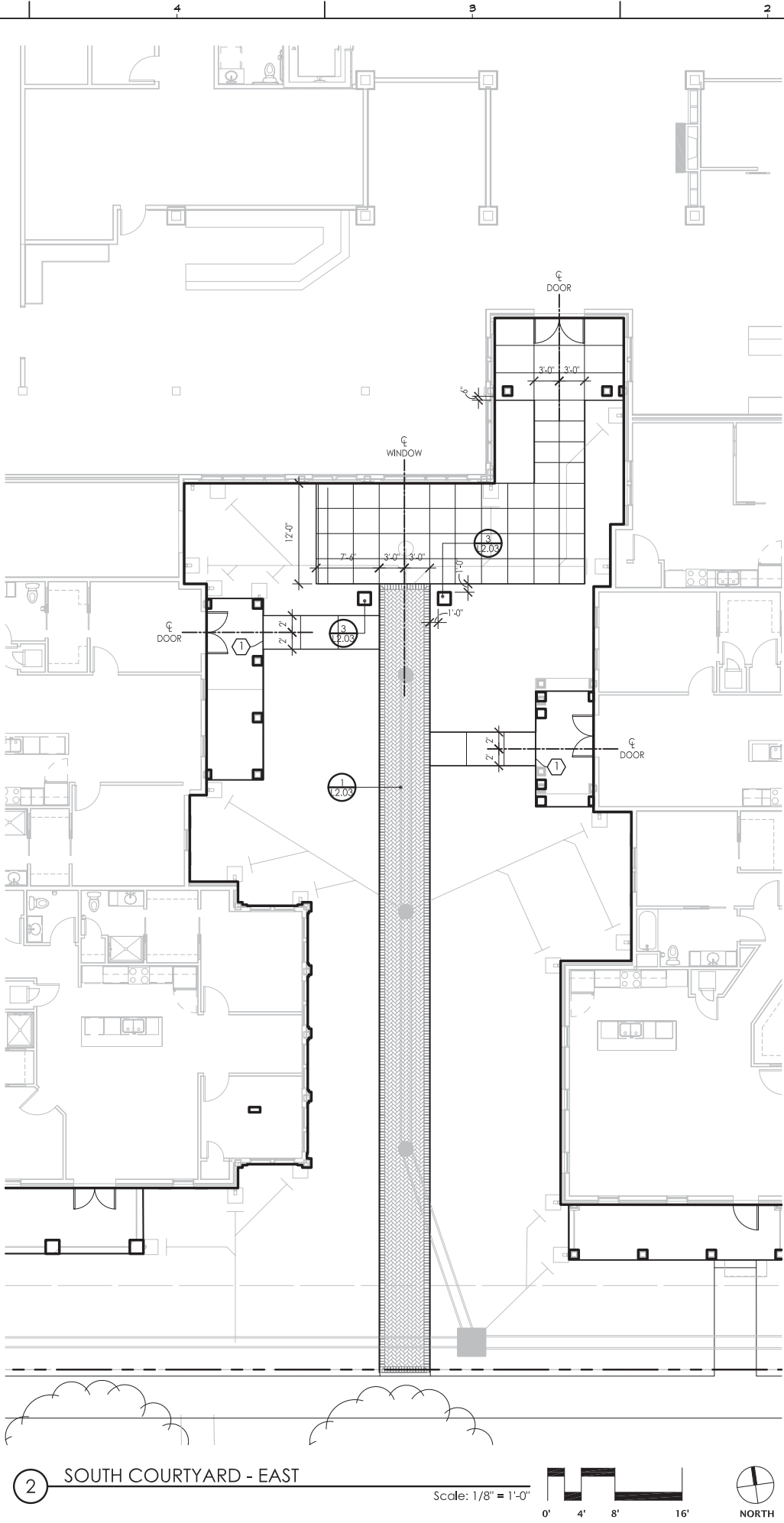
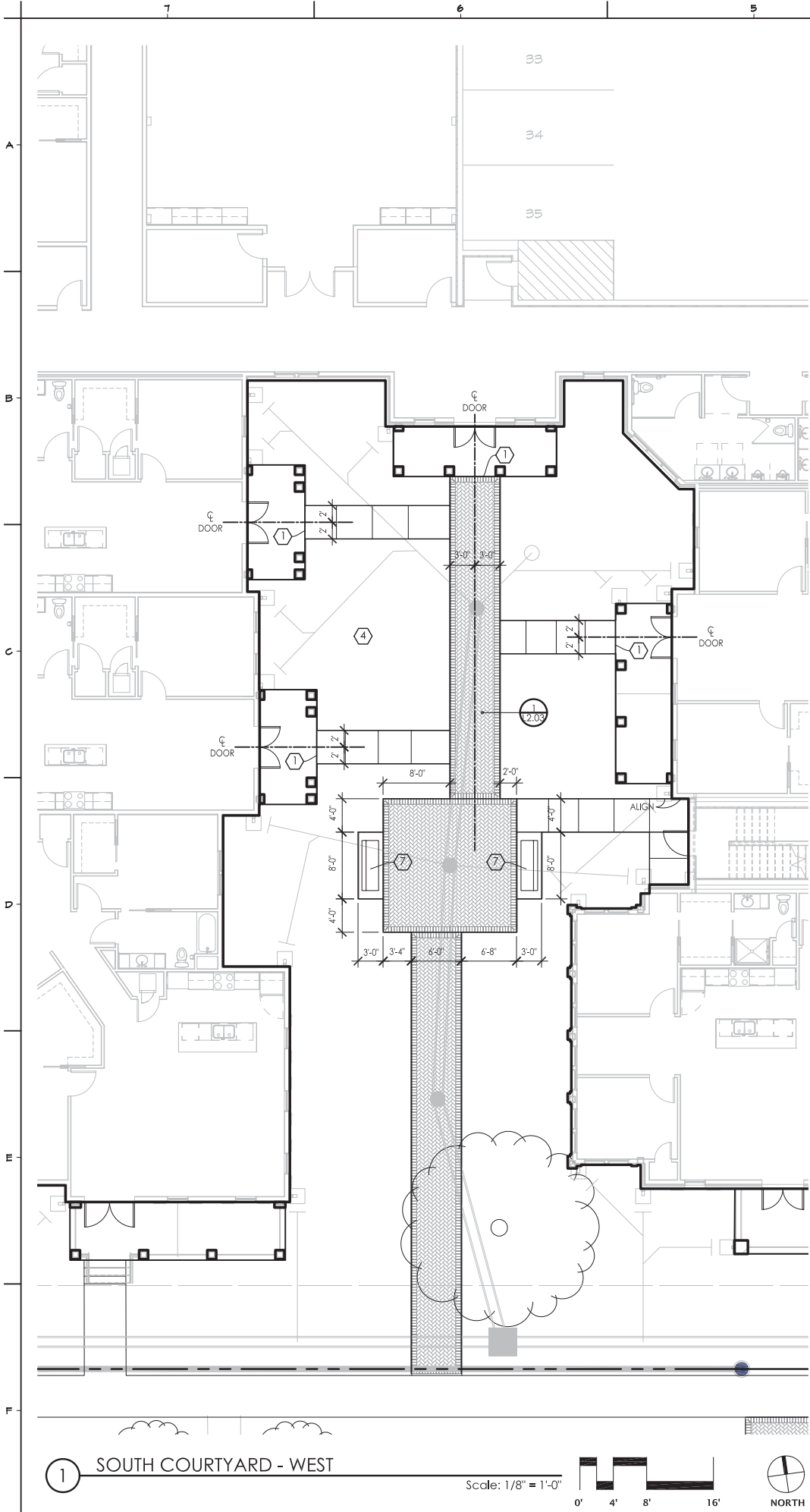
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WEST COURTYARD
LAYOUT PLAN

C-11



- GENERAL NOTES
1. ALL DIMENSIONS USING CURBS, BUILDING WALLS OR PAVEMENT AS A REFERENCE ARE FROM FACE OF CURB, FINISHED FACE OF BUILDING, FINISHED FACE OF WALL OR EDGE OF PAVEMENT, UNLESS NOTED OTHERWISE.
 2. EACH CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES.
 3. EACH CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY IF A DISCREPANCY IS FOUND BETWEEN THE DIMENSION GIVEN AND ACTUAL DIMENSIONS IN THE FIELD, PRIOR TO CONSTRUCTION.
 4. ALL LAYOUT TO BE BY A REGISTERED SURVEYOR OR ENGINEER, THE OWNER'S REPRESENTATIVE WILL REVIEW THE LAYOUT FOR GENERAL CONFORMANCE PRIOR TO CONSTRUCTION.
 5. WORK SHOWN IS BASED ON A SURVEY PROVIDED BY: THE KLEINGERS GROUP.
 6. EXTERIOR PAVEMENT ELEVATIONS AT ALL ENTRANCES TO BUILDING ARE TO BE FLUSH WITH THE FINISHED FLOOR ELEVATION OF THE BUILDING.

- CONSTRUCTION NOTES:
- 1 PAVEMENTS TO MEET FLUSH.
 - 2 TYPICAL CONTROL JOINT.
 - 3 TYPICAL EXPANSION JOINT.
 - 4 LAWN/ LANDSCAPE AREA - SEE PLANTING PLANS.
 - 5 6' BENCH (TYP. OF 3) - SEE DETAIL #6/ L2.03
 - 6 NOT USED
 - 7 6' BENCH - STYLE TBD

- PAVEMENT LEGEND
- CONTROL JOINT
 - EXPANSION JOINT
 - CONCRETE PAVEMENT
 - BRICK PAVERS - FIELD 45° HARRINGBONE
 - BRICK PAVERS - BAND 2 ROW STACK BOND

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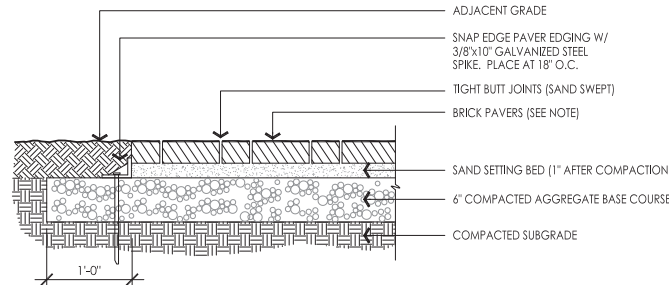
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LAYOUT
PLAN

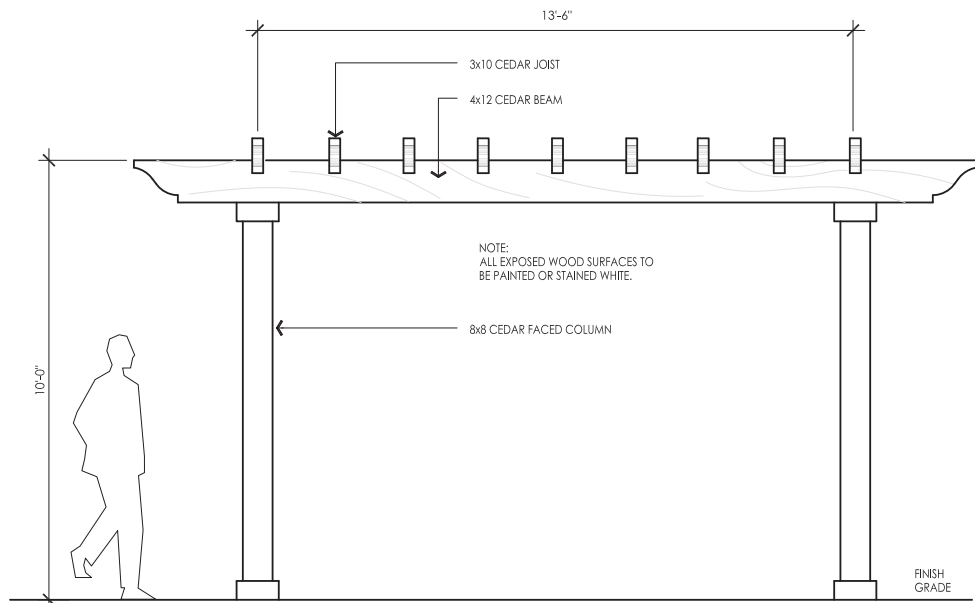
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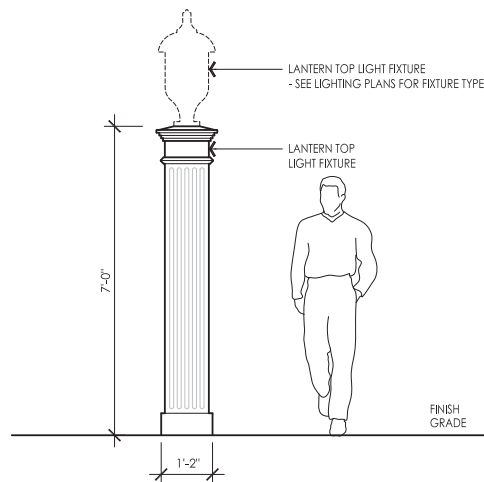
- NOTES:
- SEE PLAN FOR PATTERN
 - PAVERS AS MANUFACTURED BY:
THE BELDEN BRICK COMPANY
SIZE: 2-1/4" THICK, 4x8
COLOR: BELCREST 530
 - INSTALL ALUMINUM EDGING PER
MANUFACTURERS RECOMMENDATIONS.



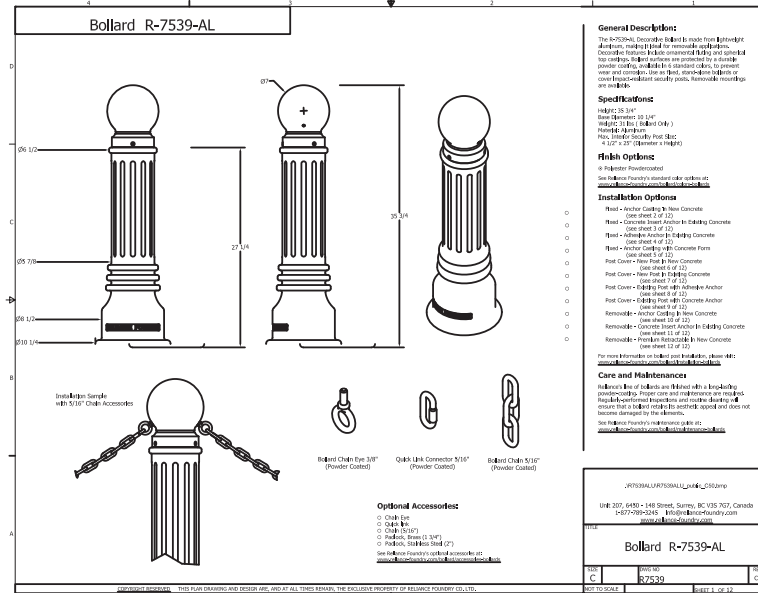
1 BRICK PAVERS
NTS



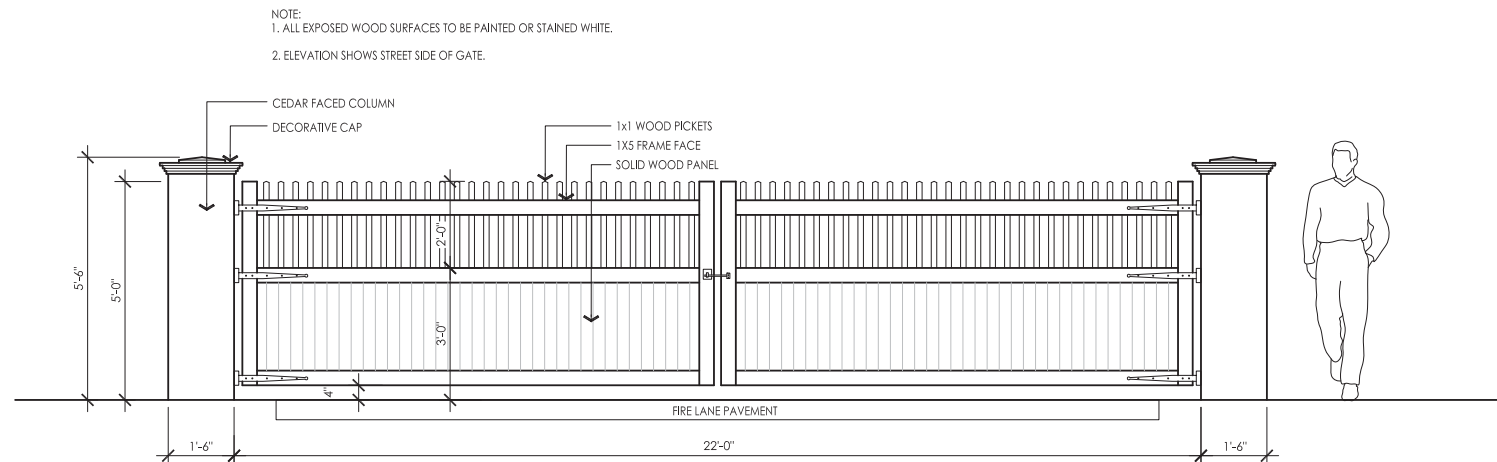
2 ARBOR
NTS



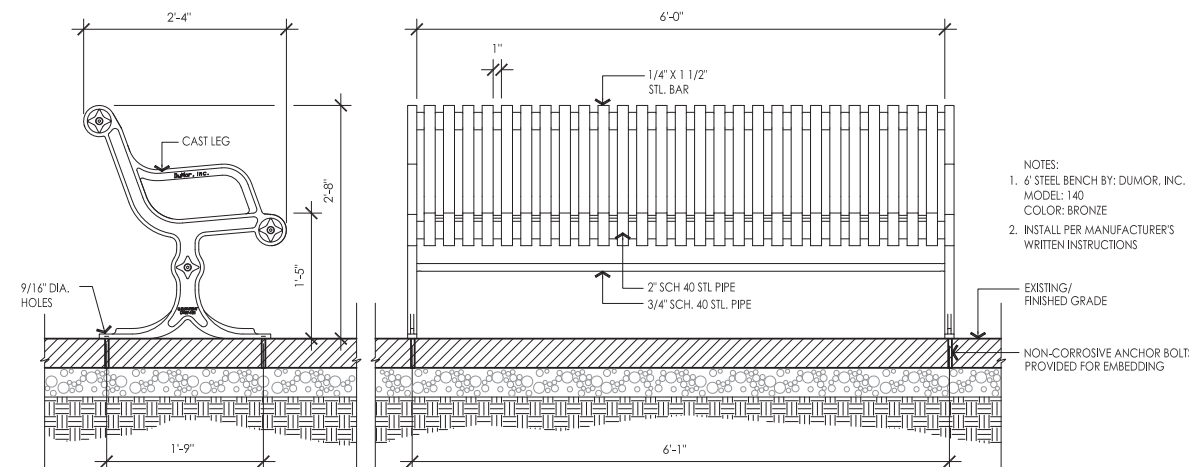
3 LANTERN POST
NTS



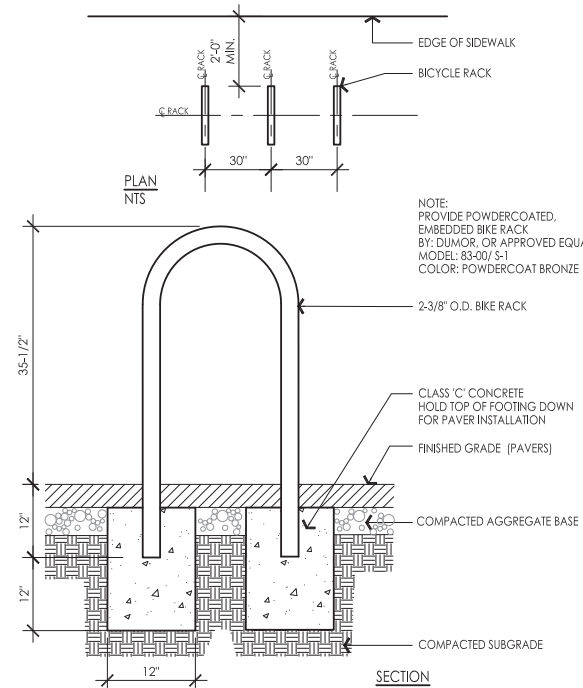
4 DECORATIVE BOLLARD W/ CHAIN
NTS



5 DECORATIVE SWING GATE - FIRE LANE
NTS



6 BENCH
NTS



7 BIKE RACK
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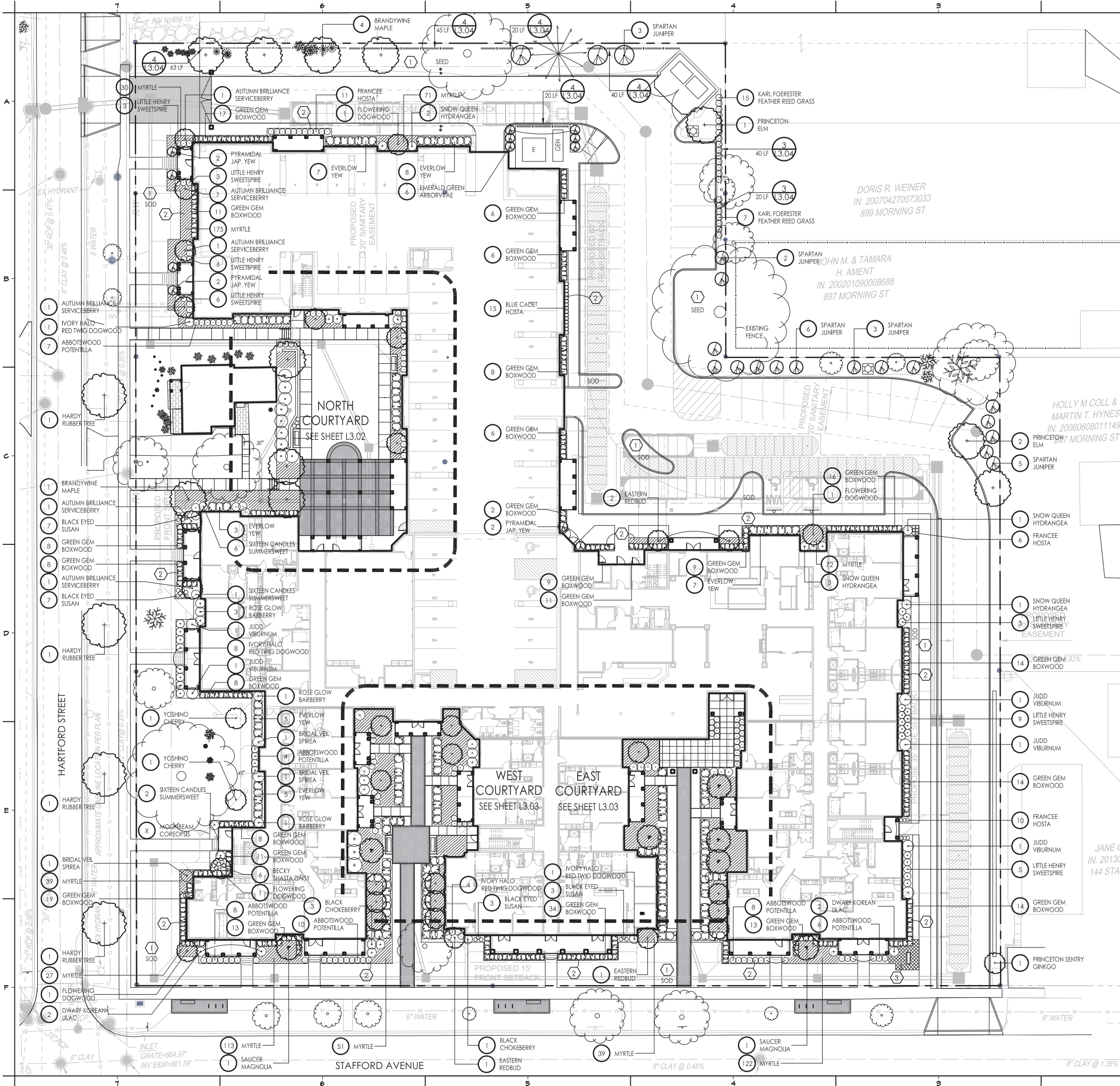
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SITE
DETAILS

C-13



GENERAL LANDSCAPE NOTES:

- 1. EACH CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
- 2. EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
- 3. CONTRACTOR RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR TO THE SATISFACTION OF THE OWNER.
- 4. ALL PLANT MASSES TO BE CONTAINED WITHIN 3" DEEP HARDWOOD BARK MULCH BED.
- 5. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS.
- 6. FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
- 7. CONTRACTOR SHALL SEED OR SOD ALL AREAS DISTURBED DURING CONSTRUCTION. SEE PLAN. ALL AREA BETWEEN BUILDING AND CURB TO BE SOD. ALL REMAINING AREA ON NORTH AND EAST SIDE OF DRIVE & FIRE LANE TO BE SEED.
- 8. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
- 9. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.

CONSTRUCTION NOTES:

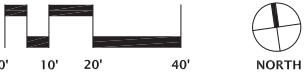
- 1. LAWN AREA. SCARIFY SUBGRADE AND REMOVE STONE. ADD TOPSOIL AT 6" (MIN.) DEPTH. TOPSOIL TO BE FLUSH WITH ADJACENT PAVED SURFACES. SEED OR SOD AS INDICATED.
- 2. LANDSCAPE AREA. REMOVE SUBGRADE AND/ OR STONE TO 18" DEPTH. SCARIFY SUBGRADE AND FILL WITH TOPSOIL AT 18" (MIN.) DEPTH. PLANT AS INDICATED AND MULCH ENTIRE AREA WITH HARDWOOD BARK MULCH AT 3" MIN. DEPTH.
- 3. ANNUAL FLOWERS

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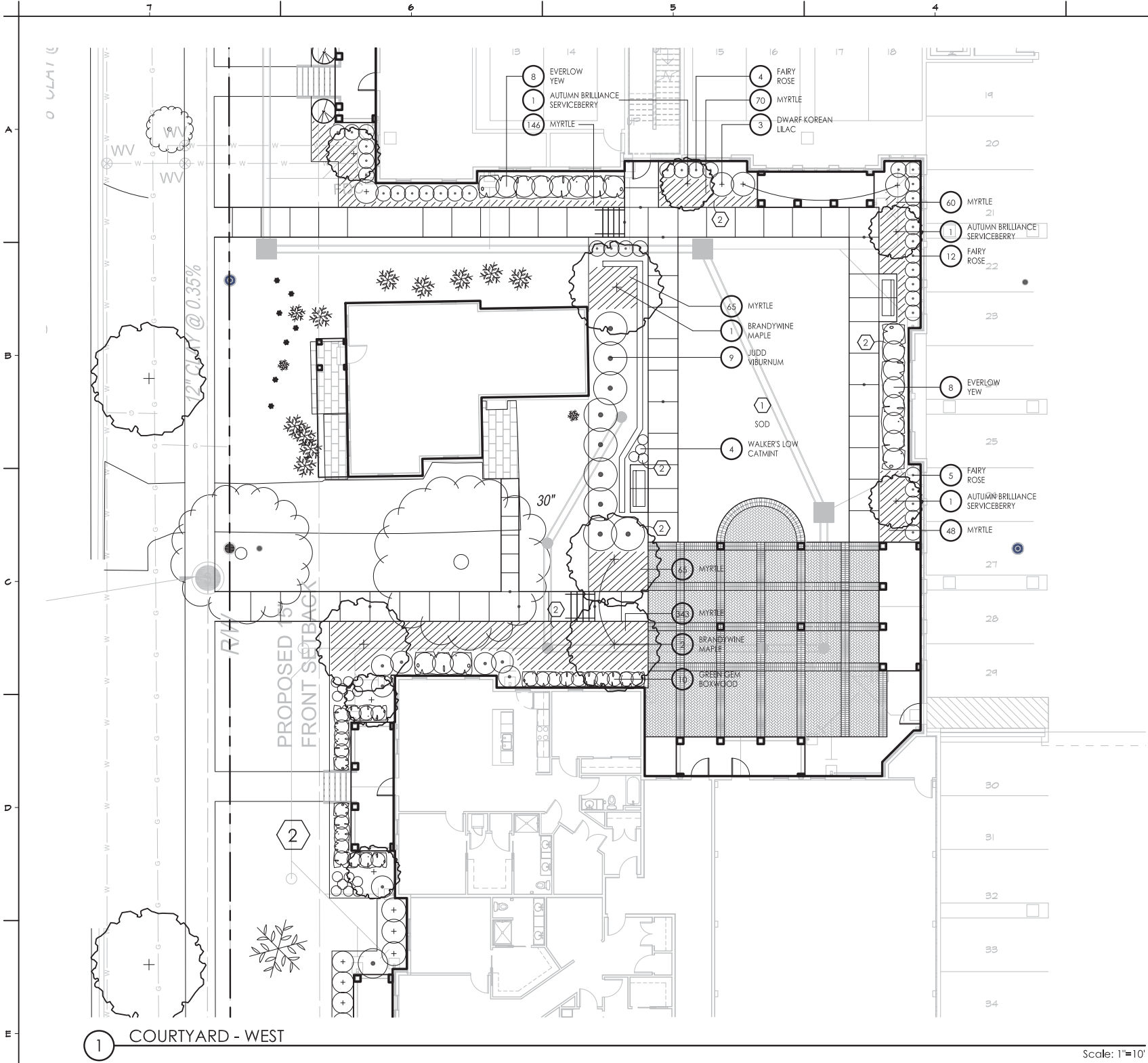
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PLANTING
PLAN

C-14



GENERAL LANDSCAPE NOTES:

1. EACH CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES. WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
2. EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
3. CONTRACTOR RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR TO THE SATISFACTION OF THE OWNER.
4. ALL PLANT MASSES TO BE CONTAINED WITHIN 3" DEEP HARDWOOD BARK MULCH BED.
5. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS.
6. FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
7. CONTRACTOR SHALL SEED OR SOD ALL AREAS DISTURBED DURING CONSTRUCTION. SEE PLAN.
8. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
9. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.

CONSTRUCTION NOTES:

1. LAWN AREA. SCARIFY SUBGRADE AND REMOVE STONE. ADD TOPSOIL AT 6" (MIN.) DEPTH. TOPSOIL TO BE FLUSH WITH ADJACENT PAVED SURFACES. SEED OR SOD AS INDICATED.
2. LANDSCAPE AREA. REMOVE SUBGRADE AND/ OR STONE TO 18" DEPTH. SCARIFY SUBGRADE AND FILL WITH TOPSOIL AT 18" (MIN.) DEPTH. PLANT AS INDICATED AND MULCH ENTIRE AREA WITH HARDWOOD BARK MULCH AT 3" MIN. DEPTH.



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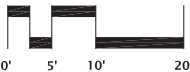
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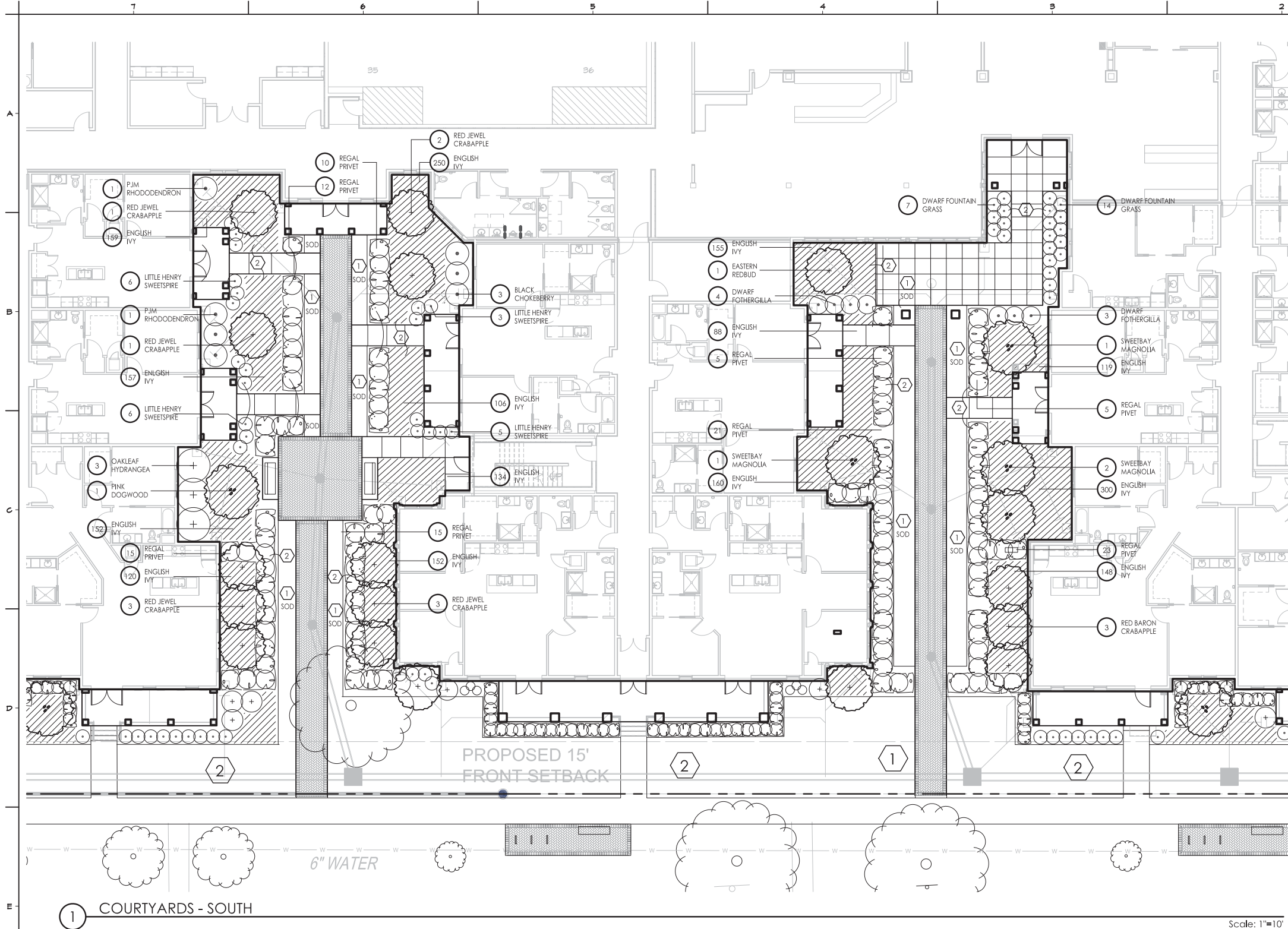
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PLANTING
PLAN

C-15

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GENERAL LANDSCAPE NOTES:

1. EACH CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES. WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
2. EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
3. CONTRACTOR RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR TO THE SATISFACTION OF THE OWNER.
4. ALL PLANT MASSES TO BE CONTAINED WITHIN 3" DEEP HARDWOOD BARK MULCH BED.
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CONSTRUCTION NOTES:

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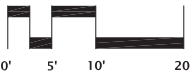
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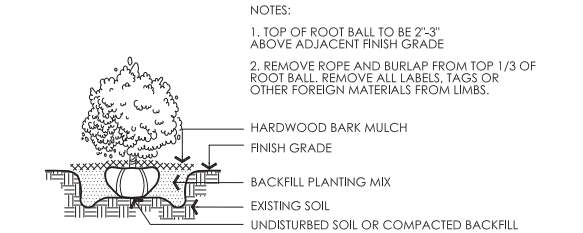
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PLANTING
PLAN

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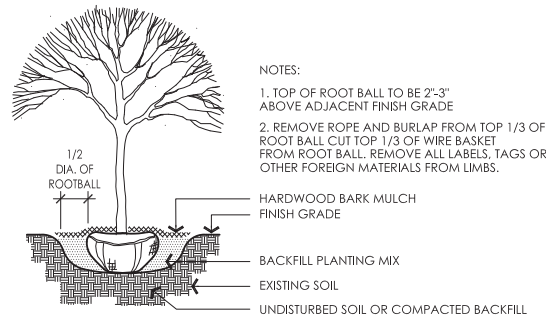
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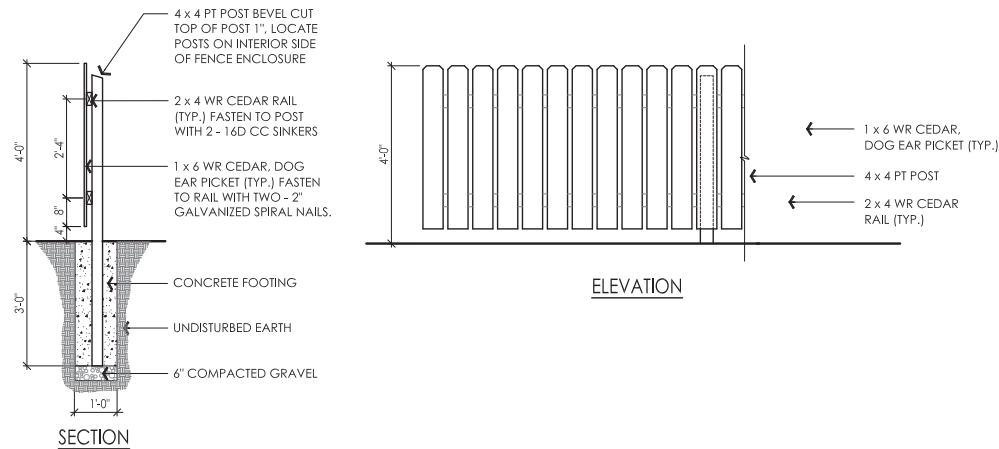
1 SHRUB PLANTING DETAIL

NTS



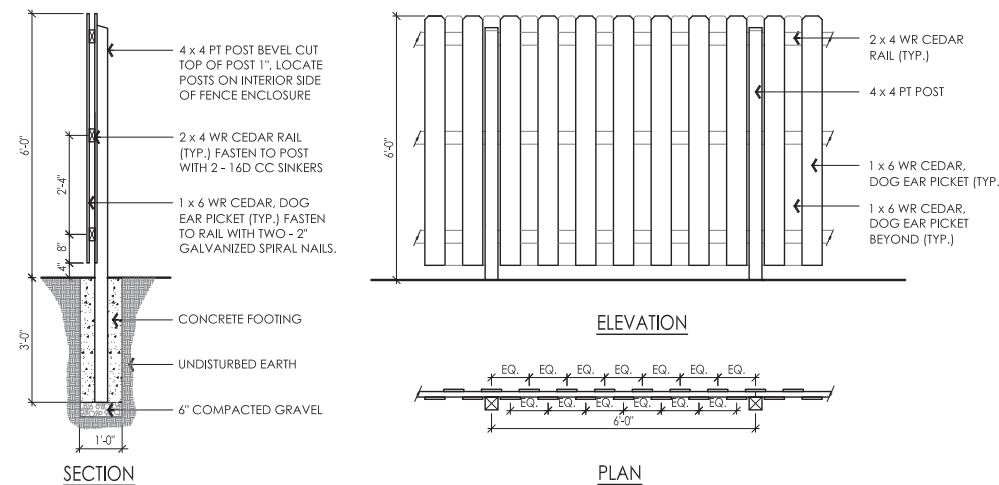
2 DECID. TREE PLANTING DETAIL

NTS



3 4' WOOD FENCE

NTS



4 6' WOOD FENCE

NTS

PLANT MATERIALS LIST

NOTE: CONTRACTOR RESPONSIBLE FOR PLANT QUANTITIES SHOWN ON PLAN.

QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
SHADE TREES					
4	HARDY RUBBER TREE	Eucommia ulmoides	2 1/2" Cal.	B&B	White Flowering, Single Stem
8	BRANDYWINE MAPLE	Acer rubrum 'Brandywine'	2 1/2" Cal.	B&B	
3	PRINCETON ELM	Ulmus americana 'Princeton'	2 1/2" Cal.	B&B	
1	PRINCETON SENTRY GINKGO	Ginkgo biloba 'Princeton Sentry'	2 1/2" Cal.	B&B	
ORNAMENTAL TREES					
6	FLOWERING DOGWOOD	Cornus florida var. rubra	2" Cal.	B&B	Pink Flowering, Single Stem
2	YOSHINO CHERRY	Prunus x yedoensis	2" Cal.	B&B	
2	SAUCER MAGNOLIA	Magnolia x soulangeana	8' - 10' Hgt.	B&B	Multi-Stem
4	SWEETBAY MAGNOLIA	Magnolia virginiana	8' - 10' Hgt.	B&B	Multi-Stem
9	AUTUMN BRILLIANCE SERVICEBERRY	Amelanchier grandiflora 'Autumn Brilliance'	6' - 7' Hgt.	B&B	Multi-Stem
5	EASTERN REDBUD	Cercis canadensis	2" Cal.	B&B	
3	RED BARON CRABAPPLE	Malus 'Red Baron'	2" Cal.	B&B	
10	RED JEWEL CRABAPPLE	Malus 'Red Jewel'	2" Cal.	B&B	
EVERGREEN TREES					
20	SPARTAN JUNIPER	Juniperus chinensis 'Spartan'	8' - 10' Hgt.	Cont.	
SHRUBS					
297	GREEN GEM BOXWOOD	Buxus 'Green Gem'	18" Hgt.	Cont.	
51	EVERLOW YEW	Taxus x media 'Everlow'	18" Hgt.	Cont.	
5	DWARF KOREAN LILAC	Syringa meyeri 'Palibin'	24"-30" Hgt.	Cont.	
16	JUDD VIBURNUM	Viburnum x juddii	30"-36" Hgt.	B&B	
6	PYRAMIDAL JAPANESE YEW	Taxus cuspidata 'Capitata'	18" Hgt.	Cont.	
11	SNOW QUEEN OAKLEAF HYDRANGEA	Hydrangea quercifolia 'Snow Queen'	24"-30" Hgt.	Cont.	
3	BRIDAL WREATH SPIREA	Spiraea prunifolia	30"-36" Hgt.	B&B	
106	REGAL PRIVET	Ligustrum obtusifolium 'Regel'	18" Hgt.	Cont.	
21	FAIRY ROSE	Rosa 'The Fairy'	24"-30" Hgt.	Cont.	
2	PJM RHODODENDRON	Rhododendron 'P.J.M.'	30"-36" Hgt.	B&B	
1	ENDLESS SUMMER HYDRANGEA	Hydrangea macrophylla 'Endless Summer'	18" Hgt.	Cont.	
14	IVORY HALO DOGWOOD	Cornus alba 'Ballhalo'	24"-30" Hgt.	Cont.	
5	ROSE GLOW BARBERRY	Berberis thunbergii 'Rose Glow'	30"-36" Hgt.	B&B	
43	ABBOTSWOOD POTENTILLA	Potentilla fruticosa 'Abbotswood'	30"-36" Hgt.	B&B	
9	SIXTEEN CANDLES SUMMERSWEET	Clethra alnifolia 'Sixteen Candles'	30"-36" Hgt.	B&B	
55	LITTLE HENRY SWEETSPIRE	Itea virginica	18" Spr.	Cont.	
PERENNIALS / GROUNDCOVER					
15	BLUE CADET HOSTA	Hosta 'Blue Cadet'	1 Gal.	Cont.	
2200	ENGLISH IVY	Hedera helix	1 Gal.	Cont.	
18	ADAGIO MAIDEN GRASS	Miscanthus sinensis 'Adagio'	1 Gal.	Cont.	
27	FRANCEE HOSTA	Hosta 'Francee'	1 Gal.	Cont.	
28	BLACK EYED SUSAN	Rudbeckia hirta	1 Gal.	Cont.	
6	BECKY SHASTA DAISY	Leucanthemum x superbum 'Becky'	1 Gal.	Cont.	
1637	MYRTLE	Myrtus communis	1 Gal.	Cont.	
21	DWARF FOUNTAIN GRASS	Pennisetum alopecuroides 'Hameln'	1 Gal.	Cont.	

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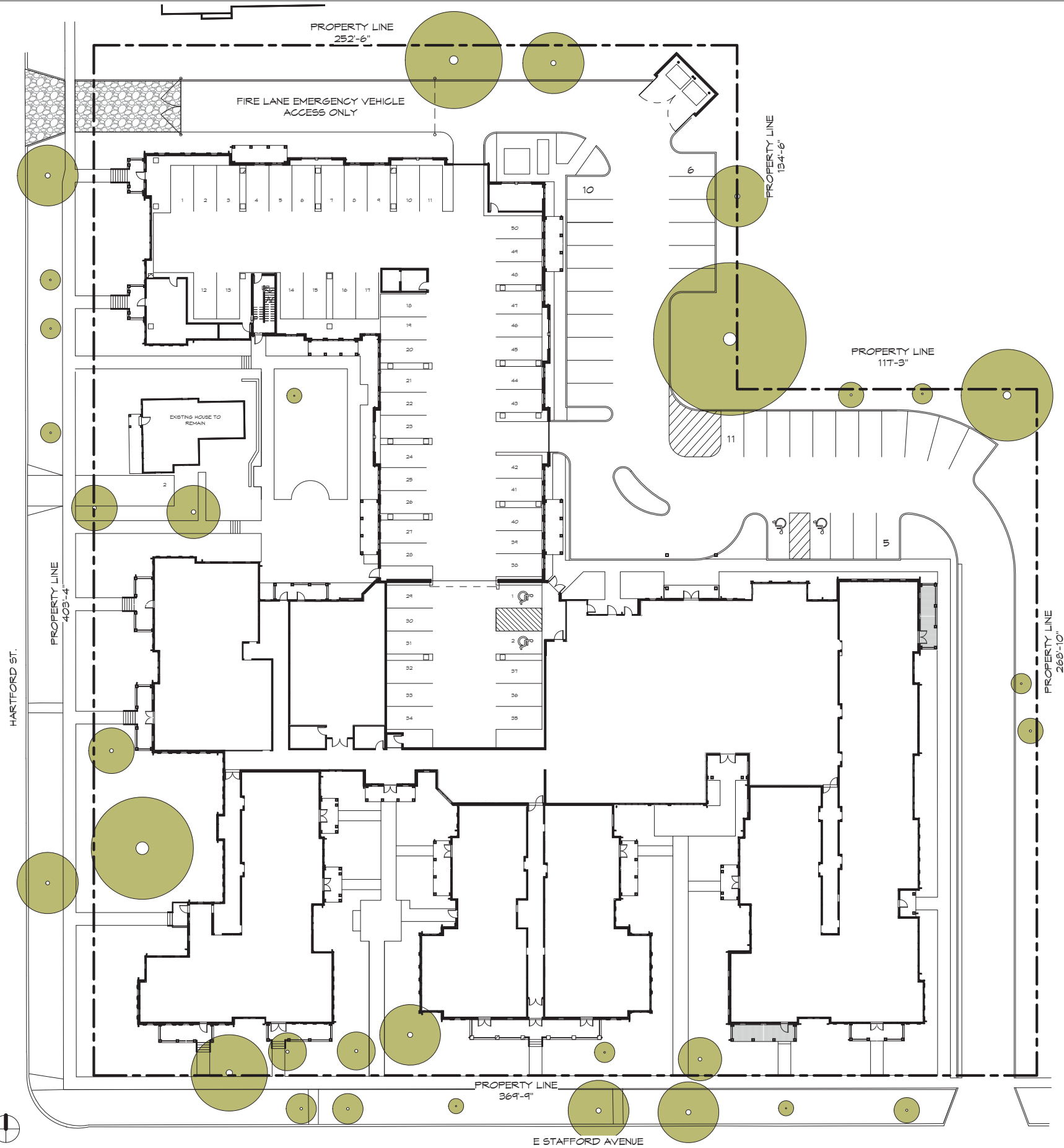
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PLANTING
PLAN

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SITE PARKING AND PAVING PLAN



AREAS TOTAL

GARAGE	20,752 SF
FIRST FLOOR	35,427 SF
SECOND FLOOR	55,332 SF
THIRD FLOOR	22,554 SF
TOTAL	113,313 SF
(EXCL. GARAGE)	(EXCL. GARAGE)
TOTAL	134,065 SF
(INCL. GARAGE)	(INCL. GARAGE)

UNIT TOTAL

ONE BEDROOM	34
ONE BEDROOM PLUS	16
TWO BEDROOM	35
STANDALONE RESIDENCE	1
TOTAL	86

PARKING TOTAL

STANDARD (SURFACE)	30
GARAGE (SURFACE)	50
ADA (SURFACE)	2
ADA (GARAGE)	2
STANDALONE RESIDENCE (SURFACE)	2
TOTAL	86

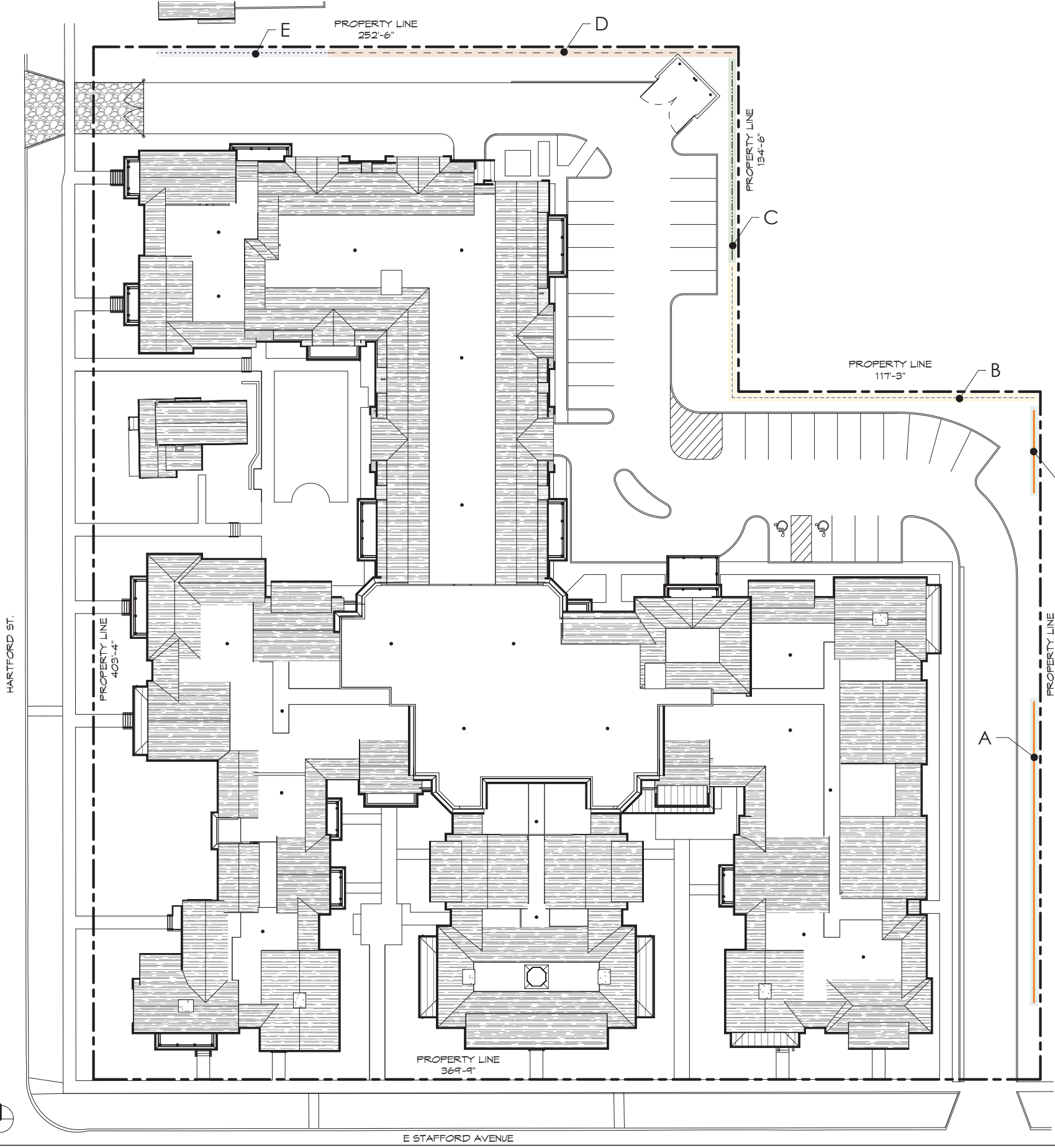
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FENCE TYPOLOGY PLAN

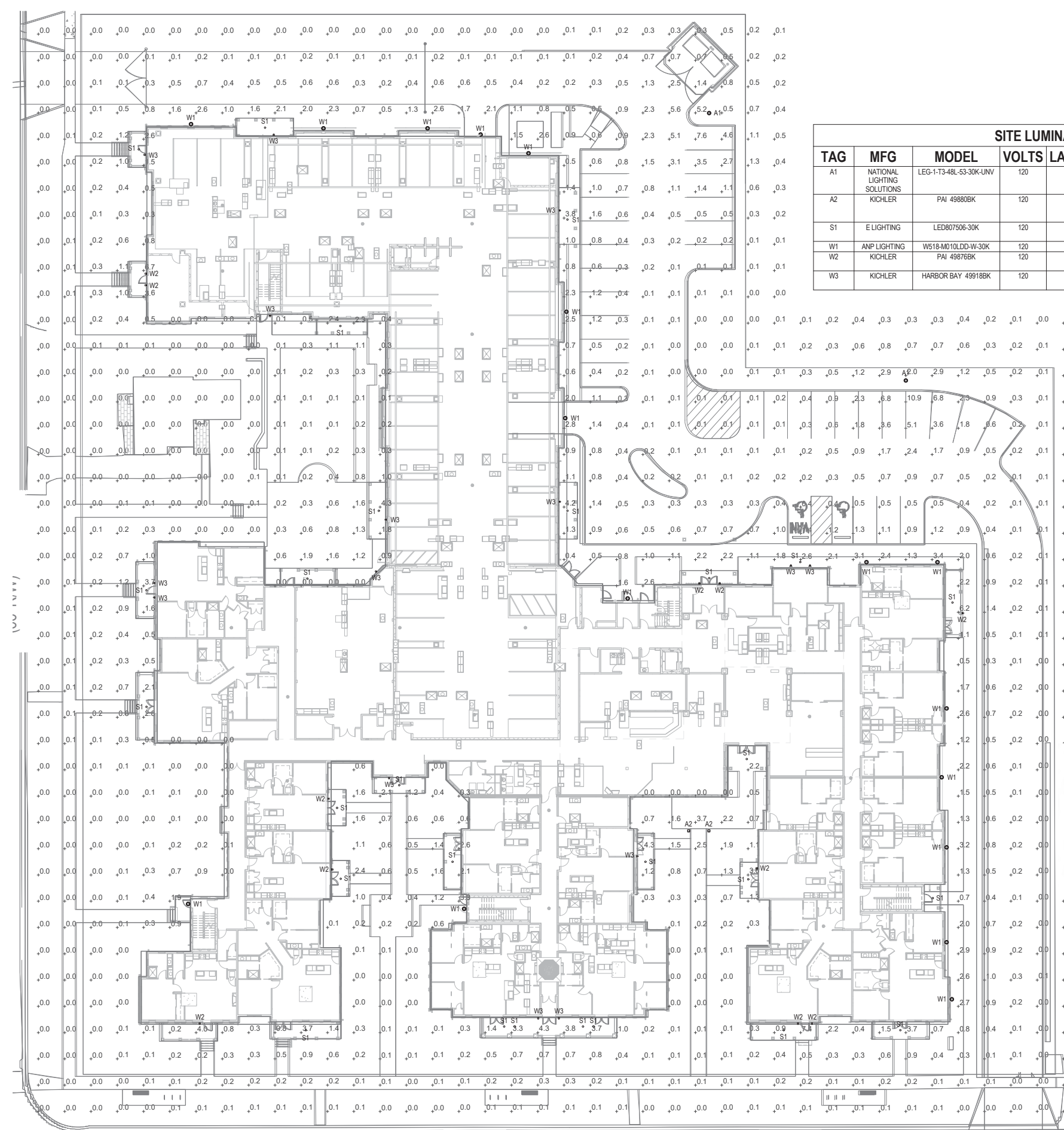


FENCE TYPOLOGIES



C-19

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SITE LUMINAIRE SCHEDULE							
TAG	MFG	MODEL	VOLTS	LAMPS	WATTS	MOUNTING	DESCRIPTION
A1	NATIONAL LIGHTING SOLUTIONS	LEG-1-T3-48L-53-30K-UNV	120	LED	80	15FT POLE	SITE AREA POLE LIGHT
A2	KICHLER	PAI 49880BK	120	INC	150	8FT POLE	DECORATIVE EXTERIOR POST-TOP LANTERN - PROVIDE WITH LED EQUIVALENT BULB
S1	E LIGHTING	LED807506-30K	120	LED	15	SURFACE	6" DOWNLIGHT - WET LOCATION LISTED
W1	ANP LIGHTING	W518-M010LDD-W-30K	120	INC	100	WALL	EXTERIOR GOOSENECK LIGHT
W2	KICHLER	PAI 49876BK	120	INC	75	WALL	EXTERIOR SCONCE - STYLE 1 - PROVIDE LED EQUIVALENT BULB
W3	KICHLER	HARBOR BAY 49918BK	120	INC	75	WALL	EXTERIOR SCONCE - STYLE 2 - PROVIDE LED EQUIVALENT BULB

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CONTRACTOR NOTE
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT, LANDLORD AND TENANT OF ANY DISCREPANCIES ENCOUNTERED ON THE PLANS OR IN EXISTING SITE CONDITIONS PRIOR TO SUBMISSION OF BID.
BIDDERS ARE TO VISIT THE SITE AND FAMILIARIZE THEMSELVES AS TO THE NATURE AND SCOPE OF THE WORK. THE BASE BID SHALL REFLECT MODIFICATIONS TO SYSTEMS AND DEVICES AS REQUIRED BY STATE, LOCAL AND FEDERAL CODES WHETHER INDICATED OR NOT ON CONTRACT DOCUMENTS. THE SUBMISSIONS OF A BID WILL BE EVIDENCE THAT SUCH AN EXAMINATION AND COMPLIANCE WITH GOVERNING CODES/REQUIREMENTS HAS BEEN MADE. LATER CLAIMS FOR LABOR, EQUIPMENT, OR MATERIALS REQUIRED, OR FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN HAD AN EXAMINATION AND CODES/REQUIREMENTS REVIEW BEEN MADE, WILL NOT BE ALLOWED.

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SITE
PHOTOMETRIC

C-20

1 SITE PHOTOMETRIC
1" = 20'-0"

ELEVATION LEGEND

MATERIAL LEGEND

- A-1 RAILING
- A-2 TYPICAL COLUMN
- A-3 TYPICAL 2ND FLOOR TRIM
- A-4 TYPICAL WINDOW AT SIDING
- A-5 TYPICAL WINDOW AT BRICK
- A-6 TYPICAL DOOR TRIM AT SIDING

- P-1 ROY/CROFT VELLUM S/N2033 SIDING
- P-2 ORIGAMI WHITE S/N7636 SIDING
- P-3 SPORTY BLUE S/N6522 SIDING
- P-4 ROCKWOOD BLUE GREEN S/N2011 SIDING
- P-5 KIND GREEN S/N6457 SIDING
- B-1 REDLAND MONTICELLO
- B-2 BRICKCRAFT CHICAGO HERITAGE
- R-1 SHINGLE ROOF

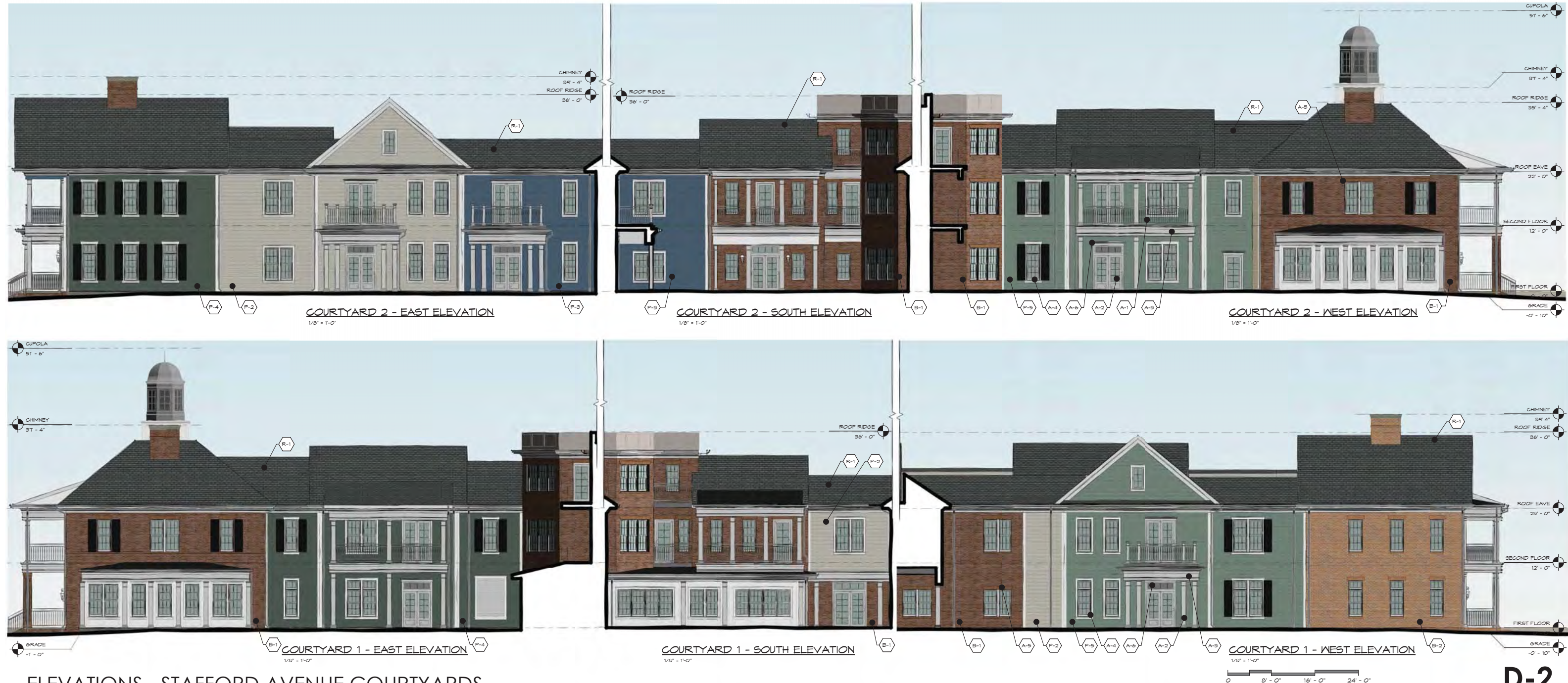


SOUTH ELEVATION - STAFFORD AVENUE

D-1

ELEVATION LEGEND MATERIAL LEGEND

A-1 RAILING	P-1 ROYGROFT VELLUM S/N2833 SIDING	B-1 REDLAND MONTICELLO
A-2 TYPICAL COLUMN	P-2 ORISAMI WHITE S/N1636 SIDING	B-2 BRICKCRAFT CHICAGO HERITAGE
A-3 TYPICAL 2ND FLOOR TRIM	P-3 SPORTY BLUE S/N6522 SIDING	R-1 SHINGLE ROOF
A-4 TYPICAL WINDOW AT SIDING	P-4 ROCKWOOD BLUE GREEN S/N2811 SIDING	
A-5 TYPICAL WINDOW AT BRICK	P-5 KIND GREEN S/N6451 SIDING	
A-6 TYPICAL DOOR TRIM AT SIDING		



ELEVATIONS - STAFFORD AVENUE COURTYARDS

D-2



ELEVATION LEGEND MATERIAL LEGEND

A-1 RAILING	P-1 ROYCROFT VELLUM S40233 SIDING	B-1 REDLAND MONTICELLO
A-2 TYPICAL COLUMN	P-2 ORISAMI WHITE S41636 SIDING	B-2 BRICKCRAFT CHICAGO HERITAGE
A-3 TYPICAL 2ND FLOOR TRIM	P-3 SPORTY BLUE S40522 SIDING	R-1 SHINGLE ROOF
A-4 TYPICAL WINDOW AT SIDING	P-4 ROCKWOOD BLUE GREEN S40231 SIDING	
A-5 TYPICAL WINDOW AT BRICK	P-5 KIND GREEN S40451 SIDING	
A-6 TYPICAL DOOR TRIM AT SIDING		



WEST ELEVATION - HARTFORD STREET



HARTFORD COURTYARD - WEST ELEVATION
1/8" = 1'-0"

ELEVATION LEGEND MATERIAL LEGEND

A-1 RAILING	P-1 ROYCROFT VELLUM SAY2893 SIDING	B-1 REDLAND MONTICELLO
A-2 TYPICAL COLUMN	P-2 ORISAMI WHITE SAY1636 SIDING	B-2 BRICKCRAFT CHICAGO HERITAGE
A-3 TYPICAL 2ND FLOOR TRIM	P-3 SPORTY BLUE SAY6522 SIDING	R-1 SHINGLE ROOF
A-4 TYPICAL WINDOW AT SIDING	P-4 ROCKWOOD BLUE GREEN SAY2811 SIDING	
A-5 TYPICAL WINDOW AT BRICK	P-5 KIND GREEN SAY6481 SIDING	
A-6 TYPICAL DOOR TRIM AT SIDING		



HARTFORD COURTYARD - SOUTH ELEVATION
1/8" = 1'-0"



HARTFORD COURTYARD - NORTH ELEVATION
1/8" = 1'-0"



862 HARTFORD - WEST ELEVATION
1/8" = 1'-0"



862 HARTFORD - SOUTH ELEVATION
1/8" = 1'-0"



862 HARTFORD - EAST ELEVATION
1/8" = 1'-0"



862 HARTFORD - NORTH ELEVATION
1/8" = 1'-0"

0 8' - 0" 16' - 0" 24' - 0"

ELEVATIONS - HARTFORD STREET COURTYARD

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ELEVATION LEGEND		MATERIAL LEGEND	
A-1	RAILING	P-1	ROYAL ROFT VELLUM SIA2833 SIDING
A-2	TYPICAL COLUMN	P-2	ORISAMI WHITE SIA1636 SIDING
A-3	TYPICAL 2ND FLOOR TRIM	P-3	SPORTY BLUE SIA6522 SIDING
A-4	TYPICAL WINDOW AT SIDING	P-4	ROCKWOOD BLUE GREEN SIA2811 SIDING
A-5	TYPICAL WINDOW AT BRICK	P-5	KIND GREEN SIA6451 SIDING
A-6	TYPICAL DOOR TRIM AT SIDING	B-1	REDLAND MONTICELLO
		B-2	BRICKCRAFT CHICAGO HERITAGE
		R-1	SHINGLE ROOF



NORTH ELEVATION

D-5



ELEVATION LEGEND

- A-1 RAILING
- A-2 TYPICAL COLUMN
- A-3 TYPICAL 2ND FLOOR TRIM
- A-4 TYPICAL WINDOW AT SIDING
- A-5 TYPICAL WINDOW AT BRICK
- A-6 TYPICAL DOOR TRIM AT SIDING

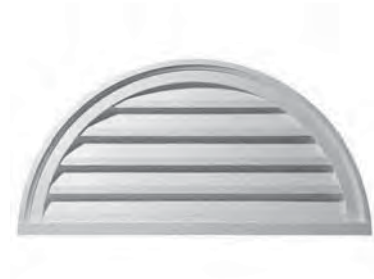
MATERIAL LEGEND

- | | |
|--|---------------------------------|
| P-1 ROYCROFT VELLUM S/N2833 SIDING | B-1 REDLAND MONTICELLO |
| P-2 ORIGAMI WHITE S/N1636 SIDING | B-2 BRICKCRAFT CHICAGO HERITAGE |
| P-3 SPORTY BLUE S/N6522 SIDING | R-1 SHINGLE ROOF |
| P-4 ROCKWOOD BLUE GREEN S/N2811 SIDING | |
| P-5 KIND GREEN S/N6451 SIDING | |



EAST ELEVATION

D-6



DECORATIVE LOUVER
BRICK MOULD STYLE PVC
COLOR: WHITE



WHITE VINYL WINDOW
JELDWHEN BUILDERS VINYL.
1" CONTOURED MUTTINS.
COLONIAL PATTERN.



PVC SHUTTERS
18" WIDE x HEIGHT REQ'D
LOUVERED WITH CENTER RAIL



ENTRANCE DOORS:
ALUMINUM 5" STILES
COLOR: WHITE

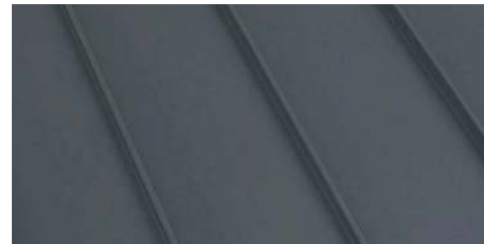
PATIO DOORS:
FIBERGLASS DOORS
COLOR: WHITE



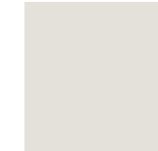
DIMENSIONAL ASPHALT SHINGLES
CERTAINTTEED: LANDMARK SERIES
"WEATHERED WOOD"



ROYCROFT VELLUM
SW2833



STANDING SEAM METAL ROOF
18" PANEL. PVDF FINISH
COLOR: SLATE GREY



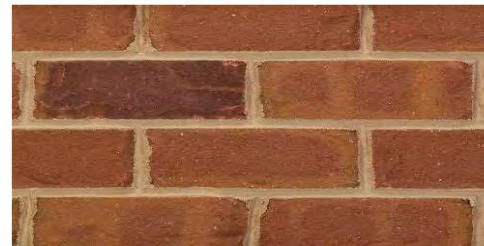
ORIGAMI WHITE
SW7636



CEMENTITIOUS SHIPLAP SIDING
7" EXPOSURE. COLOR AS INDICATED
ON ELEVATIONS



SPORTY BLUE
SW6522



BRICK - TYPE 1
REDLAND - MONTICELLO



ROOKWOOD BLUE GREEN
SW2811



BRICK - TYPE 2
BRICKCRAFT - CHICAGO HERITAGE



KIND GREEN
SW6457

PRODUCTS AND MATERIALS

CITY OF WORTHINGTON

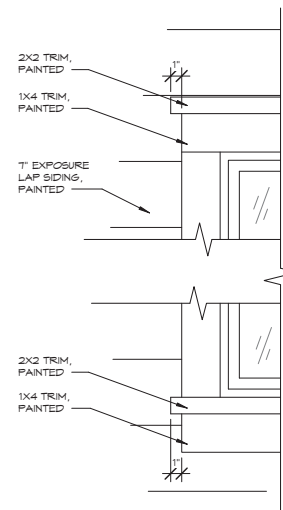
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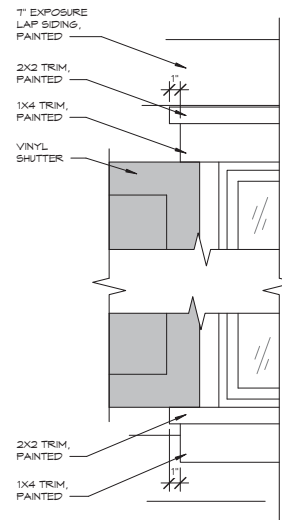
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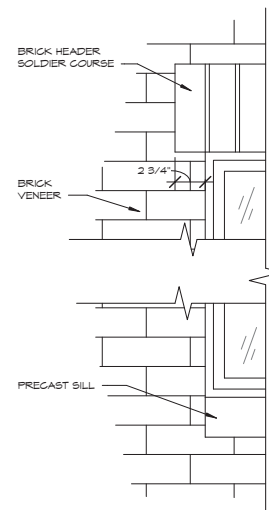
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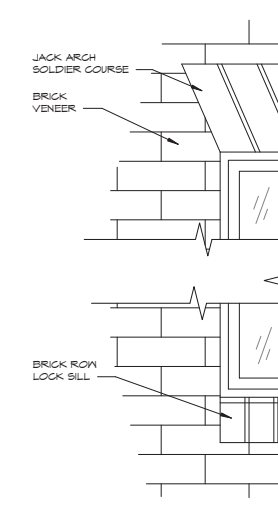
TYP. WINDOW TRIM @ SIDING
1 1/2" = 1'-0"



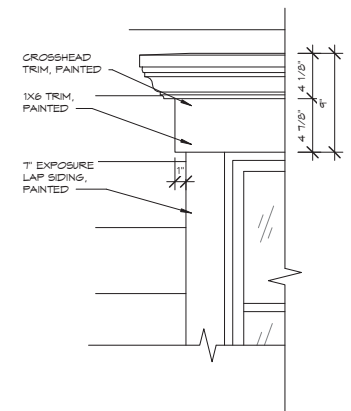
TYP. WINDOW TRIM @ SIDING
1 1/2" = 1'-0"



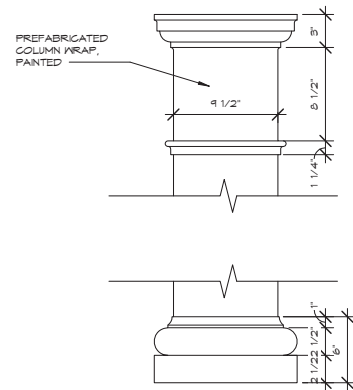
TYP. WINDOW @ BRICK
1 1/2" = 1'-0"



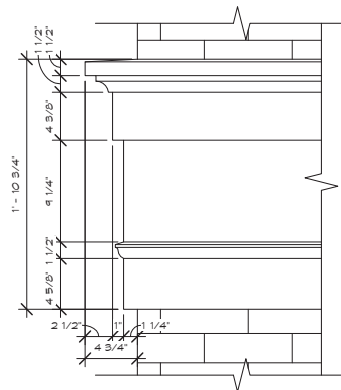
TYP. WINDOW @ BRICK
1 1/2" = 1'-0"



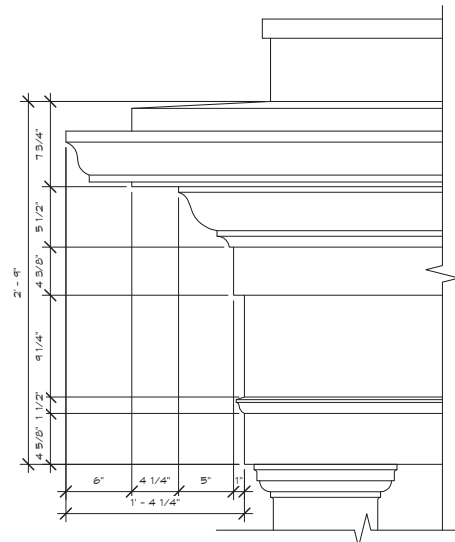
TYP. DOOR TRIM @ SIDING
1 1/2" = 1'-0"



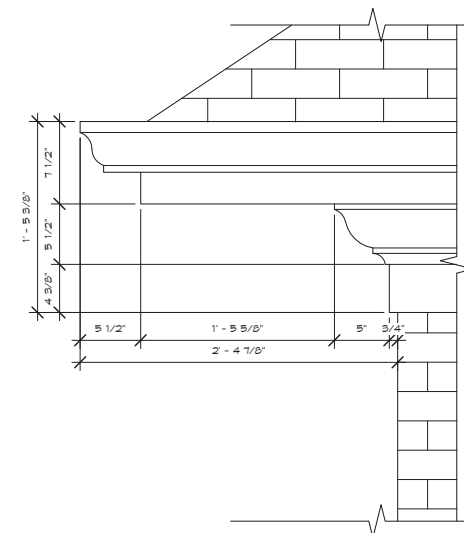
TYP. COLUMN DETAIL
1 1/2" = 1'-0"



TYP. 2ND FLOOR TRIM
1 1/2" = 1'-0"

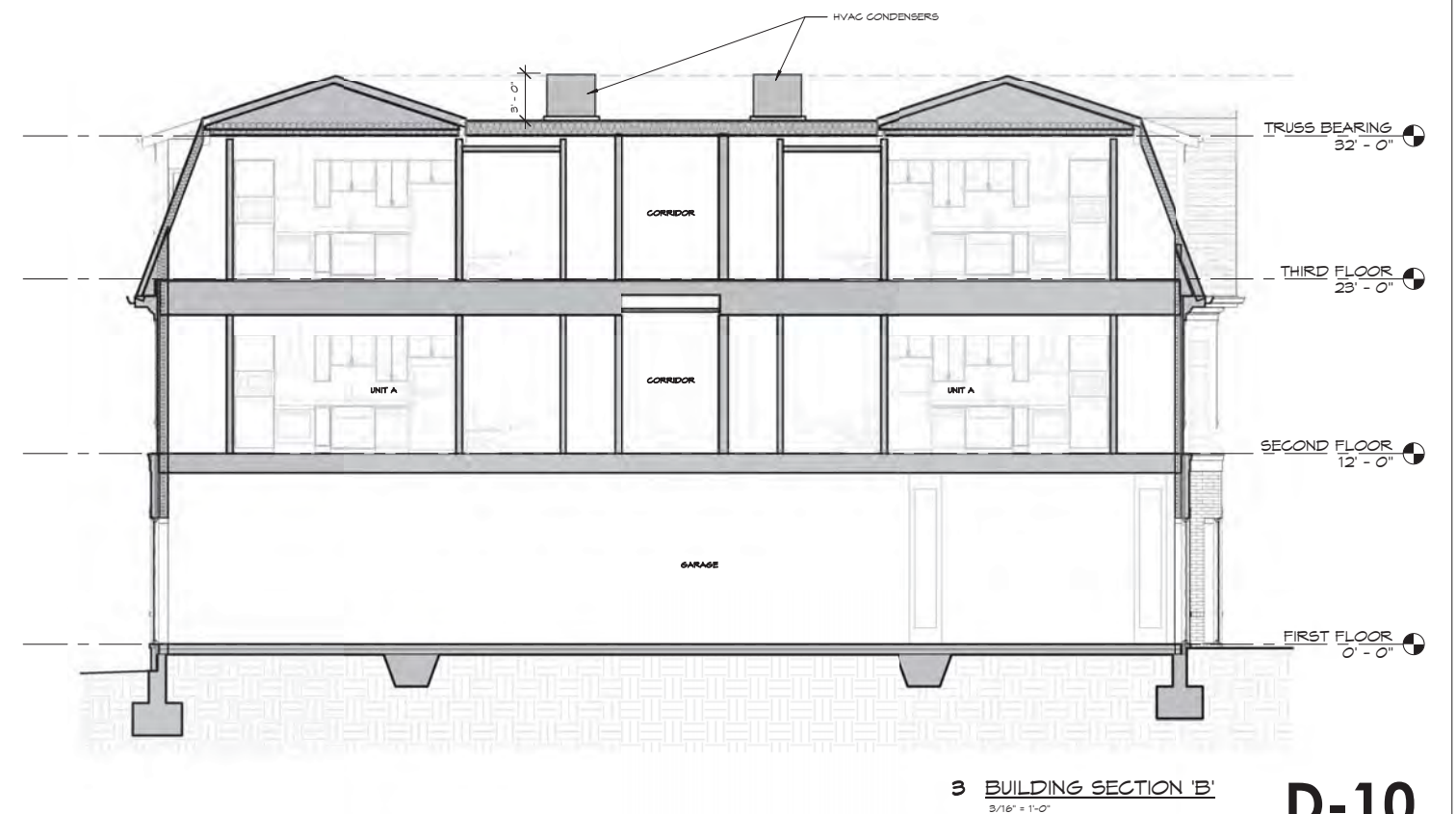
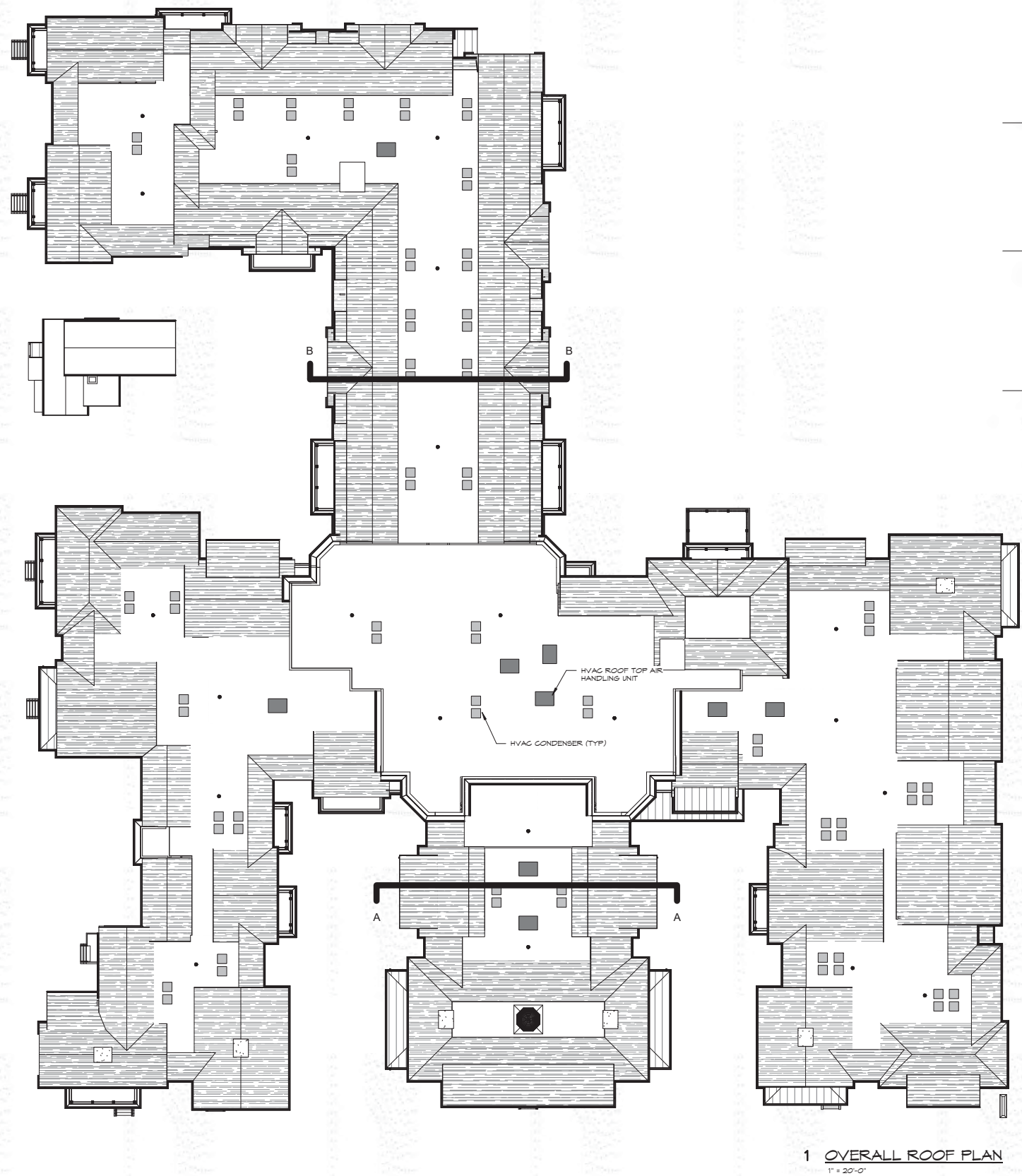


TYP. PORCH TRIM
1 1/2" = 1'-0"



TYP. ROOF TRIM
1 1/2" = 1'-0"

ELEVATION DETAILS



ROOF PLAN AND BUILDING SECTION

CITY OF WORTHINGTON

DRAWING NOS. AR 14-2019

PUD 01-2019F

DATE 07-10-2020

D-10

07/09/2020



STAFFORD AVEUNE AND HARTFORD STREET

RENDERINGS

CITY OF WORTHINGTON

DRAWING NOS. AR 14-2019

PUD 01-2019F

DATE 07-10-2020

D-13

07/09/2020



STAFFORD AVEUNE AND HARTFORD STREET

RENDERINGS

CITY OF WORTHINGTON

DRAWING NOS. AR 14-2019

PUD 01-2019F

DATE 07-10-2020

D-14

07/09/2020



STAFFORD AVEUNE

RENDERINGS

CITY OF WORTHINGTON

DRAWING NOS. AR 14-2019

PUD 01-2019F

DATE 07-10-2020

D-15

07/09/2020



STAFFORD AVEUNE

RENDERINGS

CITY OF WORTHINGTON

DRAWING NOS. AR 14-2019

PUD 01-2019F

DATE 07-10-2020

D-16

07/09/2020



HARTFORD STREET

RENDERINGS

CITY OF WORTHINGTON

DRAWING NOS. AR 14-2019

PUD 01-2019F

DATE 07-10-2020

D-17

07/09/2020



HARTFORD STREET

RENDERINGS

CITY OF WORTHINGTON

DRAWING NOS. AR 14-2019

PUD 01-2019F

DATE 07-10-2020

D-18

07/09/2020



STAFFORD AVEUNE

RENDERINGS

CITY OF WORTHINGTON

D-19

DRAWING NOS. AR 14-2019

PUD 01-2019F

07/09/2020

DATE 07-10-2020



STAFFORD AVEUNE

RENDERINGS

CITY OF WORTHINGTON

DRAWING NOS. AR 14-2019

PUD 01-2019F

DATE 07-10-2020

D-20

07/09/2020



STAFFORD AVEUNE

RENDERINGS

CITY OF WORTHINGTON

D-21

DRAWING NOS. AR 14-2019

PUD 01-2019F

07/09/2020

DATE 07-10-2020



STAFFORD AVEUNE

RENDERINGS



HARTFORD STREET

RENDERINGS

CITY OF WORTHINGTON

DRAWING NOS. AR 14-2019

PUD 01-2019F

DATE 07-10-2020

D-23

07/09/2020



HARTFORD STREET

RENDERINGS

CITY OF WORTHINGTON

DRAWING NOS. AR 14-2019

PUD 01-2019F

DATE 07-10-2020

D-24

07/09/2020



HARTFORD STREET

RENDERINGS

CITY OF WORTHINGTON

DRAWING NOS. AR 14-2019

PUD 01-2019F

DATE 07-10-2020

D-25

07/09/2020



HARTFORD STREET

RENDERINGS

CITY OF WORTHINGTON

DRAWING NOS. AR 14-2019

PUD 01-2019F

DATE 07-10-2020

D-26

07/09/2020



HARTFORD STREET

RENDERINGS

CITY OF WORTHINGTON

DRAWING NOS. AR 14-2019

PUD 01-2019F

DATE 07-10-2020

D-27

07/09/2020



HARTFORD STREET

RENDERINGS



City of Worthington

SUBDIVISION APPLICATION

Case # SUB 01-2020
Preliminary Plat
Fee \$150.00
Date Received 07/10/2020
Action/Date _____
Final Plat
Fee \$100.00
Date Received 07/10/2020
Action/Date _____

A. General Information

1. Property Location Corner of Stafford Avenue and Hartford Street
2. Zoning and Use Proposed PUD / Multi-Family Residential
3. Applicant National Church Residences
Address 2335 North Bank Drive, Columbus, OH 43220
Home Phone _____ Work Phone (614) 273-3702
Email gtabit@nationalchurchresidences.org
4. Property Owner National Church Residences Stafford Worthington OH
Address 2335 North Bank Drive, Columbus, OH 43220
Home Phone _____ Work Phone (614) 273-3702
5. Surveyor or Engineer The Kleingers Group
Address 350 Worthington Road, Suite B, Westerville, OH 43082
Phone (614) 882-4311
Email BRENDANFLEMING@KLEINGERS.COM

B. Existing

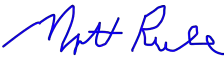
1. Number of lots 10
2. Area 3.06 acres

C. Proposed


1. Number of lots 1
2. Area 3.06 acres
3. Dimensions Approx. 370' along Stafford Ave. and 402' along Hartford St
4. Frontage 370 ft
5. Utilities available? Yes

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.


Applicant (Signature)

7/10/20
Date


Property Owner (Signature)

7/10/20
Date

Abutting Property Owners List for Stafford Village

Worthington Public Library	820 High St.	Worthington, OH 43085
Tenant	839 Morning St.	Worthington, OH 43085
Tenant	837 Morning St.	Worthington, OH 43085
Tenant	835 Morning St.	Worthington, OH 43085
Tenant	833 Morning St.	Worthington, OH 43085
WJD Property LLC	104 Highland Ave.	Worthington, OH 43085
JMAR Property LLC	104 Highland Ave.	Worthington, OH 43085
Tenant	150 Stafford Ave.	Worthington, OH 43085
Tenant	148 Stafford Ave.	Worthington, OH 43085
Tenant	146 Stafford Ave.	Worthington, OH 43085
Tenant	144 Stafford Ave.	Worthington, OH 43085
Holly Coll	847 Morning St.	Worthington, OH 43085
John and Tamara Ament	897 Morning St.	Worthington, OH 43085
Resident	899 Morning St.	Worthington, OH 43085
Doris Weiner	5019 Ivy Loop W	Columbus, OH 43229
Adam and Jamie Rice	901 Morning St.	Worthington, OH 43085
Karen Germann	905 Morning St.	Worthington, OH 43085
Megan Bury	907 Morning St.	Worthington, OH 43085
Tenant	129 E. North St.	Worthington, OH 43085
Keith and Barbara Brown, Tr.	7602 Coteswood Dr.	Myrtle Beach, SC 29572
Tenant	139 E. North St.	Worthington, OH 43085
Tenant	117 E. North St.	Worthington, OH 43085
Earl Metz	226 E. Granville Rd.	Worthington, OH 43085
Manley and Karen Hopkins	105 E. North St.	Worthington, OH 43085
Katherine Glenn-Applegate	912 Hartford St.	Worthington, OH 43085
Tenant	910 Hartford St.	Worthington, OH 43085
Claire Brill	6078 Telford Dr.	Columbus, OH 43229
Sandra Dizenzo	876 Hartford St.	Worthington, OH 43085
Blair Davis	1 Hartford Ct.	Worthington, OH 43085
Debbie Musgrove	2 Hartford Ct.	Worthington, OH 43085
Steven and Wendy Cole	3 Hartford Ct.	Worthington, OH 43085
Denise Yohe	4 Hartford Ct.	Worthington, OH 43085
Tenant	5 Hartford Ct.	Worthington, OH 43085
Jane Hummer	6 Hartford Ct.	Worthington, OH 43085
Connie Queeney	7 Hartford Ct.	Worthington, OH 43085
Dirk and Linda Smith	8 Hartford Ct.	Worthington, OH 43085
Olde Village Rentals	129 E. South St.	Worthington, OH 43085
Michael Smith, et al	2926 Redding Rd.	Worthington, OH 43085
Resident	48 E. Stafford Ave.	Worthington, OH 43085
Resident	50 E. Stafford Ave.	Worthington, OH 43085
J Four Properties Ltd.	364 Highland Way	Worthington, OH 43085
Resident	54 E. Stafford Ave.	Worthington, OH 43085
Resident	56 E. Stafford Ave.	Worthington, OH 43085
58-60 Stafford LLC	PO Box 509	Worthington, OH 43085
Resident	58 E. Stafford Ave.	Worthington, OH 43085
Resident	60 E. Stafford Ave.	Worthington, OH 43085
66 Frambes Ltd	3820 N. High St.	Columbus, OH 43214
Resident	175 E. Clearview Ave.	Worthington, OH 43085
Thomas and Carole Kozicki, Tr.	P.O. Box 881	Centerburg, OH 43011
Resident	164 E. Stafford Ave.	Worthington, OH 43085
Resident	168 E. Stafford Ave.	Worthington, OH 43085
Laurel River Properties	364 Highland Way	Worthington, OH 43085
Resident	163 E. Stafford Ave.	Worthington, OH 43085
Resident	165 E. Stafford Ave.	Worthington, OH 43085
Fay and Marvin Walker	824 Morning St.	Worthington, OH 43085



CINCINNATI
COLUMBUS
DAYTON

350 Worthington Rd, Suite B
Westerville, OH 43082
phone ► 614.882.4311
fax ► 614.882.4479
www.kleingers.com

SUBDIVISION PLAT SUPPORT NARRATIVE

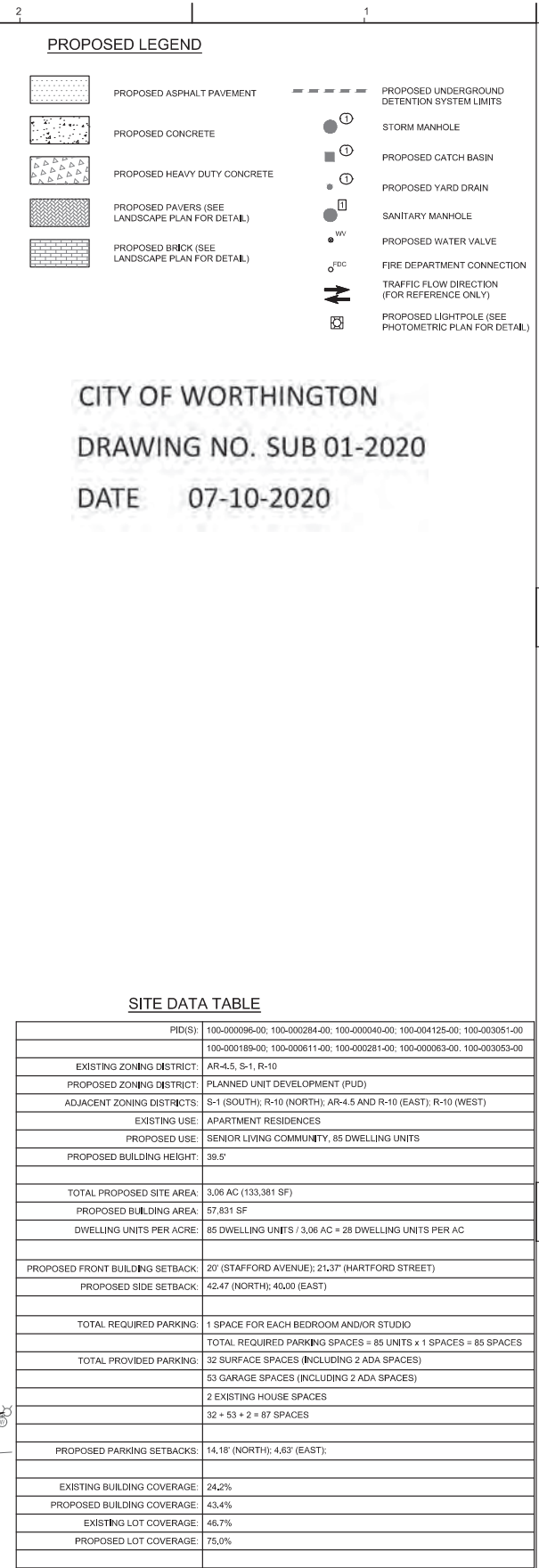
The proposed senior living community would replace a nearly 50 year-old set of apartments that will soon be unsustainable. Together with the renovation of an existing single family home, a modern, 85 apartment community will provide more spacious apartments, enhanced community amenities, and alleviate current parking concerns. The new apartment community will be wood framed construction with brick veneer in a two and three story structure that includes a concrete podium structure designed to minimize surface parking. New parking, circulation and site infrastructure are also anticipated as part of this project.

This proposed senior living apartment community spans ten (10) parcels that are occupied by the existing apartments and home. These parcels are proposed and required to be combined, such that the whole senior living community will reside on one (1) parcel.

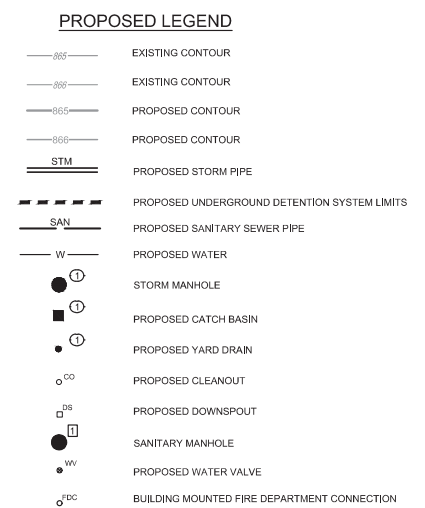
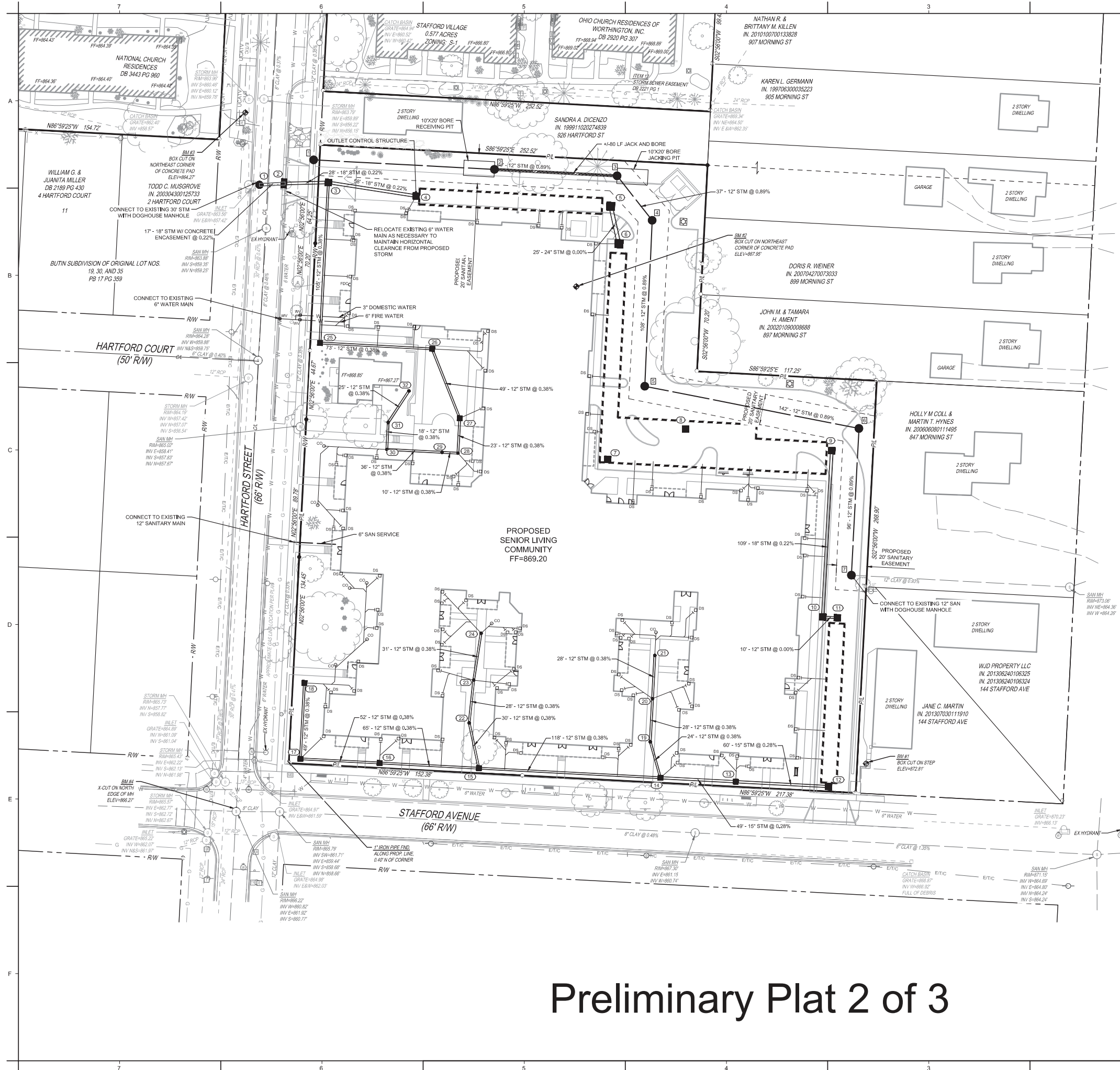
CITY OF WORTHINGTON
DRAWING NO. SUB 01-2020
DATE 07-10-2020

Northeast corner of Hartford and Stafford Sts.






C-1




CITY OF WORTHINGTON
DRAWING NO. SUB 01-2020
DATE 07-10-2020



PH7 ARCHITECTS

448 W. Nationwide Blvd
Loft 100
Columbus, Ohio 43215
614.458.2955 PH
614.455.2955 FX
www.ph7architects.com



THE
KLEINGERS
GROUP

CIVIL ENGINEERING
SURVEYING
LANDSCAPE
ARCHITECTURE

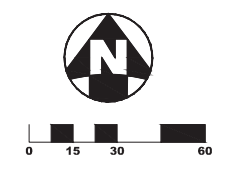
www.kleingers.com
350 Worthington Rd
Suite B
Westerville, OH 43082
614.882.4311

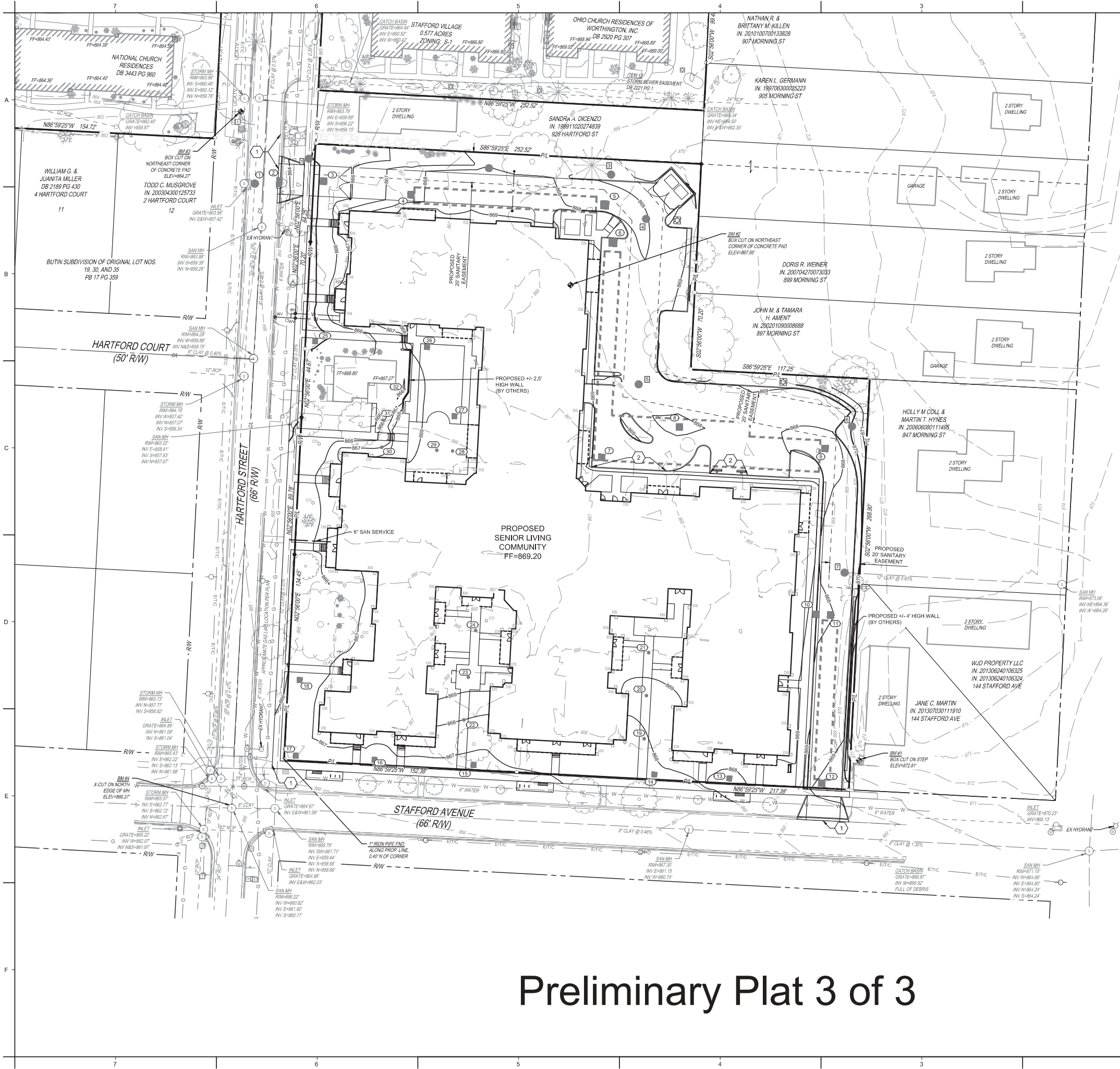
STAFFORD VILLAGE INDEPENDENT LIVING 82 E. STAFFORD AVE. WORTHINGTON, OHIO 43085	NATIONAL CHURCH RESIDENCES 2245 NORTH BANK DRIVE COLUMBUS, OHIO 43220
--	---

NO.	DATE	REVISION
JOB NO.: 2018-53		
PHASE : DESIGN DEVELOPMENT		
ISSUED FOR :		
DATE : ISSUE DATE		

UTILITY PLAN

C-2





PROPOSED LEGEND

- 865 — EXISTING CONTOUR
- 866 — EXISTING CONTOUR
- 865 — PROPOSED CONTOUR
- 866 — PROPOSED CONTOUR
- - - - - PROPOSED UNDERGROUND DETENTION SYSTEM
- 1 STORM MANHOLE
- 1 PROPOSED CATCH BASIN
- 1 PROPOSED YARD DRAIN
- 1 SANITARY MANHOLE
- 1 PROPOSED WATER VALVE
- 1 BUILDING MOUNTED FIRE DEPARTMENT CONNECTION

CODED NOTES

- 1 MEET AND MATCH EXISTING GRADE
- 2 FLUSH CURB

NOTES:

- ALL GRADING WITHIN COURTYARDS SHALL BE PER LANDSCAPE PLANS

CITY OF WORTHINGTON
DRAWING NO. SUB 01-2020
DATE 07-10-2020

448 W. Nationwide Blvd
Left 100
Columbus, Ohio 43215
614.459.2955 FX
614.455.2955 FX
www.ph7architects.com

CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE
www.kleingers.com
350 Worthington Rd
Suite B
Westerville, OH 43082
614.882.4311

STAFFORD VILLAGE
INDEPENDENT LIVING
82 E. STAFFORD AVE.
WORTHINGTON, OHIO 43085
NATIONAL CHURCH RESIDENCES
2245 NORTH BANK DRIVE
COLUMBUS, OHIO 43220

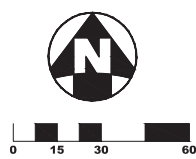
NO.	DATE	REVISION

JOB NO. : 2018-53
PHASE : DESIGN DEVELOPMENT
ISSUED FOR :
DATE : ISSUE DATE

GRADING PLAN

C-3

Preliminary Plat 3 of 3



STAFFORD VILLAGE OF WORTHINGTON

A RESUBDIVISION OF LOTS 18, 31 AND 34, AND PART OF LOTS 32 AND 33
PLAT OF TOWN OF WORTHINGTON
RECORDED IN PLAT BOOK 1 PAGE 456, DESTROYED BY FIRE
REPLATTED IN PLAT BOOK 3 PAGE 330,
FRANKLIN COUNTY RECORDER'S OFFICE
CITY OF WORTHINGTON
COUNTY OF FRANKLIN
STATE OF OHIO

SITUATED IN THE CITY OF WORTHINGTON, COUNTY OF FRANKLIN, STATE OF OHIO, BEING A RESUBDIVISION OF ALL OF LOTS 18, 31 & 34 AND PARTS OF LOTS 32 AND 33 OF PLAT OF TOWN OF WORTHINGTON AS RECORDED IN PLAT BOOK 1 PAGE 456, DESTROYED BY FIRE, REPLATTED IN PLAT BOOK 3 PAGE 330, FRANKLIN COUNTY RECORDER'S OFFICE, CONTAINING 3.062 ACRES OF LAND, MORE OR LESS; ALSO BEING THOSE LANDS AS CONVEYED TO **NATIONAL CHURCH RESIDENCES STAFFORD WORTHINGTON OH** AS DESCRIBED IN INSTRUMENT NO. 201512220179244 PARCELS ONE THROUGH SIX, INSTRUMENT NO. 201512220179248 PARCEL TWO, INSTRUMENT NO. 201605310067263, INSTRUMENT NO. 201605310067264 AND INSTRUMENT NO. 201705040060250

THE UNDERSIGNED, _____, REPRESENTATIVE OF **NATIONAL CHURCH RESIDENCES STAFFORD WORTHINGTON OH**, OWNER OF SAID 3.062 ACRES OR LAND, BEING ALL OF THE LANDS PLATTED HEREIN, DULY AUTHORIZED IN THE PREMISES, DO HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS THEIR "STAFFORD VILLAGE OF WORTHINGTON", A A SUBDIVISION CONSISTING OF LOT 1, AND DO HEREBY ACCEP THIS PLAT OF THE SAME. THE OWNER HEREBY GRANTS TO THE CITY OF WORTHINGTON, OHIO, ITS SUCCESSORS AND ASSIGNS AN EASEMENT IN, OVER AND UNDER AREAS DESIGNATED ON THIS PLAT AS "20' SANITARY SEWER EASEMENT"; AND DO HEREBY RELEASE THAT PORTION OF THE SANITARY SEWER EASEMENT LOCATED WITHIN THE OWNER'S 3.062 ACRES AS CONVEYED TO THE CITY OF WORTHINGTON, OHIO BY ALGIA L. JONES AND ELMA A. JONES IN DEED BOOK 2736 PAGE 259 AND AS SHOWN HEREON.

IN WITNESS WHEREOF, _____, REPRESENTATIVE, OWNERS OF THE LANDS PLATTED HEREIN, HAVE HEREUNTO SET THEIR HAND THIS ____ DAY OF _____, 2020.

SIGNED AND ACKNOWLEDGED
IN THE PRESENCE OF:

WITNESS

By: _____ NATIONAL CHURCH RESIDENCES STAFFORD WORTHINGTON OH

Name:

Title:

State of: OHIO

County of: FRANKLIN

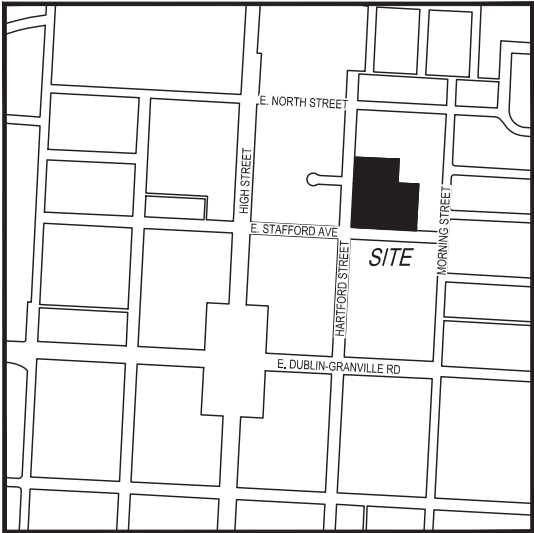
The foregoing instrument was acknowledged before me this _____ of _____, 2020 by _____ of National Church Residences Stafford Worthington OH, an Ohio corporation, on behalf of the corporation.

Notary Public:

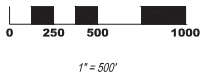
My commission expires:

EASEMENT RELEASE:

THAT PORTION OF THE SANITARY SEWER EASEMENT LOCATED WITHIN THE OWNER'S 3.062 ACRES AS CONVEYED TO THE CITY OF WORTHINGTON, OHIO BY ALGIA L. JONES AND ELMA A. JONES IN DEED BOOK 2736 PAGE 259 AND AS SHOWN HEREON, IS HEREBY RELEASED.



VICINITY MAP



PROJECT DATA

EXISTING PARCEL IDS AND ACREAGES:

100-000096	0.373 ACRES
100-000284	0.214 ACRES
100-004125	0.193 ACRES
100-000040	0.136 ACRES
100-003051	0.123 ACRES
100-000189	0.520 ACRES
100-003053	0.362 ACRES
100-000611	0.470 ACRES
100-000281	0.309 ACRES
100-000063	0.362 ACRES

TOTAL AREA	3.062 ACRES
LOT AREA	3.062 ACRES
ROADWAY AREA	0.000 ACRES

SURVEY DATA:

BASIS OF BEARINGS:

THE BEARINGS SHOWN HEREON ARE BASED ON THE STATE PLANE COORDINATE SYSTEM, OHIO SOUTH ZONE (NAD83-NSRS2007), WITH A PORTION OF THE NORTHERLY RIGHT-OF-WAY LINE OF STAFFORD AVENUE BEING N 86° 59' 25" W AS DETERMINED BY A GPS SURVEY UTILIZING CORS STATION "COLB" AND MONUMENT "CIRCLE".

SOURCE OF DATA:

THE SOURCES OF RECORDED SURVEY DATA REFERENCED IN THE PLAN AND TEXT OF THIS PLAT ARE FROM RECORDS OF THE RECORDER'S OFFICE, FRANKLIN COUNTY, OHIO.

APPROVED THIS ____ DAY OF _____, 20 ____

DIRECTOR OF PLANNING & BUILDING - CITY OF WORTHINGTON, OHIO

APPROVED THIS ____ DAY OF _____, 20 ____

ENGINEER - CITY OF WORTHINGTON, OHIO

CITY MANAGER - CITY OF WORTHINGTON, OHIO

APPROVED BY MOTION, PASSED BY COUNCIL, CITY OF WORTHINGTON, OHIO ON THIS ____ DAY OF _____, 20 ____ IN ORDINANCE NO. _____ WHEREIN THE PLAT OF "STAFFORD VILLAGE OF WORTHINGTON" AND EASEMENT SHOWN HEREON ARE HEREBY ACCEPTED BY THE CITY OF WORTHINGTON, OHIO AND DOES HEREBY RELEASE THAT PORTION OF A 10' SANITARY SEWER EASEMENT AS SHOWN HEREON.

CLERK OF COUNCIL - DUBLIN, OHIO

TRANSFERRED THIS ____ DAY OF _____, 20 ____

AUDITOR, FRANKLIN COUNTY, OHIO

DEPUTY AUDITOR, FRANKLIN COUNTY, OHIO

RECORDED THIS ____ DAY OF _____, 20 ____

RECORDER, FRANKLIN COUNTY, OHIO

FILE NO. _____

DEPUTY RECORDER, FRANKLIN COUNTY, OHIO

PLAT BOOK ____ PAGES ____

CITY OF WORTHINGTON

DRAWING NO. SUB 01-2020

DATE 07-10-2020

I HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY DESCRIBED IN THE FOREGOING TITLE CAPTION AND THAT SAID SURVEY AND PLAT ARE ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

MICHAEL L. KELLER
OHIO PROFESSIONAL SURVEYOR NO. 7978

DATE



CIVIL ENGINEERING
SURVEYING
LANDSCAPE
ARCHITECTURE

www.kleingers.com
350 Worthington Rd
Suite B
Westerville, OH 43082
614.882.4311

SEAL:



NO. DATE DESCRIPTION

STAFFORD VILLAGE OF WORTHINGTON
A RESUBDIVISION OF LOTS 18, 31 & 34, & PART OF LOTS 32 & 33
PLAT OF TOWN OF WORTHINGTON
PB 1 PG 456 (DESTROYED BY FIRE)
REPLATTED AS PB 3 PB 330
CITY OF WORTHINGTON,
FRANKLIN COUNTY, OHIO

PROJECT NO: 150491.004

DATE: 7/10/2020

SHEET NAME:

REPLAT OF 3.062 ACRES

SHEET NO.

1 OF 2



- 5/8" CAPPED IRON PIN SET
- 5/8" IRON PIN FOUND
- ◎ 1" IRON PIPE FOUND



CITY OF WORTHINGTON

DRAWING NO. SUB 01-2020

DATE 07-10-2020

HARTFORD AVENUE
66' R/W (4 RODS)

LOT 1
3.062 ACRES

PLAT OF
WORTHINGTON
PB 3 PG 330

STAFFORD AVENUE
66' R/W (4 RODS)

HARTFORD AVENUE
49.5' R/W (3 RODS)

**STAFFORD VILLAGE OF
WORTHINGTON**

**A RESUBDIVISION OF LOTS 18, 31 &
34, & PART OF LOTS 32 & 33
PLAT OF TOWN OF WORTHINGTON
PB 1 PG 456 (DESTROYED BY FIRE)
REPLATTED AS PB 3 PB 330
CITY OF WORTHINGTON,
FRANKLIN COUNTY, OHIO**

PROJECT NO:	150491.004
-------------	------------

DATE: 7/10/2020

SCALE: 1" = 20'



SHEET NAME:

**REPLAT OF 3.062
ACRES**

SHEET NO.

2 OF 2