



**ARCHITECTURAL REVIEW BOARD  
MUNICIPAL PLANNING COMMISSION  
-AGENDA-  
Thursday, September 24, 2020 at 7:00 P.M.**

**This will be a virtual meeting that will be streamed on the internet:  
[worthington.org/live](http://worthington.org/live)**

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**A. Call to Order - 7:00 pm**

1. Roll Call
2. Pledge of Allegiance
3. Approval of minutes of the September 10, 2020 meeting

**B. Architectural Review Board**

1. Handrails – **98 E. New England Ave.** (Mark & Susan Taylor) **AR 57-2020**
2. Fence Modifications – **541 Oxford St.** (Matthew Pasternack) **AR 62-2020**
3. New Attached Garage – **655 Hartford St.** (Ross Builders/Mullen) **AR 63-2020**
4. Plan Modifications – **6733 N. High St.** (Samantha Elliot) **AR 64-2020**
5. Solar Panels – **150 W. New England Ave.** (Appalachian Renewable Power/Rogers) **AR 65-2020**
6. Redevelopment – **7227 N. High St.** (DRP Worthington LP) **AR 66-2020**

**C. Municipal Planning Commission**

1. **Planned Unit Development**
  - a. Redevelopment – **7227 N. High St.** (DRP Worthington LP) **PUD 02-2020**

**D. Other**

**E. Adjournment**



## MEMORANDUM

TO: Members of the Architectural Review Board  
Members of the Municipal Planning Commission

FROM: R. Lee Brown, Director  
Lynda Bitar, Planning Coordinator

DATE: September 18, 2020

SUBJECT: Staff Memo for the Meeting of September 24, 2020

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### **B. Architecture Review Board – New Business**

#### **1. Handrails – 98 E. New England Ave. (Mark & Susan Taylor) AR 57-2020**

#### **Findings of fact & Conclusions**

##### **Background & Request:**

The property is 62-feet wide and 134-feet deep. The house is a Colonial Revival influence that was built in 1941. This application is to request the installation of handrails.

##### **Project Details:**

1. The property owners are proposing to install two handrails along the stairs to the front door.
  - a. The handrails will provide assistance to anyone accessing the applicant's front door.
2. Approximately 42" high and 42" deep; and will be black (powder coated steel).
3. The house is located approximately 30-feet from the public right-of-way. The existing stoop is approximately 25-feet from the public right-of-way and with the addition of the handrails it would encroach an additional 2-feet and ultimately be located approximately 23-feet from the public right-of-way.
  - a. A variance from the Board of Zoning Appeals would be needed to encroach the front yard setback.

##### **Land Use Plans:**

##### **Worthington Design Guidelines and Architectural District Ordinance**

From about 1915 on, porches generally were simplified and more integrated into the design of the house. Simple square or tapered columns were common, as were simple paneled handrails or handrails with balusters and rails. It was common to find such porches added to older houses that either did not have porches originally or had lost their original porches.

**Recommendation:**

Staff is recommending approval of this application as presented.

**Motion:**

**THAT THE REQUEST BY MARK & SUSAN TAYLOR FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL HANDRAILS AT 98 E. NEW ENGLAND AVE. AS PER CASE NO. AR 57-2020, DRAWINGS NO. AR 57-2020, DATED SEPTEMBER 14, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

**2. Fence Modifications – 541 Oxford St. (Matthew Pasternack) AR 62-2020****Findings of Fact & Conclusions****Background & Request:**

This Cottage style house was built in 1921 and is a contributing property in the Worthington Historic District. The property is at the northwest corner of Oxford and South Streets. The house was purchased and renovated last year, including repairs to the fence that changed the look. Application for approval of the fence as it currently stands was denied by the ARB in May 2020. In June of 2020 the property transferred to a new owner who is now offering potential modifications to the fencing.

**Project Details:**

1. The original fence was approved in 1991 as a 42” high wood fence with 4” wide dog-eared pickets and equal spacing between pickets. The fence that was installed had pickets wider than 4” (closer to 6”) with a 4” gap between pickets. The Board of Zoning Appeals approved a variance for placement in the required side yard along South St.
2. Repair of the fence earlier this year involved installation of new 6” pickets wide pickets on the inside of the north and south portions of the fence. The gates on the sides of the house, which had narrower pickets with bigger gaps, were replaced with shadowbox fencing consisting of 6” pickets.
3. This application includes the following:
  - a. Modifying the gates on the sides of the house and a short stretch of fencing on the south side by removing the 6” pickets on the inside of the fence. This would leave gaps between the 6” pickets on the outside.
  - b. Leave the fence along the south side as is with the shadowbox look as there is heavy vegetation along the south side of the fence. The owner would agree to modify the fence to meet the Design Guidelines should the hedge ever be removed.
  - c. Leave the fence along the north property line as is with the shadowbox look, as the view is limited.
  - d. Leave the short stretch of fence on the west side as is because it is hidden from view by a bush. The owner would agree to modify the fence to meet the Design Guidelines should the bush ever be removed.



**Land Use Plans:**Worthington Design Guidelines and Architectural District Ordinance

Fencing should be open in style; constructed with traditional materials; 3' to 4' in height; in the back yard; and of simple design, appropriate for the house style. Design and materials should be compatible with the existing structure.

**Recommendation:**

Staff is recommending approval of the proposed modifications, as the most visible parts of the fence would be closer to open style with this proposal. The shadowbox fencing would be changed to open style if the vegetation is ever removed.

**Motion:**

**THAT THE REQUEST BY MATTHEW PASTERNAK FOR A CERTIFICATE OF APPROPRIATENESS TO MODIFY THE FENCING AT 541 OXFORD ST. AS PER CASE NO. AR 62-2020, DRAWINGS NO. AR 62-2020, DATED SEPTEMBER 11, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

**3. New Attached Garage – 655 Hartford St. (Ross Builders/Mullen) AR 63-2020****Findings of Fact & Conclusions****Background & Request:**

A farmhouse was originally constructed in 1860 on this relatively small ~75' x ~127' (9504 square feet) corner lot. Several additions were constructed over the years to create a 2233 square foot house. The owners would like to add a garage.

**Project Details:**

1. The owners are proposing construction of the 24' x 24' garage attached to the south side of the house at the west end. The garage would extend to 6.5' from the south property line, which is also the right-of-way line for E. New England Ave. Because this is a corner lot, the required setback would be 20' so a variance would be needed for this placement. The New England Ave. right-of-way is 66' wide and the distance from the property line to the street is about 25'. A wider curb cut is not shown but would likely be needed. The maximum width at the curb is permitted to be 30' and a permit would be needed to expand the drive. Details of the drive approach are needed.
2. The garage would have two single doors facing south. The roof is proposed to have a gable to match the house above the eastern half of the garage, and a shed roof would extend west to cover the western half of the garage. Siding, roofing, trim and windows would match the house. The garage doors are proposed to look like carriage house doors, with square windows over recessed vertical panels. A picture of proposed light fixtures next to the doors is included in the packet.

**Land Use Plans:****Worthington Design Guidelines and Architectural District Ordinance**

Residential additions are recommended to maintain similar roof forms; be constructed as far to the rear and sides of the existing residence as possible; be subordinate; and have walls set back from the corners of the main house. Design and materials should be traditional, and compatible with the existing structure.

**Staff Analysis:**

Although the design of the garage is complementary to the house, and location is at the rear of the house, the view of the garage would be prominent on this corner lot. A detached garage in the rear yard may be more appropriate but would still be visible and would allow much less usable yard space for the family on this small lot. The wide tree lawn may help mitigate the proximity to the street, as would the retention and addition of landscape materials. Also, the placement of the existing houses at the other three corners of this intersection are closer to the property lines.

**Motion:**

**THAT THE REQUEST BY JAMES ROSS ON BEHALF OF DANIEL & SARAH MULLEN TO CONSTRUCT AN ATTACHED GARAGE AT 655 HARTFORD ST., AS PER CASE NO. AR 63-2020, DRAWINGS NO. AR 63-2020, DATED SEPTEMBER 11, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

**4. Plan Modifications – 6733 N. High St. (Samantha Elliot) AR 64-2020****Findings of Fact & Conclusions****Background & Request:**

The Architectural Review Board, Municipal Planning Commission and ultimately City Council approved the construction of a new 8,565 sq. ft. Goddard School on a newly created 1.013-acre parcel that was originally part of the 4-acre lot owned and operated by Schoedinger Funeral and Cremation Services and the Commission approved a Conditional Use Permit to operate a preschool in the C-3 Zoning District. The applicant is requesting to amend the previous plans as it pertains to the existing vegetation along the western property line and fencing related to the expanded playground area.

**Project Details:**

1. Removal of the existing trees along the western property line that are in poor condition, nearing their end of life and have been pruned from the AEP powerlines that run along the rear of the properties.
  - a. There is a 25-foot wide utility easement for stormwater and sanitary sewer that runs along the rear of the property, 15-feet of that easement is on the applicant's property.
2. Install new screening along the western property line that will be 6-feet to 7-feet in height Arborvitae staggered between the neighbor's fence and the newly proposed Goddard School privacy fence.

- a. The City Arborist verified the condition of the existing pines and recommended the Arborvitae as a recommended species that would be a quick grower and provide screening with an average height of 15-feet to 18-feet in height.
    - i. The City Arborist recommended the Arborvitae so that it would not encroach into the powerlines that run along the rear of the properties.
  - b. The applicant has stated that she discussed the removal of the pine trees with the two adjacent property owners to the west, and that they approve of their removal.
3. The space between the existing neighbor's fencing to the west and the fencing related to the playground will be approximately 15-feet in width and will have rip-rap stone installed over a landscape fabric to keep weeds from growing in this area.
  - a. This 15-feet is the easement area for stormwater and sanitary sewer.
    - i. City staff does not see an issue with the replacement of the vegetation in the easement area.
4. The previously approved steel picket fence associated with the playground area will be expanded west approximately 15-feet as part of the playground expansion.
5. Install a new 6-feet high solid fence along the rear of the playground.
  - a. Chesterfield CertaGrain Texture (faux wood vinyl)
    - i. Woodgrain texture and "multi-chromatic" color blends to recreate the look of stained wood.
    - ii. Goddard does not permit the use of wood materials to accomplish the screening needed along the rear property line. Wood is considered a safety issue as it may cause injury to the children.

## **Land Use Plans:**

### Worthington Design Guidelines and Architectural District Ordinance

Fences and walls are traditionally used as boundary markers and security features. In commercial districts they often are used to separate a storefront or an outdoor seating area from the activity of the street. Fences and walls can also be used and are strongly encouraged as effective screening for utility boxes, trash containers, and the like. Some businesses have placed seating and tables along the sidewalk for use by patrons having lunch or enjoying a cup of coffee. Such use of the community's sidewalks makes the entire area feel more open and pedestrian-friendly, though business owners should be sure that movement is not obstructed.

Traditional types of fences and walls include masonry walls, cast and wrought iron fences, wood rail or board fences, rows of trees and shrubs, or a combination of these. Avoid nontraditional materials such as concrete, basket-weave, stockade and "cyclone" fencing.

Paint or opaque stain are the preferred finishes for wood fencing but leaving it to weather naturally is also acceptable (the paint or stain will give it a more finished look). If pressure-treated lumber is used for structural elements, wait six months to one year before painting or staining. Fences are not permitted in front of the building line so the building and storefronts can remain visible. Side and rear fences may be as much as six feet in height, especially when concealing trash containers and utility boxes. Set aside a maintenance budget for fencing and walls so they do not become deteriorated and unsightly.

**Staff Analysis:**

1. Faux vinyl wood fences are typically not recommended; however, the location of the fence is at the rear of the property and would be screened by the newly constructed preschool, landscaping and additional landscaping added to the rear of the property.

**Recommendation:**

Staff is recommending approval of the proposed modifications are appropriate.

**ARB Motion:**

**THAT THE REQUEST BY SAMANTHA ELLIOT FOR CERTIFICATE OF APPROPRIATENESS FOR MODIFICATIONS TO A PREVIOUSLY APPROVED PLAN CONCERNING THE EXPANSION OF THE PLAYGROUND, FENCE INSTALLATION AND TREE REPLACEMENT PLAN AT 6733 N. HIGH ST., AS PER CASE NO. AR 64-2020, DRAWINGS NO. AR 64-2020, DATED SEPTEMBER 11, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

5. Solar Panels – **150 W. New England Ave.** (Appalachian Renewable Power/Rogers) **AR 65-2020**

**Findings of Fact & Conclusions****Background & Request:**

The property is a corner lot that is 80-feet deep and 120-feet wide on the corner of W. New England Ave. and Evening St. The house is a split-level style that was built in 1959. In 2014 the Board approved the installation of a generator to the rear of the property. This application is a request to install solar panels.

**Project Details:**

1. The applicant is proposing the installation of 25 solar panels. All are shown on the south side roof facing E. New England Ave.
  - a. The house is situated in a way that the roof only faces north and south.
2. The 1.38" thick panels would be mounted on a metal railing system and sit approximately 6" above the roof.
3. The color of the proposed panels would be black with the railing system also being black to match. The existing roof on the house appears to be Sierra Tan in color.
4. The location of the supporting equipment is shown in the northeast corner of the existing house.
  - a. Existing vegetation on the site appears to screen this equipment.

**Land Use Plans:****Worthington Design Guidelines and Architectural District Ordinance**

Place solar panels in a location that minimizes the visual impact as seen from the right-of-way and surrounding properties. Generally, panels should be located on roofs in the following manner: the rear 50% of the roof of the main building; the rear inside quadrant of the roof of a main building on a corner lot; or on accessory structures in the rear yard. On sloped roofs, place panels flush

along the roof unless visibility is decreased with other placement. With flat roofs, keep panels at least 5' from the edge of the roof, or place at the edge if a building parapet exists that will screen the panels.

Solar panels at another location on a building or site may be acceptable if their placement does not have an adverse effect on the architecture of the building, or the character of the site or Architectural Review District. The equipment to support solar panels should be screened from view.

**Staff Analysis:**

1. The existing house is situated on a corner lot with a gabled roof that runs east west so that that both sides of the roof are visible from E. New England Ave. and Evening St.
  - a. Solar panels would be visible from the public right-of-way in any location on this home.
2. Equipment is required to be screened from view.
  - a. The proposed location of the equipment appears to be screened by the existing vegetation.
3. The Board should discuss that it appears to be impossible to meet the Design Guidelines as part of this proposal, and determine if the placement has an adverse effect on the architecture of the building, or the character of the site or the Architectural Review District.
  - a. In 2015 and 2016 the Board approved the installation of solar panels on the front eastern elevation of two homes on Evening St., however this did lead to City Council adopting stricter guidelines as it pertains to the placement of Solar Panels in the Architectural Review District.

**Recommendation:**

Staff is recommending denial of this application as presented as it does not comply with the Design Guidelines.

**Motion:**

**THAT THE REQUEST BY APPALACHIAN RENEWABLE POWER ON BEHALF OF PATRICK ROGERS FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL SOLAR PANELS AT 150 W. NEW ENGLAND AVE. AS PER CASE NO. AR 65-2020, DRAWINGS NO. AR 65-2020, SEPTEMBER 14, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

6. Redevelopment – **7227 N. High St.** (DRP Worthington LP) **AR 66-2020**

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## **C. Municipal Planning Commission**

### **1. Planned Unit Development**

a. Redevelopment – **7227 N. High St.** (DRP Worthington LP) **PUD 02-2020**

#### **Findings of Fact & Conclusions**

##### **Background & Request:**

The Worthington Mall (The Shops at Worthington Place) was originally constructed in the mid 1970's and has been added onto, renovated and reworked many times over the years. The property transferred at the end of 2019, and the owner of the mall property is planning to redevelop the northern and western part of the property by removing part of the existing mall and adding Class A office, entertainment, hotel/multi-family, retail and restaurant uses with structured parking and open public spaces. The property owner will be rezoning the site from the C-2 District (Community Shopping Center) to a Planned Use District (PUD) to accommodate the redevelopment of the site in two phases. The property owner's team will discuss the proposal at the meeting and is looking for feedback from the ARB/MPC and the public.

##### **Existing Conditions:**

There is approximately 138,000 sq. ft. of leasable area in the mall today. Approximately 45% of the space is not producing revenue and overall is underperforming. Previous improvements and changes in use have enabled the eastern portion of the mall to operate at a higher level. The addition of medical service providers in the mall has also been helpful. The overall performance of the western side of the mall and those with only interior access is where the mall is struggling in today's retail environment. The site also suffers from poor pedestrian and vehicular flow throughout the site.

##### **Project Details:**

###### **Phase I:**

- Class A Office Space – North Building
  - 100,000 sq. ft. to 125,000 sq. ft.
  - 8-10 stories with a public parking garage on the first 4-5 floors
- Approximately 85,000 sq. ft. of the existing mall will be demolished
  - Atrium of the mall and the northwest portion of the mall will be removed as part of this phase.
- Creating of a new east/west connector south of the proposed new office building for pedestrians and vehicles.
- Creating a new north/south connector in what would have been the original atrium of the mall for pedestrians and vehicles.
- Creating a temporary outdoor public open space area.
- Installation of public amenities

- Refacing the portions of the mall that will now be exposed.
- Restaurant and retail space – Approximately 11,600 sq. ft.

#### **Phase II:**

- Class A Office Space – South Building
  - 100,000 sq. ft. to 125,000 sq. ft.
  - 8-10 stories with a public parking garage on the first 4-5 floors
- Approximately 35,000 sq. ft. of the existing mall will be demolished
- Boutique Hotel – 100 keys
  - Option for 100-units of multi-family if after 2-years the property owner is unable to find a hotel flag for the site.
  - 8-10 stories
- Restaurant and retail space – Maximum of 30,000 sq. ft.
  - 2-stories
- Permanent outdoor open space
- Installation of public amenities
- Reconfiguration of the roadways for pedestrian and vehicular connections.

#### **Discussion Items:**

- Proposed Uses
- Site Design
  - Circulation, Access, Setbacks etc....
- Architectural Character
- Screening & Landscaping
- Lighting
- Signage
- Traffic & Parking
  - A Traffic Study is required and is underway by the applicant.
  - Bicycle parking
- Stormwater
- Sustainability practices that will be incorporated as part of the redevelopment
- Public Space Amenities
- Phasing
- Streetscape Improvements
- Creation of 3-D renderings that provide an objective sense of what the topography will look and feel like from multiple directions and distances has been requested.

#### **Worthington Land Use Plans:**

##### Worthington Design Guidelines and Architectural District Ordinance

1. Scale, Form & Massing: Simple geometric forms and uncomplicated massing tend to make buildings more user-friendly and help to extend the character of Old Worthington into the newer development areas. Inclusion of sidewalks, pedestrian-scaled signage, and planting and lawn areas will help communicate a sense of a walkable pedestrian scale. Carefully

designed building facades that employ traditional storefronts -- or similarly sized windows on the first floor -- will help make new buildings more pedestrian-friendly.

2. Setbacks: Parking areas should be located toward the rear and not in the front setbacks if at all possible. Unimpeded pedestrian access to the front building facade from the sidewalk should be a primary goal. Building up to the required setback is desirable as a means of getting pedestrians closer to the building and into the main entrance as easily as possible.
3. Roof Shape: Generally, a traditional roof shape such as gable or hip is preferable to a flat roof on a new building. Roof shapes should be in scale with the buildings on which they are placed. Study traditional building designs in Old Worthington to get a sense of how much of the facade composition is wall surface and how much is roof.
4. Materials: Traditional materials such as wood and brick are desirable in newer areas, but other materials are also acceptable. These include various metals and plastics; poured concrete and concrete block should be confined primarily to foundation walls. Avoid any use of glass with highly reflective coatings. Some of these may have a blue, orange, or silver color and can be as reflective as mirrors; they generally are not compatible with other development in Worthington. Before making a final selection of materials, prepare a sample board with preferred and optional materials.
5. Windows: On long facades, consider breaking the composition down into smaller "storefront" units, with some variation in first and upper floor window design. Use traditional sizes, proportions and spacing for first and upper floor windows. Doing so will help link Old Worthington and newer areas through consistent design elements.
6. Entries: Primary building entrances should be on the street-facing principal facade. Rear or side entries from parking lots are desirable, but primary emphasis should be given to the street entry. Use simple door and trim designs compatible with both the building and with adjacent and nearby development.
7. Ornamentation: Use ornamentation sparingly in new developments. Decorative treatments at entries, windows and cornices can work well in distinguishing a building and giving it character, but only a few such elements can achieve the desired effect. Traditional wood ornamentation is the simplest to build, but on new buildings it is possible to use substitute materials such as metal and fiberglass. On brick buildings substitute materials can be used to resemble the stone or metal ornamental elements traditionally found on older brick buildings. As with all ornamentation, simple designs and limited quantities give the best results.
8. Color: For new brick buildings, consider letting the natural brick color be the body color, and select trim colors that are compatible with the color of the bricks. Prepare a color board showing proposed colors.
9. Signage: While the regulations permit a certain maximum square footage of signs for a business, try to minimize the size and number of signs. Place only basic names and graphics on signs along the street so that drive-by traffic is not bombarded with too much information. Free-standing signs should be of the "monument" type; they should be as low as possible. Such signs should have an appropriate base such as a brick planting area with appropriate landscaping or no lighting. Colors for signs should be chosen for compatibility with the age, architecture and colors of the buildings they serve, whether placed on the ground or mounted on the building. Signs must be distinctive enough to be readily visible, but avoid incompatible modern colors such as "fluorescent orange" and similar colors. Bright color shades generally are discouraged in favor more subtle and toned-down shades.



10. Sustainability: The City of Worthington and its Architectural Review Board are interested in encouraging sustainable design and building practices, while preserving the character and integrity of the Architectural Review District. Energy conservation methods are encouraged. Landscape concepts often complement energy conservation and should be maintained and replenished. Utilize indigenous plant materials, trees, and landscape features, especially those which perform passive solar energy functions such as sun shading and wind breaks. Preserve and enhance green/open spaces wherever practicable. Manage storm water run-off through the use of rain gardens, permeable forms of pavement, rain barrels and other such means that conserve water and filter pollutants. Bike racks and other methods of facilitating alternative transportation should be utilized. Streetscape elements should be of a human scale. Make use of recycled materials; rapidly renewable materials; and energy efficient materials. Use of natural and controlled light for interior spaces and natural ventilation is recommended. Minimize light pollution.

#### Wilson Bridge Road Corridor Study

The Wilson Bridge Road Corridor Study, adopted in 2011, makes recommendations for the Wilson Bridge Road corridor from the Olentangy River to the west to the Railroad Crossing to the east. The Study recommends the need to promote the redevelopment of the Wilson Bridge Road Corridor into a mixed-use area that will generate new economic growth within the City. These requirements are intended to foster development that strengthens land use and economic value; encourage a mix of uses; enhance livability of the area; to augment pedestrian and bicycle connections; and to promote construction of high-quality buildings and public spaces that create and sustain long-term economic vitality.

The 2011 Wilson Bridge Road Corridor Study identifies this area as Mixed-Use with a mix of retail and office and a recommended height of 5-6 stories in height in the area.

#### Wilson Bridge Corridor Districts

Chapter 1181 was adopted by City Council in 2016 to facilitate implementation of the Wilson Bridge Road Corridor Study, which promotes the redevelopment of the Wilson Bridge Road Corridor into a mixed-use area that will generate new economic growth within the City. These requirements are intended to foster development that strengthens land use and economic value; to encourage a mix of uses; enhance the livability of the area; to augment pedestrian and bicycle connections; and to promote construction of high-quality buildings and public spaces that help create and sustain long-term economic vitality.

The area was recommended for WBC-3 Mixed Use that would allow for a mix of retail and offices uses both vertically and horizontally with a maximum height of 4-stories. Retail uses are encouraged on the first floor of multi-floor developments. Pedestrian and public spaces are encouraged. Some residential uses may be appropriate in this area.

#### Comprehensive Plan Update & 2005 Strategic Plan for Worthington

States that retail development trends appear to be shifting toward mixed-use, adaptive reuse, and entertainment-oriented uses.

#### Increase Commercial Office Space:

Worthington's office space currently consists of 4% of the total land use. Because the income taxes generated from these office uses are crucial to the City's financial stability, great efforts should be made to encourage the private market to add additional commercial office space within the City. This can be accomplished by converting some land to office use and by allowing increased densities on office sites. This can also be accomplished by keeping vacancy rates low and by encouraging home-based offices and telecommuting in the City. Recommendations include:

- Encourage the renovation and redevelopment of the existing highway office properties to make them more competitive and attractive in the market. Increased densities through expansion and use of structured parking (parking garage) should be promoted.
- Support and work to meet the needs of companies in the business incubators, such as the Worthington Commerce Center.
- Promote the addition of amenities and services around the existing commercial areas to make their location more attractive.
- Work to attract work-at-home employees but develop a system to monitor/capture the income tax from these home office locations.

#### Freeway Commercial Area:

- Promote the improvement of the Worthington Square area, including redevelopment of the west side. Encourage a mix of uses including urban village residential development based on a town center design with streets that create synergy with the mall and street level retail. New development in this location will improve this retail node and return regional focus to the mall and highway commercial area.
- Consider allowing phased redevelopment of existing office space – such that new structures are placed on the site adding to or replacing the existing building. This will be facilitated by the inclusion and integration of structured parking. Phasing may create situations where the site does not meet parking code, but this is acceptable on a temporary basis.

#### [Chapter 1174 - Planned Unit District - PUD](#)

The purpose of Planned Unit Development is to promote variety, flexibility and quality for the development of properties in the City of Worthington. Planned Unit Development allows for more creative planning and design and enables a greater range of uses than traditional Zoning regulations. Planned Unit Development allows for the design and mix of uses necessary to meet changing economic and demographic demands; permits implementation of development standards, plans, studies, and guidelines adopted by the City Council; and provides the opportunity to retain and enhance the character of the City, and the health, safety and general welfare of the inhabitants. PUD

#### City Initiatives

The City has been evaluating the Old West Wilson Bridge Road and Corporate Hill intersections for quite some time and are in the process of designing improvements in this area. This includes the possible extension of Corporate Hill Drive to Old West Wilson Bridge Road. Additionally, as part of our continued efforts to look at traffic in this area, we have our traffic consultant Carpenter Marty evaluating short, medium- and long-term opportunities to improving traffic

flow at the Wilson Bridge and High Street intersection. We expect this study to be completed during the project review and will help inform and guide decision making.

**Recommendation:**

Staff is recommending tabling of these applications after gathering input from the Board, Commission and public so that the applicant is able to meet all the requirements of the PUD.



**City of Worthington**  
**ARCHITECTURAL REVIEW BOARD**  
Certificate of Appropriateness  
Application

Case #	AR 57-2020
Date Received	8/27/2020
Fee	\$2
Meeting Date	
Filing Deadline	
Receipt #	

1. Property Location 98 East New England Avenue Worthington OH 43085
2. Present/Proposed Use New Railing
3. Zoning District R-10
4. Applicant Mark and Susan Taylor  
Address 98 East New England Avenue Worthington OH 43085  
Phone Number(s) (614) 562-0831 / (614) 562-1546  
Email mtaylor4242@gmail.com
5. Property Owner Mark and Susan Taylor  
Address 98 East New England Avenue Worthington OH 43085  
Phone Number(s) (614) 562-0831 / (614) 562-1546  
Email mtaylor4242@gmail.com
6. Project Description Installation of new handrails
7. Project Details:
  - a) Design Two Picket #2 Hand railings from Fortin Ironworks
  - b) Color Black (Powder covered steel)
  - c) Size Approximately 42" high and 42" long (see attached mockup)
  - d) Approximate Cost \$1000.00 Expected Completion Date 10/1/2020

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Mark Taylor  
Applicant (Signature)

8/27/2020  
Date

Mark Taylor  
Property Owner (Signature)

8/27/2020  
Date

ABUTTING PROPERTY OWNERS  
FOR  
98 E. New England Ave.

Elizabeth Cooksey	93 E. New England Ave.	Worthington, Ohio 43085
Frederick Pfarr III	96 E. New England Ave.	Worthington, Ohio 43085
Daniel Bare & Tracy Steinbrenner	95 E. New England Ave.	Worthington, Ohio 43085
Frank & Kathy Cordray	668 Hartford St.	Worthington, Ohio 43085
Stephan & Tiffany Poteet	675 Morning St.	Worthington, Ohio 43085
Anish & Bharkha Mistry	100 E. New England Ave.	Worthington, Ohio 43085



ARB Supporting Statement:

We intend to install two handrails onto our front step. This will enable anyone accessing our front door to have a handrail to assist them in accessing the front step. It will also assist people when there are weather conditions, including ice, rain, and wind help themselves up the steps.

Note that the step dimensions are 7 ¼" high, 13 ½" deep, and 46 ½ " wide.



CITY OF WORTHINGTON

DRAWINGS NO. AR 65-2020

DATE 09-14-2020



# 98 E. New England Ave.



100-000015 04/25/2017




**City of Worthington**  
**ARCHITECTURAL REVIEW BOARD**  
Certificate of Appropriateness  
Application

Case #	AR 62-2020
Date Received	9/11/2020
Fee	\$2
Meeting Date	
Filing Deadline	
Receipt #	

1. **Property Location** 541 Oxford St, Worthington OH 43085
2. **Present/Proposed Use** Residential
3. **Zoning District** R-10
4. **Applicant** Matthew Pasternack  
**Address** 541 Oxford St, Worthington OH 43085  
**Phone Number(s)** 614 570 3122  
**Email** matthewpasternack@gmail.com
5. **Property Owner** same as above  
**Address** \_\_\_\_\_  
**Phone Number(s)** \_\_\_\_\_  
**Email** \_\_\_\_\_
6. **Project Description** Modifying existing fence on newly purchased property to meet standards  
\_\_\_\_\_
7. **Project Details:**
  - a) **Design** \_\_\_\_\_
  - b) **Color** \_\_\_\_\_
  - c) **Size** \_\_\_\_\_
  - d) **Approximate Cost** \$1000 **Expected Completion Date** 10/15/2020

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

  
Applicant (Signature)

9/11/2020  
Date

\_\_\_\_\_  
Property Owner (Signature)

\_\_\_\_\_  
Date



ABUTTING PROPERTY OWNERS  
FOR  
541 Oxford St.

Jean Ralley  
Mary Connelly  
Jennifer Johnson  
Kenneth Evans  
Charles Buford  
Katrina Tansky

99 W. South St.  
77 W. South St.  
61 W. South St.  
540 Oxford St.  
96 W. South St.  
551 Oxford St.

Worthington, OH 43085  
Worthington, OH 43085  
Worthington, OH 43085  
Worthington, OH 43085  
Worthington, OH 43085  
Worthington, OH 43085

# Background and Context

My name is Matt Pasternack and I am the current homeowner and resident of 541 Oxford St in Old Worthington, along with my wife and two boys (7 and 1). We closed on the property on May 22nd, 2020. We are first-time residents of Worthington and specifically appreciate the maintained character of the old Worthington district. We purchased this specific property because of the restoration done to the interior by the previous homeowner, who was able to preserve much of the original elements of the house that commonly get replaced during a old home “flip”. Original molding, trim, doors, door knobs, etc were preserved and it was evident that when new elements were needed, they took extra steps to keep the original time-period character. Needless to say, we appreciate detail and preserving original character to these historic homes.

On May 21, one day before closing, we noticed a sign outside of the property indicating there would be a hearing on May 28th. We closed on the property the next day and found out at the hearing 6 days later that the fence in its current state was not approved by the Architecture Review Board and that it needed to be reverted back to what was initially approved. Unfortunately, being new to the community and not understanding the ramifications of the potential outcome of the review hearing, we as new home owners were then responsible for fixing a problem introduced prior to taking ownership of the property.

We set out to understand what was initially approved and what had been modified since. The previous homeowners explanation was that the fence was not new, but rather reinforced the existing structure with new pickets and rails fixated to the original posts. This seems to be an accurate description as far as we can tell.

**It is our understanding from the review board hearing and further explanation that the issues with the current construction of the fence boil down to three issues ...**

- 1) It was never approved
- 2) The new picket widths do not match the initially approved picket width
- 3) There is a shadow box picket style in some areas of the fence, blocking visibility into the yard (specifically ones that are visible to the public)

It is my goal to address the three of these issues with the ARB, clear any misunderstandings about the existing and current state of the fence and propose a solution to remedy the current state of it. With 1) being addressed in the previous sentence, I would like to breakdown 2) and 3) by first describing section by section what of the fence structure was initially approved and what was added without approval.

CITY OF WORTHINGTON

DRAWINGS NO. AR 62-2020

DATE 09-11-2020

# 541 Oxford St



I will reference an aerial view of the property below when describing each fence section.



**A1** - Fence along South side of the backyard, not visible due to large (10ft tall) hedge)

**Initially approved structure:** 4in picket width on horizontal rails between posts

**Previous owner modifications:** Added 6in picket width on horizontal rails on the inside of the posts

**Notes:** A1 is not visible from the street due to the thick hedge on the outside of the fence. There is no intention to remove this hedge.

**A2** - Continued fence along the South side of the yard, visible from the sidewalk

**Initially approved structure:** no longer exists

**Previous owner modifications:** Added 6in picket width on horizontal rails on both the inside and outside of the existing posts, creating a shadow box style fence

**B** - Fence and Gates along the East, visible from Oxford St

**Initially approved structure:** no longer exists

**Previous owner modifications:** Added 6in picket width on horizontal rails on both the inside and outside of the posts, creating a shadow box style fence. Gates are also a part of the modification.

**C** - Fence along the North side of the backyard

**Initially approved structure:** 6in picket width on horizontal rails between posts

**Previous owner modifications:** Added 6in picket width on horizontal rails on the inside of the posts

**D** - Fence along a short portion of the West side of the backyard

CITY OF WORTHINGTON

DRAWINGS NO. AR 62-2020

DATE 09-11-2020

**Initially approved structure:** 4in picket width on horizontal rails between posts

**Previous owner modifications:** Added 6in picket width on horizontal rails on the inside of the posts

#### Observations and notes

- There seem to have been two different picket width sizes approved by the ARC at one point in time (6in on section C and 4in on A/D)
- Both adjacent neighbors have expressed no concern over the current fence structure
- The initial fence structure does seem to be flimsy and shows heavy signs of wear

## Proposed changes

**A1** - Fence along South side of the backyard, not visible due to large (10ft tall) hedge)

**Initially approved structure:** 4in picket width on horizontal rails between posts

**Previous owner modifications:** Added 6in picket width on horizontal rails on the inside of the posts

**Notes:** A1 is not visible from the street due to the thick hedge on the outside of the fence. There is no intention to remove this hedge.

**Proposed changes:** Keep as-is since not visible to the street. In the event that the hedges are removed, the fence will be updated.

**A2** - Continued fence along the South side of the yard, visible from the sidewalk

**Initially approved structure:** no longer exists

**Previous owner modifications:** Added 6in picket width on horizontal rails on both the inside and outside of the existing posts, creating a shadow box style fence

**Proposed changes:** Keep outside pickets but remove inside pickets (shadow box) so that backyard is visible from South St.

**B** - Fence and Gates along the East, visible from Oxford St

**Initially approved structure:** no longer exists

**Previous owner modifications:** Added 6in picket width on horizontal rails on both the inside and outside of the posts, creating a shadow box style fence. Gates are also a part of the modification.

**Proposed changes:** Keep outside pickets but remove inside pickets (shadow box) so that backyard is visible from Oxford St.

**C** - Fence along the North side of the backyard

**Initially approved structure:** 6in picket width on horizontal rails between posts

**Previous owner modifications:** Added 6in picket width on horizontal rails on the inside of the

posts

**Proposed changes:** Keep as-is since not visible to the street and adjacent neighbors have no issue with current structure

**D** - Fence along a short portion of the West side of the backyard

**Initially approved structure:** 4in picket width on horizontal rails between posts

**Previous owner modifications:** Added 6in picket width on horizontal rails on the inside of the posts

**Proposed changes:** Keep as is since not visible to the street, covered by bush and adjacent neighbors have no issue with current structure. In the event that the bush is removed, the fence will be updated.

## Final thought

My hope is that the thoughtful proposed changes to the existing structure will satisfy the concerns of the ARB while not putting additional and unexpected monetary/labor expenses on us, the new homeowners. I believe the proposed changes address the following issues the ARB originally had ...

1. It was never approved  
**Solution:** By way of this proposal
2. The new picket widths do not match the initially approved picket width  
**Solution:** The initially approved picket width actually included two different size widths (4in and 6in). All new modifications use 6in, which were actually part of the initially approved fence structure.
3. There is a shadow box picket style in some areas of the fence, blocking visibility into the yard (specifically ones that are visible to the public)  
**Solution:** Removing any interior "shadow boxing" pickets to sections that are visible from the street.

We love this community and hope that we can resolve the previous homeowners decisions with the fence modifications.

Thank you for your consideration,  
Matt Pasternack

541 Oxford St.  
Worthington, OH 43085

CITY OF WORTHINGTON

DRAWINGS NO. AR 62-2020

DATE 09-11-2020



RE: SUPPORTING STATEMENT  
541 Oxford Street, WORTHINGTON, OHIO



CITY OF WORTHINGTON  
DRAWINGS NO. AR 62-2020  
DATE 09-11-2020





CITY OF WORTHINGTON  
DRAWINGS NO. AR 62-2020  
DATE 09-11-2020





CITY OF WORTHINGTON  
DRAWINGS NO. AR 62-2020  
DATE 09-11-2020





CITY OF WORTHINGTON

DRAWINGS NO. AR 62-2020

DATE 09-11-2020





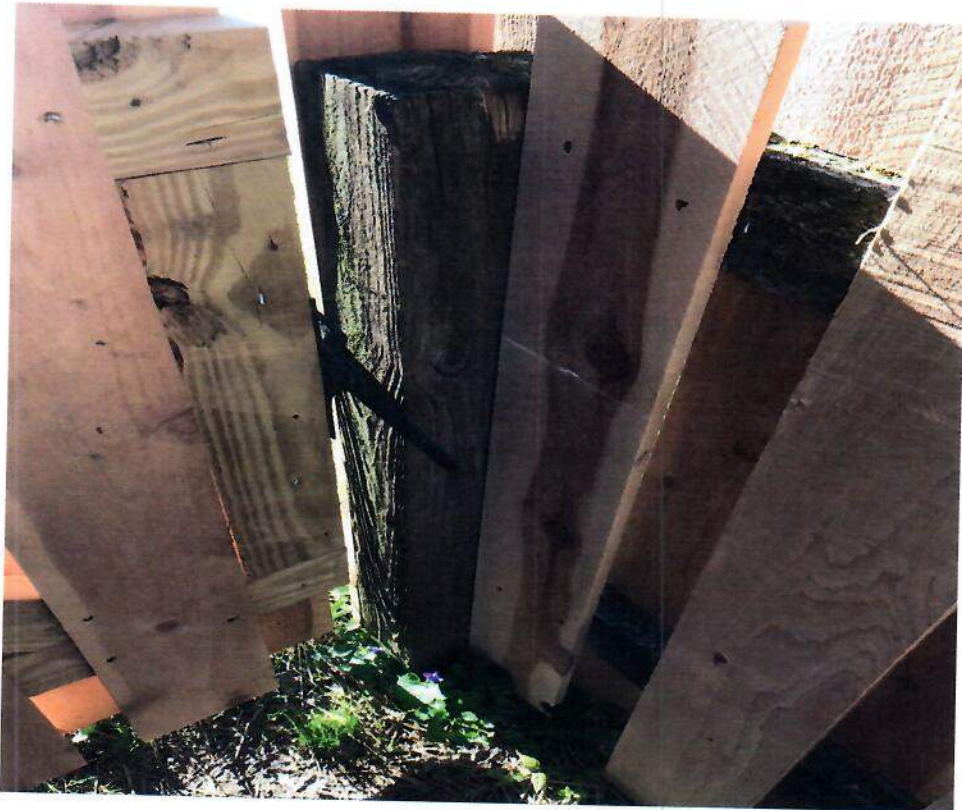
CITY OF WORTHINGTON  
DRAWINGS NO. AR 62-2020  
DATE 09-11-2020





CITY OF WORTHINGTON  
DRAWINGS NO. AR 62-2020  
DATE 09-11-2020





CITY OF WORTHINGTON

DRAWINGS NO. AR 62-2020

DATE 09-11-2020





CITY OF WORTHINGTON

DRAWINGS NO. AR 62-2020

DATE 09-11-2020



# City of Worthington

## BOARD OF ZONING APPEALS

### APPLICATION

Meetings - First Thursday of Every Month

ARB

AR 63-2020

Case #	<del>BZA 44-2020</del>
Date Received	09-11-2020
Fee	\$25.00
Meeting Date	09-24-2020
Filing Deadline	#69051

1. Property Location 655 Hartford

2. Present/Proposed Use Single Family Home

3. Zoning District R-10

4. Applicant James Ross

Address 6120 Crystal Valley Dr Galena Ohio 43021

Phone Number(s) 614 204 5661

Email Jimr.rbd@gmail.com

5. Property Owner Daniel & Sarah Mullen

Address 655 Hartford Street, Worthington OH 43085

Phone Number(s) 614-477-4677

Email danmullen51@gmail.com / sarahemullen7@gmail.com

6. Action Requested (ie. type of variance) Side Yard Setback? we will be 6' from property line +/-

7. Project Details:

a) Description Build 24'x24' Garage attach to the south side of the house. early

b) Expected Completion Date Feb 2021

c) Approximate Cost 35K

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

James Ross  
Applicant (Signature)

9-3-20  
Date

Sarah Mullen  
Property Owner (Signature)

9-2-2020  
Date



Abutting Property Owners List for  
655 Hartford St.

Ponsun Allen	665 Hartford St.	Worthington, OH 43085
Robert Bloomer	12318 Ivy Ridge Pl.	Galena, OH 43021
Resident	48 E. New England Ave.	Worthington, OH 43085
James Smith III	49 E. New England Ave.	Worthington, OH 43085
Joseph & Shelby Gavin	630 Hartford St.	Worthington, OH 43085
Ned Alexander	654 Hartford St.	Worthington, OH 43085
Lucas & Lindsay McComas	662 Hartford St.	Worthington, OH 43085



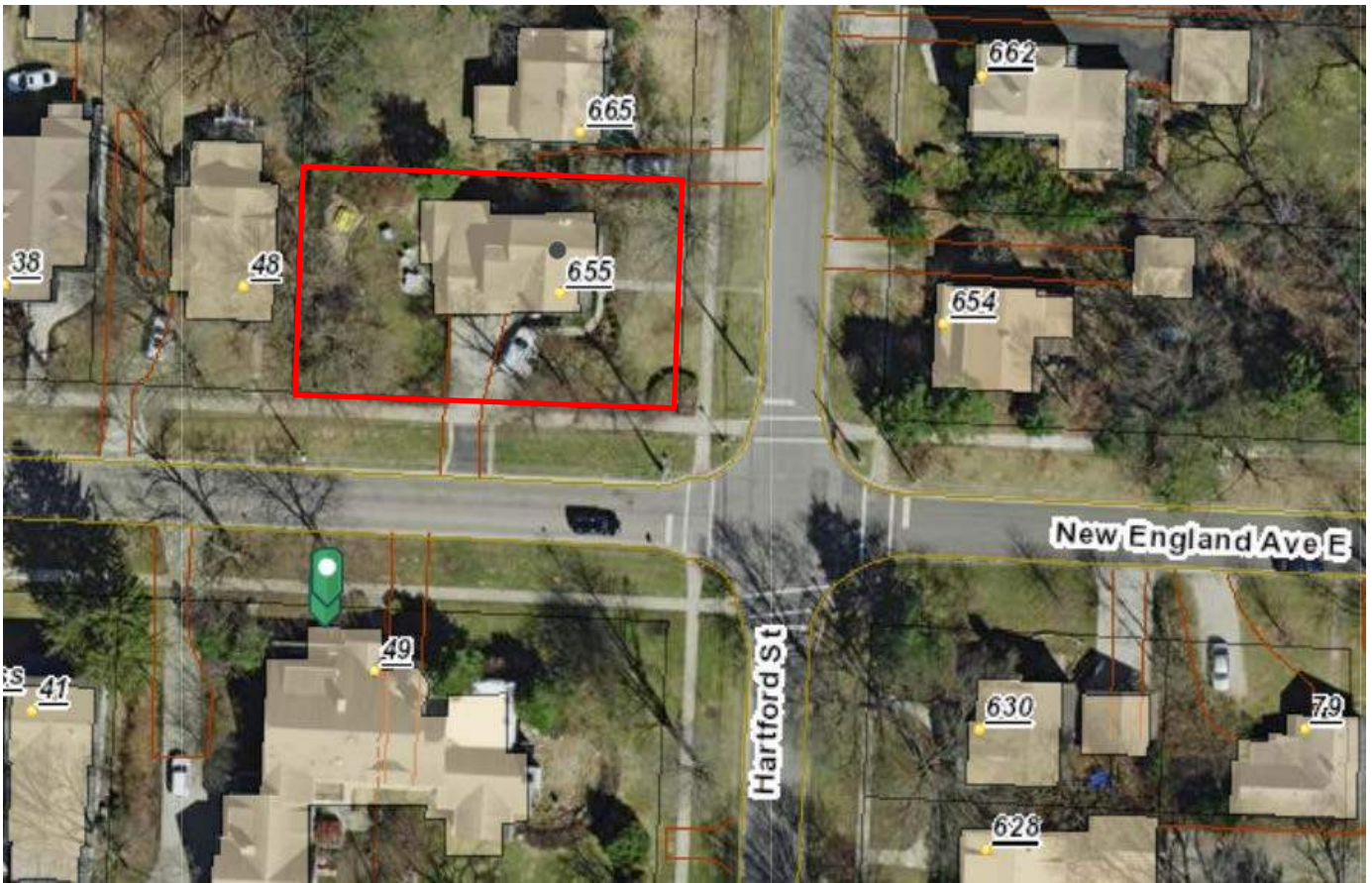
My Wife & I bought this house in 2011. Having moved from a large city where we parked in the street, a garage was not a prime concern of ours. As our family has grown throughout the years, however, adding a garage onto our house has become an increasing priority. First & foremost, a garage will greatly add to the value & marketability of our home. Also, having had both of our cars broken into multiple times and our son's locked bike stolen from our front porch, a garage will give us a much-needed layer of safety & security. We feel that adding a garage will allow us to increase storage capacity for us as well. It will allow us to better maintain value of both of our vehicles if they are stored inside. We love the historic nature of our home and our beautiful yard with several large trees. We've thought carefully about how we can add a garage that matches our home and has a minimally obtrusive footprint to our yard. This is the best option at doing just that.

Sincerely,

Daniel and Sarah Mullen

CITY OF WORTHINGTON  
DRAWINGS NO. AR 63-2020  
DATE 09-11-2020

# 655 Hartford St.

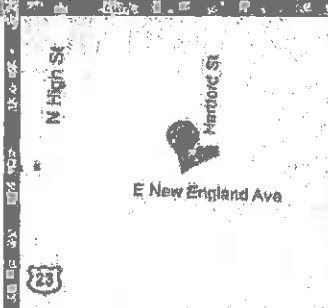


100-000374 04/25/2017



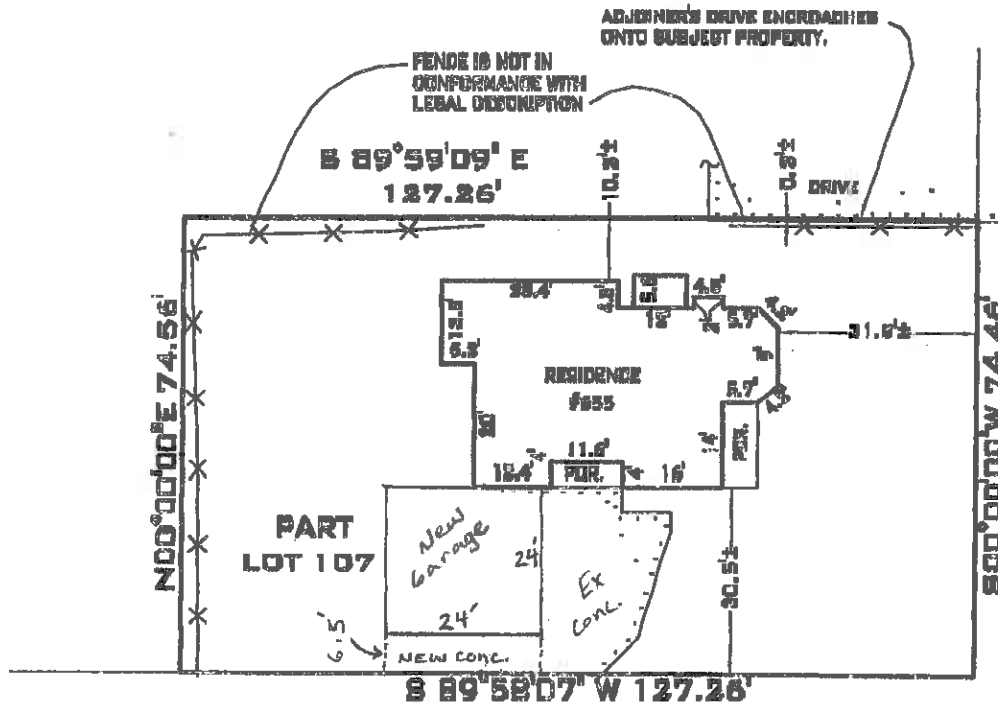
# stewart®

title company

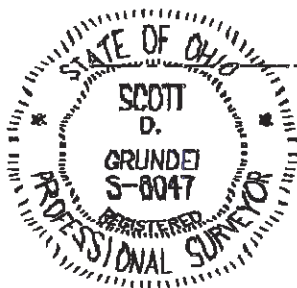


PROPERTY ADDRESS: 655 HARTFORD STREET WORTHINGTON, Ohio 43085

SURVEY NUMBER: 131046



HARTFORD ST. 66'



NEW ENGLAND AVE. 66'

CITY OF WORTHINGTON

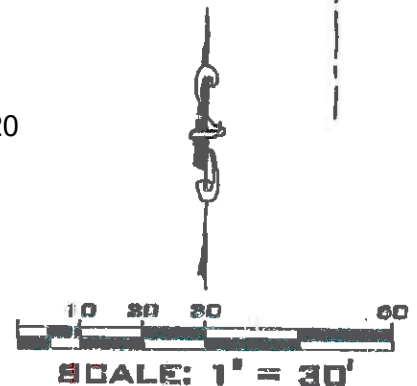
DRAWINGS NO. AR 63-2020

DATE 09-11-2020

*Scott D. Grunder*

**THIS PLAT IS NOT TO BE USED TO ERECT FENCES OR OTHER STRUCTURES, AND MAY NOT SHOW ALL EASEMENTS AFFECTING THE SUBJECT TRACT**

LS01#: 131046



POINTS OF INTEREST: THE ADJOINER'S DRIVE ENCROACHES ONTO THE SUBJECT PROPERTY. THE FENCE IS NOT CONFORMANCE WITH THE LEGAL DESCRIPTION.

CLIENT NUMBER: 120111717

DATE: 8/10/2011

BUYER: DANIEL & SARAH MULLEN

SELLER: MARIAN & MARK GREILING

This mortgage loan identification survey is not to be used for the installation or building of fences, sheds, garages, additions or any other structure. To determine exact boundary lines, a boundary survey is required.



(4) of These by all Doors

CITY OF WORTHINGTON

DRAWINGS NO. AR 63-2020

DATE 09-11-2020

ROSS BUILDERS & DESIGN

6120 CRYSTAL VALLEY DR  
GALENA, OH 43021

OPTION 'A'  
SOUTH ELEVATION  
Scale 3/16" = 1'



CITY OF WORTHINGTON

DRAWINGS NO. AR 63-2020

DATE 09-11-2020

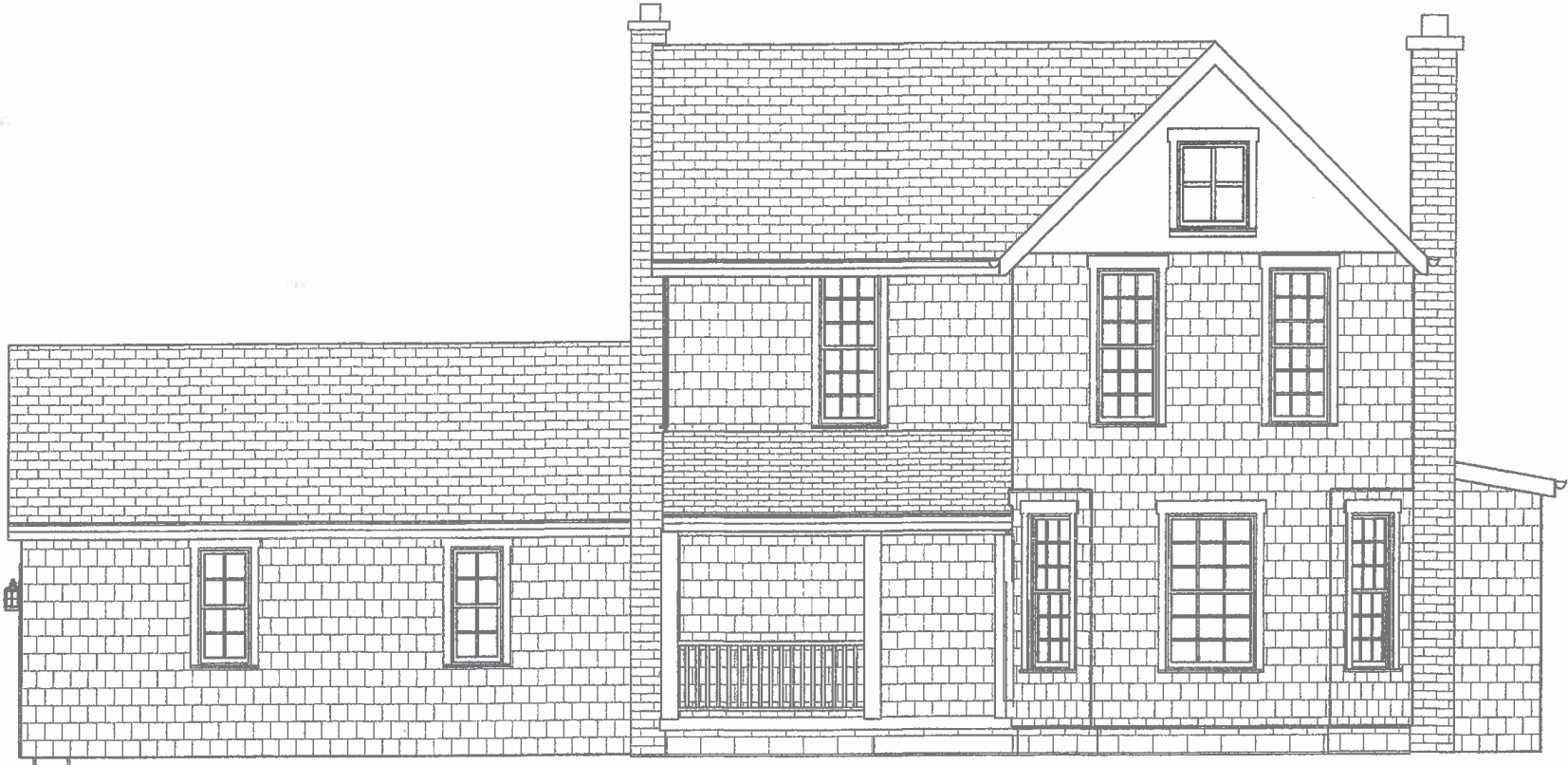
ROSS BUILDERS & DESIGN

6120 CRYSTAL VALLEY DR  
GALENA, OH 43021

OPTION A

EAST ELEVATION

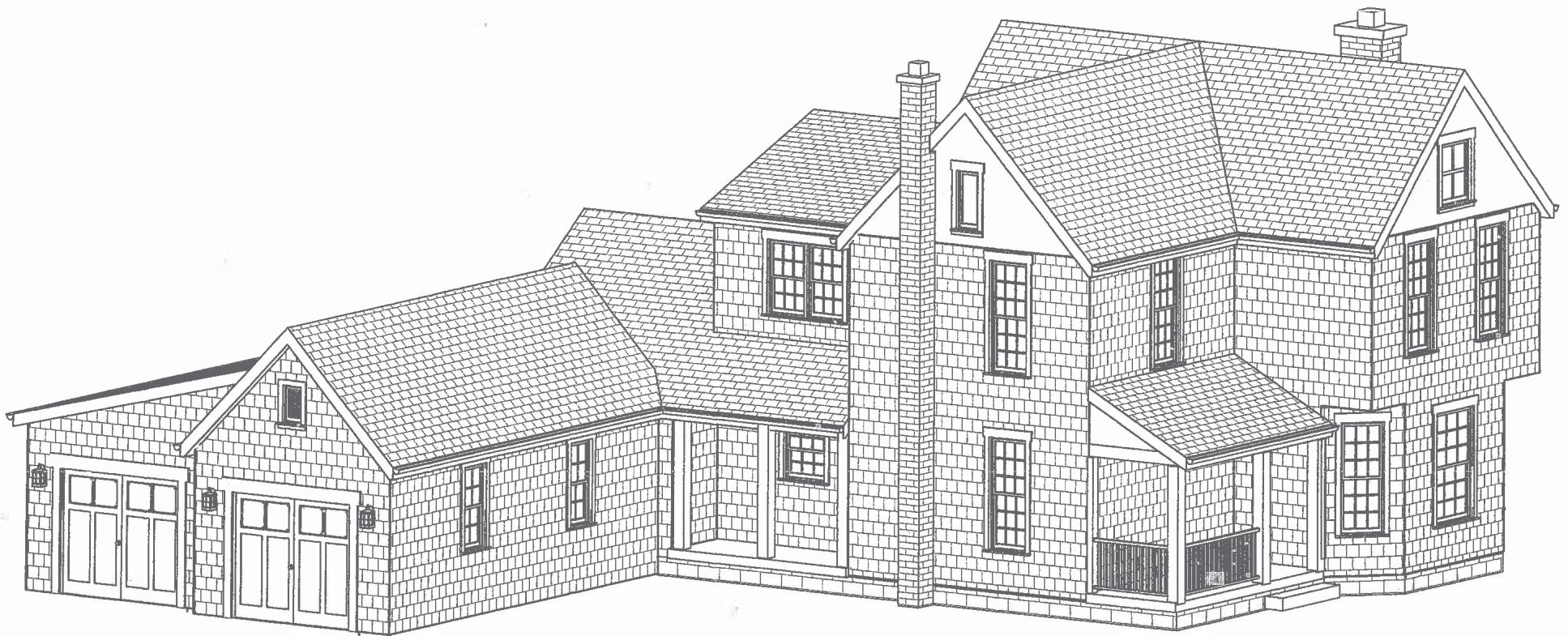
Scale 3/16" = 1'



ROSS BUILDERS & DESIGN

6120 CRYSTAL VALLEY DR  
GALENA, OH 43021

OPTION 'A'



CITY OF WORTHINGTON

DRAWINGS NO. AR 63-2020

DATE 09-11-2020



ROSS BUILDERS & DESIGN

6120 CRYSTAL VALLEY DR  
GALENA, OH 43021

Option 'A'

WEST ELEVATION

Scale:  $\frac{3}{16}" = 1'$



CITY OF WORTHINGTON

DRAWINGS NO. AR 63-2020

DATE 09-11-2020





**City of Worthington**  
**ARCHITECTURAL REVIEW BOARD**  
Certificate of Appropriateness  
Application

Case #	AR 64-2020
Date Received	9/11/2020
Fee	\$2
Meeting Date	
Filing Deadline	
Receipt #	

1. **Property Location** PID# 100-005055-00
2. **Present/Proposed Use** PARKING LOT / CHILD DAY CARE
3. **Zoning District** C-3
4. **Applicant** SAMATHA ELLIOTT  
**Address** 2990 OLD PATH ROAD, BLACKLICK, OH 43004  
**Phone Number(s)** 614.395.0023  
**Email** goddardfix@sbcglobal.net
5. **Property Owner** JAVID PROPERTIES CO.  
**Address** 229 E. STATE STREET, COLUMBUS, OH 43215  
**Phone Number(s)** 614.224.6105  
**Email** randy@schoedinger.com
6. **Project Description** THE GODDARD SCHOOL - EARLY CHILDHOOD EDUCATION CENTER  
modification to the site plan and the rear (west) fence line and landscaping
7. **Project Details:**
- a) **Design** TRADITIONAL - NO CHANGE FROM PREVIOUSLY APPROVED DESIGN
- b) **Color** Brown Cedar color fencing at property line and new arborvitae
- c) **Size** 8,894 SF
- d) **Approximate Cost** \$1,500,000.00 **Expected Completion Date** 03/15/21

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

82+EW  
**Applicant (Signature)**

09.11.2020  
**Date**

J. R. S.  
**Property Owner (Signature)**

09.11.2020  
**Date**

Abutting Property Owners  
for  
6699 N. High St.

Ethan Allen	6767 N. High St5.	Worthington, OH 43085
All Saints Evangelical Lutheran Church	6760 N. High St.	Worthington, OH 43085
Anthem Inc.	6740 N. High St.	Worthington, OH 43085
Christine Miller	4161 Rowanne Rd.	Columbus, OH 43214
Matthew & Brooke Reid	6680 Hayhurst St.	Worthington, OH 43085
David & Martha Werner	6690 Hayhurst St.	Worthington, OH 43085
Palmer Moore	6700 Hayhurst St.	Worthington, OH 43085
Michael & Teresa Mazeika	6710 Hayhurst St.	Worthington, OH 43085
Thomas Gjostein	6720 Hayhurst St.	Worthington, OH 43085
John & Shannon Kemp	6730 Hayhurst St.	Worthington, OH 43085



11-Sep-20

The previous Goddard School approved plans have been revised as follows:

Revisions –

- The existing tree line is proposed to be removed. The existing trees are in very bad shape, are at the end of their useful life, and have bare branches with no needles on the interior of the exposure of both lines of trees.
- Replacement trees will be installed per the city arborist's recommendation of 6' – 7' arborvitae staggered between the neighbor's fence line and the new Goddard privacy fence line. The arborvitae will have an eventual mature height of 15' – 18'. This will be just below the height of the existing electric lines.
- The ground cover between the 2 fence lines will be rip-rap stone installed over a landscape fabric to keep weed and vegetation from growing in the area.
- The existing proposed steel picket fence will be relocated west to 15' from the west property line and replaced with a 6' high privacy fence.

Please notify us if any additional information is required.

CITY OF WORTHINGTON

DRAWINGS NO. AR 64-2020

DATE 09-11-2020



# 6733 N. High St.





**City of Worthington  
Supporting Statement - 11-Sep-20**

We, Sam & Rex Elliott, have been Goddard School franchise operators since 2004. We opened our first location in Worthington Hills in 2004 and our second location in Grove City in 2005. We still operate both of those facilities and enjoy making a difference in the lives of young children.

All of the plans have been previously submitted and approved through the ARB and MPC and have been approved. This submission is merely a revision to those plans refining the site layout, removing dead / diseased trees, enlarging the playground area toward the west property line, and adding a privacy fence at the rear of the property. Our current plan with the Schoedinger site provides for a Reciprocal Easement Agreement (REA) that has already been agreed to and recorded that would allow for shared access and parking.

Whenever you have children occupy a location, safety and health considerations are always taken very seriously. This includes the type of fence material used for privacy fencing. We are proposing using a faux wood vinyl fencing material that has the look of cedar but does not cause injury to children that may touch or run into the fencing causing splinters, cuts, or severe trauma. Wood fencing is not permitted by Goddard as a result of the possibility of said injuries.

We have included the revised site plan, fencing elevations, and revised landscape plan for your review and approval.

We appreciate the Board's consideration of our application and are happy to answer any questions.

Sincerely,

Samantha & Rex Elliott

Owners - The Goddard School Worthington & Grove City

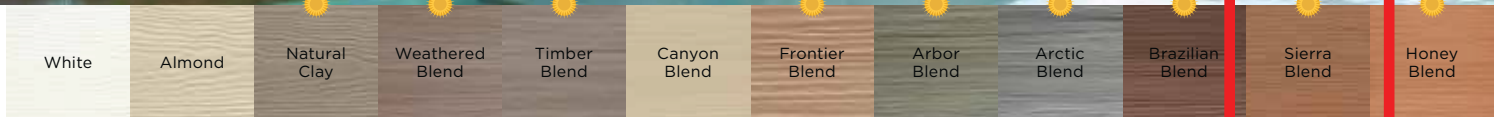
CITY OF WORTHINGTON

DRAWINGS NO. AR 64-2020

DATE 09-11-2020



# Chesterfield CertaGrain® Texture



## Chesterfield CertaGrain® Texture

Bufftech's authentic woodgrain texture and "multi-chromatic" color blends recreate the natural beauty of stained wood in an easy-to-maintain vinyl design. Top rails in ColorLast® colors feature reinforcement for added strength and durability.

**Heights:** 4', 5' & 6'

**Picket Style:** 7/8" x 7" Tongue & Groove

(Canyon Blend and Honey Blend only available for 6' height)

Steel Reinforced Bottom Rail

**Cap Styles** (shown in Sierra Blend)



Textured Flat External



Textured Flat Top External



Textured New England

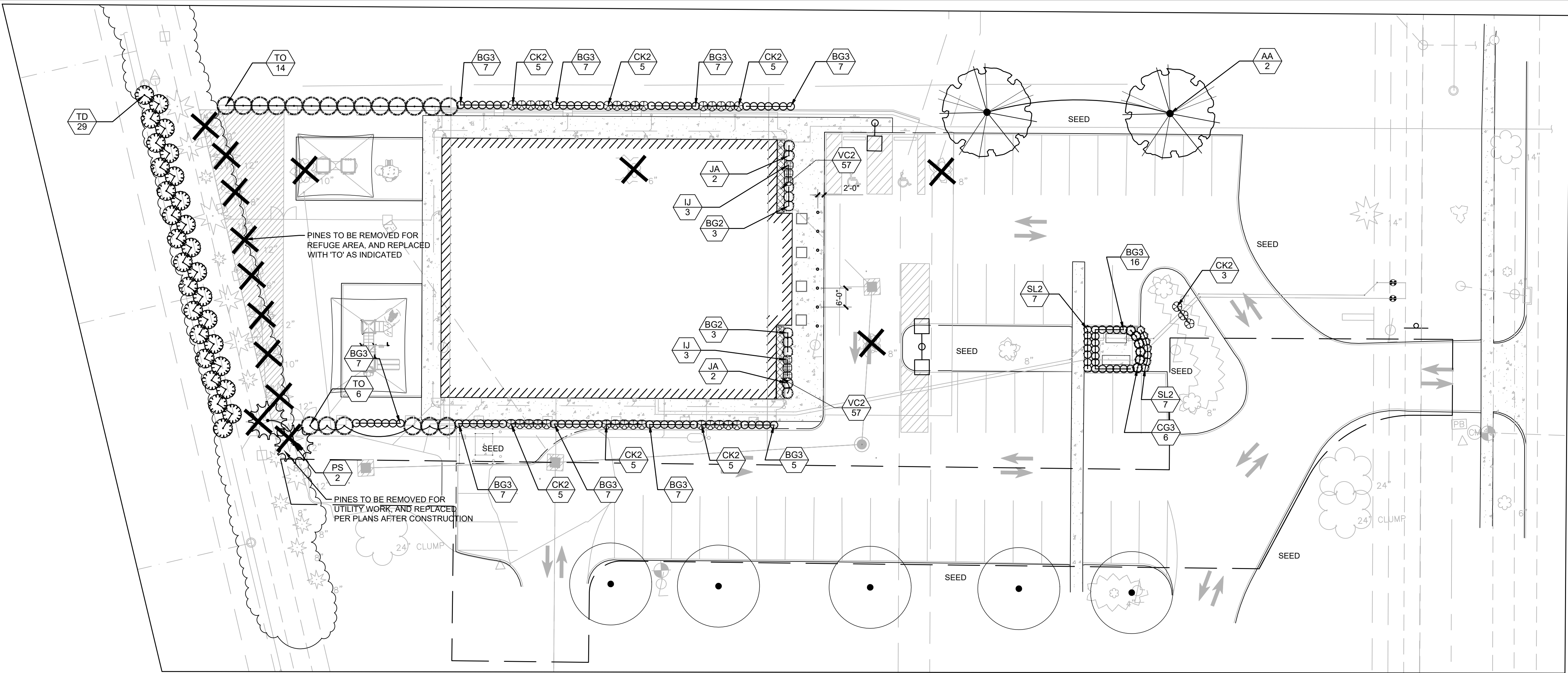
CITY OF WORTHINGTON

DRAWINGS NO. AR 64-2020

DATE 09-11-2020







CITY OF WORTHINGTON  
DRAWINGS NO. AR 64-2020  
DATE 09-11-2020

GENERAL PLANTING NOTES:

1. SURVEY INFORMATION OBTAINED ELECTRONICALLY. PLAN-IT STUDIOS CANNOT ATTEST TO THE ACCURACY OR RELIABILITY OF LEGAL BOUNDARIES, EASEMENTS OR FIELD GATHERED DATA.

2. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

3. ALL DIMENSIONS ARE TAKEN TO FACE OF CURB OR BUILDING WHERE APPLICABLE UNLESS OTHERWISE NOTED. USE DIMENSIONAL INFORMATION GIVEN. DO NOT SCALE DRAWINGS.

4. CONTRACTOR SHALL REFER QUESTIONS ON MATERIALS, FINISHES, LABOR, AND/OR PERFORMANCE STANDARDS NOT SPECIFIED HEREIN TO THE LANDSCAPE ARCHITECT.

5. ALL CHANGES TO DESIGN OR PLANT SUBSTITUTIONS ARE TO BE AUTHORIZED BY THE LANDSCAPE ARCHITECT.

6. CONSULT PLANT SCHEDULE FOR PLANT SIZES AND SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS DRAWN ON PLANS. PLANT LIST QUANTITIES ARE FOR CONVENIENCE ONLY.
7. ALL PLANTS TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI-Z60.1-2014) IN REGARDS TO SIZING, GROWING AND B&B SPECIFICATIONS.

8. ALL PROPOSED PLANTING BEDS TO BE TILLED TO A MINIMUM DEPTH OF 12".

9. ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.

10. PLANTING HOLES TO BE DUG A MINIMUM OF TWICE THE WIDTH AND 6-8 INCHES DEEPER THAN THE SIZE OF THE ROOT BALL OF BOTH SHRUB AND TREE AND TO BE AMENDED WITH ORGANIC SOIL CONDITIONER.

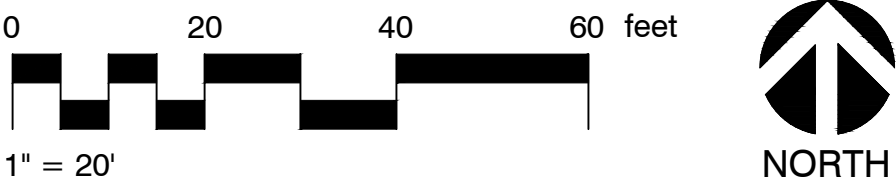
11. IN AREAS WHERE BEDROCK OR HEAVILY COMPACTED ROCK FILL IS ENCOUNTERED, THE PLANTING HOLES ARE TO BE DUG TO A MINIMUM OF THREE TIMES THE WIDTH AND ONE FOOT DEEPER THAN THE SIZE OF THE ROOT BALL. NOTIFY LANDSCAPE ARCHITECT IF FIELD CONDITIONS WARRANT ADJUSTMENT OF PLANT LOCATIONS.

12. CONTRACTOR TO PROVIDE A FULL 1 YEAR GUARANTEE ON ALL PLANTS INSTALLED AND PROVIDE COMPLETE MAINTENANCE ON ALL WORK DONE BEGINNING ON THE DAY OF APPROVAL FROM OWNER'S REPRESENTATIVE AND CONTINUING FOR A THREE MONTH DURATION AT WHICH TIME OWNER'S REPRESENTATIVE WILL DECLARE JOB ACCEPTANCE.

13. ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.
14. ALL SHRUBS AND GROUND COVER BEDS (EXISTING AND NEW), PLANTING BEDS, AND SHRUB MASSES SHALL HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTINUOUS BED.
15. EXISTING GRASS TO BE REMOVED, IF PRESENT, AND TOPSOIL TO BE SPREAD SMOOTH AND HAND-RAKED TO REMOVE ALL ROCKS AND DEBRIS LARGER THAT 1 INCH IN DIAMETER PRIOR TO LAYING SOD OR SEEDING.
16. ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDED. (SEE LANDSCAPE PLANS) . SEEDING OR SODDING BY LANDSCAPE CONTRACTOR.
17. IF APPLICABLE LANDSCAPE CONTRACTOR TO COORDINATE WITH EXISTING OR PROPOSED IRRIGATION SYSTEM. IF PROPOSED IRRIGATION SYSTEM COORDINATE WITH IRRIGATION CONTRACTOR AND INSTALLATION OF SYSTEM.

PLANT SCHEDULE

TREES	QTY	COMMON / BOTANICAL NAME	CONT	CAL	SIZE
AA	2	Celebration Maple / Acer freemanii 'Celebration'	B & B	2"Cal	
CG3	6	Split Rock Hinoki Cypress / Chamaecyparis obtusa 'Split Rock'	B & B		30" HT.
PS	2	White Pine / Pinus strobus	B & B		6' HT MIN
TD	29	Dark Green Arborvitae / Thuja occidentalis 'Dark Green'	B & B		6'-7' HT.
TO	20	Pyramidal Arborvitae / Thuja occidentalis 'Fastigiata'	B & B		6'-7' HT.
SHRUBS	QTY	COMMON / BOTANICAL NAME	CONT		
BG2	6	Pyramidal Boxwood / Buxus x 'Green Mountain'	B&B 4' ht min.		
BG3	77	Boxwood / Buxus x 'Green Velvet'	24" HT.		
CK2	33	Feather Reed Grass / Calamagrostis x acutiflora 'Karl Foerster'	3 gal		
IJ	6	Dwarf Sweetspire / Itea japonica 'Little Henry'	24" Ht. and Spread		
JA	4	Gold Coast Juniper / Juniperus x pfitzeriana 'Aurea Improved'	24" Ht. and Spread		
SL2	14	Little Bluestem Grass / Schizachyrium scoparium	1 gal		
GROUND COVERS	QTY	COMMON / BOTANICAL NAME	CONT		SPACING
VC2	114	Common Periwinkle / Vinca minor	Flat P.P.		12" o.c.



GODDARD PRE-SCHOOL  
6699 N. High Street  
Worthington, Ohio

PROJECT NO:  
PROJECT #020-003

ISSUE DATE  
July 8, 2020

SHEET INFORMATION	
CURRENT DATE	September 9, 2020
REVISIONS	September 9, 2020
SHEET TITLE	
Landscape Plan	
SCALE	
As Noted	
SHEET NO.	



**GODDARD PRE-SCHOOL**  
6699 N. High Street  
Worthington, Ohio

PROJECT NO:  
**PROJECT #020-003**

ISSUE DATE  
**July 8, 2020**

SHEET INFORMATION

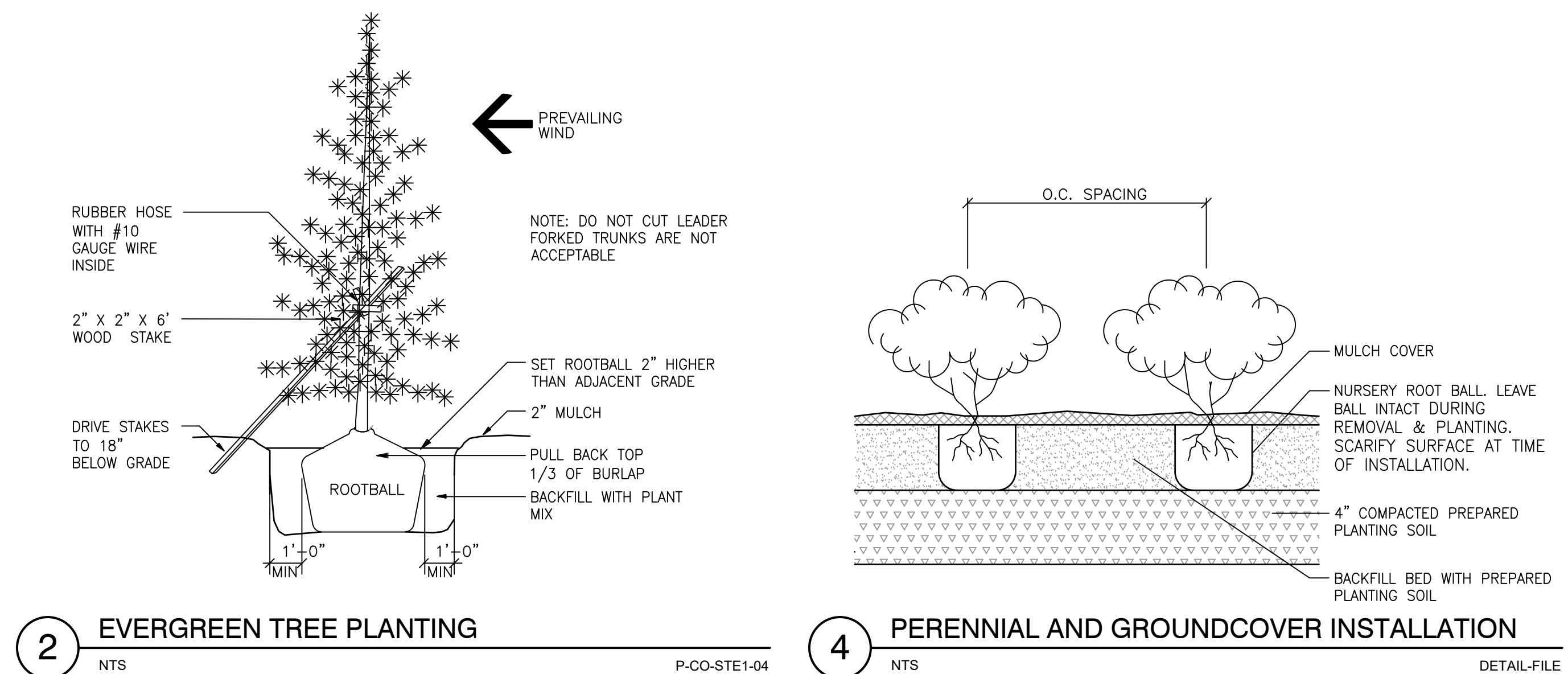
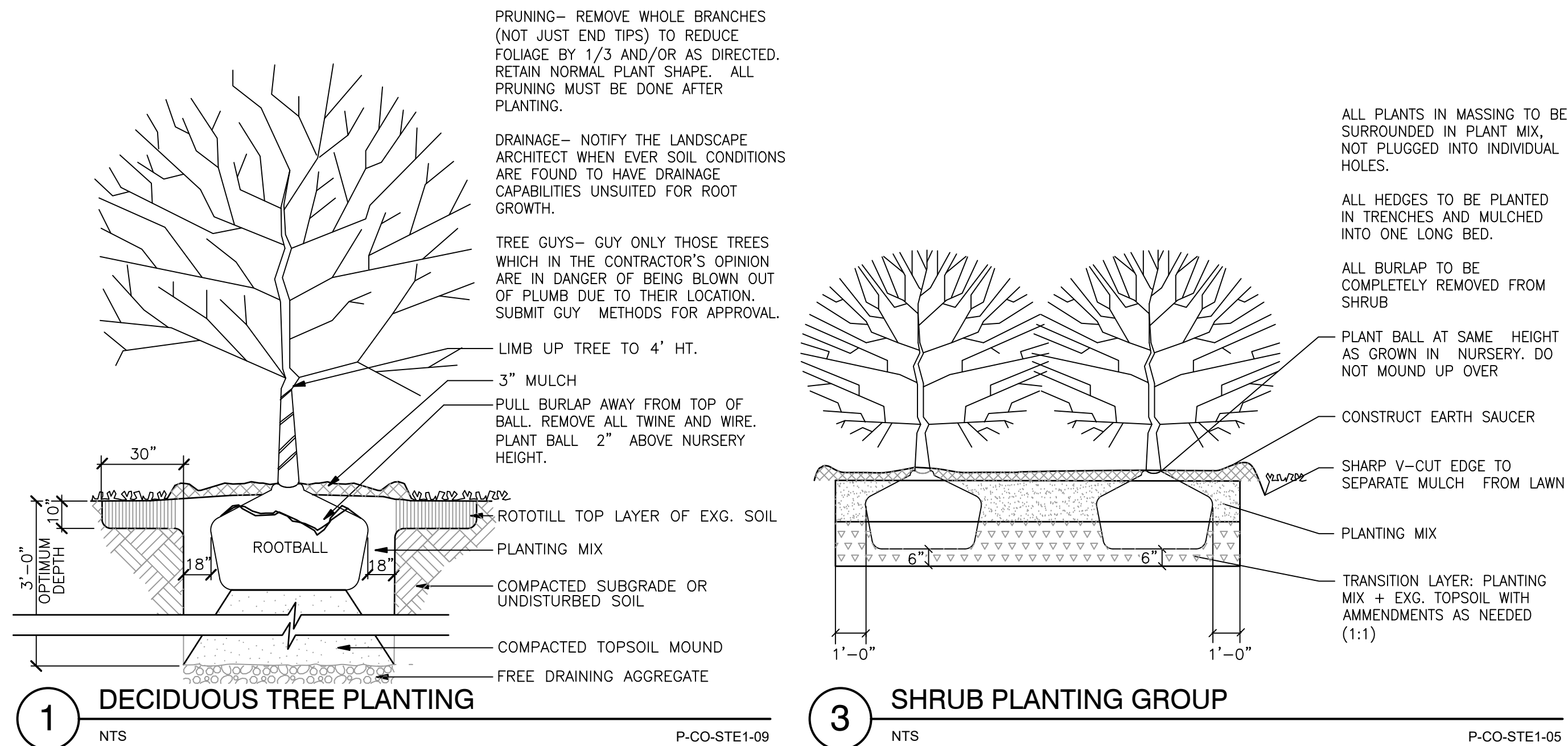
CURRENT DATE  
**September 9, 2020**  
REVISIONS  
**September 9, 2020**

SHEET TITLE  
**Landscape  
Details**

SCALE  
**As Noted**

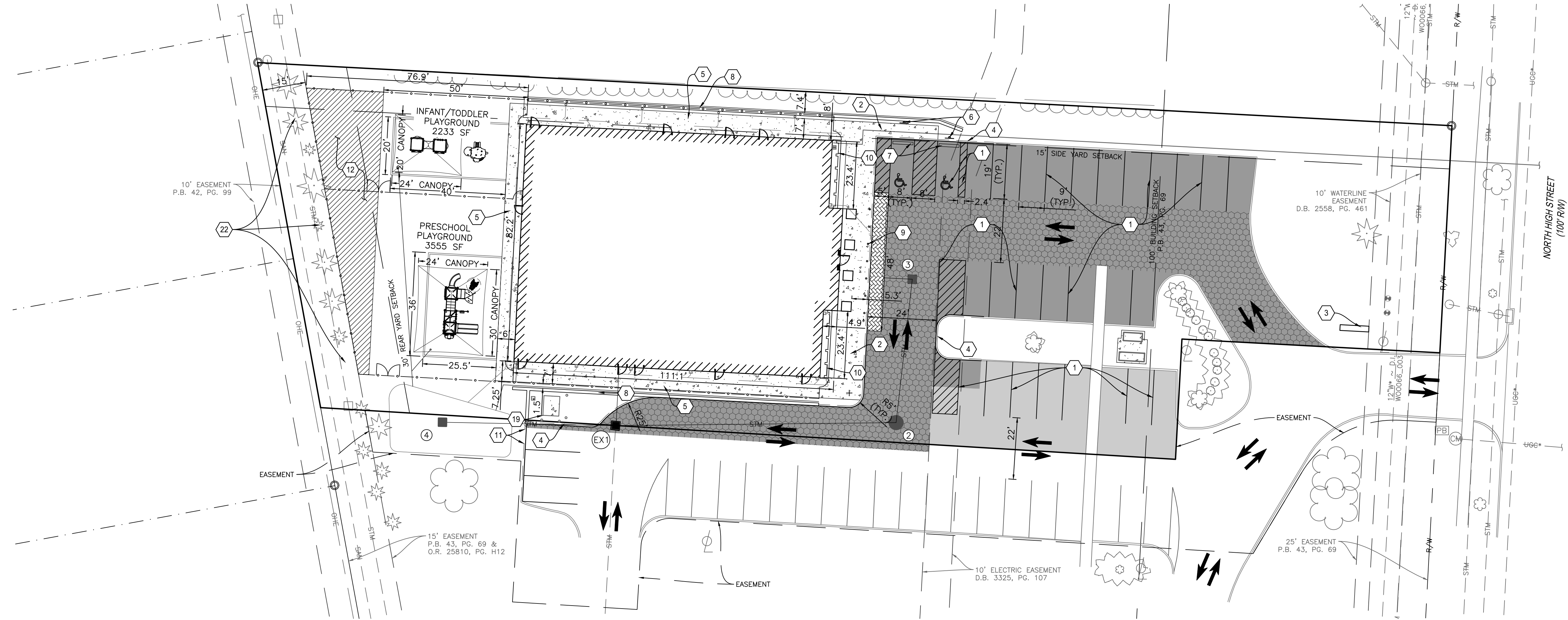
SHEET NO.

**L-2**



CITY OF WORTHINGTON  
DRAWINGS NO. AR 64-2020  
DATE 09-11-2020





SITE KEYNOTES

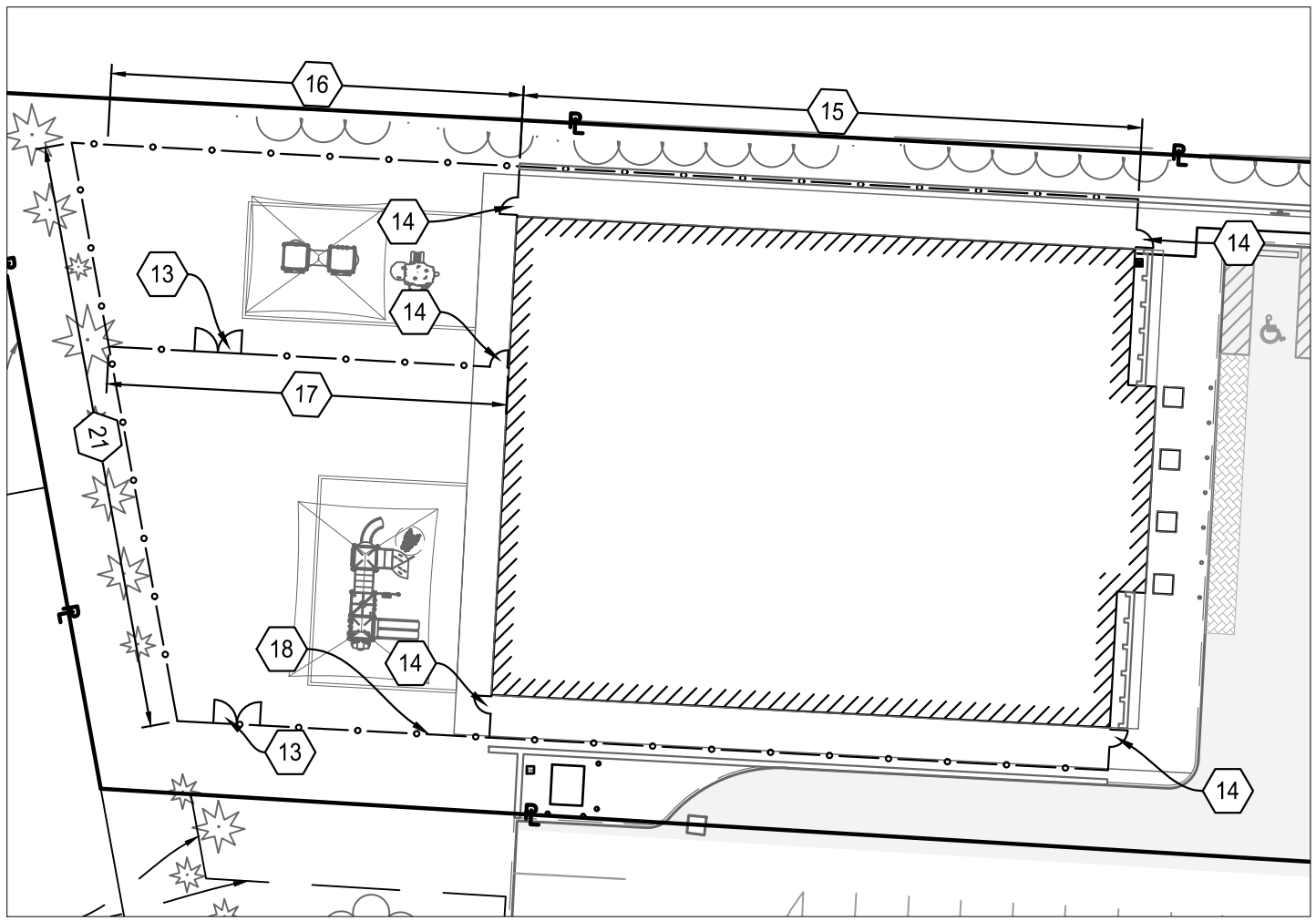
1. PAVEMENT MARKINGS INCLUDING PARKING SPACES TRANSVERSE LINES & ADA SYMBOLS. SEE MISC. NOTES BELOW.
2. INTEGRAL CURB & SIDEWALK. SEE DETAIL.
3. APPROXIMATE MONUMENT SIGN LOCATION. SEPARATE PERMIT APPLICATION TO BE SUBMITTED.
4. STD. CONCRETE CURB. SEE DETAIL.
5. STD. CONCRETE SIDEWALK. SEE DETAIL.
6. ADA PARKING SIGNAGE. SEE DETAIL.
7. PRECAST CONCRETE WHEEL STOP. INSTALLED & SECURED PER MANUFACTURER'S RECOMMENDATIONS.
8. STRUCTURAL RETAINING WALL. SEE ARCHITECTURAL PLANS FOR DETAILS.
9. 7 TRAFFIC GRADE BOLLARDS AT FRONT OF BUILDING. SEE LANDSCAPING PLAN. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. ACCOMPANIED BY A DECORATIVE SLEEVE. SEE DETAILS.
10. HEAVY TIMBER BARRIER. SEE DETAIL.
11. 5' W DROPPED CURB FOR DRAINAGE. SEE GRADING PLAN.
12. 1494 SF AREA OF REFUGE. MUST BE 50' MIN. FROM BUILDING WITH 5 SF PER OCCUPANT.
13. DOUBLE FENCE GATE.
14. SINGLE FENCE GATE.
15. MCCUE BARRIER FENCE ON TOP OF RETAINING WALL. SEE DETAILS.
16. 6' MCCUE BARRIER FENCE. SEE DETAIL.
17. 4' MONTAGE MAJESTIC DECORATIVE FENCE. SEE DETAIL.
18. 6' MONTAGE MAJESTIC DECORATIVE FENCE. SEE DETAIL.
19. 6" ELECTRIC TRANSFORMER PAD. COORDINATE ALL TRANSFORMER PAD CONNECTION & DETAILS WITH ELECTRICAL PLANS AND POWER COMPANY.
20. TRANSFORMER BOLLARDS. BOLLARDS TO BE PAINTED GREEN TO MATCH TRANSFORMER COVER. COORDINATE LOCATION AND NUMBER OF BOLLARDS WITH UTILITY PROVIDER.
21. 6' FENCE W/ SCREENING. SEE ARCHITECTURAL PLANS FOR SCREENING DETAILS.
22. NEW TREES TO BE PLANTED WITH WOVEN WEED BARRIER AND 2"-3" RIVER COBBLE GROUND COVER. SEE LANDSCAPING PLAN FOR ACTUAL TREE LOCATIONS & DETAILS.

MISC. NOTES

- TRAFFIC PAINT TO BE ODOT APPROVED, QUICK DRYING CHLORINATED-RUBBER ALKYD TYPE, COLOR AS APPROVED WITH GLASS BEADS. WHITE AND YELLOW TRAFFIC MARKING PAINT SHALL BE METHYL METHACRYLATE AND CONFORM TO AASHTO M 248, TYPE F. GLASS SPHERES FOR REFLECTORIZING TRAFFIC PAINT SHALL CONFORM TO AASHTO M 247, TYPE I, AND SHALL BE SUPPLIED BY A MOISTURE RESISTANT COATING.
- ALL PARKING SPACES ADJACENT TO SIDEWALKS SHALL HAVE PARKING BLOCKS INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- PERMEABLE PAVERS TO BE BELGARD COMMERCIAL INTERLOCKING PERMEABLE PAVER SYSTEM OR EQUIVALENT. COLOR AND PATTERN TO BE SELECTED BY OWNER.

LEGEND

- STANDARD DUTY ASPHALT PAVEMENT (SEE DETAIL)
- HEAVY DUTY ASPHALT PAVEMENT (SEE DETAIL)
- PERMEABLE PAVERS (SEE DETAIL)
- STANDARD DUTY ASPHALT PAVEMENT TO BE MILLED & OVERLAYED
- DIRECTIONAL PARKING LOT ARROWS (FOR VISUAL AID ONLY)



FENCING EXHIBIT

1" = 30'

CITY OF WORTHINGTON

DRAWINGS NO. AR 64-2020

DATE 09-11-2020

EQUIPMENT NOTE

PLAYGROUND EQUIPMENT IS DESIGNED WITH THE PRIMARY COLORS BLUE, RED, GREEN AND YELLOW. DEVELOPER/DESIGN PROFESSIONAL TO CONFIRM THAT THERE ARE NO RESTRICTIONS THAT WILL NOT PERMIT THE INSTALLATION OF EQUIPMENT WITH THESE COLORS. DEVELOPER/DESIGN PROFESSIONAL TO VERIFY WITH ANY GOVERNING BODY NOT LIMITED TO PLANNING AND ZONING BOARDS, ARCHITECTURAL REVIEW BOARDS, OR HOME OWNERS ASSOCIATIONS AS WELL AS WITH AND NOT LIMITED TO THE REVIEW OF ANY COVENANTS AND RESTRICTIONS OR DESIGN GUIDELINES. GODDARD SYSTEMS, INC. (GSI) CAN PROVIDE COLOR ELEVATIONS OF THE EQUIPMENT IF NECESSARY. PLEASE CONTACT YOUR GSI REPRESENTATIVE IF THE PRIMARY COLORS ARE NOT PERMITTED.

SITE DATA TABLE

	SF	ACRE
TOTAL SITE AREA:	44150.06	1.014
TOTAL DISTURBED AREA:	32752.54	0.752
INCREASE IN IMPERVIOUS AREA:	-17.67	-0.000

PROPOSED PARKING SUMMARY

PROPOSED PARKING PER GODDARD:	
STANDARD PARKING (9'x19')	26
HANDICAP PARKING PROVIDED (INCLUDES 1 VAN ACCESSIBLE)	02
TOTAL =	28
REQUIRED PARKING PER CODE:	
1 FOR EACH CLASSROOM	08
REQUIRED HANDICAP SPOTS	01
TOTAL =	10



OFFICES

128 East Main Street  
Logan, Ohio 43138  
740-385-2140

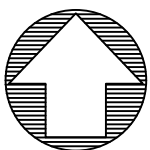
1495 Old Henderson Road  
Columbus, Ohio 43220  
614-459-6992

507 Main Street  
Zanesville, Ohio 43701  
740-450-1640

Registered Engineer  
Date

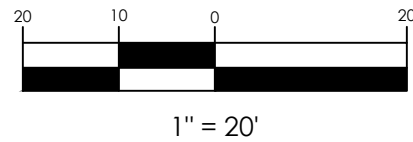


Know what's below.  
Call before you dig.



NORTH

GRAPHIC SCALE



**GODDARD  
PRE-SCHOOL**  
6733 N. HIGH STREET  
WORTHINGTON, OH  
43085

07-01-2020

RESUBMITTAL SET

SITE DIMENSION PLAN

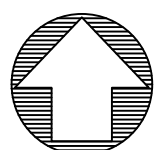
C4.1

SD PROJECT NO. 3869



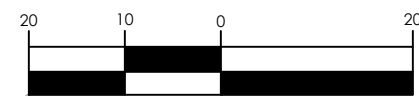


Know what's below.  
Call before you dig.



NORTH

GRAPHIC SCALE



1" = 20'

**GODDARD  
PRE-SCHOOL**  
6733 N. HIGH STREET  
WORTHINGTON, OH  
43085

07-01-2020

RESUBMITTAL SET

CITY OF WORTHINGTON

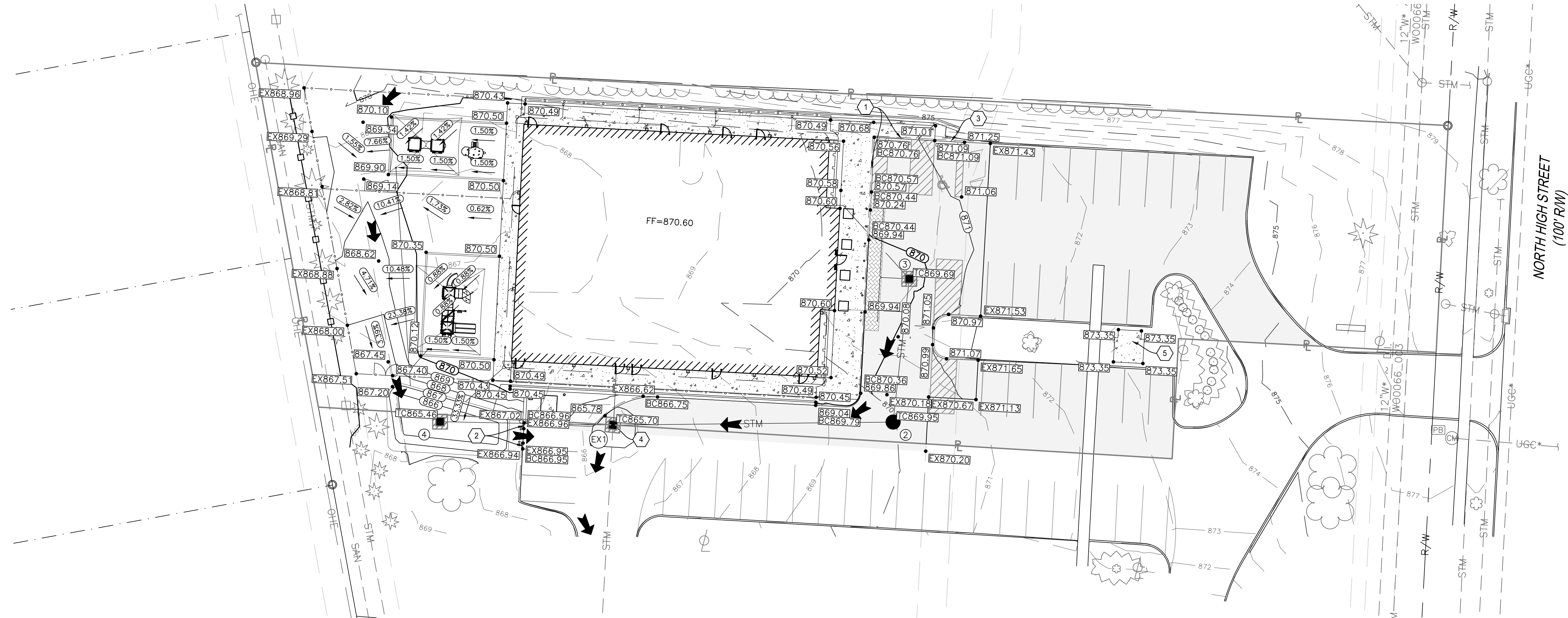
DRAWINGS NO. AR 64-2020

DATE 09-11-2020

SITE GRADING & SWPPP

C6.1

SD PROJECT NO. 3869



#### GRADING KEYNOTES

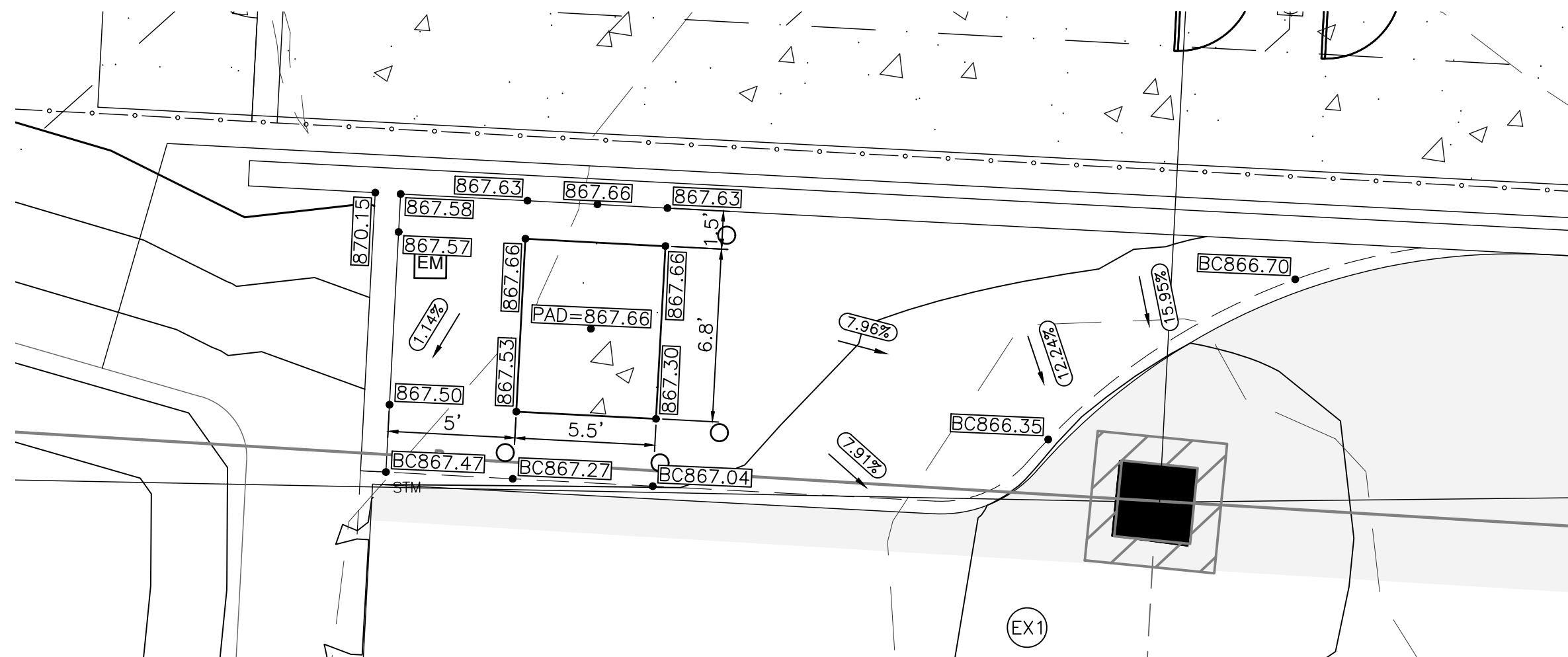
1. SIDEWALK FLUSH WITH PAVEMENT FOR ADA ACCESS.
2. TAPER CURB FROM FULL HEIGHT TO FLUSH W/ PAVEMENT OVER 2'.
3. TAPER CURB FROM FULL HEIGHT TO FLUSH W/ PAVEMENT OVER 8'.
4. ADJUST TOP OF CASTING TO 865.70.
5. GROUND AROUND SLAB TO BE 2-4" BELOW SLAB ELEVATION.

#### MISC. NOTES

- ALL SPOT GRADES SHOWN ARE PAVEMENT ELEVATIONS AT FACE OF CURB, WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
- DIRECT DISCHARGE OF SEDIMENT LADEN WATER TO THE CITY'S SEWER SYSTEM OR A RECEIVING STREAM IS A VIOLATION OF OHIO EPA CITY OF COLUMBUS REGULATIONS. THE CONTRACTOR WILL BE HELD LIABLE FOR THE VIOLATION AND SUBSEQUENT FINES.
- STREET CLEANING (ON AN AS-NEEDED BASIS IS REQUIRED THROUGHOUT THE DURATION OF THIS PROJECT. THIS INCLUDES SWEEPING, POWER CLEANING, AND (IF NECESSARY) MANUAL REMOVAL OF DIRT OR MUD IN THE STREET GUTTERS.

#### GRADING LEGEND

- (888)— PROPOSED CONTOUR & LABEL
- - 888 - - EXISTING CONTOUR & LABEL
- 98.36 ● SPOT GRADE MARKER
- BC888.36 ● SPOT GRADE - BACK OF CURB
- EX888.36 ● SPOT GRADE - MATCH EXISTING
- TC888.36 ● SPOT GRADE - TOP OF CASTING
- 2.76% SLOPE ARROW AND GRADE
- INLET PROTECTION
- MAJOR FLOOD ROUTING
- CONCRETE WASHOUT
- SEDIMENT FENCE



TRANSFORMER PAD

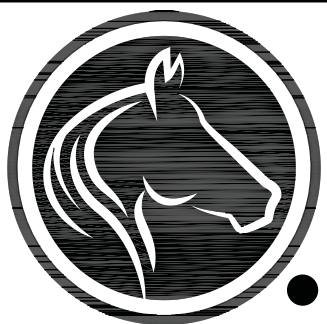
1" = 5'



NO.	DATE	DESCRIPTION
1	01.09.2020	OWNER REVIEW & APPROVAL FLOOR PLAN
2	01.24.2020	OWNER REVIEW & APPROVAL FLOOR PLAN
3	01.29.2020	OWNER REVIEW & APPROVAL FLOOR PLAN
4	02.03.2020	OWNER REVIEW & APPROVAL FLOOR PLAN
5	02.14.2020	OWNER REVIEW & APPROVAL FLOOR PLAN
6	02.28.2020	CITY SUBMITAL REVISED FLOOR PLAN & ELEVATIONS
7	09.11.2020	REAR FENCE REVISIONS
8		

NO.	DATE	DESCRIPTION
1	04.10.2020	PERMIT - BID DRAWINGS

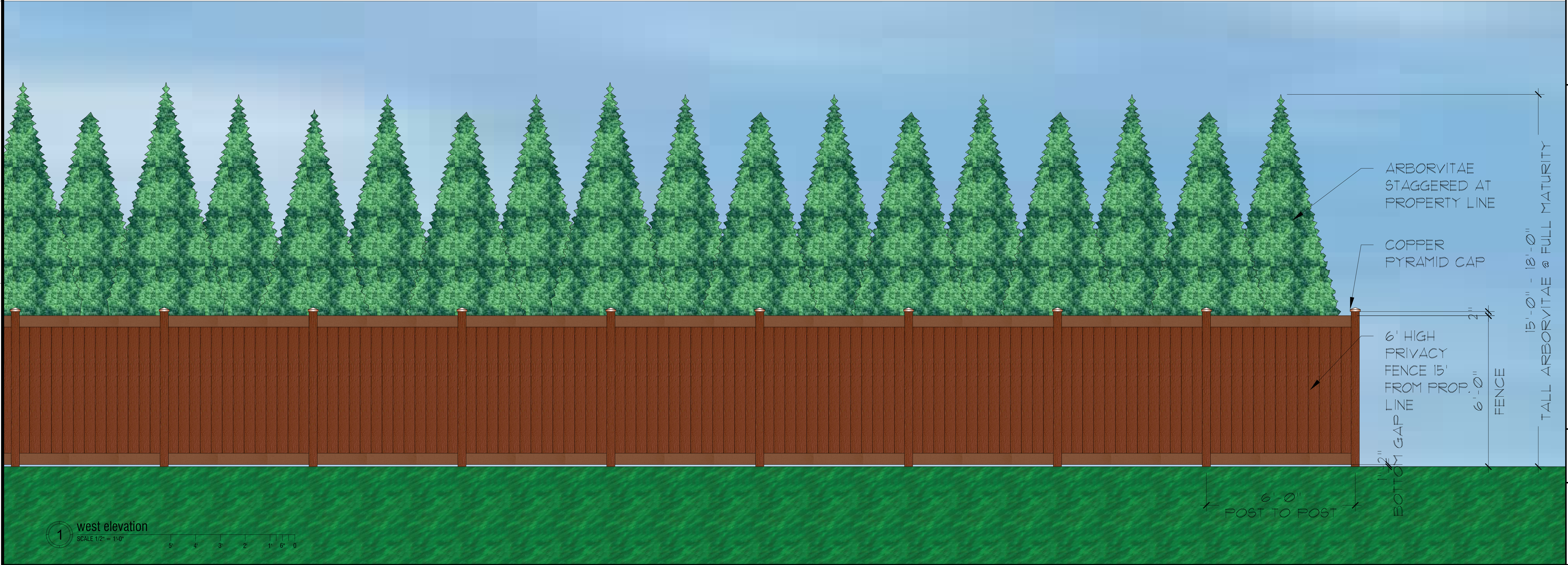
NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		



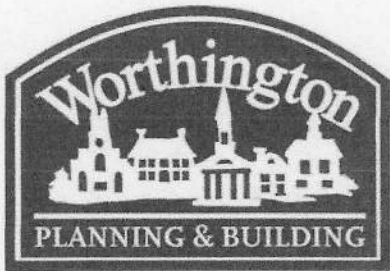
PROJECT TITLE  
**THE GODDARD SCHOOL**  
FOR EARLY CHILDHOOD DEVELOPMENT  
6733 NORTH HIGH STREET  
WORTHINGTON, OHIO 43085

SHEET TITLE  
**REAR FENCE ELEVATION**

SHEET NUMBER  
**A2.1**







**City of Worthington**  
**ARCHITECTURAL REVIEW BOARD**  
Certificate of Appropriateness  
Application

Case #	AR 65-2020
Date Received	9/14/2020
Fee	\$6
Meeting Date	
Filing Deadline	
Receipt #	

1. **Property Location** 150 W. New England Ave.
2. **Present/Proposed Use** Residential, no change
3. **Zoning District** R-10
4. **Applicant** Appalachian Renewable Power  
**Address** 10131 Haga Ridge, Stewart, OH 45778  
**Phone Number(s)** 304-483-6411  
**Email** keri@arp-solar.com
5. **Property Owner** Patrick Rogers  
**Address** 150 W. New England Ave. Worthington, OH 43085  
**Phone Number(s)** 614-975-2457  
**Email** patrick.rogers23@gmail.com
6. **Project Description** 8.0 kW Solar PV System installation
7. **Project Details:**
  - a) **Design** Roof mount solar arrays
  - b) **Color** black
  - c) **Size** 25 panels
  - d) **Approximate Cost** \$6,240 **Expected Completion Date** TBD

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Keri L. Dunn  
Applicant (Signature)

08/13/20  
Date

[Signature]  
Property Owner (Signature)

8/13/2020  
Date

Abutting Property Owners List for  
150 W. New England Ave.

James & Kirsten Chan	158 W. New England Ave.	Worthington, OH 43085
Steven & Akiko Pullen	653 Evening St	Worthington, OH 43085
Gordon & Kathryn Myers	652 Sinsbury Dr E	Worthington, OH 43085
Stephan & Sherri Cooke	140 W. New England Ave.	Worthington, OH 43085
Robert & Jeanine Vosler	163 W. New England Ave.	Worthington, OH 43085
Barry & Karen Epstein	147 W. New England Ave.	Worthington, OH 43085
Bert Luedemann & Carol Easton	129 W. New England Ave.	Worthington, OH 43085





Appalachian Renewable Power

10131 Haga Ridge Road Stewart, Ohio 45778 P 740-277-8498»

The home at 150 W. New England Ave. is situated on a road running east / west with the front of the home facing south. Due to this layout of the house, it is unfeasible to place solar modules on the rear of the home since it faces north and the sun will always be in the southern sky. It is for this reason that the solar array must be on the front of the home and visible from the right of way. Knowing that the solar array would be on display, the array was designed with black on black modules to maximize the aesthetic appeal. The panels will be flush with the roof and will not detract from the appearance of the home. An example of the black panels is below.





# 150 W. New England Ave.



100-002814 04/19/2017



VSE Project Number: U3340.0211.201

August 5, 2020

Moxie Solar  
230 Sugar Creek Lane  
North Liberty, IA 52317

**REFERENCE: Rogers, Patrick- Residence (08-2250-1): 150 West New England Avenue, Worthington, OH 43085**  
**Solar Array Installation**

To Whom It May Concern:

Per your request, we have reviewed the existing structure at the above referenced site. The purpose of our review was to determine the adequacy of the existing structure to support the proposed installation of solar panels on the roof as shown on the panel layout plan.

Based upon our review, we conclude that the existing structure is adequate to support the proposed solar panel installation.

**Design Parameters**

Code: 2017 Ohio Building Code (2015 IBC) & 2019 Residential Code of Ohio (2018 IRC)

Risk Category: II

Design wind speed: 115 mph (3-sec gust) per ASCE 7-10

Wind exposure category: C

Ground snow load: 20 psf

**Existing Roof Structure**

Roof structure: 2x4 manufactured trusses @ 24" O.C.

Roofing material: composite shingles

**Connection to Roof**

Mounting connection: (1) 5/16" lag screw w/ min. 2.5" embedment into framing at max. 48" o.c. along rails

(2) rails per row of panels, evenly spaced; panel length perpendicular to the rails not to exceed 67 in

**Conclusions**

Based upon our review, we conclude that the existing structure is adequate to support the proposed solar panel installation. In the area of the solar array, other live loads will not be present or will be greatly reduced (Ohio Building Code, Section 1607.12.5). The glass surface of the solar panels allows for a lower slope factor per ASCE 7, resulting in reduced design snow load on the panels. The gravity loads and; thus, the stresses of the structural elements, in the area of the solar array are either decreased or increased by no more than 5%. Therefore, the requirements of Section 3404.3 of the Ohio Building Code are met and the structure is permitted to remain unaltered.

The solar array will be flush-mounted (no more than 6" above the roof surface) and parallel to the roof surface. Thus, we conclude that any additional wind loading on the structure related to the addition of the proposed solar array is negligible. The attached calculations verify the capacity of the connections of the solar array to the existing roof against wind (uplift), the governing load case. Because the increase in lateral forces is less than 10%, this addition meets the requirements of the exception in Section 3404.4 of the Ohio Building Code. Thus the existing lateral force resisting system is permitted to remain unaltered.





VSE Project Number: U3340.0211.201

Rogers, Patrick- Residence

8/5/2020

### **Limitations**

Installation of the solar panels must be performed in accordance with manufacturer recommendations. All work performed must be in accordance with accepted industry-wide methods and applicable safety standards. The contractor must notify Vector Structural Engineering, LLC should any damage, deterioration or discrepancies between the as-built condition of the structure and the condition described in this letter be found. Connections to existing roof framing must be staggered, except at array ends, so as not to overload any existing structural member. The use of solar panel support span tables provided by others is allowed only where the building type, site conditions, site-specific design parameters, and solar panel configuration match the description of the span tables. The design of the solar panel racking (mounts, rails, etc.) and electrical engineering is the responsibility of others. Waterproofing around the roof penetrations is the responsibility of others. Vector Structural Engineering assumes no responsibility for improper installation of the solar array.

VECTOR STRUCTURAL ENGINEERING, LLC

OH Firm License: 3392



08/05/2020

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Russell Emery, P.E.

OH License: PE.84657 - Expires: 12/31/2021

Project Engineer

Enclosures

RNE/ard



JOB NO.: U3340.0211.201  
SUBJECT: WIND PRESSURE

PROJECT: Rogers, Patrick- Residence

**Components and Cladding Wind Calculations**

Label: Solar Panel Array

Note: Calculations per ASCE 7-10

**SITE-SPECIFIC WIND PARAMETERS:**

Basic Wind Speed [mph]: 115  
Exposure Category: C  
Risk Category: II

Notes:

**ADDITIONAL INPUT & CALCULATIONS:**

Height of Roof, h [ft]:	15	(Approximate)	Hip?
Comp/Cladding Location:	Gable/Hip Roofs $7^\circ < \theta \leq 27^\circ$		No
Enclosure Classification:	Enclosed Buildings		
Zone 1 GC <sub>p</sub> :	0.9	Figure 30.4-2B (enter negative pressure coefficients)	
Zone 2 GC <sub>p</sub> :	1.7		
Zone 3 GC <sub>p</sub> :	2.6		
$\alpha$ :	9.5	Table 26.9-1	
$z_g$ [ft]:	900	Table 26.9-1	
$K_h$ :	0.85	Table 30.3-1	
$K_{zt}$ :	1	Equation 26.8-1	
$K_d$ :	0.85	Table 26.6-1	
Velocity Pressure, $q_h$ [psf]:	24.4	Equation 30.3-1	
GC <sub>pi</sub> :	0	Table 26.11-1	

**PRESSURES:**

$$p = q_h [(GC_p) - (GC_{pi})] \quad \text{Equation 30.9-1}$$

Zone 1, p [psf]:	22.0	psf (1.0 W, Interior Zones, beyond 'a' from roof edge)
Zone 2, p [psf]:	41.5	psf (1.0 W, End Zones, within 'a' from roof edge)
Zone 3, p [psf]:	63.5	psf (1.0 W, Corner Zones, within 'a' from roof corner) (a= 3 ft)



**JOB NO.:** U3340.0211.201  
**SUBJECT:** CONNECTION

**PROJECT:** Rogers, Patrick- Residence

**Calculate Uplift Forces on Connection**

	Pressure (0.6 Wind) (psf)	Max Connection Spacing <sup>1</sup> (ft)	Max Trib. Area <sup>2</sup> (ft <sup>2</sup> )	Max Uplift Force (lbs)
Zone 1	13.2	4.0	11.2	147
Zone 2	24.9	4.0	11.2	278
Zone 3	38.1	4.0	11.2	426

**Calculate Connection Capacity**

Lag Screw Size [in]:	5/16	
C <sub>d</sub> :	1.6	NDS Table 2.3.2
Embedment <sup>3</sup> [in]:	2.5	
Grade:	SPF (G = 0.42)	
Nominal Capacity [lbs/in]:	205	NDS Table 12.2A
Number of Screws:	1	
Prying Coefficient:	1.4	
Total Capacity [lbs]:	586	

**Determine Result**

Maximum Demand [lbs]:	426
Lag Screw Capacity [lbs]:	586

Result: **Capacity > Demand. Connection is adequate.**

**Notes**

1. 'Max Connection Spacing' is the spacing between connections along the rails.
2. 'Max Trib Area' is the product of the 'Max Connection Spacing' and 1/2 the panel width/height perpendicular to the rails. (2) rails per row of panels. Length or panels perpendicular to the rails shall not exceed 67".
3. Embedment is measured from the top of the framing member to the beginning of the tapered tip of the lag screw. Embedment in sheathing or other material is not effective. The length of the tapered tip is not part of the embedment length.





**JOB NO.:** U3340.0211.201  
**SUBJECT:** GRAVITY LOADS

**PROJECT:** Rogers, Patrick- Residence

**CALCULATE ESTIMATED GRAVITY LOADS**

Roof Pitch: **3.9**:12

<b>ROOF DEAD LOAD (D)</b>	Design material weight [psf]	Increase due to pitch	Material weight [psf]
Composite Shingles	2.1	1.05	2.0
1/2" Plywood	1.1	1.05	1.0
Framing	3.0		3.0
Insulation	0.5		0.5
1/2" Gypsum Clg.	2.1	1.05	2.0
M, E & Misc	1.5		1.5
Total Original Roof DL	10.3		
PV Array DL	3.2	1.05	3

**ROOF LIVE LOAD (Lr)**

Existing Design Roof Live Load [psf]	<b>20</b>	ASCE 7-10, Table 4-1
Roof Live Load With PV Array [psf]	<b>0</b>	Ohio Building Code, Section 1607.12.5

**SNOW LOAD (S):**

Existing w/ Solar Array

Roof Slope [x:12]:	<b>3.9</b>	<b>3.9</b>	
Roof Slope [°]:	18	18	
Snow Ground Load, $p_g$ [psf]:	<b>20</b>	<b>20</b>	ASCE 7-10, Section 7.2
Terrain Category:	<b>C</b>	<b>C</b>	ASCE 7-10, Table 7-2
Exposure of Roof:	<b>Fully Exposed</b>	<b>Fully Exposed</b>	ASCE 7-10, Table 7-2
Exposure Factor, $C_e$ :	0.9	0.9	ASCE 7-10, Table 7-2
Thermal Factor, $C_t$ :	<b>1.1</b>	<b>1.1</b>	ASCE 7-10, Table 7-3
Risk Category:	<b>II</b>	<b>II</b>	ASCE 7-10, Table 1.5-1
Importance Factor, $I_s$ :	1.0	1.0	ASCE 7-10, Table 1.5-2
Flat Roof Snow Load, $p_f$ [psf]:	14	14	ASCE 7-10, Equation 7.3-
Minimum Roof Snow Load, $p_m$ [psf]:	0	0	ASCE 7-10, Section 7.3.4
Unobstructed Slippery Surface?	<b>No</b>	<b>Yes</b>	ASCE 7-10, Section 7.4
Slope Factor Figure:	<b>Figure 7-2b</b>	<b>Figure 7-2b</b>	ASCE 7-10, Section 7.4
Roof Slope Factor, $C_s$ :	1.00	0.87	ASCE 7-10, Figure 7-2
Sloped Roof Snow Load, $p_s$ [psf]:	14	12	ASCE 7-10, Equation 7.4-
Design Snow Load, $S$ [psf]:	14	12	



**JOB NO.:** U3340.0211.201  
**SUBJECT:** LOAD COMPARISON

**PROJECT:** Rogers, Patrick- Residence

---

Summary of Loads

	Existing	With PV Array
D [psf]	10	13
Lr [psf]	20	0
S [psf]	14	12

Maximum Gravity Loads:

	Existing	With PV Array	
(D + Lr) / Cd [psf]	24	15	ASCE 7-10, Section 2.4.1
(D + S) / Cd [psf]	21	22	ASCE 7-10, Section 2.4.1

(Cd = Load Duration Factor = 0.9 for D, 1.15 for S, and 1.25 for Lr)

Maximum Gravity Load [psf]:	24	22
-----------------------------	----	----

Ratio Proposed Loading to Current Loading: 

91%
-----

**OK**

**The gravity loads and; thus, the stresses of the structural elements, in the area of the solar array are either decreased or increased by no more than 5%. Therefore, the requirements of Section 3404.3 of the Ohio Building Code are met and the structure is permitted to remain unaltered.**

# Eagle 60M 300-320 Watt

MONO PERC MODULE

Positive power tolerance of 0~+3%

## KEY FEATURES



### Innovative Solar Cells

Five busbar monocrystalline PERC cell technology improves module efficiency



### High Efficiency

Higher module conversion efficiency (up to 19.55%) due to Passivated Emitter Rear Contact (PERC) technology



### PID Free

World's 1<sup>st</sup> PID-Free module



### Low-Light Performance

Advanced glass technology improves light absorption and retention



### Strength and Durability

Certified for high snow (5400Pa) and wind (2400Pa) loads



### Weather Resistance

Certified for salt mist and ammonia resistance

## LINEAR PERFORMANCE WARRANTY

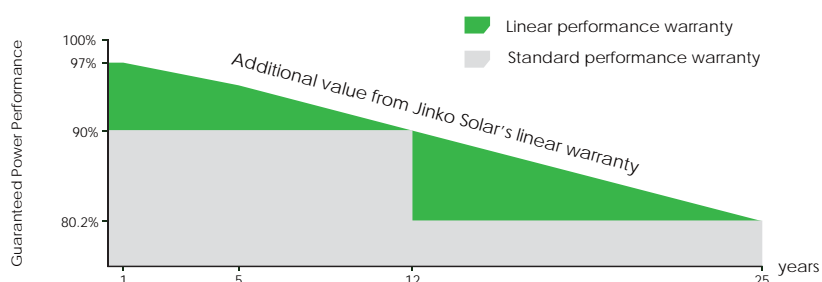
10 Year Product Warranty • 25 Year Linear Power Warranty

- ISO9001:2008 Quality Standards
- ISO14001:2004 Environmental Standards
- OHSAS18001 Occupational Health & Safety Standards

Nomenclature:

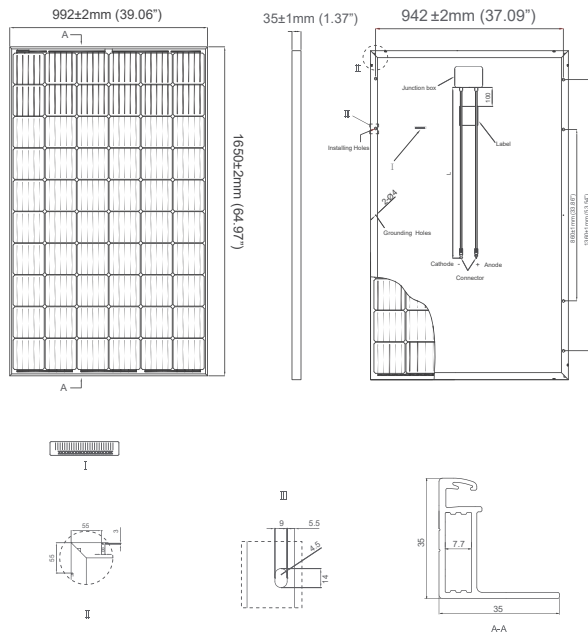
**JKM320M - 60B**

Code	Backsheet
null	White
B	Black





## Engineering Drawings

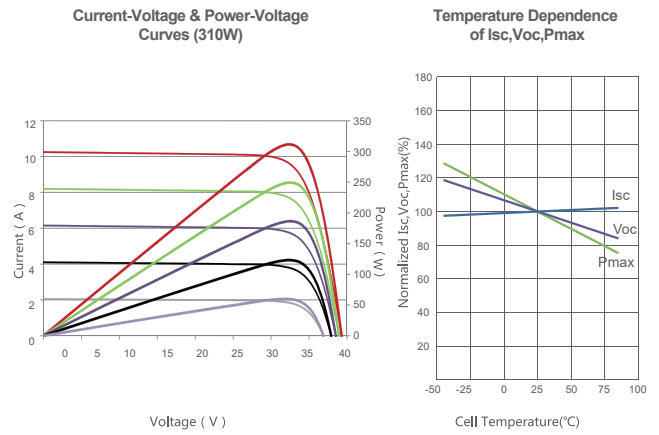


## Packaging Configurations

( Two pallets =One stack )

30 pcs/pallet, 60pcs/stack, 840 pcs/40'HQ Container

## Electrical Performance & Temperature Dependence



## Mechanical Characteristics

Cell Type	Monocrystalline PERC 156×156mm (6 inch)
No. of Cells	60 (6×10)
Dimensions	1650×992×35mm (65.00×39.05×1.37 inch)
Weight	19.0kg (41.9 lbs.)
Front Glass	3.2mm, Anti-reflection Coating, High Transmission, Low Iron, Tempered Glass
Frame	Anodized Aluminium Alloy (Black)
Junction Box	IP67 Rated
Output Cables	12 AWG, Length: 900mm (35.43 inch)
Fire Type	Type 1

## SPECIFICATIONS

Module Type	JKM300M-60		JKM305M-60		JKM310M-60		JKM315M-60		JKM320M-60	
	STC	NOCT	STC	NOCT	STC	NOCT	STC	NOCT	STC	NOCT
Maximum Power (Pmax)	300Wp	224Wp	305Wp	227Wp	310Wp	231Wp	315Wp	235Wp	320Wp	239Wp
Maximum Power Voltage (Vmp)	32.6V	30.6V	32.8V	30.8V	33.0V	31.0V	33.2V	31.2V	33.4V	31.4V
Maximum Power Current (Imp)	9.21A	7.32A	9.30A	7.40A	9.40A	7.49A	9.49A	7.56A	9.59A	7.62A
Open-circuit Voltage (Voc)	40.1V	37.0V	40.3V	37.2V	40.5V	37.4V	40.7V	37.6V	40.9V	37.8V
Short-circuit Current (Isc)	9.72A	8.01A	9.83A	8.12A	9.92A	8.20A	10.04A	8.33A	10.15A	8.44A
Module Efficiency STC (%)	18.33%		18.63%		18.94%		19.24%		19.55%	
Operating Temperature (°C)	-40°C~+85°C									
Maximum System Voltage	1000VDC (UL and IEC)									
Maximum Series Fuse Rating	20A									
Power Tolerance	0~+3%									
Temperature Coefficients of Pmax	-0.37%/°C									
Temperature Coefficients of Voc	-0.28%/°C									
Temperature Coefficients of Isc	0.048%/°C									
Nominal Operating Cell Temperature (NOCT)	45±2°C									

\* STC: Irradiance 1000W/m<sup>2</sup> Cell Temperature 25°C AM=1.5

NOCT: Irradiance 800W/m<sup>2</sup> Ambient Temperature 20°C AM=1.5 Wind Speed 1m/s

\* Power measurement tolerance: ± 3%

CAUTION: READ SAFETY AND INSTALLATION INSTRUCTIONS BEFORE USING THE PRODUCT.

© Jinko Solar Co., Ltd. All rights reserved. Specifications included in this datasheet are subject to change without notice.  
JKM300-320M-60-A1-US

# Enphase IQ 7 and IQ 7+ Microinverters

The high-powered smart grid-ready **Enphase IQ 7 Micro™** and **Enphase IQ 7+ Micro™** dramatically simplify the installation process while achieving the highest system efficiency.

Part of the Enphase IQ System, the IQ 7 and IQ 7+ Microinverters integrate with the Enphase IQ Envoy™, Enphase IQ Battery™, and the Enphase Enlighten™ monitoring and analysis software.

IQ Series Microinverters extend the reliability standards set forth by previous generations and undergo over a million hours of power-on testing, enabling Enphase to provide an industry-leading warranty of up to 25 years.



## Easy to Install

- Lightweight and simple
- Faster installation with improved, lighter two-wire cabling
- Built-in rapid shutdown compliant (NEC 2014 & 2017)

## Productive and Reliable

- Optimized for high powered 60-cell and 72-cell\* modules
- More than a million hours of testing
- Class II double-insulated enclosure
- UL listed

## Smart Grid Ready

- Complies with advanced grid support, voltage and frequency ride-through requirements
- Remotely updates to respond to changing grid requirements
- Configurable for varying grid profiles
- Meets CA Rule 21 (UL 1741-SA)

\* The IQ 7+ Micro is required to support 72-cell modules.



To learn more about Enphase offerings, visit [enphase.com](https://enphase.com)



## Enphase IQ 7 and IQ 7+ Microinverters

INPUT DATA (DC)	IQ7-60-2-US		IQ7PLUS-72-2-US	
Commonly used module pairings <sup>1</sup>	235 W - 350 W +		235 W - 440 W +	
Module compatibility	60-cell PV modules only		60-cell and 72-cell PV modules	
Maximum input DC voltage	48 V		60 V	
Peak power tracking voltage	27 V - 37 V		27 V - 45 V	
Operating range	16 V - 48 V		16 V - 60 V	
Min/Max start voltage	22 V / 48 V		22 V / 60 V	
Max DC short circuit current (module Isc)	15 A		15 A	
Overvoltage class DC port	II		II	
DC port backfeed current	0 A		0 A	
PV array configuration	1 x 1 ungrounded array; No additional DC side protection required; AC side protection requires max 20A per branch circuit			
OUTPUT DATA (AC)	IQ 7 Microinverter		IQ 7+ Microinverter	
Peak output power	250 VA		295 VA	
Maximum continuous output power	240 VA		290 VA	
Nominal (L-L) voltage/range <sup>2</sup>	240 V / 211-264 V	208 V / 183-229 V	240 V / 211-264 V	208 V / 183-229 V
Maximum continuous output current	1.0 A (240 V)	1.15 A (208 V)	1.21 A (240 V)	1.39 A (208 V)
Nominal frequency	60 Hz		60 Hz	
Extended frequency range	47 - 68 Hz		47 - 68 Hz	
AC short circuit fault current over 3 cycles	5.8 Arms		5.8 Arms	
Maximum units per 20 A (L-L) branch circuit <sup>3</sup>	16 (240 VAC)	13 (208 VAC)	13 (240 VAC)	11 (208 VAC)
Overvoltage class AC port	III		III	
AC port backfeed current	0 A		0 A	
Power factor setting	1.0		1.0	
Power factor (adjustable)	0.85 leading ... 0.85 lagging		0.85 leading ... 0.85 lagging	
EFFICIENCY	@240 V	@208 V	@240 V	@208 V
Peak efficiency	97.6 %	97.6 %	97.5 %	97.3 %
CEC weighted efficiency	97.0 %	97.0 %	97.0 %	97.0 %
MECHANICAL DATA				
Ambient temperature range	-40°C to +65°C			
Relative humidity range	4% to 100% (condensing)			
Connector type (IQ7-60-2-US & IQ7PLUS-72-2-US)	MC4 (or Amphenol H4 UTX with additional Q-DCC-5 adapter)			
Dimensions (WxHxD)	212 mm x 175 mm x 30.2 mm (without bracket)			
Weight	1.08 kg (2.38 lbs)			
Cooling	Natural convection - No fans			
Approved for wet locations	Yes			
Pollution degree	PD3			
Enclosure	Class II double-insulated, corrosion resistant polymeric enclosure			
Environmental category / UV exposure rating	NEMA Type 6 / outdoor			
FEATURES				
Communication	Power Line Communication (PLC)			
Monitoring	Enlighten Manager and MyEnlighten monitoring options. Both options require installation of an Enphase IQ Envoy.			
Disconnecting means	The AC and DC connectors have been evaluated and approved by UL for use as the load-break disconnect required by NEC 690.			
Compliance	CA Rule 21 (UL 1741-SA) UL 62109-1, UL1741/IEEE1547, FCC Part 15 Class B, ICES-0003 Class B, CAN/CSA-C22.2 NO. 107.1-01 This product is UL Listed as PV Rapid Shut Down Equipment and conforms with NEC-2014 and NEC-2017 section 690.12 and C22.1-2015 Rule 64-218 Rapid Shutdown of PV Systems, for AC and DC conductors, when installed according manufacturer's instructions.			

1. No enforced DC/AC ratio. See the compatibility calculator at <https://enphase.com/en-us/support/module-compatibility>.

2. Nominal voltage range can be extended beyond nominal if required by the utility.

3. Limits may vary. Refer to local requirements to define the number of microinverters per branch in your area.

To learn more about Enphase offerings, visit [enphase.com](https://enphase.com)







## Flush Mount System



### Built for solar's toughest roofs.

IronRidge builds the strongest mounting system for pitched roofs in solar. Every component has been tested to the limit and proven in extreme environments.

Our rigorous approach has led to unique structural features, such as curved rails and reinforced flashings, and is also why our products are fully certified, code compliant and backed by a 20-year warranty.



#### Strength Tested

All components evaluated for superior structural performance.



#### PE Certified

Pre-stamped engineering letters available in most states.



#### Class A Fire Rating

Certified to maintain the fire resistance rating of the existing roof.



#### Design Assistant

Online software makes it simple to create, share, and price projects.



#### UL 2703 Listed System

Entire system and components meet newest effective UL 2703 standard.



#### 25-Year Warranty

Products guaranteed to be free of impairing defects.

## XR Rails ☺

### XR10 Rail



A low-profile mounting rail for regions with light snow.

- 6' spanning capability
- Moderate load capability
- Clear and black finish

### XR100 Rail



The ultimate residential solar mounting rail.

- 8' spanning capability
- Heavy load capability
- Clear and black finish

### XR1000 Rail



A heavyweight mounting rail for commercial projects.

- 12' spanning capability
- Extreme load capability
- Clear anodized finish

### Bonded Splices



All rails use internal splices for seamless connections.

- Self-drilling screws
- Varying versions for rails
- Forms secure bonding

## Clamps & Grounding ☺

### UFOs



Universal Fastening Objects bond modules to rails.

- Fully assembled & lubed
- Single, universal size
- Clear and black finish

### Stopper Sleeves



Snap onto the UFO to turn into a bonded end clamp.

- Bonds modules to rails
- Sized to match modules
- Clear and black finish

### CAMO



Bond modules to rails while staying completely hidden.

- Universal end-cam clamp
- Tool-less installation
- Fully assembled

### Grounding Lugs



Connect arrays to equipment ground.

- Low profile
- Single tool installation
- Mounts in any direction

## Attachments ☺

### FlashFoot2



Flash and mount XR Rails with superior waterproofing.

- Twist-on Cap eases install
- Wind-driven rain tested
- Mill and black finish

### Conduit Mount



Flash and mount conduit, strut, or junction boxes.

- Twist-on Cap eases install
- Wind-driven rain tested
- Secures 3/4" or 1" conduit

### Slotted L-Feet



Drop-in design for rapid rail attachment.

- Secure rail connections
- Slot for vertical adjusting
- Clear and black finish

### Bonding Hardware



Bond and attach XR Rails to roof attachments.

- T & Square Bolt options
- Nut uses 7/16" socket
- Assembled and lubricated

## Resources



### Design Assistant

Go from rough layout to fully engineered system. For free.

[Go to IronRidge.com/design](https://IronRidge.com/design)



### NABCEP Certified Training

Earn free continuing education credits, while learning more about our systems.

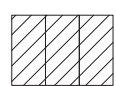
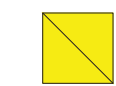




[Go to IronRidge.com/training](https://IronRidge.com/training)

PROJECT NAME: ROGERS, PATRICK

DESIGN SUMMARY

- **SIZE:** 8.000 kW PV Solar System (25 modules)
- **STYLE:** Residential, asphalt shingle roof, flush mount, grid tied, net-metered
- **LOCATION:** South facing roof of home
- **ORIENTATION:** Portrait, 18°pitch, 183°azimuth
- **MODULE:** JinKO JKM320M-60B 320W, 65.55"x 39.45"x 1.38" thick, 41.9 lbs
- **RACKING:** IronRidge XR-100 with asphalt shingle roof flashings
- **INVERTER:** Enphase IQ7+ MicroInverters
- **VOLTAGE:** 120/240V, 1Φ
- **MONITORING:** Enphase Enlighten Online Monitoring
- **ADDITIONAL WORK:** None



- **PV Solar Array**  
Roof of building
- **Enphase Microinverter**  
Array
- **PV Solar Dedicated Load Center**  
Building Exterior
- **AC Solar Disconnect**  
Building Exterior
- **Main Service Panel**  
Building Interior
- **Utility Meter**  
Building Exterior



THIS DISTRIBUTED GENERATION FACILITY WAS INSTALLED  
IN ACCORDANCE WITH THE CURRENT STATE ADOPTED  
NATIONAL ELECTRICAL CODE



CONTRACTOR

MOXIE SOLAR

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UTILITY

AEP OHIO

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REVISIONS

07/29/20    PLAN SET    GG

DESIGN SUMMARY



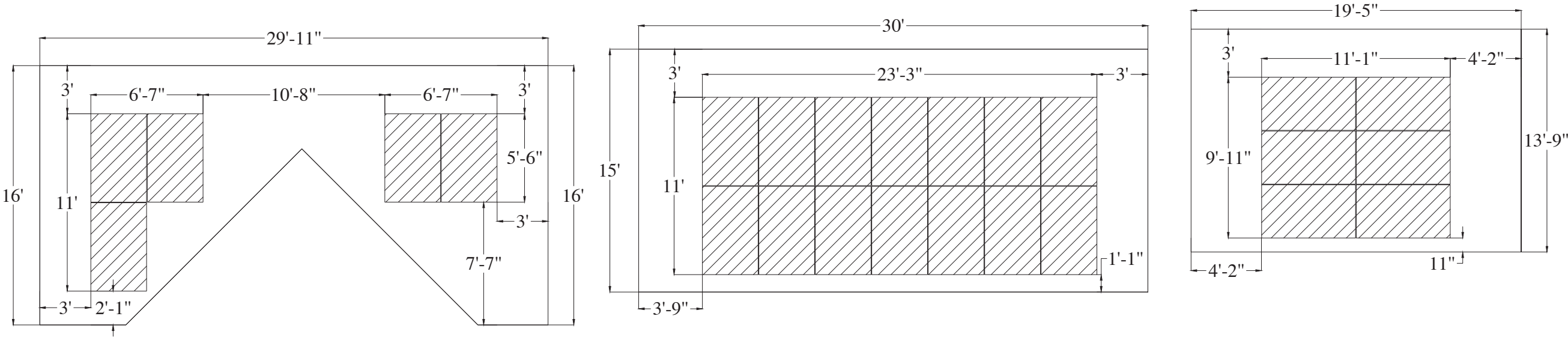
PROJECT NAME: ROGERS, PATRICK

BUILD SUMMARY

- **MODULE:** QTY (25) JKM320M-60B 320W, 65.55"x 39.45"x 1.38" thick, 41.9 lbs
- **STRUCTURE:** Wood prefabricated 2"x 4" trusses @ 24" OC
- **RACKING:** IronRidge XR-100 with asphalt shingle roof flashing. Run rails across the trusses. Penetrate every 4ft or less into trusses. Installer must verify all penetrations are secure and centered in wood members. Any damaged wood members must be repaired immediately by scab, sister, or full replacement. Max Rail Overhang = 19" from last attachment point. Module Overhang = 18" .
- **ACCESS:** 1-story residence.
- **INVERTERS:** Mount microinverters at module locations.
- **MONITORING:** Enphase Enlighten online monitoring utilizing existing wireless router.
- **ADDITIONAL WORK:** None



Vector Structural Engineering has reviewed the existing structure with loading from the solar array. The design of the racking system, connections, and all other structural aspects of the design are by others. Electrical is by others, unless stamped by Dean Levorsen.



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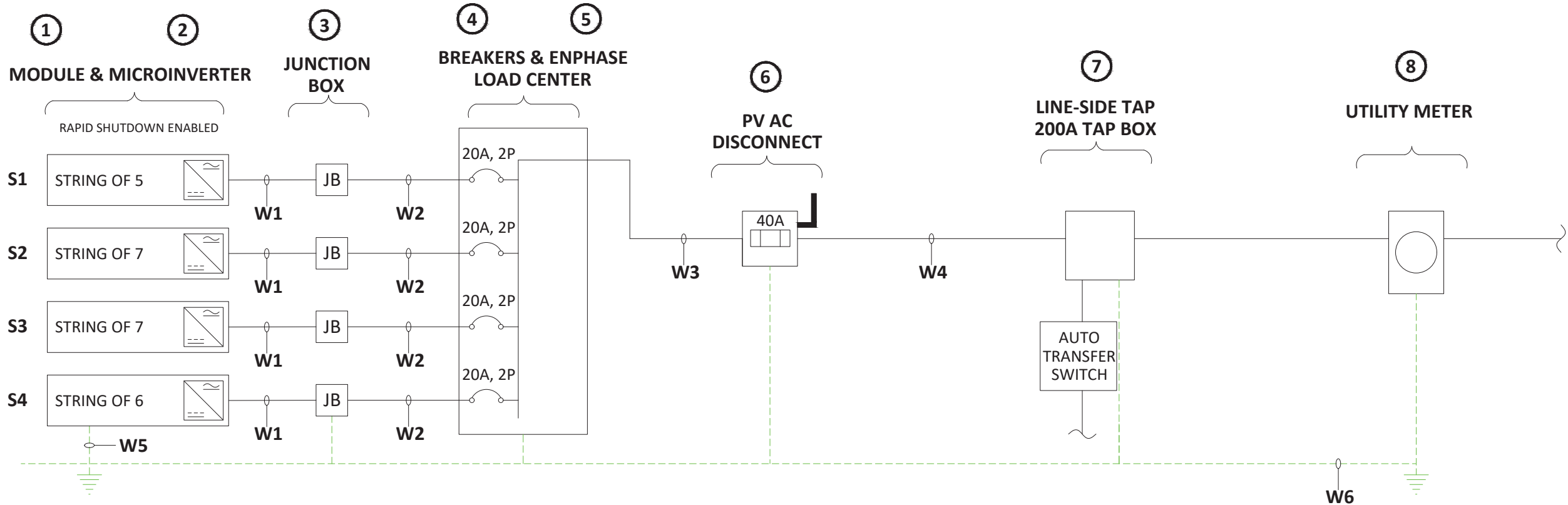
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BUILD SUMMARY

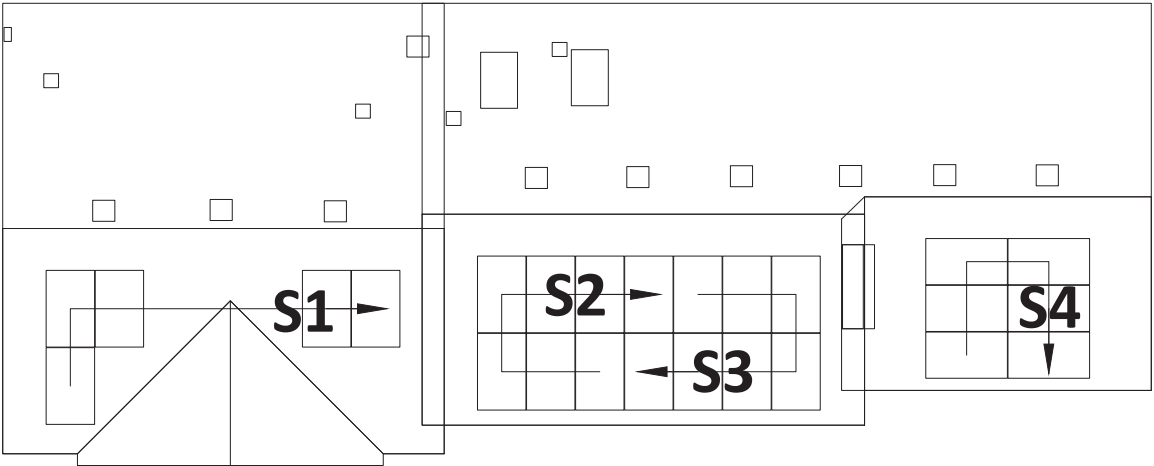
PROJECT NAME: ROGERS, PATRICK



1 ONE-LINE ELECTRICAL DIAGRAM - 8.000 KW (DC)  
03 NO SCALE

EQUIPMENT SCHEDULE						
TAG	ITEM	MAKE	MODEL	VOLTAGE	QTY	LOCATION
1	MODULE	JINKO	JKM320M-60B 320W	DC	25	ROOF TOP
2	MICROINVERTER	ENPHASE	IQ7PLUS-72-2-US 290W (AC)	120/240V, 1Φ	25	ROOF TOP
3	JUNCTION BOX	SOLADECK	0799	120/240V, 1Φ	4	ROOF TOP
4	BREAKERS	EATON	20A, 2-POLE BR220	120/240V, 1Φ	4	LOAD CENTER
5	LOAD CENTER	ENPHASE	IQ COMBINER X-IQ-AM1-240-3	120/240V, 1Φ	1	BLD EXTERIOR
6	DISCONNECT	EATON	60A ENCLOSURE 40A FUSING	120/240V, 1Φ	1	BLD EXTERIOR
7	LINE-SIDE TAP BOX	MILBANK	200A ENCLOSURE U4540-XL	120/240V, 1Φ	1	BLD EXTERIOR
8	UTILITY METER	ACLARA	CL200	120/240V, 1Φ	1	BLD EXTERIOR

WIRE SCHEDULE					
TAG	RUN	CONDUCTOR TYPE	GAUGE	CONDUIT	RUN LENGTH
W1	PV HOMERUNS	Q-CABLE	#12	-	60 FT
W2	JUNCTION BOX TO LOAD CENTER	THWN-2, Cu	#10	3/4"	30 FT
W3	LOAD CENTER TO DISCONNECT	THWN-2, Cu	#8	1"	5 FT
W4	DISCONNECT TO TAP BOX	THWN-2, Cu	#8	1"	5 FT
W5	GROUND ELECTRODE	BARE, Cu	#6	-	-
W6	EQUIPMENT GROUND	THWN-2, Cu	#6 (MIN)	-	100 FT



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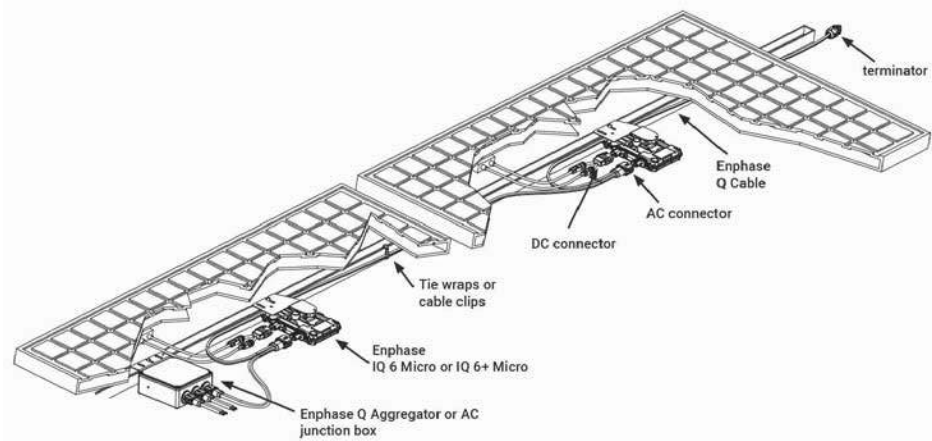
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07/29/20 PLAN SET GG

ELECTRICAL

03



1  
04 MODULE AND MICROINVERTER CONNECTION DETAIL  
NO SCALE

FlashFoot2



2  
04 IRONRIDGE ASPHALT SHINGLE ROOF DETAIL  
NO SCALE

SYSTEM AC DISCONNECT AT SERVICE

PHOTOVOLTAIC SYSTEM AC DISCONNECT  
MAXIMIM OPERATING AC CURRENT: 30.25 AMPS  
NOMINAL OPERATING AC VOLTAGE: 120/240 VAC

3  
04 PHOTOVOLTAIC MARKING AND LABELING  
NO SCALE

CODE REVIEW & CALCULATIONS

SOLAR PHOTOVOLTAIC (PV) SYSTEM WITH ENPHASE

Inverter Type: IQ7Plus MicroInverters  
Minimum String Length: N/A  
Maximum String Length: 13 Panels @ 240V  
Nominal String Voltage: 240V (AC)  
Nominal Output Current (Per MicroInverter): 1.21A

JinKO JKM320M-60B 320W

NEC 690.7 MAXIMUM VOLTAGE

690.7(A): Maximum Photovoltaic System Voltage  
JKM320M-60B 320W Module Voc = 40.90V  
Module V<sub>max</sub> = ((-40°C)-25°C)(-0.0028V/°C)(40.90V) + (40.90V) = 48.34V (DC)  
Module V<sub>max</sub> Output = 48.34V (DC) < IQ7+ MicroInverter V<sub>max</sub> Input = 60V (DC)

NEC 690.8 CIRCUIT SIZING AND CURRENT

690.8(A)(1): Photovoltaic Source Circuit Currents  
Module to MicroInverter I<sub>max</sub>= 1.21A x 25 x 125% = 37.81A

690.8(A)(3): Inverter Output Circuit Current.  
MicroInverter Rated Continuous Output Power = 290W  
MicroInverter rated Continuous Output Current = 1.21A  
System I<sub>max</sub> = 37.81A

NEC 690.9 OVERCURRENT PROTECTION

690.9(B): Overcurrent Device Ratings  
Disconnect Fuse: 1.21A x 25 x 125% = 37.81A -> 40A OCPD

NEC 690.12 RAPID SHUTDOWN OF PV SYSTEMS ON BUILDINGS

PLAN: Rapid Shutdown enabled disconnect shall be located next to the service and be labeled in accordance with 690.56(B) and (C).



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07/29/20 PLAN SET GG

DETAILS & CALCULATIONS



# *High North*



CITY OF WORTHINGTON

DRAWINGS NO. AR 66-2020  
PUD 02-2020

DATE 09-17-2020

PLANNED UNIT DEVELOPMENT

North High Street & Wilson Bridge Road(West)

CITY OF WORTHINGTON, OHIO

# TABLE OF CONTENTS

## TAB 1: APPLICATION FOR AMENDMENTS

- Application
- Detailed Supporting Statement

## TAB 2: DEVELOPMENT PLAN TEXT

- PUD-Planned Unit Development

## EXHIBITS:

### TAB 3

- A-1: Surrounding Property Owners

### TAB 4

- B-1: Legal Description and Survey

### TAB 5

- C-1: Topo Survey/Title Sheet

### TAB 6

- D-1: Site Plan Phase 1 (need to delineate permanent open space from temporary open space)
- D-2: Site Plan Phase 2
- D-3: Demolition Plan Phase 1
- D-4: Demolition Plan Phase 2
- D-5: Vehicular Circulation Plan
- D-6: Pedestrian Circulation Plan
- D-7: Overall Landscape Plan (tbd)
- D-8: Phase 1 Landscape Plan
- D-9: Phase 1 Open Space Plan
- D-10: Phase 2 Landscape Plan
- D-11: Phase 2 Open Space Plan
- D-12: Old Wilson Bridge Road Landscape Plan (tbd)
- D-13: High Street Landscape Plan (tbd)
- D-14: Placeholder
- D-15: Illustrative Site Plan (tbd)

CITY OF WORTHINGTON

DRAWINGS NO. AR 66-2020  
PUD 02-2020

DATE 09-17-2020

**Tab 7**

- E-1: North Class A Office Exterior Elevations
- E-2: Material list and board
- E-3: Phase 1 Architectural Renderings
- E-4: Phase 2 Architectural Renderings
- E-5: Placeholder
- E-6: Placeholder
- E-7A: Preliminary Grading Plan Phase 1
- E-7B: Preliminary Grading Plan Phase 2
- E-8A: Preliminary Utility Plan Phase 1
- E-8B: Preliminary Utility Plan Phase 2
- E-9: Traffic Study (In Process)
- E-10: Parking Demand Study
- E-11: Mutual Access and Parking Agreements
- E-12: Office Sign Detail (In Process)
- E-13: Retail Sign Detail

CITY OF WORTHINGTON

DRAWINGS NO. AR 66-2020  
PUD 02-2020

DATE 09-17-2020



## **Tab 1**

CITY OF WORTHINGTON

DRAWINGS NO. AR 66-2020  
PUD 02-2020

DATE 09-17-2020



**City of Worthington**  
**ARCHITECTURAL REVIEW BOARD**  
Certificate of Appropriateness  
Application

Case # AR 66-2020  
Date Received 9-17-2020  
Fee \$200  
Meeting Date \_\_\_\_\_  
Filing Deadline \_\_\_\_\_  
Receipt # \_\_\_\_\_

1. **Property Location** Shops At Worthington Place 7227 North High Street, Worthington, OH 43085
2. **Present/Proposed Use** Shopping Center/Class A Mixed Use
3. **Zoning District** Wilson Bridge Corridor
4. **Applicant** DRP Worthington LP  
**Address** 5310 Harvest Hill Rd, Dallas, TX 75230  
**Phone Number(s)** 214-891-3222 214-558-0555  
**Email** david@directretailpartners.com
5. **Property Owner** Same as above  
**Address** \_\_\_\_\_  
**Phone Number(s)** \_\_\_\_\_  
**Email** \_\_\_\_\_
6. **Project Description** redevelopment of existing shopping center to Class A mixed use
7. **Project Details:**
  - a) **Design** Please see detailed rezoning PUD submittal
  - b) **Color** \_\_\_\_\_
  - c) **Size** \_\_\_\_\_
  - d) **Approximate Cost** \_\_\_\_\_ **Expected Completion Date** \_\_\_\_\_

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

[Signature]  
Applicant (Signature)

9/7  
Date

[Signature]  
Property Owner (Signature)

9/7  
Date



# City of Worthington

## PLANNED UNIT DEVELOPMENT PRELIMINARY PLAN APPLICATION

Case #	<u>PUD 02-2020</u>
Date Received	<u>9-17-2020</u>
Fee	<u>\$750</u>
Meeting Date	_____
Filing Deadline	_____

1. Property Location 150 West Wilson Bridge Road
2. Present Zoning C-2 Present Use Shopping Center
3. Proposed Use PUD Mixed Use
4. Applicant DRP Worthington LP  
Address 5310 Harvest Hill Rd, Dallas, TX 75230  
Home Phone 214-891-3222 Work Phone 214-558-0555  
Email david@directretailpartners.com
5. Property Owner DRP Worthington LP  
Address Same as above  
Home Phone \_\_\_\_\_ Work Phone \_\_\_\_\_  
Email \_\_\_\_\_
6. Project Description Redevelop existing shopping center to Class A mixed use center  
\_\_\_\_\_  
\_\_\_\_\_

### PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

\_\_\_\_\_  
Applicant (Signature)

\_\_\_\_\_  
Date

\_\_\_\_\_  
Property Owner (Signature)

\_\_\_\_\_  
Date





# DIRECT RETAIL

*partners*

CITY OF WORTHINGTON  
DRAWINGS NO. AR 66-2020  
PUD 02-2020  
DATE 09-17-2020

September 17, 2020

Mr. Lee Brown  
Director of Planning  
City of Worthington  
374 Highland Ave  
Worthington, OH 43085

Dear Mr. Brown,

Direct Retail Partners is presenting its application for rezoning of the property currently known as The Shops of Worthington (The Shops). This letter serves as the detailed supporting statement.

The subject property is 15.66 +/- acres located northwest of the intersection of North High Street and Wilson Bridge Road in the City of Worthington (the "Property") and is located in the Wilson Bridge Corridor Architectural District. The Property is bordered on the east by Kroger and North High Street, and on the north by Old Wilson Road and several commercial office buildings that are predominately 3 stories in height. On the west the Property is bordered by The Shops at Worthington Apartments which are 5-6 stories in height. On the south, the Property is bordered by Wilson Bridge Road and several small commercial buildings. Buildings in the area predominately utilize facades that are a mix of brick and siding.

The Property is currently zoned C-2 "Community Shopping Center" known as The Shops at Worthington Place (The Shops). The current indoor mall is the primary structure on the Property.

## **Current Condition**

The Shops have approximately 138,000 square feet of leasable space. Approximately 45% of this space is economically vacant. Overall the mall is performing as a C/D class mall (mall classifications are typically classified as A, B, C or D with D being the lowest classification).

The previous owner refreshed the eastern portion of the mall in an attempt to make it more outward facing primarily by adding direct exterior access to the store fronts. This has enabled the restaurants on the eastern side of the mall to perform at or above levels expected of healthy retail. Additionally, some space was converted for use by medical service providers and has also been successful.

Unfortunately, the performance of retailers on the western side of the mall and those with interior access only is dismal. The poor performance of these tenants is the result of an outdated design that limits visibility and creates a poorly defined vehicular and pedestrian

flow throughout the Property. Without significant design improvements, it is anticipated that the interior corridor of the mall will need to be closed to eliminate the financial drain on overall operations.

The performance of The Shops is following a clear national downward trend for malls. Indoor malls have seen declining performance and increased rate of closure since the late 1990s. This trend accelerated during the Great Recession of 2008. Prior to Covid, this trend was expected to result in the closure of up to 1/3 of US malls by 2030. Covid has accelerated this downward trend and it is now anticipated that up to 1/3 of all US malls will close by the end of 2021. Malls most likely to close are those categorized as C and D level.

Factors driving the decline of US malls, including The Shops, have been widely reported on and include the movement of retail sales online, the poor financial condition and/or bankruptcies of large and small leading retailers (JCPenney, Lord & Taylor, Chicos, Jos A. Banks etc.) and consumer demand for unique shopping, dining and entertainment experiences.

Although the performance of The Shops, is in general performing well below levels needed for financial stability, the property has clear areas of distinction:

- Performance of restaurants on the eastern side of the mall and medical services demonstrate clear market demand for these services;
- Location at North High Street and Interstate 270 is highly visible and easily accessed by residents of Worthington and greater Columbus;
- Strong Class A Office market in Columbus area that has proven resistant to the negative impact of Covid

### **Proposed Revitalization**

Indoor malls that are in superior locations and markets like The Shops have been successfully revitalized by converting them to mixed use “live, work, play” developments.

Conversion to mixed use requires the addition of elements often missing from traditional malls including office, residential, publicly accessible open space and superior vehicular and pedestrian circulation. In the case of The Shops, the prior owner began the conversion process by improving the eastern side of the mall to allow for direct access and adding multi-family residential to the western edge in 2015. The Shops still lacks open space and struggles with vehicular and pedestrian flow. However, without a component that will bring a significant level of new users to the property, it would not be financially viable to improve these elements.

Several revitalization scenarios were analyzed including increasing use of existing space for medical service providers or adding a significant Class A office component to the site. Medical service providers, while attractive, would not provide the financial returns needed to revitalize the property.

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Adding Class A office is the best use of the site for Worthington and the property owner for the following reasons:

- Demand for Class A office space in Columbus is robust even with the impact of Covid. High profile tenants looking for new Class A office space remain active in the market and their space requirements reflect any anticipated impact of Covid.
- Lack of suitable Class A Office space in Worthington
- High level of additional income and other taxes generated by Class A office tenants and properties. (Impacts of Covid on office space demand were included in our analysis).

A review of high-profile national tenants targeting the Greater Columbus area indicates Class A office space must:

- Allow for highly collaborative work environments with abundant natural light;
- Provide walkable access to restaurants, entertainment and outdoor spaces;
- Providing a residential component is highly desirable.

Office space fitting these requirements does not exist in close proximity to The Shops.

To allow for revitalizing The Shops in a manner consistent with the requirements of Class A Office tenants, Direct Retail Partners is proposing to rezone the property from the C-2, Community Shopping Center, to a PUD, Planned Unit Development District as provided by Chapters 1174 of the Codified Ordinances of the City of Worthington.

Using a PUD will provide the creativity and flexibility needed to establish a mixed-use development that blends existing restaurant, medical services and residential multifamily with modern Class A office. This will allow Worthington to attract large, national high-profile employers as well as established local small and midsized employers.

At completion the development will include:

- Class A office building (up to 125,000 square feet) with podium parking on the north abutting Old Wilson Bridge Road,
- Class A office building (up to 125,000 square feet of office and retail) with podium parking on the south along Wilson Bridge Road
- Boutique hotel (120 rooms) or 100 units of multifamily consistent with the adjacent existing multifamily and additional retail/commercial buildings (up to 30,000 square feet) on the western edge of the property
- Existing retail space of 55,000 square feet (120,000 square feet of existing space will be removed).
- Central outdoor plaza which serves all components of the development
- Improved vehicular and pedestrian circulation

The proposed development is estimated to added \$1 million or more in income tax collections per office building as well as additional property tax revenue (the revitalization is anticipated to add approximately \$95 million in value) and improved sales tax collections.

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## **Revitalization Elements**

### **Rebranding**

The current branding is consistent with a traditional retail mall. The property will be rebranded as High North to convey the development's premier position in the Greater Columbus Class A Office market.

### **Architecture**

The proposed architectural style blends the traditional architecture of Worthington with the contemporary style demanded by highly desirable national Class A office tenants. High North will utilize brick and stone materials and elements traditionally found in Worthington architecture at the pedestrian level. As the pedestrian level retail transitions upward to the office space, a modern architecture style will be utilized in order to meet the demands of Class A office tenants.

Parking for the Class A office buildings will be provided by podium parking structures under the office building. The parking structures will also be available to meet the parking needs for the existing retail and restaurant space, the proposed hotel and additional retail/commercial buildings as needed. These parking structures will use brick and stone materials and more traditional Worthington elements.

The height of the office buildings and parking will be a maximum of 10 total stories. The height of the office component is within the 5-6 stories anticipated in the Wilson Bridge Corridor Plan. Unfortunately, the lack of suitable land in the Wilson Bridge Corridor for parking requires the needed parking to be placed under the office building. This brings the total height to 10 stories.

### **Open Space and Site Circulation**

The opening of The Shops (originally Worthington Square) came shortly after the completion of the I-270 outer loop in the early 1970's. Like all suburban malls of the time, it was a destination to be driven to, parked at, and experienced indoors. Over the years, The Shops have undergone several expansions and modifications including the recent attempts to become outward facing. Almost 50 years after inception, the site has become cumbersome to navigate in a vehicle and challenging at best as a pedestrian.

The current movement towards health and wellness encourages spending much more time on foot and outdoors. This movement has resulted in the redevelopment of many indoor malls around the country to adapt to these trends. Frequently used elements include removing roofs over common areas, upgrading and diversifying landscaping, providing open shaded spaces and outdoor amenities and the incorporation of non-retail tenants. The almost unanimous result has been reinvigorated "Places" where people can shop, dine, recreate and in many cases work and live.

As previously stated, our proposal anticipates the incorporation of non-mall tenants such as office, hotel, and family recreation. A high priority for these users includes outdoor space and amenities that are within walking distance. The portion of The Shops we are retaining includes some of these desirable retail and restaurant amenities.

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We cannot gain more vehicular access points to the development, so we have concentrated our efforts on providing more fluid, intuitive vehicular movement within the development, in particular to new, highly visible parking garages that will service both new and existing tenants. Our experience has been that if you can navigate a site without having to stop or slow down to locate your destination, a higher volume of traffic can be accommodated, and traffic flow is smoother.

Several options to improve pedestrian circulation are being proposed. Safety, both from vehicles and visibility will be paramount. All new sidewalks will be separated from drives by landscaping and will be wide enough to include lighting, benches, shade, and comfortable pedestrian passage. Existing sidewalks, to the extent possible will be modified to include the same elements so that no matter where you are there is continuity between, and access to any other destination within the development.

The focal point will be the outdoor public plaza. While the Plaza is the featured amenity for High North tenants, our goal is that this plaza will become the destination High North is known for and the associated retail, restaurant and entertainment tenants become some of the most sought-after amenities for the community. The design for the Plaza will include landscaping, shade, places to sit, places to rest, places to stroll, places to gather, places to experience and places to photograph. Our goal is that it is invigorating because you experience it in a variety of different ways.

#### Construction and Phasing

The proposed new development will utilize land that is currently surface parking. Additionally, approximately 120,000 square feet of the existing mall will be demolished to provide additional needed land.

The project will be completed in two phases. The first phase will include the northern Class A Office building as well as a temporary public open space area. (A portion of temporary public open space will be utilized for permanent commercial buildings in Phase 2. The remainder will become the open-air plaza). Phase 1 will also include the construction of the new north/south and east/west streets which will service the northern office building and improve site circulation and access to the western side of the development. Once tenant acquisition is completed for the northern office building, the construction of the first phase, is anticipated to be completed within 24 months.

The second phase will include the southern Class A Office building, completion of permanent public open space area and the commercial buildings on the western portion of the property. Construction of Phase 2 commercial buildings will be market driven with the final configuration, building size and number being driven by tenant demand and specification. The build out of Phase 2 will likely place over several years.

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DATE 09-17-2020

Direct Retail Partners is excited to work with Worthington on the revitalizing this property to establish a premier Class A Office mixed-use development. My team is available to address any questions or comments you may have.

Sincerely,



David Watson,  
Managing Principal,  
Direct Retail Partners

CC:  
Matt Greeson  
David McCorkle

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## **Tab 2**

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DRAWINGS NO. AR 66-2020  
PUD 02-2020

DATE 09-17-2020

**High North At Worthington  
Mixed Used Development**

DATE 09-17-2020

Development Text  
September 17, 2020

**I. Introduction**

The subject property is 15.66 +/- acres located northwest of the intersection of North High Street and Wilson Bridge Road in the City of Worthington (the "Property") and is located in the Wilson Bridge Corridor and the Architectural Review District. The Property is bordered on the east by Kroger and North High Street, and on the north by Old Wilson Bridge Road and several commercial office buildings that are predominately 3 stories in height. On the west the property is bordered by The Heights at Worthington Place apartments which are 4 - 6 stories in height. On the south, the property is bordered by Wilson Bridge Road and several small commercial buildings. Buildings in the area predominately utilize facades that are a mix of brick and siding.

The property is contained in one Franklin County tax parcel, 100-006788-00 (15.668 acres). The Property is currently zoned C-2 "Community Shopping Center" known as the Shops at Worthington Place, and was re-platted from three parcels to one in 2019 when the applicant purchased the property. The current indoor mall is the primary structure on the property.

The request is to rezone the property from the C-2, Community Shopping Center, to the PUD, Planned Unit Development District as provided by Chapters 1174 of the Codified Ordinances of the City of Worthington (the "Code"). The proposed use is mixed use which will allow the establishment of Worthington as a premier Class A office location for large and mid-sized employers in a desirable live, work and play environment.

Use of PUD zoning allows for a creative, flexible design as stated in the Code, Section 1174.01 PURPOSE.

“(a) The purpose of Planned Unit Development is to promote variety, flexibility and quality for the development of properties in the City of Worthington. Planned Unit Development allows for more creative planning and design and enables a greater range of uses than traditional Zoning regulations. Planned Unit Development allows for the design and mix of uses necessary to meet changing economic and demographic demands; permits implementation of development standards, plans, studies, and guidelines adopted by the City Council; and provides the opportunity to retain and enhance the character of the City, and the health, safety and general welfare of the inhabitants.”

At completion the development will include:

- Class A office building (up to 125,000 square feet) with podium parking on the north, a
- Class A office building with podium parking on the south (up to 125,000 square feet)
- Boutique hotel (120 rooms) or 100 units of multifamily consistent with the adjacent existing multifamily and additional retail/commercial buildings (up to 30,000 square feet) on the western edge of the property
- Existing retail space of 55,000 square feet (120,000 square feet of existing space will be removed)
- Central outdoor plaza
- Pedestrian circulation that allows easy navigation of the entire development

- Enhanced vehicular circulation created by adding new north/south and east/west roads

The architectural style blends the traditional architecture of Worthington with the contemporary style demanded by highly desirable national tenants. To achieve this, development standards contained in Code Section 1181, Wilson Bridge Corridor, of the Code have been modified with specific standards contained in Section II of this PUD.

Amenities included in the plaza, other open space and pedestrian pathways will include lighting, benches, shade and unique gathering spaces. The pathways will also provide pedestrian access to the new office buildings and retail buildings as well as existing retail shops and restaurants and apartments.

New development will utilize land that is currently surface parking. Additionally, approximately 120,000 square feet of the existing mall will be demolished to provide additional needed land. On net and 215,000 square feet of commercial space will be added to High North. Demolition plans are provided **Exhibit D-3 and D-4**. **Exhibit D-x** depicts the western portion of the existing retail space after demolition and reconstruction.(in process)

Parking for the Class A office buildings will be provided by podium parking structures under the office building. The parking structures will also be available to meet the parking needs of the existing retail space as well as proposed hotel and additional retail/commercial buildings when the parking needs are not met with the remaining surface parking.

The project will be completed in two phases. The first phase will include the northern Class A Office building as well as temporary public open space areas (note: a portion of the temporary public open space will be utilized for permanent commercial buildings in Phase 2 as depicted in **Exhibit D-9**) Phase 1 will also include the construction of a new north south street to service the northern office building and the western side of the development and a new east west street to improve vehicle circulation.

The second phase will include the southern Class A Office building, completion of permanent public open space area and the commercial buildings on the western portion of the property as depicted in **Exhibit D-2**. Construction of Phase 2 commercial buildings will be market driven with the final configuration, building size and number being driven by tenant demand and specification. The build out of Phase 2 may take place over several years.

At full buildout the impervious coverage of the site will be 13.6 acres of the site, or 86.6%. This represents an improvement from the current condition; impervious coverage is currently impervious coverage is 14.4 acres or 91.7%.

The full build out site plan, is shown on **Exhibit D-2** in this Preliminary Development Plan.

## II. Development Standards

### A. Proposed Uses:

1. WBC-3 Mixed Use as defined by Chapter 1181.06(c) as follows, An area along the WBC that allows for a mix of retail and office uses both vertically and horizontally. Permitted uses include C-1 Neighborhood Commercial, C-2 Community Shopping Center and C-3 Institutions and Offices as listed in Chapter 1147.
2. Hotel and medium density apartment (AR-3) are permitted uses subject to the following conditions:



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- i. Generally located in the area designated as hotel/multifamily on **Exhibit D-2**
- ii. Multifamily units will be 100 units or less.
- iii. Multifamily final plans cannot be applied for until after 2 years from date of PUD approval.

## **B. Design Regulations**

### **1. Character**

The proposed architectural character of the subject property honors Worthington's heritage while building a premier mixed-use project that ensures the ongoing viability of the existing and future retail space. More importantly the goal of this mixed use development is to provide Worthington with the ability to substantially expand its employer/employee base by targeting large national and international employers.

Achieving this goal requires an architectural character that blends Worthington's established architecture with contemporary Class A office architecture. At the pedestrian level, High North shall maintain the warmth of Worthington through the use of traditional building materials and familiar architecture elements. As the project builds upward, the Class A Office buildings, transition into a contemporary style that meets the needs and profile of premier, Class A office tenants. Renderings from various points along North High Street, Wilson Bridge Road and 270 are contained in **Exhibits E3-E6**.

- i. The predominate building materials,
  - a. Existing/remaining retail/commercial building – brick, siding and masonry
  - b. New/phase 2 retail/commercial – brick, siding and masonry
  - c. Class A Office Buildings and Parking Structures – brick, metal, pre-cast stone
  - d. Hotel – brick, siding and other masonry
  - e. Multifamily – brick, siding
- ii. The architectural character is illustrated in the Architectural Renderings (**Exhibits E3 - E6**) included with the Preliminary Plan materials. This project requires review and approval of the Worthington Architectural Review Board (the "ARB"), and the applicant is committed to working collaboratively with the ARB to achieve the desired aesthetic and quality for this prominent area of the City.
- iii. Office Building height will be limited to 10 total stories including the parking structure. Parking structure floor to floor height is 10 feet on average; Office floor to floor height is 15 feet.
- iv. Hotel and multifamily height will be limited to 10 stories.
- v. New retail buildings will be limited to 2 stories.
- vi. The ground floor of the office buildings may contain retail, office, restaurant or recreation uses.
- vii. The Property shall be developed in substantial conformity with the setbacks and other standards depicted on the Site Plan, included herewith as **Exhibits D-1 and D-2**.
- viii. Vehicular ingress and egress is depicted in **Exhibits D-1, D-2 and D-5**

- ix. Pedestrian circulation throughout the property is depicted in **Exhibit D-6**. Pedestrian flow throughout the property is created throughout the property through the use of
  - a. Enhanced crosswalks (details are in process)
  - b. Wayfinding signage
  - c. Lighting
  - d. Benches and shade structures

2. Screening

- i. Landscaping and screening shall be installed in substantial compliance with the Landscape Plans included herewith as **Exhibits D-2 through D-7**.
- ii. Tract coverage: Total tract coverage will be in substantial compliance with the Site Plan attached as **Exhibit D-2**.

3. Lighting:

All parking lot lights and building wall-mounted lights shall be in substantial compliance with **Exhibit D-14** (in process). Decorative light poles shall be not higher than 15 feet, and the concrete bases shall not be exposed.

4. Graphics/Signage

- a. Signage for the existing retail/commercial buildings that remains, the new free-standing retail buildings and ground floor retail contained in the office buildings will comply with the sign requirements in **Exhibit E-12**.
- b. Signage for the Class A Office Buildings:
  - i. Total sign area per facade of the office space will be limited to 300 square feet;
    - 1. No single wall sign shall exceed 200 square feet
    - 2. No more than two wall signs per façade will be allowed
  - ii. Total sign area per façade of the parking garages will be limited to 550 square feet;
  - iii. Wall signs will be allowed on all facades
  - iv. Further details are contained in **Exhibit E-13**(in process).

5. Traffic & Parking

a. Traffic

Access to the property shall be as depicted on the Site Plan, **Exhibit D-1 and D-2** and the Vehicular Flow Plan **Exhibit D-6**. Sidewalks shall be installed throughout the Property as depicted on **Exhibit D-6**. This provides for pedestrian connectivity to existing sidewalks along the southern and eastern perimeter of the property and with connectivity provided to and through the property in various locations.

- i. A traffic impact study was completed and is contained in **Exhibit E-9** (in process).
- ii. Mutual access agreements are required between current and future tracts and adjacent properties in the areas depicted in **Exhibit E-11**

b. Parking:

Parking areas including structured parking shall be located and developed in

substantial compliance with the setbacks and other standards depicted on the Site Plan attached as Exhibit **D-1 and D-2**. Parking requirements are in compliance with Urban Land Institute guidance. A parking study is included as **Exhibit E-10**.

- i. Shared parking agreements are required between current and future tracts and adjacent properties in the areas depicted in **Exhibit E-11**

## 6. General Requirements

### a. Environment

#### i. Stormwater Drainage

Preliminary engineering and feasibility studies were conducted for the proposed development of the Property, attached, as **Exhibit E-7A and B**. A Preliminary Grading Plan. Stormwater runoff will be mitigated in accordance with all Worthington requirements, and approved by its engineering or consulting engineering staff.

#### ii. Sustainability

Currently, the existing site has no infrastructure to support stormwater quality or detention. Infrastructure will be installed to address this deficiency to clean and detain the run-off before entering the public system as established in **Exhibit E-7A and B**. The major infrastructure element includes underground storm water detention placed under the parking structure of the North Office Building. Additionally, the existing site's impervious coverage is in excess of 90%. Impervious coverage is being reduced by reducing surface parking and implementing an open-air plaza.

### b. Utilities & Facilities

The development will be serviced by the existing available City of Worthington water and sewer lines, **Exhibit E-8A and B**.

### b. Natural Features

This property is without natural features.

### c. Public Space Amenities

Public Space Amenities are provided and incorporated as depicted on **Exhibits**

**D- 7 through D-13**. Construction of public space amenities will be completed in accordance with the phasing plan outlined in section 7 and **Exhibits D-1 and Exhibits D-2**.

#### **DI-** Temporary public open space; Phase 1

- 1. Benches
- 2. Trash receptacles
- 3. Pet waste station

CITY OF WORTHINGTON

#### **DII-** Outdoor Plaza; Phase 2

- 1. Shade structures
- 2. Main focal element
- 3. Benches
- 4. Trash receptacles

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- 5. Lighting
  - 6. Pet waste station
- iii. Old Wilson Bridge Road (in process)
- iv. North High Street (in process)
- v. West Wilson Bridge Road (in process)
- vi. Amenities found throughout the development (completed as indicated in the phasing plan; see section 7 and **Exhibit D-1 and D-2**)
  - 1. Enhanced pedestrian pathways and crosswalks
  - 2. Seating areas.
  - 3. Decorative landscaping.
  - 4. Bicycle Parking
  - 5. Pet waste station.
  - 6. Trash receptacles.

## 7. Development Phasing

The development will be completed in two phases as depicted in the Site Plans and Demolition Plans **Exhibits D-1 through D-4**. Market conditions and demand will drive the timing and final site plan of the second phase of the development including the specific timing of phase two initiation, sequencing, size and number of specific buildings and completion as well as final configuration of the buildings in Phase 2.

- a. At the conclusion of tenant acquisition the construction of the Northern Office Building (Phase I) will be completed within 30 months
- b. Public Open Space Phasing
  - i. Phase 1 Temporary Open Space
    - 1. Temporary Open Space will be completed within 6 months of the issuance of a certificate of occupancy of the northern office building
    - 2. If Phase 2 has been initiated prior to or during the timeline in item b.i.1 above, Worthington Director of Planning and Building may authorize extension of completion of the temporary open space,
  - ii. Phase 2 Plaza/Open Space
    - 1. Plaza and open space shall be completed within six months of certificates of occupancy being issued for the southern office building and the hotel or additional apartment units.

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PUD 02-2020

DATE 09-17-2020

## **Tab 3**

CITY OF WORTHINGTON

DRAWINGS NO. AR 66-2020  
PUD 02-2020

DATE 09-17-2020

Abutting Property Owners List for  
7227 N. High St.

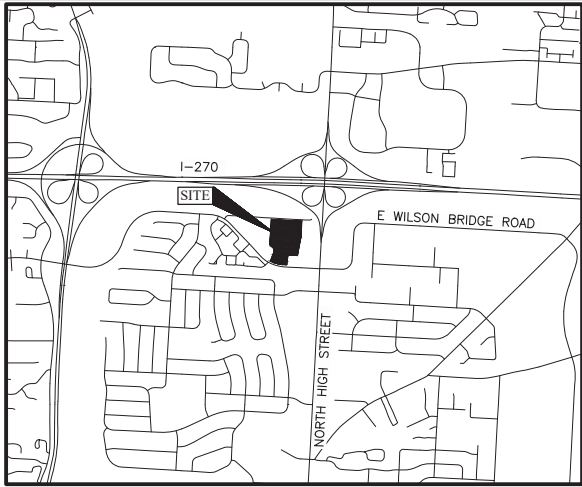
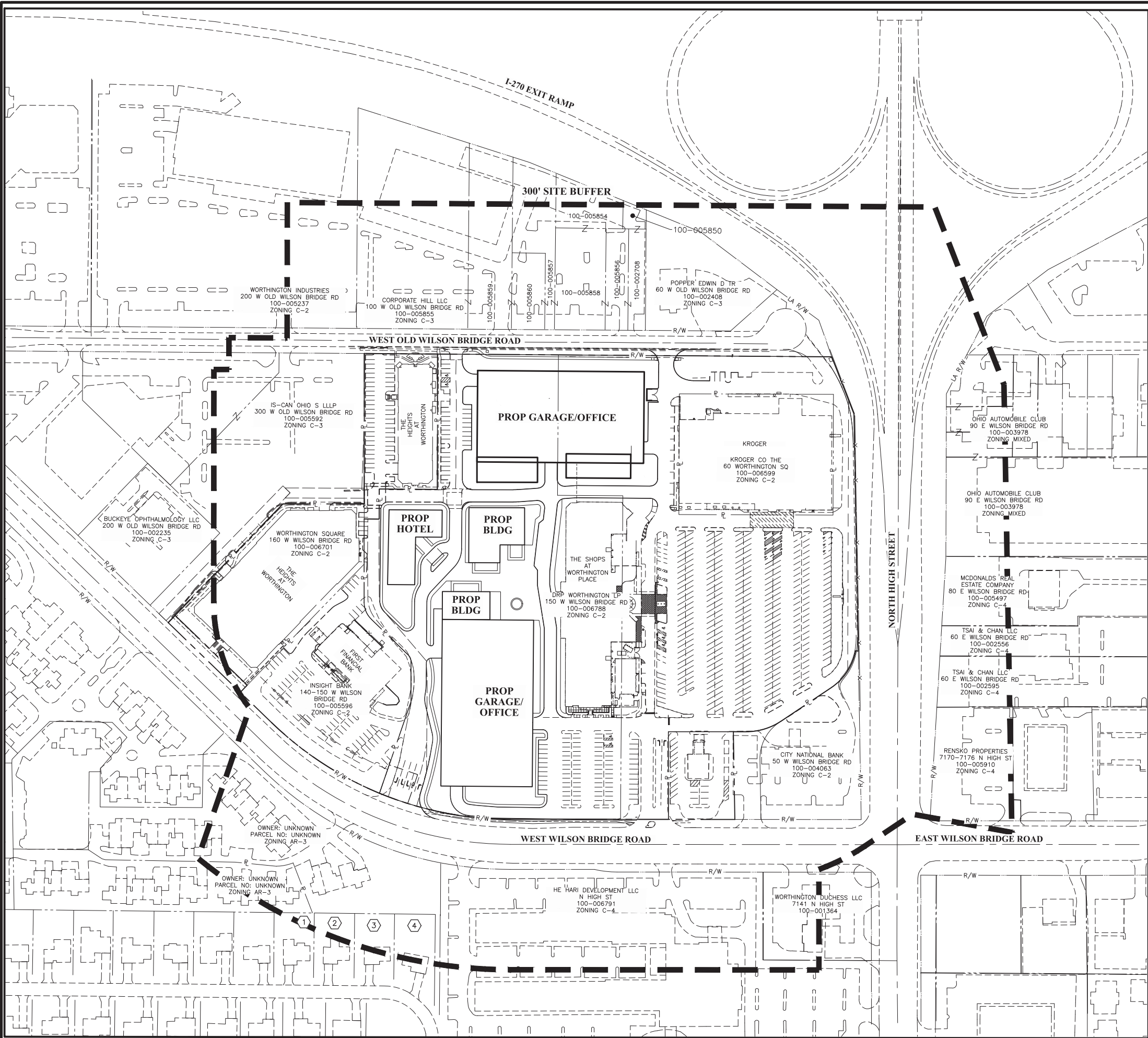
Corporate Hill LLC	470 Old Worthington Rd.	Westerville, OH 43082
Worthington Industries, Inc.	200 W. Wilson Bridge Rd.	Worthington, OH 43085
Edwin D. Popper Tr.	539 Old Farm Rd.	Columbus, OH 43213
Is-Can Ohio X LLLP	2600 Corporate Center Dr., Suite 175	Columbus, OH 43231
Worthington Square Acquisition LLC	555 Metro Pl. N Ste. 600	Dublin, OH 43017
Ohio Automobile Club	90 E. Wilson Bridge Rd.	Worthington, OH 43085
McDonald's	80 E. Wilson Bridge Rd.	Worthington, OH 43085
Tsai & Chan LLC	15 W. 6th St., Suite 2400	Tulsa, OK 74119
Buca Di Beppo	60 E. Wilson Bridge Rd.	Worthington, OH 43085
Rensko Properties LLC	8333 N. High St.	Columbus, OH 43235
BP	7141 N. High St.	Worthington, OH 43085
Worthington Duchess LLC	447 James Parkway	Heath, OH 43056
He Hari Development LLC	600 Enterprise Dr.	Lewis Center, OH 43035
Stephen Lewis	126 Saint Andre St.	Worthington, OH 43085
Insight Bank	150 W. Wilson Bridge Rd.	Worthington, OH 43085
Chase Bank	50 W. Wilson Bridge Rd.	Worthington, OH 43085
The Kroger Co.	4111 Executive Parkway	Worthington, OH 43085
Kroger	60 W. Wilson Bridge Rd.	Westerville, OH 43081
Cast Away Realty LLC	42-40 Bell Blvd Suite 200	Worthington, OH 43085
Jonathan & Maryellen McLaughlin	160 Greenglade Ave.	Bayside NY 11361
Chad & Elyce Cucksey	150 Greenglade Ave.	Worthington, OH 43085
Curtis & Alicia Barden	140 Greenglade Ave.	Worthington, OH 43085
Shellie & Andrew Smith	130 Greenglade Ave.	Worthington, OH 43085

## Tab 4





## Tab 5



LOCATION MAP  
Not to Scale

**DEVELOPER**

Direct Retail Partners  
5310 Harvest Hill Road, Suite 250  
Dallas, Texas 75230

**ARCHITECT**

O'Brien Architects  
5310 Harvest Hill Road, Suite 250  
Dallas, Texas 75230

**ENGINEER/SURVEYOR**

EMH&T, Inc.  
5550 New Albany Road  
Columbus, Ohio 43054

**LANDSCAPE ARCHITECT**

POD Design  
100 Northwoods Blvd., Suite A  
Columbus, Ohio 43235

**PROPERTY TABLE**

- |   |  |
|---|--|
| 1 | MCLAUGHLIN JONATHAN<br>160 GREENGLADE AV<br>100-004986 |
| 2 | CUCKSEY SHAD M<br>150 GREENGLADE AV<br>100-004987      |
| 3 | BARDEN, CURTIS A<br>140 GREENGLADE AV<br>100-004988    |
| 4 | SMITH, SHELLIE L<br>130 GREENGLADE AV<br>100-004989    |

**SITE STATISTICS**

**SITE INFORMATION**

Proposed:	Mixed Use Development
Parcel:	100-006788
Existing Zoning:	C-2 (Community Shopping Center)
Proposed Zoning:	PUD

**SITE AREA CALCULATIONS**

Total Site Area: ±15.7 Ac

**EXISTING**

Impervious Area: 14.4 Ac

Pervious Area: 1.3 Ac

**PHASE 1**

Impervious Area: 13.7Ac

Pervious Area: 2.0 Ac

**PHASE 2**

Impervious Area: 13.6 Ac

Pervious Area: 2.1 Ac

**ZONING LEGAL DESCRIPTION**

All of Lot 3A of the subdivision entitled "Replat of Lot 2A of Shops at Worthington Place", of record in Plat Book 126, Page 12.

CITY OF WORTHINGTON

DRAWINGS NO. AR 66-2020  
PUD 02-2020

DATE 09-17-2020

**VICINITY MAP**

SCALE" 1"=100"

**GRAPHIC SCALE**



1 inch = 100 feet

**PRELIMINARY**  
NOT TO BE USED FOR  
CONSTRUCTION

PLAN SET DATE  
September 17, 2020

**REVISIONS**

MARK	DATE	DESCRIPTION
------	------	-------------

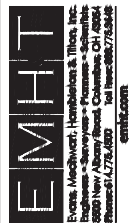
DIRECT RETAIL PARTNERS

CITY OF WORTHINGTON, FRANKLIN COUNTY, OHIO  
DEVELOPMENT PLAN

FOR

THE OFFICES AT HIGH NORTH  
PHASE 1 & 2

TITLE SHEET



**DATE**

September 17, 2020

**SCALE**

1" = 100'

**JOB NO.**

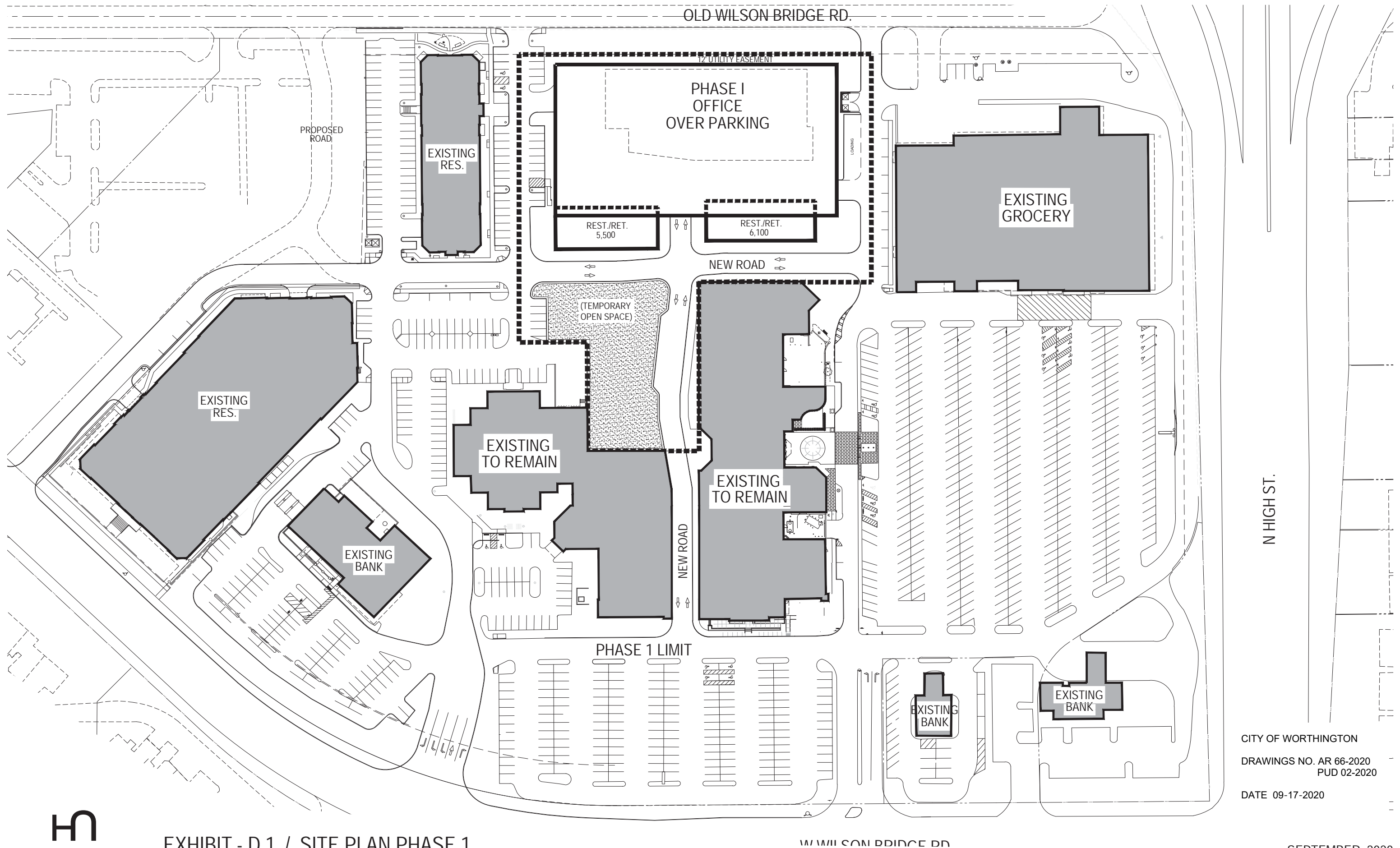
2020-0732

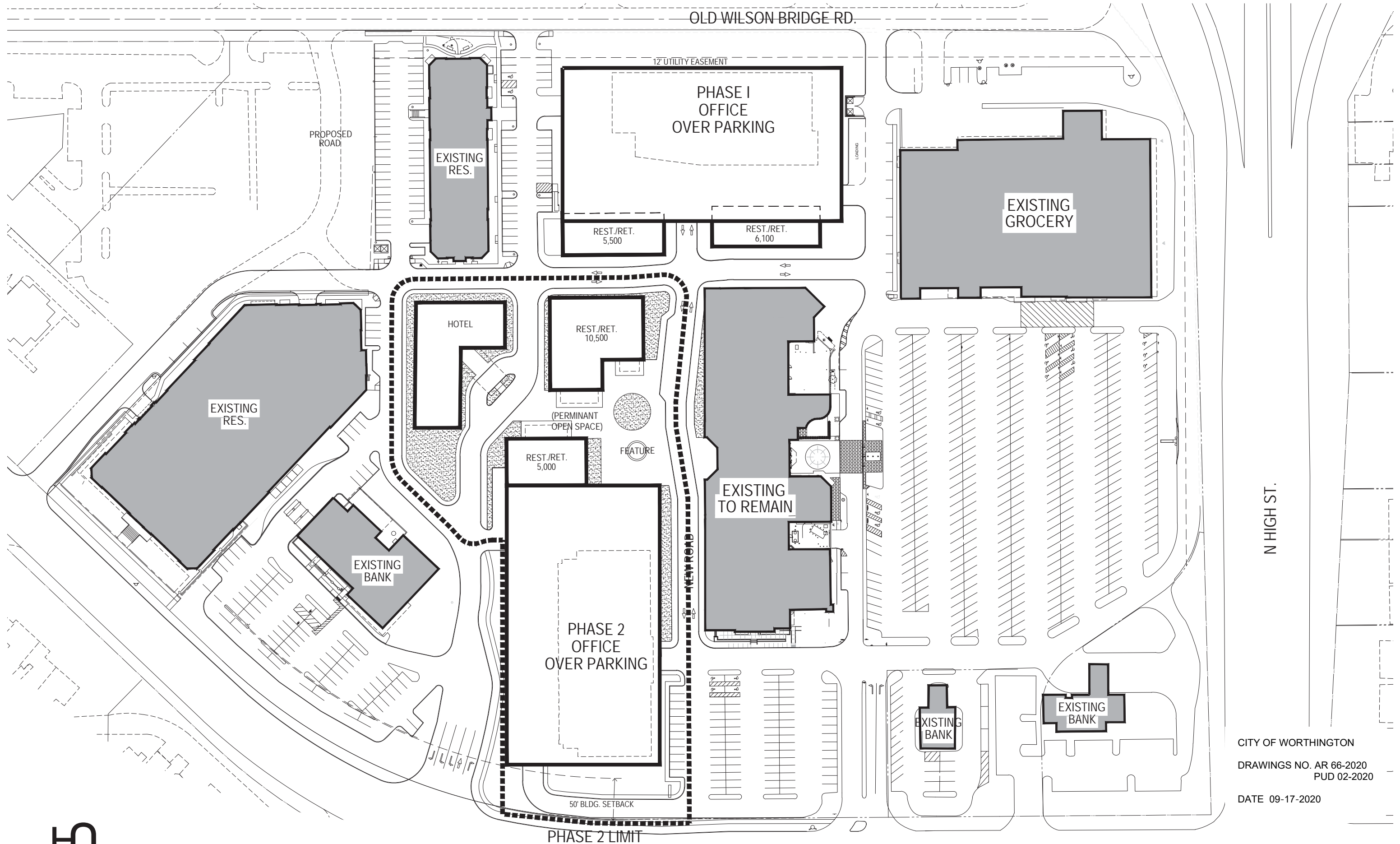
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C-1

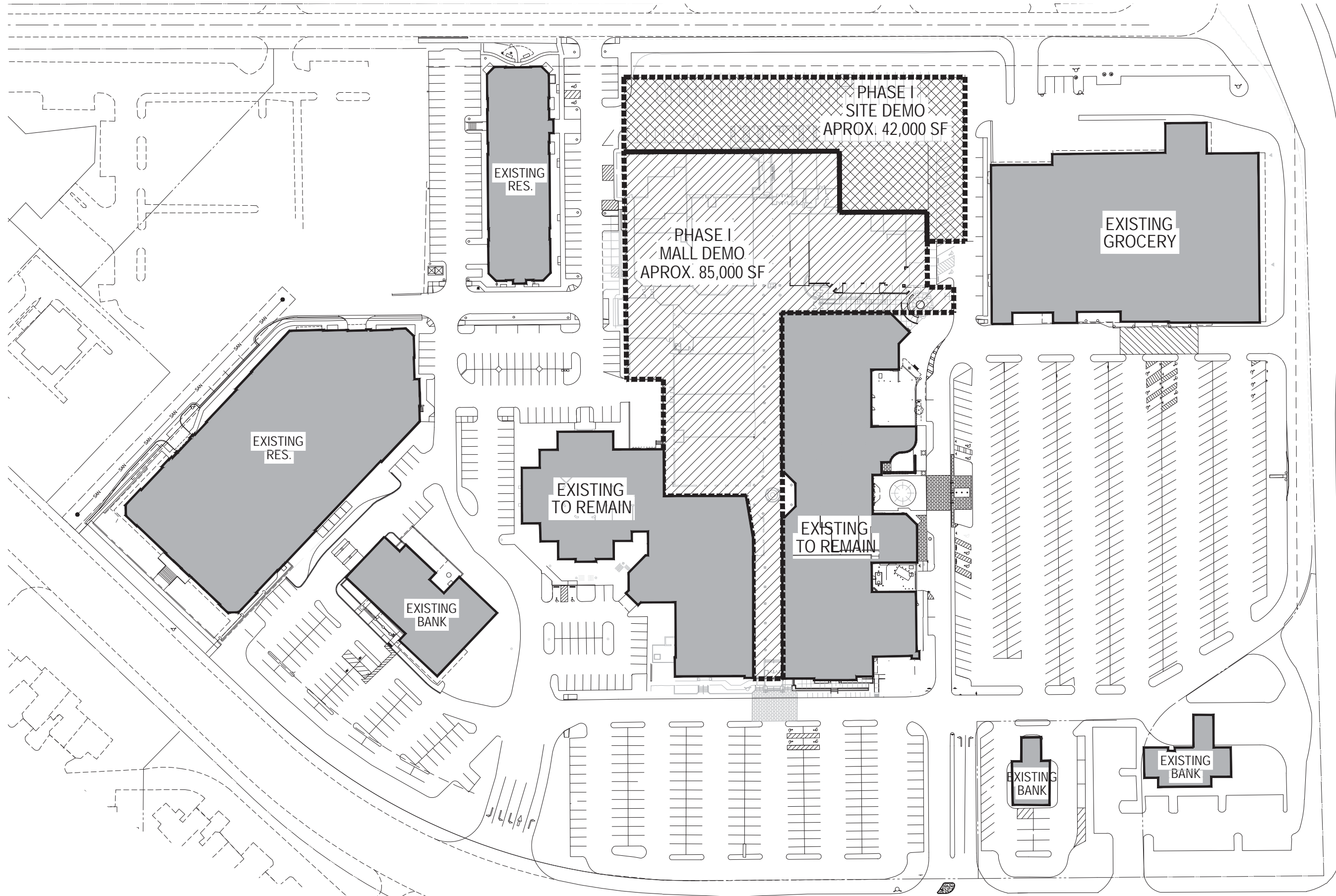
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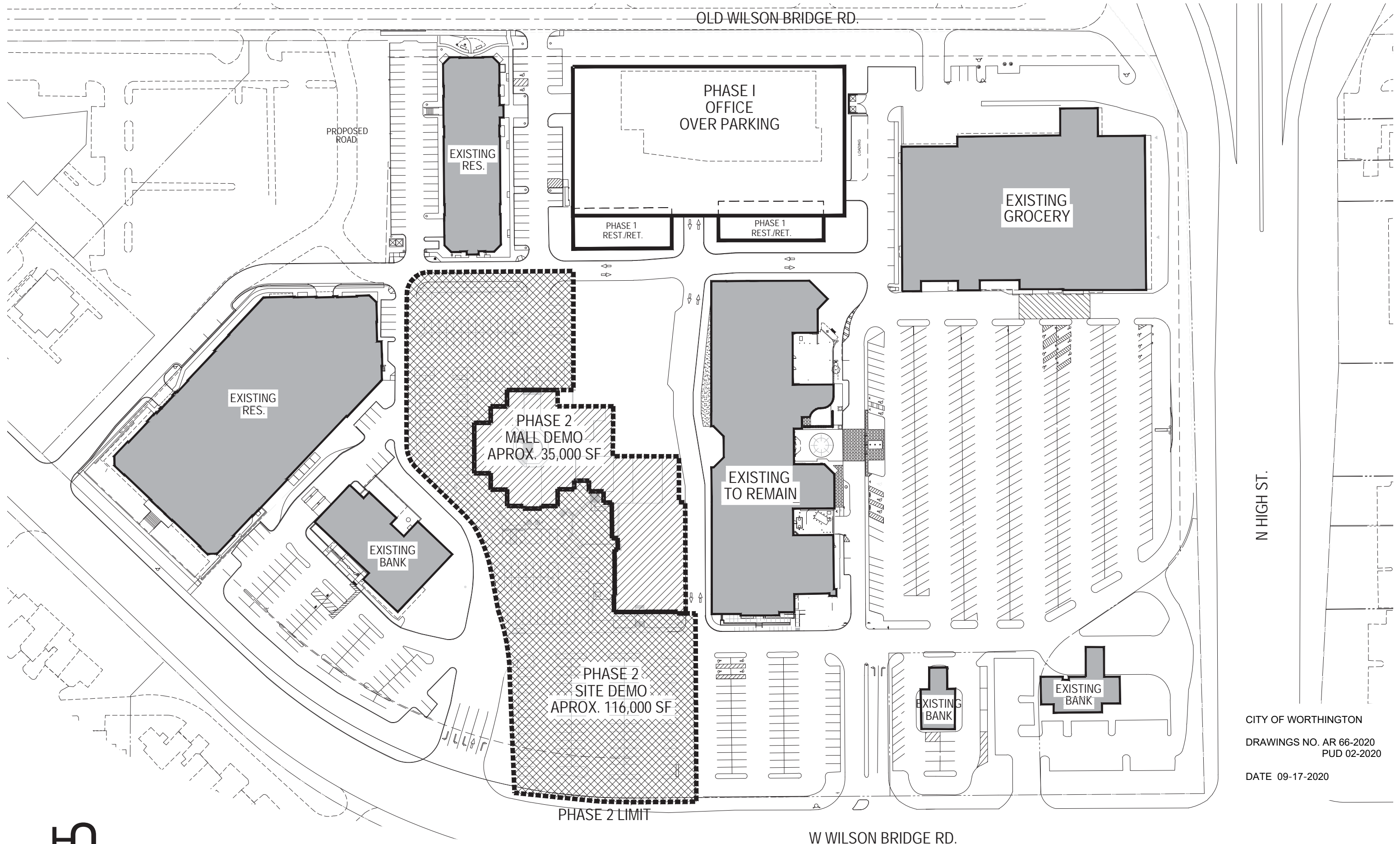




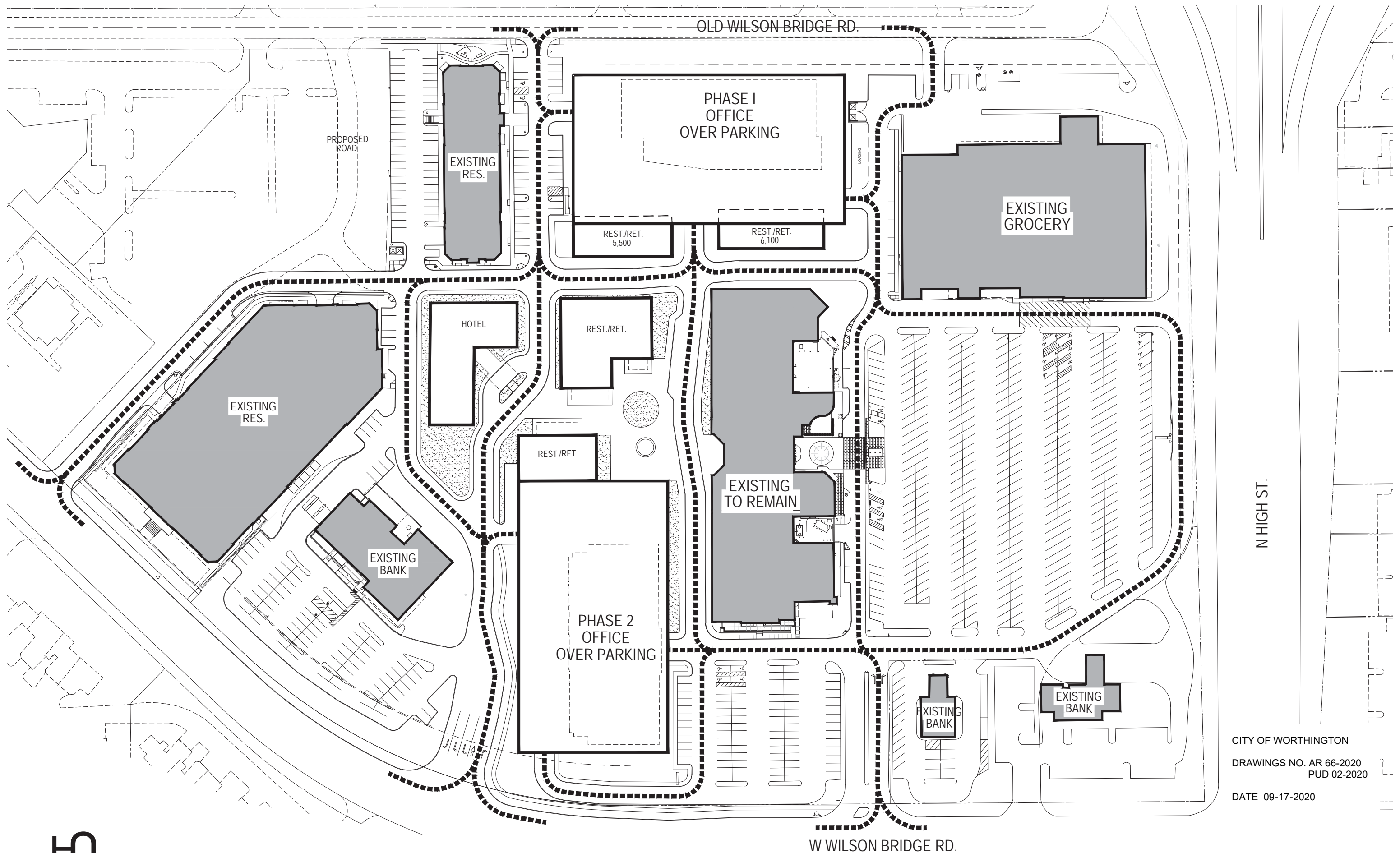
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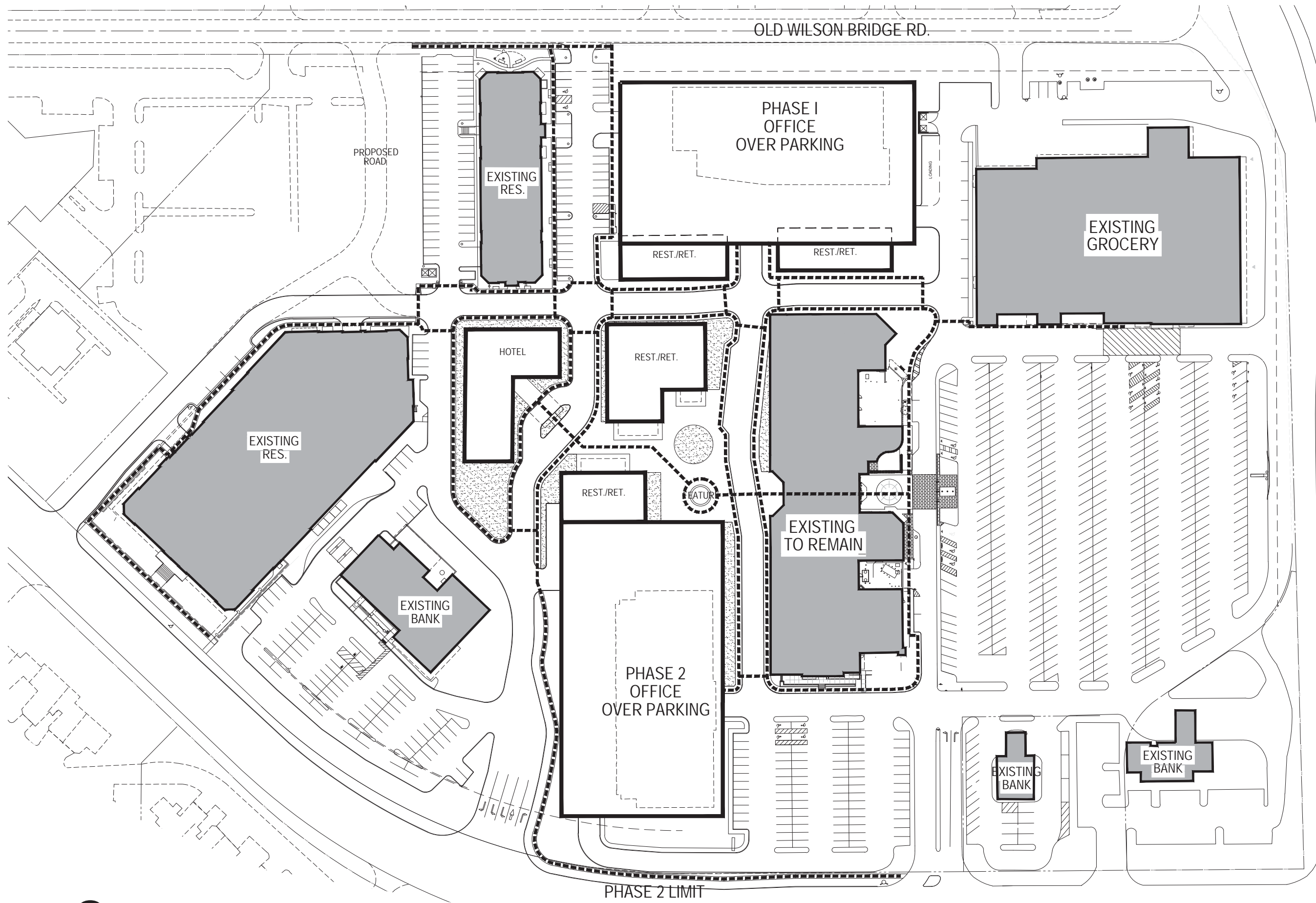
W WILSON BRIDGE RD.

CITY OF WORTHINGTON  
 DRAWINGS NO. AR 66-2020  
 PUD 02-2020  
 DATE 09-17-2020









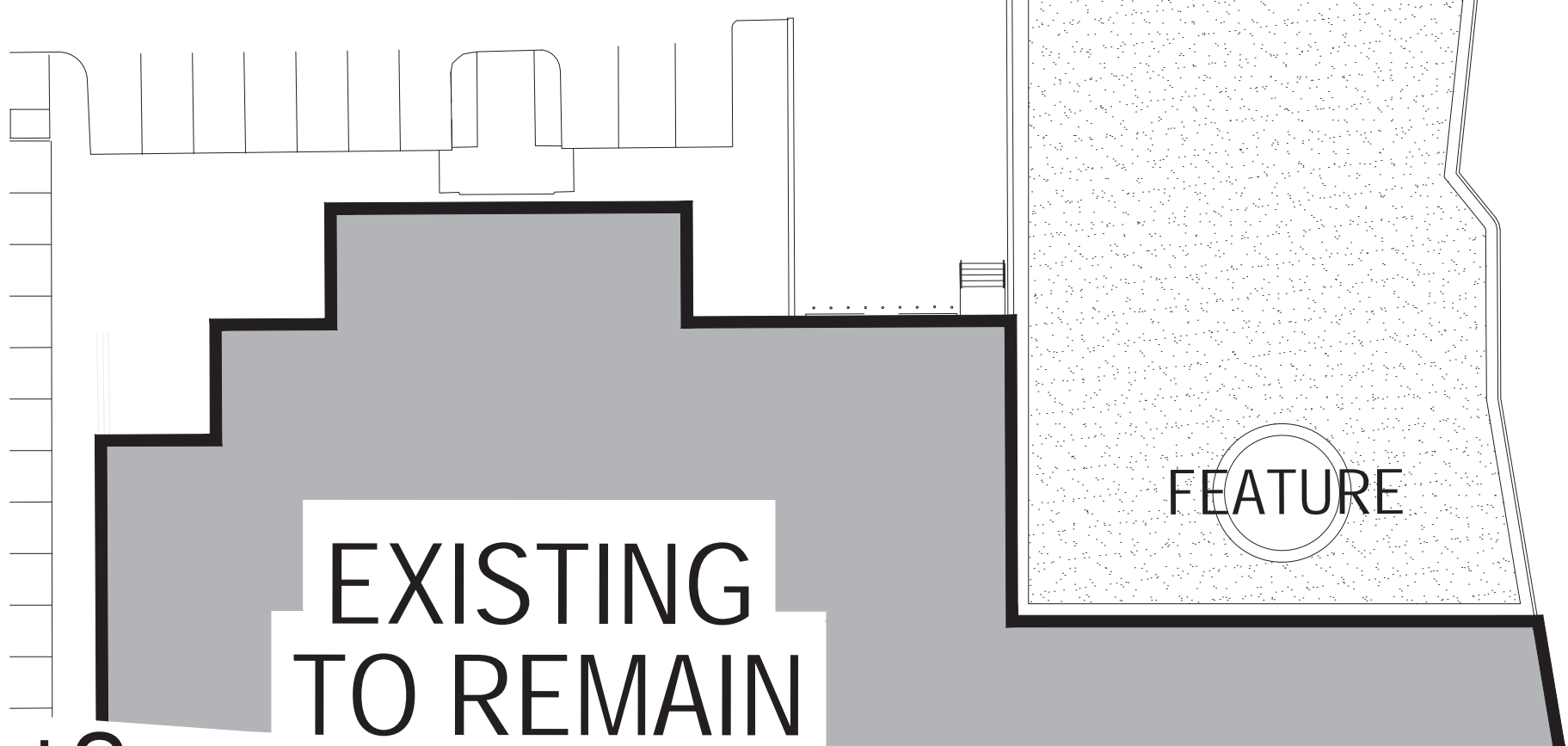
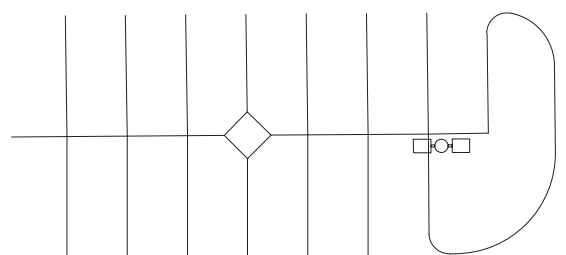
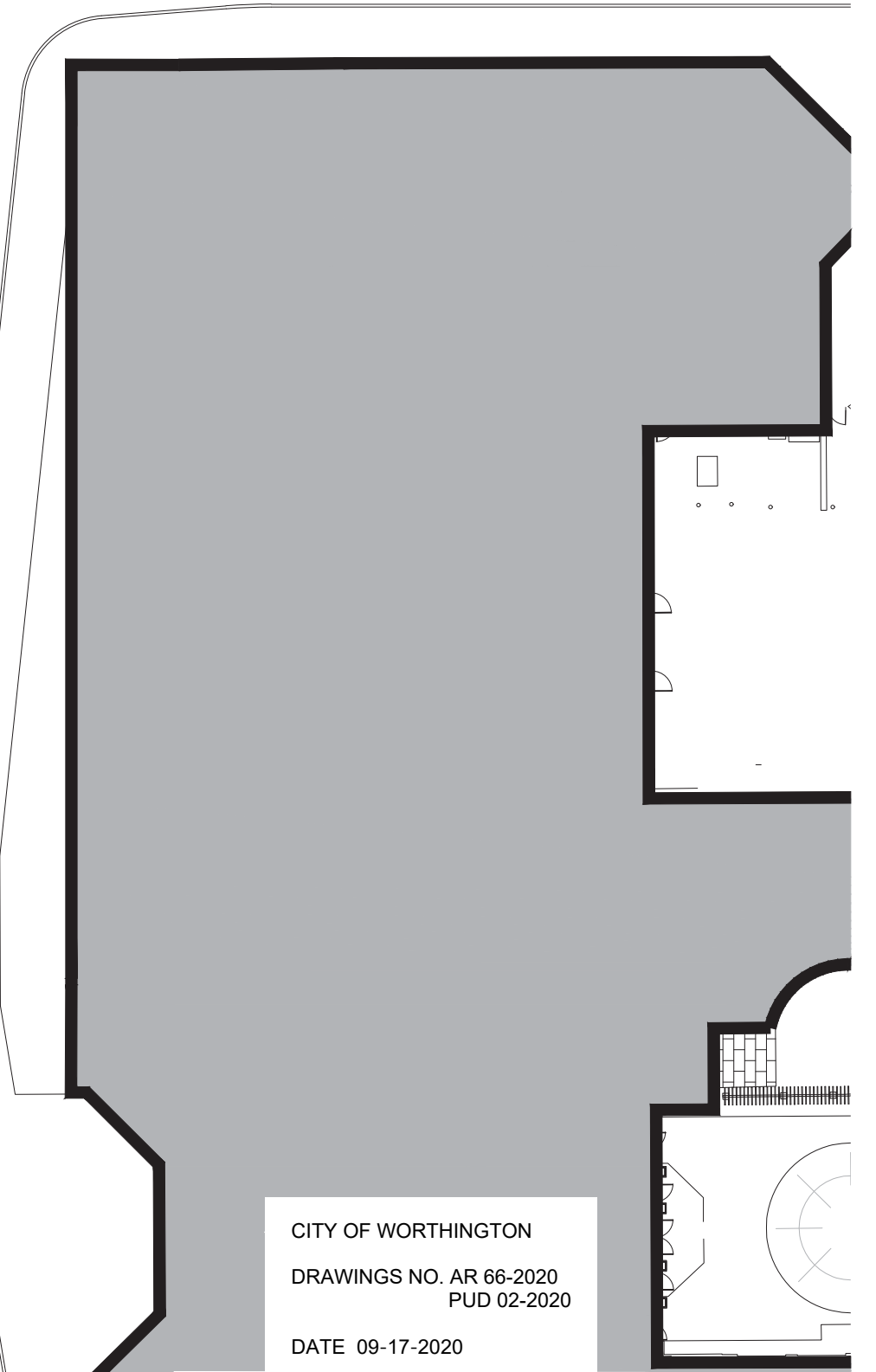
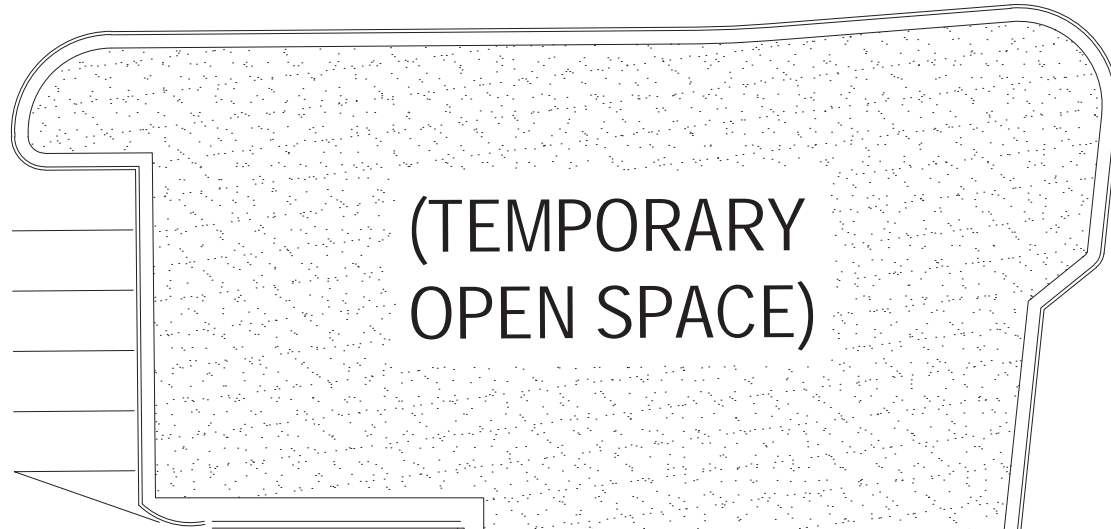
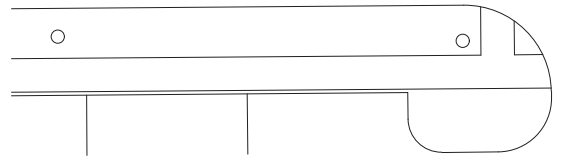
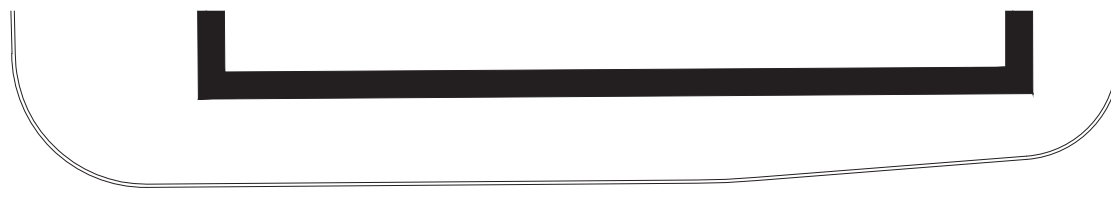
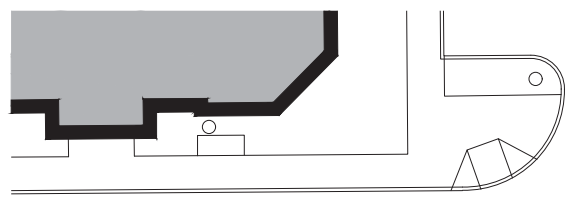
CITY OF WORTHINGTON  
 DRAWINGS NO. AR 66-2020  
 PUD 02-2020  
 DATE 09-17-2020





CITY OF WORTHINGTON  
 DRAWINGS NO. AR 66-2020  
 PUD 02-2020  
 DATE 09-17-2020





NEW ROAD

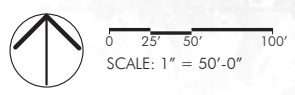
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OPEN SPACE)

FEATURE

EXISTING  
TO REMAIN

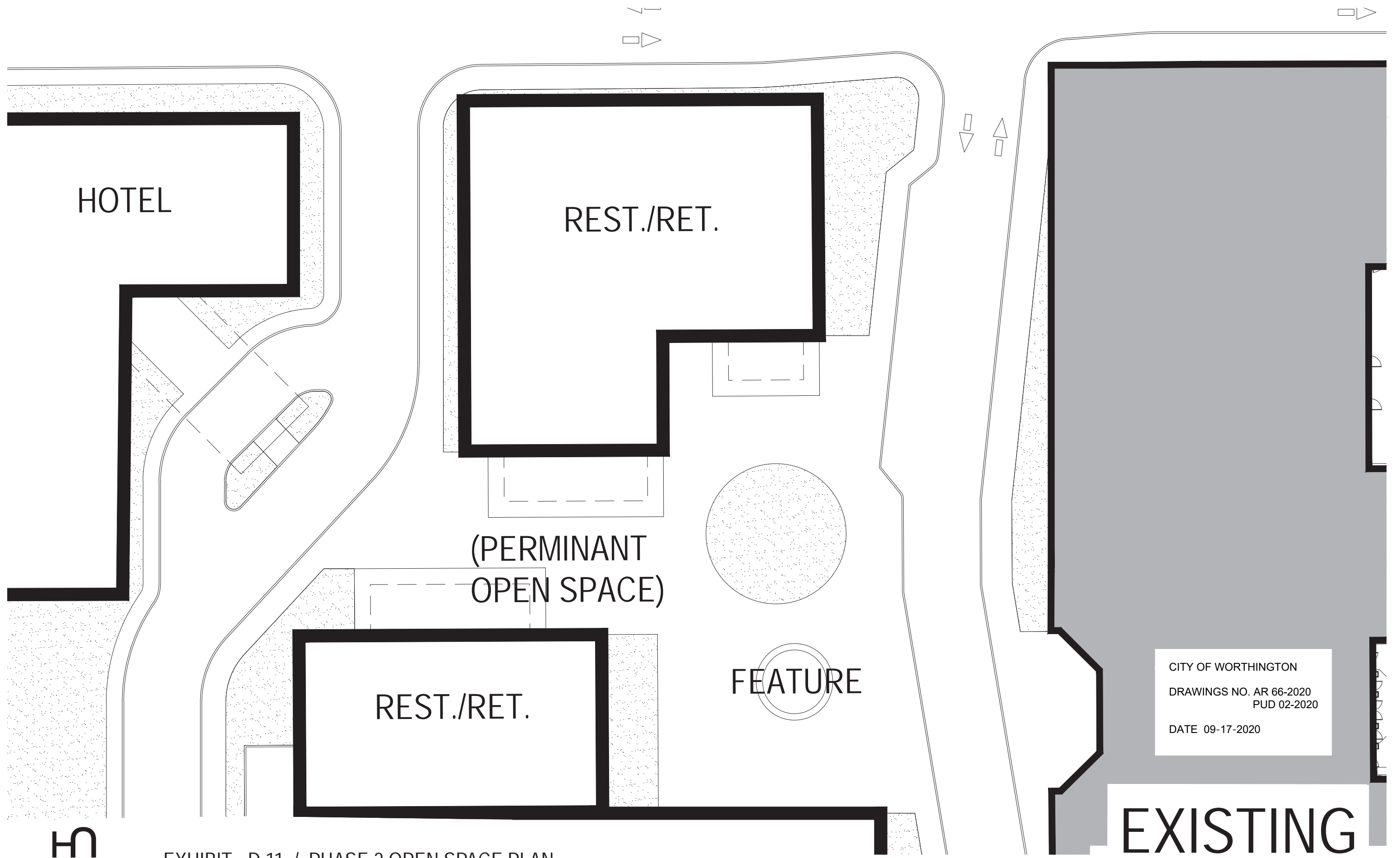
CITY OF WORTHINGTON  
DRAWINGS NO. AR 66-2020  
PUD 02-2020  
DATE 09-17-2020





CITY OF WORTHINGTON  
 DRAWINGS NO. AR 66-2020  
 PUD 02-2020  
 DATE 09-17-2020



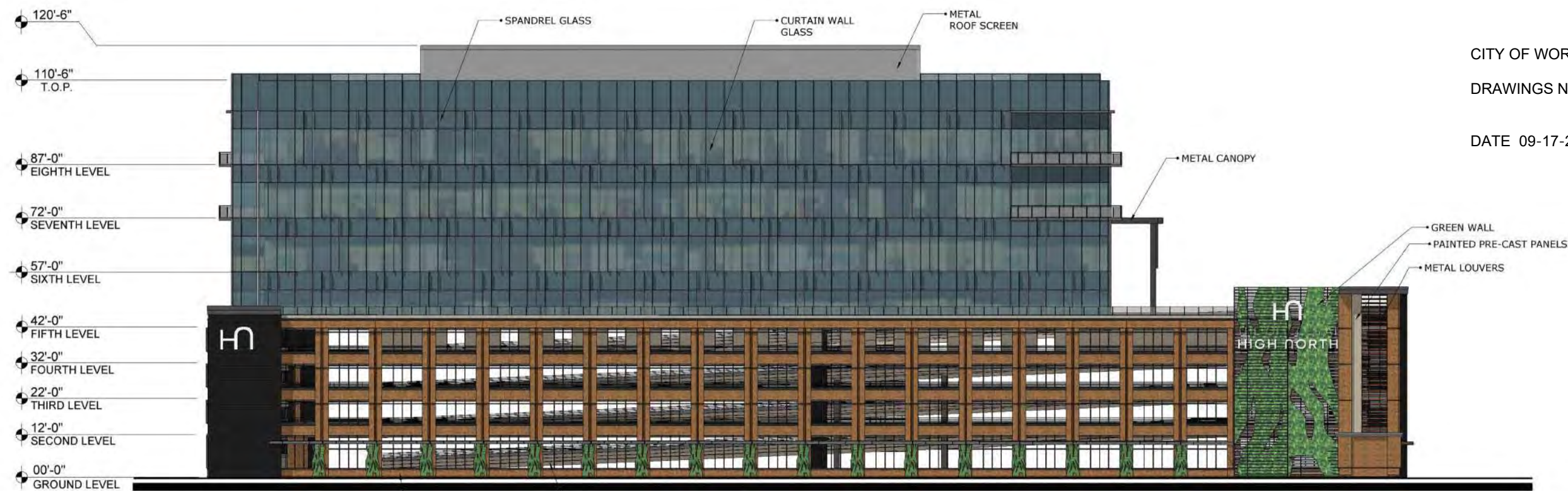


CITY OF WORTHINGTON  
DRAWINGS NO. AR 66-2020  
PUD 02-2020  
DATE 09-17-2020

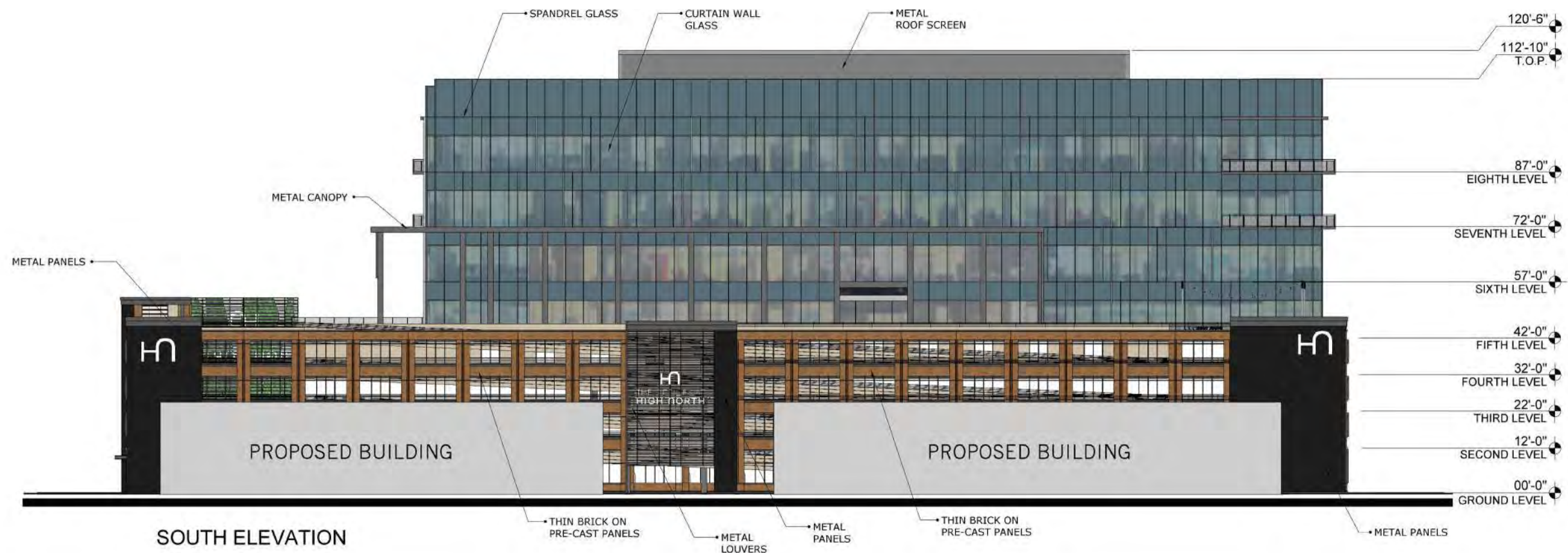
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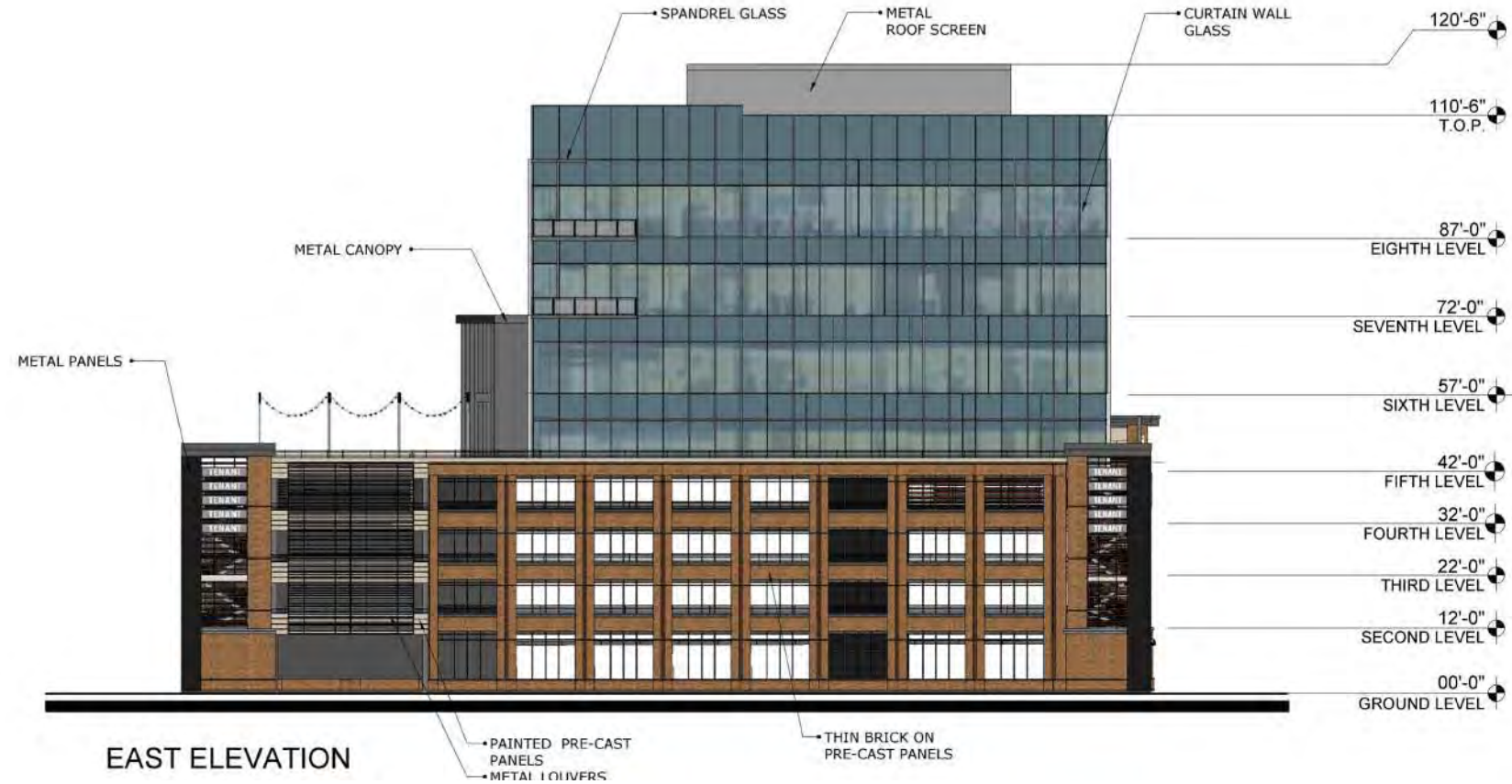
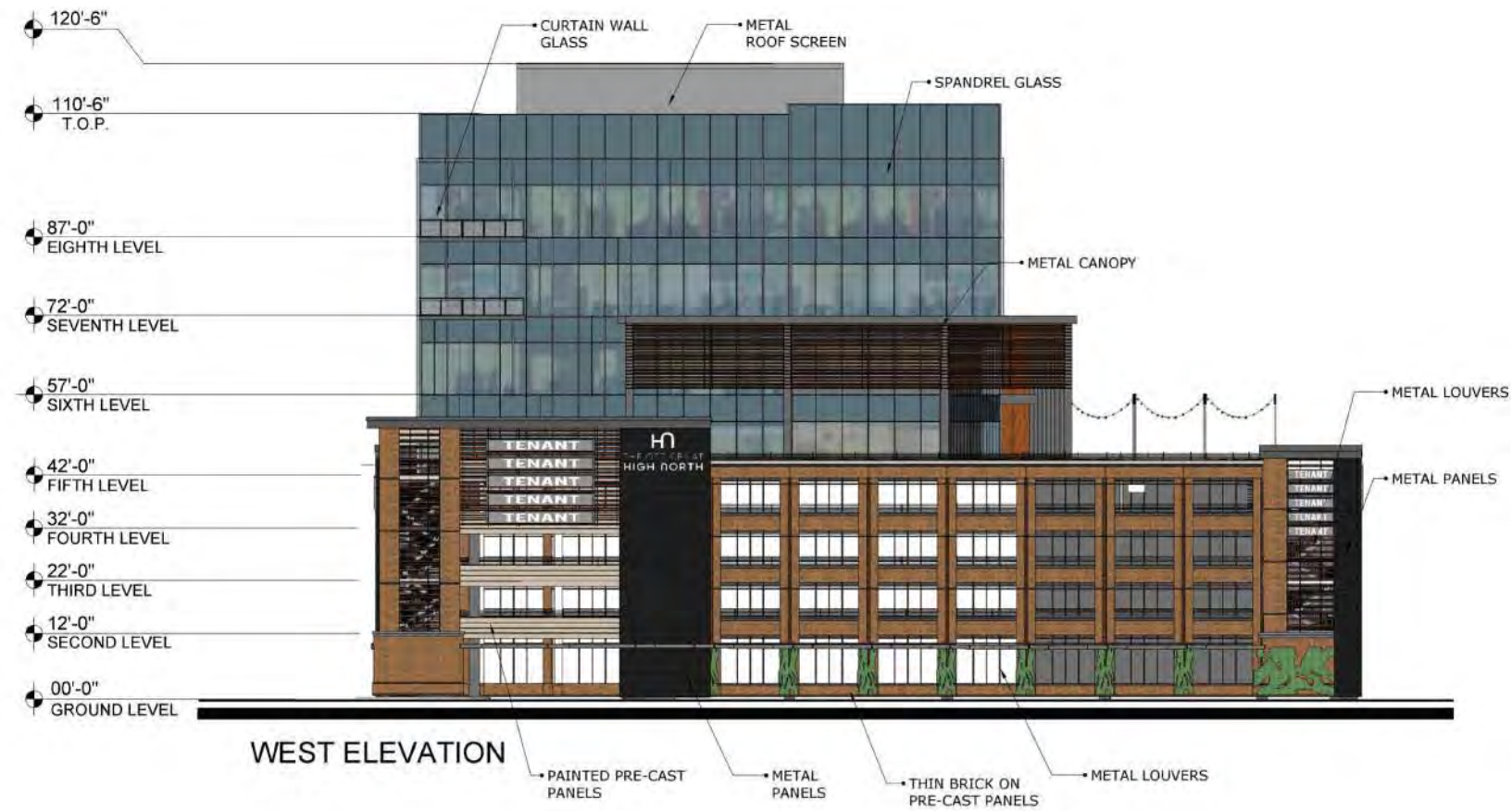


NORTH ELEVATION

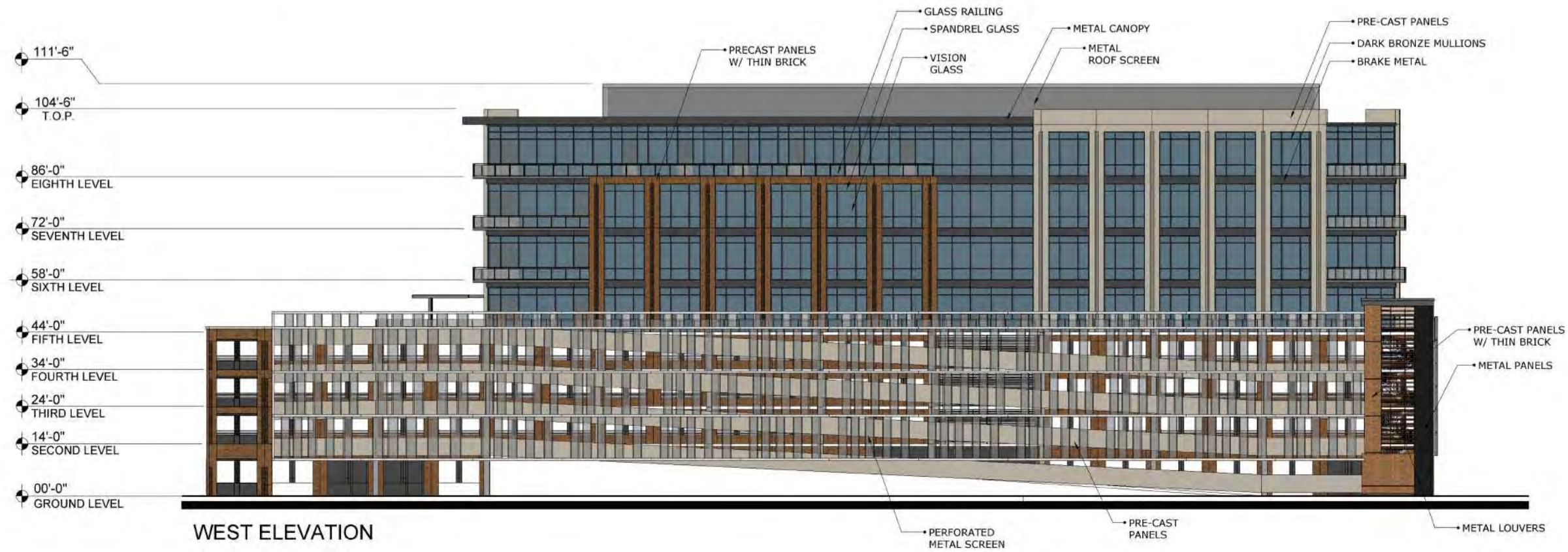
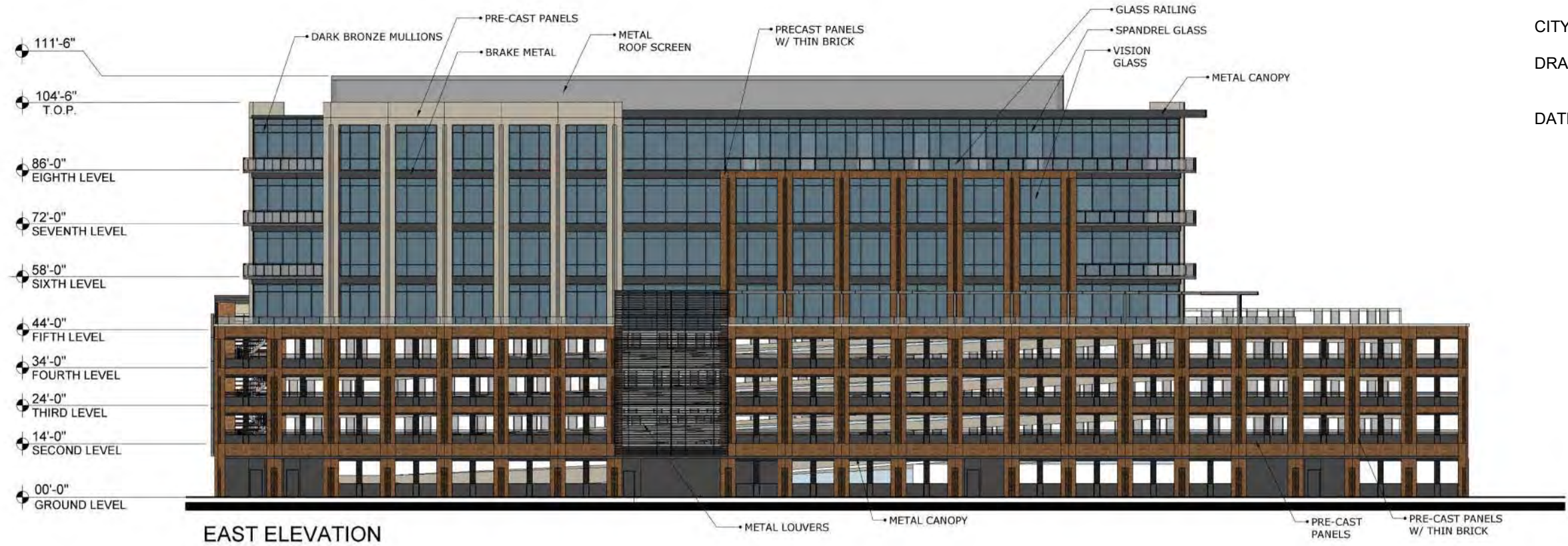


SOUTH ELEVATION







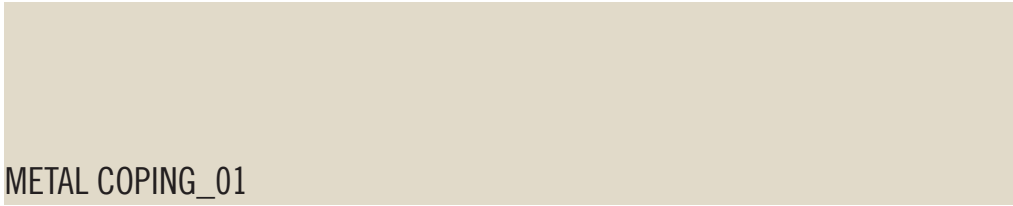




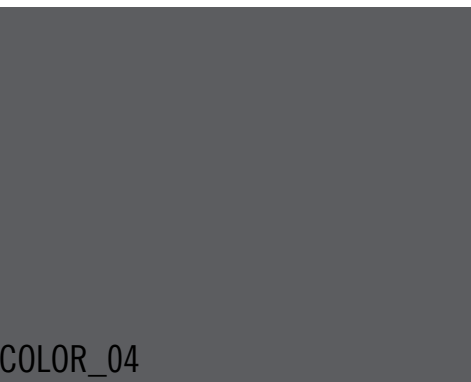
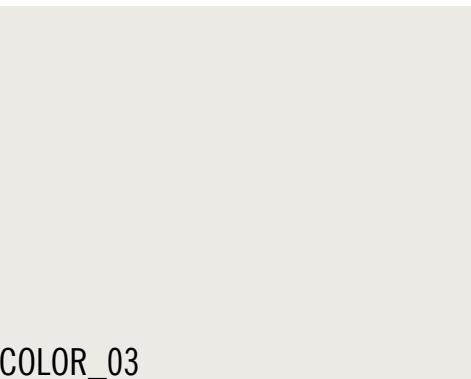
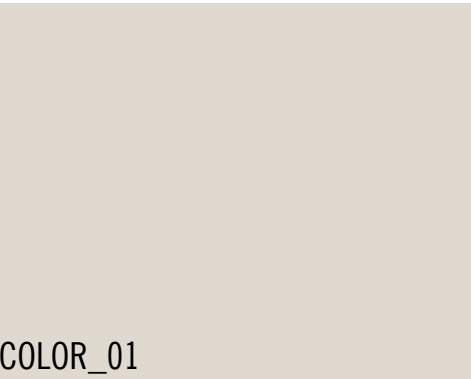




BRICK



PAINT COLORS



MULLIONS



Soffits



PRECAST PANELS



METAL PANELS











CITY OF WORTHINGTON  
DRAWINGS NO. AR 66-2020  
PUD 02-2020  
DATE 09-17-2020





CITY OF WORTHINGTON  
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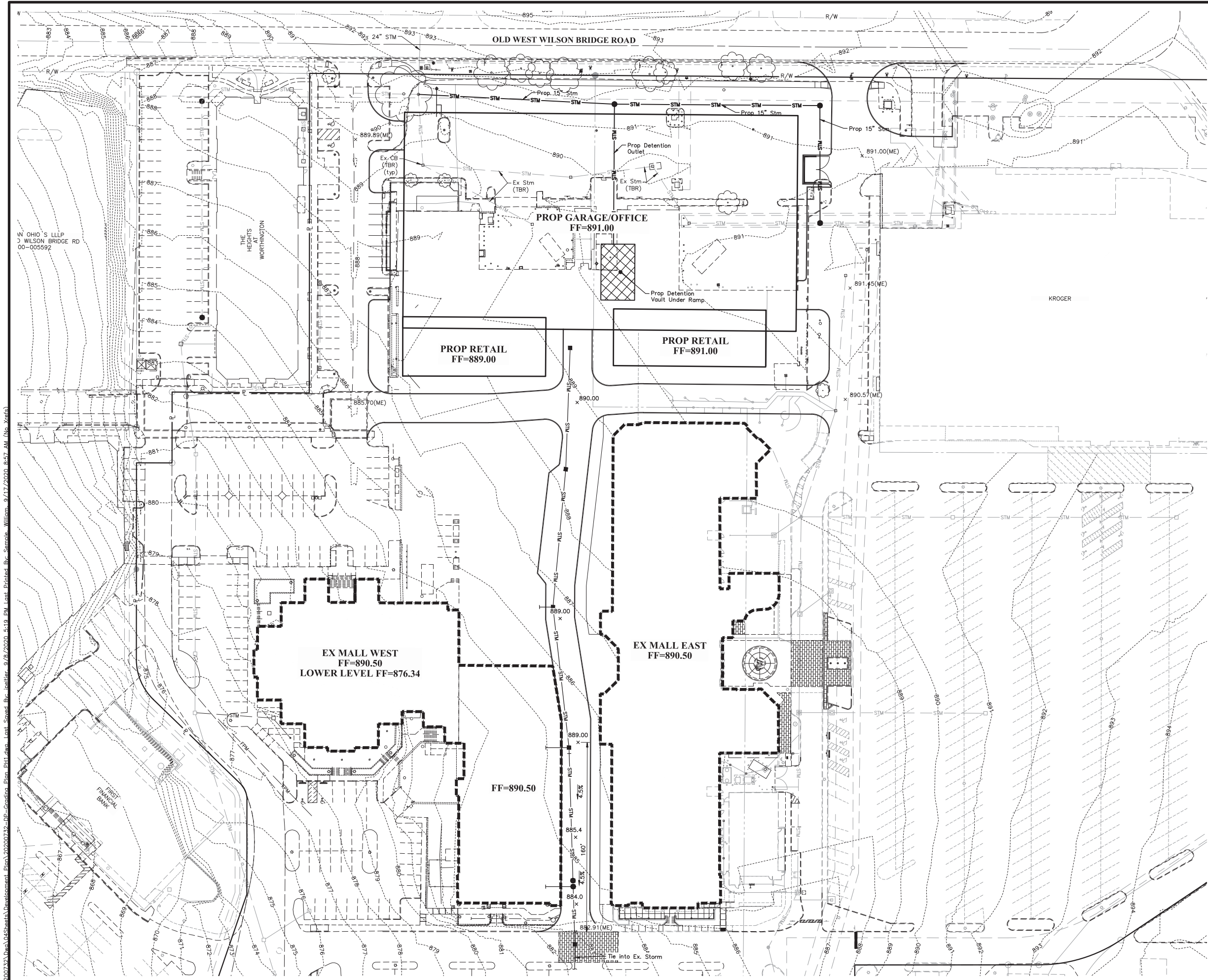




CITY OF WORTHINGTON  
 DRAWINGS NO. AR 66-2020  
 PUD 02-2020

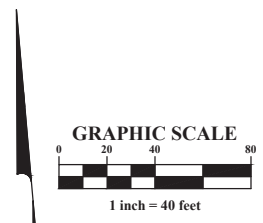
DATE 09-17-2020





W OHIO'S LLP  
3 WILSON BRIDGE RD  
00-005592

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- LEGEND**
- EXISTING**
- 1170 --- 1171 --- Contours
  - STM --- Storm Sewer
  - Manhole
  - Catch Basin
  - Curb Inlet
- PROPOSED**
- 1170 --- 1171 --- Contours
  - STM --- Storm Sewer
  - RD --- Roof Drain
  - Under Drain
  - Catch Basin
  - Manhole
  - Yard Drain
  - Cleanout
  - Curb & Gutter Inlet

CITY OF WORTHINGTON  
DRAWINGS NO. AR 66-2020  
PUD 02-2020  
DATE 09-17-2020

**PRELIMINARY**  
NOT TO BE USED FOR  
CONSTRUCTION  
PLAN SET DATE  
September 17, 2020

REVISIONS	
MARK	DATE DESCRIPTION

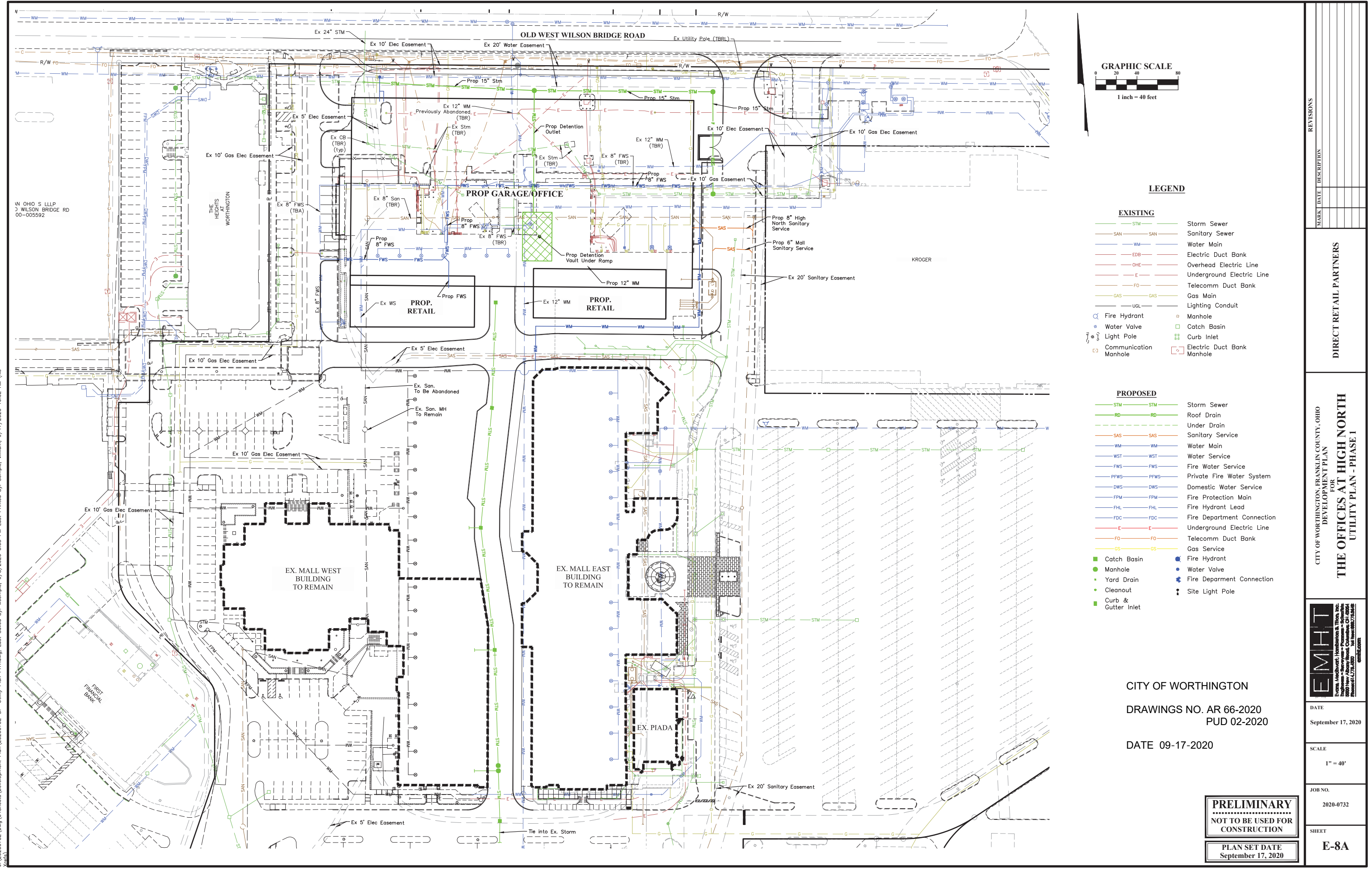
DIRECT RETAIL PARTNERS	CITY OF WORTHINGTON, FRANKLIN COUNTY, OHIO FOR <b>THE OFFICES AT HIGH NORTH</b> PHASE 1 & 2 GRADING PLAN - PHASE 1

<b>EMHT</b> Evanco Mechanical, Hardwood & Stone, Inc. 3900 New Albany Road Columbus, OH 43264 Phone: 614.778.0000 Fax: 614.778.0000 emht.com	DATE September 17, 2020
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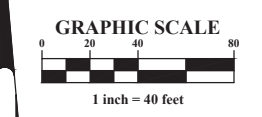
JOB NO. 2020-0732	SHEET <b>E-7A</b>







W OHIO S LLLP  
3 WILSON BRIDGE RD  
00-005592



LEGEND

- EXISTING**

  - STM Storm Sewer
  - SAN Sanitary Sewer
  - WM Water Main
  - EDB Electric Duct Bank
  - OHE Overhead Electric Line
  - E Underground Electric Line
  - FO Telecomm Duct Bank
  - GAS Gas Main
  - UGL Lighting Conduit
  - Fire Hydrant
  - Water Valve
  - Light Pole
  - Communication Manhole
- PROPOSED**

  - STM Storm Sewer
  - RD Roof Drain
  - UD Under Drain
  - SAS Sanitary Service
  - WM Water Main
  - WST Water Service
  - FWS Fire Water Service
  - PFWS Private Fire Water System
  - DWS Domestic Water Service
  - FPM Fire Protection Main
  - FHL Fire Hydrant Lead
  - FDC Fire Department Connection
  - E Underground Electric Line
  - FO Telecomm Duct Bank
  - GS Gas Service
  - Catch Basin
  - Manhole
  - Yard Drain
  - Cleanout
  - Curb & Gutter Inlet
  - Fire Hydrant
  - Water Valve
  - Fire Department Connection
  - Site Light Pole

CITY OF WORTHINGTON  
DRAWINGS NO. AR 66-2020  
PUD 02-2020  
DATE 09-17-2020

**PRELIMINARY**  
NOT TO BE USED FOR  
CONSTRUCTION  
PLAN SET DATE  
September 17, 2020

REVISIONS	
MARK	DATE DESCRIPTION

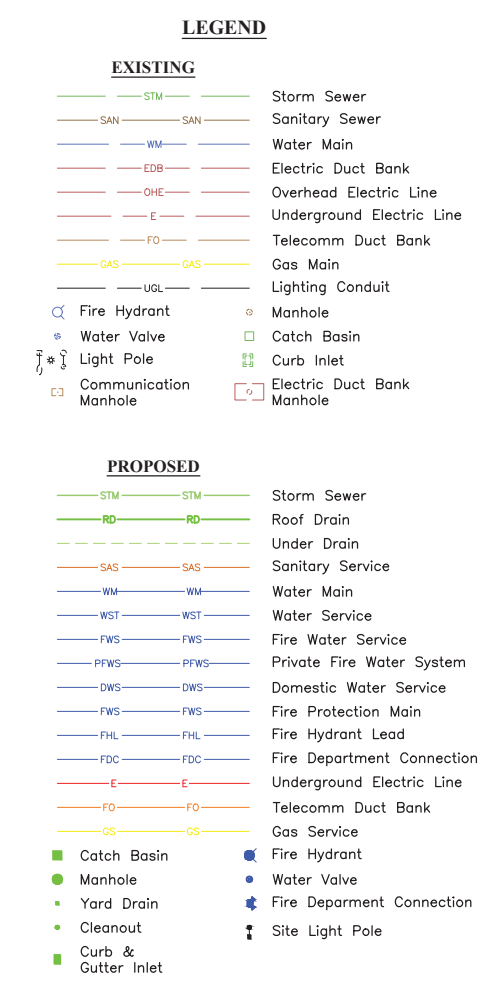
**DIRECT RETAIL PARTNERS**

CITY OF WORTHINGTON, FRANKLIN COUNTY, OHIO  
DEVELOPMENT PLAN  
FOR  
**THE OFFICES AT HIGH NORTH**  
UTILITY PLAN - PHASE 1

**EMHT**  
Evanco Mechanical & Thermal, Inc.  
3900 New Albany Road Columbus, OH 43264  
Phone: 614.778.1000 Fax: 614.778.1001  
emht.com

DATE	SCALE	JOB NO.	SHEET
September 17, 2020	1" = 40'	2020-0732	E-8A





**PRELIMINARY**  
.....  
**NOT TO BE USED FOR  
CONSTRUCTION**

**PLAN SET DATE**  
**September 17, 2020**

[illegible]



9/17/2020

High North: ULI Shared Parking Analysis

Phase 1							
			ULI Peak Ratio/ ksf GLA	ULI Required Spaces	ULI Reduction Factors		Adjusted Parking Requirement
	Quantity	Unit			Driving Adjustments*	Non-Captive Adjustments	
Existing Buildings to Remain							
Retail	52,026	SF	4	209	87%	90%	164
Restaurant	14,881	SF	17.75	265	87%	90%	208
Medical/Dental Office	10,052	SF	4.6	47	95%	99%	45
Grocery	57,644	SF	4.75	274	83%	98%	223
Proposed							
Retail	5,800	SF	4	24	87%	90%	19
Restaurant	5,800	SF	17.75	103	87%	90%	81
Office	128,510	SF	3.36	432	89%	100%	385
Total Required=				1,354	Total Adjusted Req'd=		1,125
					Parking Provided		
					Existing Parking=		790
					Existing Parking to be removed w/ Ph1=		123
					Existing Parking to Remain=		667
					Proposed Surface Parking=		10
					Proposed Parking in Garage=		643
					Phase 1 Total Parking Provided=		1,320
Phase 2							
			ULI Peak Ratio/ ksf GLA	ULI Required Spaces	ULI Reduction Factors		Adjusted Parking Requirement
	Quantity	Unit			Driving Adjustments*	Non-Captive Adjustments	
Existing Buildings to Remain							
Retail	29,118	SF	4	117	87%	90%	92
Restaurant	14,881	SF	17.75	265	87%	90%	208
Grocery	57,644	SF	4.75	274	83%	98%	223
Office	128,510	SF	3.21	413	88%	100%	364
Proposed							
Office	100,000	SF	3.21	321	88%	100%	283
Retail	7,750	SF	4	31	87%	90%	25
Resteraunt	7,750	SF	17.75	138	87%	90%	109
1 Bedroom Apartments**	70	Units	1.05/unit	74	100%	100%	74
2 Bedroom Apartments**	30	Units	1.8/unit	54	100%	100%	54
Total Required=				1,687	Total Adjusted Req'd=		1,432
					Parking Provided		
					Existing Parking=		1,320
					Existing Parking to be removed w/ Ph2=		177
					Existing Parking to Remain=		1,143
					Proposed Surface Parking=		12
					Proposed Parking in Garage=		482
					Phase 2 Total Parking Provided=		1,637

Driving Adjustment is used to adjust the base parking ratios for transportation characteristics. The base parking ratios reflect the density of persons present in the land use and assume that nearly all users arrive by private automobile with typical auto occupancy for the specific use.<sup>1</sup> The driving adjustment reflects a portion of the persons carpooling, walking, working from home, utilizing a taxi or ride share, motorcycle, or bicycle.

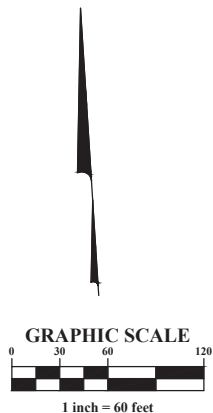
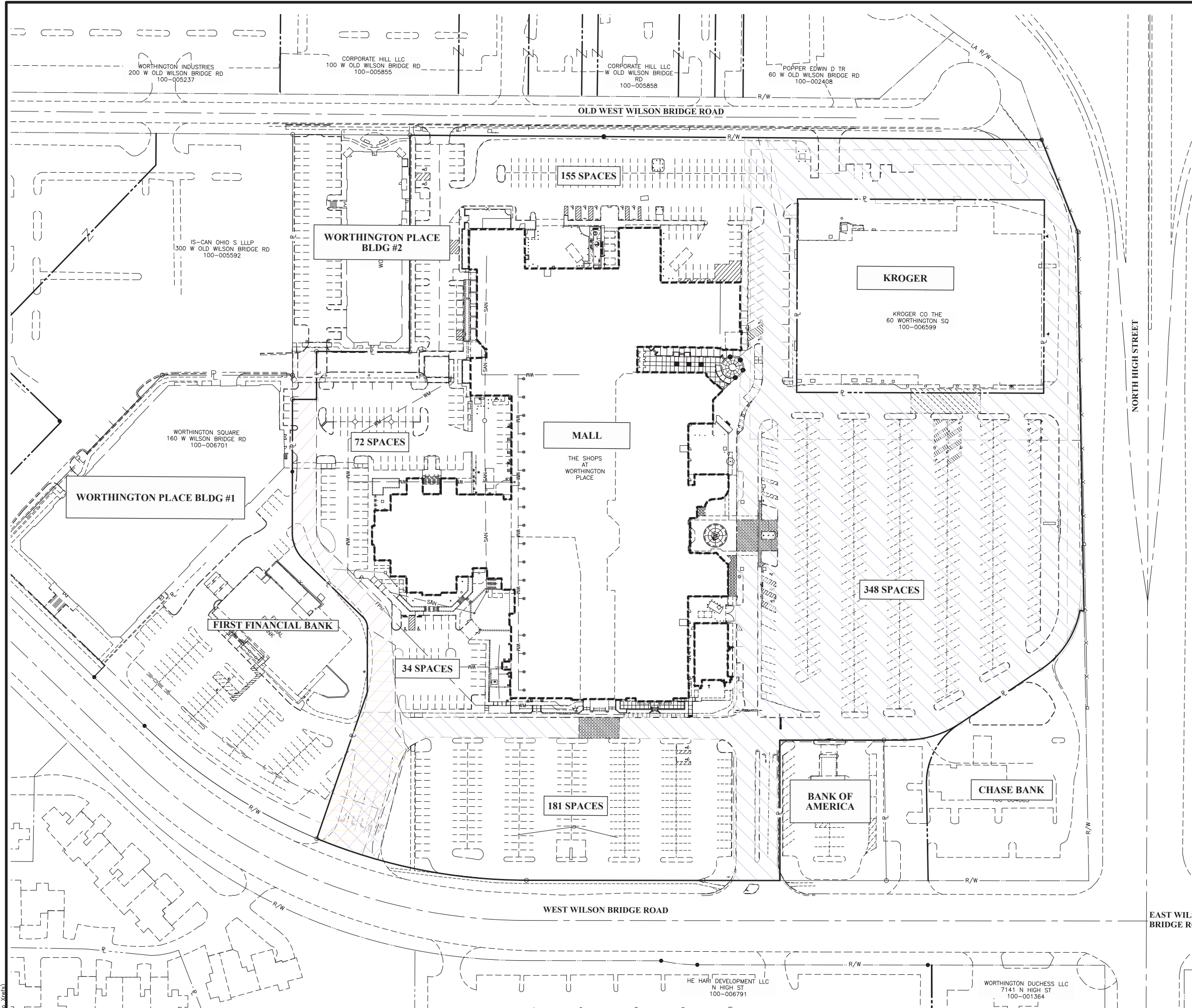
Non-Captive Ratio is an estimate of the percentage of parkers at a land use in a mixed-use development who are not already counted as parking at another of the land uses. For example, when employees of one land use visit a nearby food court or coffee store, additional parking demand is not usually generated.<sup>1</sup>

\* Driving Adjustments  
Office Driving Adjustment: Carpool (1%), Walked (3%), Worked at Home (6%), and Other (2%)  
Retail/Resteraunt Adjustment: Carpool (10%), Walked (1%), and Other (2%)  
Grocery Driving Adjustment: Carpool (15%) and Other (2%)  
Other: Taxi, ride sharing, motorcycle, and bicycle.

\*\*There is potential for the hotel to be developed as apartments. The apartements would require more parking over the hotel, and have been included in this analysis as a conservative assumption.  
Note: This parking analysis excludes the Heights at Worthington Apartments, First Financial Bank, Bank of America, or Chase Bank. It is assumed those sites are self-sufficient for parking.

1: Mary S. Smith, PE, Urban Land Institute Shared Parking: Third Edition. (2020)



[illegible]

## DIRECT RETAIL PARTNERS




CITY OF WORTHINGTON, FRANKLIN COUNTY, OHIO  
DEVELOPMENT PLAN

FOR

**THE OFFICES AT HIGH NORTH**

**EXISTING PARKING DEMAND**


**LEGEND**

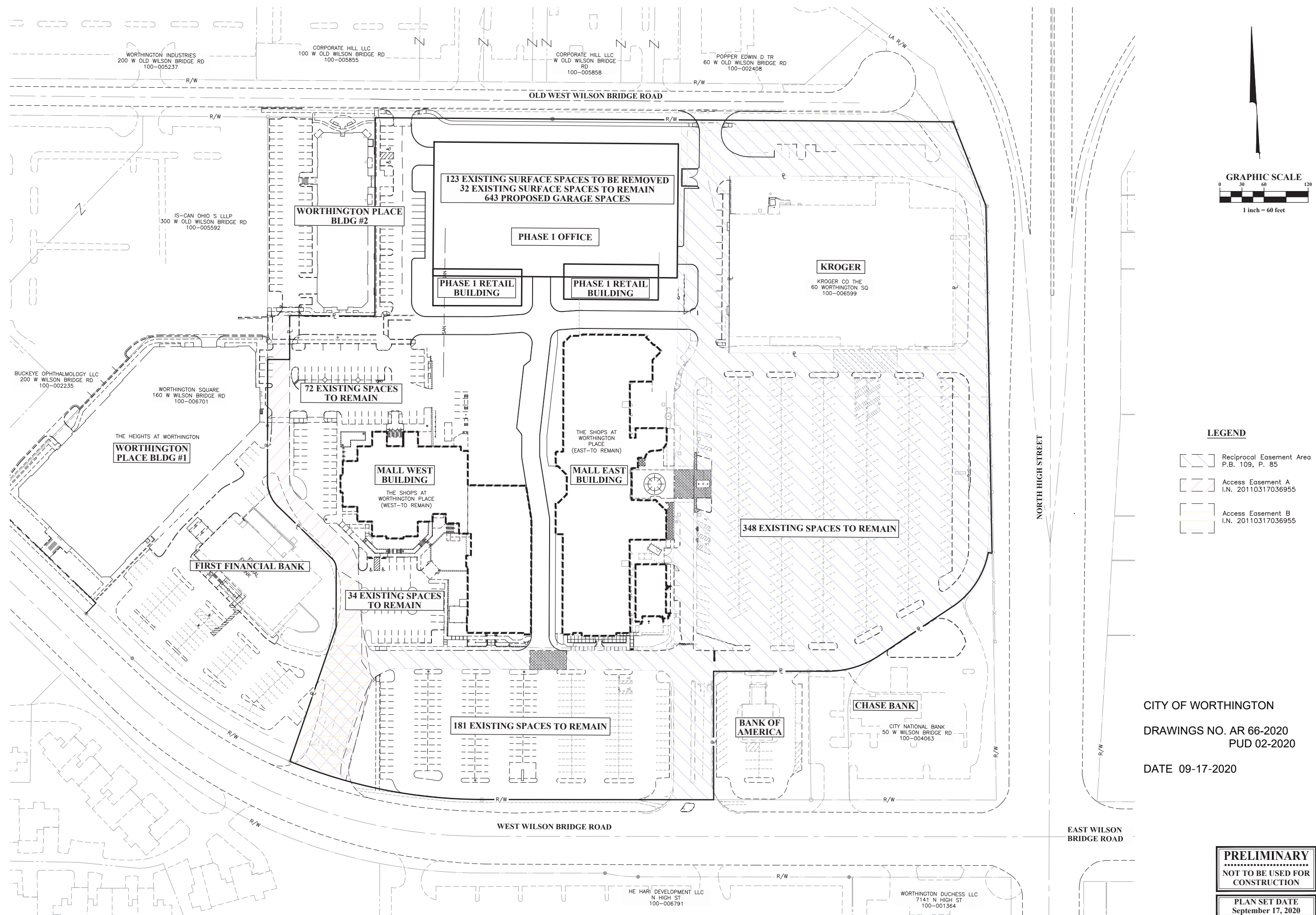
	Reciprocal Easement Area P.B. 109, P. 85
	Access Easement A I.N. 20110317036955
	Access Easement B I.N. 20110317036955


CITY OF WORTHINGTON  
DRAWINGS NO. AR 66-2020  
PUD 02-2020  
DATE 09-17-2020

**PRELIMINARY**  
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CONSTRUCTION**

**PLAN SET DATE**  
**September 17, 2020**

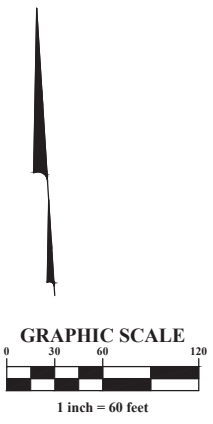
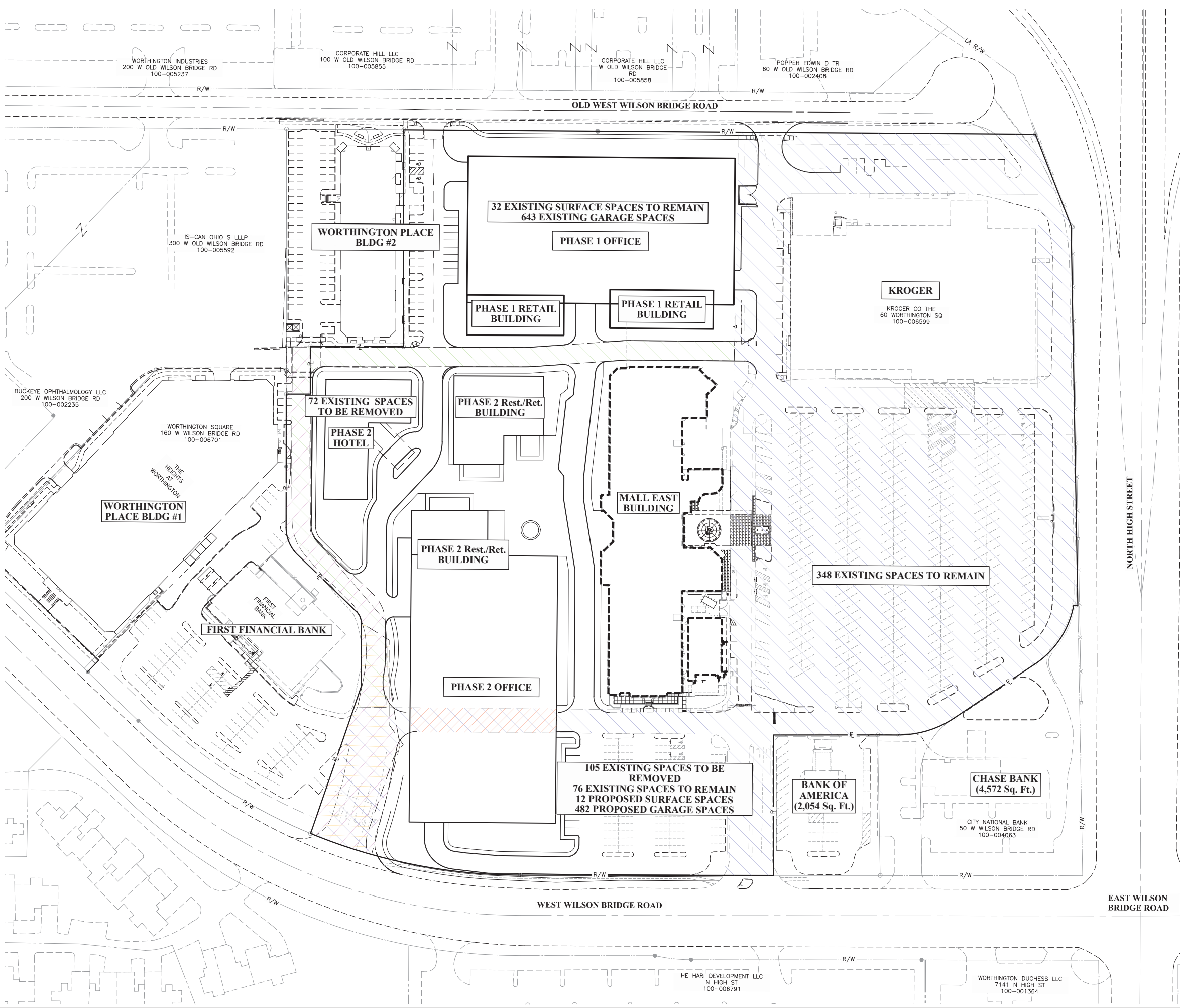
 <p>EMHT          Everett MacDermott, Hamilton &amp; Wilson, Inc.          10000 Highway 100, Suite 200          Everett, WA 98201          Phone: 425/477-8800 Fax: 425/477-8846          E-mail: emht@emht.com</p>	
DATE	September 17, 2020
SCALE	1" = 60'
JOB NO.	2020-0732
SHEET	E-10A



 <p><b>EMHIT</b></p> <p>EVANS ARCHITECTS • HAMILTON &amp; THOMAS, INC. ARCHITECTS • INTERIORS • LANDSCAPE ARCHITECTS 3500 New Albany Road, Columbus, OH 43260 Phone: 614.776.8800 Fax: 614.776.8846 <a href="http://www.emhit.com">www.emhit.com</a></p>		CITY OF WORTHINGTON, FRANKLIN COUNTY, OHIO DEVELOPMENT PLAN FOR <b>THE OFFICES AT HIGH NORTH</b> PHASE 1 PARKING DEMAND		<b>DIRECT RETAIL PARTNERS</b>	
DATE	September 17, 2020	MARK	DATE	DESCRIPTION	REVISIONS
SCALE	1" = 60'				
JOB NO.	2020-0732				
SHEET	E-10B				



\\202007232\Draw\04\Sheets\Exhibits\Phase 2 Parking Demand.dwg - Last Saved By: wventresca, 9/18/2020, 5:01 PM Last Printed By: Sample, William, 9/17/2020, 9:44 AM (No Xrefs)



- LEGEND**
- Reciprocal Easement Area  
P.B. 109, P. 85
  - Reciprocal Easement Area To Be Vacated
  - Prop Reciprocal Easement Area
  - Access Easement A  
I.N. 20110317036955
  - Access Easement B  
I.N. 20110317036955

CITY OF WORTHINGTON  
DRAWINGS NO. AR 66-2020  
PUD 02-2020  
DATE 09-17-2020

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PLAN SET DATE  
September 17, 2020

REVISIONS			DIRECT RETAIL PARTNERS	CITY OF WORTHINGTON, FRANKLIN COUNTY, OHIO DEVELOPMENT PLAN FOR THE OFFICES AT HIGH NORTH PHASE 2 PARKING DEMAND	 Exhibits: MacArthur, Henderson & Thies, Inc. 3900 New Albany Road, Columbus, OH 43264 Phone: 614.778.1000 Fax: 614.778.1001 emht.com
MARK	DATE	DESCRIPTION			
DATE			JOB NO.	SHEET	E-10C
September 17, 2020			2020-0732		



*The Shops at*  
**WORTHINGTON PLACE**



**RETAIL DESIGN STANDARDS**

Originated May 8, 2012  
Incorporated Into High North 2020  
Exhibit E-13

**TABLE OF CONTENTS**

EXTERIOR STOREFRONT DESIGN CRITERIA	PG. 3
EXTERIOR SIGNAGE DESIGN CRITERIA	PG. 4
FACADE SIGNAGE	PG. 5
FACADE MOUNTED BLADE SIGN	PG. 6
UNDER CANOPY BLADE SIGN	PG. 6
CANOPY TOP SIGNAGE	PG. 7
ROOF / PARAPET SIGNAGE	PG. 7
EXTERIOR AWNING DESIGN CRITERIA	PG. 8



# EXTERIOR STOREFRONT DESIGN CRITERIA

pg. 3

Tenants are required to provide a storefront system within the entire storefront opening, from neutral pier to neutral pier.

Tenants should provide all storefronts with 4" high minimum base finished in a durable material.

- Materials and elements should include
- painted or anodized aluminum
  - painted steel
  - chrome
  - fine woods
  - stone
  - brick
  - tile
  - fixed glass panels, which can be divided into smaller panels through the use of mullions.

- Materials that are NOT permitted include:
- Faux wood or plastic laminate
  - Plastics
  - EIFS or Plaster

Restaurant tenants are encouraged to provide sliding glass walls to open the interior to exterior patio areas.

Recessed entries are recommended so that the storefront doors do not swing into the pedestrian path.

*Tenant storefront expression that exceeds the storefront opening must go before the Worthington Architectural Review Board for approval.*



# EXTERIOR SIGNAGE DESIGN CRITERIA

pg. 4

The Landlord does not provide a signband, Tenants are not permitted to design stores which incorporate continuous signbands.

Signage shall be limited to trade name, logo, and decorative accents.

To maintain a high quality retail environment no formed plastic, injected molded plastic, or box-type back-lit panel signs are permitted (box signs incorporated into the design of the building which have illuminated push-through letters are permitted). Flashing signs will not be permitted in the project without specific approval from the Landlord.

Specific locations are provided with additional opportunities for signage. These include the signage at the edge of the Landlord's metal canopies, the suspension of blade signs from canopies, signage at roofs and /or parapets, signage at awnings, etc.

The size of building signs will be limited to a total of 40 square feet of signage for each 30 lineal feet of frontage. This does not limit the number of signs, only the total square footage based on size of frontage. Tenants will also be allowed signs on each buildign facade they front on.

In addition to the tenant's building signs, each tenant will be allowed a blade sign. Blade signs will be limited in size to 10 square feet for each 30 lineal feet of frontage.

The size of all signage will be taken by a rectangle around the graphics at each sign location.

Banner signs will also be allowed in certain instances, and will be reviewed and approved by the Landlord for location, size and design.

There may be Tenant designs where animated components or flashing lights may be integral to the character of the design, and in those instances the Tenant's proposals would be properly reviewed by and approved by the Landlord.

All signs, bolts, fastenings and clips shall be hot-dipped galvanized iron, stainless steel, aluminum, brass, or bronze. They should be concealed if possible. equipment, shall be permitted.

The lighting to Tenant's signage shall be controlled by a 24 hour time clock set in accordance to the Landlord's specified house.

No signmaker's labels or other identification shall be permitted on the exposed surface of signs, except those required by local ordinance. If required by local ordinance, such labels or other identification shall be in an inconspicuous location.

No exposed conduit, tubing or raceways, conductors, transformers or other equipment, shall be permitted.





# EXTERIOR SIGNAGE DESIGN CRITERIA

pg. 5



## FACADE SIGNAGE

Facade Signs are intended for immediate recognition of the Tenant's premises by the public. It is recommended that the signage be designed for day and night-time visibility. Signage must be illuminated during the hours the center is open, and controlled by a 24-hour time clock set in accordance with the Landlord's specified hours.

Signs are mounted on the facade of the store, above Tenant's awnings or Landlord's Canopy.

The Signage is limited to the trade name only.

The Tenant has maximum freedom in the design of the Facade Signage. Suggested types of facade lettering are:

- Individual letters, pin-mounted to the facade, halo (back lit) or edge lit.
- 2-dimensional, 3-dimensional or open channel type lettering, face lit.
- Lettering affixed to a panel which is erected at the facade within the allotted signage area.
- Signage illuminated externally with goose-neck or sign-lighting fixtures.

Numerous variations / combinations of the above are possible for the signage, and the Landlord welcomes the Tenant's design proposals.

FACE LIT LIGHT BOXES WILL NOT BE PERMITTED.

Tenants are encouraged to apply signs to the glass portion of the storefront, including gold or silver leaf silk-screened logo, cut or polished metal veneers applied to glass, etched glass, or vinyl film graphics applied to the interior surface of the glass.



# EXTERIOR SIGNAGE DESIGN CRITERIA

pg. 6

## FACADE MOUNTED BLADE SIGNAGE:

Facade-Mounted Blade Signs are intended to be fixed to the facade of the building at suitable locations.

Though they are referred to as "blade" signs, their projection may occur as spheres, boxes, cylinders or any other combination of 3-dimensions objects and shapes. See images.

The Tenant is required to erect on blade sign the facade of the premises. Tenants at corner locations are permitted to install a sign at each face of the building.

Bottom of Sign:  
Minimum 8 ft. above sidewalk.

Top of Sign:  
16 ft. above sidewalk, but may be more where appropriate.

Maximum Projection:  
4 ft. from the face of building.

Width:  
May vary; dependant on whether sign is intended as a 2-sided blade or a 3-dimensional projection.

Lighting:  
Sign may be lit from lighting outriggers or internally illuminated.

No projecting light-boxes will be allowed. Opaque background with illuminated punch-through letters / logo is permitted.



## UNDER CANOPY BLADE SIGNS:

In locations where the Landlord has provided metal sidewalk canopies, the Tenant is permitted to suspend blade signs.

The image on sign is limited to Tenant's trade name and logo only.

The minimum dimension from the sidewalk to the underside of the sign is 8'-0". The sign shall be centered on the centerline of the canopy. The edge of the sign may not project beyond the outer edge of the Landlord's canopy overhead.

Signs may be internally or externally illuminated.





# EXTERIOR SIGNAGE DESIGN CRITERIA

pg. 7

## CANOPY TOP SIGNAGE:

This Signage type consists of illuminated identity graphics which will sit atop, or affixed to the edge of the Landlord-provided canopy which exists at specific locations in this project.

These generally occur with 'corner-store' Tenants.

The Tenant must provide the signage.

the finish and color of the lettering is ultimately subject to the Landlord's approval to ensure only the highest quality for the project.



## ROOF / PARAPET SIGNAGE:

Roof / Parapet Signs occur at specific Tenant locations, generally where the Tenant occupies a corner location in the building, thereby facing two streets.

Signs may display the Tenant's trade name and logo. 3-dimensional character for the signage is strongly recommended. Signs may be internally or externally lit. Flashing and /or neon lighting is permissible, but all signs are subject to the Landlord's approval.

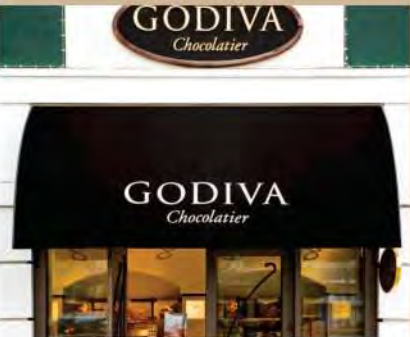
For built-up roofing, signs may rest on the top of the provided parapet walls or may be set back or set on the diagonal to provide exposure to both streets.

The Tenant is responsible for the structural integrity of the sign.



# EXTERIOR AWNING DESIGN CRITERIA

pg. 8



All Tenants are required to provide Awnings at their Storefronts, except where the Landlord's metal canopies are already provided, where the LL specifically does not want awnings for design reasons, or where a storefront faces onto a roofed public passage.

Awnings are required for the full length of the storefronts openings below.

Awnings are to be Glen Raven Firesist fabric. Only the following colors are approved for use at Worthington Place:

- Black #82008-0000
- Admiral Navy #82010-0000
- Crimson Red #82017-0000
- Ivory #82015-0000
- Sand #82006-0000
- Toasty Beige #82012-0000
- Burgundy #82016-0000
- Forest Green Tweed #82002-0000
- Regatta Tweed #82005-0000
- Terra Cotta #82014-0000

Retractable awnings are not permitted.

Generally, shape, color and pattern of the awnings is at the discretion of the Tenant, and are an integral part to their brand identity, but are subject to approval by the Landlord and the City of Worthington.

Signage on awnings is limited to the Tenants' logo.

Awnings may not be supported from the sidewalk. The Tenant is responsible for structural stability of the awnings, and must ensure that storefronts, transoms and other required fixings are adequate.

The structure for awnings should be attractive as well as functional, and it must have a suitable powder coated or chrome finish (unfinished galvanized pipe is unacceptable). Awnings shall have open ends to showcase the framing as a designed element.







*The Shops at*  
**WORTHINGTON PLACE**



## RETAIL DESIGN STANDARDS

Originated May 8, 2012  
Incorporated Into High North 2020  
Exhibit E-13



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# EXTERIOR STOREFRONT DESIGN CRITERIA

pg. 3

Tenants are required to provide a storefront system within the entire storefront opening, from neutral pier to neutral pier.

Tenants should provide all storefronts with 4" high minimum base finished in a durable material.

Materials and elements should include

- painted or anodized aluminum
- painted steel
- chrome
- fine woods
- stone
- brick
- tile
- fixed glass panels, which can be divided into smaller panels through the use of mullions.

Materials that are NOT permitted include:

- Faux wood or plastic laminate
- Plastics
- EIFS or Plaster

Restaurant tenants are encouraged to provide sliding glass walls to open the interior to exterior patio areas.

Recessed entries are recommended so that the storefront doors do not swing into the pedestrian path.

***Tenant storefront expression that exceeds the storefront opening must go before the Worthington Architectural Review Board for approval.***





# EXTERIOR SIGNAGE DESIGN CRITERIA

pg. 4

The Landlord does not provide a signband, Tenants are not permitted to design stores which incorporate continuous signbands.

Signage shall be limited to trade name, logo, and decorative accents.

To maintain a high quality retail environment no formed plastic, injected molded plastic, or box-type back-lit panel signs are permitted (box signs incorporated into the design of the building which have illuminated push-through letters are permitted). Flashing signs will not be permitted in the project without specific approval from the Landlord.

Specific locations are provided with additional opportunities for signage. These include the signage at the edge of the Landlord's metal canopies, the suspension of blade signs from canopies, signage at roofs and /or parapets, signage at awnings, etc.

The size of building signs will be limited to a total of 40 square feet of signage for each 30 lineal feet of frontage. This does not limit the number of signs, only the total square footage based on size of frontage. Tenants will also be allowed signs on each buildign facade they front on.

In addition to the tenant's building signs, each tenant will be allowed a blade sign. Blade signs will be limited in size to 10 square feet for each 30 lineal feet of frontage.

The size of all signage will be taken by a rectangle around the graphics at each sign location.

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## EXTERIOR AWNING DESIGN CRITERIA



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