



**ARCHITECTURAL REVIEW BOARD  
MUNICIPAL PLANNING COMMISSION  
-AGENDA-  
Thursday, November 12, 2020 at 7:00 P.M.**

**This will be a virtual meeting that will be streamed on the internet:  
[worthington.org/live](http://worthington.org/live)**

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**A. Call to Order - 7:00 pm**

1. Roll Call
2. Pledge of Allegiance
3. Approval of minutes of the October 22, 2020 meeting

**B. Architectural Review Board - Unfinished**

1. Signage – **6733 N. High St.** (Samantha Elliot/Goddard School) **AR 72-2020**
2. Redevelopment – **7227 N. High St.** (DRP Worthington LP) **AR 66-2020**  
**To Remain Tabled**

**C. Municipal Planning Commission - Unfinished**

1. **Planned Unit Development**
  - a. Redevelopment – **7227 N. High St.** (DRP Worthington LP) **PUD 02-2020**  
**To Remain Tabled**

**D. Architectural Review Board - New**

1. Fence – **227 W. Dublin-Granville Rd.** (James Scarfpin) **AR 78-2020**
2. New House – **591 Hartford St.** (Gino Fantozzi Builders, LLC/Simon) **AR 79-2020**
3. Sign – **6116 Huntley Rd.** (Emelia Saka/Elnas African Delights) **AR 81-2020**

4. Porch Roofs – **810 Oxford St.** (Louis C. Flocken) **AR 82-2020**

5. Redevelopment – **649 High St.** (649 High LLC/Worthington Inn) **AR 80-2020**

**E. Municipal Planning Commission - New**

**1. Conditional Use Permit**

a. Residential & Restaurant in C-5 – **649 High St.** (649 High LLC/Worthington Inn)  
**CU 09-2020**

b. Recreational Facility in I-1 – **406 E. Wilson Bridge Rd.** (Burn Bootcamp –  
Worthington) **CU 08-2020**

**F. Other**

**G. Adjournment**



## MEMORANDUM

TO: Members of the Architectural Review Board  
Members of the Municipal Planning Commission

FROM: R. Lee Brown, Director  
Lynda Bitar, Planning Coordinator

DATE: November 6, 2020

SUBJECT: Staff Memo for the Meeting of November 12, 2020

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### **B. Architectural Review Board - Unfinished**

1. Signage – **6733 N. High St.** (Samantha Elliot/Goddard School) **AR 72-2020**

#### **Findings of Fact & Conclusions**

##### **Background & Request:**

The Architectural Review Board, Municipal Planning Commission and ultimately City Council approved the construction of a new 8,565 sq. ft. Goddard School on a newly created 1.013-acre parcel that was originally part of the 4-acre lot owned and operated by Schoedinger Funeral and Cremation Services and the Commission approved a Conditional Use Permit to operate a preschool in the C-3 Zoning District. The building is currently being constructed.

**A request was heard at the last meeting that did not meet Code requirements. This is an amended application.**

##### **Project Details:**

1. Signage is proposed on the gable above the front door of the new building. **The previous submittal showed the logo being at the top and lettering near the bottom, which would have resulted in more signage than allowed by the Code. The current proposal has a smaller logo to the left of the lettering. The 1'9" high x 19'10" wide (~35 square feet) sign would consist of individually mounted blue HDU letters and a blue and white round logo with a horse head design. The address is proposed in 9" numbers on the fascia of the front gable.**
2. The proposed freestanding sign would consist of a double faced HDU 8" deep cabinet painted white with blue lettering and a logo etched into the background. The bottom ~8" would be a blue band with **the address in white vinyl. The size of the sign has been**

**reduced to 27 square feet per side and a cap is now shown at the top. An 8' wide x 2' high base would be finished with brick to match the building. Location is appropriate.**

**Land Use Plans:**

Worthington Design Guidelines and Architectural District Ordinance

The Worthington Design Guidelines and Architectural District Ordinance recommend signs be efficient and compatible with the age and architecture of the building. Colors for signs should be chosen for compatibility with the age, architecture and colors of the buildings they serve, whether placed on the ground or mounted on the building. Signs must be distinctive enough to be readily visible but avoid incompatible modern colors such as “fluorescent orange” and similar colors. Exposed raceways or wiring are not desirable. The Architectural District Ordinance calls for design and materials to be compatible.

Worthington Sign Code – Chapter 1170

**1170.04 MEASUREMENT.**

- (a) Sign area is calculated by totaling all display areas of a sign, including sign faces, molding and framing, but excluding supporting members less than or equal to twenty-four inches in width.
- (b) Planters or other decorative supporting structures shall be excluded in the computation of sign area unless the structure exceeds two feet in height or eight feet in length, in which case the entire structure shall be included in the computation of sign area.
- (c) The area for wall-mounted signs which consist of individually mounted letters, numbers or other symbols on a fascia or wall shall be the area of a rectangle circumscribed around the letters, numbers or other symbols.

**1170.05 COMMERCIAL AND INDUSTRIAL DISTRICT REQUIREMENTS.**

- (a) Sign area. Allowable permanent sign area for any single business shall be limited according to the widths of the building or part of the building occupied by such enterprise. For the purposes of this section, width shall be measured along the building face nearest parallel to the street line. In the case of a corner lot, either frontage may be used in determining maximum area for signage. The area of all permanent signs for any single business shall be equivalent to one and one-half square feet of sign area for each lineal foot of width of the building or part of the building, but shall not exceed a maximum area of 100 square feet per business.
- (b) Wall-mounted signage. Each business shall be permitted one wall-mounted sign.
- (c) Freestanding Signage. There shall be no more than one freestanding sign per parcel. No part of any freestanding sign shall exceed an above-grade height of fifteen feet. Freestanding signs shall not be larger than sixty percent (60%) of the total sign area allowed for under Section [1170.05](#) (a). Freestanding signs shall be located not closer than ten feet to a public right of way or thirty-five feet to an adjoining property line.

**Recommendation:**

Staff is recommending approval of the proposed signs as the amended versions are appropriate.

**ARB Motion:**

**THAT THE REQUEST BY SAMANTHA ELLIOT FOR A CERTIFICATE OF APPROPRIATENESS TO ADD SIGNAGE FOR THE GODDARD SCHOOL AT 6733 N. HIGH ST., AS PER CASE NO. AR 72-2020, DRAWINGS NO. AR 72-2020, DATED**



**OCTOBER 30, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

2. Redevelopment – **7227 N. High St.** (DRP Worthington LP) **AR 66-2020**

**To Remain Tabled**

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**C. Municipal Planning Commission - Unfinished**

**1. Planned Unit Development**

a. Redevelopment – **7227 N. High St.** (DRP Worthington LP) **PUD 02-2020**

**To Remain Tabled**

**D. Architectural Review Board - New**

1. Fence – **227 W. Dublin-Granville Rd.** (James Scarfpin) **AR 78-2020**

**Findings of Fact & Conclusions**

**Background & Request:**

This ¼ acre Kilbourne Village lot is 80' wide x ~136' deep along the W. Dublin-Granville Rd. access drive across from Thomas Worthington High School. The house is one and one-half stories and was constructed in 1958. There is existing split rail fencing along the east property line that the owner would like to replace.

**Project Details:**

1. The property owners are proposing a 6' high solid Cedar fence along the east side, lining up with the front of the house and heading south for 87'.
2. Approval is also sought to construct the fence with the supporting members facing the property to the east. A variance would be required to construct the finished side of the fence facing toward the applicant's property.
3. The reason for the requested fence is stated as an attempt to deal with overgrown vegetation on the property to the east.

**Land Use Plans:**

**Worthington Design Guidelines and Architectural District Ordinance**

Fences have long been used to mark property boundaries, to restrict access to properties by people and animals and for decorative purposes. They serve these traditional purposes in Worthington and can add to the character of a neighborhood when they are well executed and properly cared for. Fencing should be open in style; constructed with traditional materials; 3' to 4' in height; in the back yard; and of simple design, appropriate for the house style.

Consider using natural plant materials instead of fences. Various bushes and shrubs can be used to mark property lines or to set off private areas such as rear patios. Some of these may be evergreens; some may lose their leaves in the fall. Get good advice from a nursery or professional arborist about plant size, shape, rate of growth and care before choosing a natural fencing material. Whether natural or man-made, all fencing materials require maintenance. Do not let plants get overgrown or full of litter; keep wood fences painted or coated with opaque stain; keep metal fences from rusting; and watch for mortar loss and other deterioration in masonry walls.

**Recommendation:**

Staff is recommending denial of this application as presented, as the proposed fence does not meet the recommendations found in the Design Guidelines. Any fence should be no higher than 4' and open in style. It is not clear if an attempt has been made to work with the neighbor to take care of the overgrown vegetation.

**Motion:**

**THAT THE REQUEST BY JAMES SCARFPIN FOR A CERTIFICATE OF APPROPRIATENESS TO REPLACE A FENCE AT 227 W. DUBLIN-GRANVILLE RD. AS PER CASE NO. AR 78-2020, DRAWINGS NO. AR 78-2020, DATED OCTOBER 29, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

2. New House – **591 Hartford St.** (Gino Fantozzi Builders, LLC/Simon) **AR 79-2020**

**Findings of fact & Conclusions**

**Background & Request:**

This parcel was established in 1924, being part of lot 139 of the original plat of Worthington, and is adjacent to the parking and drive from Hartford St. to the Worthington United Methodist Church. The lot is 55.28' wide x 138.5' deep (7656 square feet in area) and is considered an existing lot of record which can accommodate a single-family dwelling per the Code. The applicant is proposing construction of a new house.

**Project Details:**

1. Site Plan:

- The proposed house would be constructed 30' from the front and rear property lines; 6' from the south property line; and 14' 3 3/8" from the north property line. The driveway is proposed on the north side of the house and would extend beyond the end of the rear attached garage to provide a turn around area. The driveway material has not been identified.
- A landscaping plan has not been included with the application but would be needed.
- The location and screening for a condensing unit is also needed.

2. Building:

- The applicant refers to the house as a 1 ½ story Colonial style which is about 35' wide x 78' 6" deep.

- The main gable of the house is proposed to be north/south, with a cross gable extending to the rear; a large gable dormer to the front; a gabled roof over the front entrance; and two small dormer windows above the front porch. Gable trim and return details are needed.
- The first floor would house a master suite; great room, kitchen and dining area; a lanai; laundry facilities; and a 2 car attached garage at the rear that loads on the north side.
- Two additional bedrooms, a shared bath, and mechanical/storage space would make up the second floor.
- Proposed materials:
  - Everlast composite lap siding either in Polar White or Slate (width not identified)
  - Asphalt shingle roof (color not identified)
  - 6 over 6 double-hung windows and 6 light windows (fixed, awning, casement?) – material and manufacturer have not been provided
  - House door with 2/3 lights and panel below (material not known)
  - Garage door – Specifications needed
  - Unidentified masonry for the fireplace.

### **Land Use Plans:**

#### Worthington Design Guidelines and Architectural District Ordinance

Infill sites should be developed in a way that is complementary to their neighborhoods and that integrates well with surrounding building designs and land uses. Compatibility with the neighborhood should be the primary consideration. New structures should complement the form, massing and scale of existing nearby structures. Also, building placement and orientation are important design considerations. Most main entrances should face the street and garages should avoid facing the street.

Roof: Roof shapes for new buildings should be appropriate to the style or design of the building. If a new building does not follow a particular style but is instead a vernacular design, then roof shapes and heights similar to those in the neighborhood or nearby would be most appropriate.

Materials: Contemporary materials that simulate traditional ones are appropriate, but the preferred option is to use true traditional materials such as wood siding. Incompatible contemporary materials should be avoided. Brick has long been a traditional material in Worthington. Prepare a sample board for review by the Architectural Review Board.

Windows: For new buildings, multiple-paned windows generally are not appropriate. The exception is a building being built in a particular style -- such as Federal, Greek Revival or Colonial Revival -- that would have employed this window type. When in doubt, simple 1 over 1 double-hung sash windows are usually the simplest, least expensive and most appropriate choice. Using the excellent precedents of Worthington's many historic structures, carefully design the pattern of window openings; window sizes and proportions (they must be appropriate for the size and proportions of the wall in which they are placed); pattern of window panes and muntins; and trim around the windows. Good quality wood windows are readily available and more affordable than in the past. True wood windows are always the first preference. Aluminum- or vinyl-clad windows can be appropriate, but primarily on secondary facades and less conspicuous

locations. All-aluminum or vinyl windows are not prohibited but are not encouraged. Avoid blank walls.

**Entries:** As with other design considerations, study Worthington's rich collection of 19th and 20th century architecture for design ideas for entrances and doors. For newly-built buildings, simpler designs usually look better than more ornate ones. Avoid heavy ornamentation on doors and entrances. Observe entry placement on existing buildings. Whether located symmetrically or asymmetrically, entries usually are aligned with a window on the second floor so that a regular rhythm of openings is maintained on both floors. Entries should be located so they are easily visible, and they should be oriented toward the street.

**Ornamentation:** Observe Worthington's excellent historic architecture for information on the kinds and amounts of ornamentation employed on various building styles and periods. Use ornamentation conservatively. It will be most successful if used in traditional locations: around windows and doors; along a building's cornice or at the corners; in gables; or on gates and fences. Most ornamentation historically was made of simple forms built up to a desired level of complexity. When in doubt, follow the old rule that "less is more." Sometimes just a little ornamentation, well placed, can have a major impact without the need for more extensive (and expensive, and hard-to-maintain) ornamentation. Use compatible materials in ornamental elements. Frame houses should have wood ornamentation, although in cases where the ornamental elements are some distance from the viewer it may be possible to use substitute materials such as fiberglass.

**Color:** In general, avoid bright colors not typical in Worthington neighborhoods, such as various shades of purple or orange. For infill buildings being placed in an existing streetscape, select colors compatible with those already used along the streetscape. Many buildings follow a pattern of light colors for the building body and darker colors for the trim. Following this pattern is encouraged. In Worthington, the use of white or cream-colored trim also is common and would be appropriate for new construction. Avoid using too many colors. Usually one body color and one trim color are sufficient.

**Landscaping:** Worthington's mature shade trees are the primary landscaping feature throughout the community. They are a major contributor to its character and help define its neighborhoods as stable, desirable places to live. In general, lawns are generous but not overly large, which contributes to the sense of human scale that is one of Worthington's important attributes. Other landscaping elements tend to be properly scaled and well-tended, which also tends to enhance neighborhood character. Maintain and nurture mature trees to prolong their lives. Plant and maintain street trees in planting areas between the street and sidewalk. Paving can sometimes reduce water absorption of the soil so much that trees do not get the moisture they require.

The standards of review in the Architectural District ordinance are:

1. Height;
2. Building massing, which shall include the relationship of the building width to its height and depth, and its relationship to the viewer's and pedestrian's visual perspective;
3. Window treatment, which shall include the size, shape and materials of the individual window units and the overall harmonious relationship of window openings;

4. Exterior detail and relationships, which shall include all projecting and receding elements of the exterior, including but not limited to, porches and overhangs and the horizontal or vertical expression which is conveyed by these elements;
5. Roof shape, which shall include type, form and materials;
6. Materials, texture and color, which shall include a consideration of material compatibility among various elements of the structure;
7. Compatibility of design and materials, which shall include the appropriateness of the use of exterior design details;
8. Landscape design and plant materials, which shall include, in addition to requirements of this Zoning Code, lighting and the use of landscape details to highlight architectural features or screen or soften undesirable views;
9. Pedestrian environment, which shall include the provision of features which enhance pedestrian movement and environment and which relate to the pedestrian's visual perspective;
10. Signage, which shall include, in addition to requirements of Chapter 1170, the appropriateness of signage to the building;
11. Sustainable Features, which shall include environmentally friendly details and conservation practices.

**Recommendation:**

The size, massing and style of the proposed house seem appropriate for this location. Additional information as mentioned in the project details above is needed before project approval should be granted.

**Motion:**

**THAT THE REQUEST BY GINO FANTOZZI BUILDERS, LLC ON BEHALF OF JAMES & NANCY SIMON FOR A CERTIFICATE OF APPROPRIATENESS CONSTRUCT A NEW HOUSE AT 591 HARTFORD ST. AS PER CASE NO. AR 79-2020, DRAWINGS NO. AR 79-2020, DATED OCTOBER 30, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

3. Sign – **6116 Huntley Rd.** (Emelia Saka/Elnas African Delights) **AR 81-2020**

**Findings of Fact & Conclusions**

**Background & Request:**

This commercial building was constructed in 1965 and is mainly in the City of Columbus. The northwestern suite is in Worthington and part of the Architectural Review District due to the property's adjacency to E. Granville Rd. Former home of the Monkey Bar, a new restaurant called Elnas African Delights is proposed in this space and would like to install a sign.

**Project Details:**

1. The proposed wall sign is a 23' wide x 3' high aluminum panel with red, green and yellow vinyl graphics that would be mounted on the sign band above the storefront for the restaurant.
2. The sign would have a white background with 12.5" block letters in red reading "ELNAS AFRICAN DELIGHTS"; green "Restaurant and Catering Services" 10" letters below; and read 5" phone numbers at the bottom corners of the sign.
3. The other businesses in the shopping center have backgrounds to match the building's burnt orange color, and white lettering.

**Land Use Plans:****Worthington Design Guidelines and Architectural District Ordinance**

The Worthington Design Guidelines and Architectural District Ordinance recommend signs be efficient and compatible with the age and architecture of the building. Colors for signs should be chosen for compatibility with the age, architecture and colors of the buildings they serve, whether placed on the ground or mounted on the building. Signs must be distinctive enough to be readily visible but avoid incompatible modern colors such as "fluorescent orange" and similar colors. Exposed raceways or wiring are not desirable. The Architectural District Ordinance calls for design and materials to be compatible.

**Recommendation:**

Staff is recommending denial of this application as the sign should match the colors and style of the others in the building.

**Motion:**

**THAT THE REQUEST BY EMELIA SAKE FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL A NEW SIGN AT 6116 HUNTLEY RD., AS PER CASE NO. AR 81-2020, DRAWINGS NO. AR 81-2020, DATED NOVEMBER 2, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

4. Porch Roofs – **810 Oxford St. (Louis C. Flocken) AR 82-2020**

**Findings of Fact & Conclusions****Background & Request:**

This well-maintained vernacular style house was constructed in 1939 and is a contributing building in the Worthington Historic District. The owner would like to construct porch roofs over the front and side entrances.

**Project Details:**

1. The front gabled roof is proposed to extend over the stoop and steps and be supported by wood columns. The roof would be an extension from the gable when viewing from the side of the house. New metal railings are proposed.
2. On the side, the proposed gable would take the place of an existing awning.

3. Both are shown with wood fascia and columns to match the existing house trim. Siding and roofing would also match the existing.

**Land Use Plans:****Worthington Design Guidelines and Architectural District Ordinance**

From about 1915 on, porches generally were simplified and more integrated into the design of the house. Simple square or tapered columns were common. New porches (located where one is missing or there has not been a porch in the past) should be built in a simple design. Look at original porches on similar buildings -- height, materials, roof slope, and width -- and use these to develop a design. Avoid ornamentation such as spindles and scrollwork unless they were traditionally used on the porches of similar buildings. Design and materials should be traditional, and compatible with the existing structure.

**Recommendations:**

Staff is recommending approval of this application, as the proposed porch roofs are appropriate for the house.

**Motion:**

**THAT THE REQUEST BY LOUIS C. FLOCKEN FOR A CERTIFICATE OF APPROPRIATENESS TO ADD PORCH ROOFS AT 810 OXFORD ST. AS PER CASE NO. AR 82-2020, DRAWINGS NO. AR 82-2020, DATED NOVEMBER 3, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

5. Redevelopment – **649 High St.** (649 High LLC/Worthington Inn) **AR 80-2020**

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**E. Municipal Planning Commission - New****1. Conditional Use Permit**

- a. Residential & Restaurant in C-5 – **649 High St.** (649 High LLC/Worthington Inn) **CU 09-2020**

**Findings of fact & Conclusions****Background & Request:**

The Worthington Inn was first used as a commercial building in the mid 1800's, after being constructed as a residence in 1834. In the 1980's, the original building was restored and an addition was constructed to house guests. In 2005, approval was given to convert the inn rooms to residential condominiums. At the time, balconies and carports were added at the rear of the site to make those units more marketable. Garage doors were approved in 2015 to enclose four of the carport parking spaces. Exterior building lighting was added in 2017. The Worthington Inn is a contributing building in the Worthington Historic District.

The Worthington Inn closed operations in January 2019. The applicant would now like to convert a portion of the building to five residential units that are a mix of one and two bedrooms that range in size from 1,131 sq. ft to 1,595 sq. ft. in size. As part of the conversion the applicant will be undergoing several renovations to the interior and several improvements to the exterior of the building. The five residential units will comprise approximately 6,000 sq. ft. of the 15,000 sq. ft. remaining in the building. The area being converted to residential is the former banquet space on the second and third floor, while also including approximately 1,000 sq. ft. of the first floor of the former restaurant. The remaining square footage would continue to be utilized for a future restaurant use.

These applications request exterior modifications and a Conditional Use Permit for five residential units in the C-5 District.

**Project Details:**

1. Creating five residential units on the first, second and third floor of the building.
  - a. First Floor – One unit – One bedroom
  - b. Second Floor – Two units – one and two bedrooms
  - c. Third Floor – Two units – one and two bedrooms
2. Exterior changes:
  - a. Windows –
    - i. Replacing all the windows in the building on the portion of the building that is currently painted. These are not the original windows and are replacement windows by Pella.
    - ii. The windows are to be 8 over 8 to match the existing windows that are currently 8 over 8.
    - iii. The casement windows on the third-floor on the southern elevation will be replaced with casement windows that will be Pella or Marvin windows.
    - iv. The lower level windows along the W. New England Ave. elevation are proposed to be replaced with Pella or Marvin windows and will match the existing windows.
    - v. The windows in the condominium portion of the building will remain the same.
    - vi. Proposing Pella Reserve or Marvin aluminum glad wood windows with exterior muntins for the windows that currently have muntins.
    - vii. Color – Similar to what is currently on the building.
      1. Pella – Poplar White
      2. Marvin – Sierra White
    - viii. One small additional window will be added on the northern elevation on the second floor that will match with an existing smaller window on the northern elevation near the stair tower.
    - ix. The windows on the third-floor addition are proposed to be 1 over 1.
      1. The Board should discuss these new windows matching the existing 8 over 8 windows on this portion of the building.
  - b. Doors –
    - i. New entrance door to the ground floor unit on the north side of the building



near the existing stair tower.

1. Proposing Pella or Marvin solid 6-panel solid wood door or aluminum clad wood door. Optional ½ light glass on the top half.
2. Painted green to match the existing doors facing High St.
- ii. New sliding patio door added to the third-floor balcony.
  1. Proposing Pella or Marvin patio door.
- iii. Existing door on the east elevation to be replaced on the third-floor balcony with a full light door that will be Pella or Marvin.
- c. Addition –
  - i. A portion of the covered patio on the third floor on the north side of the building will be converted to living space.
    1. Hardi lap siding will be used.
      - a. Siding color needs to be clarified.
    2. Existing railings will be reused.
    3. New flat roof will be installed to cover the addition and balcony.
    4. Installing three new windows that are one over one.
      - a. The Board should discuss these windows matching the existing 8 over 8 windows on this portion of the building.
- d. Lighting –
  - i. Darlana lanterns are proposed on the third-floor balcony.

#### **Conditional Use:**

1. Effect on traffic pattern – Should decrease. The C-5 District does not have a required parking requirement per unit, however there is existing parking on the north side of the building.
2. Effect on public facilities – Should decrease.
3. Effect on sewerage and drainage facilities – Should not be an impact.
4. Utilities required – Existing utilities should be adequate to handle the additional units.
5. Safety and health considerations – N/A
6. Noise, odors and other noxious elements, including hazardous substances and other environmental hazards – N/A
7. Hours of use – Residential Units – 24/7
8. Shielding or screening considerations for neighbors – N/A
9. Appearance and compatibility with the general neighborhood – Existing building to remain with a few exterior modifications and improvements. The main modification is on the northern elevation, which is hidden by the existing stair tower. There are eight existing residential units in the rear of the building.

#### **Land Use Plans:**

##### Worthington Design Guidelines and Architectural District Ordinance

On the upper floors of commercial buildings two or more stories in height, windows played both a functional and an aesthetic role, providing natural light but also playing an important role in the overall architectural design. Their size, spacing and proportions were carefully keyed to the design of the building and its storefronts.

Early commercial buildings usually had multiple-paned double-hung windows on their upper floors. Though many are of recent date, such windows are widely used in Worthington's commercial district. As in residential buildings, later commercial structures had 4-over-4 or 2-over-2 windows, and eventually, in the late 19th century, 1-over-1 window sash became almost standard. This continued into the early 20<sup>th</sup> century, although some buildings had 6-over-1, 3-over-1, or other window designs for variety.

Doors should not be "dressed up" with heavy moldings, ornate carving, paneling, or other added decoration. On both 19th and early 20th century commercial buildings, doors generally were not highly ornamented and tended to be very plain. For new replacement doors, if needed, wood is the preferred material, and the design should be simple, perhaps with one or two lower panels and a window in the upper half.

Older upper floor windows should be retained rather than replaced; often repair of an existing window is less expensive than a new replacement window. Window openings should not be enlarged or downsized; maintaining their original size is an important part of preserving a building's character.

If windows are missing or must be replaced due to extensive deterioration, use new windows of the same size, design and profile (cross-section), to the greatest extent possible; wood windows are preferred. This means that if the old windows were 1-over-1 double-hung sash, the replacements should look the same. The new windows should fit the window openings exactly, without requiring extra wood or metal infill panels to fill the opening; and the dimensions of the framing, sash members, and other elements should match the old dimensions.

Construction of an addition to a commercial or institutional building should be approached in the same way as one for an existing home. Such a project involves important design considerations, since an addition can have a major impact on neighboring properties.

Use exterior materials traditionally used on commercial and institutional buildings in Worthington. These most commonly include brick; frame construction is less common. New materials used on an addition do not necessarily have to match the original materials of an older building -- a frame addition with beveled siding, for example, could be appropriate on a masonry building -- but starkly modern materials such as rough-cut siding, plastics, metal surfaces or painted concrete block should be avoided.

The addition should be subordinate to the main building. This does not necessarily mean that the addition must be smaller than the original, but it should be designed in a way that it does not overwhelm and dominate the original.

Generally, additions should be located as far as possible to the rear of the original building. There may be some instances, however, where building an addition on the front of the original building may be a preferable option.

Commercial storefronts play a very large role in determining the character of Worthington's Central Business District. They line the streets, and for both pedestrians and people passing in cars

the district's storefronts are the primary environmental feature. Well-maintained storefronts containing attractive visual displays are typical of Worthington and are a major part of its appeal.

#### Worthington Conditional Use Permit Regulations

The following basic standards apply to conditional uses in any "C" or "I" District: the location, size, nature and intensity of the use, operations involved in or conducted in connection with it, its site layout and its relation to streets giving access to it, shall be such that both pedestrian and vehicular traffic to and from it will not be hazardous, both at the time and as the same may be expected to increase with increasing development of the Municipality. The provisions for parking, screening, setback, lighting, loading and service areas and sign location and area shall also be specified by the applicant and considered by the Commission.

Worthington Code Basic Standards and Review Elements The following general elements are to be considered when hearing applications for Conditional Use Permits:

1. Effect on traffic pattern
2. Effect on public facilities
3. Effect on sewerage and drainage facilities
4. Utilities required
5. Safety and health considerations
6. Noise, odors and other noxious elements, including hazardous substances and other environmental hazards
7. Hours of use
8. Shielding or screening considerations for neighbors
9. Appearance and compatibility with the general neighborhood

#### Worthington Comprehensive Plan Update & 2005 Strategic Plan

Village centers like Old Worthington are logical places to add residential density in and behind the main corridor. Such residential development adds more pedestrian activity, increases the market base for the retail stores, and can be designed as a product that is attractive to young professionals and empty nesters. In Worthington, redeveloping residential lots within the first High Street block requires expertise to prevent it from tearing into the historic fabric of the City. Such development must be evaluated on a case-by-case basis, but it would be critical to be appropriate for the site in scale and design while at the same time creating a continuous street front. One of the most effective methods for adding residential units in this area is to rediscover and recapture the upper floor spaces in existing and new development along the corridor. The pedestrian-friendly, mixed-use nature of Old Worthington is historically appropriate. Its success indicates that there are significant land use lessons to be applied to redevelopment efforts in Worthington. It appears there may be new opportunities for mixed-use development in appropriate locations. The history of the High Street corridor indicates long-term success for a linear commercial development approach.

#### Old Worthington – Residential:

Encourage redevelopment that creates a life-span community. This includes creating housing products that will attract young professionals and maturing adults so they can “live in place”

in Worthington. Well-designed housing products catering to these groups should be sought and supported. Any new housing development should be well integrated and connected with the community.

The renovation and use of upper stories for residential living should be permitted and encouraged where possible – particularly in areas such as Old Worthington. Such uses provide additional urban village-type living. Furthermore, the increased residential density along High Street will create an additional customer base for service/retail uses located in the corridor. Tax incentives could even be considered to spark renovation of upper floor residential space in targeted areas.

#### Old Worthington – Retail & Office:

Focus retail and office uses to the High Street corridor with particular attention on retail for first floors in Old Worthington and the Old Worthington Transition Area. Do not let retail uses spread outside of this corridor here. Market to desired retail users that are targeting the authentic town center with pedestrian oriented store plans and products.

#### Staff Analysis:

1. The proposed windows for the third-floor addition should be discussed by the Board.
2. Clarification needed on the color of the hardi plank siding for the addition.
3. The conversion of first floor commercial space with High St. frontage is not recommended.
  - a. Residential is recommended for upper stories above first floor commercial space, however the conversion of prime commercial space should be discouraged. There is a focus on retail and office uses along the High St. corridor with particular attention on retail on the first floors in Old Worthington.

#### ARB Recommendation:

Staff recommends approval of this application if the Board feels comfortable with the applicant's responses to the windows on the third-floor addition and the color of the siding. The proposed changes are in keeping with the Design Guidelines as it pertains to windows, doors and additions.

#### MPC Recommendation:

Staff recommends partial approval of this application with the removal of the residential unit on the first floor. The first floor should be retained for commercial use as per the Worthington Comprehensive Plan Update & 2005 Strategic Plan.

#### ARB Motion:

**THAT THE REQUEST BY THE 649 HIGH LLC/WORTHINGTON INN FOR A CERTIFICATE OF APPROPRIATENESS TO MAKE EXTERIOR MODIFICATIONS AT 649 HIGH ST., AS PER CASE NO. AR 80-2020, DRAWINGS NO. AR 80-2020, DATED OCTOBER 30, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

#### MPC Motion:

**THAT THE REQUEST BY THE 649 HIGH LLC/WORTHINGTON INN FOR A CONDITIONAL USE FOR FIVE RESIDENTIAL UNITS IN THE C-5 DISTRICT AT 649 HIGH ST., AS PER CASE NO. CU 09-2020, DRAWINGS NO. CU 09-2020, DATED**

**OCTOBER 30, 2020, BE APPROVED BASED ON THE PLANNING GOALS OF THE CITY, AS REFERENCED IN THE LAND USE PLANS AND THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

- b. Recreational Facility in I-1 – **406 E. Wilson Bridge Rd.** (Burn Bootcamp – Worthington)  
**CU 08-2020**

### **Findings of Fact & Conclusions**

#### **Background & Request:**

Burn Bootcamp – Worthington is currently operating on the west side of the Shops at Worthington Place. Relocation is necessary with the proposed redevelopment of the mall and the business is now requesting approval to operate in this building that was constructed in the late 1980's. The building is currently vacant but on a parcel with three other multi-tenant buildings. Because the new location is in the I-1 Zoning District, a Conditional Use Permit is required.

#### **Project Details:**

1. The business offers group fitness classes.
2. Hours of operation would typically be 5:00 am to 6:30 pm daily.
3. Parking is available in the lot adjacent to the building.
4. The suite consists mainly of open floor space, with some office space and restrooms in the balance of the space.

#### **Land Use Plans:**

##### **Worthington Conditional Use Permit Regulations**

The following basic standards apply to conditional uses in any "C" or "I" District: the location, size, nature and intensity of the use, operations involved in or conducted in connection with it, its site layout and its relation to streets giving access to it, shall be such that both pedestrian and vehicular traffic to and from it will not be hazardous, both at the time and as the same may be expected to increase with increasing development of the Municipality. The provisions for parking, screening, setback, lighting, loading and service areas and sign location and area shall also be specified by the applicant and considered by the Commission.

**Worthington Code Basic Standards and Review Elements** The following general elements are to be considered when hearing applications for Conditional Use Permits:

1. Effect on traffic pattern
2. Effect on public facilities
3. Effect on sewerage and drainage facilities
4. Utilities required
5. Safety and health considerations
6. Noise, odors and other noxious elements, including hazardous substances and other environmental hazards
7. Hours of use
8. Shielding or screening considerations for neighbors
9. Appearance and compatibility with the general neighborhood

**Recommendation:**

Staff is recommending approval of this application as the proposed use is appropriate for this space.

**Motion:**

**THAT THE REQUEST BY BURN BOOTCAMP - WORTHINGTON FOR A CONDITIONAL USE PERMIT TO OPERATE A RECREATIONAL FACILITY AT 406 E. WILSON BRIDGE RD., SUITE D, AS PER CASE NO. CU 08-2020, DRAWINGS NO. CU 08-2020, DATED OCTOBER 28, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**



**City of Worthington**  
**ARCHITECTURAL REVIEW BOARD**  
**Certificate of Appropriateness**  
**Application**

Case # AR 72-2020  
Date Received 10-08-2020  
Fee \$2.00  
Meeting Date 10-22-2020  
Filing Deadline  
Receipt # 69198

1. **Property Location** PID# 100-005055-00 6733 N High Parcel 100006796
2. **Present/Proposed Use** PARKING LOT / CHILD DAY CARE
3. **Zoning District** C-3 Sign contractor Rep:
4. **Applicant** SAMATHA ELLIOTT Nancy Radke  
**Address** 2990 OLD PATH ROAD, BLACKLICK, OH 43004 1184 Bonham Ave  
**Phone Number(s)** 614.395.0023 Columbus OH  
425-8508  
**Email** goddardfix@sbcglobal.net nancyradke17@gmail.com
5. **Property Owner** JAVID PROPERTIES CO.  
**Address** 229 E. STATE STREET, COLUMBUS, OH 43215  
**Phone Number(s)** 614.224.6105  
**Email** randy@schoedinger.com
6. **Project Description** THE GODDARD SCHOOL - EARLY CHILDHOOD EDUCATION CENTER  
Signage request - building & monument (see details supplied)
7. **Project Details:**
- a) **Design** Signage request - building & monument (see details supplied)
- b) **Color** Signage request - building & monument (see details supplied)
- c) **Size** Signage request - building & monument (see details supplied)
- d) **Approximate Cost** \$2000 **Expected Completion Date** 03/15/21

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

82+EW  
**Applicant (Signature)**

10.02.2020

**Date**

my Radke 10-8-2020

JR  
**Property Owner (Signature)**

10.02.2020

**Date**

Abutting Property Owners  
for  
6733 N. High St.

Ethan Allen	6767 N. High St5.	Worthington, OH 43085
All Saints Evangelical Lutheran Church	6760 N. High St.	Worthington, OH 43085
Anthem Inc.	6740 N. High St.	Worthington, OH 43085
Christine Miller	4161 Rowanne Rd.	Columbus, OH 43214
Matthew & Brooke Reid	6680 Hayhurst St.	Worthington, OH 43085
David & Martha Werner	6690 Hayhurst St.	Worthington, OH 43085
Palmer Moore	6700 Hayhurst St.	Worthington, OH 43085
Michael & Teresa Mazeika	6710 Hayhurst St.	Worthington, OH 43085
Thomas Gjostein	6720 Hayhurst St.	Worthington, OH 43085
John & Shannon Kemp	6730 Hayhurst St.	Worthington, OH 43085





**TO: City of Worthington**  
**Planning and Building Dept.**  
**374 Highland Ave.**  
**Worthington, OH 43085**

**ATTN: Architectural Review Board**

**RE: Certificate of Appropriateness of Signage for 6733 N. High St. "The Goddard School"**

**DATE: 10/4/2020**

"The Goddard School" is seeking approval of their proposed signage at the above location. Per Chapter 1170 of the city's sign ordinance, this site is proposing (1) wall-mounted sign on the front (East elevation) of the building and (1) ground or free-standing sign perpendicular to High St.

The wall mounted signage will be made of high-density urethane (HDU) which is commonly used in the sign industry and very durable. "The Goddard School" letter set and logo will be mounted individually directly to the building front above the entry and be non-illuminated. The colors will be blue and white to comply with the Goddard School branding and compliment the building's painted and brick exterior. Front elevation area for signage is 35-SF. See drawings for details.

The ground or free-standing sign will also be constructed of high-density urethane (HDU). The upper part of the sign will be painted white with blue copy of the Goddard logo and name etched into the surface to give it definition. The bottom part of the sign will have painted blue band with white vinyl lettering for phone number and email address. Colors will comply with Goddard School branding and compliment the wall sign. This proposed sign is non-illuminated but could have external illumination if allowed by zoning. This sign will be mounted on a masonry base which will match the brick on the building. This proposed sign is double-side and has a graphic area of 26.67-square feet. See drawings for details.

Thank you for considering this sign project.

A handwritten signature in blue ink, appearing to read 'Nancy Radke', is written over a circular blue stamp.

**Nancy Radke – Sign Contractor Representative**

**PR Signs and Service LLC**

**1184 Bonham Ave.**

**Columbus OH 43211**

**614-252-7090**

**CITY OF WORTHINGTON**

**DRAWINGS NO. AR 72-2020**

**DATE 10/30/2020**

# 6733 N. High St.





Letter and Icon Detail

21"

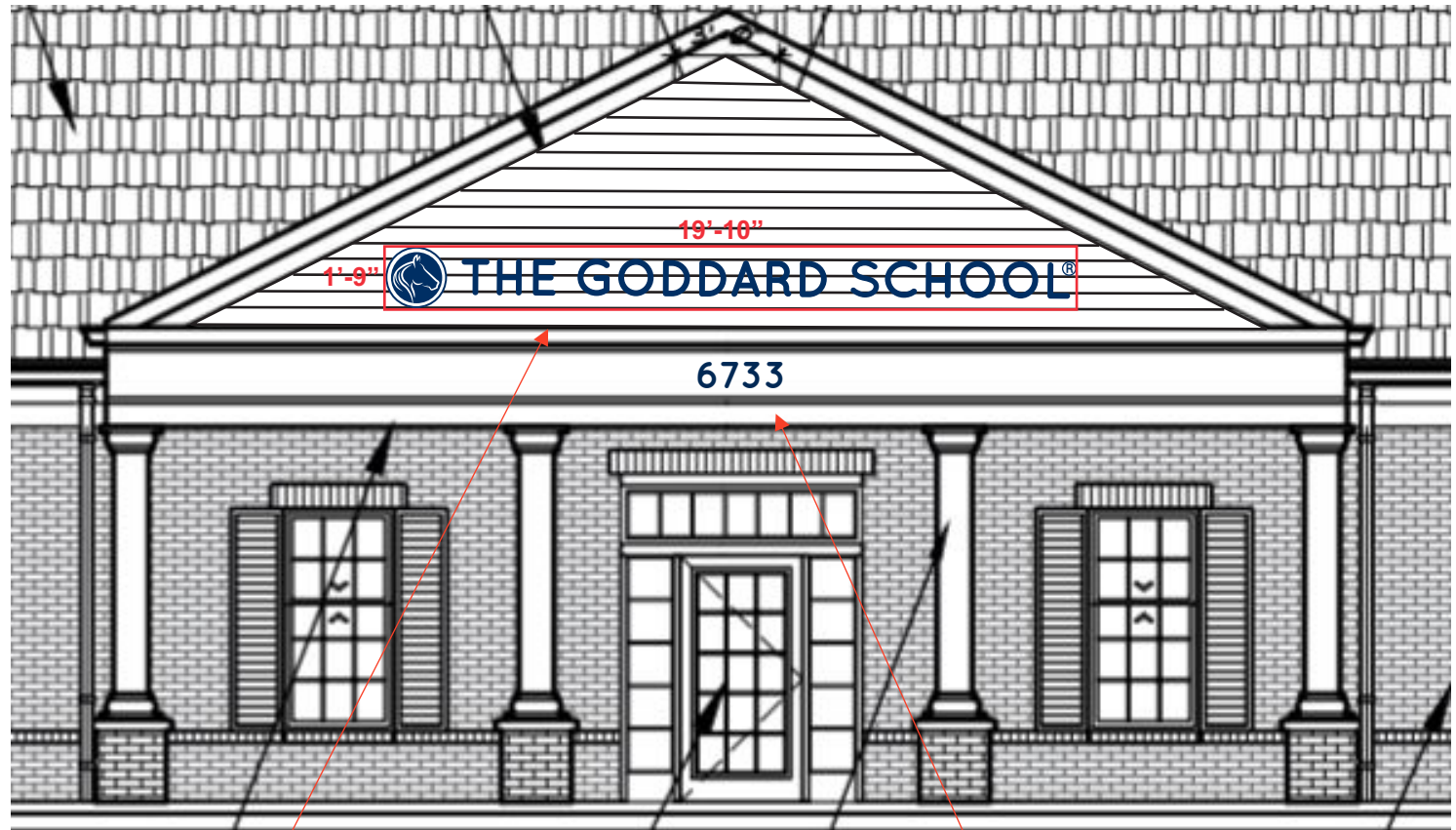


21"

THE GODDARD SCHOOL® 12.5"

19'-10"

Not to scale



Goddard HDU custom logo and letter set, color-Goddard Blue to match PMS 295C, White

9" address numerals to match letter set, color-Goddard blue

CITY OF WORTHINGTON

DRAWINGS NO. AR 72-2020

DATE 10/30/2020

Front Elevation  
Area = 35 sq. ft.

SKETCH: #81220  
SALESPERSON: TIM R.  
DESIGNER: JAROD  
DATE: 08/12/2020  
REVISION: 10/26/2020

DRAWN FOR  
GODDARD SCHOOL  
WORTHINGTON, OH

Scale-3/16" = 1'-0"

select  
ign

11319 Laurel Brook Ct.  
Riverview, FL 33569

This is an original, unpublished drawing by Select Sign Co., Inc. It is for your personal use, in conjunction with a project being planned for you by Select Sign Co. It is not to be shown to anyone outside of your organization nor is it to be used, reproduced, copied or exhibited in any fashion. Use of this design or the salient elements of this design in any sign done by any other company, without the express written permission of Select Sign, is forbidden by law and carries a civil forfeiture of up to 25% of the purchase price of the sign.

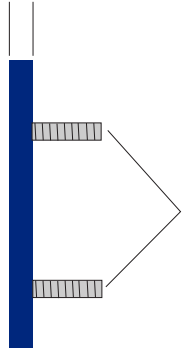
SELECT SIGN will endeavor to closely match colors, including PMS, where specified. We cannot guarantee exact matches due to varying compatibility of surface materials and paints used. All sizes and dimensions are illustrated for client's conception of project and are not to be understood as being exact size or exact scale.

Letter and Icon mounting detail

Goddard custom logo and  
letter set, Signfoam-15lb density  
color-Goddard Blue  
to match PMS 295C



1 1/2" depth



1/8" dia.x 4" length threaded  
aluminum studs, with silicone  
adhesive applied to studs.

All letters and icon segments are individual  
pieces. There is no backing behind either  
on the building surface. Letters and icon will  
be mounted to existing wall.

Letters and Icon are  
stud-mounted with  
silicone adhesive into  
front fascia.

CITY OF WORTHINGTON

DRAWINGS NO. AR 72-2020

DATE 10/30/2020



SKETCH: #CORP  
SALESPERSON: TIM R.  
DESIGNER: JAROD  
DATE: 04/20/13  
REVISION:

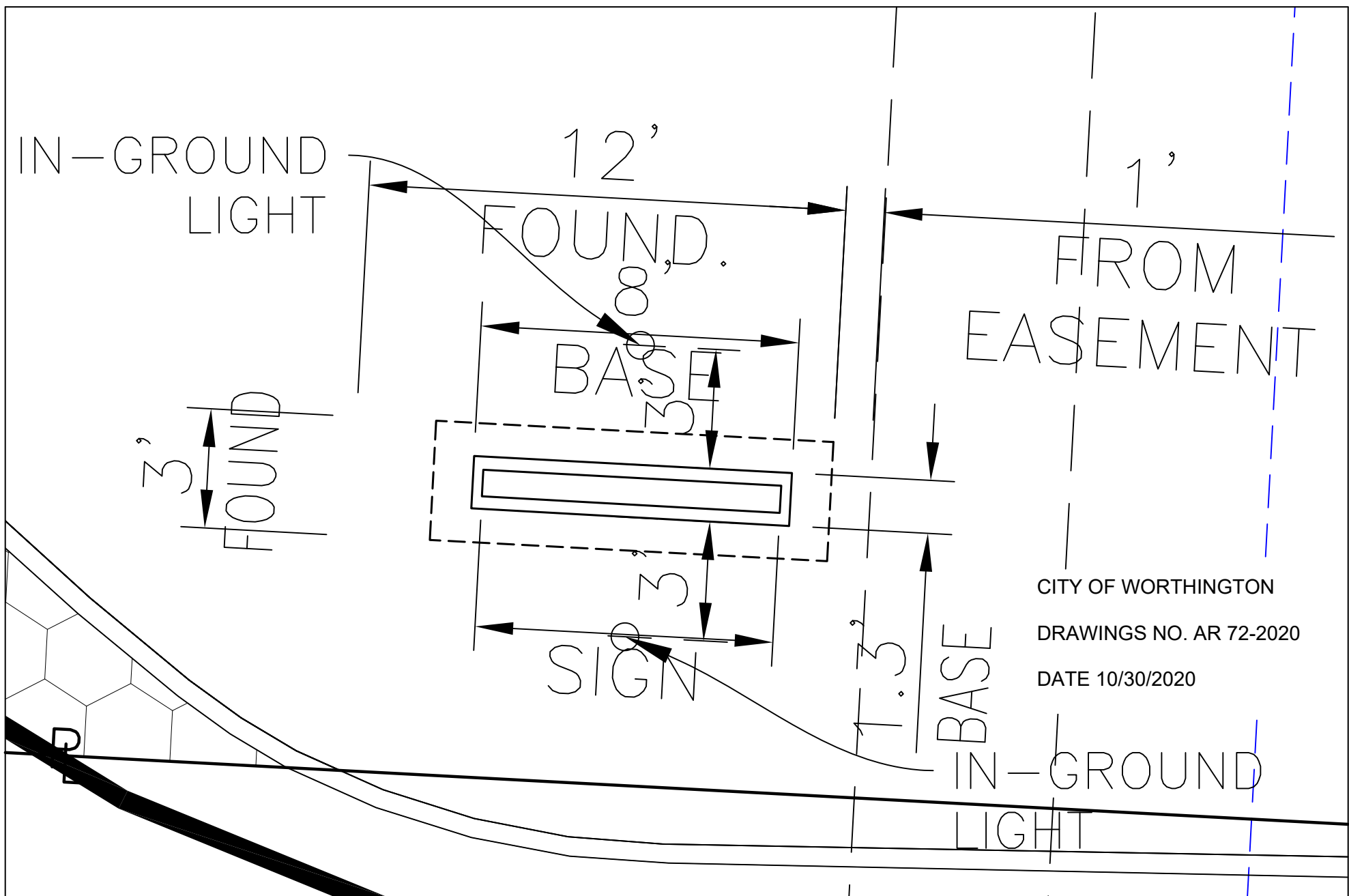
DRAWN FOR  
GODDARD SCHOOL


Not to Scale

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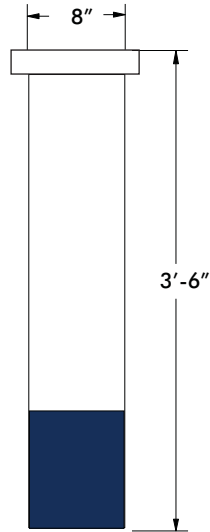
SELECT SIGN will endeavor to closely match colors, including PMS, where specified. We cannot guarantee exact matches due to varying compatibility of surface materials and paints used. All sizes and dimensions are illustrated for client's conception of project and are not to be understood as being exact size or exact scale.

These drawings are instruments of professional service by Sands Decker CPS, LLC for the designated project. Sands Decker CPS, LLC assumes no liability for unauthorized use of these drawings, specifications, and documents.



	673 High Street, Suite 204 Worthington, Ohio 43085 614.436.0555 email - baker@bakerarchitects.com	PROJECT: THE GODDARD SCHOOL - WORTHINGTON SUBJECT: MONUMENT SIGN LOCATION SCALE: NTS DATE: 10.30.20	SK-1 SIGNAGE
--	--	--	-----------------

Cabinet side view



Trimcap on top  
of sign cabinet.

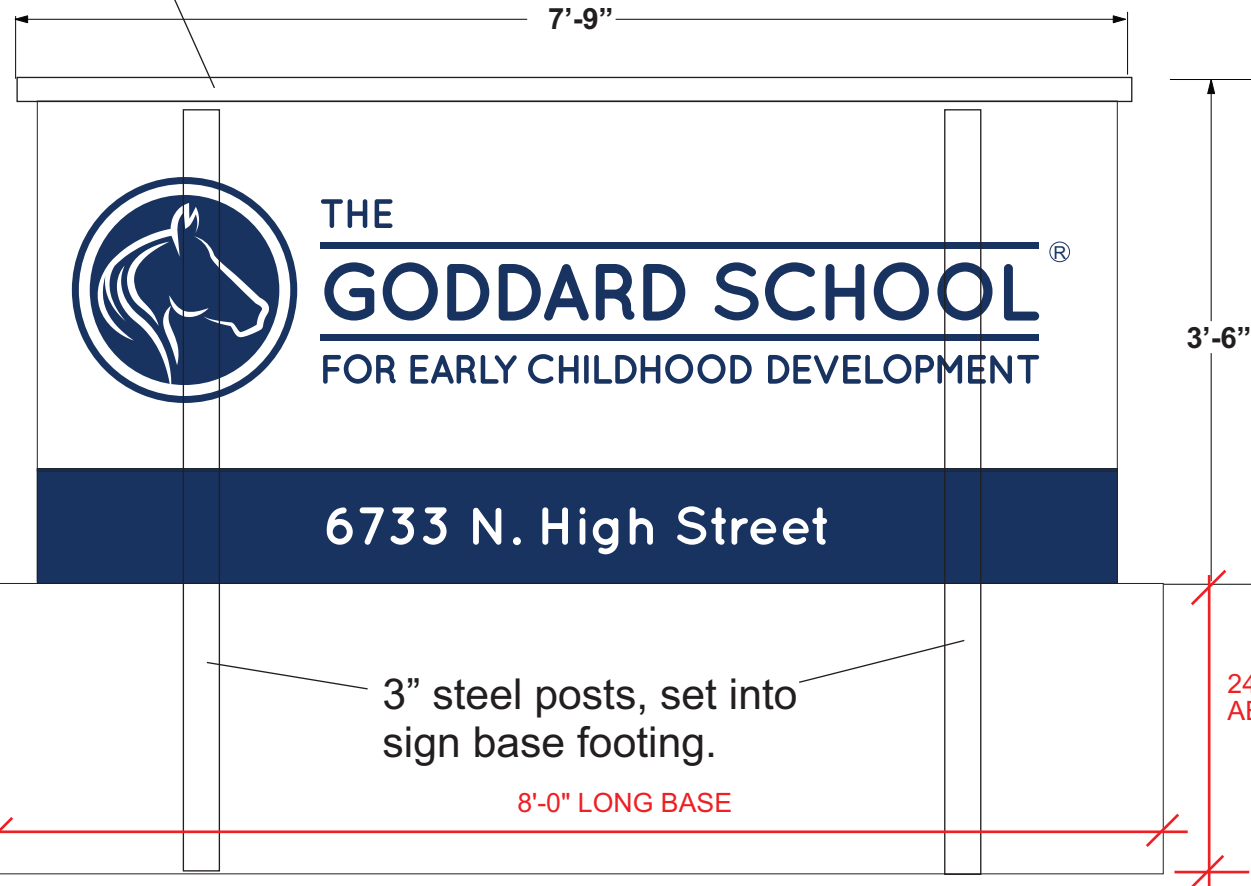
CITY OF WORTHINGTON

DRAWINGS NO. AR 72-2020

DATE 10/30/2020

**SIGN SPECIFICATIONS:**

MONUMENT SIGN-EXTERNAL ILLUMINATION IF ANY.  
DOUBLE FACED.  
HIGH-DENSITY URETHANE-PAINTED WHITE  
ETCHED BLUE UPPER COPY.  
ALUMINUM SIGN FRAME FOR PANELS.  
PAINTED LOWER BLUE BAND WITH WHITE VINYL STREET  
ADDRESS AS REQUIRED.  
SIGN MOUNTED ON BRICK BASE, WHICH WILL BE  
PERMITTED AND CONSTRUCTED BY OTHERS.



4" cap height address  
as shown on both sides

Brick base by  
others to match  
building brick.

3" steel posts, set into  
sign base footing.

8'-0" LONG BASE

24" HIGH BASE  
ABOVE GRADE

Area=27 sq. ft. per side



SKETCH: #82620  
SALESPERSON: TIMR.  
DESIGNER: JAROD  
DATE: 08/26/2020  
REVISION: 10/27/2020

DRAWN FOR  
GODDARD SCHOOL  
WORTHINGTON, OH

Scale-3/4" = 1'-0"

This is an original, unpublished drawing by Select Sign Co., Inc. It is for your personal use, in conjunction with a project being planned for you by Select Sign Co. It is not to be shown to anyone outside of your organization nor is it to be used, reproduced, copied or exhibited in any fashion. Use of this design or the salient elements of this design in any sign done by any other company, without the express written permission of Select Sign, is forbidden by law and carries a civil forfeiture of up to 25% of the purchase price of the sign.

SELECT SIGN will endeavor to closely match colors, including PMS, where specified. We cannot guarantee exact matches due to varying compatibility of surface materials and paints used. All sizes and dimensions are illustrated for client's conception of project and are not to be understood as being exact size or exact scale.





**City of Worthington**  
**ARCHITECTURAL REVIEW BOARD**  
Certificate of Appropriateness  
Application

Case # AR 78-2020  
Date Received 10/29/2020  
Fee \$3.00  
Meeting Date 11/12/2020  
Filing Deadline  
Receipt # 69308

1. Property Location 227 W. Dublin-Granville Rd, 43085
2. Present/Proposed Use Residential
3. Zoning District \_\_\_\_\_
4. Applicant James W. Scarfin  
Address below  
Phone Number(s) \_\_\_\_\_  
Email \_\_\_\_\_
5. Property Owner James W. Scarfin  
Address 227 W. Dublin-Granville Rd.  
Phone Number(s) 614-397-6060  
Email jwscarfin@yahoo.com
6. Project Description Privacy Fence on Property Line on East side from rear line to front of house (83')
7. Project Details:
- a) Design Picket - Cedar
- b) Color Natural
- c) Size 6" x 83'
- d) Approximate Cost \$3,000<sup>00</sup> Expected Completion Date 12/15/2020

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Applicant (Signature)

Date

Property Owner (Signature)

Date



Abutting Property Owners  
for  
227 W. Dublin-Granville Rd.

Worthington Schools	200 E. Wilson-Bridge Rd.	Worthington, OH 43085
Robert Mora	219 W. Dublin-Granville Rd.	Worthington, OH 43085
Lawrence & Carol Cooper	218 Sinsbury Dr. N	Worthington, OH 43085
Todd & Jill Grdina	226 Sinsbury Dr. N	Worthington, OH 43085
Julie Dorst	234 Sinsbury Dr. N	Worthington, OH 43085
Benjamin & Emily Brudos	235 W. Dublin-Granville Rd.	Worthington, OH 43085

James W. Scarfone & Amy Scarfone  
227 W. Dublin-Groveville Rd.  
614-397-6060

We want to build a privacy fence on the property line on the east side of the rear of the property.

Neighbor's foliage is overgrown and out of control and grows through the existing split rail fence.

Also, we are requesting to build the fence "facing in", because contractor is unable to attach fencing "facing out" due to overgrowth.

CITY OF WORTHINGTON

DRAWINGS NO. AR 78-2020

DATE 10/29/2020



# 227 W. Dublin-Granville Rd.



100-002830 04/09/2014



Amy ScarFpin (614)-397-6060  
227 W. Dublin Granville Rd. Worthington, OH 43085  
87' OF 6' tall Cedar Privacy including 87' of fence



CITY OF WORTHINGTON

DRAWINGS NO. AR 78-2020

DATE 10/29/2020



Finished side facing-out

CITY OF WORTHINGTON

DRAWINGS NO. AR 78-2020

DATE 10/29/2020

image.png



Finished side facing- n

CITY OF WORTHINGTON

**Subject:** Fwd: [EXTERNAL] Re: Lowe's Fence Proposal  
**From:** James Scarfpin <jwscarfpin@yahoo.com>  
**Date:** 10/29/2020, 12:17 PM  
**To:** House Wine <jim@housewine.biz>

DRAWINGS NO. AR 78-2020

DATE 10/29/2020

Sent from my iPhone

Begin forwarded message:

**From:** "Miller, Nicolas" <nicolas.miller@store.lowes.com>  
**Date:** October 23, 2020 at 5:08:05 PM EDT  
**To:** James Scarfpin <jwscarfpin@yahoo.com>, Amy Donovan Scarfpin <ascarfpin@gmail.com>  
**Subject:** Re: [EXTERNAL] Re: Lowe's Fence Proposal

Hello,

Attached is the layout drawing from our installer and below are some pictures of the fence. Please note there will be variation in the wood. We can shoot for installing the fence with the finished side facing-in and worst-case scenario if the city or the Architectural Board says no then we will have the finished side facing-out. Pictures of both below. I will send the contract over to review and sign as well. When you are ready just give me a call with the payment info and we can process by phone sale.

Picket

—image.png—

#### Option 2 (cedar)

Install approximately 87 linear feet (LF) of 6' tall privacy cedar wood fence. Fence to be built with grade and dirt from posts raked long the fence line. Includes removal and haul away of approximately 80 LF of existing fence. This product requires maintenance (painting, staining with sealer, or sealing).

Investment: \$3,500

At this time, we do not have the product availability on the split rail portion in cedar.



**City of Worthington**  
**ARCHITECTURAL REVIEW BOARD**  
Certificate of Appropriateness  
Application

Case #	AR 79-2020
Date Received	10/30/2020
Fee	\$200.00
Meeting Date	11/12/2020
Filing Deadline	
Receipt #	#69313

1. Property Location 591 HARTFORD ST
2. Present/Proposed Use VACANT LOT/NEW HOME
3. Zoning District R-10
4. Applicant GINO FANTOZZI BUILDERS, LLC.  
Address 873 S. PEARL ST, COLUMBUS, OHIO 43206  
Phone Number(s) (614) 313-6779  
Email GINO@FANMEL.COM
5. Property Owner JAMES W. + NANCY C. SIMON  
Address 5413 AUBREY LOOP, PUBLIN, OHIO 43016  
Phone Number(s) (614) 766-5865 + (614) 956-8110  
Email JWSIMON48@GMAIL.COM
6. Project Description NEW SINGLE FAMILY HOME
7. Project Details:
  - a) Design 1 1/2 STORY COLONIAL
  - b) Color SEE ATTACHED
  - c) Size 2,250 sq. ft. +/-
  - d) Approximate Cost 450,000. Expected Completion Date Fall 2021

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

[Signature]  
Applicant (Signature)

10/29/20  
Date

[Signature]  
Property Owner (Signature)

10/29/2020  
Date

Abutting Property Owners  
for  
591 Hartford St.

Name	Name 2	Address	CityStateZip
Worthington United Methodist Church		600 High St.	Worthington, OH 43085
Robert & Tera Huffman		594 Hartford St.	Worthington, OH 43085
Warren & Marlene Orloff		356 Loveman Ave.	Worthington, OH 43085
Resident		590 Hartford St.	Worthington, OH 43085
David & Giannalisa Schumer		580 Hartford St.	Worthington, OH 43085
Brent & Catherine Watson		583 Hartford St.	Worthington, OH 43085



**591 HARTFORD ST.**

Historically correct 1-1/2 story new home designed by Sullivan Bruck Architects.  
Lap siding exterior cladding with active shutters for an authentic look.  
The drive way is located on the north side to provide privacy to the south neighbor  
and to avoid having both drive ways side by side.

Please feel free to call with any questions:

Gino Fantozzi at (614) 313-6774

Gary Bruck at (614) 464-9800

Gino Fantozzi Builders, LLC.

Gino Fantozzi, member

CITY OF WORTHINGTON

DRAWINGS NO. AR 79-2020

DATE 10/30/2020



# 591 Hartford St.



100-000576 04/25/2017



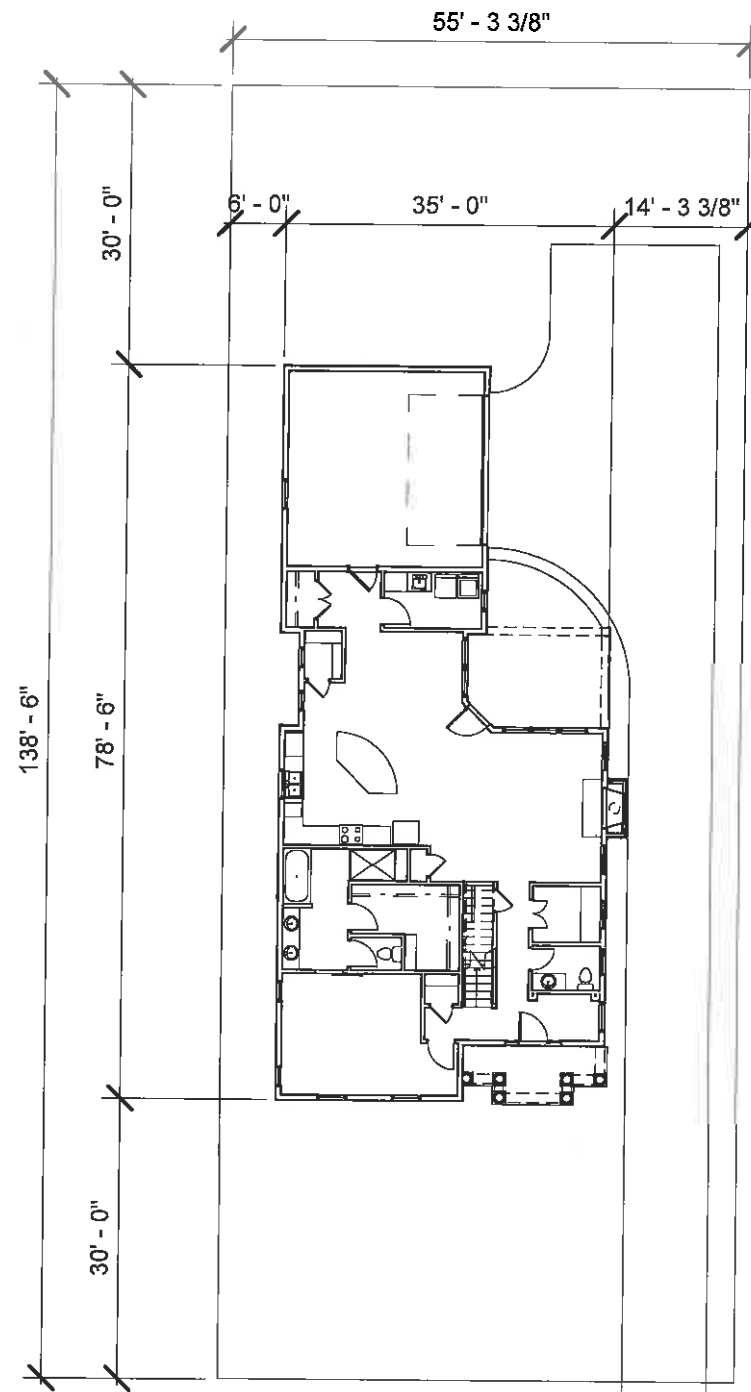
# Siding and Color Examples



CITY OF WORTHINGTON  
DRAWINGS NO. AR 79-2020  
DATE 10/30/2020







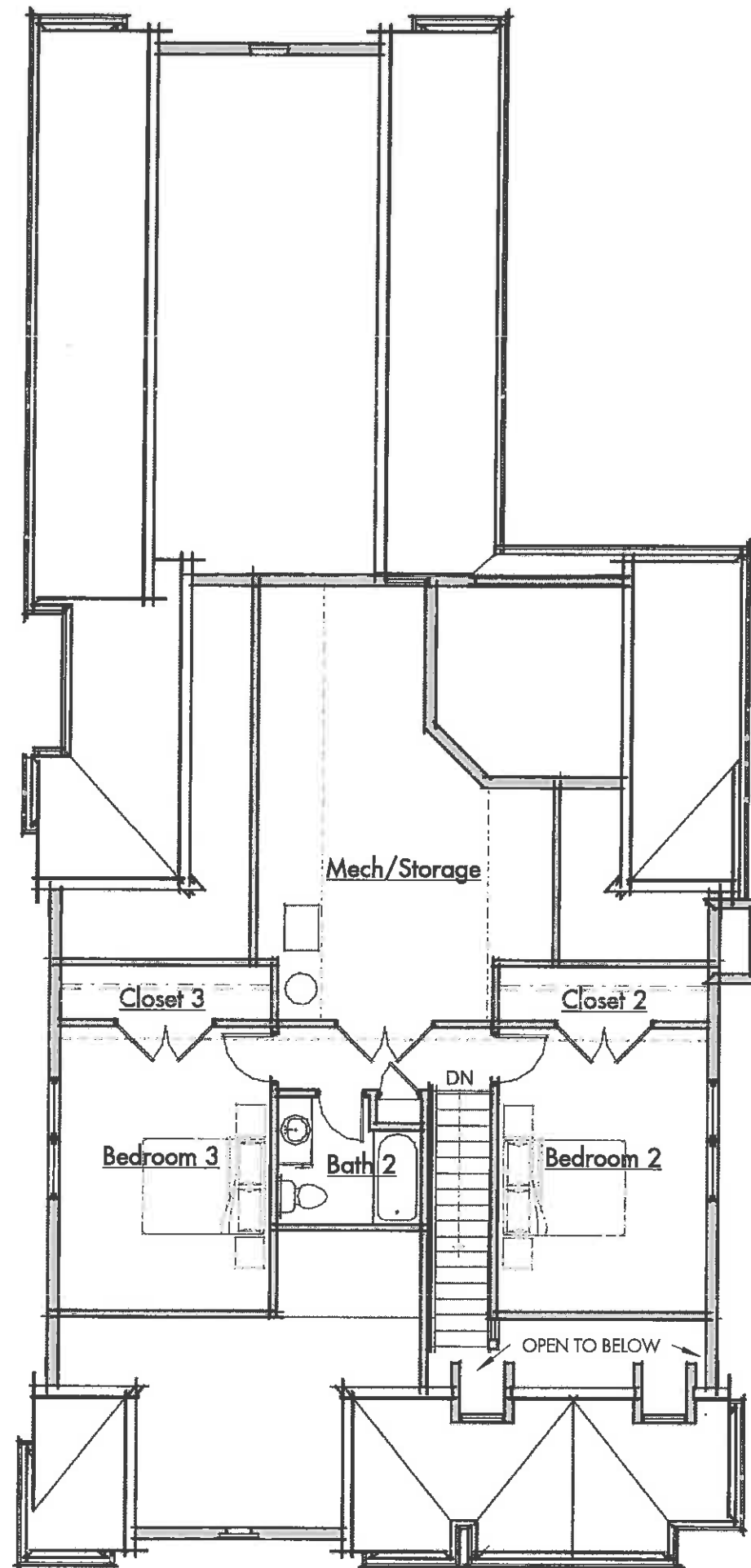
Site Plan  
1" = 20'-0"

Simon Residence  
Worthington, Ohio  
2020-10-29

CITY OF WORTHINGTON  
DRAWINGS NO. AR 79-2020  
DATE 10/30/2020



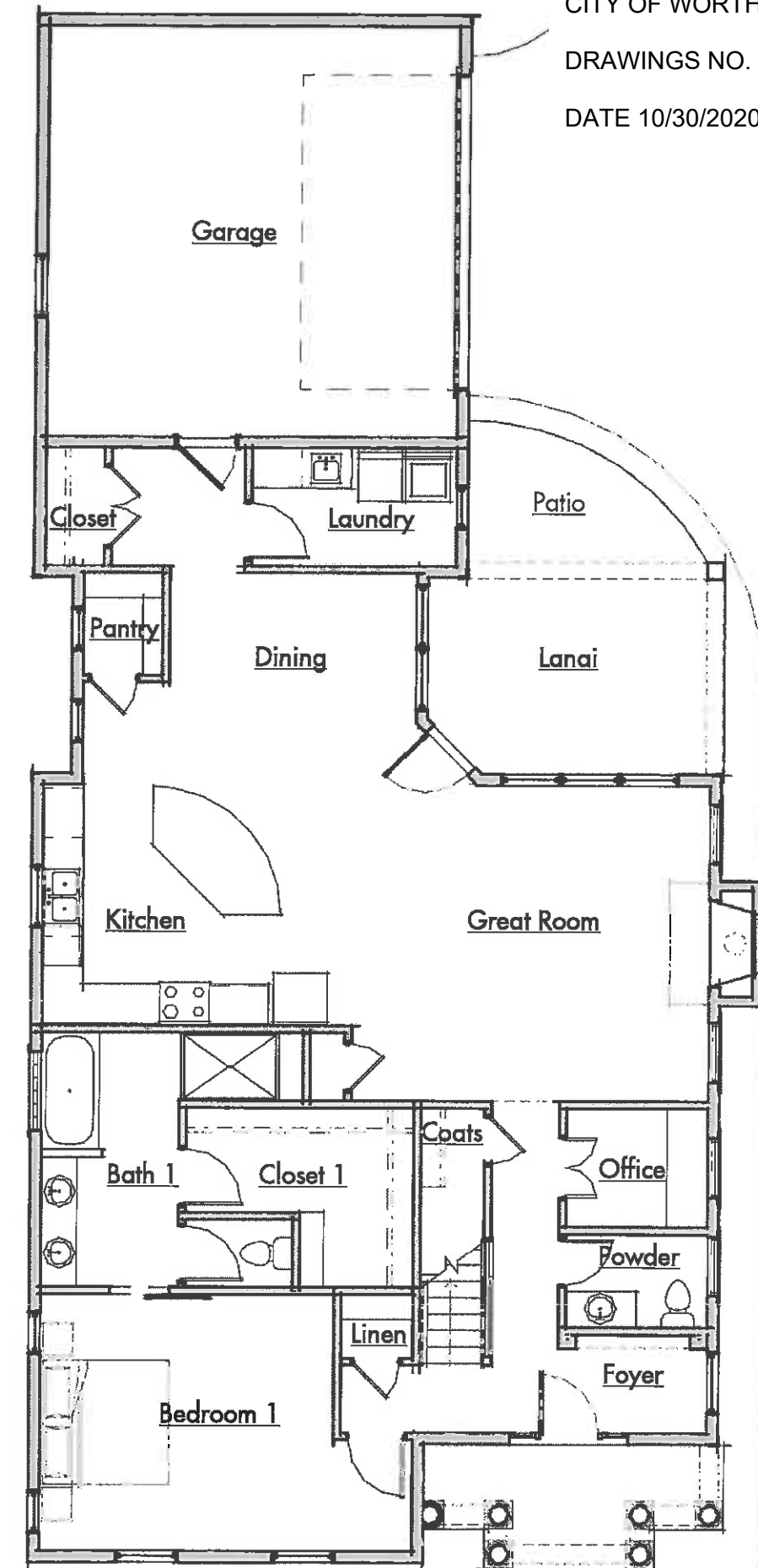
CITY OF WORTHINGTON  
DRAWINGS NO. AR 79-2020  
DATE 10/30/2020



**Second Floor**  
1/8" = 1'-0"

**First Floor**  
1/8" = 1'-0"

**Simon Residence**  
Worthington, Ohio  
2020-10-29





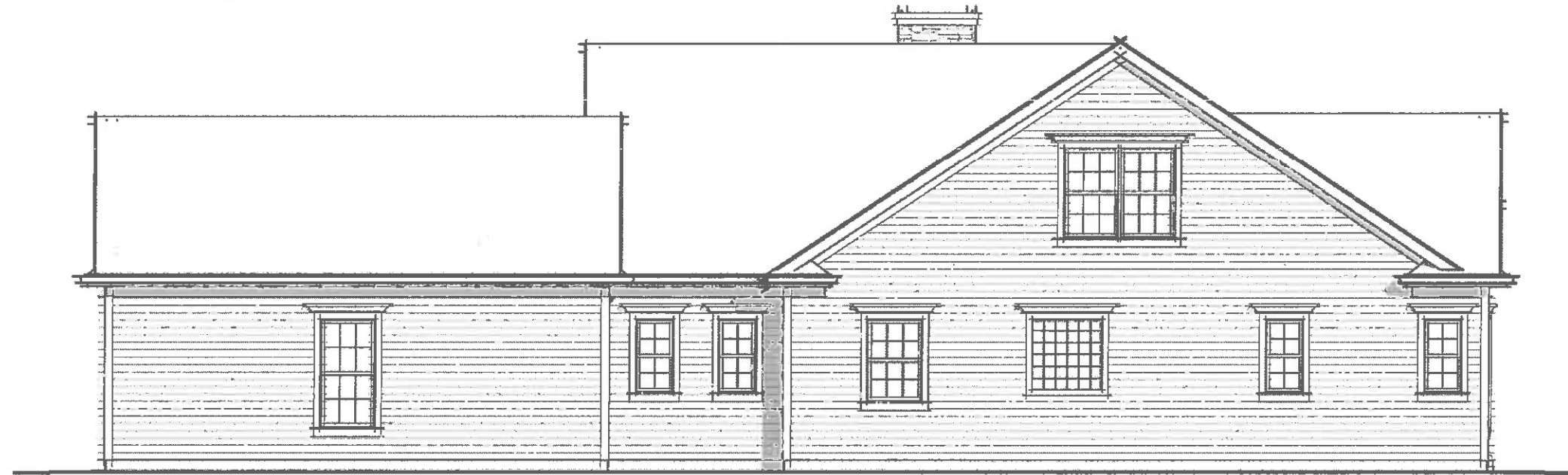
Right Side Elevation  
 $1/8" = 1'-0"$



Front Elevation  
 $1/8" = 1'-0"$

Simon Residence  
Worthington, Ohio  
2020-10-29

CITY OF WORTHINGTON  
DRAWINGS NO. AR 79-2020  
DATE 10/30/2020



Left Side Elevation  
1/8" = 1'-0"



Rear Elevation  
1/8" = 1'-0"

Simon Residence  
Worthington, Ohio  
2020-10-29

CITY OF WORTHINGTON  
DRAWINGS NO. AR 79-2020  
DATE 10/30/2020



**City of Worthington**  
**ARCHITECTURAL REVIEW BOARD**  
**Certificate of Appropriateness**  
**Application**

Case #	AR 81-2020
Date Received	11-2-2020
Fee	\$2.00
Meeting Date	11-12-2020
Filing Deadline	
Receipt #	69333

1. Property Location 6116 HUNTLEY SQUARE
2. Present/Proposed Use RESTAURANT
3. Zoning District WORTHINGTON
4. Applicant EMELIA SAKA  
Address 6116 HUNTLEY SQUARE  
Phone Number(s) 614-804-6196  
Email emelia.saka62@gmail.com
5. Property Owner HUNTLEY SQUARE LLC  
Address 4173 LYMAN DR HILLIARD OHIO 43026  
Phone Number(s) \_\_\_\_\_  
Email \_\_\_\_\_
6. Project Description SIGN FOR NEW RESTAURANT
7. Project Details:
  - a) Design WALL MOUNTED SIGN PANELS
  - b) Color (4) WHITE, RED, GREEN, YELLOW
  - c) Size 276" x 36" (69 sq. ft.)
  - d) Approximate Cost \$1,250.00 Expected Completion Date \_\_\_\_\_

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

  
Applicant (Signature)

11-2-2020  
Date

  
Property Owner (Signature)

11-3-2020  
Date



ABUTTING PROPERTY OWNERS  
FOR  
6116 Huntley Rd.

Huntley-Frusta Columbus LLC  
DLZ Corporation  
Car JMC LLCd  
Weber Holdings North LLC

3701 Executive Center Dr., Ste 110  
6121 Huntley Rd.  
8484 Westpark Dr. Suite 200  
1602 Foxhall Rd.

Austin, TX 78731  
Columbus, OH 43229  
McLean, VA 22102  
Blacklick, OH 43004

# 6116 Huntley Rd.



100-002177 04/24/2017

CITY OF WORTHINGTON

DRAWINGS NO. AR 81-2020

DATE 11/02/2020



**SIGNWAY GRAPHICS, LLC**

5798 Cloverdale Dr., Galena, OH 43021

614-847-7578 • 740-909-4234

Date:  
**10/28/20**

Dwg: #2

File:  
**ELNAS AFRICAN2.FS**



CITY OF WORTHINGTON  
DRAWINGS NO. AR 81-2020  
DATE 11/02/2020



276" x 36" x .040 White Aluminum  
Red, green, and yellow vinyl graphics  
Aluminum panels to be attached to existing aluminum facade with metal screws.

Red "ELNAS AFRICAN DELIGHTS" 210" x 12.5"  
Green "Restaurant and Catering" 138" x 10"  
Red "614-553-8998" 41" x 5"  
Red "614-804-6196" 41" x 5"

Project address: 6116 Huntley Road, Columbus, OH 43229

**SIGNWAY GRAPHICS, LLC**

5798 Cloverdale Dr., Galena, OH 43021

614-847-7578 • 740-909-4234

Date:  
10/28/20

Dwg: #1

File:  
ELNAS AFRICAN.FS

CITY OF WORTHINGTON

DRAWINGS NO. AR 81-2020

DATE 11/02/2020



**SIGNWAY GRAPHICS, LLC**

5798 Cloverdale Dr., Galena, OH 43021

614-847-7578 • 740-909-4234

Date:  
10/28/20

Dwg: #3

File:  
ELNAS AFRICAN3.FS



**City of Worthington**  
**ARCHITECTURAL REVIEW BOARD**  
Certificate of Appropriateness  
Application

Case #	AR 82-2020
Date Received	11/3/2020
Fee	\$26pd
Meeting Date	
Filing Deadline	
Receipt #	

1. Property Location: 810 Oxford St.
2. Present/Proposed Use Residence
3. Zoning District ?
4. Applicant Louis C. Flocken
5. Address 810 Oxford St.
6. Phone Number(s) 614-848-6165, 257-2566
7. Email lflocken1@gmail.com
8. Property Owner Louis C. Flocken, Jennifer C. Flocken
9. Address 810 Oxford St., Worthington OH 43085
10. Phone Number(s) 614-848-6165, 614-257-2566
11. Email lflocken1@gmail.com
12. Project Description Cover front porch and side porch with permanent roofs.
13. Project Details:
  - a) Design \_Design consistent with current 1939 structure and similar porches in the community.\_
  - b) Color Beige to match current house color
  - c) Size \_See design plan - front approx. 6' x 7.5' and side 4.5' x 6' proportional to the current structure
12. a) Approximate Cost \$26,000 Expected Completion Date Spring, 2021

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Applicant (Signature)

10/30/2020

Date

Property Owner (Signature)

10/30/2020

Date

ABUTTING PROPERTY OWNERS  
FOR  
810 Oxford St.

Deborah Campbell  
Earl & Linda Riley  
Jessica Boucher  
George & Amy Callendine  
Resident  
Richard & Gloria Schuster  
Lee & Jolene Spector

822 Oxford St.  
821 Oxford St.  
817 Oxford St.  
341 Pecan Ct.  
803 Oxford St.  
800 Oxford St.  
55 Stafford Ave.

Worthington, OH 43085  
Worthington, OH 43085  
Worthington, OH 43085  
Delaware, OH 43015  
Worthington, OH 43085  
Worthington, OH 43085  
Worthington, OH 43085

Louis C. Flocken  
810 Oxford St.  
Worthington, Ohio 43085  
614-370-3657

October 30, 2020

Architectural Review Board  
City of Worthington Ohio

RE: 810 Oxford Application

This application is to construct small porches above the front door/stoop and the side door/stoop. Currently the front porch is constantly exposed to the weather and over time water has seeped under the siding and rotted the sill. Additionally, with the porch on the north side of the house it is consistently wet causing staining of the brick and mortar as well as contributing to moss growth.

The side porch is currently covered with a canvas awning. While the awning provides good coverage of the door and stoop, with it being on the north side of the house it is constantly stained with black growth of some sort.

The proposed construction is consistent with the current style and scale of the 1939 house and is consistent in appearance and scale with other porches in the neighborhood.

Materials will be consistent as current construction – similar to the current posts on the back yard porch. Siding, trim work and colors will be consistent with size and proportion with the current structure.

The goal is to make the new porches match the current structure and be consistent with similar porches in the community as much as practical.

CITY OF WORTHINGTON

DRAWINGS NO. AR 82-2020

DATE 11/03/2020

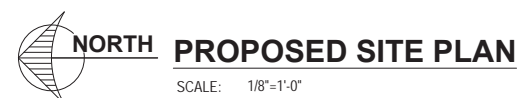


# 810 Oxford St.

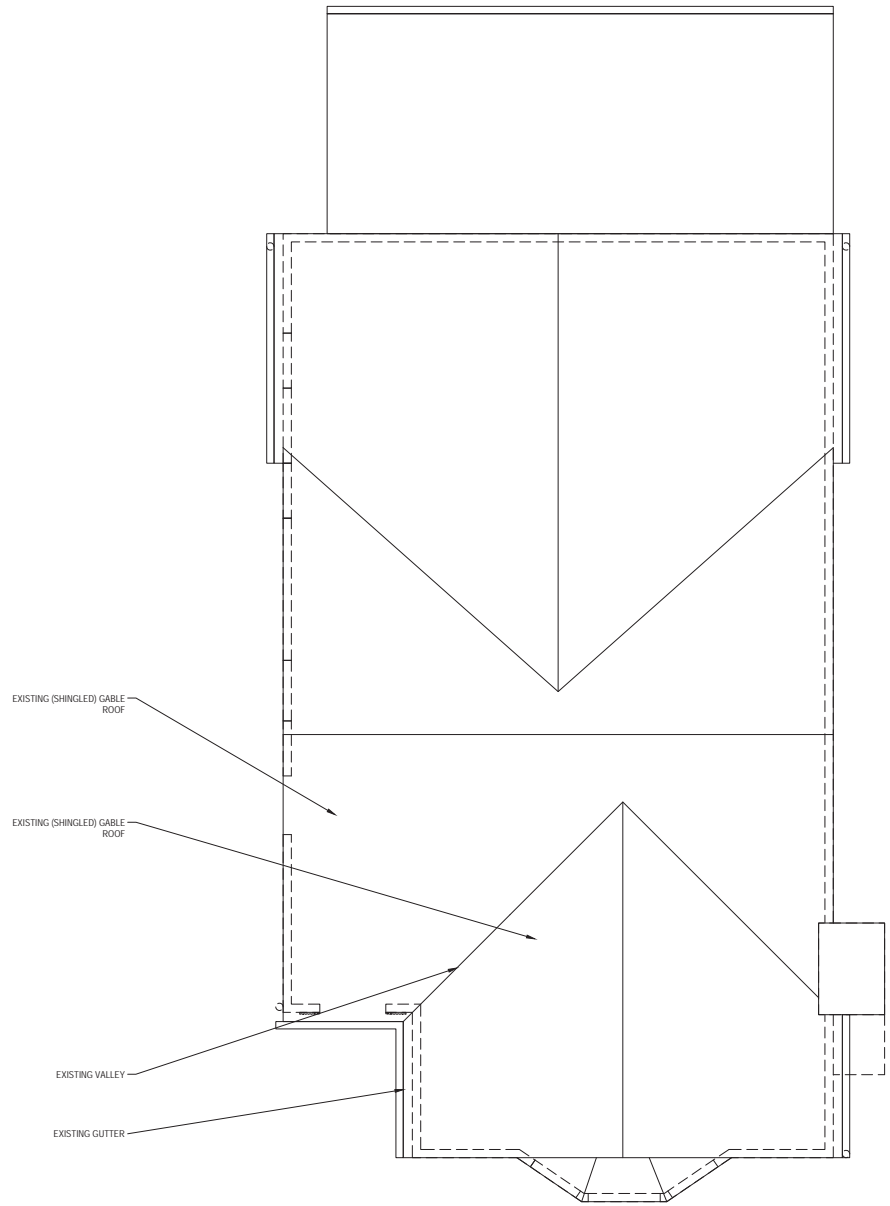


DATE 11/03/2020

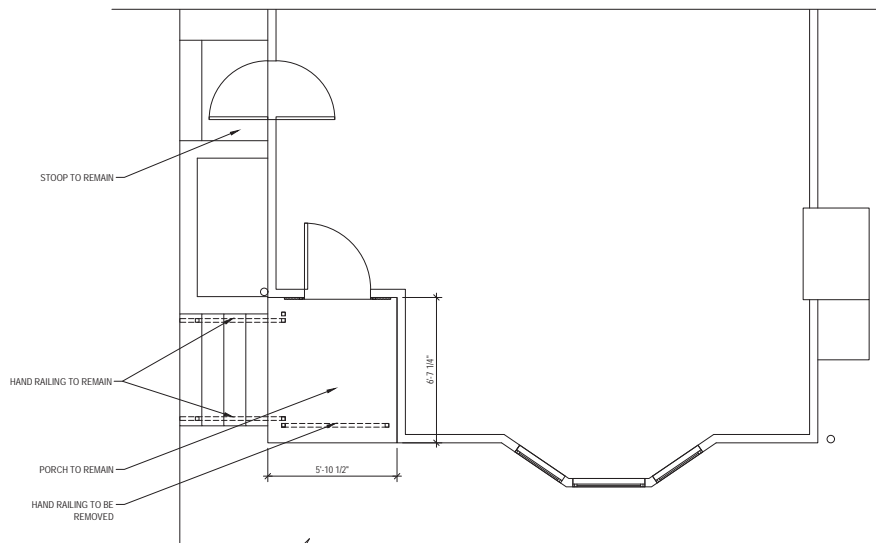
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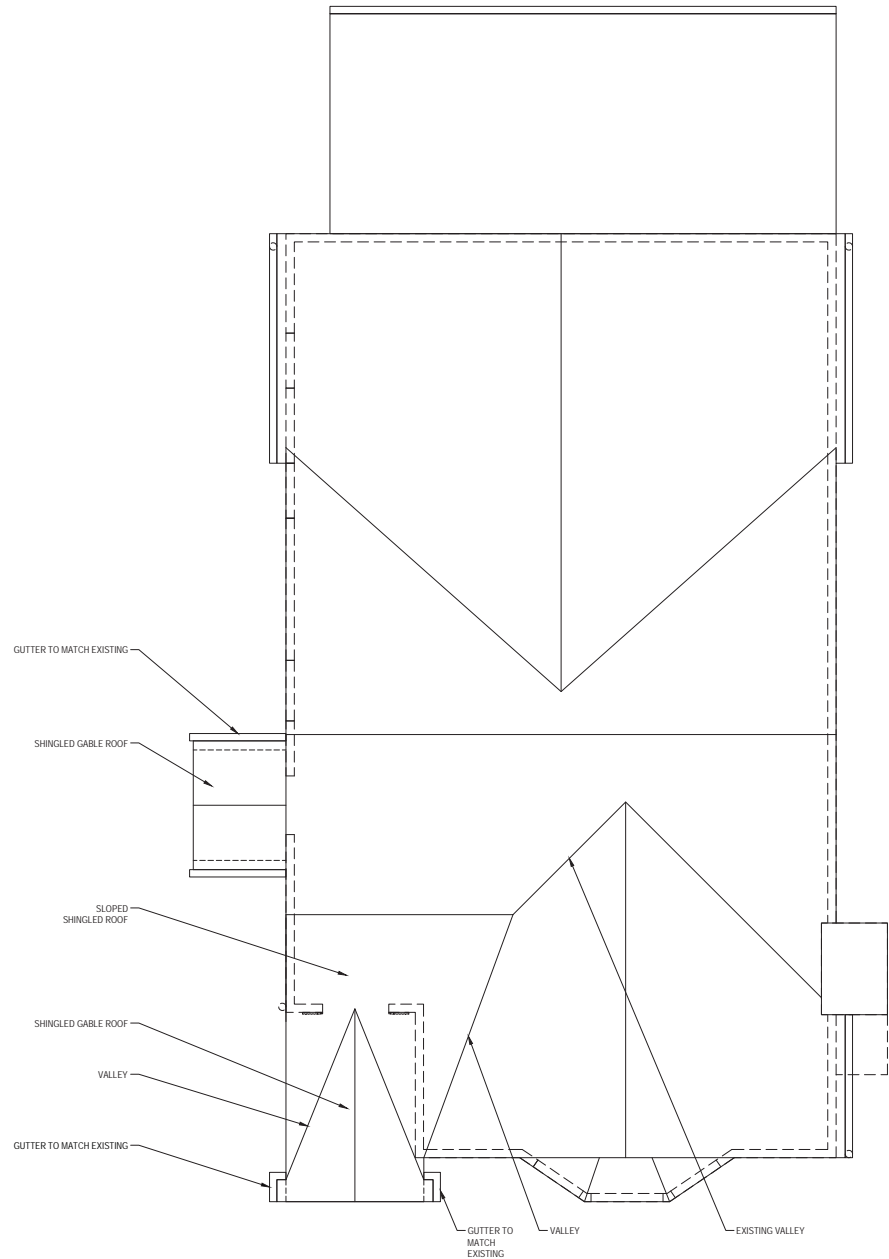
CITY OF WORTHINGTON  
DRAWINGS NO. AR 82-2020  
DATE 11/03/2020



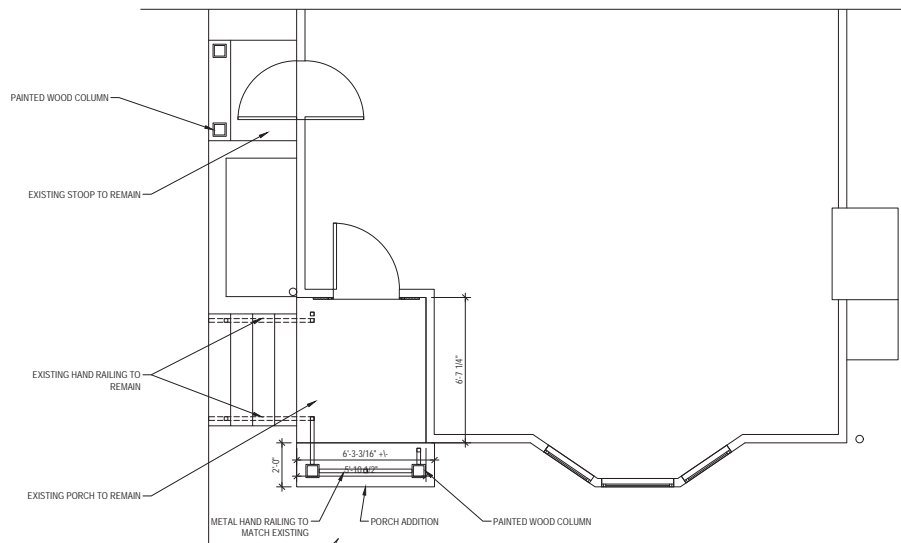
**NORTH** **EXISTING ROOF PLAN**  
SCALE: 1/4"=1'-0"



**NORTH** **EXISTING PORCH PLAN**  
SCALE: 1/4"=1'-0"



**NORTH** **PROPOSED ROOF PLAN**  
SCALE: 1/4"=1'-0"



**NORTH** **PROPOSED PORCH PLAN**  
SCALE: 1/4"=1'-0"

**FLOCKEN PORCH ADDITION**  
**LOU AND JENNY FLOCKEN**  
810 OXFORD STREET  
WORTHINGTON, OH. 43085

Drawing	Date
<input checked="" type="checkbox"/> Preliminary	06/11/20
<input type="checkbox"/> Bid	
<input type="checkbox"/> Permit	
<input type="checkbox"/> Construction	

Revisions	
△	△
△	△
△	△
△	△

Seal  
**NOT FOR**  
CONSTRUCTION

Project Number	20003
Sheet Title	PORCH PLANS AND ROOF PLANS
Sheet Number	<b>A-2</b>



**City of Worthington**  
**ARCHITECTURAL REVIEW BOARD**  
**Certificate of Appropriateness**  
**Application**

Case # AR 80-2020  
Date Received 10-30-2020  
Fee \$ 200.00  
Meeting Date 11-12-2020  
Filing Deadline \_\_\_\_\_  
Receipt # 69315

1. Property Location 649 High Street Worthington, OH 43085
2. Present/Proposed Use Restaurant and banquet facility
3. Zoning District C-5
4. Applicant 649 High LLC  
Address 634 High Street Suite A Worthington, OH 43085  
Phone Number(s) 614-547-7433  
Email krohyans@nedevco.com
5. Property Owner Same as Applicant  
Address \_\_\_\_\_  
Phone Number(s) \_\_\_\_\_  
Email \_\_\_\_\_
6. Project Description Reference narrative
7. Project Details:
  - a) Design \_\_\_\_\_
  - b) Color \_\_\_\_\_
  - c) Size 15,847 sqft
  - d) Approximate Cost \$400,000 Expected Completion Date August 2021

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

[Signature]  
Applicant (Signature)

10/30/20  
Date

[Signature]  
Property Owner (Signature) AGENT OF OWNER

10/30/20  
Date

# Abutting Property Owners List for 649 High St

Zettler Town & Country	661 High St.	Worthington, OH 43085
Snap Fitness	661 High St.	Worthington, OH 43085
Igloo Letterpress	661 High St.	Worthington, OH 43085
Grid Furnishings	661-A High St.	Worthington, OH 43085
DeRoberts Family LP	1270 Marlyn Dr.	Columbus, OH 43220
Graeter's Ice Cream	654 High St.	Worthington, OH 43085
Ride Home	650 High St.	Worthington, OH 43085
Elli Nail Spa	648 High St.	Worthington, OH 43085
The Candle Lab	646 High St.	Worthington, OH 43085
House Wine	644 High St.	Worthington, OH 43085
Dewey's Pizza	640 High St.	Worthington, OH 43085
Samuel Musgrove III	562 Evening St.	Worthington, OH 43085
Michael & Felicity Beck	321 W. New England Ave.	Worthington, OH 43085
CBRS Worthington LLC	400 W. Wilson Bridge Rd., Ste 250	Worthington, OH 43085
Michael & Luanne Clevenger	46 W. New England Ave.	Worthington, OH 43085
Resident	649 High St., #101	Worthington, OH 43085
Resident	649 High St., #102	
Resident	649 High St., #201	Worthington, OH 43085
Resident	649 High St., #202	Worthington, OH 43085
Resident	649 High St., #203	Worthington, OH 43085
Resident	649 High St., #204	Worthington, OH 43085
Resident	649 High St., #301	Worthington, OH 43085
Resident	649 High St., #302	Worthington, OH 43085





# City of Worthington

## CONDITIONAL USE PERMIT APPLICATION

Case #	CU 09-2020
Date Received	10-30-2020
Fee	\$25.00
Meeting Date	11-12-2020
Filing Deadline	#69316

1. Property Location 649 High Street Worthington, OH 43085
2. Zoning District C-5
3. Applicant 649 High LLC  
Address 634 High Street Suite A Worthington, OH 43085  
Home Phone \_\_\_\_\_ Work Phone 614-547-7433  
Email krohyans@nedevco.com
4. Property Owner Same as Applicant  
Address \_\_\_\_\_  
Home Phone \_\_\_\_\_ Work Phone \_\_\_\_\_  
Email \_\_\_\_\_
5. Business Name 649 High LLC
6. Type of Business/ Conditional Use Restaurant & Residential

### PLEASE READ THE FOLLOWING STATEMENT AND SIGN:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

[Signature]  
Applicant (Signature)

10/30/20  
Date

[Signature]  
Property Owner (Signature)  
AGENT OF THE OWNER

10/30/20  
Date



# 649 High St.



100-006630 04/25/2017



# 649 HIGH LLC

---

634 High Street Suite A, Worthington, Ohio 43085

CITY OF WORTHINGTON

October 30, 2020

DRAWINGS NO. AR 80-2020

CU 09-2020

DATE 10-30-2020

Director Lee Brown  
City of Worthington  
Planning and Building Department  
374 Highland Ave.  
Worthington, OH 43085

## **Worthington Inn Redevelopment Development Narrative for ARB and Conditional Use Permit Application**

### Overview and Developer Background

649 High LLC, the Applicant, intends to redevelop a portion of the existing Worthington Inn building. The redevelopment plan will involve converting approximately 1,000 square feet of the ground floor and the entire second and third floors to residential use as well as redecorating the remaining lower level and ground floor restaurant.

### Description and Brief History of Property

The subject property consists of a three-story building on a site that is approximately .48 acres in size. The subject property is currently zoned C-5, which allows various commercial uses and residential as a conditional use.

Since 1982 when 649 High LLC acquired the Worthington Inn, the property has been a mixed-use building. For the first 20+ years the property functioned as a hotel, restaurant, and banquet facility. In the mid-2000s, the hotel rooms were combined and renovated into eight luxury residential condominium units. At the same time, the entire property was placed into a condominium regime. Such regime resulted in multiple parcel numbers, one for each condominium, as well as the creation of four commercial condominium units. The western portion of the building was converted to residential condominiums, while the eastern portion of the building remained as a restaurant and banquet facility. The restaurant and banquet facilities continued to operate until January 2019. The owners made the difficult decision to wind down the restaurant operations due to declining sales and profitability. The typical challenges faced when running a restaurant, such as high fixed costs, low profit margins and intense competition were insurmountable, even during the best of times. The challenge The Worthington Inn faced as a restaurant and banquet facility, was its large size of approximately 15,000 square feet, in addition to costs of operations and declining sales.

### Proposed Redevelopment

The Applicant's goal is to convert a portion of the building to five residential units together with the renovation and repositioning of the remaining restaurant space. Specifically, the residential component will involve converting approximately 6,000 square feet of restaurant and banquet space to residential units. The Applicant hopes to right size the restaurant space to something more manageable and add additional residential units to the property. Such residential use in Old Worthington is recommended in the City's current Comprehensive plan, permitted under the current C-5 zoning as a conditional use and is in demand by individuals looking to live in the city center in something other than a single family detached home.

In terms of design, there will be limited exterior modifications, as most of the work will be on the interior of the building. Specific exterior changes include: replacing windows (with consistent look to what exists

---

today), adding new windows, a new entrance door to the ground floor on the north side of the building (behind the existing stair tower) and modifications to the third floor northern elevation where a portion of the covered patio will be enclosed to add additional living space. All exterior modifications will be designed to match existing conditions to the extent possible. See sample board and elevations for more details.

Construction and Phasing

Assuming all approvals and permits are obtained in 2020, the Applicant expects to begin construction in early 2021 and complete the project by late summer of 2021.

Comments Regarding Technical Matters (to submit with Conditional Use Permit Application) –responses in blue

- A. Effect on traffic patterns – decreased
  - B. Effect on public facilities – decreased
  - C. Effect on sewerage and drainage facilities – decreased
  - D. Utilities required – existing utilities can service the five units
  - E. Safety and health considerations – none
  - F. Noise, odors, and other noxious elements, including hazardous substances and other environmental hazards – none
  - G. Hours of use – 24/7 residential use
  - H. Shielding or screening considerations for neighbors – N/A
  - I. Appearance and compatibility with the general neighborhood – already fits in the neighborhood, as Worthington Inn building has eight residential condominium units
-

# Pella® Reserve™

## Traditional Wood & Clad/Wood

CITY OF WORTHINGTON

DRAWINGS NO. AR 80-2020

CU 09-2020

DATE 10-30-2020



Exquisitely designed windows and doors with unparalleled historical detailing.

Double-Hung Interior



Double-Hung Exterior



- **Historical details**

Our most historically authentic line of wood windows and patio doors. Featuring through-stile construction, deliberate proportions and intricate profiles. Pella Reserve products are the ideal choice for historical renovations and traditional building projects.

- **Authentic hardware**

Complement your project with historically authentic spoon-lock window hardware. Our Antiek casement window hardware is inspired by period furniture to deliver authentic traditional style.

- **Architectural interest**

Featuring the industry's only foam spacer solution, Pella's Integral Light Technology® grille helps capture the look of true-divided-light without sacrificing energy performance. Further your aesthetic with the putty profile, recreated with historically accurate angles – providing meaningful depth and a realistic shadow. Pella Reserve products offer the industry's deepest sash dimension.

- **Virtually unlimited customization**

If you can dream it, we can build it with our most customizable product line. From extra tall to extra wide, Pella can craft unique windows that complement your aesthetic. Custom sizes, grille patterns and designs, finishes, wood types and glass options are available.

- **Tailor-made solutions**

From preliminary drawings to installation, Pella's expert team of architects, engineers, drafters and consultants can work to deliver custom window and door solutions for your project. Partner with Pella to achieve your unique vision without concessions.

- **Intentional innovation**

Winner of the 2019 Most Innovative Window from Window and Door Magazine, the Integrated Rolscreen® retractable screen preserves aesthetic view. It is a double- and single-hung screen that appears when you open the window, and rolls away, out of sight, when you close it.

- **Durable interiors and extruded aluminum exteriors**

Create a custom exterior color to meet your design needs or choose from 27 standard color options. Interior finish options are available in four paints, eleven stains and primed and ready-to-paint.

- **ENERGY STAR® certified¹**

Pella wood products offer energy-efficient options that will meet or exceed ENERGY STAR guidelines in all 50 states. Pella Reserve products with triple-pane glass have been awarded the ENERGY STAR Most Efficient Mark in 2020.¹

- **Testing beyond requirements**

At Pella, our products are tested beyond requirements to help ensure they have long-lasting performance and reduce call-backs for you.

- **Best limited lifetime warranty²**

Pella Reserve products are covered by the best limited lifetime warranty in the business for wood windows and patio doors.²

Available in these window and patio door styles:



Special shape windows also available.

¹² See back cover for disclosures.

Product Specifications

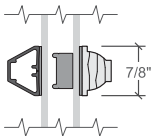
Window & Patio Door Styles	Min. Width	Min. Height	Max. Width	Max. Height	Performance Class & Grade	Performance Values			Frame / Install
						U-Factor	SHGC	STC	
Awning	13-¾"	13-¾"	53"	29"	LC40-CW50	0.25-0.29	0.18-0.47	27-33	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Precision Fit Awning	17"	17"	53"	29"	R50-CW50	0.28-0.32	0.18-0.47	27-33	Pocket Replacement
Casement	13-¾"	13-¾"	41"	96"	R35-CW50	0.25-0.29	0.18-0.47	27-35	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Precision Fit Casement	17"	17"	35"	73"	R45-CW50	0.28-0.33	0.18-0.47	27-30	Pocket Replacement
Fixed Casement	10"	10"	144"	144"	R35-CW50	0.25-0.29	0.18-0.47	27-35	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Precision Fit Fixed Casement	17"	17"	59"	73"	R45-CW50	0.28-0.33	0.18-0.47	27-30	Pocket Replacement
Double-Hung	14"	24-⅜"	48"	96"	CW40-CW50	0.25-0.30	0.19-0.53	26-34	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Precision Fit Double-Hung	13-½"	23-¾"	48"	84"	CW40-CW50	0.25-0.31	0.19-0.53	26-30	Pocket Replacement
Monumental Hung	13-¾"	24"	72"	144"	LC25-CW50	0.25-0.30	0.17-0.47	29-34	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
In-Swing Hinged Patio Door (Single)	18"	36"	48"	199-½"	LC40-LC55	0.25-0.29	0.14-0.40	31-32	
In-Swing Hinged Patio Door (Double)	36"	36"	96"	119-½"	LC40-LC55	0.25-0.29	0.14-0.40	31-32	
Out-Swing Hinged Patio Door (Single)	18"	36"	48"	119-½"	R50-LC70	0.25-0.30	0.14-0.39	30-32	
Out-Swing Hinged Patio Door (Double)	36"	36"	96"	119-½"	R50-LC70	0.25-0.30	0.14-0.39	30-32	
Sliding Patio Door (O)	30-¾"	74"	60-¾"	119-½"	LC25-LC70	0.29-0.32	0.15-0.42	—	
Sliding Patio Door (OX, XO)	59-¼"	74"	119-½"	119-½"	LC25-LC70	0.29-0.32	0.15-0.42	29-35	
Sliding Patio Door (OXO)	90"	74"	180"	119-½"	LC25-LC70	0.29-0.32	0.15-0.42	—	
Sliding Patio Door (OXXO)	116-⅞"	74"	236-⅞"	119-½"	LC25-LC70	0.29-0.32	0.15-0.42	—	For more info visit PellaADM.com
Multi-Slide Patio Door	40-¼"	50-½"	701-⅝"	119-½"	R15-LC25 <sup>3</sup>	0.30 - 0.36	0.15 - 0.46	—	
Bifold Patio Door	31-¾"	55-½"	312"	119-½"	R15-R25 <sup>3</sup>	0.26-0.44	0.13-0.45	—	

Window sizes available in 1/8" increments  
Special sizes available. For more information regarding performance, visit [installpella.com/performance](http://installpella.com/performance). For more information regarding frame and installation types, visit [PellaADM.com](http://PellaADM.com).

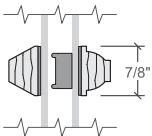
Grilles

Integral Light Technology®

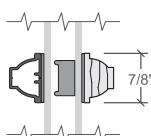
Choose the look of true divided light featuring the industry's only foam spacer.



Putty Glaze Exterior with Ogee Interior<sup>4</sup>  
5/8", 7/8", 1-1/4" or 2"



Putty Glaze Exterior with Ogee Interior<sup>4</sup>  
5/8", 7/8", 1-1/4" or 2"



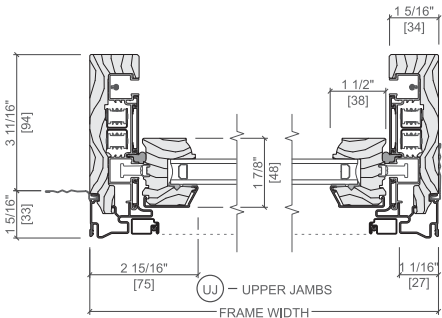
Ogee Exterior with Ogee Interior<sup>4</sup>  
5/8", 7/8", 1-1/4" or 2"

Cross Sections

Cross Sections

The double-hung cross sections provide visual reference to the historic putty exterior profile and traditional, beveled Ogee interior that add architectural interest to your project.

CITY OF WORTHINGTON  
DRAWINGS NO. AR 80-2020  
CU 09-2020  
DATE 10-30-2020



Optional Fold-out Installation Fin <sup>3,4</sup> See back cover for disclosures.

## Colors

### Wood Types

Choose the wood species that best complements your project's interior.



Pine



Douglas Fir



Mahogany

#### Custom solutions:



White Oak



Red Oak



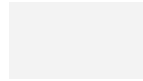
Cherry



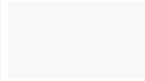
Maple

### Prefinished Pine Interior Colors

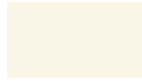
Custom interior finishes, unfinished or primed and ready-to-paint are also available.



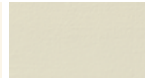
White



Bright White



Linen White



Artisan Greige



Natural Stain



Wheat Stain



Golden Oak Stain



Early American Stain



Provincial Stain



Dark Mahogany Stain



Red Mahogany Stain



Espresso Stain



Skyline Gray Stain



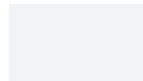
Charcoal Stain



Black Stain

### Extruded Aluminum-Clad Exterior Colors

Our low-maintenance EnduraClad® exterior finish resists fading. Take durability one step further with EnduraClad Plus which also resists chalking and corrosion.<sup>7</sup>



White



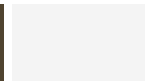
Tan



Putty



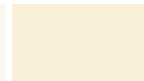
Brown



Classic White



Vanilla Cream



Poplar White



Almond



Sand Dune



Honeysuckle



Fossil



Portobello



Deep Olive



Auburn Brown



French Roast



Summer Sage



Hemlock



Hartford Green



Morning Sky Gray



Eldridge Gray



Iron Ore



Black



Naval



Stormy Blue



Real Red



Brick Red



Cranberry

Custom colors are also available.

## Added Peace of Mind

### Integrated Security Sensors

Integrated wireless security sensors maintain aesthetics, streamline security installation and ensure no warranty loss is caused by post-installation drilling. Sensors can be monitored via the free Pella® Insynctive® App and are compatible with major security panel systems.<sup>8</sup> For more information, go to [connectpella.com](https://connectpella.com).



### The confidence of Pella's warranty.

Pella® Reserve™ products are covered by the best limited lifetime warranty for wood windows and patio doors.<sup>2</sup>

<sup>1</sup> Some Pella products may not meet ENERGY STAR® guidelines in Canada. For more information, contact your local Pella sales representative or go to [energystar.gc.ca](https://energystar.gc.ca).

<sup>2</sup> Based on comparing written limited warranties of leading national wood window and wood patio door brands. See written limited warranty for details, including exceptions and limitations, at [installpella.com/warranties](https://installpella.com/warranties) or contact Pella Customer Service.

<sup>3</sup> Ratings are contingent on product configurations.

<sup>4</sup> Color-matched to your product's interior and exterior color.

<sup>5</sup> Flush multi-slide handle is a Pella exclusive design.

<sup>6</sup> Flush multi-slide handle is not available in Antique Brass, Champagne or Polished Nickel.

<sup>7</sup> EnduraClad Plus protective finish is not available with all colors. See your local Pella sales representative for availability.

<sup>8</sup> Requires the Insynctive App on a smart device, an Insynctive Bridge and a wireless home router with internet connection.

CITY OF WORTHINGTON

DRAWINGS NO. AR 80-2020  
CU 09-2020

DATE 10-30-2020



# THE MARVIN ULTIMATE DOUBLE HUNG NEXT GENERATION

**MARVIN**   
Windows and Doors  
Built around you.®

CITY OF WORTHINGTON

DRAWINGS NO. AR 80-2020  
CU 09-2020

DATE 10-30-2020





CITY OF WORTHINGTON

DRAWINGS NO. AR 80-2020

CU 09-2020

DATE 10-30-2020

#### INTERIOR PRODUCT FEATURES

### DESIGNED TO INSPIRE

1

#### RICH WOOD INTERIOR

Offers beauty and warmth with six standard wood species and ten interior finish options.

2

#### NARROW CHECKRAIL

Provides a sleek aesthetic to maximize daylight opening while maintaining historical accuracy.

3

#### DESIGN VERSATILITY

With an array of simulated divided lite patterns, interior and exterior color options, ten hardware finishes, and hundreds of roundtop sizes.

4

#### EXCLUSIVE AUTOLOCK

Activates when the sashes are closed, locking the window.

5

#### FIRST-RATE ENERGY EFFICIENCY

Meet ENERGY STAR® standards in energy efficiency with multiple glass options for various regions, climates and weather needs.

6

#### SASH BALANCE SYSTEMS

Enable smooth operation even at the largest sizes.



#### EXTERIOR PRODUCT FEATURES

### ENGINEERED FOR PERFORMANCE

7

#### DURABLE EXTERIOR CLADDING

Made with the industry's highest level of certification, AAMA 2605, extruded aluminum and backed by a 20-year warranty against chalking and fading.

8

#### ALUMINUM INTER-LOCK

Eliminates drafts and improves the window's overall structural integrity.

9

#### EXPANSIVE SIZES

Up to 5 feet wide by 10 feet high.

10

#### TRADITIONAL SILL BEVEL

The 14-degree bevel provides optimal water management while maintaining a classic look.

11

#### SUPERIOR WEATHER PERFORMANCE

The window's performance ratings are top in class, including CW-PG30 through CW-PG50 and LC-PG50 on most sizes and IZ3 certified coastal options.

Left window shown in Cherry with Wheat stain and Antique Brass hardware.

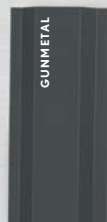
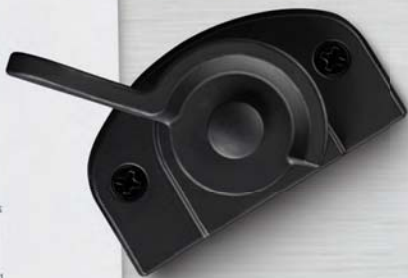
Right window shown in Suede aluminum cladding.



#### ALUMINUM CLADDING

### BEAUTY THAT DOESN'T FADE

Our cladding offers color flexibility to meet design goals with durability to protect against the elements. Backed by a 20-year warranty, Marvin's impact resistant extruded aluminum cladding is 3x thicker and much stronger than the industry-standard roll-form aluminum.\*\* Standing out for its extraordinary durability in nineteen spectacular colors, all finished in commercial-grade paint for superior resistance to chalking and fading, our aluminum cladding is designed to last.



#### WOOD SPECIES

Every master woodworker knows that one of the most important choices when crafting a new piece is selecting the right wood species for the project. With variations in grain, hardness and warmth, each one of our six standard wood species has something unique to offer.



#### INTERIOR FINISH OPTIONS

As part of our commitment to only creating the highest-quality windows and doors, every single piece of wood in each of our made-to-order products is conditioned, sanded, and baked during our integrated conditioning and staining process to provide an elegant and lasting finish. With nine stain and paint options to choose from, our customers can receive stunning, ready-to-install windows and doors without the mess, fumes, or inconvenience.

\* Pearlescent Aluminum Cladding  
\*\* Some colors may not qualify for the 20-year warranty. For details contact your representative.

CITY OF WORTHINGTON

DRAWINGS NO. AR 80-2020  
CU 09-2020

DATE 10-30-2020

## SPEC SHEET



### Darlana Small Tall 3/4 Wall Lantern

Item # CHO 2087BZ

Designer: Chapman & Myers

Height: 18.5"

Width: 7.5"

Extension: 6.75"

Backplate: 6.75" x 13.5" Rectangle

Finishes: BZ

Glass Options: CG

Socket: 2 - E12 Candelabra

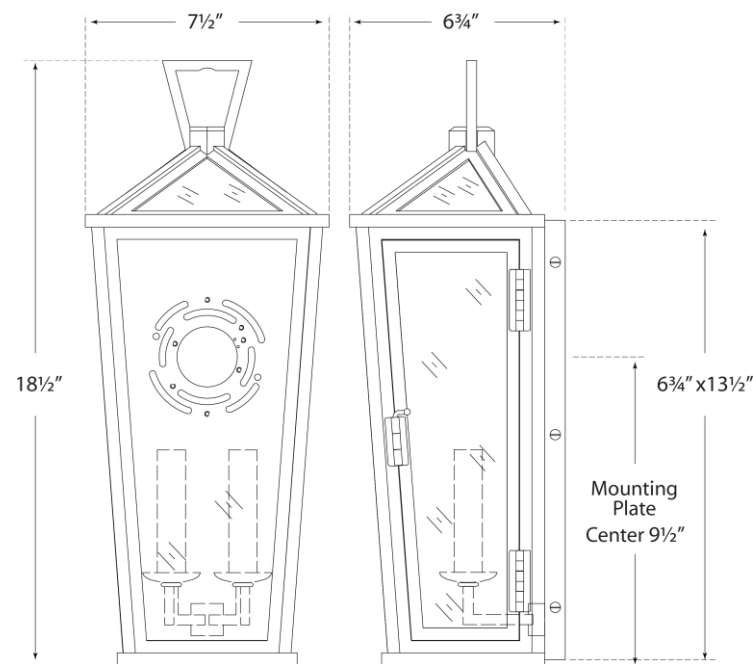
Wattage: 2 - 60 C

©EFC DESIGNS

CITY OF WORTHINGTON

DRAWINGS NO. AR 80-2020  
CU 09-2020

DATE 10-30-2020





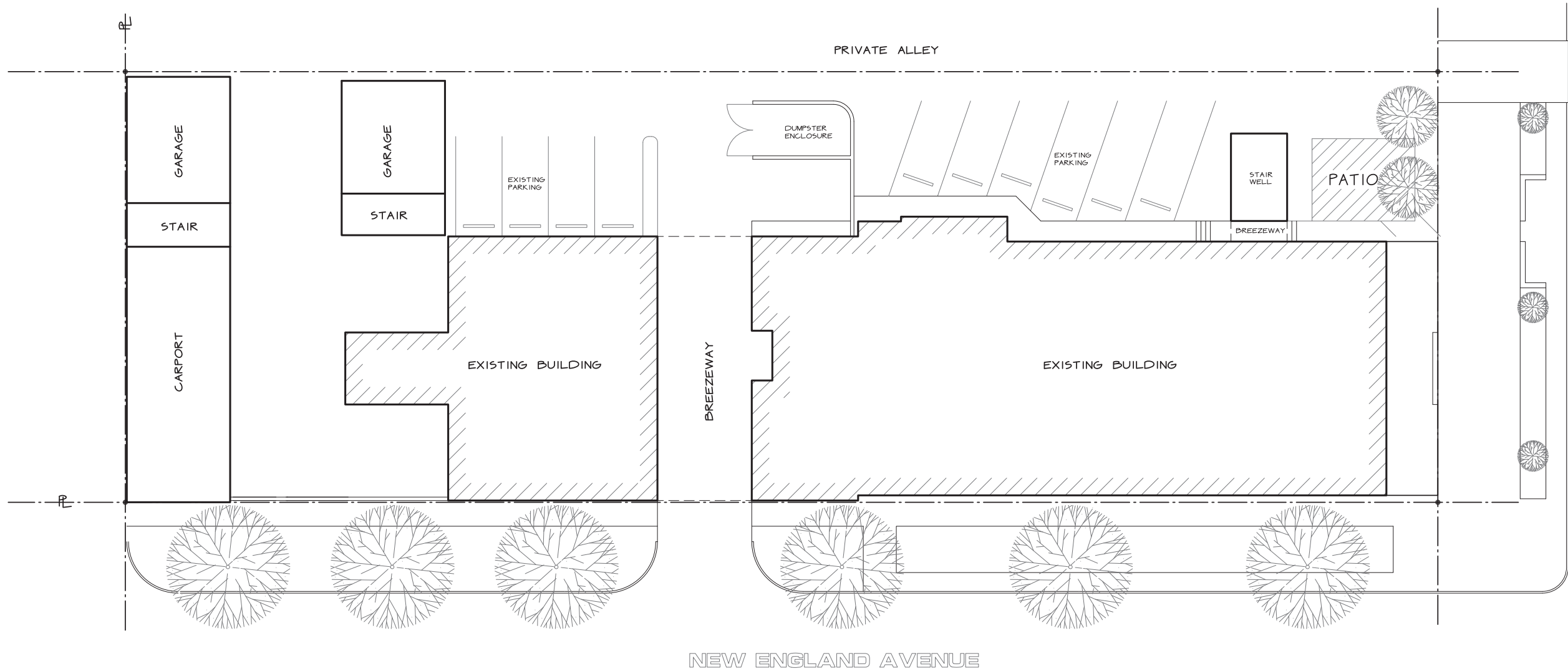
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WORTHINGTON INN  
PROPOSED APARTMENT  
641 NORTH HIGH STREET  
WORTHINGTON, OH 43085

D S A A R C H I T E C T S  
72 MILL ST. - GAHANNA, OH 43230 TEL (614) 840-0986  
WWW.DSAARCHITECTSINC.COM FAX (614) 840-0989

DWG. TYPE	SHEET NO.
S	1
COMM. NO.	DATE
16134.3	6/20/20



## SITE PLAN

3/32"=1'-0"



CITY OF WORTHINGTON

DRAWINGS NO. AR 80-2020  
CU 09-2020

DATE 10-30-2020

SITE PLAN



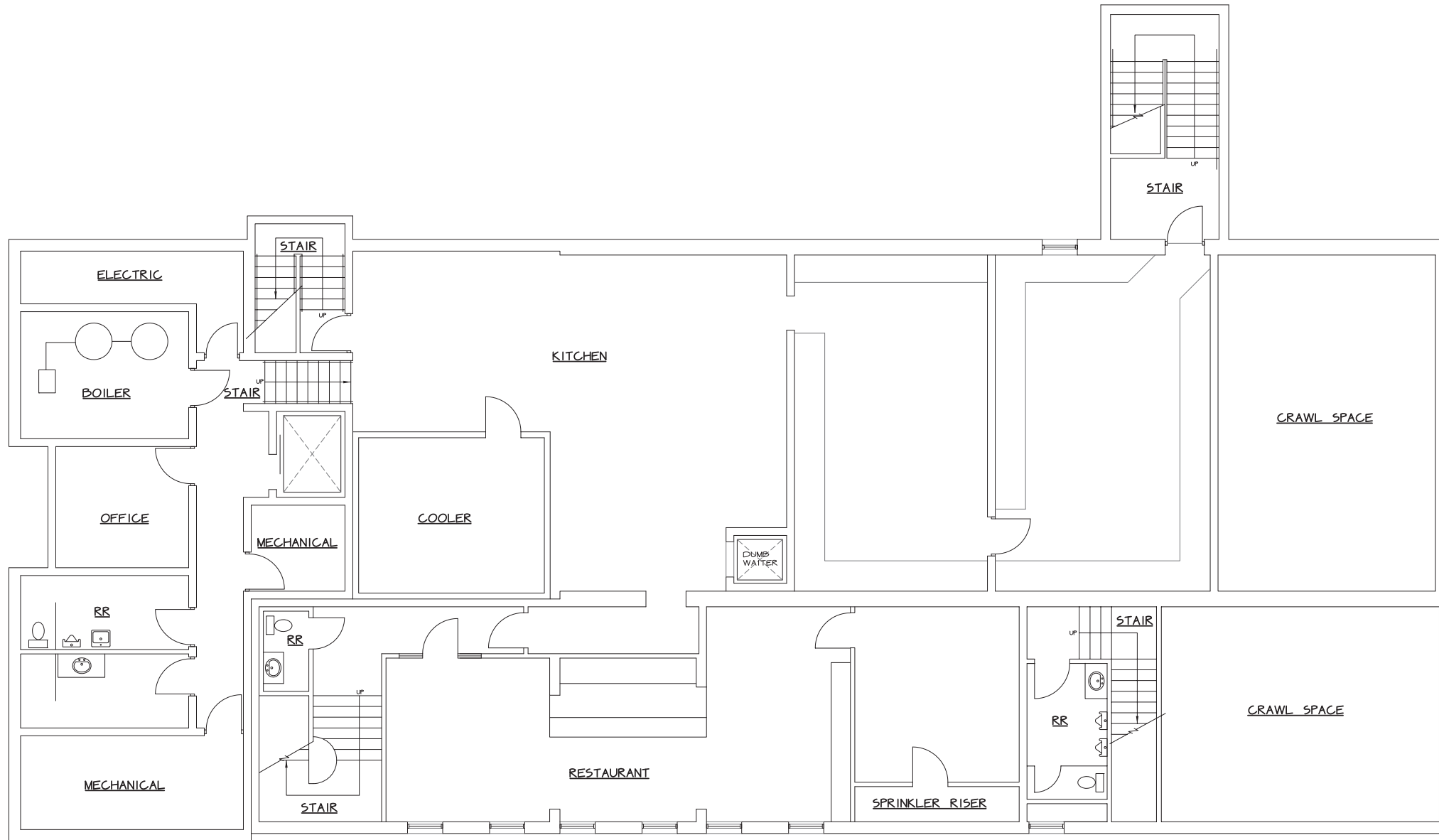
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WORTHINGTON INN  
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EXISTING BASEMENT FLOOR PLAN

3/16"=1'-0"



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CU 09-2020

DATE 10-30-2020

BASEMENT FLOOR PLAN

DWG. TYPE	SHEET NO.
A	1
COMM. NO.	DATE
18134.3	8/20/20

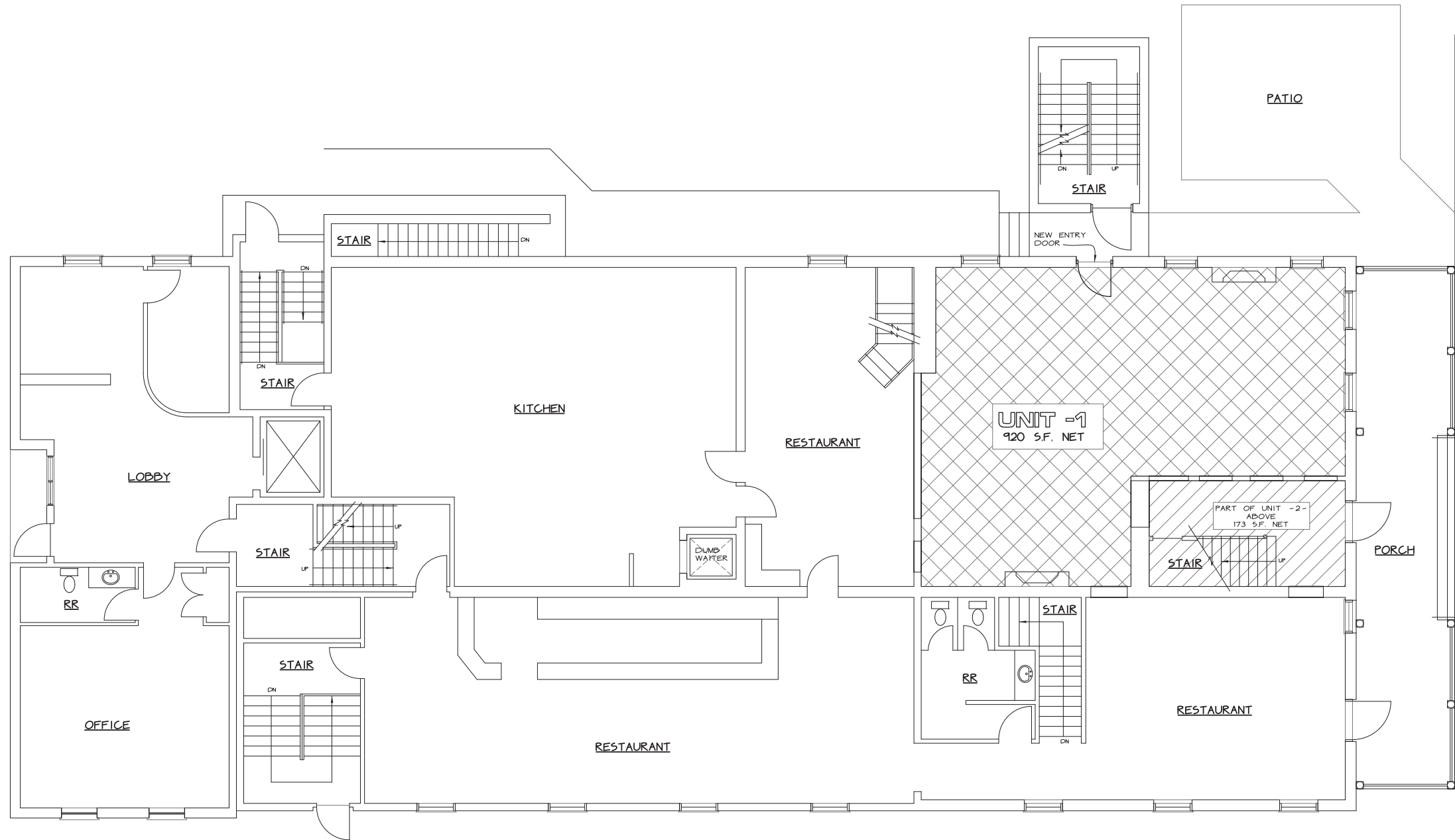


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649 NORTH HIGH STREET  
WORTHINGTON, OH 43085

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FAX (614) 840-0989  
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PROPOSED FIRST FLOOR PLAN

3/16"=1'-0"



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CU 09-2020

DATE 10-30-2020

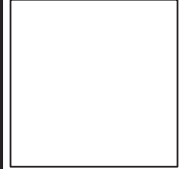
FIRST FLOOR PLAN

DWG. TYPE	SHEET NO.
A	2
COMM. NO.	DATE
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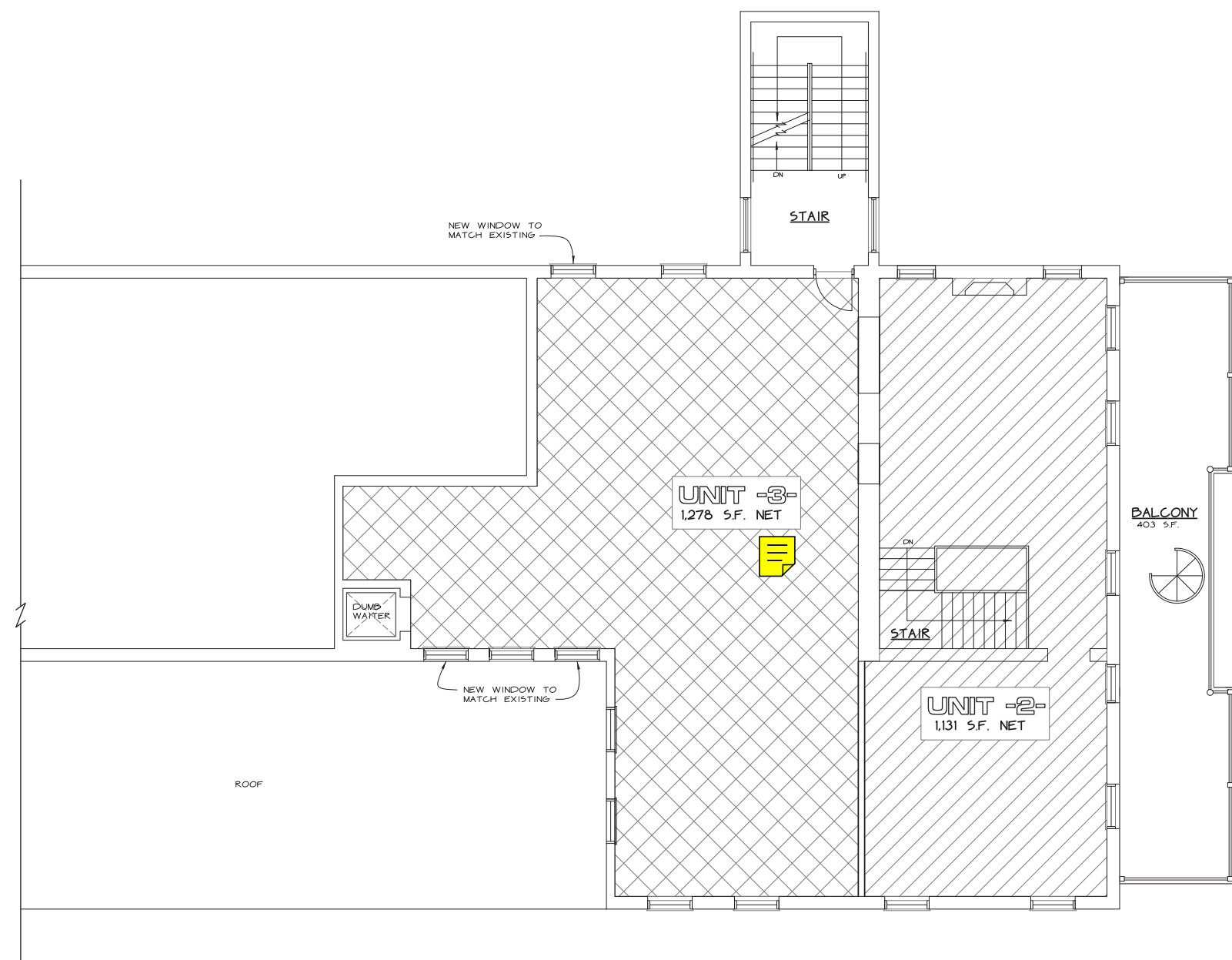


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**WORTHINGTON INN**  
PROPOSED APARTMENT  
649 NORTH HIGH STREET  
WORTHINGTON, OH 43085

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COMM. NO.	DATE
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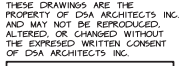
PROPOSED SECOND FLOOR PLAN

3/16"=1'-0"



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CU 09-2020  
DATE 10-30-2020

**SECOND FLOOR PLAN**



## REVISIONS

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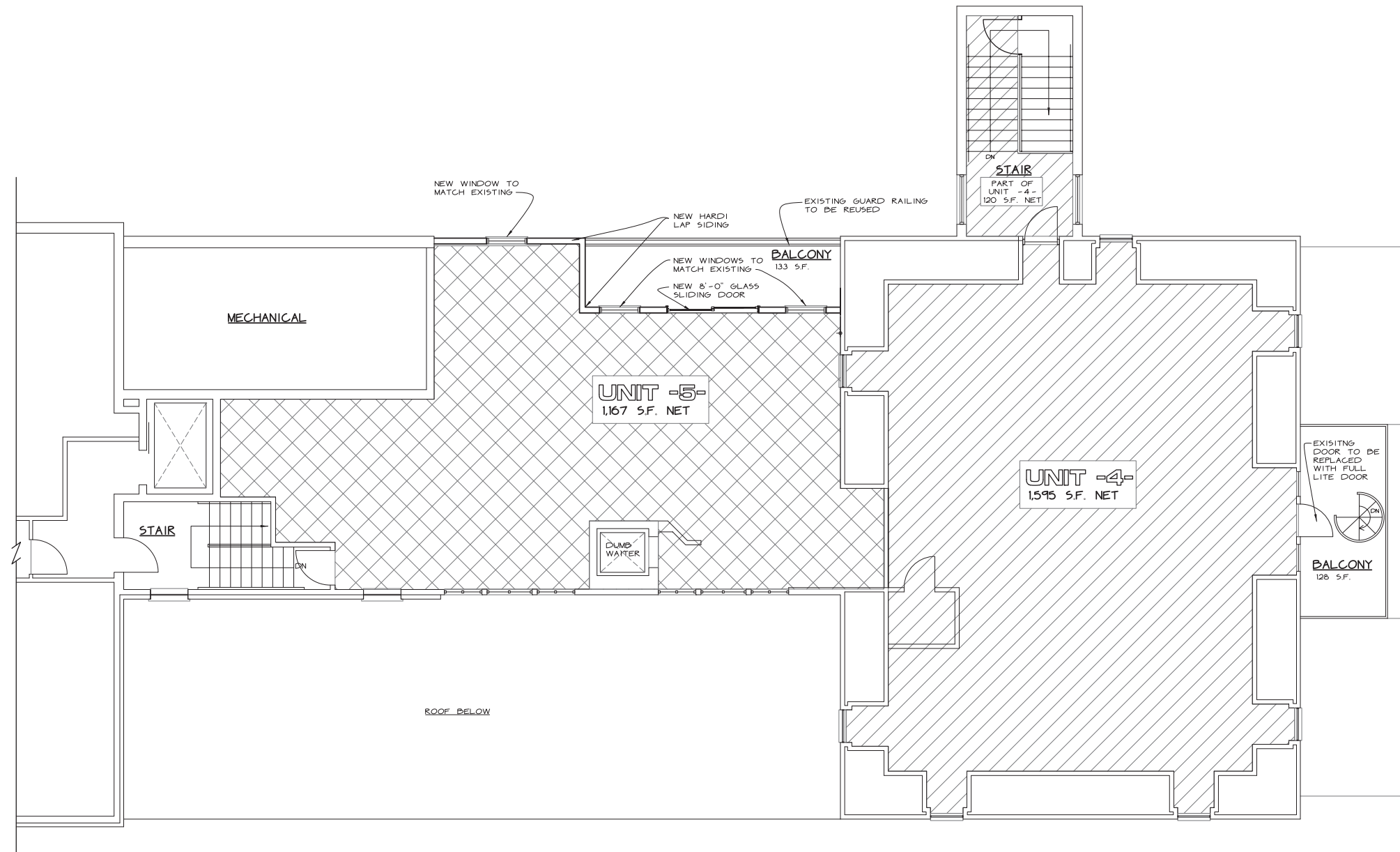
PROPOSED APARTMENT  
649 NORTH HIGH STREET  
WORTHINGTON, OH 43085

DESIGNER: **STUDIO H&P**

FAX (614) 840-0989

72 MILL ST. - GAITHERSBURG, MD 20878  
WWW.DSAARCHITECTSINC.COM

WG. TYPE <b>A</b>	SHEET NO. <b>4</b>
COMM. NO. <b>B134.3</b>	DATE <b>8/20/20</b>



### PROPOSED THIRD FLOOR PLAN

$$3/16" = 1' - 0"$$


CITY OF WORTHINGTON

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CU 09-2020

DATE 10-30-2020

### THIRD FLOOR PLAN



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OWNS TYPE	SHEET NO.
A	5
COMM. NO.	DATE
18134.3	8/20/20



## EAST ELEVATION

1/4"=1'-0"

### # CODED NOTES #

1. EXISTING WINDOW TO REMAIN
2. EXISTING WINDOW TO BE REPLACED TO MATCH EXISTING WITH MARVIN ULTIMATE SERIES IN SIERRA WHITE OR PELLA SERIES IN POPLAR WHITE.
3. NEW WINDOW TO MATCH EXISTING
4. EXISTING DOOR TO REMAIN
5. EXISTING DOOR TO BE REPLACED WITH FULL LITE DOOR
6. NEW 21'X26" WINDOW TO MATCH EXISTING
7. NEW VISUAL COMFORT DARLANA SMALL WALL LANTERN
8. NEW 6 PANEL CUSTOM SOLID WOOD DOOR PAINTED TO MATCH GREEN PAINTED DOORS FACING HIGH STREET.

CITY OF WORTHINGTON

DRAWINGS NO. AR 80-2020  
CU 09-2020

DATE 10-30-2020

EAST ELEVATION

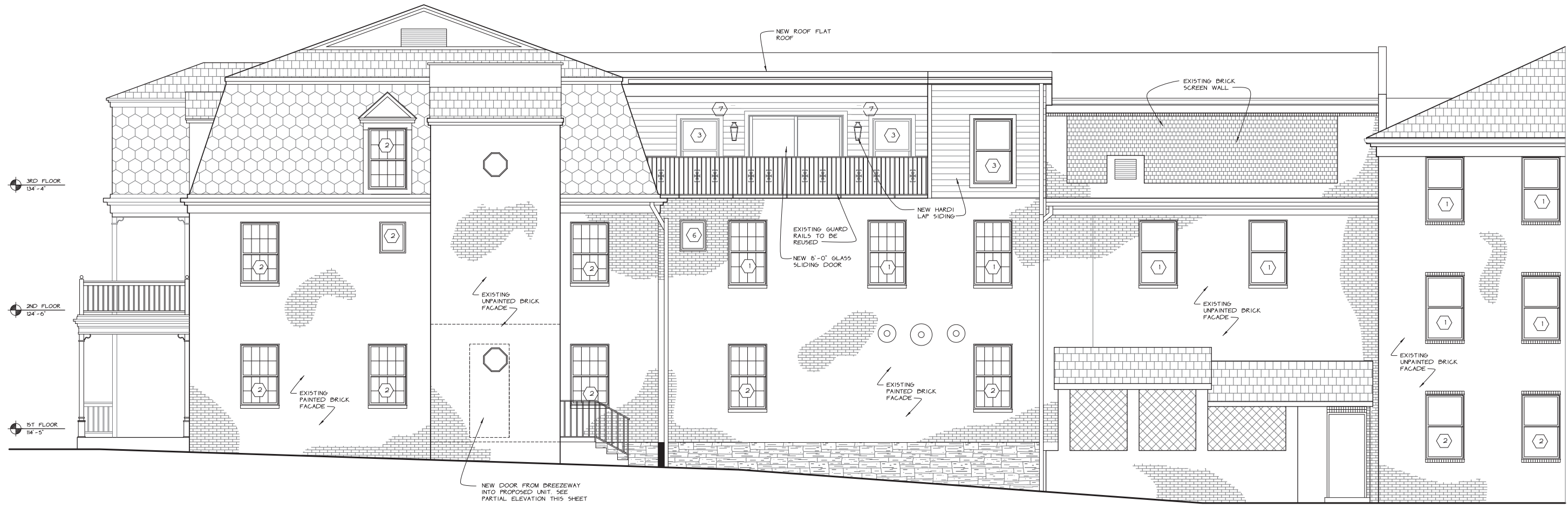


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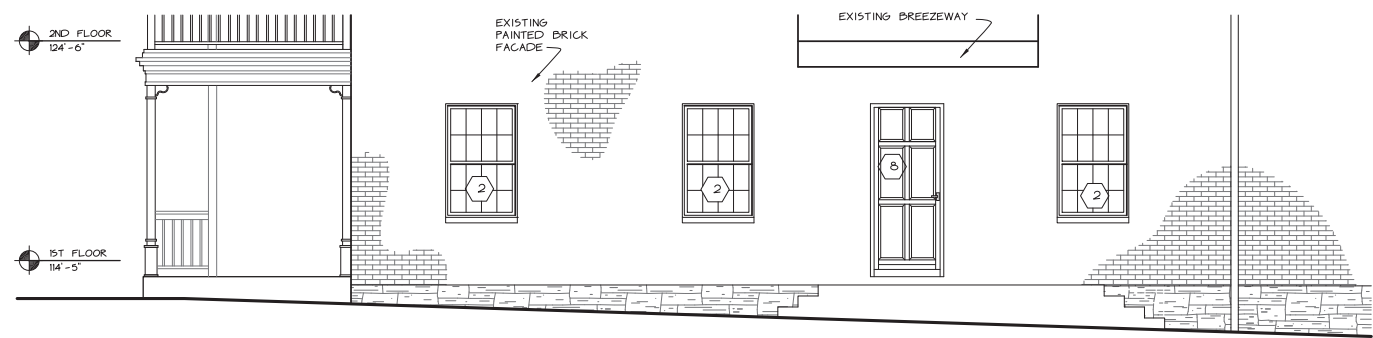
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NORTH ELEVATION

1/4"=1'-0"

#	CODING NOTES	#
1	EXISTING WINDOW TO REMAIN	
2	EXISTING WINDOW TO BE REPLACED TO MATCH EXISTING WITH MARVIN ULTIMATE SERIES IN SIERRA WHITE OR PELLA SERIES IN POPLAR WHITE.	
3	NEW WINDOW TO MATCH EXISTING	
4	EXISTING DOOR TO REMAIN	
5	EXISTING DOOR TO BE REPLACED WITH FULL LITE DOOR	
6	NEW 21X26" WINDOW TO MATCH EXISTING	
7	NEW VISUAL COMFORT DARLANA SMALL WALL LANTERN	
8	NEW 6 PANEL CUSTOM SOLID WOOD DOOR PAINTED TO MATCH GREEN PAINTED DOORS FACING HIGH STREET.	



PARTIAL NORTH ELEVATION

1/4"=1'-0"

CITY OF WORTHINGTON  
DRAWINGS NO. AR 80-2020  
CU 09-2020  
DATE 10-30-2020

NORTH ELEVATION

DWG. TYPE	SHEET NO.
A	6
COMM. NO.	DATE
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## SOUTH ELEVATION

1/4"=1'-0"

### # CODED NOTES #

1. EXISTING WINDOW TO REMAIN
2. EXISTING WINDOW TO BE REPLACED TO MATCH EXISTING WITH MARVIN ULTIMATE SERIES IN SIERRA WHITE OR PELLA SERIES IN POPLAR WHITE.
3. NEW WINDOW TO MATCH EXISTING
4. EXISTING DOOR TO REMAIN
5. EXISTING DOOR TO BE REPLACED WITH FULL LITE DOOR
6. NEW 2'X26" WINDOW TO MATCH EXISTING
7. NEW VISUAL COMFORT DARLANA SMALL WALL LANTERN
8. NEW 6 PANEL CUSTOM SOLID WOOD DOOR PAINTED TO MATCH GREEN PAINTED DOORS FACING HIGH STREET.

CITY OF WORTHINGTON

DRAWINGS NO. AR 80-2020

CU 09-2020

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FAX (614) 840-0989

DWG. TYPE	SHEET NO.
A	7
COMM. NO.	DATE
18134.3	8/20/20

SOUTH ELEVATION



# City of Worthington

## CONDITIONAL USE PERMIT APPLICATION

Case #	CU 08-2020
Date Received	10/28/2020
Fee	\$25.00
Meeting Date	
Filing Deadline	

1. Property Location 406 East Wilson Bridge Road.
2. Zoning District I-1
3. Applicant Mike Krehnbrink (Burn Bootcamp - Worthington)  
Address 7227 North High St.  
Home Phone 704-430-8366 Work Phone \_\_\_\_\_  
Email Ramwerk@yahoo.com
4. Property Owner ~~666/Weston Inc.~~ 400-406 East Wilson Bridge LLC MT  
Address 4760 Richmond Rd Ste 200 Cleveland OH  
Home Phone \_\_\_\_\_ Work Phone 440 349-9000  
Email Local Agent Jonathon Schuen, Columbus Industrial 614-437-4495  
jonathon.schuen@colliers.com
5. Business Name Burn Bootcamp - Worthington
6. Type of Business/ Conditional Use Recreational Facility

### PLEASE READ THE FOLLOWING STATEMENT AND SIGN:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Mike Krehnbrink  
Applicant (Signature)

10-22-20  
Date

Mal Fennell  
Property Owner (Signature)

10-27-20  
Date

Abutting Property Owners  
for 406 E. Wilson Bridge Rd.

RSFI Partners LLC

401 E. Wilson Bridge Rd.

Worthington, OH 43085

## Burn Bootcamp- Worthington Conditional Use Permit Application

Requesting a conditional use permit to operate a recreational facility at 406 East Wilson in a I-1 zoning area. Burn Bootcamp- Worthington currently operates in the Shoppes at Worthington Place @7227 North High Street. Burn's lease is being terminated to allow Direct Retail to demolish the building. Burn has operated in this location for 2.5 years and wants to stay in Worthington proper.

1A – no effect on traffic patterns

1B – No effect on public facilities

1C – No effect on sewage and drainage facilities

1D – Electrical, water, gas-preferred

1E – No special safety or health considerations

1F – Noise will not exceed the drone heard from adjacent I 275. No odors or other noxious, hazardous, or environmental hazards

1G – 5:00AM to 6:30PM

1H- No shielding or screening considerations for neighbors

1I- No change to exterior appearance.

2.0 See attached for Site Plan. There are no exterior changes to the building footprint.

3.0 Exterior sign has letters and figures that are approximately 12 inches tall, lighted blue and read

Burn Boot Camp (flame head symbol)

4.0 No change to exterior lighting.

5.0 See attached Site plan.

CITY OF WORTHINGTON

DRAWINGS NO. CU 08-2020

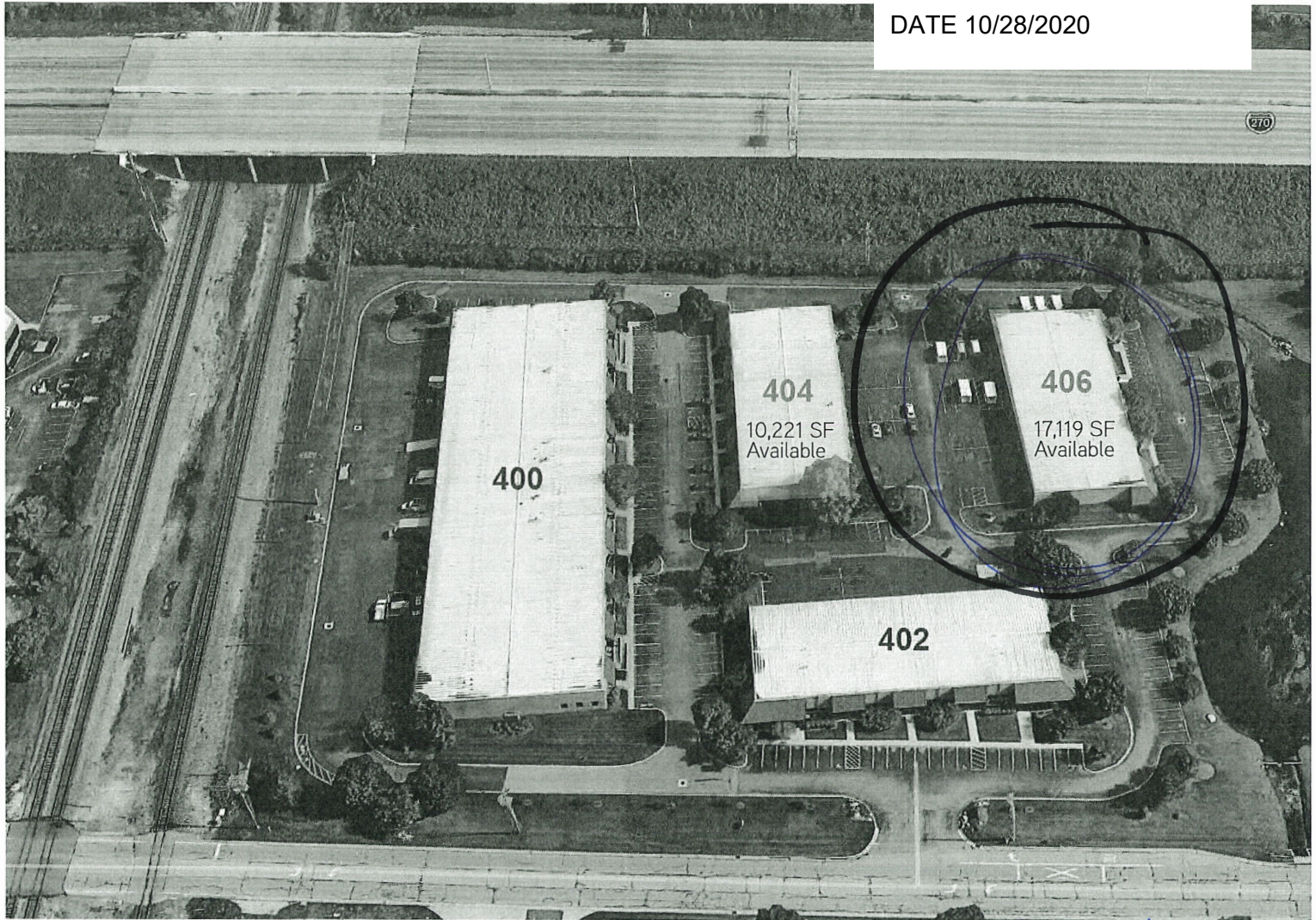
DATE 10/28/2020



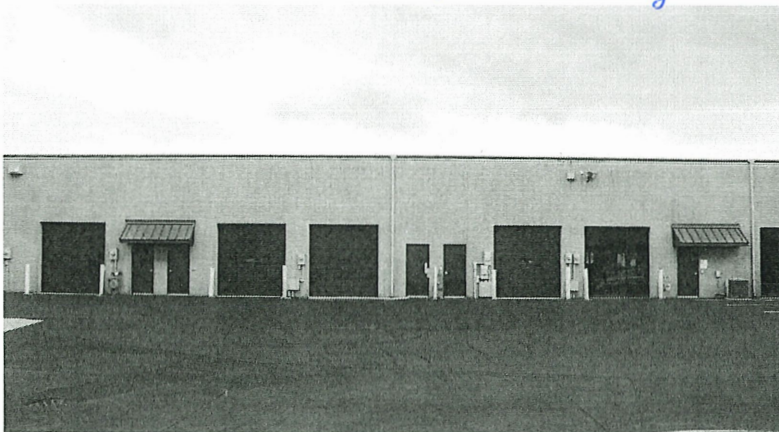
# 406 E. Wilson Bridge Rd.







*NO Changes to the exterior of the Bld.*



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shane.woloshan@colliers.com

MICHAEL R. LINDER, SIOR  
614.410.5628  
COLUMBUS, OH  
michael.linder@colliers.com

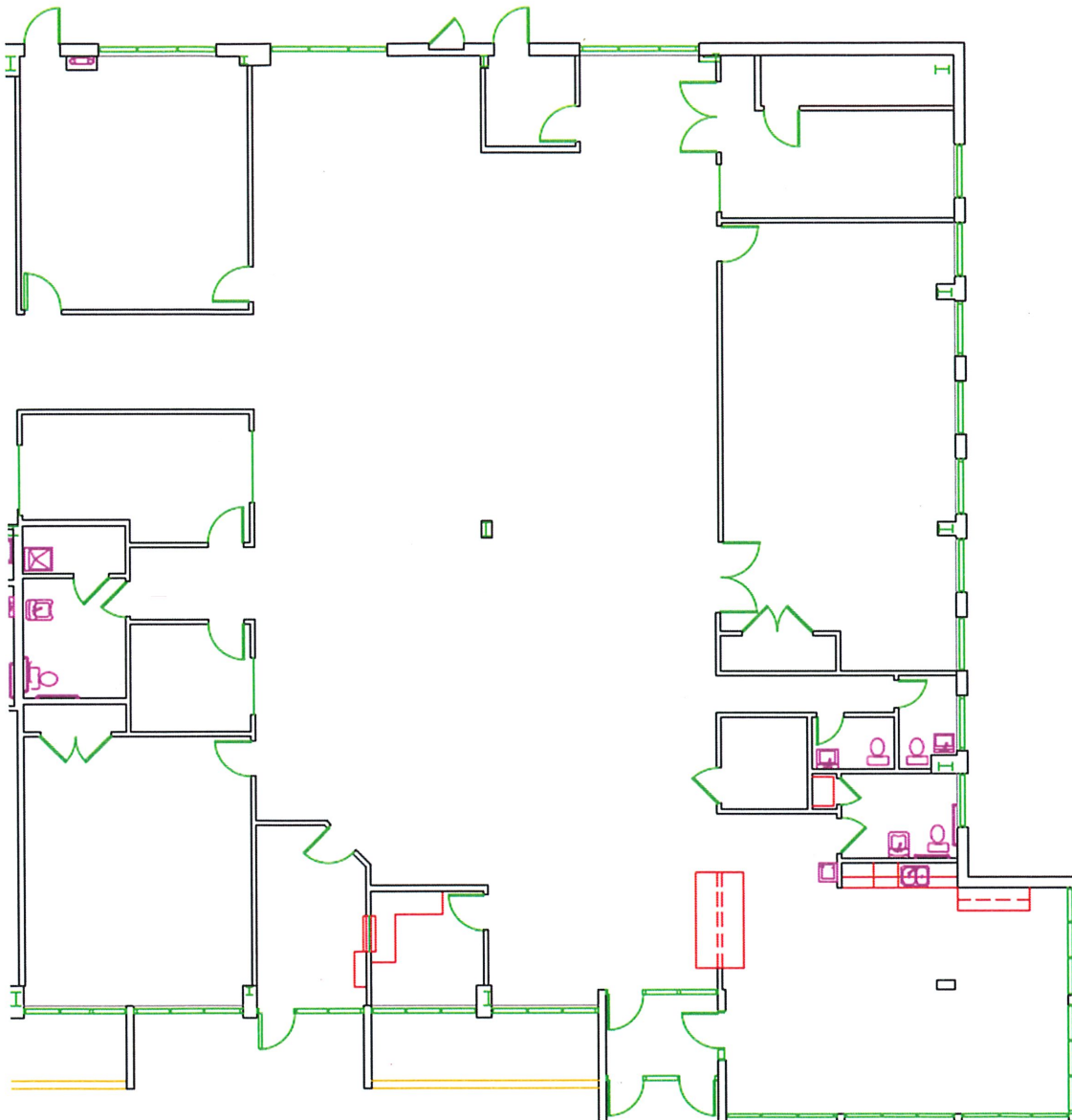




EXHIBIT A

PREMISES

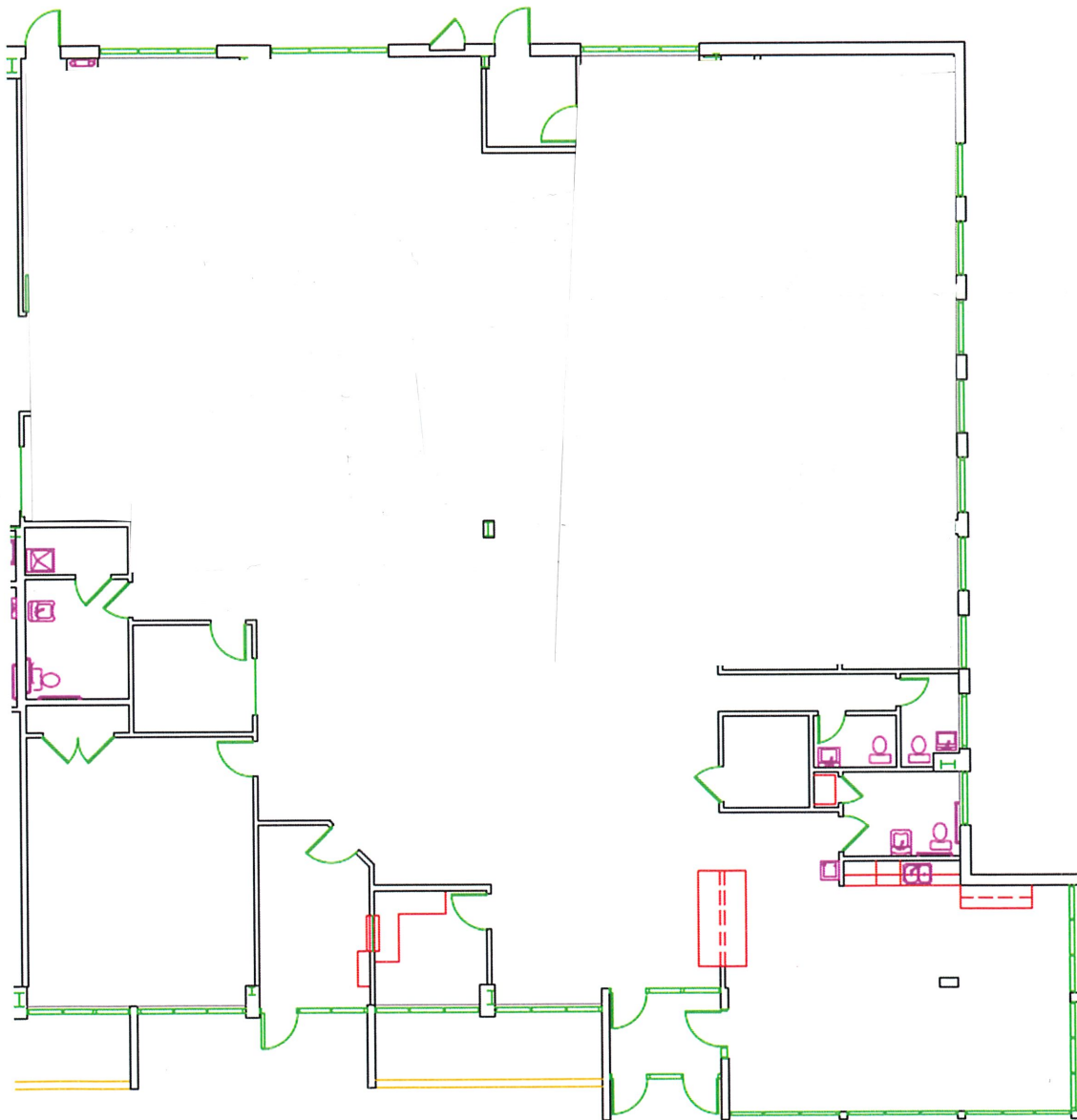
current interior



**EXHIBIT A**

**PREMISES**

*Proposed interior*



FOR LEASE > INDUSTRIAL SPACE

# Rush Creek Commerce Center

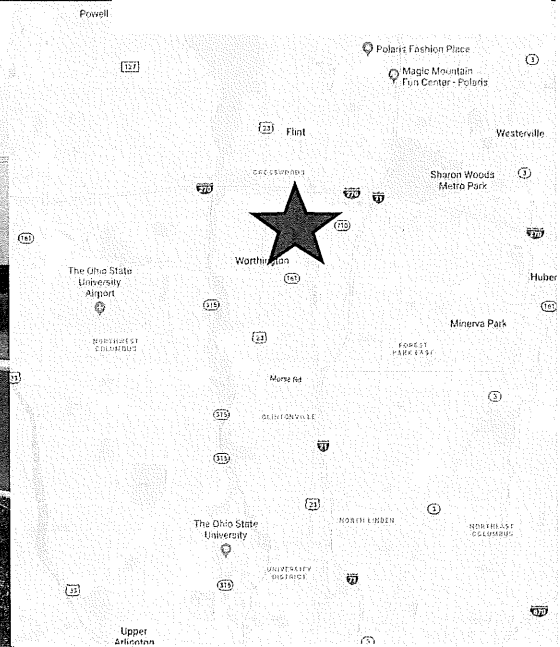
400 - 406 E. WILSON BRIDGE ROAD. WORTHINGTON, OHIO 43082

Colliers  
INTERNATIONAL

CITY OF WORTHINGTON

DRAWINGS NO. CU 08-2020

DATE 10/28/2020



## 400 - 406 E. Wilson Bridge Rd > Flex Space

Rush Creek Commerce Center is a four-building, multi-tenant, Class A flex property totaling 100,042 SF. This property offers easy access to I-270 and SR-23. Each space offers above standard amenities, including glass storefront windows with signage, ample parking and rear truck access to dock and drive-in doors. The property has been well maintained and is ideal for a wide variety of users seeking quality office/warehouse space in a prime suburban location.

Building Type:	Premium office/warehouse space
Available Space:	7,060 - 27,340 +/- SF
Lease Rate:	\$5.75 - \$6.25/SF NNN
Operating Expenses:	\$3.75/SF (estimated for 2019)

Rush Creek Commerce Center  
is owned by:



## Contact Us

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614.437.4495  
COLUMBUS, OH  
[jonathan.schuen@colliers.com](mailto:jonathan.schuen@colliers.com)

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[joel.yakovac@colliers.com](mailto:joel.yakovac@colliers.com)

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[shane.woloshan@colliers.com](mailto:shane.woloshan@colliers.com)

MICHAEL R. LINDER, SIOR  
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COLUMBUS, OH  
[michael.linder@colliers.com](mailto:michael.linder@colliers.com)

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GREATER COLUMBUS REGION**

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