



**BOARD OF ZONING APPEALS  
-AGENDA-  
Thursday, December 3, 2020 at 7:00 P.M.**

**This will be a virtual meeting that will be streamed on the internet:  
[worthington.org/live](http://worthington.org/live)**

---

**A. Call to Order - 7:00 pm**

1. Roll Call
2. Approval of minutes of the November 5, 2020 meeting

**B. Items of Public Hearing**

1. **Variance** – Front Yard Setback – Deck – **6753 Lakeside Circle W** (Mark D. Spence) **BZA 48-2020**
2. **Variance** – Setback from Alley - Fence – **5701 Foster Ave.** (Sasha Hardin) **BZA 49-2020**
3. **Variance** – Extension of Construction Completion Period - Additions – **44 W. Granville Rd.** (Jim Ash) **BZA 51-2020**
4. **Variance** – Front Yard Setback – New House – **285 McCoy Ave.** (Ezra Wallake, R4R General Contracting) **BZA 52-2020**
5. **Variance** – Screening Requirements – Parking & Bus Loop – **2341 Snouffer Rd.** (Schorr Architects/Perry/Phoenix Middle School) **BZA 54-2020**

**C. Other**

**D. Adjournment**



## MEMORANDUM

TO: Members of the Board of Zoning Appeals

FROM: R. Lee Brown, Director of Planning & Building  
Lynda Bitar, Planning Coordinator

DATE: November 25, 2020

SUBJECT: Staff Memo for the Meeting of December 3, 2020

---

### **B. Items of Public Hearing**

1. **Variances** – Front Yard Setback – Deck – **6753 Lakeside Circle W** (Mark D. Spence) **BZA 48-2020**

### **Findings of Fact & Conclusions**

#### **Background:**

This property is in the R-10 (Low Density Residential) Zoning District in the Potter's Creek neighborhood. The lot is approximately .63 acres in size and is located on a curve with the front of the property being 68' wide. The house is 49.2' from the right-of-way at its closest point and is at an angle to the street.

A 16' wide x 12'6" deep wood deck was constructed along the driveway over a former landscape bed that reportedly had dead trees. The drawing indicates the deck is 6" above grade.

#### **Worthington Codified Ordinances:**

1149.01 Yard, Area and Height for Dwellings and Accessory Structures  
The required front yard in the R-10 Zoning District is 30'.

#### **Request:**

The applicant is requesting to retain a deck that was constructed partially in the required front yard. It appears from the site plan and the survey that a corner of the deck would be in the setback.

#### **Conclusion:**

The character of the neighborhood may be altered as decks are not typically in front of houses, however, the variance is not substantial. Landscaping could help mitigate some of the impact.

**Motion:**

**THAT THE REQUEST BY MARK D. SPENCE FOR A VARIANCE FROM CODE REQUIREMENTS FOR FRONT YARD SETBACK TO RETAIN A DECK AT 6753 LAKESIDE CIRCLE WEST, AS PER CASE NO. BZA 48-2020, DRAWINGS NO. BZA 48-2020 DATED OCTOBER 16, 2020, BE APPROVED, BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND/OR PRESENTED AT THE MEETING.**

**2. Variances – Setback from Alley - Fence – 5701 Foster Ave. (Sasha Hardin) BZA 49-2020**

**Findings of Fact & Conclusions**

**Background:**

This 8,276 square foot property is an existing lot of record in the R-10 (Low Density Residential) Zoning District in the Colonial Hills neighborhood. The property abuts an alleyway that runs parallel to Foster Ave. The 16' wide alleyway provides access to a home on Lake Ridge Rd. and provides access to three houses on Foster Ave and one house on Loveman Ave. The property owner has an existing driveway on Foster Ave. that runs along the northern side of the house to an existing carport. There is also an existing shed and 2-car garage and that has access to the alleyway at the rear of the property. City staff was unable to find a permit or variance for the location of the existing shed and 2-car garage. The existing shed and garage should have been located 30-feet from the alleyway to be in compliance with City requirements.

The neighboring property owners have fences along the northern and southern portion of the site. The applicant would like to install a new vinyl white fence 6-feet in height to enclose the entire rear yard. It appears the new fence will be offset from the northern and southern property line and will be approximately 10-feet off the alleyway. Clarification is needed on how the space between the neighboring fences will be maintained.

**Worthington Codified Ordinances:**

Section 1149.01 states any dwelling or structure accessory to a dwelling must be at least 30 feet from the public right-of-way.

Section 1180.02(a) states "In any 'R' District, no fence or wall shall be erected in the area between the right-of-way line and the building setback line".

**Request:**

The applicant is requesting to install a white vinyl fence within the required setback from an alleyway. A variance of 20-feet is required.

**Conclusions:**

Although the fence is located in the setback from a public right-of-way, the alleyway is only used by five properties. The fence should not impact the existing residents who use this alleyway as access. These factors can mitigate the substantial nature of this variance request.

The fence is offset from the alleyway, whereas neighboring fences are right on the alleyway which helps lessens the overall impact.

The essential character of the neighborhood should not be substantially altered as other neighboring properties also have similar fences that abut the public right-of-way along this 16' wide alleyway.

The delivery of governmental services should not be impacted as a result of the request.

**Motion:**

**THAT THE REQUEST BY SASHA HARDIN FOR A VARIANCE FROM CODE REQUIREMENTS TO ALLOW FOR A FENCE TO BE LOCATED IN THE REQUIRED SETBACK FROM AN ALLEYWAY AT 5701 FOSTER AVE., AS PER CASE NO. BZA 49-2020, DRAWINGS NO. BZA 49-2020 DATED OCTOBER 20, 2020, BE APPROVED, BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND/OR PRESENTED AT THE MEETING.**

**3. Variance – Extension of Construction Completion Period - Additions – 44 W. Granville Rd. (Jim Ash) BZA 51-2020**

**Findings of Fact & Conclusions**

**Background:**

This property is in the R-10 (Low Density Residential) Zoning District within the Architecture Review District in Old Worthington. In April and May of 2019, the Architectural Review Board and the Board of Zoning Appeals approved additions to the existing home that were to be completed in two phases. BZA approved the applicants request to encroach into the rear yard and front yard setbacks.

Exterior finishes are completed at this time, it is only the interior work that needs to be completed.

**Worthington Codified Ordinances:**

Section 1305.06(b) The permit authorizing the work as shown on the approved construction documents is invalid if the work is not completed, inspected, and approved within eighteen months of the issuance of the permit.

Section 1305.06(c) Before any work authorized by a permit may continue for which the permit is invalid, the owner shall make application to the Board of Zoning Appeals for an extension of time as required under Chapter 1129 of the Planning and Zoning Code. Failure to complete work within said eighteen-month period or additional time granted by the Board of Zoning Appeals shall constitute a violation of this code.

Section 1129.05(b)(6) The Board may authorize, for good cause shown, extension of the time period provided for the completion of structures in the Building Code. However, the Board may not authorize the extension of the period for greater than a one-year extension of time subject to



one-year renewals such conditions as well safeguard the public health, safety, convenience and general welfare.

**Request:**

The applicant is requesting an extension of 1-year to complete the interior work. Staff feels this is an appropriate amount of time to finish the project, call for inspections, and close the permit.

**Conclusions:**

The construction has been in progress for over eighteen months. It is reasonable for the Board to consider an extension based on the issues addressed by the applicant and as this is the first extension being requested.

The exterior site work is finished, which alleviates any concern of this being viewed as an eyesore for the neighborhood, particularly as it is in Old Worthington on a main roadway. The unfinished work should not affect the character of the neighborhood.

The original permit was issued on July 2, 2019, however in March of 2020 the world was hit with a worldwide pandemic that shut down the region for several months. This slowed down the applicant's ability to finish the outstanding items in the allotted timeframe. The applicant has stated that they are holding off on the interior due to concern for his family's health.

The delivery of government services should not be affected with an extension to the project as long as all equipment and vehicles are outside of the public right-of-way.

**Motion:**

**THAT THE REQUEST BY JIM ASH FOR AN EXTENSION OF THE CONSTRUCTION COMPLETION PERIOD UNTIL DECEMBER 3, 2021 AT 44 W. GRANVILLE RD., AS PER CASE NO. BZA 51-2020, DRAWINGS NO. BZA 51-2020 DATED NOVEMBER 5, 2020 BE APPROVED, BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND/OR PRESENTED AT THE MEETING.**

4. **Variance** – Front Yard Setback – New House – **285 McCoy Ave.** (Ezra Wallake, R4R General Contracting) **BZA 52-2020**

**Findings of Fact & Conclusions**

**Background:**

This property is in the R-10 (Low Density Residence) Zoning District. The surrounding properties are also single-family homes in the R-10 District. The lot is 90-feet in width and 163-feet in length for a total of 14,670 square feet in the Morris Addition. The lot is heavily wooded with a prominent slope south towards Rush Creek.

The applicant is proposing to construct a new single-family dwelling. The proposed attached garage and retaining wall will be located in the front yard setback.

The proposed garage will be 5-feet 4-inches from the public right-of-way. The existing public right-of-way extends approximately 8-feet south of the edge of pavement for McCoy Ave. The placement of the garage and retaining wall will be approximately 13-feet 4-inches from the edge of the pavement.

The applicant will be regrading and adding fill to the site to help with the placement of the garage and house. This regrading and fill will permit the house to be constructed on the site with a walkout lower level and address any drainage issues on the site.

The applicant is requesting this location due to the sloping grade and vegetation in the rear yard and states the reduced setback is necessary to have level ground for the garage to be built.

**Property History:**

The original house was constructed in 1962 and was located 30-feet from the public right-of-way. There was an existing carport that was located in the front setback at the edge of the public right-of-way. The Board approved the reconstruction of the original carport in 2004 that was located at the edge of the public right-of-way. The existing house was demolished in 2015 and a new home started construction in late 2015, however in early 2016 the foundation walls collapsed when the contractor was backfilling dirt against the foundation. Throughout 2016 the foundation for the house sat until it was ultimately demolished.

The Board reviewed and tabled a similar variance request in August 2020 for a variance for the placement of a garage, retaining walls and screening wall around the front portion of the property that would be 5-feet 6-inches from the public right-of-way. City staff and the Board had a comfort level with the placement of the garage and the need for a retaining wall, however the primary concern at the August meeting related to the screening wall. The Board tabled the request to give the applicant time to address the large screening wall. The property has since sold to a new property owner.

**Worthington Codified Ordinances:**

Section 1149.01 requires all dwellings and structures accessory to the dwelling be at least 30 feet from the right-of-way line in the R-10 District.

Section 1180.02(a) states “In any ‘R’ District, no fence or wall shall be erected in the area between the right-of-way line and the building setback line”.

**Request:**

The applicant is requesting the structure and retaining wall to be 5-feet 4-inches from the existing public right-of-way. A variance of 24-feet 8-inches is required.

**Conclusions:**

The main portion of the proposed new home will be located approximately 36-feet back outside the public right-of-way. The proposed garage and retaining wall will be located entirely in the front setback. The main portion of the home will be at a similar setback as the previous structure and the surrounding homes along McCoy, however the garage and retaining wall will encroach into the front setback. The retaining wall will be approximately 3-feet 9-inches in height; however,

it will appear to be approximately 6-inches above grade from the street level. The roof of the garage that encroaches into the front setback and is a hip and valley roof type with the garage height being approximately 5-feet above the street grade on the western side sloping east to 8-feet. The use of a hip roof helps slope back the height of the building back away from the street. This helps with the overall appearance of a structure looming close to the roadway.

Staff is supportive of the request for the placement of the garage and retaining wall to encroach in the front setback. Detailed elevations were submitted with the application; these elevations help give you a better idea of the existing and proposed grade on the site and the overall impact on the site.

On August 1, 2019, the Board approved a variance at the neighboring property at 283 McCoy Ave. for the construction of a new home with a garage that would be located at 19'feet 6" from the public right-of-way. The main portion of the home was located outside of the front 30-foot setback.

The essential character of the neighborhood should not be substantially altered. The previous home was located at the same setback; however, the previous carport encroached into the setback and was located on the western portion of the site buried into the hillside whereas this proposal has the garage on the eastern portion of the site. The proposed garage and retaining wall should not alter the character of the neighborhood.

The previous carport was at the edge of the public right-of-way; however, it did have existing vegetation that helped buffer/screen the carport and was buried into the hillside.

Any fill and grading on the site should be done in a manner to not negatively impact the neighboring properties. All measures should be taken to control sediment and erosion control on the site throughout construction.

Protecting the steep slope, wooded area, and the integrity of Rush Run to the south of the lot is extremely important.

The delivery of government services should not be affected.

**Motion:**

**THAT THE REQUEST BY R4R GENERAL CONTRACTING ON BEHALF OF EZRA WALLAKE FOR A VARIANCE FROM CODE REQUIREMENTS TO ALLOW FOR A NEW SINGLE FAMILY DWELLING AND RETAINING WALL TO BE LOCATED IN THE FRONT YARD SETBACK AT 285 McCOY AVE. AS PER CASE BZA 52-2020, DRAWINGS NO. BZA 52-2020 DATED NOVEMBER 6, 2020, BE APPROVED, BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND/OR PRESENTED AT THE MEETING.**

5. **Variance** – Screening Requirements – Parking & Bus Loop – **2341 Snouffer Rd.** (Schorr Architects/Perry/Phoenix Middle School) **BZA 54-2020**

**Findings of Fact & Conclusions**

**Background:**

This property is in the S-1 (Special) Zoning District and is the site of Perry/Phoenix Middle School. The school is currently undergoing renovations to construct an addition to the existing building. Additional parking is proposed on the east side of the property and screening would be required to shield the adjacent residential properties. Due to the existing fencing and vegetation in that location, the applicant feels additional screening would be redundant and would make maintenance difficult.

The existing access drive is the closest pavement to the east property line being an average of 22' away. The new parking would be west of that 23' wide drive aisle. Originally a solid wall was proposed to screen the area.

**Worthington Codified Ordinances:**

Section 1149.03(a) states: Off-street parking spaces and access drives for non-residential uses must be at least 25 feet from the any residential district.

Section 1149.03(b) states: Off-street parking areas for more than five vehicles shall be effectively screened on each side which adjoins or faces premises situated in any residential district or institutional premises, by a masonry wall or solid fence. Such wall or fence shall not be less than four feet or more than six feet in height and shall be maintained in good condition without any advertising thereon. The space between such wall or fence and the lot line of the adjoining premises in any residential district shall be at least ten feet wide and landscaped with grass, hardy shrubs or evergreen ground cover and maintained in good condition. In lieu of such wall or fence, a strip of land not less than ten feet in width and planted and maintained with an evergreen hedge or dense planting of evergreen shrubs not less than four feet in height, may be substituted.

**Request:**

The applicant is requesting a variance to allow the existing fencing and landscaping substitute for the screening requirements in the Code.

**Conclusions:**

The existing mix of landscaping and fencing along the east side should meet the spirit and intent of the Code.

The character of the neighborhood should not be harmed.

**Motion:**

**THAT THE REQUEST BY SCHORR ARCHITECTS ON BEHALF OF PERRY/PHOENIX MIDDLE SCHOOL FOR A VARIANCE FROM CODE REQUIREMENTS TO PERMIT EXISTING LANDSCAPING AND FENCING TO SUFFICE AS THE SCREENING FOR NEW PARKING AT 2341 SNOUFFER RD., AS**

**PER CASE NO. BZA 54-2020, DRAWINGS NO. BZA 54-2020 DATED NOVEMBER 6, 2020, BE APPROVED, BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND/OR PRESENTED AT THE MEETING.  
1129.05 POWERS AND DUTIES.**

**Review Criteria for Granting Area Variances by the Board of Zoning Appeals:**

(c) Area Variances. The Board shall have the power to hear and decide appeals and authorize variances from the provisions or requirements of this Zoning Ordinance. In authorizing a variance, the Board may attach conditions and require such guarantee or bond as it may deem necessary to assure compliance with the objective of this Zoning Ordinance. The Board may grant a variance in the application of the provisions of the Zoning Ordinance when it is determined that practical difficulty exists based on the following factors:

(1) Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance;

(2) Whether the variance is substantial;

(3) Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer a substantial detriment as a result of the variance;

(4) Whether the variance would adversely affect the delivery of governmental services (e.g. water, sewer, garbage).

(5) Whether the property owner purchased the property with knowledge of the zoning restriction;

(6) Whether the property owner's predicament feasibly can be obviated through some method other than a variance; and,

(7) Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting the variance.



MINUTES OF THE REGULAR MEETING  
BOARD OF ZONING APPEALS  
VIRTUAL MEETING

November 5, 2020

**A. Call to Order – 7:00 p.m.**

1. Roll Call - the following members were present: Cynthia Crane, Chair; D.J. Falcoski – Vice-Chair; Brian Seitz, Secretary; Garrett Guillozet and Mikel Coulter. Also present were Lee Brown, Director of Planning & Building; and Lynda Bitar, Planning Coordinator.

2. Approval of Minutes of the October 1, 2020 meeting

Mr. Coulter moved to approve the minutes, and Mr. Seitz seconded the motion. Mr. Falcoski, aye; Mr. Coulter, aye; Ms. Crane, aye; and Mr. Guillozet, aye. The minutes were approved.

**B. Items of Public Hearing – Unfinished**

Mr. Coulter moved to remove the following item from the table, and Mr. Seitz seconded the motion. All Board members voted, “Aye,” and the item was removed from the table.

1. **Variance – Setback & Screening – 6625 Guyer St. (Schorr Architects/Worthingway Middle School) BZA 21-2020**

Mr. Brown reviewed the following from the staff memo:

**Findings of Fact & Conclusions**

**Background:**

This property is in the S-1 (Special) Zoning District and is the site of Worthingway Middle School. The school is currently undergoing renovations to construct an addition to the existing building. A setback variance was granted for this on October 3<sup>rd</sup>, 2019 for the building. Worthington Schools chose to delay seeking the variance for parking and screening so they could have additional conversations with surrounding property owners.

A portion of the proposed changes to the parking and access aisles are within 25 feet of residential uses. The applicant has provided an updated site plan that now provides a mix of fencing and landscaping along the perimeter of the site. Please see landscape plan. Many of the surrounding properties currently have a mix of landscaping and fencing along the perimeter of the site and/or are wide open to the site.

The applicant and Worthington Schools have been engaged in conversation with neighboring properties regarding screening and worked with the neighbors to see what they would like to see in place for screening as the site redevelops.

There were 59 existing parking spaces on the site, they are now proposing an additional 20 parking spots for a total of 79 parking spaces. Access and maneuverability on the site will be adjusted to permit 2-way traffic on the site, whereas in the past it was only an eastbound movement coming from the Thackeray Avenue entrance and exiting to Guyer Street.

**Worthington Codified Ordinances:**

Section 1149.03(a) states: Off-street parking spaces and access drives for non-residential uses must be at least 25 feet from the any residential district.

Section 1149.03(b) states: Off-street parking areas for more than five vehicles shall be effectively screened on each side which adjoins or faces premises situated in any residential district or institutional premises, by a masonry wall or solid fence. Such wall or fence shall not be less than four feet or more than six feet in height and shall be maintained in good condition without any advertising thereon. The space between such wall or fence and the lot line of the adjoining premises in any residential district shall be at least ten feet wide and landscaped with grass, hardy shrubs or evergreen ground cover and maintained in good condition. In lieu of such wall or fence, a strip of land not less than ten feet in width and planted and maintained with an evergreen hedge or dense planting of evergreen shrubs not less than four feet in height, may be substituted.

**Request:**

The applicant is requesting a variance to provide a mix of fencing and landscaping along the perimeter of the site adjacent to a residential use.

**Conclusions:**

Worthington Schools stated they have been having ongoing conversations with neighbors to discuss solutions for screening from the parking lot to their residences and provided an agreed upon plan for the site for screening. Please see application materials.

There is a mix of landscaping and fencing along the perimeter. The additional landscaping and fencing will provide additional screening to the affected areas. The applicant states in addition to the existing vegetation, several new trees and plantings will be provided throughout the site. This helps lessen the impact of the variance request.

The updated landscape plan improves the overall conditions on the site and the addition of 20 parking spaces adds additional parking on the school property.

The delivery of government services should not be affected.

**Discussion:**

Mr. Brown swore in the applicant, Mr. Paul Miller, 6080 Linworth Rd. Board members had no questions or concerns. Ms. Crane asked if there were any callers or emails.

**Motion:**

Mr. Seitz moved:

**THAT THE REQUEST BY SCHORR ARCHITECTS ON BEHALF OF WORTHINGWAY MIDDLE SCHOOL FOR A VARIANCE FROM CODE REQUIREMENTS TO PERMIT LANDSCAPING AND FENCING ASSOCIATED WITH THE PARKING AND DRIVE AISLES AT 6625 GUYER ST., AS PER CASE NO. BZA 21-2020, DRAWINGS NO. BZA 21-2020 DATED OCTOBER 27, 2020, BE APPROVED, BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND/OR PRESENTED AT THE MEETING.**

Mr. Falcoski seconded the motion. Mr. Brown called the roll. Mr. Coulter, aye; Mr. Guillozet, aye; Mr. Falcoski, aye; Mr. Seitz, aye; and Ms. Crane. The motion was approved.

**C. Items of Public Hearing - New**

1. **Variances – Side & Rear Yard Setbacks – Shed – 386 N. Selby Blvd. (James Whalen) BZA 45-2020**

Mr. Brown reviewed the following from the staff memo:

**Findings of Fact & Conclusions**

**Background:**

This property is in the R-10 (Low Density Residential) Zoning District in the Colonial Hills neighborhood. The lot is approximately 7,875 square feet in size and is 75-feet wide and 105-feet deep.

The applicant would like to construct an 80 sq. ft. shed 3-feet from the western and northern property line.

**Worthington Codified Ordinances:**

Section 1149.08(b) of the Worthington Codified Ordinances has the following regulations for accessory buildings:

- If the accessory structure is less 120 square feet, it must be setback at least 5-feet from the side yard lot line, and 5-feet from the rear lot line.

**Request:**

The applicant is requesting to install a shed in the required rear and side yard. A variance of 2-feet is required for the rear yard and side yard.

**Conclusions:**



The substantial character of the neighborhood should not be substantially altered as there are sheds in similar locations throughout the neighborhood. This factor may also lessen the impact of the variance request.

There is an existing 8-inch sanitary sewer line that runs east to west in an easement owned by the City that is located across the rear of the property that is 8-feet in width on the applicant's property that was previously an unimproved 16-feet wide alleyway.

- The Director of Service & Engineering will permit the shed to be located in the easement at a minimum of 5-feet from the rear property line with the condition that if the City needs to gain access to the sewer that it will not be at a cost to the City if the shed needs to be moved, but of the property owner.

The delivery of government services should not be affected, however there may be an impact if the City would need to access the sanitary sewer line. The following motion was recommended:

**Discussion:**

Mr. Brown swore in the applicant, Mr. James Whalen, 386 N. Selby Blvd., Worthington, Ohio. Mr. Whalen said the distance on both sides of the concrete pad was three feet. Board members had no questions or concerns. Ms. Crane asked if there were any callers or emails and Mrs. Bitar said no.

**Motion:**

Mr. Guillozet moved:

**THAT THE REQUEST BY JAMES WHALEN FOR A VARIANCE FROM CODE REQUIREMENTS FOR REAR AND SIDE YARD SETBACK TO CONSTRUCT A SHED AT 386 N. SELBY BLVD., AS PER CASE NO. BZA 45-2020, DRAWINGS NO. BZA 45-2020 DATED SEPTEMBER 15, 2020, BE APPROVED, BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND/OR PRESENTED AT THE MEETING WITH THE CONDITION THAT IF THE CITY NEEDS TO GAIN ACCESS TO THE SANITARY SEWER THAT IT WILL NOT BE AT A COST TO THE CITY IF THE PAD AND SHED NEEDS TO BE MOVED AND THAT IT WILL BE 3-FEET FROM THE REAR PROPERTY LINE.**

Mr. Coulter seconded the motion. Mr. Brown called the roll. Mr. Seitz, aye; Mr. Falcoski, aye; Mr. Coulter, aye; Mr. Guillozet, aye; and Ms. Crane, aye. The motion was approved.

**2. Variances – Signage – Book Locker – 820 High St. (Worthington Public Library) BZA 46-2020**

Mrs. Bitar reviewed the following from the staff memo:

**Findings of Fact & Conclusions**

**Background & Request:**

The Worthington Public Library purchased the site at the southwest corner of E. Stafford Ave. and Hartford St. in 1973 and received approval to construct a new library in 1977 & 78. The library moved from 752 High St. to 805 Hartford St. in 1979. In 1993, the library purchased the office building adjacent to the west at 820 High St. That site was home to a gas station starting in the 1930's, with the current building being constructed in 1977 as a First Federal Savings and Loan. In 1996, the buildings were combined and renovated for use by the Worthington Libraries. Additional modifications were made in 2007.

The library was approved by the Architectural Review Board in September to replace the exterior book lockers. Variances are now requested to accommodate those lockers.

**Project Details:**

1. The existing book lockers are near the library entrance on the south side of the building, and on a west facing wall. The lockers can be accessed on the inside by library workers and on the outside by patrons. The technology for these lockers is reportedly obsolete and cannot be upgraded. These lockers would be removed, and the inside and outside walls are to be repaired to match the existing walls.
2. Proposed are a bank of lockers that will be exclusively on the exterior. The roof overhang of the building would not adequately cover the units, so a slanted roof structure is proposed on top of the lockers. The entire unit is proposed to be white, with the roof material being a shaded plexiglass. Library staff would like the lockers to be wrapped in a cover that would identify the library, making use of the colors and characters used elsewhere in the library.
3. Variances would be needed for the number of colors and for the digital screen.

**Worthington Codified Ordinances:****1170.03 DESIGN REQUIREMENTS.**

(a) Movement. No sign shall incorporate movement or the illusion of movement. Pennants, streamers, banners, and other non-rigid devices are prohibited. Business flags are an exception.

(b) Illumination. Internally illuminated signs shall be constructed so as to allow the illumination of only letters, numbers or other identifying symbols on the display surface. No light shall pass through the background. Internally illuminated signs shall not exceed the equivalent of an 800 milliamper fluorescent tube mounted not closer than twelve inches on center. External illumination shall be installed so that the light source is not visible from adjoining premises and does not illuminate such premises. No external light source shall be located or arranged so as to cause confusion or a hazard to traffic or conflict with traffic control signals. Flashing signs shall not be permitted.

(c) Styles. Signs shall be comprised of not more than two styles of lettering plus one logo. A logo is an emblem, character, pictograph, trademark or symbol used alone to represent a business, organization, entity or product. There shall be not more than three sizes of all such lettering, including a logo.

(d) Colors. Not more than four colors, including black and white, shall be used on any sign.

**Recommendation:**

Staff recommended approval of this application as the proposed graphics and illuminated digital screen would not harm the character of the neighborhood.

**Discussion:**

Mrs. Bitar swore in the applicant, Ms. Monica Baughman, the Director of Support Services for the Worthington Library, 820 High St., Worthington, Ohio. Board members did not have any questions or concerns. Ms. Crane asked if there were any callers or emails and Mrs. Bitar said no.

**Motion:**

Mr. Coulter moved:

**THAT THE REQUEST BY THE WORTHINGTON PUBLIC LIBRARY FOR VARIANCES TO INSTALL A NEW BOOK LOCKER WITH GRAPHICS AND A VIDEO SCREEN AT 820 HIGH ST. AS PER CASE NO. BZA 47-2020, DRAWINGS NO. BZA 47-2020, DATED OCTOBER 5, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

Mr. Falcoski seconded the motion. Mr. Brown called the roll. Mr. Seitz, aye; Mr. Guillozet, aye; Mr. Falcoski, aye; Mr. Coulter, aye; and Ms. Crane. The motion was approved.

**3. Variance – Front Yard Setback – Fence – 1105 Beechview Dr. (Alainna Greene) BZA 47-2020**

Mrs. Bitar reviewed the following from the staff memo:

**Findings of Fact & Conclusions**

**Background:**

This property is in the R-10 (Low Density Residence) Zoning District. The surrounding properties are also single-family homes in the R-10 District. The neighborhood was originally developed in 1954 in Perry Township without curb and gutters. Due to annexation, the neighborhood is now a mix of Worthington, Columbus, and Perry Township.

The property in question is larger than the typical lot size seen in the R-10 district; the minimum lot size requirement is 10,400 square feet, while this property is approximately 58,300 square feet. The right-of-way is 50' in width and this property is located approximately 16' from the street.

The applicant received approval of a variance to allow the retention of a pond at the southeast corner of the property in the required front yard.

**Request:**

1. The applicant is proposing to install a wood cattle style fence at the right-of-way line and returning along both property lines to connect to existing fencing, ultimately enclosing the property. With placement at the right-of-way line, the fence would be about 16' from the street. The Code requirement is for any fencing to be out of the 30' required front yard, which would be measured from the right-of-way line.
2. The owners would like for the fence to provide a barrier to the pond but do not want to have it so far back that it is installed in water. They also want to enclose as much lawn area as possible to allow a large dog to run free. If the fence will not be acceptable at the right-of-way line, the owners would propose it be located 9' from the line which would be about 25' from the street.

**Worthington Codified Ordinances:**

1180.02 "R" DISTRICTS.

(a) In any "R" District, no fence or wall shall be erected in the area between the right of way line and the building setback line except for a wall necessary to accommodate differences in grade. No fence or wall in an "R" district shall exceed a height of six feet.

**Conclusions:**

Staff recommended modification of this application. The essential character of the neighborhood may be altered with the addition of a fence across the front of this property, as fences are not typically located that close to the right-of-way. If the fence was set back further, it may be acceptable. The delivery of government services may be affected with the fence at the right-of-way line.

**Discussion:**

Mrs. Bitar swore in the applicant, Mrs. Alainna Greene, 1105 Beechview Dr. S., and Mr. Josh Greene, 1105 Beechview Dr. S., Worthington, Ohio. Mr. Greene said the lot is a bit goofy, their door does not face the street, their side yard is their front yard. The unfinished fence posts in the photograph are their fence posts, and that is where the cattle fence would begin. The city trees were planted at 16 feet from the street, and thirty five feet back would put the fence in the middle of where the drain tile is so they did not want to put the fence in the middle of the yard where the ponding would be. Mrs. Greene said there is a pipe from Linworth Road Park that runs through their neighbor's yard and their yard and then runs to the river and do not want to break the pipe. Mr. Seitz asked Mr. Greene to clarify where they wanted to place the fence. Mr. Greene explained the fence would be in front of the tree. He said there is already electric in place in the event they wanted to add a gate or lights in the future. The Board and the applicants agreed on a modified location for the fence. Ms. Crane mentioned there was an email submitted earlier to the Board members from the neighbor, Mr. Gazarra. There were no other callers or emails.

**Motion:**

Mr. Seitz moved:

**THAT THE REQUEST BY ALAINNA GREENE FOR A VARIANCE FROM CODE REQUIREMENTS TO ALLOW FOR INSTALLATION OF A FENCE IN THE REQUIRED FRONT YARD AT 1105 BEECHVIEW DR., AS PER CASE NO. BZA 47-2020, DRAWINGS NO. BZA 47-2020 DATED OCTOBER 8, 2020, BE APPROVED, BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND/OR PRESENTED AT THE MEETING TO MATCH THE REVISED SKETCH PRESENTED AT THE MEETING BY MR. SEITZ.**

Mr. Coulter seconded the motion. Mr. Brown called the roll. Mr. Guillozet, nay; Mr. Falcoski, aye; Mr. Seitz, aye; Mr. Coulter, aye; and Ms. Crane, aye. The motion was approved.

**D. Other**

There was no other business to discuss.

**E. Adjournment**

Mr. Guillozet moved to adjourn the meeting, and Mr. Seitz seconded the motion. All Board members voted, "Aye," and the meeting adjourned at 8:34 p.m.



# City of Worthington

## BOARD OF ZONING APPEALS

### APPLICATION

Meetings – First Thursday of Every Month

|                 |             |
|-----------------|-------------|
| Case #          | BZA 48-2020 |
| Date Received   | 10/14/2020  |
| Fee             | \$25.00     |
| Meeting Date    | 12/3/2020   |
| Filing Deadline | #69247      |

1. Property Location 6753 Lakeside Circle West 085
2. Present/Proposed Use Single family residence
3. Zoning District R-10
4. Applicant Mark D. Spence  
Address 6753 Lakeside Circle West, Worthington, OH 43085  
Phone Number(s) 732-894-6872  
Email shoresend@verizon.net
5. Property Owner Same  
Address \_\_\_\_\_  
Phone Number(s) \_\_\_\_\_  
Email \_\_\_\_\_
6. Action Requested (ie. type of variance) patio next to driveway
7. Project Details:
  - a) Description 12x16 treated lumber patio
  - b) Expected Completion Date September 2020
  - c) Approximate Cost 2,300.00

#### PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

M. D. Spence  
Applicant (Signature)

25 Sept 20  
Date

M. D. Spence  
Property Owner (Signature)

25 Sept 20  
Date

ABUTTING PROPERTY OWNERS  
FOR  
6753 Lakeside Circle W

|                                |                        |                       |
|--------------------------------|------------------------|-----------------------|
| Nam & Shu-ling Vo              | 6763 Lakeside Circle W | Worthington, OH 43085 |
| Marlene Beckwith & Daniel Haag | 6767 Lakeside Circle W | Worthington, OH 43085 |
| Jose Bazan                     | 6748 Lakeside Circle W | Worthington, OH 43085 |
| Stephanie Rawlings             | 6741 Lakeside Circle W | Worthington, OH 43085 |

16 October 2020

City of Worthington  
Board of Zoning Appeals  
374 Highland Avenue  
Worthington, OH 43085

### PROJECT SUPPORTING STATEMENT

The project at hand is a 12' X 16' treated lumber patio at 6753 Lakeside Circle West in Potters Creek. The responses to your list of factors in Section One are:

- (1) Due to the popularity of outdoor living spaces, it can be reasonably assumed that the addition of a patio would increase the value of the property, especially for a family hoping to relocate to such a desirable neighborhood as is Potters Creek.
- (2) The addition of a 192 square foot patio should not be viewed as substantial, with respect to the average size of the homes in Potters Creek, the average lot size, the overwhelming number of existing outdoor living spaces, and to the number of homes in the neighborhood with in-ground pools.
- (3) This project supports the essential character of the neighborhood. My family has recently relocated from New Jersey, where we were used to neighbors not interacting in any way with other neighbors. Upon moving to Potters Creek, we witness the neighborhood coming alive in in which residents socialize, play, light fire pits, ride bikes and scooters, celebrate holidays, and share food and gifts; *all in front lawns, the driveways, and even in the street*. We, because of our former "isolation," wanted to share in the front-of-the-house camaraderie. The perfect situation for us was an existing flower bed next to the garage that was full of dead trees. Being unsightly and not in keeping with the obvious Potters Creek standard, the plan to remove the dead trees and install a patio over the stump bed, then finish with ornamental grasses (very popular in the neighborhood) and other suitable plant selections seemed quite appropriate.



- (4) The placement of the patio over an existing flower/tree bed, assumed to be original to the home due to the size of the dead trees, is not in any light a detriment to governmental services (e.g. water, sewer, garbage).
- (5) We have no prior knowledge of a zoning restriction of this type. Because there are other front yard patios in the neighborhood, no zoning restriction was assumed, nor was there restriction knowledge from surrounding residents.
- (6) and (7) The patio should be considered as a property improvement, in keeping with the character of the neighborhood and as means for enjoying the property and life in Potters Creek. Many residents on their walks or bike rides have complimented the patio as being a compliment to the property.

Respectfully,

A handwritten signature in black ink, appearing to read 'M. D. Spence', with a stylized flourish at the end.

Mark D. Spence

Resident

CITY OF WORTHINGTON

DRAWINGS NO. BZA 48-2020

DATE 10/16/2020



# 6753 Lakeside Circle W



100-005813 04/26/2017



**MAP(GIS)**

Generated on 10/07/2020 at 07:34:23 AM

|             |                      |               |                  |
|-------------|----------------------|---------------|------------------|
| Parcel ID   | Map Routing No       | Owner         | Location         |
| 10000581300 | 100N102EEEE<br>03300 | SPENCE MARK D | 6753 LAKESIDE CR |



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community, Franklin County Auditor

**Disclaimer**

This drawing is prepared for the real property inventory within this county. It is compiled from recorded deeds, survey plats, and other public records and data. Users of this drawing are notified that the public primary information source should be consulted for verification of the information contained on this drawing. The county and the mapping companies assume no legal responsibilities for the information contained on this drawing. Please notify the Franklin County GIS Division of any discrepancies.

The information on this web site is prepared for the real property inventory within this county. Users of this data are notified that the public primary information source should be consulted for verification of the information contained on this site. The county and vendors assume no legal responsibilities for the information contained on this site. Please notify the Franklin County Auditor's Real Estate Division of any discrepancies.

TIFIED TO NORTHWEST SELECT TITLE AGENCY

ER EQUITY RESOURCES, INC.

BUYER SPENCE

L DESC. LOT 103 ~ POTTERS CREEK SECTION 2

P.B. 58 PG. 86 - 88

TWP. WORTHINGTON

COUNTY FRANKLIN

DRN. SJH

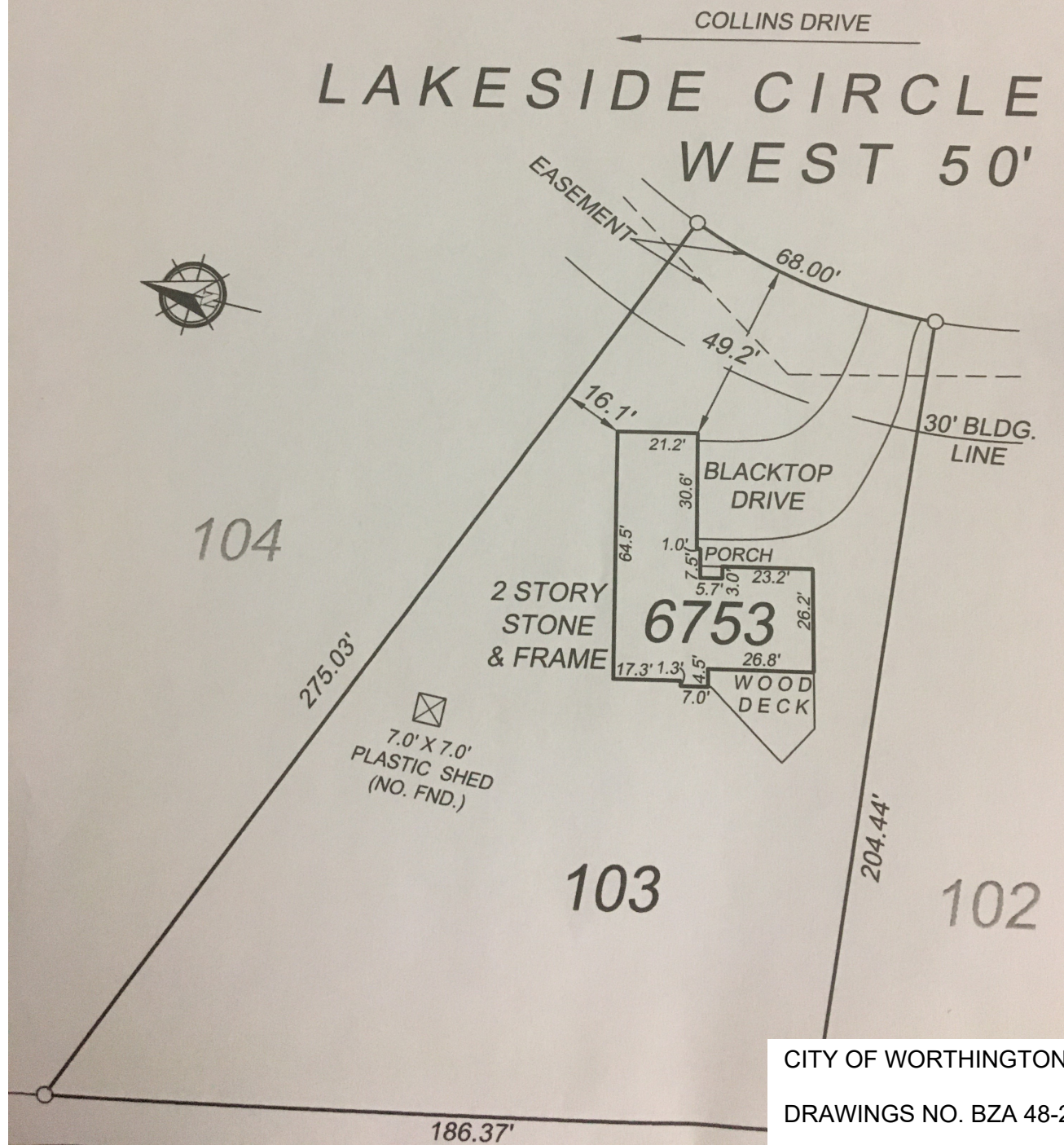
CK. SS

DRAWING SCALE 1" = 40'

INFORMATION: FLOOD ZONE X

MAP PANEL INFO 39049C 0156K

MAP DATE 06-17-08



CITY OF WORTHINGTON

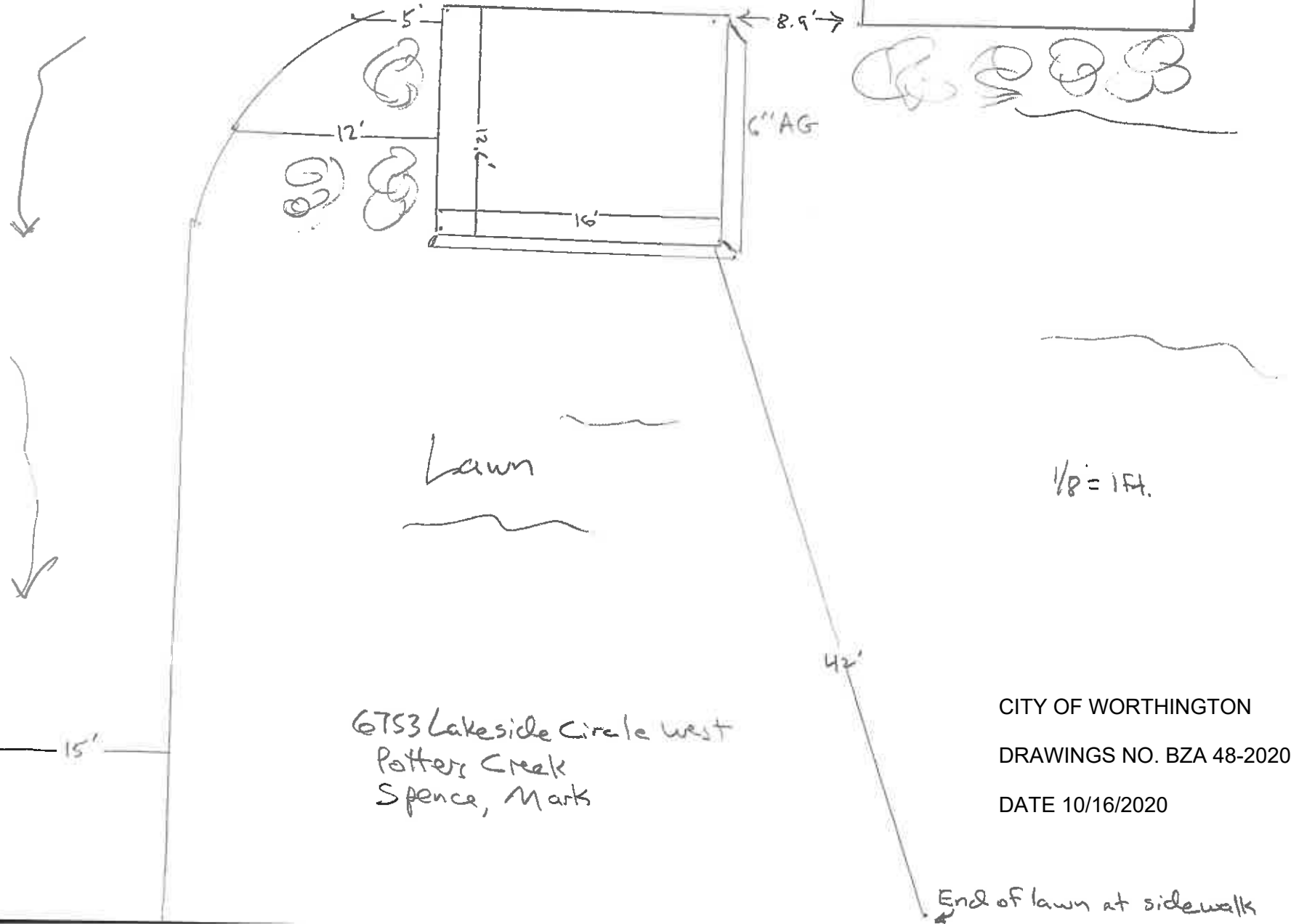
DRAWINGS NO. BZA 48-2020

DATE 10/16/2020

Front of house ↑

Existing driveway

existing garage



6753 Lakeside Circle West  
Potter Creek  
Spence, Mark

CITY OF WORTHINGTON

DRAWINGS NO. BZA 48-2020

DATE 10/16/2020

End of lawn at sidewalk





CITY OF WORTHINGTON

DRAWINGS NO. BZA 48-2020

DATE 10/16/2020





CITY OF WORTHINGTON

DRAWINGS NO. BZA 48-2020

DATE 10/16/2020



# City of Worthington

## BOARD OF ZONING APPEALS

### APPLICATION


Meetings – First Thursday of Every Month

|                 |                    |
|-----------------|--------------------|
| Case #          | <u>62A 49-2020</u> |
| Date Received   | <u>10/20/2020</u>  |
| Fee             | <u>\$25.00</u>     |
| Meeting Date    | <u>12/3/2020</u>   |
| Filing Deadline |                    |

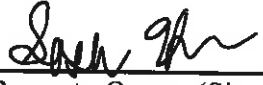
1. Property Location 5701 Foster Ave Worthington Ohio 43085
2. Present/Proposed Use Residential
3. Zoning District R-10
4. Applicant Sasha Hardin  
Address 5701 foster ave Worthington Ohio 43085  
Phone Number(s) 6144773963  
Email jmason416@gmail.com
5. Property Owner Sasha Hardin  
Address 5701 foster ave Worthington Ohio 43085  
Phone Number(s) 6144773963  
Email jmason416@gmail.com
6. Action Requested (ie. type of variance) Zoning Variance, Fence setback
7. Project Details:
  - a) Description Vinyl Fence Installation
  - b) Expected Completion Date November
  - c) Approximate Cost \$10,000

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

  
Applicant (Signature)

10/11/2020  
Date

  
Property Owner (Signature)

10/11/2020  
Date



ABUTTING PROPERTY OWNERS  
FOR  
5701 Foster Ave.

|   |                  |                       |
|---|------------------|-----------------------|
| Patricia Hosking                        | 5709 Foster Ave. | Worthington, OH 43085 |
| Jonathan Bird & Rosalba Gomez Gutierrez | 5710 Foster Ave. | Worthington, OH 43085 |
| Srinivas & Patricia Narayanabhatta      | 5704 Foster Ave. | Worthington, OH 43085 |
| Joseph & Judith Vanyo                   | 5696 Foster Ave. | Worthington, OH 43085 |
| Nathan & Shannon Hull                   | 5695 Foster Ave. | Worthington, OH 43085 |
| Matthew Kurk & Nicole Kessler           | 212 Loveman Ave. | Worthington, OH 43085 |

Dear Zoning Board,

We just purchased and moved into our new home at 5701 Foster Avenue in the Colonial Hills neighborhood of Worthington. We are looking to get a fence installed for our backyard. We believe that installing the fence will increase the value of the property due to the high quality of the fence that we have purchased. There is no other reasonable use of the property in question as it adjoins a private alley.

We do not believe that the neighborhood character will be compromised. The neighbors on both sides of our home have existing fences that have had variances approved. We would like our fence to go as far back as our neighbors' fences. Rejection of this variance application would compromise the neighborhood character, as it would introduce inconsistencies in fence lines in our row of neighboring houses.

Because our neighbors already have fences that go back as far as our proposed fence, government service will not be compromised.

When we purchased our home, we were not aware of the zoning restriction and we do not believe there is any other reasonable way to have our fence installed.

Thank you for your consideration!

Sasha and Shaun Hardin

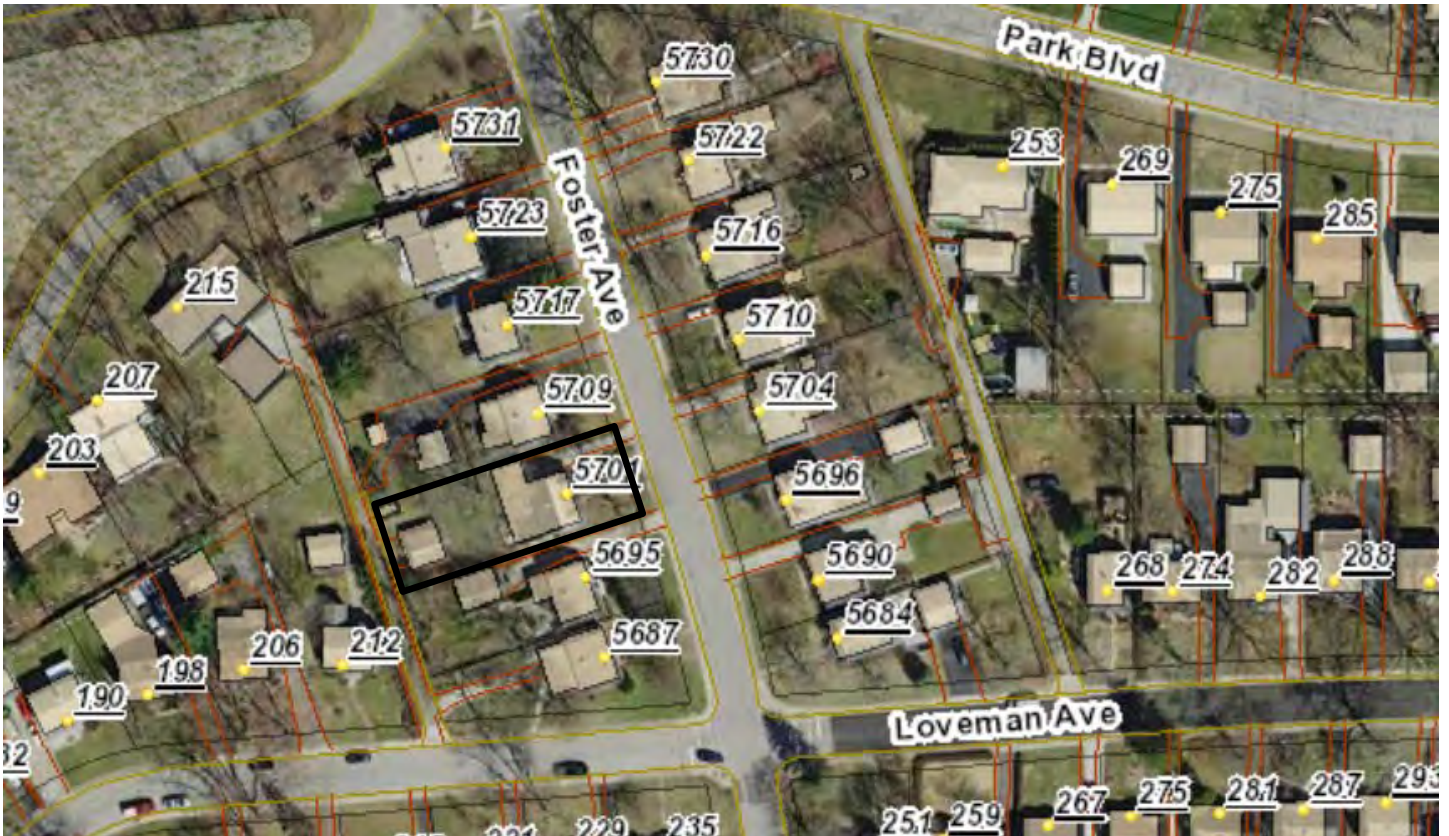
CITY OF WORTHINGTON

DRAWINGS NO. BZA 49-2020

DATE 10/21/2020



# 5701 Foster Ave.



100-001751 04/25/2017



JOB NUMBER #: 4278-2020 S DATE OF DRAWING 8-18-20

CERTIFIED TO GREAT AMERICAN TITLE AGENCY

LENDER FIRST FEDERAL SAVINGS AND LOAN ASSOC. OF NEWARK BUYER HARDIN

LEGAL DESC. LOT 163 - COLONIAL HILLS P.B. 19 PG. 38

CITY/TWP. COLUMBUS COUNTY FRANKLIN DRN. SAS CK. SJH DRAWING SCALE 1" = 25'

FEMA INFORMATION: FLOOD ZONE X MAP PANEL INFO 38049C 0159K MAP DATE 6-17-08

FOSTER AVENUE 50'

CITY OF WORTHINGTON

DRAWINGS NO. BZA 49-2020

DATE 10/21/2020

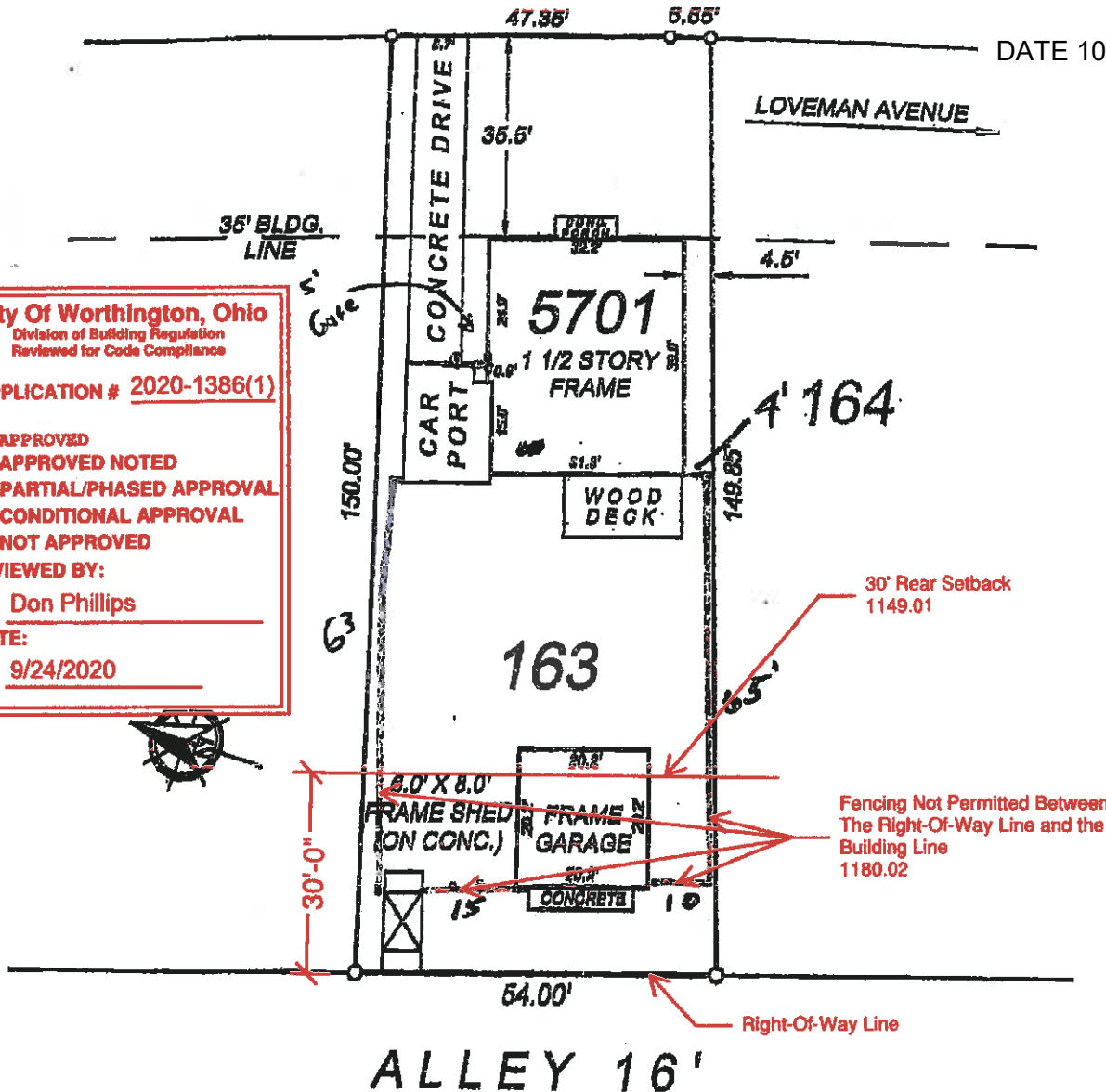
City Of Worthington, Ohio  
Division of Building Regulation  
Reviewed for Code Compliance

APPLICATION # 2020-1386(1)

☐ APPROVED  
☐ APPROVED NOTED  
☐ PARTIAL/PHASED APPROVAL  
☐ CONDITIONAL APPROVAL  
☒ NOT APPROVED

REVIEWED BY:  
Don Phillips

DATE:  
9/24/2020



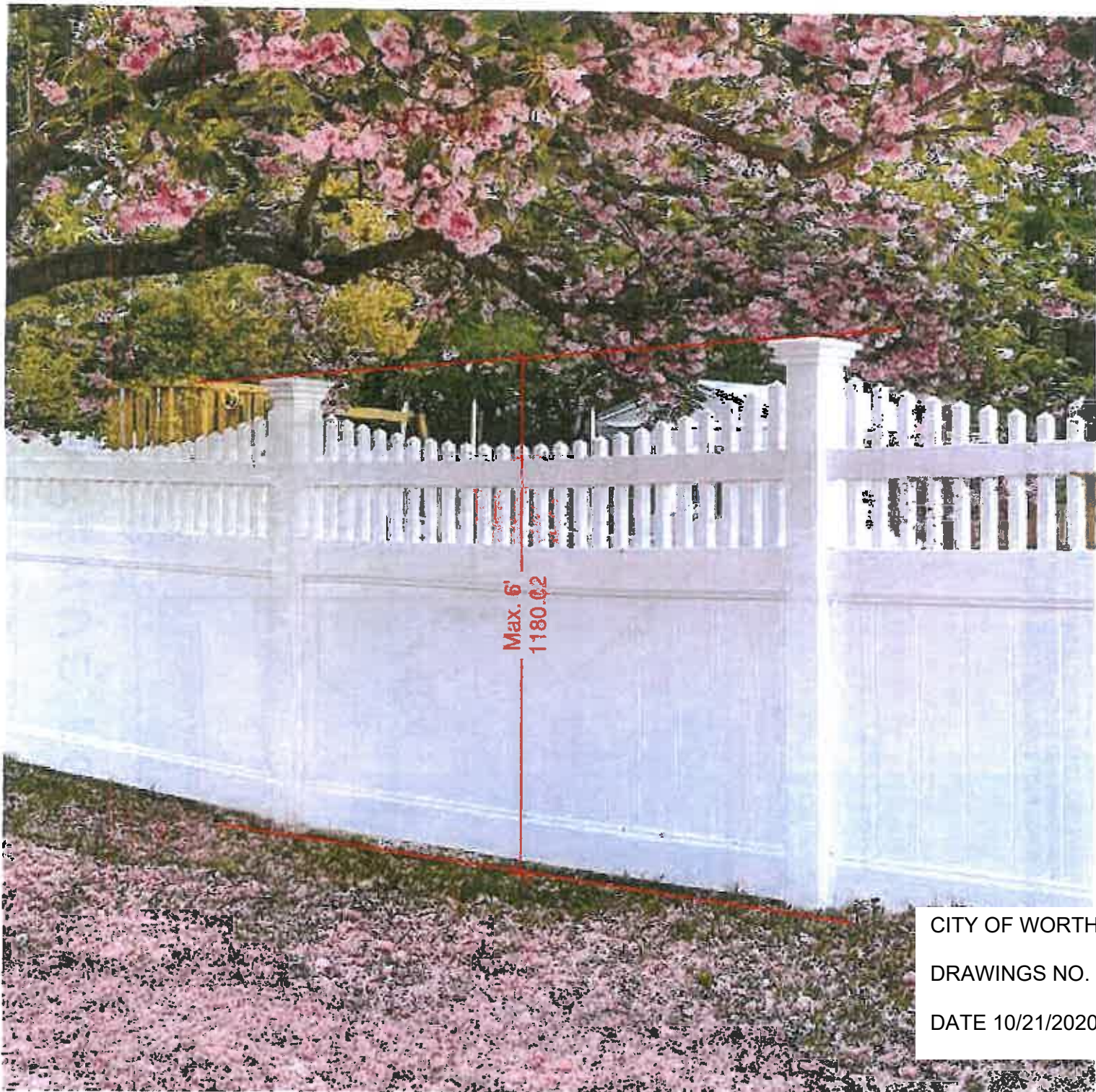
ENCROACHMENT INFORMATION  
NONE NOTED

I HAVE RECEIVED A COPY OF THIS SURVEY  
AND FIND THE CONDITIONS ACCEPTABLE.

BUYER / OWNER

We hereby certify that the foregoing MORTGAGE LOCATION SURVEY was prepared in accordance with Chapter 4733-36, Ohio Administrative Code, and is not a Boundary Survey pursuant to Chapter 4733-37, Ohio Administrative Code. This plat is prepared for mortgage loan and title purposes only and is not to be construed as having been prepared for the owner and is not to be used to erect fences or other structures. Easements shown on this plat were taken from the subdivision plat of record. Additional easements affecting this property may exist.





CITY OF WORTHINGTON  
DRAWINGS NO. BZA 49-2020  
DATE 10/21/2020





# City of Worthington

## BOARD OF ZONING APPEALS

### APPLICATION

Meetings – First Thursday of Every Month

|                 |             |
|-----------------|-------------|
| Case #          | BZA 51-2020 |
| Date Received   | 11/5/2020   |
| Fee             | \$25.00 pd  |
| Meeting Date    | 12-3-2020   |
| Filing Deadline | #169340     |

1. Property Location 44 W. WILSON COLUMBIA RD

2. Present/Proposed Use RESIDENTIAL / RESIDENTIAL

3. Zoning District R-10

4. Applicant JIM ASH

RECEIVED  
NOV 05 2020

BY: .....

Address 44 W. WILSON COLUMBIA RD

Phone Number(s) 614 264 5317

Email JIMASH1713@YAHOO.COM

5. Property Owner STAKE AS ABOVE

Address \_\_\_\_\_

Phone Number(s) \_\_\_\_\_

Email \_\_\_\_\_

6. Action Requested (ie. type of variance) PERMIT TIME EXTENSION

#### 7. Project Details:

a) Description COMPLETION OF CURRENT PERMIT

b) Expected Completion Date REQUEST 1 YR EXTENSION

c) Approximate Cost \_\_\_\_\_

#### PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

[Signature]  
Applicant (Signature)

11/5/20  
Date

[Signature]  
Property Owner (Signature)

11/5/20  
Date

ABUTTING PROPERTY OWNERS  
FOR  
44 W. Granville Rd.

|                                 |              |                     |                         |
|---------------------------------|--------------|---------------------|-------------------------|
| David Guntrip & Amanda Helter   |              | 64 W. Granville Rd. | Worthington, Ohio 43085 |
| Christine Lahue                 |              | 28 W. Granville Rd. | Worthington, Ohio 43085 |
| Worthington Presbyterian Church |              | 773 High St.        | Worthington, Ohio 43085 |
| Jeffrey and Megan Rankey        |              | 43 W. Granville Rd. | Worthington, Ohio 43085 |
| Jeffrey Rankey                  | David Rankey | 51 W. Granville Rd. | Worthington, Ohio 43085 |
| Richard and Cathy Evanchick     |              | 39 W. Granville Rd. | Worthington, Ohio 43085 |

Supporting Statement – 44 W. Dublin Granville Road

My name is Jim Ash, the owner of the residence located at 44 W. Dublin Granville Road.

I respectfully request an extension of one year to complete my construction project, permit number 25562, issued on July 2, 2019.

During April/May 2019 approval for the construction of a garage by the ARB and Zoning Board was granted with the first approved inspection conducted on July 26, 2019.

Since then steady progress has been made including framing (approved inspection on 1/9/2020) and insulation (approved inspection on 1/30/2020) until mid to late February when the country entered into the current public health emergency.

Due to the public health emergency, I have restricted all interior residence access to current occupants, and required inspections (Columbia Gas meter, Worthington City). Exterior finishes are complete, however, I have not had the final plumbing connections completed due to concern for my family's health. This restriction is delaying completion of the project. As soon as the public health concern is no longer an issue, I will complete the plumbing and request inspections for plumbing and final electric, as well as approved occupancy.

Thank you for your consideration.

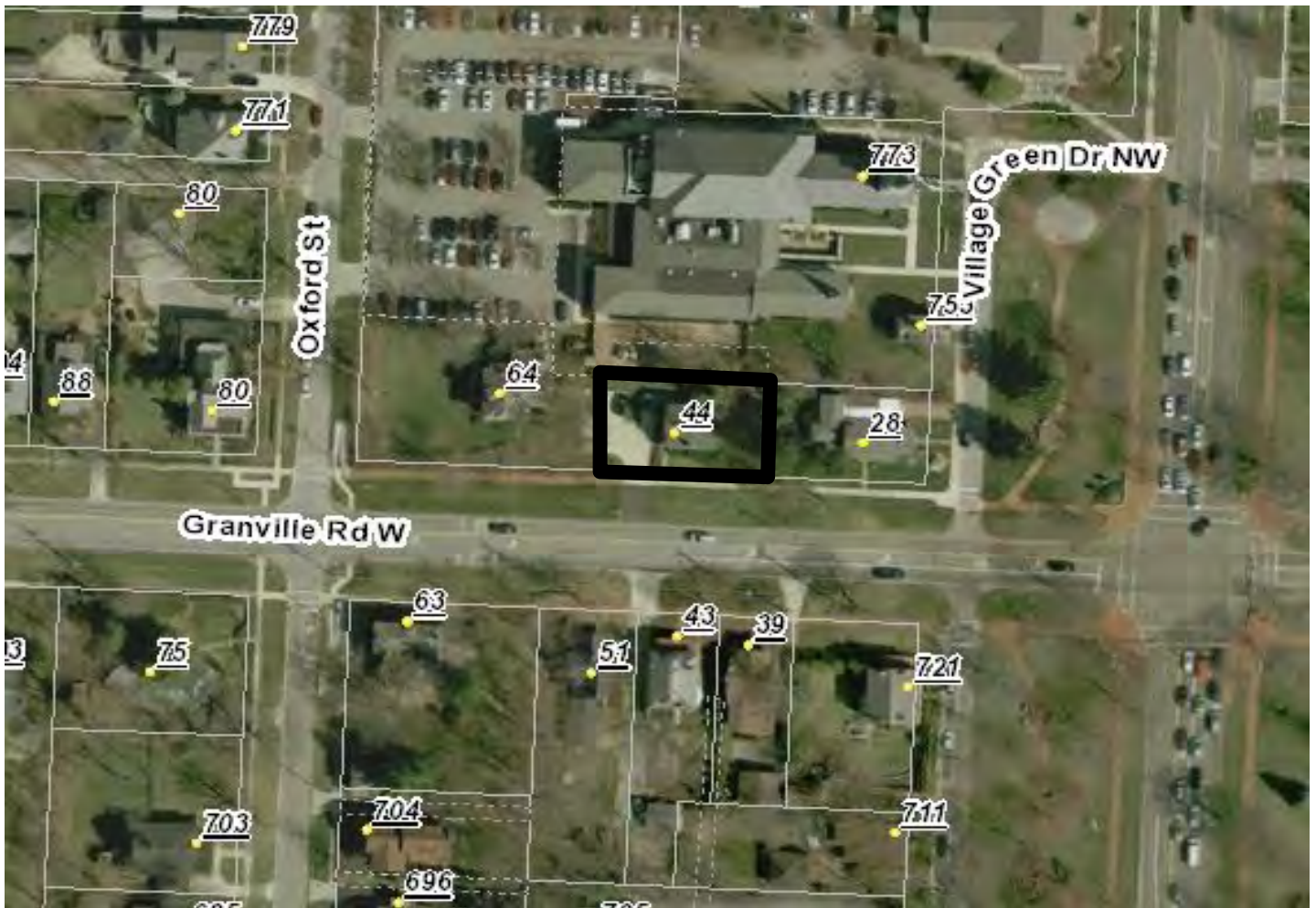
CITY OF WORTHINGTON

DRAWINGS NO. BZA 51-2020

DATE 11/05/2020



# 44 W. Granville Rd





# City of Worthington

## BOARD OF ZONING APPEALS

### APPLICATION

Meetings – First Thursday of Every Month

|                 |             |
|-----------------|-------------|
| Case #          | BZA 52-2020 |
| Date Received   | 11-06-2020  |
| Fee             | \$25.00     |
| Meeting Date    | 12-3-2020   |
| Filing Deadline | #69349      |

1. Property Location 285 McCoy Ave
2. Present/Proposed Use Vacant Lot/ Single Family Home
3. Zoning District R-10
4. Applicant Ezra Wallake R4R General Contracting  
Address PO BOX 20532 Columbus, Ohio 43220  
Phone Number(s) 6145472576  
Email info@r4rgc.com
5. Property Owner Ezra & Stacie Wallake  
Address 182 E North Broadway Columbus, Ohio 43214  
Phone Number(s) 614-557-1032  
Email Ezra@R4Rgc.com
6. Action Requested (ie. type of variance) 1149.01 Front Setback, 1180.02(a) Retaining wall in setback
7. Project Details:
  - a) Description New Single Family Home
  - b) Expected Completion Date 01-SEP-2021
  - c) Approximate Cost 500,000.00

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Ezra Wallake  
Applicant (Signature)

05-NOV-2020  
Date

Ezra Wallake  
Property Owner (Signature)

05-NOV-2020  
Date

ABUTTING PROPERTY OWNERS  
FOR  
285 McCoy Ave.

|                           |                        |                        |
|---------------------------|------------------------|------------------------|
| Kewei Hou & Jing Song     | 287 McCoy Ave.         | Worthington, OH 43085  |
| Ernst & Suzanne Fischer   | 296 McCoy Ave.         | Worthington, OH 43085  |
| Elizabeth Hatfield        | 286 McCoy Ave.         | Worthington, OH 43085  |
| Adam & Rosanne Nagel      | 282 McCoy Ave.         | Worthington, OH 43085  |
| Bob Webb Lewis Center LLC | 7662 North Central Dr. | Lewis Center, OH 43035 |
| Resident                  | 283 McCoy Ave.         | Worthington, OH 43085  |
| Steven & Suzanne Guy      | 264 E. South St.       | Worthington, OH 43085  |
| Christina Beech           | 276 E. South St.       | Worthington, OH 43085  |



**Supporting Statement 285 McCoy Avenue**

This is currently a vacant lot located in Worthington Ohio. There was originally a home on the property which was constructed in 1962, and this home was located 30' from the public right of way. The Board approved a reconstruction of a carport for this home that was located at the edge of the public right-of-way in 2004. The existing home was demolished in 2015 and construction began on a new home for a previous owner in late 2015. However, the foundation walls collapsed while the contractor was back filling this home, the construction stopped, and the home was ultimately demolished and backfilled. In August of this year an application was made for variances by another subsequent owner of the property (BZA 31-2020.) However, that project did not move forward, and my client purchased the property in October of this year. Our request is similar to this proposal; however we do not have the screening walls proposed on the previous project, and the overall aesthetics of the home are quite different.

The new owner is a general contractor who does quite a bit of work in Worthington and he will be building this home for his family. He is familiar in working with the challenges of a very steep site, and we have designed this home to best accommodate these challenges. We have been working with a structural consultant to make sure this home is properly designed to address the steep grade conditions, and we will work with a landscape consultant to protect the steep slope, the wooded area and the integrity of Rush Creek with the design of the home.

We have designed the home to work with and not against the existing grade. The new garage is situated within the front yard setback to allow for a flat and level entry. The garage doors are turned so as not to be visible from the street, but also to allow us to lower the house to better work with the existing grade and be compatible with the other homes in the neighborhood. We are also better able to control any drainage from entering the garage with this orientation. While there is a stone retaining wall within the setback from the street side it will only be a 6-12" above grade when viewed from the street and will be accented with a sloped landscape bed on the drive side of the wall. By grading and with balanced fill we are able to minimize this grade differential so that the main façade is visible from the street and works with the existing grade challenges. (see elevations for more information.)

The main portion of the home is behind the thirty foot setback, only the garage and wall is within the setback (5'-4" from the front property line). With the steep nature of the site, we do not believe it is feasible to build this home without a front yard variance. We feel this is a fairly minor request, given that the original carport on the lot had a similar location. This is also an unusual lot, with the substantial grade differential, which is not typical for Worthington. The scale and character of the new home will be in keeping with other homes in the neighborhood and therefore will not modify the essential character of this charming street. The delivery of government services will not be impacted by this new home.

My client purchased the lot knowing there would be challenges with the zoning restrictions, and most likely variances would be required. As a general contractor he is very well suited to address these challenges, and as it will be his personal residence, he is vested in ensuring that it is a well-designed and well-built home harmonious with the neighborhood that his family can live in for many years to come.

Sincerely,

Julie Bullock

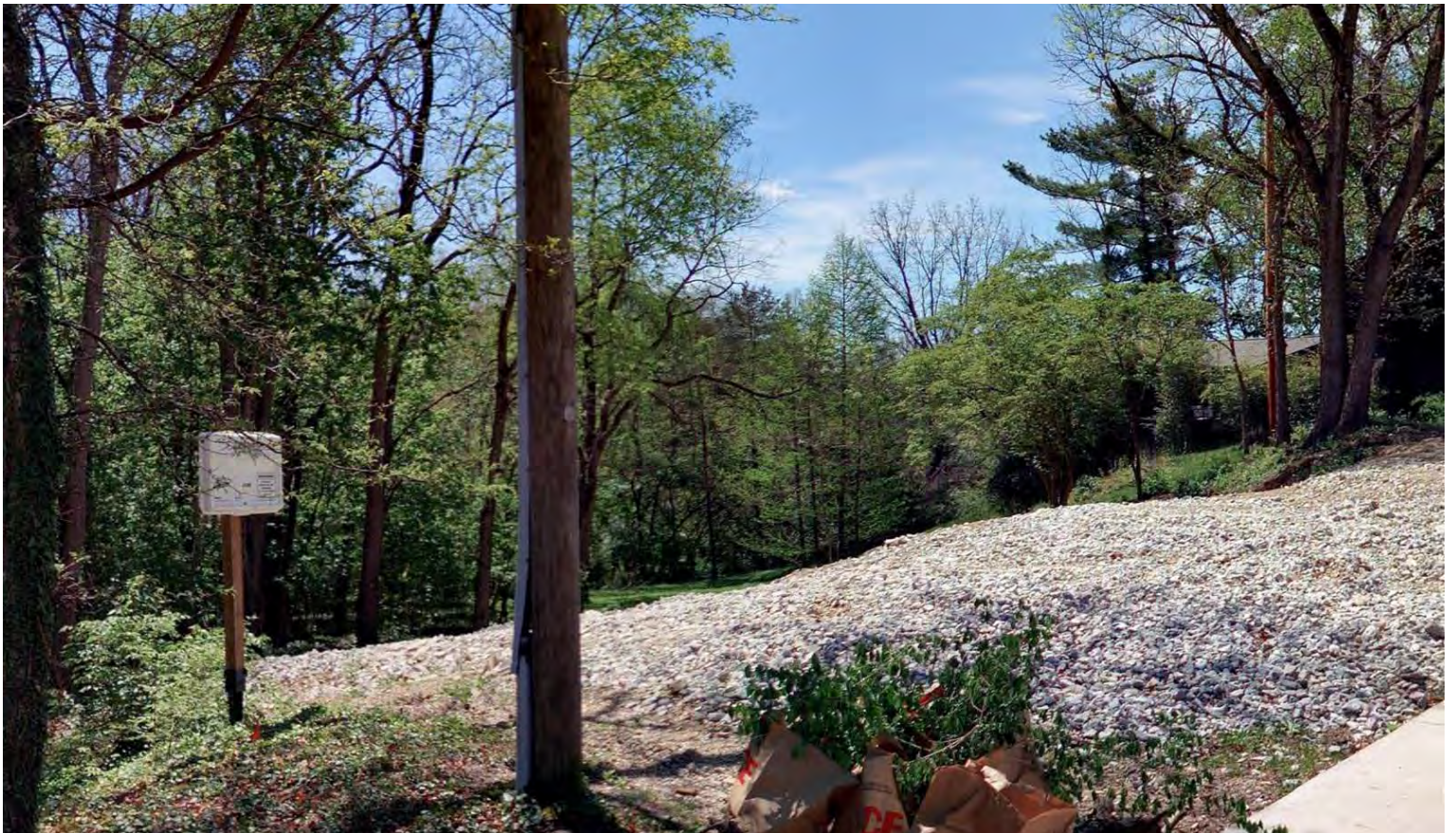
CITY OF WORTHINGTON

DRAWINGS NO. BZA 52-2020

DATE 11/06/2020

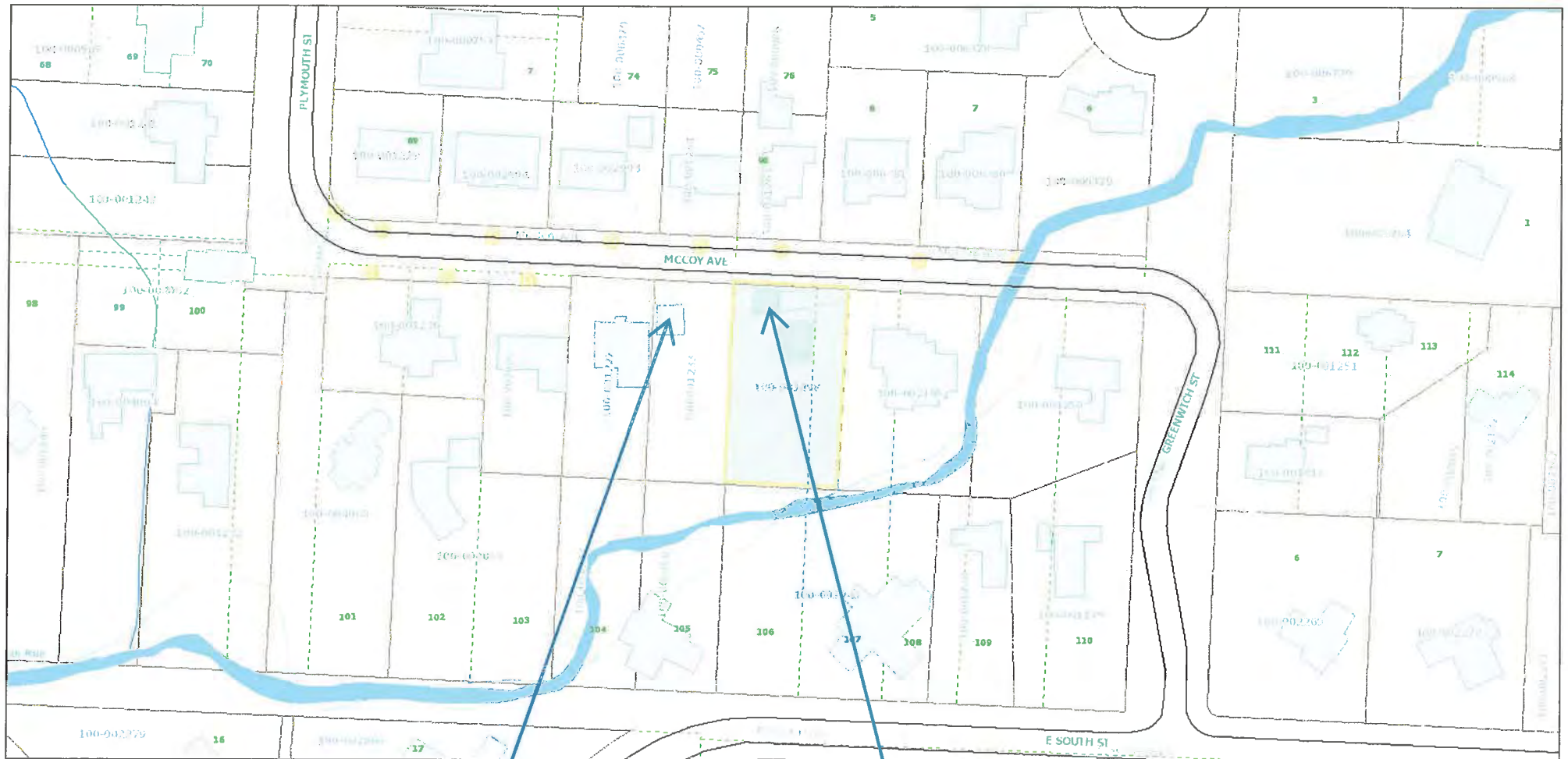


# 285 McCoy Ave.



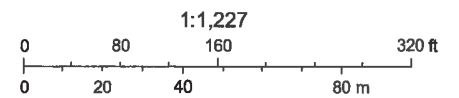


# 285 McCoy Ave



Neighboring Property - Variance approved for a reduction in the front yard setback.

Garage of previous residence at a setback of 0'-0"



CITY OF WORTHINGTON  
DRAWINGS NO. BZA 52-2020  
DATE 11/06/2020

TOPOGRAPHIC SURVEY of 285 McCoy Avenue

0.337 ACRES in all

STATE OF OHIO  
FRANKLIN COUNTY  
CITY of WORTHINGTON  
MORRIS ADDITION  
PLAT BOOK 1 PAGE 119  
ALL of LOT 106 and  
PART of LOT 107

Measurements are based on the Ohio State Plane Coordinate System, Ohio State Plane Zone 17N. All measurements are in feet and inches. All bearings are in degrees, minutes and seconds. All distances are in feet and inches. All measurements are taken from the west line of LOT 106 as bearing N 3° 02' 10" E and are used to denote angles only.

Bench Mark  
Top of 3/4" Iron Pipe  
Elev. 865.34

McCOY AVENUE R/W VARIES

Edge of Concrete Road

3/4" Iron Pipe

S 87° 19' 27" E  
90.00'

Water Valve

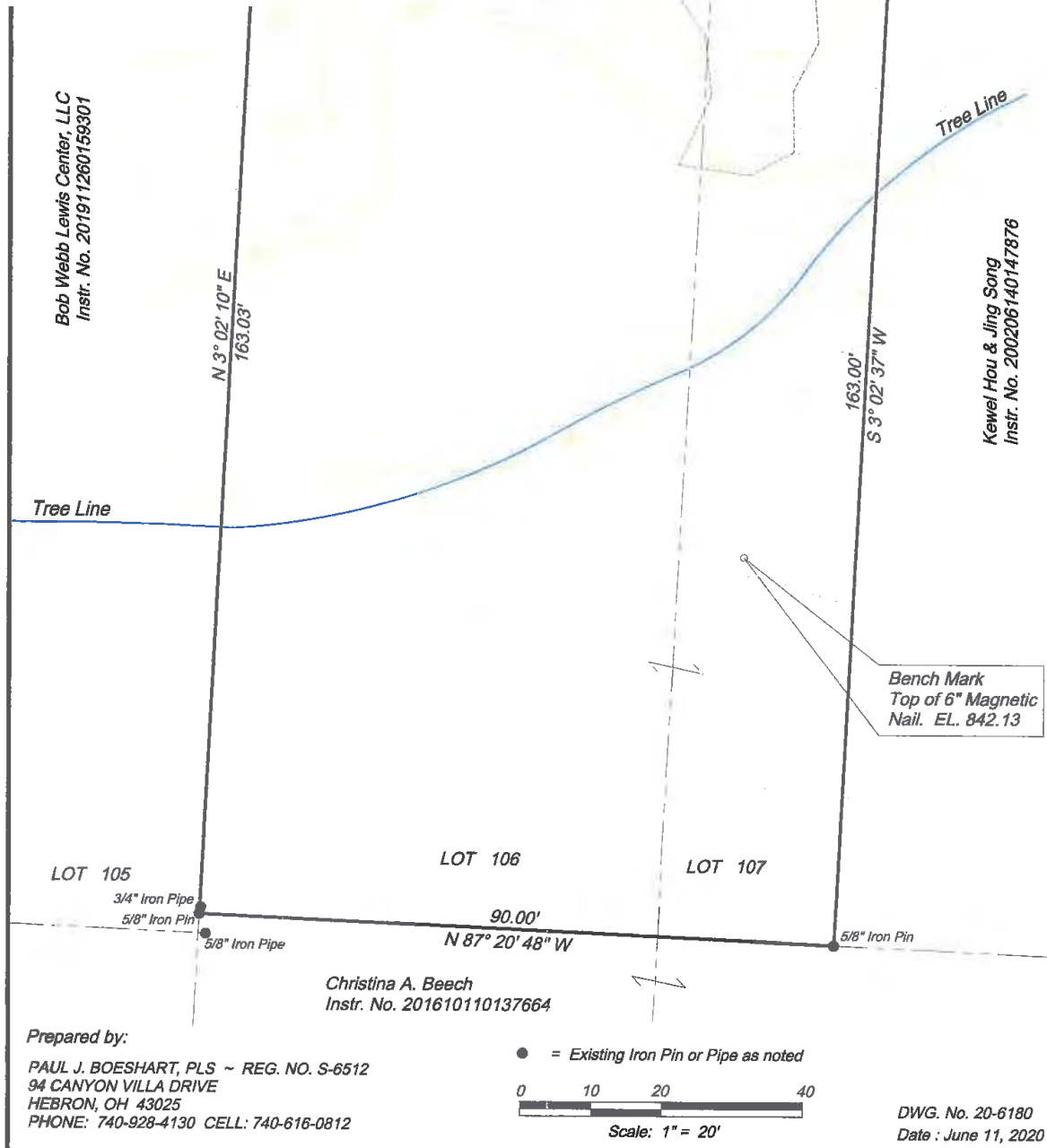
Gravel

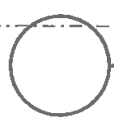
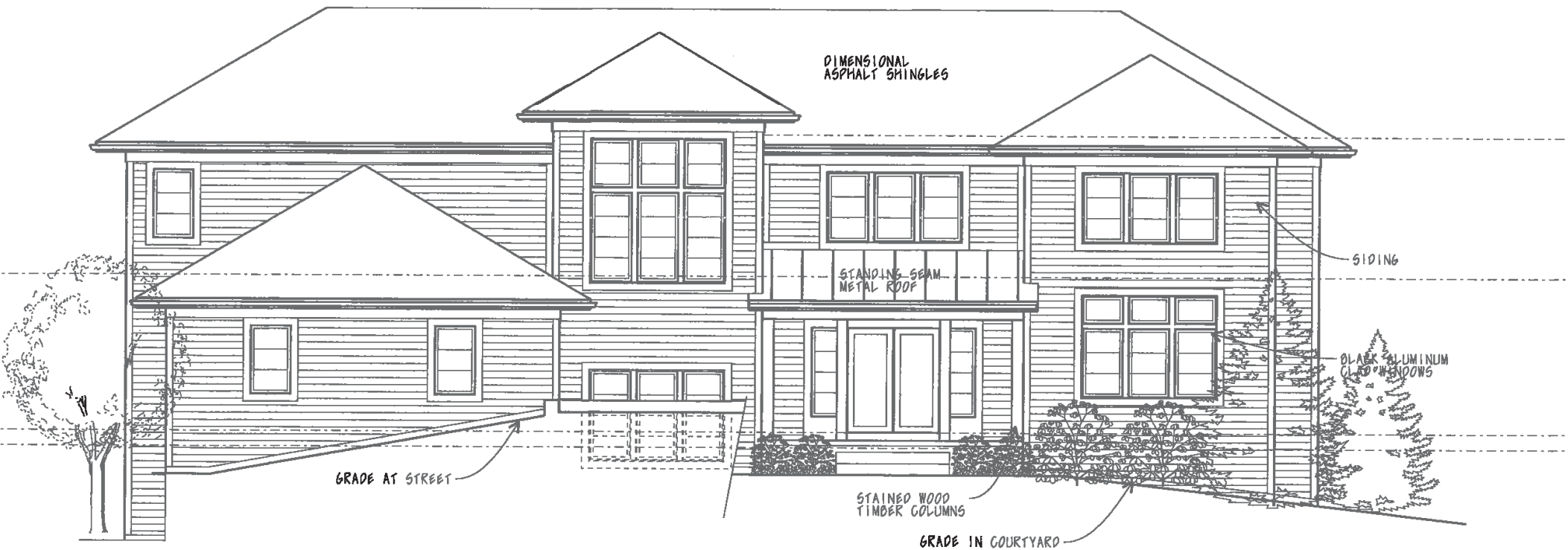
1/2" Iron Pin (Bent)

CITY OF WORTHINGTON

DRAWINGS NO. BZA 52-2020

DATE 11/06/2020





NORTH ELEVATION

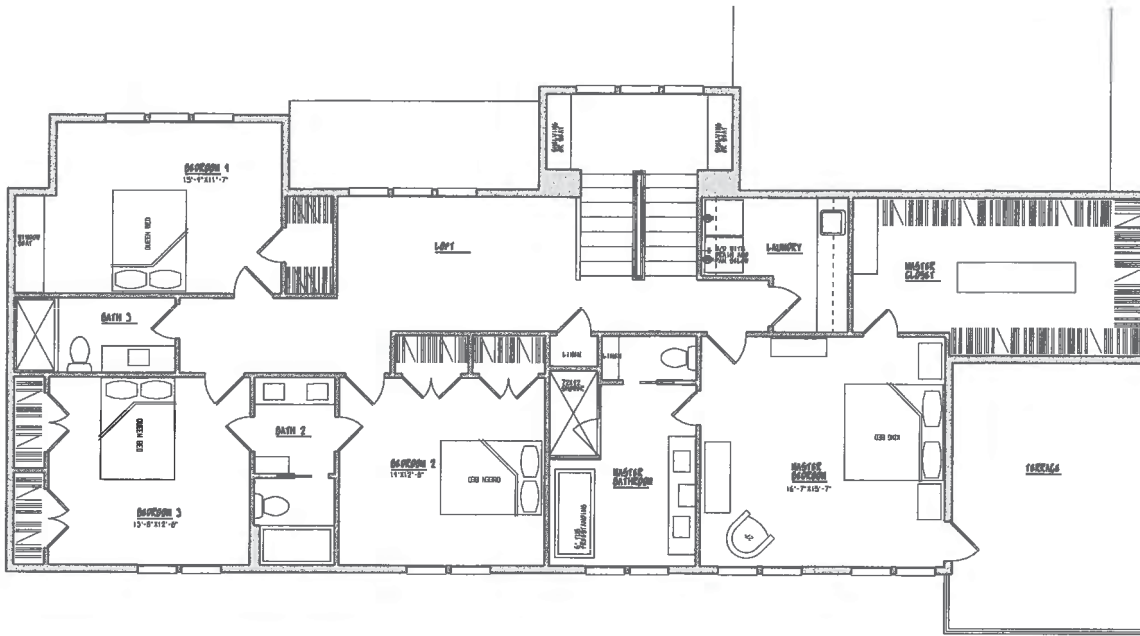
SCALE: 1/8" = 1'-0"

CITY OF WORTHINGTON

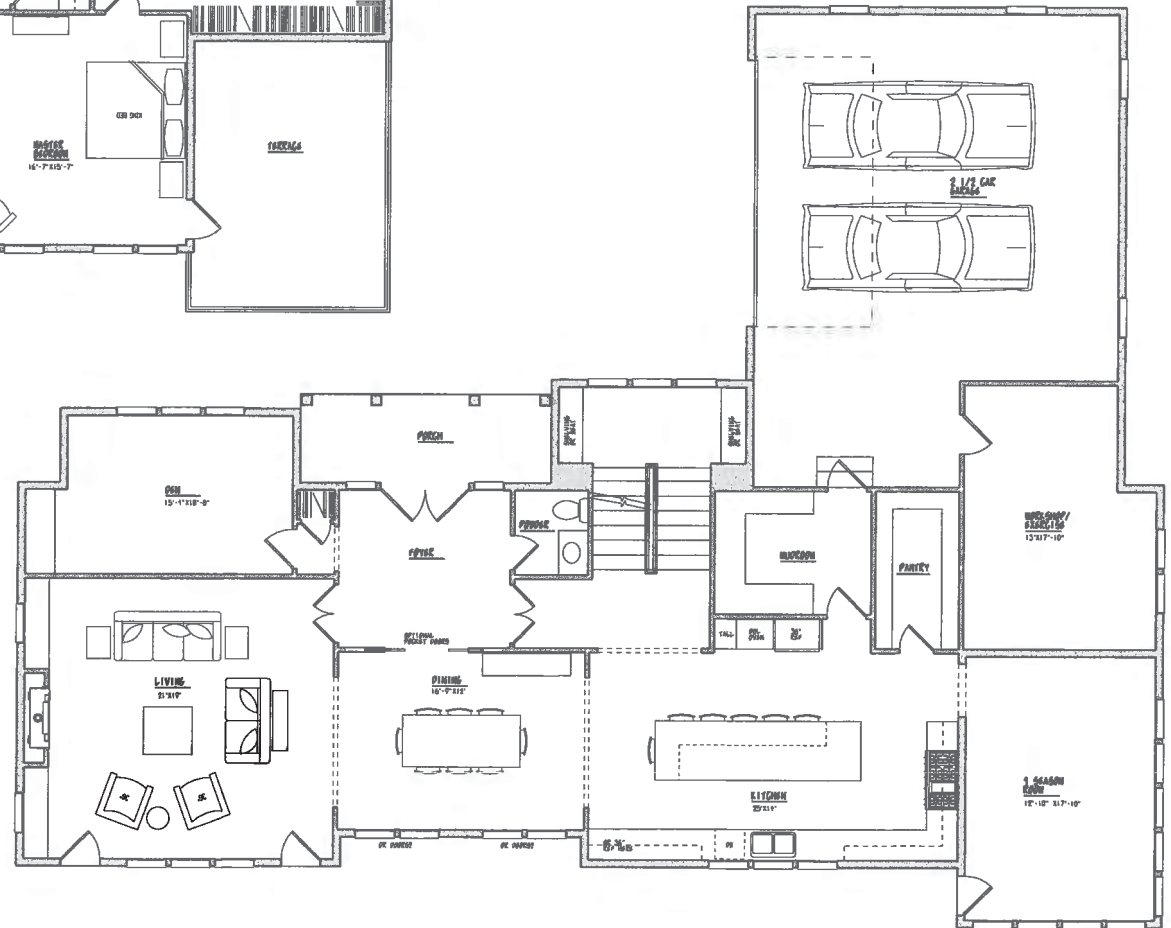
DRAWINGS NO. BZA 52-2020

DATE 11/06/2020





PROPOSED  
SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



PROPOSED  
FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



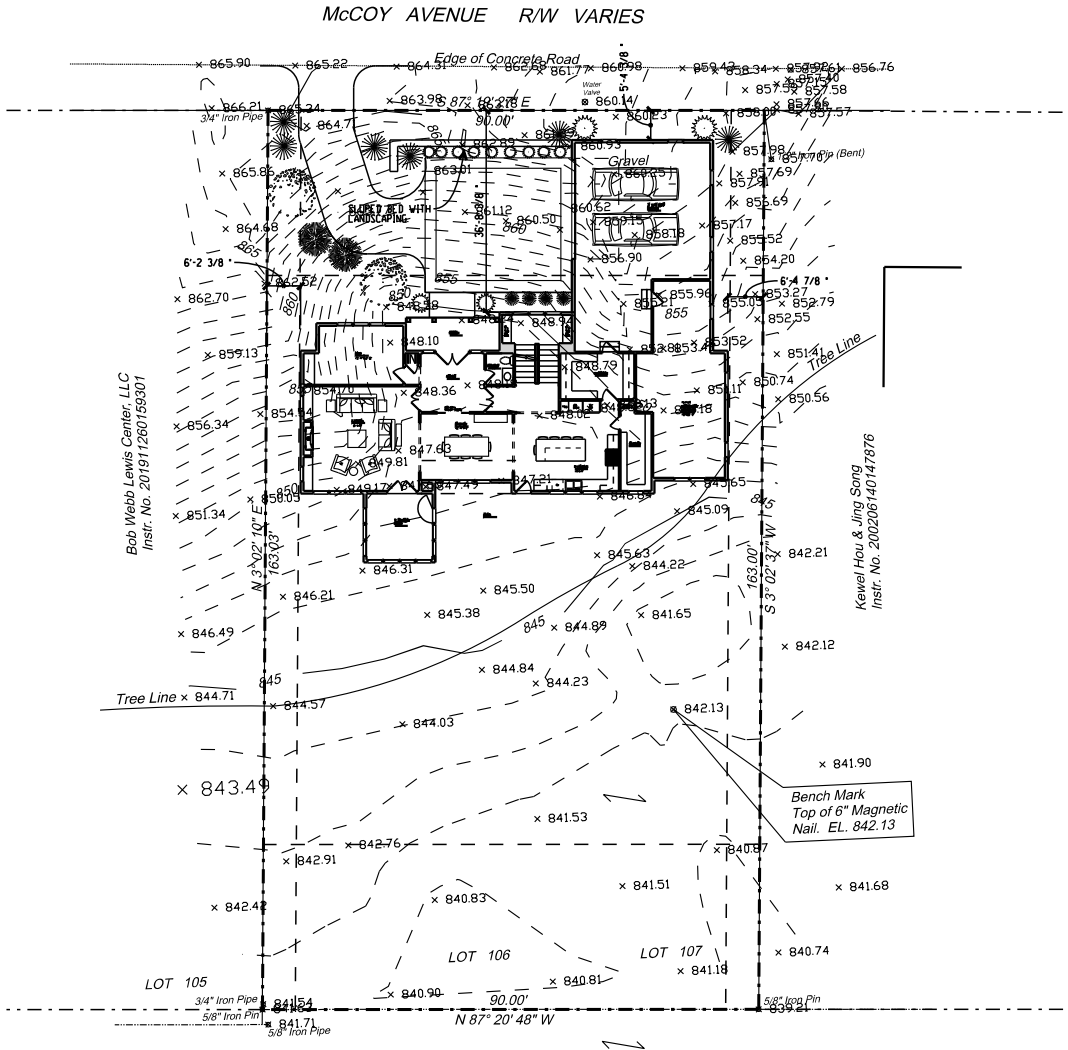
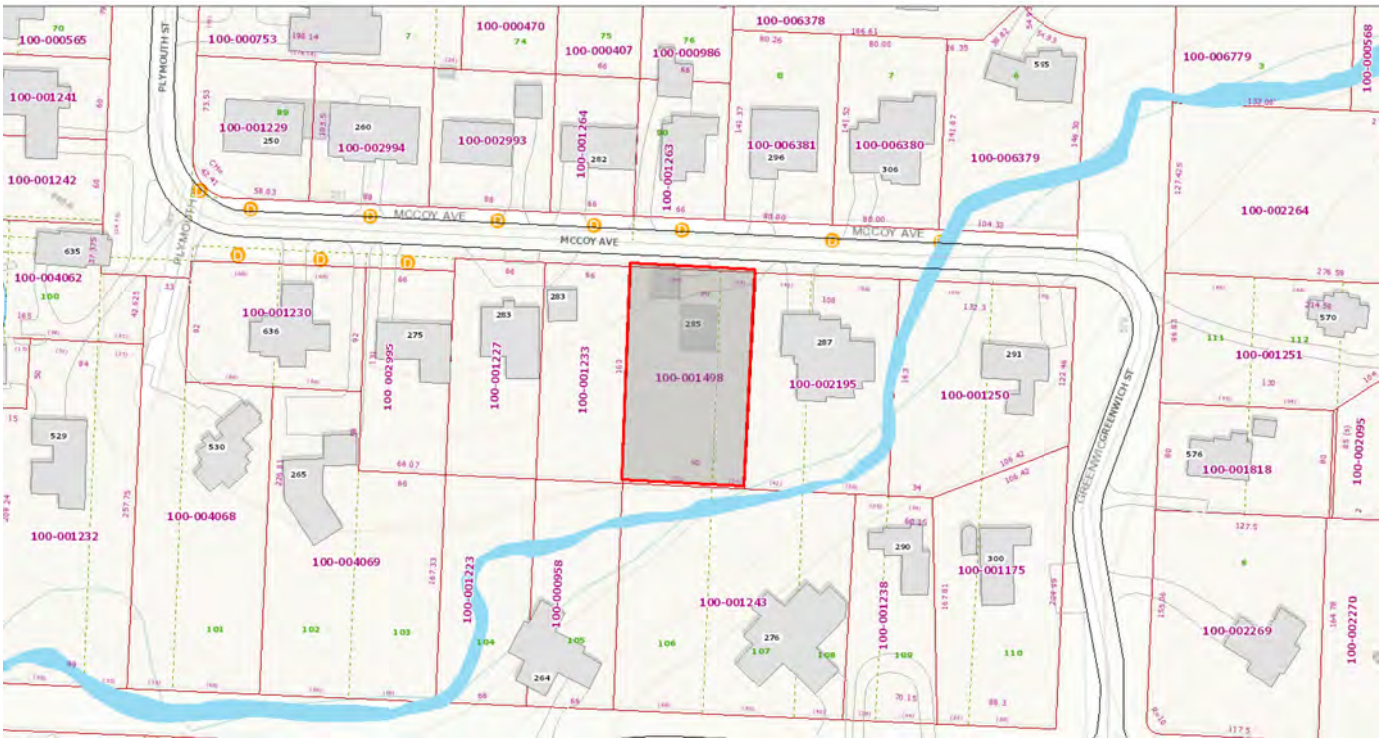
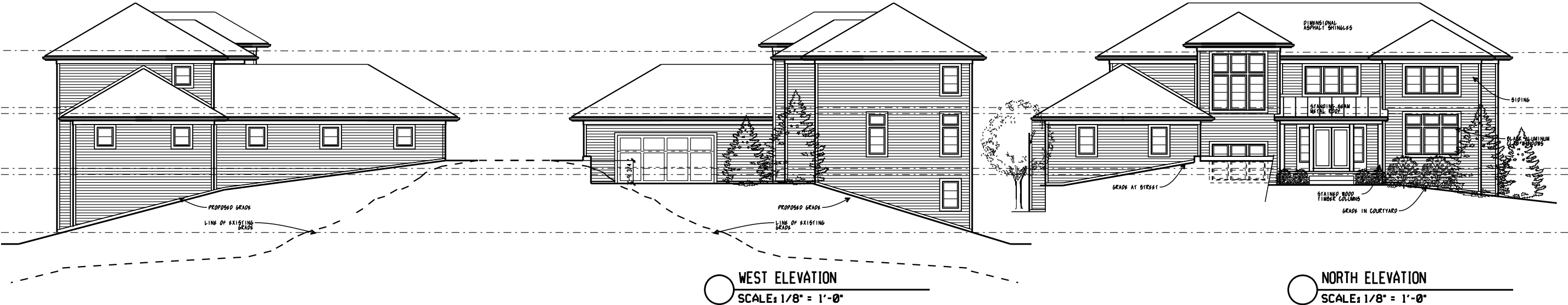
11/3/2020

WALLAKE RESIDENCE  
285 MCCOY AVENUE  
WORTHINGTON OHIO

CITY OF WORTHINGTON

DRAWINGS NO. BZA 52-2020

DATE 11/06/2020



CITY OF WORTHINGTON

DRAWINGS NO. BZA 52-2020

DATE 11/06/2020

PROPOSED  
SITE PLAN  
SCALE: 1/16" = 1'-0"



11/3/2020

WALLACE RESIDENCE  
285 MCCOY AVENUE  
WORTHINGTON OHIO



# City of Worthington

## BOARD OF ZONING APPEALS

### APPLICATION

Meetings – First Thursday of Every Month

|                 |             |
|-----------------|-------------|
| Case #          | BZA 54-2020 |
| Date Received   | 11/6/2020   |
| Fee             | 50pd        |
| Meeting Date    |             |
| Filing Deadline |             |

1. **Property Location** 2341 Snouffer Rd, Worthington, Ohio 43085

2. **Present/Proposed Use** Education (Middle School). No Change

3. **Zoning District** S-1

4. **Applicant** Paul Miller, Schorr Architects, Inc.

**Address** 230 Bradenton Ave., Dublin, Ohio 43017

**Phone Number(s)** Office: (614) 798-2096. Direct: (440) 391-1416

**Email** pmiller@schorrarchitects.com

5. **Property Owner** Worthington Board of Education

**Address** 200 E. Wilson Bridge Rd, Worthington, Ohio 43085

**Phone Number(s)** (614) 450 - 6000

**Email** Jeff Eble (jeble@wscoud.org)

6. **Action Requested (ie. type of variance)** Variance for Codified Ordinances - 1149.03b - Screening and Landscaping

#### 7. Project Details:

a) **Description** Site plan was permitted with masonry screen wall in accordance with 1149.03b for screening at adjacent residential properties. Requesting variance to remove screen wall.

b) **Expected Completion Date** August 2021

c) **Approximate Cost** \$15,000

#### PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Applicant (Signature)

11/6/2020

Date

Property Owner (Signature)

11/6/2020

Date

ABUTTING PROPERTY OWNERS  
FOR  
2341 Snouffer Rd.

|                                |                   |                       |
|--------------------------------|-------------------|-----------------------|
| James Berger                   | 2191 Snouffer Rd. | Worthington, OH 43085 |
| Maria Teresa & Paul Allen Beck | 7003 Perry Dr.    | Worthington, OH 43085 |
| Daniel & Peggy Kim             | 6991 Perry Dr.    | Worthington, OH 43085 |
| Eung & Kyong Lee               | 6981 Perry Dr.    | Worthington, OH 43085 |
| Alexander & Kelsey Merritt     | 6971 Perry Dr.    | Worthington, OH 43085 |



230 Bradenton Avenue  
Dublin, Ohio 43017  
p: 614.798.2096 | f: 614.798.2097



236 High Street  
Hamilton, Ohio 45011  
p: 513.275.1740 | f: 513.275.1741

November 6, 2020

Lee Brown  
City of Worthington  
Board of Zoning Appeals  
374 Highland Avenue  
Worthington, Ohio 43085

RE: Perry/Phoenix Middle School Additions and Renovations  
2341 Snouffer Rd.

Dear Mr. Brown:

The purpose of this letter is to file plans for the Perry/Phoenix Middle School Additions and Renovations project for Worthington City Schools.

1. Supporting Statement for Variance for Codified Ordinances – 1149.03 b – Screening and Landscaping:
  - (1) This variance will allow for additional parking and bus loop for school facility
  - (2) The variance will allow the existing drive aisle to continue straight for better maneuverability and parking lot access. Additional parking spaces will benefit the community for school and sporting events.
  - (3) Existing non-compliant drive aisle will remain. Site plan was approved with the inclusion of a masonry screen wall. Requested variance to remove screen wall as the neighboring properties have fences and a wall would create a vacant space between the properties.
  - (4) This variance does not adversely affect the delivery of government services to this property or any other adjacent properties.
  - (5) Worthington Schools owns the property prior to the start of the project.
  - (6) Site programming and layout suggest variance is the best solution to provide access and parking to the site.
  - (7) Existing neighboring fences and existing landscape creates a buffer between the school property and adjacent residential properties that is consistent with zoning code intent. **It is the applicant's position that a masonry screen wall is redundant to the conditions existing on site and would create a negative environment with vacant space between the neighbor's fence and school property.**

CITY OF WORTHINGTON

DRAWINGS NO. BZA 54-2020

DATE 11/06/2020



# 2341 Snouffer Rd.





Attached documents include:

1. BZA Application
2. Supporting Statements
3. Approved fence permit
4. C3.0 Existing Site Plan
5. C4.0 Site Dimension/Grading plan. (clouded coded note 23 represents masonry screen wall)
6. AS1.0 Architectural Site Plan (Masonry screen wall is clouded)
7. L-1 Landscape Plan
8. L-2 Landscape Plan
9. L-3 landscape Plan



View of east property edge from school property.  
Paving to left is existing paving to remain.

CITY OF WORTHINGTON

DRAWINGS NO. BZA 54-2020

DATE 11/06/2020



View of residential fence from school property "inside the trees"



Fence extending south beyond parking lot area

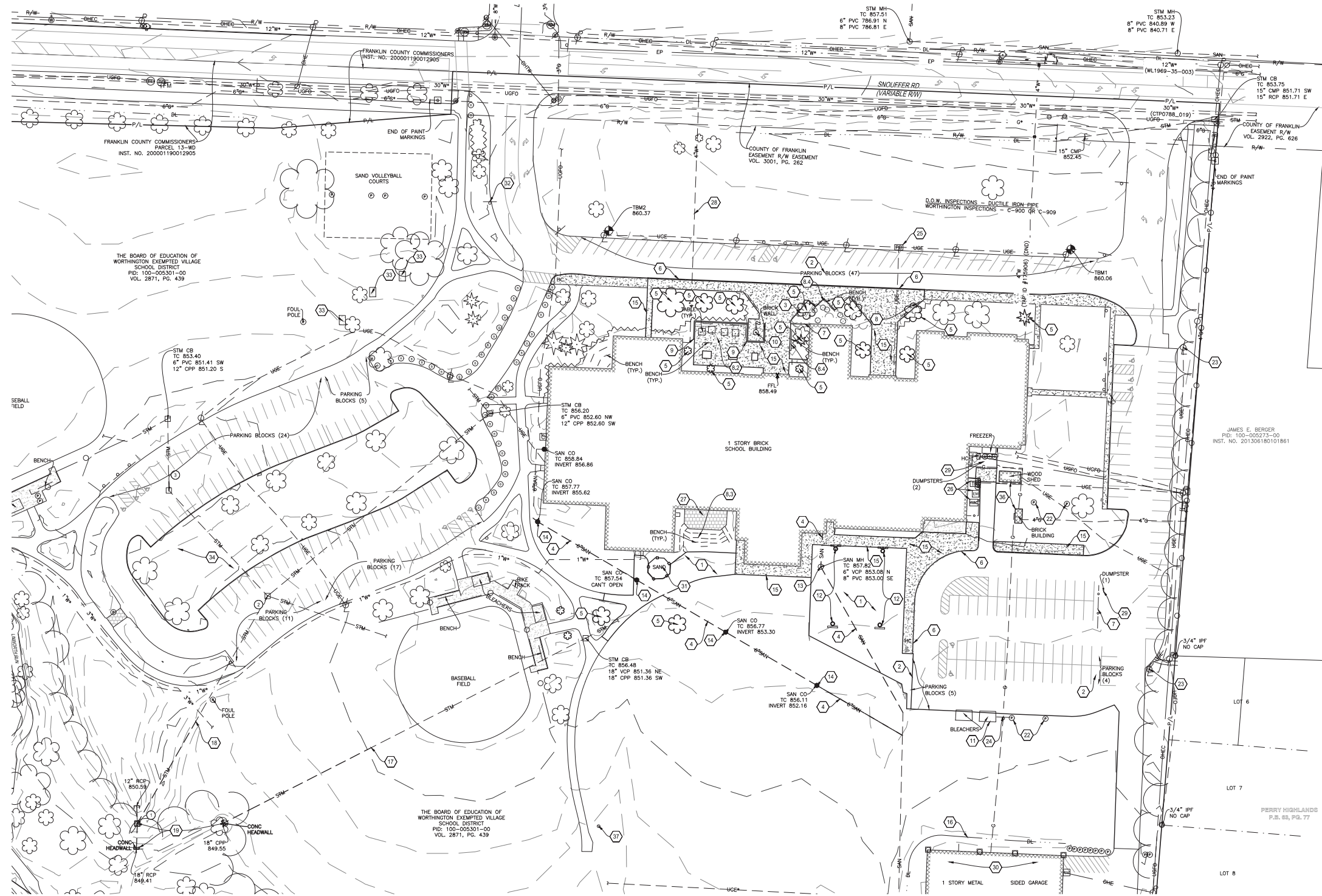
Signed,  
Paul Miller, AIA  
Schorr Architects, Inc.

CITY OF WORTHINGTON

DRAWINGS NO. BZA 54-2020

DATE 11/06/2020





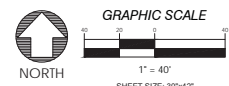
- ### DEMOLITION KEYNOTES
1. REMOVE EXISTING PAVEMENT & BASE.
  2. REMOVE EXISTING PARKING BLOCKS & SALVAGE FOR REINSTALLATION.
  3. REMOVE EXISTING SIGNAGE.
  4. REMOVE EXISTING SANITARY SEWER AND ROUTE AROUND PROPOSED ADDITION. CAP DOWNSTREAM WYE IF PROPOSED MANHOLE B DOES NOT CAUSE REMOVAL OF THE WYE.
  5. REMOVE EXISTING TREE/LANDSCAPING (TYP.) SALVAGE ANY DEDICATION/MEMORIAL PLAQUES.
  6. REMOVE EXISTING CONCRETE CURB TO NEAREST JOINT.
  7. REMOVE EXISTING FENCING.
  8. REMOVE EXISTING BENCHES & TABLES. REINSTALL AT LOCATION INDICATED ON C3.0. SEE BELOW FOR DETAILS.
  - 8.1. KEYNOTE RESERVED
  - 8.2. REMOVE EXISTING TABLES (4) AND BENCHES (5) & SALVAGE FOR REINSTALLATION.
  - 8.3. REMOVE EXISTING TABLES (10) AND BENCHES (15) & SALVAGE FOR REINSTALLATION.
  - 8.4. REMOVE EXISTING BENCHES (5).
  9. REMOVE EXISTING BRICK WALL.
  10. REMOVE EXISTING FLAG POLE & SALVAGE FOR REINSTALLATION.
  11. REMOVE EXISTING BLEACHERS.
  12. REMOVE EXISTING BASKETBALL HOOPS.
  13. REMOVE EXISTING SANITARY MANHOLE.
  14. REMOVE EXISTING SANITARY CLEANOUT.
  15. REMOVE EXISTING CONCRETE. NEATLY SAWCUT OR REMOVE TO NEAREST JOINT.
  16. REMOVE EXISTING DITCH.
  17. CUT AND REMOVE EXISTING STORM LINE.
  18. CUT & REMOVE EXISTING STORM LINE DOWNSTREAM AND TIE UPSTREAM LINE IN TO PROPOSED HEADWALL. SEE SITE PLAN.
  19. REMOVE EXISTING OUTLET CONTROL STRUCTURE PIPE AND CULVERT/HEADWALLS.
  20. BLACKOUT EXISTING STRIPING (TYP.). REMOVE EXISTING PARKING BLOCKS AND REINSTALL IN RESTRIPTED PARKING SPACES. SEE SITE PLAN.
  21. KEYNOTE RESERVED
  22. REMOVE EXISTING POSTS.
  23. REMOVE EXISTING LIGHT POLES & BASE.
  24. REMOVE EXISTING SIGNAGE. SALVAGE FOR REINSTALLATION PER DISTRICT DIRECTION.
  25. COORDINATE PULL BOX AND ELECTRIC SERVICE RELOCATION WITH MEP PLANS.
  26. REMOVE EXISTING HVAC AND TRANSFORMER/PAD AND BOLLARDS.
  27. REMOVE EXISTING BRICK PAVERS AND BENCHES.
  28. ABANDON EX. WATER SERVICE. COORDINATE WITH MEP DRAWINGS.
  29. REMOVE EXISTING DUMPSTER. REINSTALL AT LOCATION INDICATED ON ARCHITECTURAL SITE PLAN.
  30. EXISTING METAL SIDED GARAGE TO BE REMOVED BY SCHOOL DISTRICT AT A FUTURE DATE.
  31. SALVAGE BALL PIT AND RELOCATE. SEE ARCH SITE PLAN.
  32. EXISTING SIGN TO REMAIN.
  33. EXISTING PICNIC TABLE TO REMAIN.
  34. EXISTING GARDENS TO REMAIN.
  35. KEYNOTE RESERVED
  36. REMOVE SHED AND GAS HOUSE. COORDINATE GAS RECONNECTION WITH MEP PLANS.
  37. REMOVE EX DRINKING FOUNTAIN. CUT/CAP EX SERVICE.

- ### MISC. NOTES
- ALL ITEMS NOTED FOR DEMOLITION SHALL BE REMOVED & RECYCLED OR DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE FEDERAL & LOCAL REGULATIONS, UNLESS OTHERWISE DIRECTED BY PLAN OR OWNER.
  - CONTRACTOR SHALL TAKE CARE TO PREVENT DAMAGE TO TREES WHENEVER POSSIBLE.
  - CONTRACTOR SHALL COORDINATE THE DISCONNECTION & REMOVAL &/OR ABANDONMENT OF EXISTING UTILITIES WITH THE APPROPRIATE UTILITY OWNERS AS NECESSARY & SHALL MEET ALL APPLICABLE FEDERAL, STATE & LOCAL CODES & REQUIREMENTS.
  - REFERENCE ARCHITECTURAL, MECHANICAL, STRUCTURAL AND LANDSCAPE PLANS FOR ADDITIONAL DETAILS INCLUDING BUILDING DEMOLITION.
  - UTILITIES DRAWN PER PLAN ARE DENOTED WITH AN "X".
  - COORDINATE DISCONNECTION/RECONNECTION OF BUILDING SANITARY SERVICES, INCLUDING ANY NECESSARY DISRUPTION OF SERVICES WITH THE SCHOOL DISTRICT.



### SITE DEMOLITION PLAN

Perry/Phoenix Middle School  
Additions and Renovations  
2341 Snouffer Road  
Worthington, Ohio 43085  
PREPARED FOR:  
WORTHINGTON CITY SCHOOLS  
200 East Wilson Bridge Road  
Worthington, Ohio 43085



OFFICES  
128 East Main Street  
Logan, Ohio 43138  
740-385-2140  
1495 Old Henderson Road  
Columbus, Ohio 43220  
614-459-6992  
507 Main Street  
Zanesville, Ohio 43701  
740-450-1640

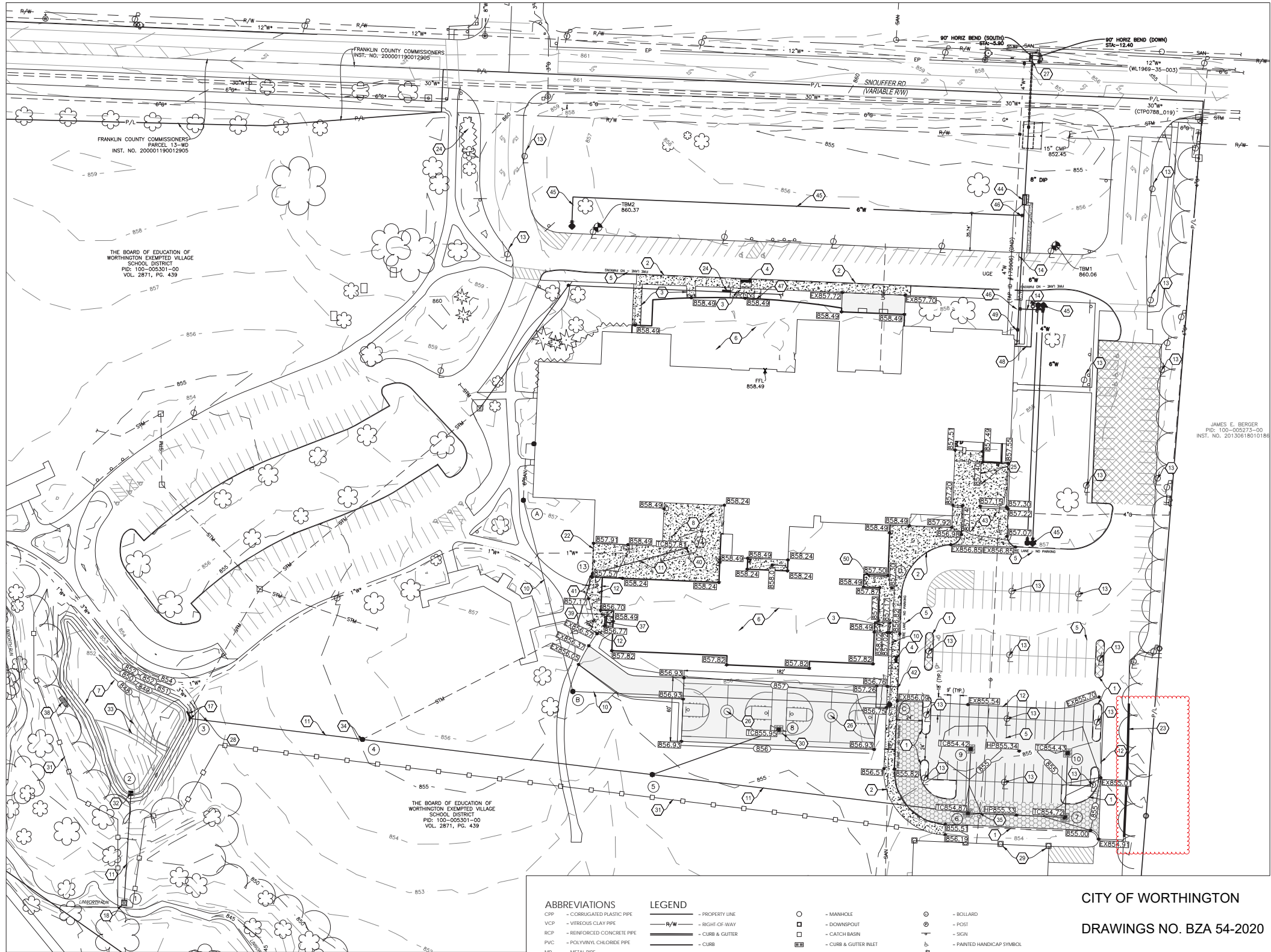
# C3.0

|                                      |      |
|--------------------------------------|------|
| CIVIL PERMIT SET: 09/5/2019          |      |
| BULLETIN 1: 10/8/2019                | ⚠    |
| BULLETIN 2: 10/30/2019               | ⚠    |
| BULLETIN 3: 11/7/2019                | ⚠    |
| BULLETIN 4: 12/5/2019                | ⚠    |
| 100% CONFORMED DOCUMENTS: 02/18/2020 | ⚠    |
| COMM. NO.:                           |      |
| SIGNED                               | DATE |

CITY OF WORTHINGTON  
DRAWINGS NO. BZA 54-2020  
DATE 11/06/2020

SD PROJECT NO. 3658





**NOTE:**  
THE PROPOSED DETENTION BASIN WILL PROVIDE WQ FOR 9.52 ACRES TOTAL TRIBUTARY, WITH UP TO 5.26 ACRES IMPERVIOUS. WHILE THE PROPOSED IMPROVEMENTS RESULT IN A TRIBUTARY SMALLER THAN THESE, THE SYSTEM WILL OVERDETAIN TO ALLOW FOR FUTURE IMPROVEMENTS OR CONSTRUCTION PHASE MODIFICATIONS TO PLANS WITHOUT MODIFICATION TO THE BASIN.

**This wall is not proposed if variance is granted..**

- SITE KEYNOTES**
1. STANDARD CONCRETE CURB, TYP. SEE SHEET C1.2 DETAIL 1.
  2. INTEGRAL CURB AND SIDEWALK, SEE SHEET C1.2 DETAIL 2.
  3. STANDARD CONCRETE SIDEWALK, SEE SHEET C1.2 DETAIL 2.
  4. ADA RAMP WITH DETECTABLE WARNING SURFACE, SEE DETAILS.
  5. STRIPING PER COMS ITEM 641.
  6. BUILDING ADDITION, FF 858.49, SEE ARCHITECTURAL PLANS.
  7. EXISTING GRADE SHALL BE 847.82 ADJACENT TO GRASS. GRADE DOWN FROM BUILDING ENTRANCES AT 10% MAX.
  8. WATER QUALITY BASIN LOCATION.
  9. RELOCATE TABLES AND BENCHES HERE. COORDINATE WITH SCHOOL DISTRICT FOR LOCATION.
  10. KEYNOTE RESERVED.
  11. RE-ROUTED SANITARY SEWER SERVICE, SEE PROFILE.
  12. STORM SEWER, SEE PROFILE.
  13. NEATLY SAWCUT PAVEMENT TO PROVIDE CLEAN, STRAIGHT EDGE. APPLY ITEM 407 JACK COAT TO EXPOSED CERTICAL FACE PRIOR TO PLACING NEW PAVEMENT. APPLY ITEM 705.04 HOT APPLIED JOINT SEALER TO JOINT.
  14. PROVIDE NEW LIGHT POLE BASES, SEE MEP PLANS FOR LIGHT POLE DETAILS (TYP.)
  15. 6" FIRE SERVICE, COORDINATE WITH MEP PLANS.
  16. REMOVE EXISTING SANITARY SERVICE.
  17. KEYNOTE RESERVED.
  18. INSTALL HALF HEIGHT HEADWALLS AT OUTLETS, CONTRACTOR TO VERIFY DEPTH OF EXISTING STORM AT EDGE OF BASIN AND REPORT FINDINGS TO A/E.
  19. 5'x5'x1.5' No. 2 STONE WITH FILTER.
  20. KEYNOTE RESERVED.
  21. REMOVE AND REPLACE EX. PAVEMENT PER HEAVY DUTY DETAIL.
  22. MATCH EX. ELEVATIONS AND STRIPING.
  23. 8" ALUMINUM FENCE W/GATE ON CONTINUOUS MASONRY KNEE WALL, SEE ARCHITECTURAL DRAWINGS.
  24. 3" MASONRY SCREEN WALL, SEE ARCHITECTURAL DRAWINGS.
  25. MONUMENT SIGNAGE, SEE ARCHITECTURAL PLANS.
  26. BASKETBALL COURTS STRIPED PER OHSAA REQUIREMENTS.
  27. 12"x8" TAPPING SLEEVE AND VALVE, COORDINATE WITH CITY OF COLUMBUS. JACK AND BORE UNDER SNOUFFER RD.
  28. LOWER EXISTING 3" WATER SERVICE PER DETAIL.
  29. CONTRACTOR TO OUTLET EX. ROOF DRAINS UNDERGROUND TO PROP. CB 6/7 WITH 6" PVC @ 1% MIN WHERE IMPACTED BY NEW SIDEWALK AND PAVEMENT.
  30. INLET PROTECTION (TYP.) SEE DETAILS SHEET C4.1.
  31. SEDIMENT FENCE, SEE DETAIL SHEET C4.1.
  32. INSTALL 2.5" SKIMMER DURING CONSTRUCTION, CONTRACTOR SHALL PROVIDE SHOP DRAWING TO A/E PRIOR TO CONSTRUCTION.
  33. FOREBAY/MICROPPOOL, SEE DETAIL ON SHEET C4.1.
  34. CONTRACTOR TO EXPOSE EXISTING STORM PIPE TO VERIFY INVERTS. INSTALL DOORHOUSE MANHOLE OVER EXISTING AND PROPOSED LINES. LOCATION TO BE RECORDED AND CASTING TO BE COVERED WITH 300 AND SEED.
  35. IF NECESSARY, CONTRACTOR TO LOWER EXISTING GAS LINE TO ACCOMMODATE 12" CLEARANCE FROM PROPOSED STORM PIPE.
  36. KEYNOTE RESERVED.
  37. CONCRETE STAIRS, SEE ARCHITECTURAL DRAWINGS.
  38. EMERGENCY SPILLWAY, SEE DETAIL.
  39. REROUTE EX. STORM LINE AS NECESSARY. CONTRACTOR TO VERIFY LOCATION IN THE FIELD.
  40. 12" PVC DRAIN BASIN.
  41. 12" YARD DRAIN.
  42. MOUNTABLE CURB, REFERENCE ODOT TYPE 3-A.
  43. CONCRETE PAVEMENT, SEE DETAIL ON SHEET C1.2.
  44. ASSE #1060 RATED HOTBOX, METER AND BFP ASSEMBLY SHALL BE 8" AMES SERIES 3000SS. REDUCE 6" TO 6" AFTER HYDRANT SERVICES, SEE PROFILE.
  45. 6" FIRE SERVICE, HYDRANT W/ VALVE PER ALL CITY OF WORTHINGTON REQUIREMENTS.
  46. 8"x8"x6" TEE, PROVIDE VALVE AT ALL HYDRANT SERVICES.
  47. FAST ENTRY KNOX BOX PER CITY OF WORTHINGTON FIRE REQUIREMENTS TO BE INSTALLED AT MAIN DOOR.
  48. 4" FREE STANDING SHAMESE FIRE DEPARTMENT CONNECTION. SEE BUILDING FIRE PROTECTION PLANS.
  49. 6" PIV VALVE.
  50. TIE INTO BUILDING @ ELEVATION 852.67, SEE MEP DRAWINGS.

- MISC. NOTES**
- ALL STORM INLETS IN PAVEMENT AREAS SHALL BE FITTED WITH CONCRETE COLLARS AND FINGER DRAINS, SEE DETAILS.
  - ALL SPOT GRADES ARE EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
  - EX. PAVEMENT THAT IS TO BE REPLACED SHALL BE REPLACED TO EX. ELEVATION UNLESS OTHERWISE NOTED. ALL EXISTING PARKING LOT STRIPING IS TO BE REPAINTED PER COMS ITEM 641.
  - COORDINATE PIN CONNECTION OF CONCRETE AT BUILDING ENTRANCES WITH ARCHITECTURAL/STRUCTURAL DRAWINGS.
  - FIRE APPARATUS ROUTE, INCLUDING BASKETBALL COURTS, SHALL REMAIN UNOBSTRUCTED AT ALL TIMES TO ALLOW FIRE ACCESS.

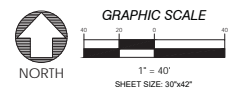
**LEGEND**

|          |  |
|----------|--|
| [Symbol] | STD. DUTY ASPHALT PAVEMENT, SEE DETAILS  |
| [Symbol] | HEAVY DUTY ASPHALT PAVEMENT, SEE DETAILS |
| [Symbol] | PAVEMENT MILL/FILL, SEE DETAILS          |
| [Symbol] | CONCRETE PAVEMENT, SEE DETAILS           |
| [Symbol] | KEYNOTE                                  |
| (A)      | SANITARY STRUCTURE LABEL                 |
| (2)      | STORM STRUCTURE LABEL                    |

**SITE DIMENSION/GRADING PLAN**

Perry/Phoenix Middle School  
Additions and Renovations  
2341 Snouffer Road  
Worthington, Ohio 43085

PREPARED FOR:  
WORTHINGTON CITY SCHOOLS  
200 East Wilson Bridge Road  
Worthington, Ohio 43085



CITY OF WORTHINGTON  
DRAWINGS NO. BZA 54-2020  
DATE 11/06/2020

**PARKING CALCULATION**

|   |
|---|
| • STUDENT COUNT: 865  |
| • TOTAL EXISTING SPACES: 151                                    |
| • TOTAL PROPOSED SPACES: 217                                    |
| • REQUIRED SPACES PER ODOT: 184 (OSDM PARKING CALC.)            |
| • REQUIRED SPACES PER ZONING: 46 (1171.01, CITY OF WORTHINGTON) |



**OFFICES**

128 East Main Street  
Logan, Ohio 43138  
740-385-2140

1495 Old Henderson Road  
Columbus, Ohio 43220  
614-459-6992

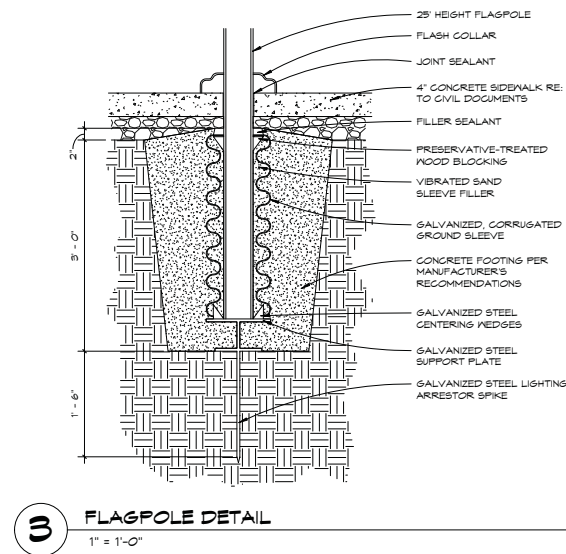
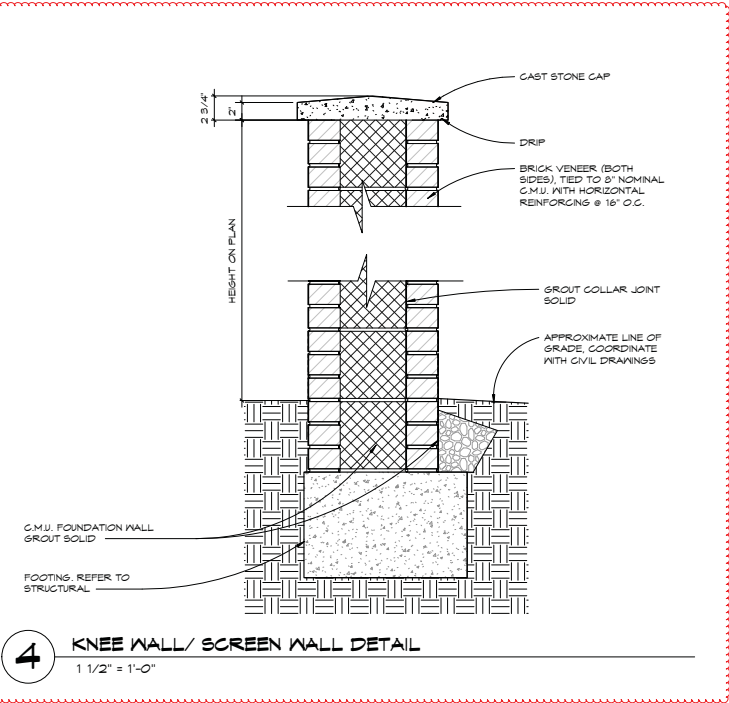
507 Main Street  
Zanesville, Ohio 43701  
740-450-1640

**C4.0**

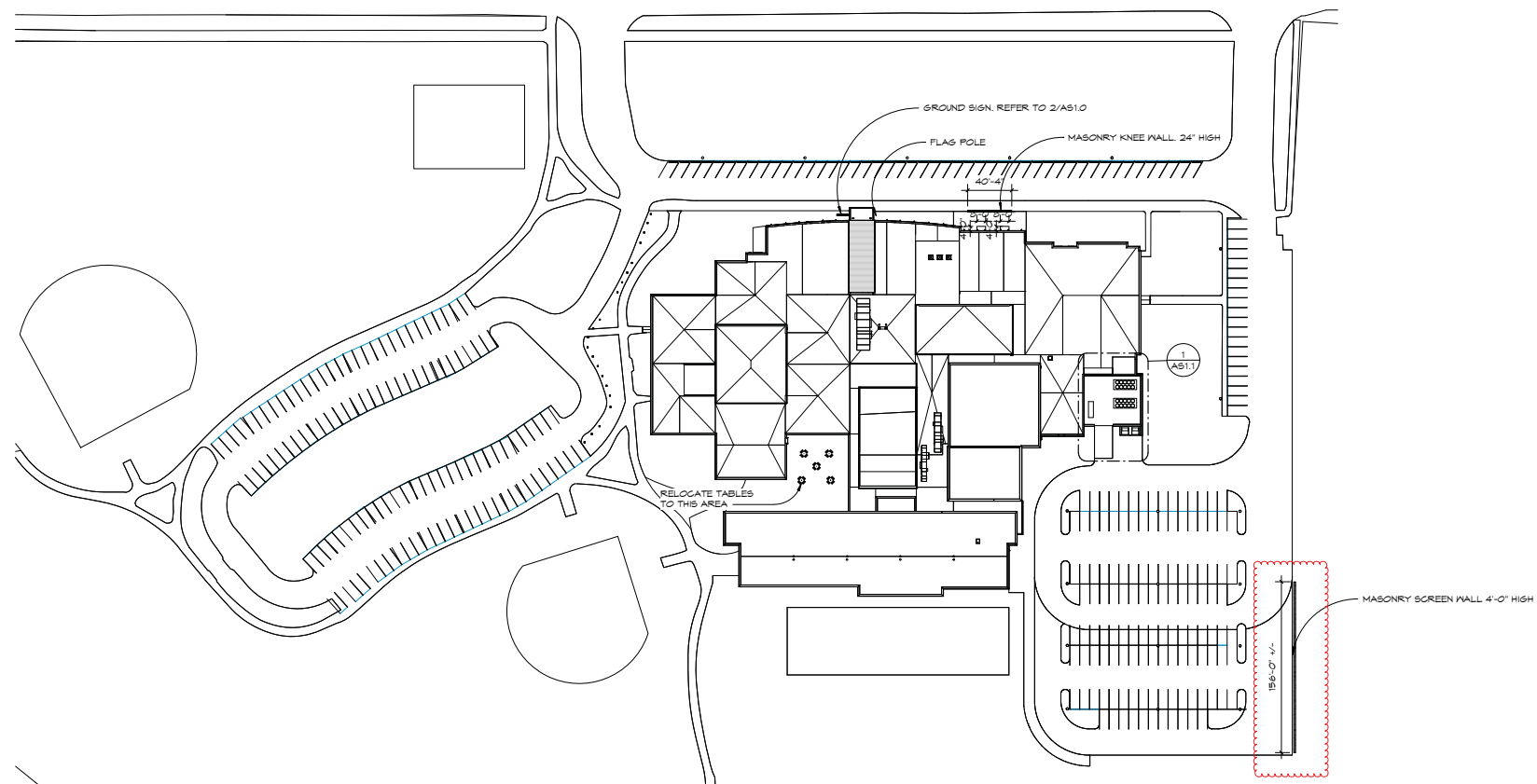
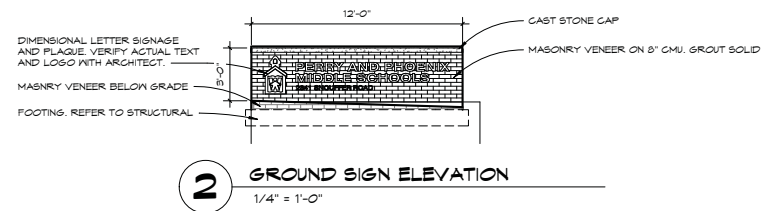
SIGNED \_\_\_\_\_ DATE \_\_\_\_\_



S:\Schorr\_2024\2024 Projects\2024\BZA 54-2020\BZA 54-2020.dwg, 11/16/2020, 10:55:24



This wall is not proposed if variance is granted..



- SITE PLAN GENERAL NOTES**  
APPLICABLE TO ARCHITECTURAL SITE PLAN
1. ARCHITECTURAL SITE PLAN IS INTENDED TO GENERALLY SHOW LOCATION OF ARCHITECTURAL SITE ELEMENTS. REFER TO CIVIL DRAWINGS FOR SITE DEMOLITION AND ADDITIONAL SITE DESIGN. REFER TO LANDSCAPE PLANS FOR LANDSCAPE AND PLANTINGS.
  2. REFER TO SITE UTILITIES PLAN FOR SITE UTILITIES.

**ARCHITECTURAL SITE PLAN**

**PERRY/PHOENIX MS ADDITION AND RENOVATION**  
2341 Snouffer Road  
Worthington, Ohio 43085

PREPARED FOR:  
WORTHINGTON CITY SCHOOLS  
200 East Wilson Bridge Road  
Worthington, Ohio 43085



|                                    |  |
|------------------------------------|--|
| 90% CDs 12/20/2019                 |  |
| ADDENDUM 2: 1/13/2020              |  |
| 100% CONFORMED DOCUMENTS 2/18/2020 |  |

COMM. NO.: 1851

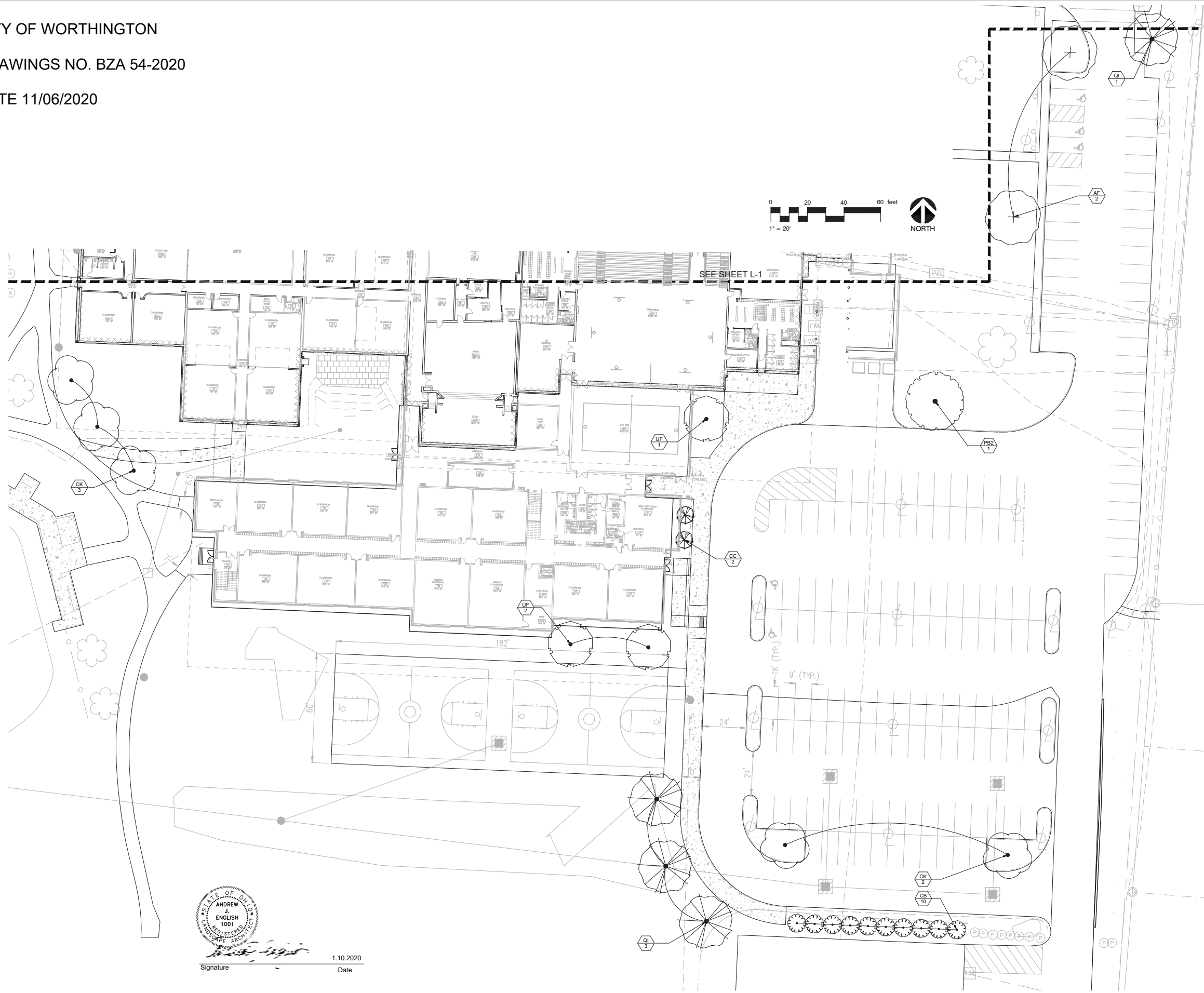
**AS1.0**

SIGNED \_\_\_\_\_ DATE 2/18/2020

CITY OF WORTHINGTON  
DRAWINGS NO. BZA 54-2020  
DATE 11/06/2020



CITY OF WORTHINGTON  
DRAWINGS NO. BZA 54-2020  
DATE 11/06/2020



**PLANIT**  
500 West Wilson Bridge Road  
Worthington, OH 43085  
planetstudios.com

LANDSCAPE PLAN

Perry / Pheonix Middle School  
Additions and Renovations  
2341 Snouffer Road  
Worthington, Ohio 43085

PREPARED FOR:  
WORTHINGTON CITY SCHOOLS  
200 East Wilson Bridge Road  
Worthington, Ohio 43085

**schorr architects**  
inc.

**CDA** COMMUNITY  
DESIGN ALLIANCE

|                                       |  |
|---------------------------------------|--|
| 90% CDS 12/20/2019                    |  |
| ADDENDUM 2: 1/13/2020                 |  |
| 100% CONFORMED<br>DOCUMENTS 2/18/2020 |  |

COMM. NO.:

L-2

SIGNED 2/18/2020  
DATE



## EXISTING CONDITION

CITY OF WORTHINGTON  
DRAWINGS NO. BZA 54-2020  
DATE 11/06/2020



## PROPOSED LAYOUT



## OFFICES

128 East Main Street  
Logan, Ohio 43138  
740-385-2140

1495 Old Henderson Road  
Columbus, Ohio 43220  
614-459-6992

507 Main Street  
Zanesville, Ohio 43701  
740-450-1640

NOT FOR  
CONSTRUCTION

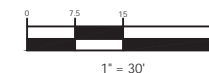


**Know what's below.  
Call before you dig.**



NORTH

GRAPHIC SCALE



PERRY PHOENIX  
DRIVE AISLE EXHIBIT

11-17-20

EXHIBIT

1 OF 1

SD PROJECT NO.

These drawings are instruments of professional service by Sands Decker CPS, LLC for the designated project. Sands Decker CPS, LLC assumes no liability for unauthorized use of these drawings, specifications, and documents.

S:\Schorr 3654 Phoenix Middle School\Draw\3654 Phoenix MS Master wsp.dwg 11/17/2020 1:29 PM