



**BOARD OF ZONING APPEALS**  
**-AGENDA-**  
**Thursday, January 5, 2023 at 7:00 P.M.**

Louis J.R. Goorey Worthington Municipal Building  
The John P. Coleman Council Chamber  
6550 North High Street  
Worthington, Ohio 43085

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**A. Call to Order - 7:00 pm**

1. Roll Call
2. Pledge of Allegiance
3. Oaths of Office
4. Election of Officers
5. Approval of minutes of the December 1, 2022 meeting
6. Affirmation/swearing in of witnesses

**B. Items of Public Hearing – Consent Agenda**

There will be no separate discussion of Consent Agenda items as they are considered to be routine by the Board and will be adopted by one motion. If a member of the Board, staff, or the public requests discussion on a particular item, that item will be removed from the Consent Agenda and considered separately on the agenda.

1. **Extension of Construction Completion Period – New Building – 105 W. Wilson Bridge Rd. (Kenny Leckrone) EXCP 11-2022**
2. **Extension of Construction Completion Period – New Building – 89 W. Wilson Bridge Rd. (Kenny Leckrone) EXCP 12-2022**
3. **Extension of Construction Completion Period – New Building – 71 W. Wilson Bridge Rd. (Kenny Leckrone) EXCP 13-2022**
4. **Extension of Construction Completion Period – New Building – 53 W. Wilson Bridge Rd. (Kenny Leckrone) EXCP 14-2022**

5. **Extension of Construction Completion Period** – New Building – **7105 N. High St.** (Kenny Leckrone) **EXCP 16-2022**
6. **Extension of Construction Completion Period** – New House – **100 W. South St.** (Neil Toepfer) **EXCP 15-2022**
7. **Extension of Construction Completion Period** – Addition & Renovations – **430 Crandall Dr.** (Edward L. Johnston) **EXCP 17-2022**

**C. Item of Public Hearing – Regular Agenda**

1. **Temporary Use Permit** – Event Business – **862 Proprietors Rd., Suite B** (Amber & Samuel Fullah) **TUP 04-2022**
2. **Variance** – Side Yard Setback – Pavilion – **6655 Lakeside Circle W.** (Kerry L. Gor) **VAR 46-2022**
3. **Variance** – Accessory Building Area – Multiuse Building – **1000 Beechview Dr. N** (Amy Andres) **VAR 47-2022**

**D. Other**

**E. Adjournment**



## MEMORANDUM

TO: Members of the Board of Zoning Appeals

FROM: Lynda Bitar, Planning Coordinator  
Kenny Ganter, Planning & Building Assistant

DATE: December 29, 2022

SUBJECT: Staff Memo for the Meeting of January 5, 2023

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**B. Items of Public Hearing – Consent Agenda**

There will be no separate discussion of Consent Agenda items as they are considered to be routine by the Board and will be adopted by one motion. If a member of the Board, staff, or the public requests discussion on a particular item, that item will be removed from the Consent Agenda and considered separately on the agenda.

1. **Extension of Construction Completion Period – New Building – 105 W. Wilson Bridge Rd. (Kenny Leckrone) EXCP 11-2022**
2. **Extension of Construction Completion Period – New Building – 89 W. Wilson Bridge Rd. (Kenny Leckrone) EXCP 12-2022**
3. **Extension of Construction Completion Period – New Building – 71 W. Wilson Bridge Rd. (Kenny Leckrone) EXCP 13-2022**
4. **Extension of Construction Completion Period – New Building – 53 W. Wilson Bridge Rd. (Kenny Leckrone) EXCP 14-2022**
5. **Extension of Construction Completion Period – New Building – 7105 N. High St. (Kenny Leckrone) EXCP 16-2022**

### **Findings of Fact and Conclusions**

**Background:**

The site is in the Wilson Bridge Corridor and located west of High St. and south of the Worthington Mall. The site is home to the Worthington Gateway (mixed-use development) that includes four buildings fronting W. Wilson Bridge Rd. and one building fronting High St. Construction of a four story mixed-use building in the center of the site is anticipated to start soon with expected

completion in early 2024.

The applicant has received extensions on the four buildings on W. Wilson Bridge Rd in the past. This will be the applicant's first request for an extension for the building on High St. The permit for the new building at 7105 N. High St. was issued on June 10, 2021 and expired on December 12, 2022. Due to ongoing contractor issues and material shortages, this is causing the applicant to request time extensions for all five buildings.

**Worthington Codified Ordinances:**

[Section 1305.06\(b\) Compliance with Ordinances](#)

The permit authorizing the work as shown on the approved construction documents is invalid if the work is not completed, inspected, and approved within eighteen months of the issuance of the permit.

[Section 1305.06\(c\) Compliance with Ordinances](#)

Before any work authorized by a permit may continue for which the permit is invalid, the owner shall make application to the Board of Zoning Appeals for an extension of time as required under Chapter 1129 of the Planning and Zoning Code. Failure to complete work within said eighteen-month period or additional time granted by the Board of Zoning Appeals shall constitute a violation of this code.

**Request:**

The applicant is requesting to extend the construction completion period for one year for all five buildings (53, 71, 89, 105 W. Wilson Bridge Rd. & 7105 N. High St.).

**Project Details:**

1. The four buildings on W. Wilson Bridge Rd. are near completion and the building on High St. has taken shape in the last few months. Site work has been underway with landscaping, lighting, fencing, and paving.
2. Inspections have been frequent, and Staff should see final inspections being scheduled for the buildings fronting W. Wilson Bridge Rd. soon.

**Conclusions:**

A one year time extension should provide ample time to complete the four buildings fronting W. Wilson Bridge Rd. and the one building fronting N. High St.

**Motion:**

**THAT THE REQUEST BY KENNY LECKRONE FOR AN EXTENSION OF THE CONSTRUCTION COMPLETION PERIOD UNTILL DECEMBER 31, 2023 AT 53, 71, 89, 105 W. WILSON BRIDGE RD. & 7105 N. HIGH ST. AS PER CASE NO. EXCP 11, 12, 13, 14-2022 & EXCP 16-2022, DRAWINGS NO. EXCP 11, 12, 13, 14-2022 & EXCP 16-2022 DATED NOVEMBER 22, 2022, BE APPROVED, BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND/OR PRESENTED AT THE MEETING.**

6. **Extension of Construction Completion Period – New House – 100 W. South St. (Neil Toepfer) EXCP 15-2022**

**Findings of Fact and Conclusions**

**Background:**

This property is in the R-10 (Low Density Residential) Zoning District and within the Architecture Review District in Old Worthington. In March 2018, the Architectural Review Board approved the construction of a new dwelling and garage on the property. The permit was issued in August 2018 and expired in early 2020. The Board of Zoning Appeals approved an extension in May 2020 until the end of that year. In March 2021, another extension was approved until the end of 2021. In December 2021, an extension was approved until the end of 2022.

The owner is requesting another extension to complete final inspections of the new house. This will be the fourth extension that the owner is requesting. The property owner is completing most of the work himself as well, which has caused additional delays. The owner has stated that they have faced issues with masonry contractors, applying the exterior covering, and driveway work.

**Worthington Codified Ordinances:**

[Section 1305.06\(b\) Compliance with Ordinances](#)

The permit authorizing the work as shown on the approved construction documents is invalid if the work is not completed, inspected, and approved within eighteen months of the issuance of the permit.

[Section 1305.06\(c\) Compliance with Ordinances](#)

Before any work authorized by a permit may continue for which the permit is invalid, the owner shall make application to the Board of Zoning Appeals for an extension of time as required under Chapter 1129 of the Planning and Zoning Code. Failure to complete work within said eighteen-month period or additional time granted by the Board of Zoning Appeals shall constitute a violation of this code.

**Request:**

The applicant is requesting another time extension for six months.

**Project Details:**

1. The remaining work includes masonry, the exterior cover, and the driveway. Although, the driveway cannot be completed until the spring.
2. A temporary occupancy was issued on December 8, 2022 and expires on June 6, 2023.
3. Some final inspections have been schedule, but not passed.

**Conclusions:**

The property owner has made progress with the new house and should be able to complete the project in the upcoming months. However, staff recommends the property owner to complete the exterior cover and site improvements as soon as possible to have the outside more presentable in Old Worthington.

A one year time extension is an appropriate amount of time to finish the project, call for final inspections, and close the permit.

**Motion:**

**THAT THE REQUEST BY NEIL TOEPFER FOR AN EXTENSION OF THE CONSTRUCTION COMPLETION PERIOD UNTIL DECEMBER 31, 2023, AT 100 W. SOUTH ST., AS PER CASE NO. EXCP 15-2022, DRAWINGS NO. EXCP 15-2022 DATED DECEMBER 6, 2022, BE APPROVED, BASED ON THE FINDINGS OF FACT CONCLUSIONS IN THE STAFF MEMO AND/OR PRESENTED AT THE MEETING.**

**7. Extension of Construction Completion Period – Addition & Renovations – 430 Crandall Dr. (Edward L. Johnston) EXCP 17-2022**

**Findings of Fact and Conclusions**

**Background:**

This house is in the R-10 (Low Density Residential) Zoning District in the Wilson Hill Highlands Subdivision. The property owner is completing an interior renovation of the existing house and constructing a front porch addition.

The permit was issued on May 18, 2021 and expired on November 17, 2022. The last inspection for the project was completed in September 2022. The applicant has stated that the lack of labor, delivery of materials and revisions submitted earlier in 2022 is causing them to request a time extension. This is the first extension request by the owner.

**Worthington Codified Ordinances:**

**[Section 1305.06\(b\) Compliance with Ordinances](#)**

The permit authorizing the work as shown on the approved construction documents is invalid if the work is not completed, inspected, and approved within eighteen months of the issuance of the permit.

**[Section 1305.06\(c\) Compliance with Ordinances](#)**

Before any work authorized by a permit may continue for which the permit is invalid, the owner shall make application to the Board of Zoning Appeals for an extension of time as required under Chapter 1129 of the Planning and Zoning Code. Failure to complete work within said eighteen-month period or additional time granted by the Board of Zoning Appeals shall constitute a violation of this code.

**Request:**

The applicant is requesting to extend the construction completion period for one year.

**Project Details:**

1. In December 2022, the owner stated that he was able to receive the roof trusses and was still waiting for labor to do block work. Carpenters and roofers are needed as well.
2. Some rough framing and electrical inspections have been scheduled and passed.
3. The applicant mentioned that phase 1 of the project is near too completion.

**Conclusions:**

Staff feels a one year time extension is an appropriate amount of time to finish the project, call for inspections, and close the permit.

**Motion:**

**THAT THE REQUEST BY EDWARD L. JOHNSTON FOR AN EXTENSION OF THE CONSTRUCTION COMPLETION PERIOD UNTIL DECEMBER 31, 2023, AT 430 CRANDALL DR., AS PER CASE NO. EXCP 17-2022, DRAWINGS NO. EXCP 17-2022 DATED DECEMBER 12, 2022, BE APPROVED, BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND/OR PRESENTED AT THE MEETING.**

**C. Item of Public Hearing – Regular Agenda**

1. **Temporary Use Permit – Event Business – 862 Proprietors Rd., Suite B (Amber & Samuel Fullah) TUP 04-2022**

**Findings of Fact & Conclusions****Background:**

This property is in the I-1 (Restricted Light Industrial) Zoning District and was developed as part of the Worthington Station Office Condominium project. The building is 3600 square feet in area and has two suites. The tenant in Suite A is Kevin S. Huelsman, DDS.

A business called Vibe Venue is seeking approval to continue to operate at this location. The City became aware of the business in October and determined the use would be considered an Entertainment Facility. That use is not a permitted or conditional use in the I-1 Zoning District so could only be allowed with a Temporary Use Permit.

**Worthington Codified Ordinances:****[Section 1129.059\(5\) – Temporary Use Permits](#)**

A temporary use permit may be granted where the temporary use of a structure or premises in any district where such temporary use shall be for a period of more than ninety days is proposed for a purpose or use that does not conform to the regulations prescribed elsewhere in this Zoning Ordinance for the district in which it is located, provided that such use be of a temporary nature and does not involve the erection of a substantial structure. A temporary use permit for such use shall be granted in the form of a temporary and revocable permit, for not more than a six-month period, subject to a six months' renewal and such conditions as will safeguard the public health, safety, convenience, and general welfare.

**[Section 1123.31 Entertainment Facility.](#)**

“Entertainment facility” means any permanent or temporary building, structure or premises in which or upon which:

- (a) Live performances are conducted by dancers, singers, musicians, comics and similar entertainers whether as the primary or incidental use of such building, structure or premises; or

(b) Activities are located such as bowling alleys, dance halls, live theaters, motion picture theaters, nightclubs, video arcades, and similar activities whether as the primary or incidental use of such building, structure or premises.

Section 1147.01 Permitted Uses.

Light manufacturing and assembly  
Automotive services  
Animal hospitals  
Plant production  
Equipment sales/storage  
Offices  
Essential services  
Accessory uses  
Warehousing  
Veterinary Care Center  
Sexually Oriented Business

Section 1147.01 Conditional Uses.

Ancillary retail/service  
Restaurants  
Printing and publishing  
Wholesale business  
Heliports  
Public service facilities  
Agriculture  
Recreational facilities  
Laboratories, research and development, and clinical testing facilities  
Vocational instruction  
Unit storage facility  
Resident manager's residence  
Automotive services - major  
Sale and storage of building materials  
Dog and cat day care center  
Breweries, distilleries and wineries

**Request:**

A Temporary Use Permit is requested to allow an entertainment facility (Vibe Venue) to operate in the I-1 Zoning District for six months.

**Project Details:**

1. Vibe Venue hosts events in the space typically on evenings and weekends, at times when the dental office is not open.
2. Ample parking exists at this location and there is not residential near to the site.
3. If approved, application can be made to extend the Temporary Use Permit for an additional 6 months.



**Conclusion:**

This location seems appropriate for this type of use on a temporary basis for 6 months.

**Motion:**

**THAT THE REQUEST BY AMBER AND SAMUEL FULLAH FOR A TEMPORARY USE PERMIT TO OPERATE AN ENTERTAINMENT FACILITY IN THE I-1 ZONING DISTRICT AT 862 PROPRIETORS RD., AS PER CASE NO. TUP 04-2022, DRAWINGS NO. TUP 04-2022, DATED NOVEMBER 8, 2022, BE APPROVED, BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND/OR PRESENTED AT THE MEETING.**

**2. Variance – Side Yard Setback – Pavilion – 6655 Lakeside Circle W. (Kerry L. Gor) VAR 46-2022**

**Findings of Fact and Conclusions****Background:**

This property is a 1.42 acre lot in the R-10 (Low Density Residential) Zoning District in the Potters Creek Subdivision. The lot is 83' wide in the front and 158.92' wide at the rear. The west property line is about 531' deep and the east property line being about 491' deep.

The property owners would like to construct a pavilion on the east side of the existing pool at the rear of the home. The applicant has stated that there would not be enough room to accommodate the pavilion because of the pool's location without a variance.

**Worthington Codified Ordinances:****[1149.08\(b\) Special Yard Requirements](#)**

No accessory buildings shall be located in any front or side yard except under unusual circumstances where such building shall not conflict with the intent and purposes of this Zoning Ordinance, or, where enforcement shall result in extreme hardship. In either case the decision to permit such activity shall be made by the Board of Zoning Appeals. Accessory buildings of 120 square feet (sf) or less in area must be set back at least five feet from the side and rear lot lines.

**Request:**

The applicant is requesting approval to construct a 19' wide and 13.5' deep (256.5' sq. ft.) pavilion 4' feet from the east property line. A variance of 4' feet is required.

**Project Details:**

1. The pavilion is proposed on the east side of the existing pool. The structure will have a hip roof with asphalt shingles and four support columns.
2. A stone veneer serving bar with a granite countertop and a cedar privacy wall with a mounted TV is proposed underneath.
3. Fire-resistance rating is not required for these types of structures close to the property line.

**Conclusions:**

Due to the size of the lots in this area and these structures being common in Worthington, the proposed location should not alter the essential character of the neighborhood.

**Motion:**

**THAT THE REQUEST BY KERRY L. GOR FOR A VARIANCE FROM CODE REQUIREMENTS TO ALLOW FOR A PAVILION TO BE CONSTRUCTED IN THE REQUIRED SIDE YARD AT 6655 LAKESIDE CIR. W., AS PER CASE NO. VAR 46-2022, DRAWINGS NO. VAR 46-2022 DATED NOVEMBER 18, 2022, BE APPROVED, BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND/OR PRESENTED AT THE MEETING.**

3. **Variance** – Accessory Building Area – Multiuse Building – **1000 Beechview Dr. N** (Amy Andres) **VAR 47-2022**

**Findings of Fact and Conclusions****Background:**

This property is a .46 acre corner lot in the R-10 (Low Density Residential) Zoning District. The house was originally constructed in 1960. There is an existing 427 sq. ft. 2-car attached garage and an existing 80 sq. ft. shed towards the north property line. In 2019, the property owner constructed an addition that included a mudroom and a hobby workshop. The applicant has stated that during the pandemic, the space was repurposed into a home office.

With the size of the existing garage, the property owners are wanting to construct a multiuse building to create more storage and space for their hobby workshop. The property owner would like to construct a new 512 sq. ft. accessory building on the north side of the lot for a total accessory structure square footage of 1,019 sq. ft.

**Worthington Codified Ordinances:****[Section 1149.08 \(b\) Special Yard Requirements:](#)**

In any “R” District the total area for accessory buildings shall be limited to 850 square feet and must be compatible in materials and appearance to the other buildings in the area.

**Request:**

The applicant is requesting to construct a new accessory building that is 512 sq. ft. for a total accessory square footage of 1,019 sq. ft. A variance of 169 sq. ft. is required.

**Project Details:**

1. The accessory building is 32’ wide and 16’ deep. The building will be used for a pool house/exercise room, hobby workshop, and home/garden storage. A covered porch is proposed on the front of the building as well.
2. The multiuse building is approximately 15’ from the north property line, which meets setback requirements.

3. The building will be constructed of wood, painted to match the existing residence, and have a low pitch roof with asphalt shingles. Pella casement and awning windows are proposed along with two doors and one overhead door.
4. Landscaping is proposed around the building.

**Conclusions:**

The essential character of the neighborhood should not be altered as the style and materials of the multiuse building are similar to the existing residence and landscaping should help soften the size of the structure.

**Motions:**

**THAT THE REQUEST BY AMY ANDRES FOR A VARIANCE FROM CODE REQUIREMENTS TO ALLOW THE TOTAL ACCESSORY STRUCTURE AREA TO EXCEED 850 SQ. FT. AT 1000 BEECHVIEW DR. N., AS PER CASE NO. VAR 47-2022, DRAWINGS NO. VAR 47-2022 DATED DECEMBER 5, 2022, BE APPROVED, BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND/OR PRESENTED AT THE MEETING.**

### **1129.05 Powers and Duties.**

(b) Exceptions. In hearing and deciding appeals, the Board shall have the power to grant an exception in the following instances:

(5) Temporary use permits. A temporary use permit may be granted where the temporary use of a structure or premises in any district where such temporary use shall be for a period of more than ninety days is proposed for a purpose or use that does not conform to the regulations prescribed elsewhere in this Zoning Ordinance for the district in which it is located, provided that such use be of a temporary nature and does not involve the erection of a substantial structure. A temporary use permit for such use shall be granted in the form of a temporary and revocable permit, for not more than a six-month period, subject to a six months' renewal and such conditions as will safeguard the public health, safety, convenience, and general welfare.

(6) Extension and construction completion periods. The Board may authorize, for good cause shown, extension of the time period provided for the completion of structures in the Building Code. However, the Board may not authorize extension of the period for greater than a one-year extension of time subject to one-year renewals and such conditions as will safeguard the public health, safety, convenience, and general welfare.

(c) Area Variances. The Board shall have the power to hear and decide appeals and authorize variances from the provisions or requirements of this Zoning Ordinance. In authorizing a variance, the Board may attach conditions and require such guarantee or bond as it may deem necessary to assure compliance with the objective of this Zoning Ordinance. The Board may grant a variance in the application of the provisions of the Zoning Ordinance when it is determined that practical difficulty exists based on the following factors:

(1) Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance;

(2) Whether the variance is substantial;

(3) Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer a substantial detriment as a result of the variance;

(4) Whether the variance would adversely affect the delivery of governmental services (e.g. water, sewer, garbage).

(5) Whether the property owner purchased the property with knowledge of the zoning restriction;

(6) Whether the property owner's predicament feasibly can be obviated through some method other than a variance; and,

(7) Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting the variance.

(d) Interpretation of District Map. In case of any questions as to the location of any boundary line between zoning districts, a request for interpretation of the Zoning District Map may be made to the Board which shall interpret the Map in such a way as to carry out the intent and purpose of this Zoning Ordinance.

(e) Extension of Nonconforming Use. The Board shall have the authority to grant an extension of a building or the expansion of the use of a lot devoted to a nonconforming use upon a lot occupied by such building or use, or on a lot adjoining, provided that such lot was under the same ownership as the lot in question on the date such building or use became nonconforming, and where such extension is necessary and incidental to the existing use of such building or lot. However, the floor areas or lot areas of such extensions shall not exceed, in all, 100 percent (100%) of the area of the existing building or lot devoted to a nonconforming use.



MINUTES OF THE REGULAR MEETING  
BOARD OF ZONING APPEALS

December 1, 2022

**A. Call to Order – 7:00 p.m.**

1. Roll Call - the following members were present: Cynthia Crane, Chair; D.J. Falcoski, Vice-Chair; Brian Seitz, Secretary; Garrett Guillozet, member. Also present was Mikel Coulter, Representative of the MPC; Lee Brown, Planning and Building Director; Lynda Bitar, Planning Coordinator; and Kenneth Ganter, Planning and Building Assistant; and Thomas Lindsey, Director of Law.
2. Pledge of Allegiance
3. Approval of Minutes of October 6 , 2022 meeting

Mr. Coulter moved to approve the minutes as amended, and Mr. Guillozet seconded the motion. All members voted “Aye” and the minutes were approved.

**B. Items of Public Hearing – Consent Agenda**

There will be no separate discussion of Consent Agenda items as they are considered to be routine by the Board and will be adopted by one motion. If a member of the Board, staff, or the public requests discussion on a particular item, that item will be removed from the Consent Agenda and considered separately on the agenda.

1. **Extension of Construction Completion Period – Additions & Renovations – 561 Park Overlook Dr. (Jeremy & Rachel Little) EXCP 08-2022**
2. **Extension of Construction Completion Period – Additions – 174 Loveman Ave. (Debora Stubbs) EXCP 09-2022**
3. **Extension of Construction Completion Period – Remodel – 46 Howard Ave. (Colin Depew) EXCP 10-2022**

Mr. Guillozet moved to approve the Consent Agenda, and Mr. Falcoski seconded the motion. All Board members voted, “Aye,” and the motion was approved.

**C. Item of Public Hearing – Regular Agenda**

1. **Variance – Side Yard Setback – Pavilion – 385 Riley Ave. (Pete Marsh/Moraille) VAR 40-**

**2022**

Mr. Ganter reviewed the following from the staff memo:

### **Findings of Fact and Conclusions**

#### **Background:**

This 2,872 sq. ft. home was built in 1966 and is in the Worthingway subdivision, which is in the R-10 (Low Density Residential) Zoning District. The lot is 80' wide and 170' deep. The property owners constructed a paver patio with a pavilion towards the rear of the existing residence. The project was completed in July 2022 without a permit. The applicant was under the impression that a structure under 200 sq. ft. could be erected without any city approvals. The applicant was made aware that a variance was needed for the structure to remain in its current location.

The owners would like the pavilion to remain at the rear of the home in the required side yard. The applicant has stated that moving the pavilion would break up the space of the patio in such a way that there would be non-functional space on one side and limited space on the other side.

#### **Worthington Codified Ordinances:**

##### **[Section 1149.08\(b\) Special Yard Requirements:](#)**

Accessory buildings such as garages and storage buildings exceeding 120 sq. ft. in area may be located in the rear yard provided such buildings are set back at least eight feet from the side lot lines and ten feet from the rear lot line.

#### **Request:**

The applicant is requesting to allow the constructed pavilion to remain approximately 2' from the east property line; a variance of 6' is required.

#### **Project Details:**

1. The proposed pavilion is 12' wide and 12' deep.
2. The structure is constructed of wood with asphalt shingles on a hip roof.
3. Fire-resistance rating is not required for structures with no walls near the property line.
4. An outlet and lighting are included with the pavilion as well.

#### **Conclusions:**

Although the variance is substantial, the existing neighbor's 6' privacy fence to the east should help mitigate the structure being close to the property line.

The essential character of the neighborhood should not be altered as these structures are common in Worthington.

#### **Discussion:**

Mr. Pete Marsh, 3563 Goldenrod St., Hilliard, Ohio, said his company installed the pavilion. Mr. Marsh apologized for not getting the plan approved before installation. He said he felt the structure

was not too imposing on the neighboring property. Mr. Coulter asked Mr. Marsh if he had any other building projects within the City of Worthington, and Mr. Marsh said only patios. Mr. Seitz asked if the structure had a foundation and Mr. Marsh said the structure had 36" concrete footers. Ms. Moraille, the owner of the home, apologized that she was also unaware of the guidelines for the structure. Mrs. Crane asked if there was anyone that wanted to speak for or against this application, but no one commented.

**Motion:**

Mr. Seitz moved:

**THAT THE REQUEST BY PETE MARSH ON BEHALF OF RICHARD AND SHAWNA MORAILLE FOR A VARIANCE FROM CODE REQUIREMENTS TO ALLOW FOR A PAVILION TO REMAIN AT 385 RILEY AVE., AS PER CASE NO. VAR 40-2022, DRAWINGS NO. VAR 40-2022 DATED OCTOBER 27, 2022, BE APPROVED, BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND/OR PRESENTED AT THE MEETING.**

Mr. Coulter seconded the motion. Mr. Ganter called the roll. Mr. Guillozet, aye; Mr. Falcoski, aye; Mr. Coulter, aye; Mr. Seitz, aye; and Mrs. Crane, aye. The motion was approved.

**2. Variance – Front Yard Setback – Porch Roof – 477 Loveman Ave. (Eric Kramer/Semenya and McMahon) VAR 41-2022**

Mr. Ganter reviewed the following from the staff memo:

**Findings of Fact and Conclusions**

**Background:**

This property is in the R-10 (Low Density Residential) Zoning District in Colonial Hills. The house is located approximately 24' from the Loveman Ave. public right-of-way, so the existing house extends 6' into the required front yard. The owner would like to construct a porch with a roof in the required front yard. The applicant has stated that the owner would like to spruce up their front porch.

**Worthington Codified Ordinances:**

[Section 1149.01 Yard, Area, and Height for Dwellings and Accessory Structures:](#)

The required front yard is 30'.

**Request:**

The applicant is seeking approval to construct a covered front porch that is 22' – 24' wide and 7' deep and would be 17' from the Loveman Ave. public right-of-way. A variance of 13' is required.

**Project Details:**



1. The right-of-way is approximately 12.5' from the edge of pavement of Loveman Ave. The proposed porch would be about 29.5' from the road.
2. The porch is proposed across the full width of the house with a concrete foundation.
3. The porch cover is constructed of an aluminum clad material with insulated roof panels and three support columns.

**Conclusions:**

The essential character of the neighborhood might be altered as this structure would be closer to the road than others on this street. However, with the distance to the road being 29.5', it should be sufficient as to not adversely affect the character of the neighborhood.

There has generally been support by the Board of Zoning Appeals for front porches as they can provide a sense of community.

**Discussion:**

Mr. Michael James, 5900 Roche Dr., Columbus, Ohio, said he is a contractor for Classic Exteriors, and what they were proposing is no closer to the street than what is already there. He intends to remove the existing concrete pad, and pour a new concrete pad, the same depth away from the house and putting a roof over the pad which would have shingles. Mr. James showed the finished rendering to the Board members. Board members did not have any concerns. Mrs. Crane asked if there was anyone who wanted to speak for or against this application, but no one commented.

**Motion:**

Mr. Coulter moved:

**THAT THE REQUEST BY ERIC KRAMER ON BEHALF OF KOFI SEMENYA AND ABBY MCMAHON FOR A VARIANCE FROM CODE REQUIREMENTS TO ALLOW A PORCH TO BE CONSTRUCTED IN THE REQUIRED FRONT YARD AT 477 LOVEMAN AVE., AS PER CASE NO. VAR 41-2022, DRAWINGS NO. VAR 41-2022 DATED OCTOBER 31, 2022, BE APPROVED, BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND/OR PRESENTED AT THE MEETING.**

Mr. Seitz seconded the motion. Mr. Ganter called the roll. Mr. Guillozet, aye; Mr. Falcoski, aye; Mr. Seitz, aye; Mr. Coulter, aye; and Mrs. Crane, aye. The motion was approved.

3. **Variance – Side Yard Setback – Shed – 6500 Meadowbrook Cir. (Christopher L. Wald)**  
**VAR 42-2022**

Mrs. Bitar reviewed the following from the staff memo:

**Findings of Fact & Conclusions**



**Background:**

This property is a 0.37-acre lot in the R-10 (Low Density Residence) Zoning District in the Potters Creek subdivision. The lot (created in 1977; 0.37 acres in area) is about 73' wide in the front and an average of 169' deep. The rear of the property is 129' wide and adjacent to the Linworth Rd. right-of-way. The rear of the house is about 15.5' from the north side property line. A 6' high solid fence exists between the house and the north side property line, and then solid fencing runs along that property line and continues around the rear of the property.

**Worthington Codified Ordinances:**[1149.08\(b\) Special Yard Requirements](#)

No accessory buildings shall be located in any front or side yard except under unusual circumstances where such building shall not conflict with the intent and purposes of this Zoning Ordinance, or, where enforcement shall result in extreme hardship. In either case the decision to permit such activity shall be made by the Board of Zoning Appeals. Accessory buildings of 120 square feet (sf) or less in area must be set back at least five feet from the side and rear lot lines.

**Request:**

The applicant is requesting approval to construct a 16' x 8' (128 sf) shed as close as 1.5' from the side property line for a variance of 6.5'.

**Project Details:**

1. The shed is proposed at an angle to the property line, being 1.5' from the property line at the northwest corner and 2' from the property line at the northeast corner. It would be about 1' behind the existing fence section that is parallel to the street. The roof overhang would be 6" closer. The shed would sit on a gravel foundation and gravel would extend between the shed and the fence. The applicant feels other locations on the property would have a significant negative impact on the use of the property.
2. Shed design would include 7' high walls and a gable roof with gutters and downspouts. A rain barrel is proposed at the northeast corner to catch storm water. A single door would face the house and a double door would face the rear yard.
3. The applicant is planning to store yard equipment and children's gear in the shed so a second car can be parked in the garage rather than in the driveway.
4. Fire-resistance rating is not required for sheds in close proximity to the property line.
5. The neighbor to the north seems to have a plywood roof extending from the fence above that property.

**Conclusion:**

Although there are locations in the rear yard that could accommodate a shed, staff understands the desire to place the structure in a location that would that is not in the way. Due to the existing 6' high fencing that would mostly screen the shed, the proposed location should not alter the character of the neighborhood. The adjacent neighbor should not be impacted due to the existing conditions and the addition of a rain barrel should help with storm water runoff.

**Discussion:**

Mrs. Crane asked how much room there was between the house and the shed and Mrs. Bitar said at least five feet. Christopher Wald, 6500 Meadowbrook Circle, Worthington, Ohio, said there were two reasons why they want to place the shed in that corner. The first reason was because the neighbors to the north recently had a fence installed and replaced a section of his fence as well to match up with the neighbors fence, and the shed would fit into the corner area where the new fence was installed. The other reason was because their property is close to Linworth Road he would have to place the shed at least sixty feet from the road because of the right-of-way.

Mr. Guillozet asked about the height of the shed. Mr. Wald thought it would be 9' tall at the highest point. Mrs. Crane said she was a little concerned about the shed being so close to two different fences. Mr. Seitz asked about the proposed angle of the fence and Mr. Wald said it would allow him to get behind the shed. He said the shed would be on gravel, he would spray weed killer behind the shed, and there would not be a lot of sunlight for plant growth. Mr. Wald plans to install pavers in front of the shed but keep them as far from the house as possible. Mr. Coulter suggested putting a sheet of plastic as a barrier where there would be gravel. He also asked about moving the shed 3' further to the rear and Mr. Wald said that would not be a problem.

Mr. Coulter said he was curious what the neighbor had underneath the plywood next door and Mr. Brown said city staff could open up an investigation. Mrs. Crane asked if there was anyone who wanted to speak for or against this application, but no one commented.

**Motion:**

Mr. Guillozet moved:

**THAT THE REQUEST BY CHRISTOPHER L. WALD FOR A VARIANCE FROM CODE REQUIREMENTS TO CONSTRUCT A SHED IN THE REQUIRED SIDE YARD AT 6500 MEADOWBROOK CIRCLE AS PER CASE NO. VAR 42-2022, DRAWINGS NO. VAR 42-2022, DATED OCTOBER 31, 2022, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND/OR PRESENTED AT THE MEETING WITH THE CONDITION OF MOVING THE SHED BACK THREE FEET.**

Mr. Coulter seconded the motion. Mr. Ganter called the roll. Mr. Falcoski, aye; Mr. Seitz, aye; Mr. Coulter, aye; Mr. Guillozet, aye; and Mrs. Crane, aye. The motion was approved.

**4. Variance – Side Yard Setback – Addition – 771 Morning St. (Dennis Meacham/Karafa)  
VAR 43-2022**

Mrs. Bitar reviewed the following from the staff memo:

**Findings of Fact & Conclusions**

**Background:**

This lot is 54.4' wide in the front and 46.4' wide in the rear. There is an 8' jog in the south property line about halfway back on the 126.12' deep lot. The 0.14 acre property is in the AR-4.5 (Low Density Apartment) Zoning District, and part of Lot 65 of the Original Plat of Worthington. On the lot is an 1,820 sf cottage that was constructed in 1908, with a 200 sf rear addition that was added in 1971. There is an existing 240 sf 1-car detached garage to the rear of the home on the south side. The applicant was approved by the Architectural Review Board (ARB) at its October 27, 2022 meeting to construct new additions to the rear of the home.

**Worthington Codified Ordinances:**

[Section 1149.01 Yard, Area and Height for Dwellings and Accessory Structures.](#)

The required side yard for a single-family home in the AR 4.5 Zoning District is 8'.

**Request:**

This is a request to construct an addition 5' from the north property line for a variance of 3'.

**Project Details:**

1. Two additions are proposed: a porch enclosure on the south side that does not require a variance; and a 4-season room behind the house that would be closer than allowed to the north property line.
2. The 4-season room is proposed to be 24' deep x 15' wide (360 sf) and 5' from the north property line. The existing house is about 10' from the north property line. The addition would be one-story and designed to complement the house, including matching materials.
3. In addition to the enclosure of the porch on the south side, the ARB approved other minor modifications to the existing house.

**Conclusion:**

The proposed addition should not alter the essential character of the neighborhood as the design is complementary to the house and the proximity to the property line is typical for Old Worthington.

**Discussion:**

Mr. Dennis Meacham, 763 Glenview Dr., Howard, Ohio, said he was representing his client, Mr. Nick Karafa. Mrs. Crane asked about the structure to the north and Mrs. Bitar showed the arial photograph and pointed out the distance from that property line. Mrs. Crane asked if there was anyone wanting to speak for or against this application, but no one commented.

**Motion:**

Mr. Seitz moved:

**THAT THE REQUEST BY DENNIS MEACHAM ON BEHALF OF NICHOLAS & KASEY KARAFAS FOR A VARIANCE TO CONSTRUCT A REAR ADDITION IN THE REQUIRED SIDE YARD AT 771 MORNING ST., AS PER CASE NO. VAR 43-2022, DRAWINGS NO. VAR 43-2022, DATED NOVEMBER 2, 2022, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

Mr. Coulter seconded the motion. Mr. Ganter called the roll. Mr. Guillozet, aye; Mr. Falcoski, aye; Mr. Coulter, aye; Mr. Seitz, aye; and Mrs. Crane, aye. The motion was approved.

5. **Variance** – Accessory Building Area - Garage – **43 W. Granville Rd.** (Dennis Meacham/Rankey) **VAR 44-2022**

Mrs. Bitar reviewed the following from the staff memo:

**Findings of Fact & Conclusions**

**Background:**

The main part of this 0.21 acre lot is 54' wide and 134.68' deep. There is an additional portion of the property that is 32' wide and 60' deep at the rear that houses the existing 400 sf wood framed 2-car garage that was constructed in 1938. The house is a 2,708 sf brick American Four Square that was constructed in 1910. In 1999, a 1-story addition was added to the rear of the home. Replacement of the existing garage with a new detached 3-car garage placed on the main part of the property is proposed. The Architectural Review Board approved the request at its October 27, 2022 meeting.

**Worthington Codified Ordinances:**

**[Section 1149.08 \(b\) Special Yard Requirements:](#)**

In any "R" District the total area for accessory buildings shall be limited to 850 square feet (sf) and must be compatible in materials and appearance to the other buildings in the area.

**Request:**

The new garage is proposed to be 24' x 36' (864 sf) with a 610 sf second story, for total accessory building area of 1474 sf. A variance of 624 sf is requested.

**Project Details:**

1. Placement of the new garage would be 8' from the east side property line and 10' from the rear property line for the northern portion of the property. The rear (southern) part of the lot would be maintained as grass after demolition of the existing garage.
2. The application states the garage will be constructed to match the existing rear addition on the house, except the garage will be constructed with cement board rather than wood siding. The lap is proposed to be 5" to match the addition and would be painted white.
3. The roof material would be 3-tab asphalt shingles similar in color to the existing slate roof on the 2-story portion of the house. Dormers are proposed on the west side of the roof. The height of the garage is shown to be 24'.
4. A separate entrance is proposed to access the upper level of the garage, with exterior steps and a landing on the outside to match those on the house, and an interior staircase to climb the rest of the way. The applicant has stated the upstairs would be finished in the future for a workshop, playroom and/or workout space.
5. Double-hung windows are proposed on the east, north and south elevations. On the

west elevation, two-car and one-car garage doors are shown. In addition to the entrance to the second story at the northwest corner of the garage, a man door is proposed on the north side toward the east end.

6. Lighting would be added above the doors.
7. There is a 5-foot existing sanitary sewer easement along the eastern property line. The proposed garage is to be located 5' outside of the easement area.
8. A new rear door, pergola & patio were part of the ARB approval, but are not in need of variances. Additionally, screening of mechanicals and a landscape plan were approved.

**Conclusion:**

The essential character of the neighborhood should not be altered with the proposed garage, which would complement and be subordinate to the house. Similarly sized structures have been approved in Old Worthington.

**Discussion:**

Board members commented on the unusual property shape. Mr. Dennis Meacham, 763 Glenview Dr., Howard, Ohio, said he was representing his client, Mr. Jeff Rankey, the homeowner. He said the homeowners are excited about the project. Mrs. Crane asked if there was anyone wanting to speak for or against this application, but no one commented.

**Motion:**

Mr. Coulter moved:

**THAT THE REQUEST BY DENNIS MEACHAM ON BEHALF OF JEFF & MEGHAN RANKEY FOR A VARIANCE TO CONSTRUCT A NEW 3-CAR GARAGE IN EXCESS OF ALLOWABLE ACCESSORY STRUCTURE AREA AT 43 W. GRANVILLE RD., AS PER CASE NO. VAR 44-2022, DRAWINGS NO. VAR 44-2022, DATED NOVEMBER 2, 2022, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

Mr. Seitz seconded the move. Mr. Ganter called the roll. Mr. Falcoski, aye; Mr. Guillozet, aye; Mr. Seitz, aye; Mr. Coulter, aye; and Mrs. Crane, aye. The motion was approved.

**6. Variance – Front Yard Setback – Fence – 1105 Beechview Dr. S (Famiglia Homes LLC)  
VAR 45-2022**

Mrs. Bitar reviewed the following from the staff memo:

**Findings of Fact & Conclusions**

**Background:**

This property is in the R-10 (Low Density Residence) Zoning District. The surrounding properties are also single-family homes in the R-10 District. The neighborhood was originally developed in 1954 in Perry Township without curb and gutters. Due to annexation, the neighborhood is now a mix of Worthington, Columbus, and Perry Township.

The property in question is larger than the typical lot size seen in the R-10 district; the minimum lot size requirement is 10,400 square feet, while this property is approximately 58,300 square feet. The public right-of-way is 50' in width.

The applicant was approved for a variance to allow construction of a fence in the required front yard by the Board of Zoning Appeals (BZA) in November of 2020. That approval would have allowed the fence to be installed parallel to the curved right-of-way line. The distance was later determined to be about 15.25' from the right-of-way line when a survey was obtained by the City.

The applicant installed a wood cattle style fence in a straight line across the front of the property. The closest point of the fence is about 3' from the right-of-way line.

City staff initiated enforcement since the installed fence did not follow the curved right-of-way line as was approved by the BZA at the November 5, 2020 meeting, and further clarified at the October 6, 2022 BZA meeting.

**Worthington Codified Ordinances:**

[1123.13 Building Setback Line.](#)

"Building setback line" means the depth of required front, side and rear yards measured perpendicular to each respective lot line.

[Section 1149.01 Yard, Area, and Height for Dwellings and Accessory Structures:](#)

In the R-10 Zoning District the required front yard is 30'.

[1180.02 "R" Districts.](#)

(a) In any "R" District, no fence or wall shall be erected in the area between the right of way line and the building setback line except for a wall necessary to accommodate differences in grade. No fence or wall in an "R" district shall exceed a height of six feet.

**Request:**

The applicant would like approval for the fence to remain in its as-built location which is about 3' from the right-of-way line at the closest point. The requested variance would be about 27'.

**Details:**

1. The applicant indicates there is a flooding problem at the front of the property and has submitted photographs showing standing water in the area. The applicant states wanting to avoid the water when there is a flood and would also like to avoid the pipes that channel the water.

2. The applicant gives distances from each fence post to the previously approved setback line. Although the previous variance can be discussed, this request would be for a new variance to allow the fence to remain as placed. If granted, the variance would be based on the drawing showing the location of the fence and its closest point to the right-of-way.

**Staff Analysis:**

1. The photos seem to indicate that several of the posts are in the water in their current locations when the property floods. Installation of the fence further up on the property would be the best way to avoid the fence being in the water.
2. Placement in such close proximity to the right-of-way alters the character of the neighborhood. Not only is placement unusual for this neighborhood, but there are very few fences that have been approved in the required 30' front yard in the City. Due to the unusually large lot, the usable fenced-in area of this property would be considerable even with the fence at the 30' setback line.

**Conclusions:**

The requested variance is substantial, but the fence does not alter the essential character of the neighborhood.

**Discussion:**

Mr. Josh Greene and Mrs. Alainna Greene, 1105 Beechview Dr. S., Worthington, Ohio came forward as the applicants. Mr. Greene said there was another fence constructed in the neighborhood at about the same distance from the street. He said he agreed with where the fence should have been located to avoid the water, but then the fence would have been halfway up the yard and would have looked awkward. Mr. Greene said he would rather not have to move the fence at this point. Mrs. Crane asked about the neighboring fence, but the Greene's did not know if the property was in Worthington or a different jurisdiction. Mr. Brown said staff would open an investigation. Mr. Coulter said he was okay leaving the fence where it is now due to the trees that were planted between the fence and the road. Mr. Seitz asked to see the pictures showing the flooding again and Mr. Coulter asked how long it takes for the water to subside. Mr. Greene said it usually takes about 1 hour to drain and that the pond has helped. Mr. Seitz agreed the trees help with the view of the fence. Mr. Coulter asked about the electric and Mr. Greene said he ran it out toward the right-of-way ten years before in case he wanted to illuminate the mailbox. Mr. Guillozet public comments that were received and Mrs. Bitar said the neighbor to the north was supportive and the neighbor to the south was against the request. Mrs. Crane acknowledged there was no one in the audience and staff did not identify any other comments received.

**Motion:**

Mr. Seitz moved:

**THAT THE REQUEST BY FAMIGLIA HOMES LLC FOR A VARIANCE FROM CODE REQUIREMENTS TO ALLOW FOR A FENCE TO REMAIN IN THE REQUIRED FRONT YARD AT 1105 BEECHVIEW DR. S, AS PER CASE NO. VAR 45-2022, DRAWINGS NO. VAR 45-2022, DATED NOVEMBER 3, 2022, BE APPROVED, BASED**

**ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND/OR PRESENTED AT THE MEETING.**

Mr. Falcoski seconded the motion. Mr. Ganter called the roll. Mr. Guillozet, nay; Mr. Coulter, aye; Mr. Falcoski, aye; Mr. Seitz, aye; and Mrs. Crane, nay. The motion was approved.

**D. Other**

Mrs. Crane read the Resolution of Appreciation for Mr. Falcoski for 14 years of service to the Board. Mr. Guillozet moved to adopt the Mr. Seitz seconded the motion. All Board members voted, "Aye," and the motion was approved.

Mr. Brown reminded the Board about Mr. Greeson's going away party next week at the McConnell Arts Center on December 7, 2022 from 4:00 p.m. to 7:00 p.m., and the Board and Commission, and City Council training would take place on February 9<sup>th</sup>, 2023, in the evening.

**E. Adjournment**

Mr. Guillozet moved to adjourn the meeting, and Mr. Falcoski seconded the motion. All Board members voted, "Aye," and the meeting adjourned at 8:02 p.m.





**BZA APPLICATION  
EXCP 0011-2022  
105 W. Wilson Bridge Rd.**

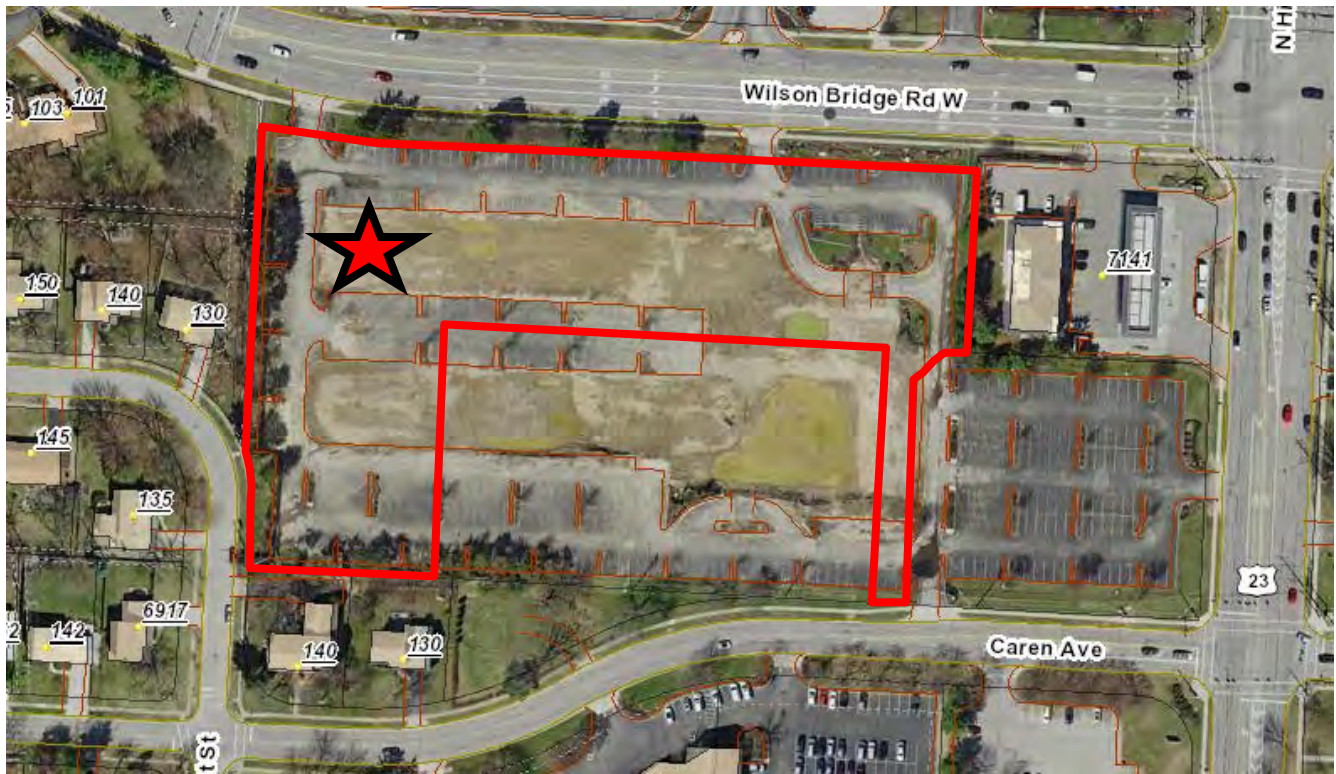
<b>Plan Type:</b> Extension of Construction Completion Period	<b>Project:</b>	<b>App Date:</b> 11/22/2022
<b>Work Class:</b> Extension of Construction Completion Period	<b>District:</b> City of Worthington	<b>Exp Date:</b>
<b>Status:</b> In Review		<b>Completed:</b>
<b>Valuation:</b> \$0.00		<b>Approval</b>
<b>Description:</b> Permit Extension for new two-story shell building		<b>Expire Date:</b>

<b>Parcel:</b> 100-006791	Main	<b>Address:</b> 105 W Wilson Bridge Rd	Main	<b>Zone:</b> PUD 01-18(Planned Unit District)
		Worthington, OH 43085		

Applicant	Owner
Kenny Leckrone	He Hari Development LLC
8300 US Hwy 23 N	600 Enterprise Dr.
Delaware, OH 43015	Lewis Center, OH 43035
Mobile: 6144035358	Business: 6144360700

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003237	(Commercial/Industrial) Board of Zoning Appeals	\$50.00	\$50.00
Total for Invoice INV-00003237		\$50.00	\$50.00
Grand Total for Plan		\$50.00	\$50.00

# 105 W. Wilson Bridge Rd.



This variance is needed due to delays in construction. The reason for the delays are due to Covid 19.

1. Covid 19 Pandemic - The pandemic has caused supply chain interruptions, financing issues, and slow lead times. The project was scheduled to begin in April of 2020, but due to uncertainty in the market due to the pandemic it was put on hold. Once the decision was made to continue on with the project we were faced with unavailable materials, and extended lead times from vendors and subcontractors. Consequently we were unable to begin the construction project until Late May of 2021. We are still dealing with material shortages and lead times, which is the cause for us needing to extend our permit into 2023.

CITY OF WORTHINGTON  
DRAWING NO. EXCP 11-2022  
DATE 11/22/2022







**BZA APPLICATION  
EXCP 0012-2022  
89 W. Wilson Bridge Rd.**

<b>Plan Type:</b> Extension of Construction Completion Period	<b>Project:</b>	<b>App Date:</b> 11/22/2022
<b>Work Class:</b> Extension of Construction Completion Period	<b>District:</b> City of Worthington	<b>Exp Date:</b>
<b>Status:</b> In Review		<b>Completed:</b>
<b>Valuation:</b> \$0.00		<b>Approval</b>
<b>Description:</b> Permit extension for new two-story shell building		<b>Expire Date:</b>

<b>Parcel:</b> 100-006791	Main	<b>Address:</b> 89 W Wilson Bridge Rd	Main	<b>Zone:</b> PUD 01-18(Planned Unit District)
		Worthington, OH 43085		

Applicant	Owner
Kenny Leckrone	He Hari Development LLC
8300 US Hwy 23 N	600 Enterprise Dr.
Delaware, OH 43015	Lewis Center, OH 43035
Mobile: 6144035358	Business: 6144360700

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003236	(Commercial/Industrial) Board of Zoning Appeals	\$50.00	\$50.00
Total for Invoice INV-00003236		\$50.00	\$50.00
Grand Total for Plan		\$50.00	\$50.00



# 89 W. Wilson Bridge Rd.



This variance is needed due to delays in construction. The reason for the delays are due to Covid 19.

1. Covid 19 Pandemic - The pandemic has caused supply chain interruptions, financing issues, and slow lead times. The project was scheduled to begin in April of 2020, but due to uncertainty in the market due to the pandemic it was put on hold. Once the decision was made to continue on with the project we were faced with unavailable materials, and extended lead times from vendors and subcontractors. Consequently we were unable to begin the construction project until Late May of 2021. We are still dealing with material shortages and lead times, which is the cause for us needing to extend our permit into 2023.

CITY OF WORTHINGTON

DRAWING NO. EXCP 12-2022

DATE 11/22/2022









**BZA APPLICATION  
EXCP 0013-2022  
71 W. Wilson Bridge Rd.**

<b>Plan Type:</b> Extension of Construction Completion Period	<b>Project:</b>	<b>App Date:</b> 11/22/2022
<b>Work Class:</b> Extension of Construction Completion Period	<b>District:</b> City of Worthington	<b>Exp Date:</b>
<b>Status:</b> In Review		<b>Completed:</b>
<b>Valuation:</b> \$0.00		<b>Approval</b>
<b>Description:</b> Permit extension for new one-story shell building		<b>Expire Date:</b>

<b>Parcel:</b> 100-006791	Main	<b>Address:</b> 71 W Wilson Bridge Rd	Main	<b>Zone:</b> PUD 01-18(Planned Unit District)
		Worthington, OH 43085		

Applicant	Owner
Kenny Leckrone	He Hari Development LLC
8300 US Hwy 23 N	600 Enterprise Dr.
Delaware, OH 43015	Lewis Center, OH 43035
Mobile: 6144035358	Business: 6144360700

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003235	(Commercial/Industrial) Board of Zoning Appeals	\$50.00	\$50.00
Total for Invoice INV-00003235		\$50.00	\$50.00
Grand Total for Plan		\$50.00	\$50.00

# 71 W. Wilson Bridge Rd.



This variance is needed due to delays in construction. The reason for the delays are due to Covid 19.

1. Covid 19 Pandemic - The pandemic has caused supply chain interruptions, financing issues, and slow lead times. The project was scheduled to begin in April of 2020, but due to uncertainty in the market due to the pandemic it was put on hold. Once the decision was made to continue on with the project we were faced with unavailable materials, and extended lead times from vendors and subcontractors. Consequently we were unable to begin the construction project until Late May of 2021. We are still dealing with material shortages and lead times, which is the cause for us needing to extend our permit into 2023.

CITY OF WORTHINGTON

DRAWING NO. EXCP 13-2022

DATE 11/22/2022







## BZA APPLICATION EXCP 0014-2022 53 W. Wilson Bridge Rd.

<b>Plan Type:</b> Extension of Construction Completion Period	<b>Project:</b>	<b>App Date:</b> 11/22/2022
<b>Work Class:</b> Extension of Construction Completion Period	<b>District:</b> City of Worthington	<b>Exp Date:</b>
<b>Status:</b> In Review		<b>Completed:</b>
<b>Valuation:</b> \$0.00		<b>Approval</b>
<b>Description:</b> Permit extension for new one-story shell building		<b>Expire Date:</b>

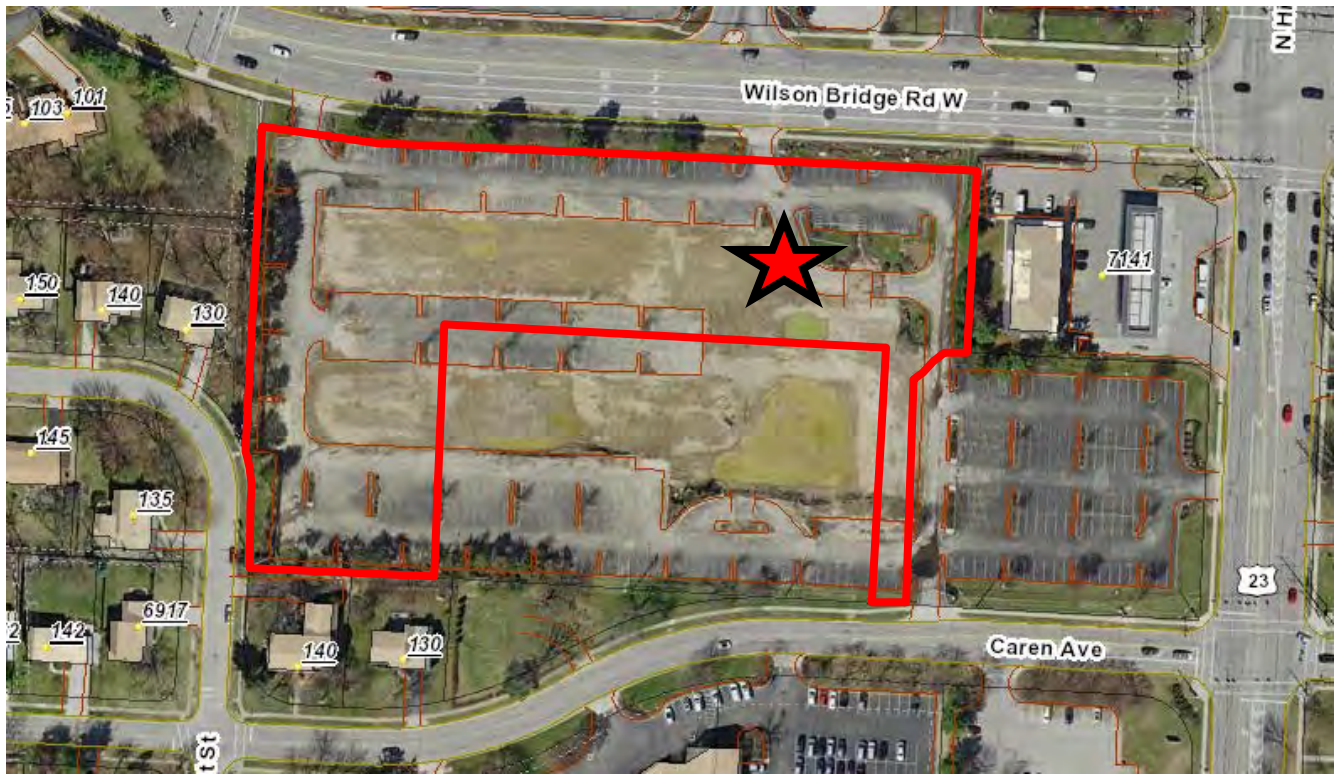
<b>Parcel:</b> 100-006791	Main	<b>Address:</b> 53 W Wilson Bridge Rd Worthington, OH 43085	Main	<b>Zone:</b> PUD 01-18(Planned Unit District)
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Applicant Kenny Leckrone 8300 US Hwy 23 N Delaware, OH 43015 Mobile: 6144035358	Owner He Hari Development LLC 600 Enterprise Dr. Lewis Center, OH 43035 Business: 6144360700
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Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003238	(Commercial/Industrial) Board of Zoning Appeals	\$50.00	\$50.00
Total for Invoice INV-00003238		\$50.00	\$50.00
<b>Grand Total for Plan</b>		<b>\$50.00</b>	<b>\$50.00</b>



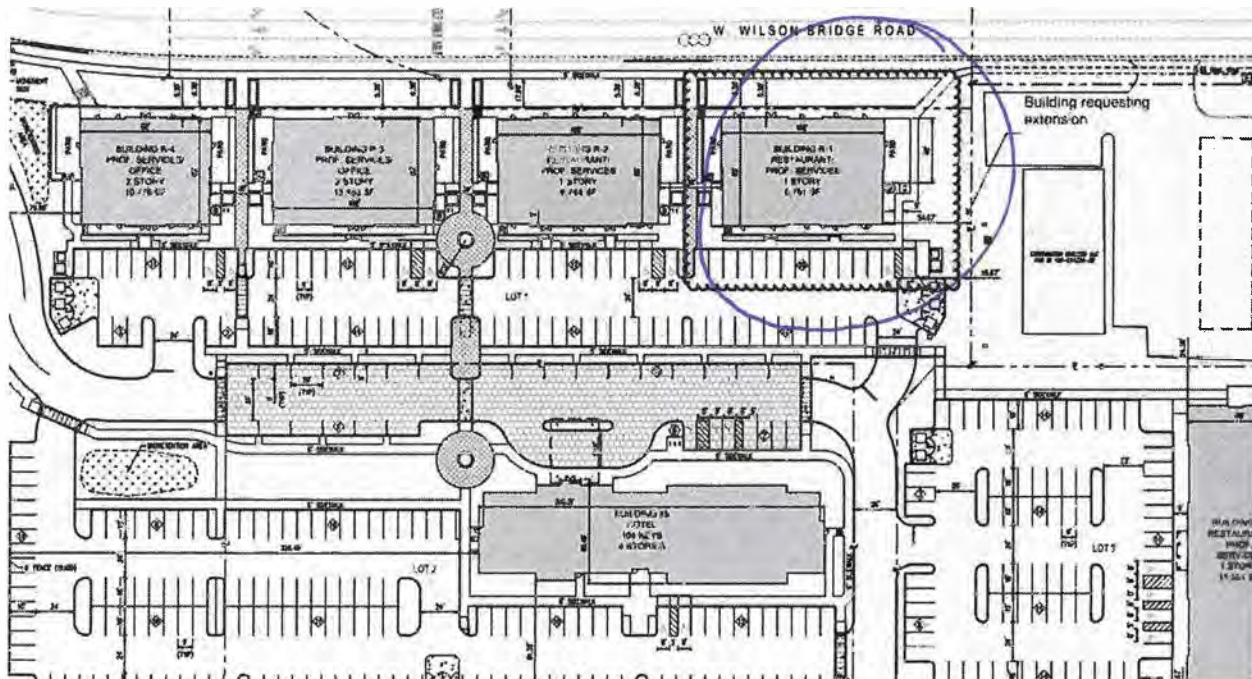
# 53 W. Wilson Bridge Rd.





This variance is needed due to delays in construction. The reason for the delays are due to Covid 19.

1. Covid 19 Pandemic - The pandemic has caused supply chain interruptions, financing issues, and slow lead times. The project was scheduled to begin in April of 2020, but due to uncertainty in the market due to the pandemic it was put on hold. Once the decision was made to continue on with the project we were faced with unavailable materials, and extended lead times from vendors and subcontractors. Consequently we were unable to begin the construction project until Late May of 2021. We are still dealing with material shortages and lead times, which is the cause for us needing to extend our permit into 2023.



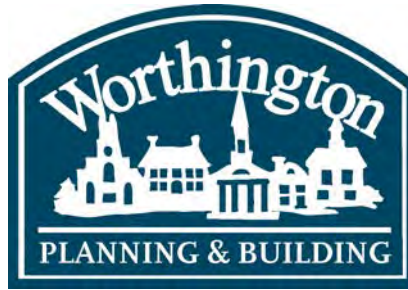
CITY OF WORTHINGTON

DRAWING NO. EXCP 14-2022

DATE 11/22/2022







**BZA APPLICATION  
EXCP 0016-2022  
7105 N. High St**

<b>Plan Type:</b> Extension of Construction Completion Period	<b>Project:</b>	<b>App Date:</b> 11/22/2022
<b>Work Class:</b> Extension of Construction Completion Period	<b>District:</b> City of Worthington	<b>Exp Date:</b>
<b>Status:</b> In Review		<b>Completed:</b>
<b>Valuation:</b> \$0.00		<b>Approval</b>
<b>Description:</b> Permit extension for Shell Building R-6		<b>Expire Date:</b>

<b>Parcel:</b> 100-006793	Main	<b>Address:</b> 7105 N High St	Main	<b>Zone:</b> PUD 01-18(Planned Unit District)
		Worthington, OH 43085		

Applicant	Owner
Kenny Leckrone	High Gateway LLC 600
8300 US Hwy 23 N	Enterprise Dr. Lewis
Delaware, OH 43015	Center, OH 43035
Mobile: 6144035358	

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003305	(Commercial/Industrial) Board of Zoning Appeals	\$50.00	\$50.00
Total for Invoice INV-00003305		\$50.00	\$50.00
Grand Total for Plan		\$50.00	\$50.00

# 7105 N. High St.



This variance is needed due to delays in construction. The reason for the delays are due to Covid 19.

1. Covid 19 Pandemic - The pandemic has caused supply chain interruptions, financing issues, and slow lead times. The project was scheduled to begin in April of 2020, but due to uncertainty in the market due to the pandemic it was put on hold. Once the decision was made to continue on with the project we were faced with unavailable materials, and extended lead times from vendors and subcontractors. Consequently we were unable to begin the construction project until Late May of 2021. We are still dealing with material shortages and lead times, which is the cause for us needing to extend our permit into 2023.

CITY OF WORTHINGTON

DRAWING NO. EXCP 16-2022

DATE 11/22/2022







**BZA APPLICATION  
EXCP 0015-2022  
100 W. South St.**

<b>Plan Type:</b>	Extension of Construction Completion Period	<b>Project:</b>		<b>App Date:</b>	12/06/2022
<b>Work Class:</b>	Extension of Construction Completion Period	<b>District:</b>	City of Worthington	<b>Exp Date:</b>	
<b>Status:</b>	In Review			<b>Completed:</b>	
<b>Valuation:</b>	\$0.00			<b>Approval</b>	
<b>Description:</b>	Extension of construction permit to complete final inspections of home. Home is nearly complete, estimate six months of work remaining due to issues with masonry contractors and pending change of exterior covering. Also need to complete driveway work that can not be done until spring.				

<b>Parcel:</b>	100-000203	Main	<b>Address:</b>	100 W South St Worthington, OH 43085	Main	<b>Zone:</b>	R-10(Low Density Residence)
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Owner / Applicant  
Neil Toepfer  
100 W SOUTH ST Worthington , OH 43085  
Mobile: 614-956-8667

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003289	(Residential) Board of Zoning Appeals	\$25.00	\$25.00
		<b>Total for Invoice INV-00003289</b>	<b>\$25.00</b>
		<b>Grand Total for Plan</b>	<b>\$25.00</b>



# 100 W. South St.







**BZA APPLICATION  
EXCP 0017-2022  
430 Crandall Dr.**

<b>Plan Type:</b> Extension of Construction Completion Period	<b>Project:</b>	<b>App Date:</b> 12/12/2022
<b>Work Class:</b> Extension of Construction Completion Period	<b>District:</b> City of Worthington	<b>Exp Date:</b>
<b>Status:</b> In Review		<b>Completed:</b>
<b>Valuation:</b> \$0.00		<b>Approval</b>
<b>Description:</b> Interior renovations, room addition of home.		<b>Expire Date:</b>

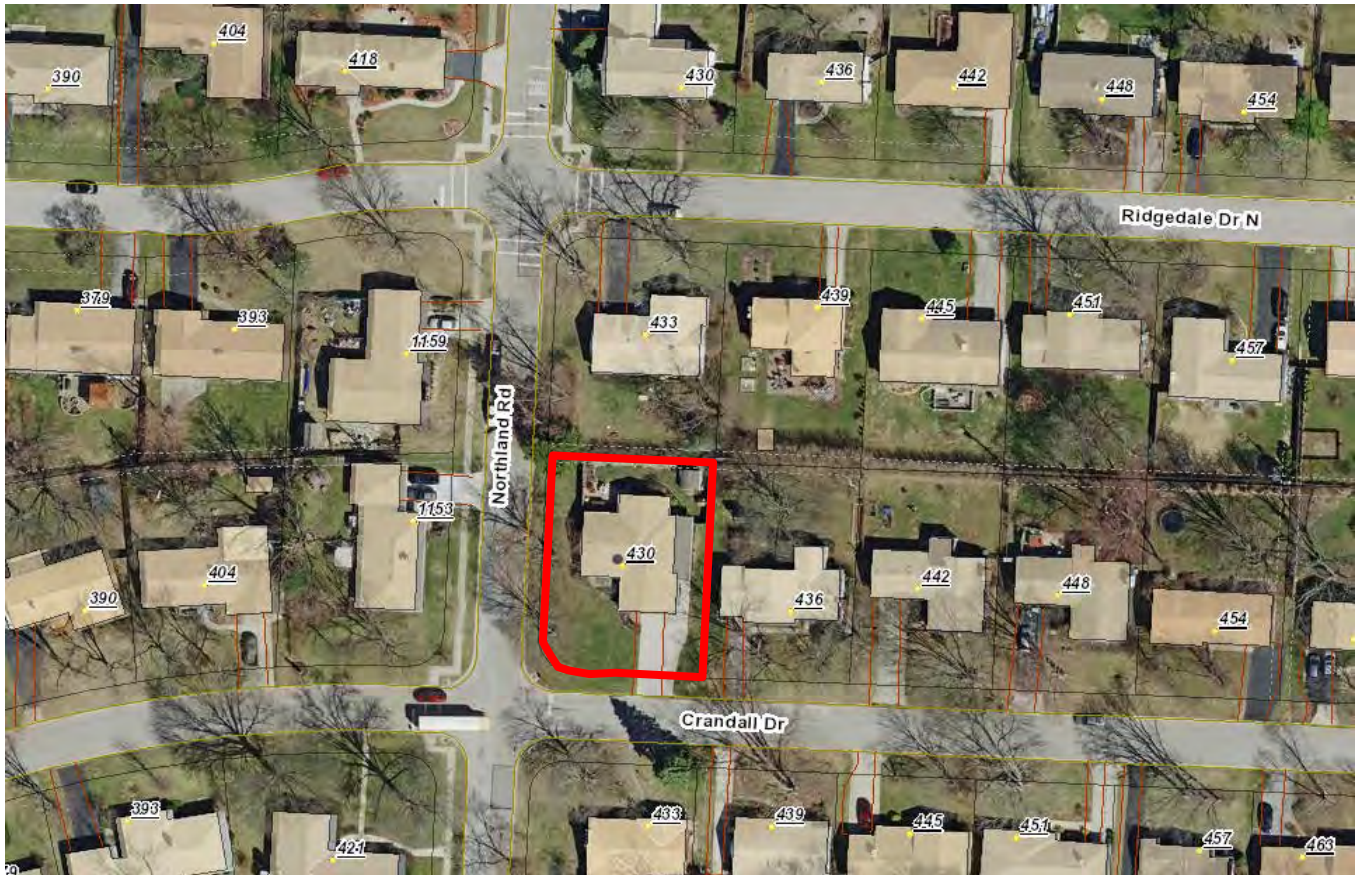
<b>Parcel:</b> 100-002756	Main	<b>Address:</b> 430 Crandall Dr	Main	<b>Zone:</b> R-10(Low Density Residence)
		Worthington, OH 43085		

Owner Cynthia Johnston 430 CRANDALL DR Worthington , OH 43085	Applicant / Owner Edward L Johnston 430 Crandall Drive Worthington, OH 43085 Home: (614) 436-5365 Business: 1614) 310-1980 Mobile: (614) 496-9689
--	---

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003324	(Residential) Board of Zoning Appeals	\$25.00	\$0.00
Total for Invoice INV-00003324		\$25.00	\$0.00
Grand Total for Plan		\$25.00	\$0.00



# 430 Crandall Dr.





December 21 2022

City of Worthington Zoning  
374 Highland Ave  
Worthington, Ohio 43085

Attention: Appeal Zoning Board

Reference: 430 Crandall Drive

Permit # BLDR2021-0194

In reference to the submission of the house addition / interior renovations, home owner is seeking for a permit extension to the Appeals Zoning. Attached to the letter includes HVAC vent placement on the drawing. Following were the reasons:

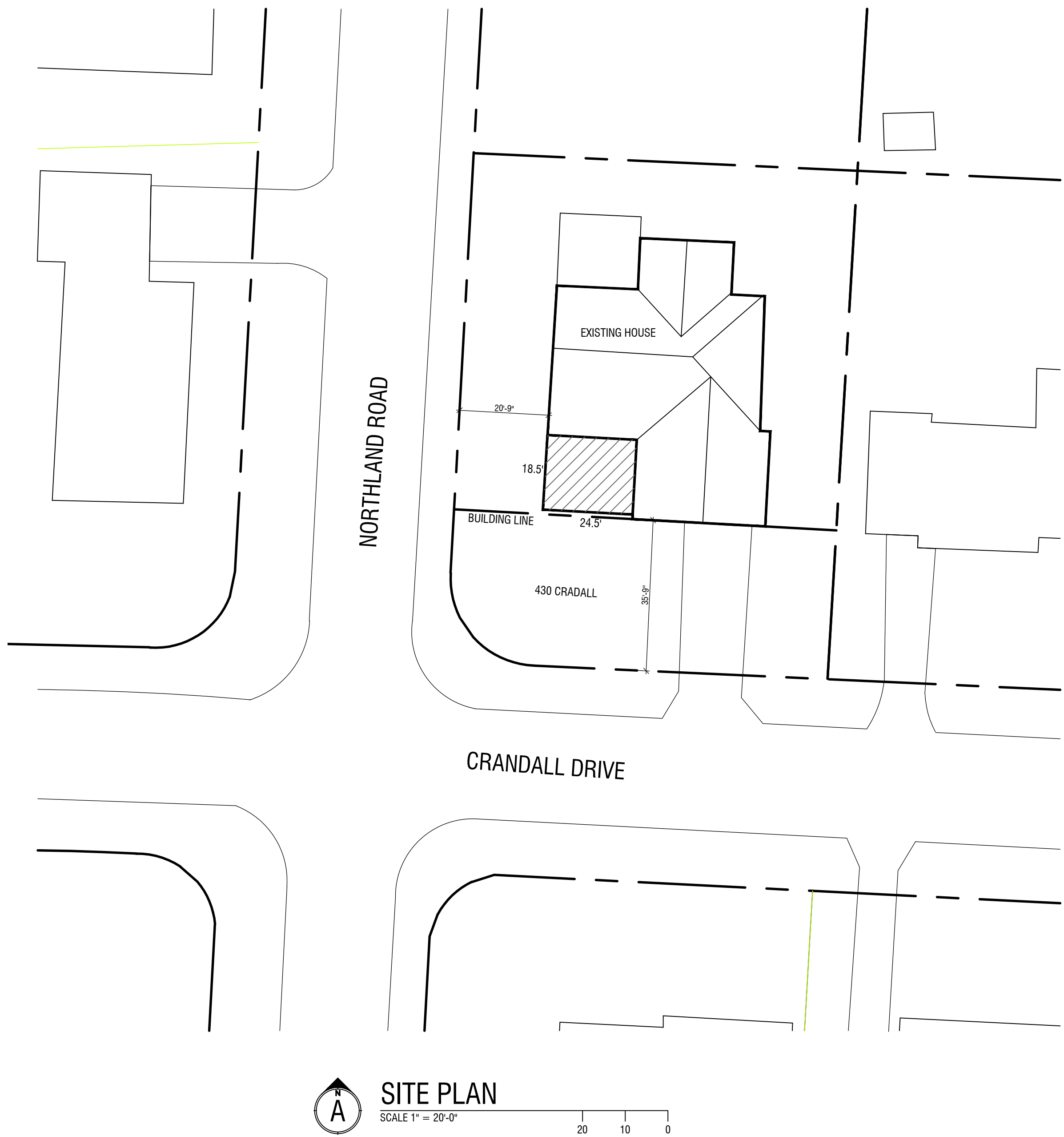
1. Revised drawings earlier this year were submitted from Main Phase - Phase 1 – Phase 2
2. Truss design – delivery of materials
3. Labor – plumbing inspections
4. Lack of labor

I ask respectfully for the extension of approval. Today, I have completed digging up the ditch, the truss arrived, awaiting for labor of block work – carpenters – roofer. Phase 1 is near too completion Thanks in your consideration and review.

Sincerely,

Edward L. Johnston  
430 Crandall Drive  
Worthington, Ohio 43085

CITY OF WORTHINGTON  
DRAWING NO. EXCP 17-2022  
DATE 12/12/2022



### GENERAL STRUCTURAL NOTES

#### GENERAL

- THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF TEMPORARY BRACING OR GUYS WHICH MIGHT BE NECESSARY.
- IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.
- GOVERNING CODE: OHIO RESIDENTIAL CODE 2019
- DESIGN LIVE LOADS:

ROOF	25 PSF (GROUND SNOW LOAD)
CEILING JOISTS (HIGH SLOPE RAFTERS)	20 PSF
CEILING JOISTS (LOW SLOPE/NO STORAGE)	10 PSF
FIRST FLOORS, SECOND FLOORS	40 PSF
STAIRS, DECKS	60 PSF
WIND	80 MPH, EXP. B

#### CONCRETE

##### 1) MATERIALS:

- STRUCTURAL CONCRETE
  - FOOTINGS, WALLS, INTERIOR SLABS
  - ALL DEFORMED REINFORCING BARS
- FC = 3000 PSI  
FY = 60,000 PSI.

#### MASONRY

##### 1) MATERIALS:

- CONCRETE BLOCK: ASTM C90 (HOLLOW AND SOLID)
- MORTAR: TYPE S, MINIMUM COMPRESSIVE STRENGTH: 1800 PSI C. BOND BEAM AND CORE FILL: ASTM C476, COARSE TYPE

#### STRUCTURAL LUMBER

##### 1) MATERIALS:

- JOISTS, BEAMS, AND 2 X 4 LOAD BEARING AND EXTERIOR STUDS ARE TO BE A MINIMUM GRADE OF SPRUCE-PINE-FIR (SOUTH) NO. 1 OR 2, WITH THE FOLLOWING MINIMUM PROPERTIES:  
FD = 875 PSI  
FC = 1150 PSI (PARALLEL) E = 1,400,000 PSI
- PLYWOOD: FLOORS - 3/4" T AND G, APA RATED STURD-I-FLOOR, 24" O.C. 48/24, EXPOSURE 1; ROOFS AND EXTERIOR SHEATHING - 15/32" MINIMUM APA RATED SHEATHING, 32/16, EXPOSURE 1.

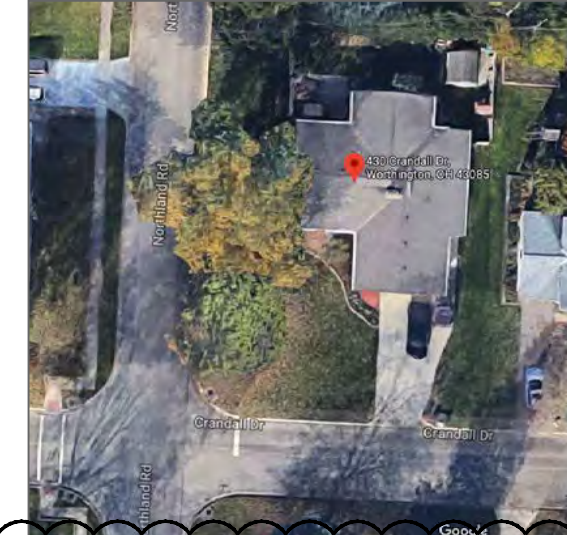
### SCOPE OF WORK & BUILDING DATA

SCOPE OF WORK	:XXX SF ADDITION TO AN EXISTING SINGLE-FAMILY RESIDENCE
LOCATION	:430 CRANDALL DRIVE WORTHINGTON, OHIO 43085
P.I.D.	:100-002756-00
BUILDING CODE ADAPTED	:RESIDENTIAL CODE OF OHIO 2019
TYPE OF CONSTRUCTION	:5B
ACCESSIBILITY CODE:	:DOES NOT APPLY

### INDEX OF DRAWINGS

- :SITE PLAN, ELEVATIONS AND CODE DATA
- DEMOLITION AND CONSTRUCTION PLANS AND INTERIOR ELEVATIONS: PHASE 1
- DEMOLITION AND CONSTRUCTION PLANS AND INTERIOR ELEVATIONS: PHASE 2
- FOUNDATION, FRAMING AND ELECTRICAL PLANS
- WALL SECTIONS AND DETAILS

### SITE MAP



PLANS EXAMINER NOTE:  
THE PLAN REVISION NOTED AS REVISION 3 INVOLVES SLIGHT PLAN CHANGES BASED ON ACTUAL FIELDS CONDITIONS. THE PLAN CHANGES DO NOT AFFECT THE ORIGINAL DESIGN INTENT. ALSO, THE OWNER'S REQUESTED PHASING OF CONSTRUCTION TO LIMIT THE DISRUPTION OCCURRED BY THE REMODEL.



### LEFT SIDE ELEVATION

SCALE 1/4" = 1'-0"



### FRONT ELEVATION

SCALE 1/4" = 1'-0"

# JOHNSTON RESIDENCE REMODEL AND ADDITION

430 CRANDALL DRIVE  
WORTHINGTON, OHIO 43085

#### DRAWING SET

- |                                     |                |              |
|-------------------------------------|----------------|--------------|
| <input type="checkbox"/>            | 12   21   2020 | Progress     |
| <input type="checkbox"/>            |                | check set    |
| <input type="checkbox"/>            |                | bid          |
| <input checked="" type="checkbox"/> | 01   01   2021 | permit       |
| <input type="checkbox"/>            |                | construction |

#### REVISIONS

- |   |                |                     |
|---|----------------|---------------------|
| △ | 05   21   2021 | plan examiner       |
| △ | 07   17   2021 | comments            |
| △ | 07   19   2022 | structural revision |
| △ |                | plan revision and   |
| △ |                | phased construction |
| △ |                |                     |
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#### SEAL

CITY OF WORTHINGTON

DRAWING NO. EXCP 17-2022

DATE 12/12/2022

#### SHEET TITLE

PLANS AND ELEVATIONS

#### SHEET NUMBER

A1

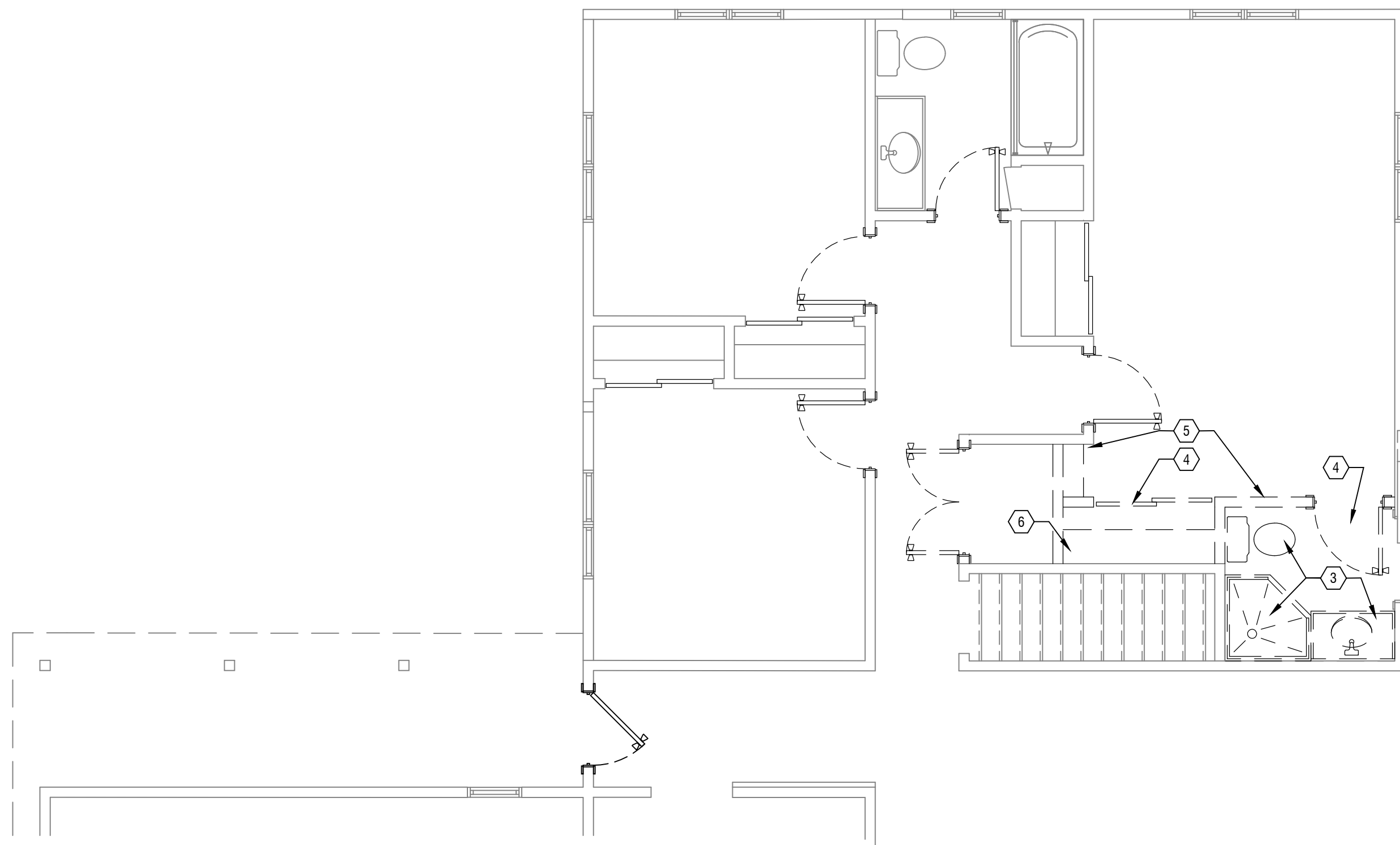
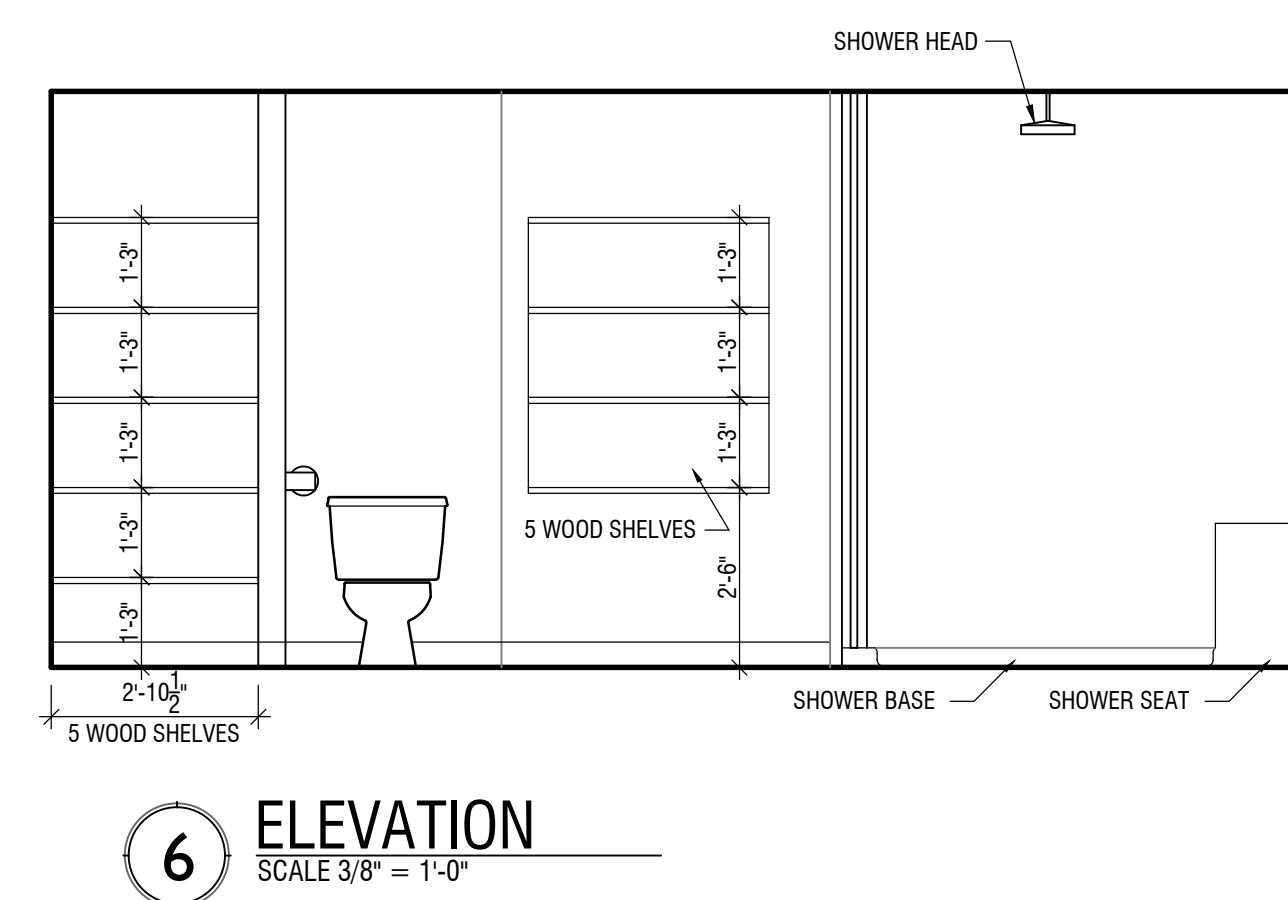
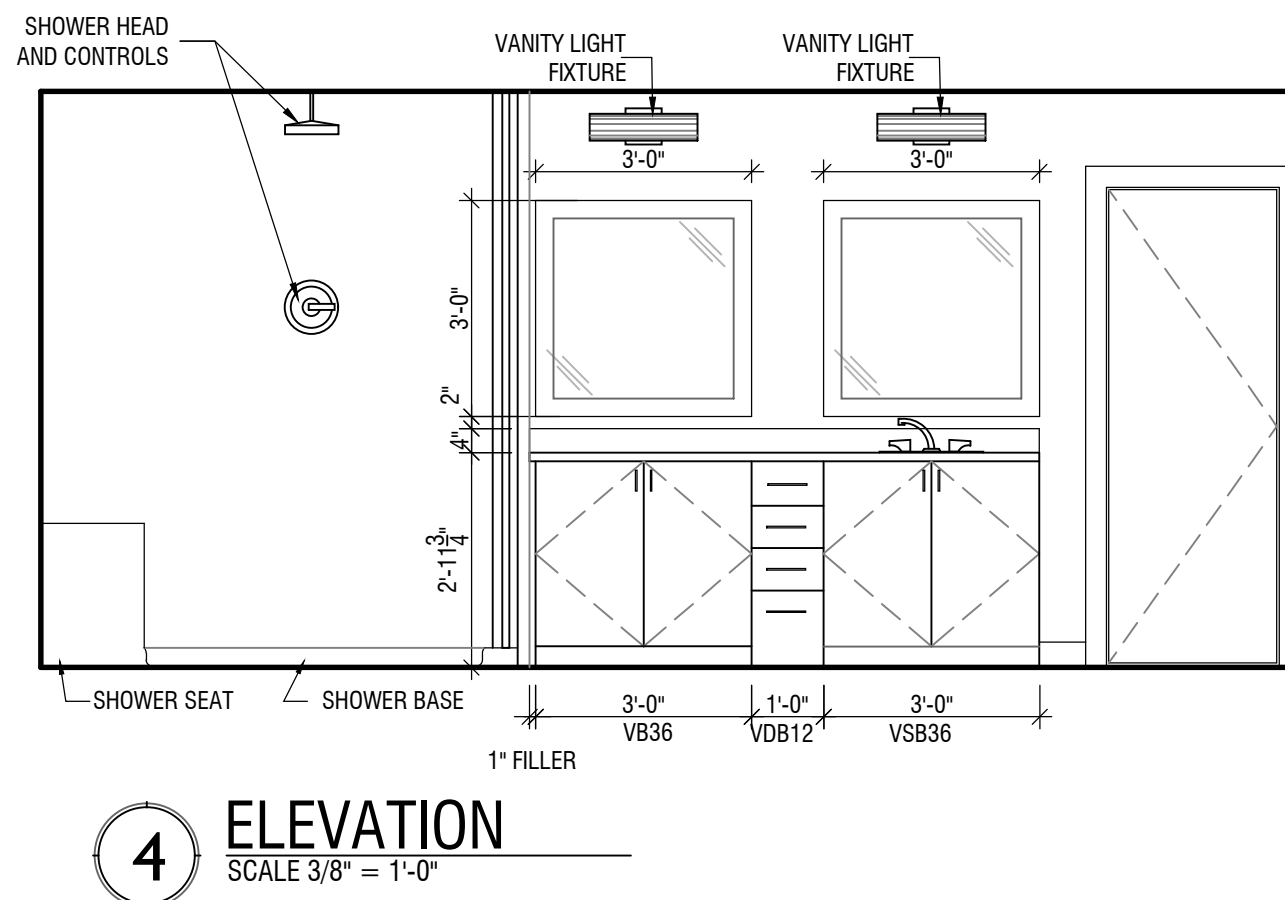
JOHNSTON RESIDENCE REMODEL AND ADDITION  
430 CRANDALL DRIVE  
WORTHINGTON, OHIO 43085

DRAWING SET			
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<input checked="" type="checkbox"/>	<u>01   01   2021</u>	permit	
<input type="checkbox"/>	<input type="checkbox"/>	construction	
REVISIONS			
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<input type="checkbox"/>	<u>07   17   2021</u>	comments	
<input type="checkbox"/>	<u>07   19   2022</u>	structural revision	
<input type="checkbox"/>	<input type="checkbox"/>	plan revision and	
<input type="checkbox"/>	<input type="checkbox"/>	phased construction	
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CITY OF WORTHINGTON  
DRAWING NO. EXCP 17-2022  
DATE 12/12/2022

SHEET TITLE  
PHASE 1: DEMOLITION AND CONSTRUCTION PLANS  
AND INTERIOR ELEVATIONS  
SHEET NUMBER

A2-A



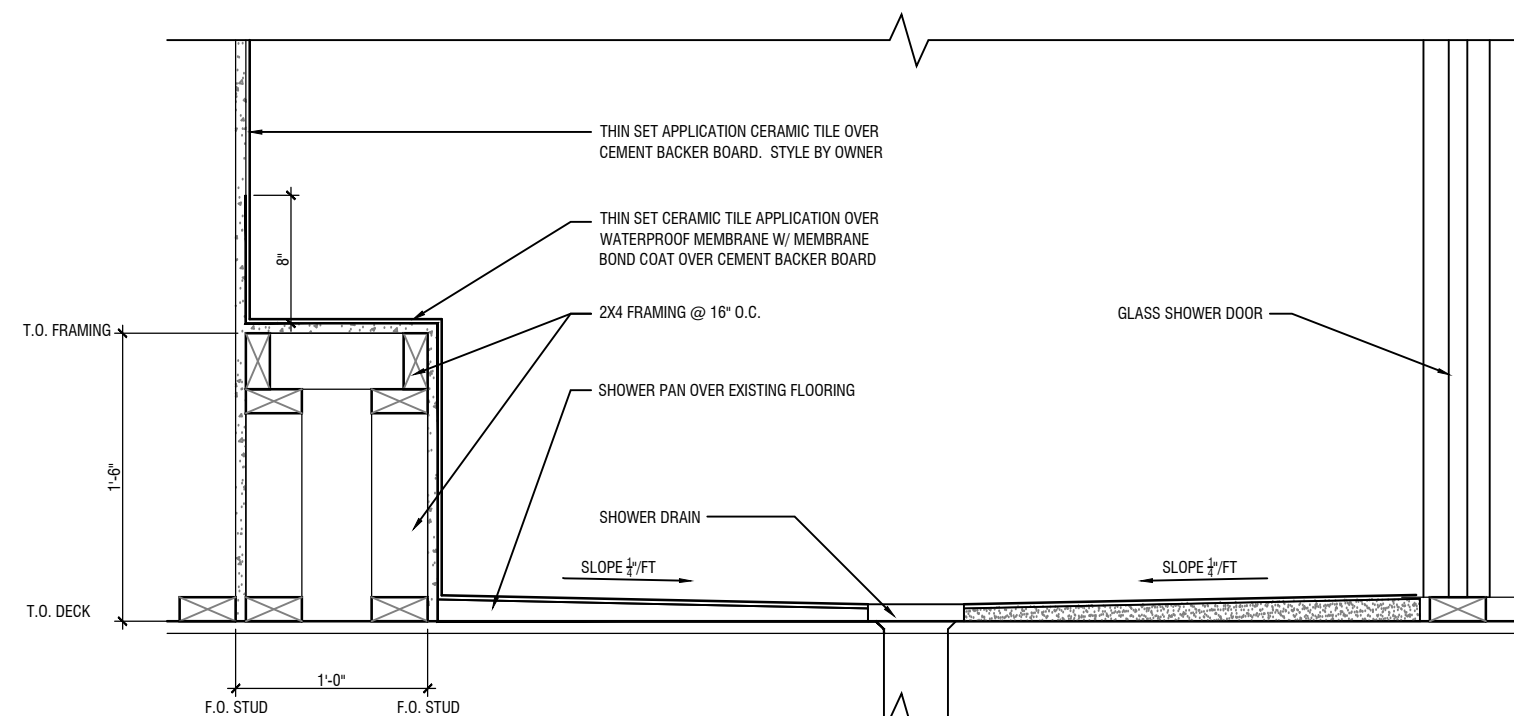
DEMOLITION PLAN: PHASE I  
SCALE 1/4" = 1'-0"

DEMOLITION NOTES

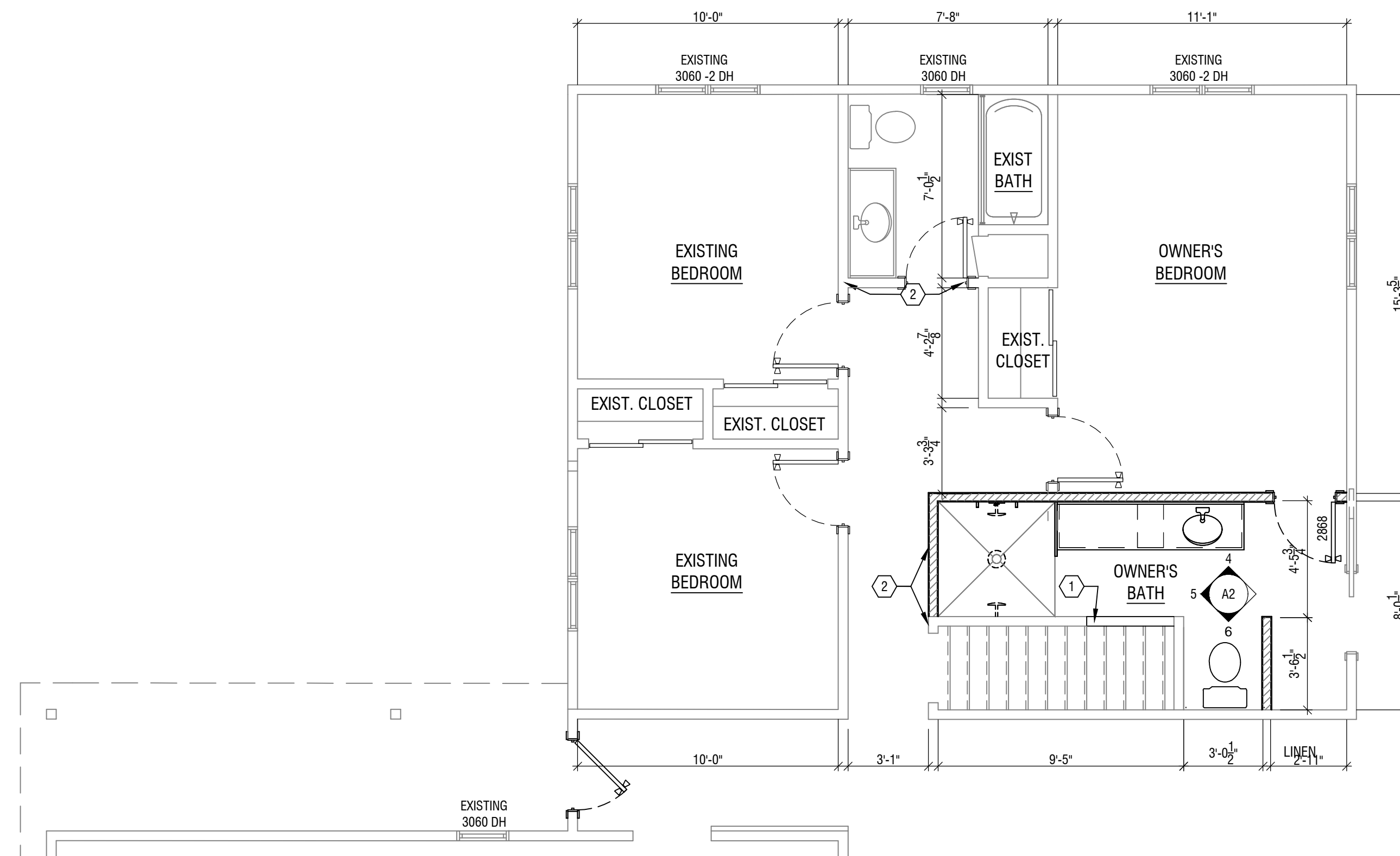
- ALL ADJACENT WALLS AFFECTED BY THE REMODEL SHALL BE CLEANED AND PREPPED FOR PAINTING
- ALL FLOORING IN AFFECTED AREAS TO BE PATCHED AND REPAIRED TO LIKE NEW CONDITION
- ALL CEILINGS IN AFFECTED AREAS SHALL BE PATCH AND REPAIRED TO LIKE NEW CONDITION
- ALL EXTERIOR FINISHES IN AFFECTED AREAS SHALL BE PATCH AND REPAIRED TO LIKE NEW CONDITION

DEMOLITION CODED NOTES

- NOT USED
- NOTUSED
- REMOVED EXISTING PLUMBING FIXTURES.
- REMOVE EXISTING DOOR AND FRAME.
- REMOVE EXISTING NON-BEARING INTERIOR WALL.
- REMOVE EXISTING ROD AND SHELF.



A SHOWER SECTION  
SCALE 1" = 1'-0"



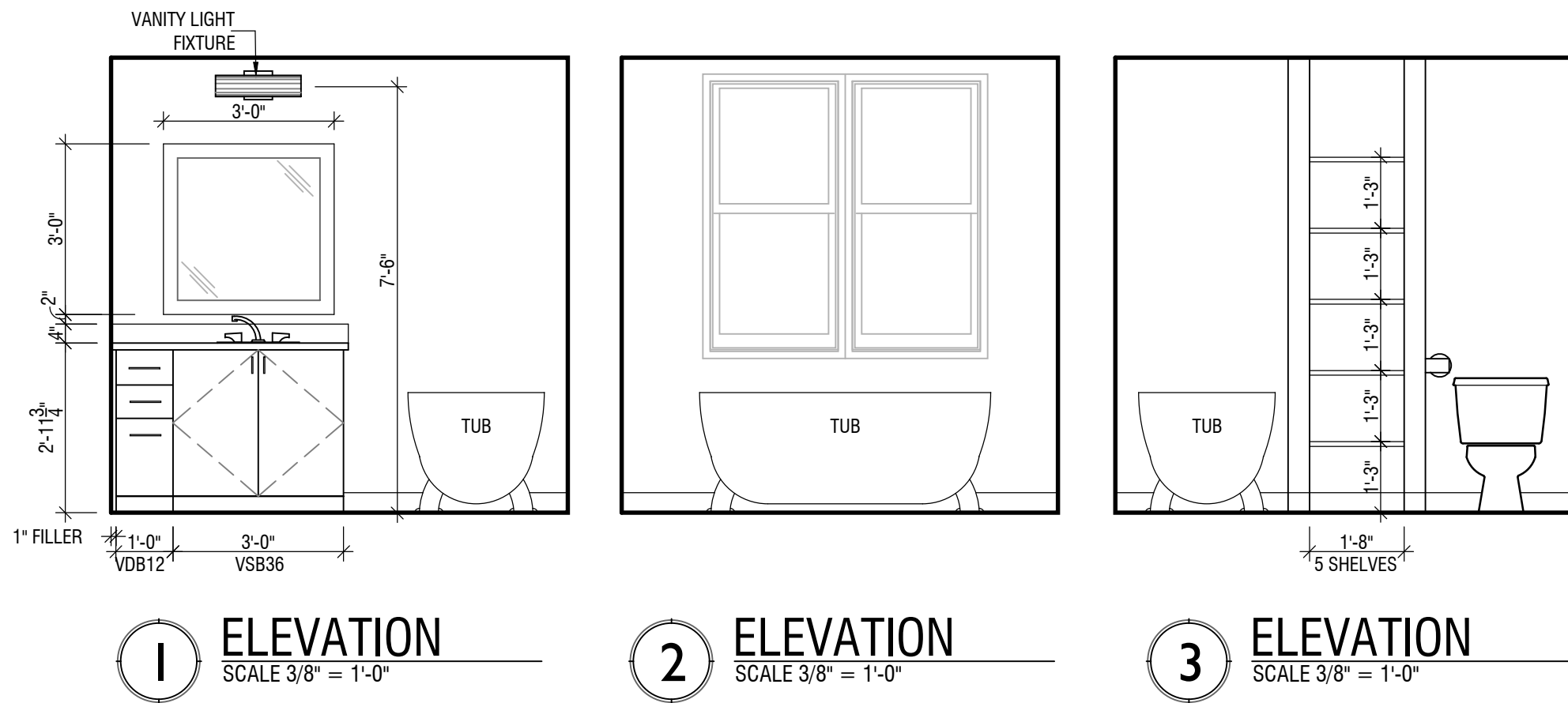
CONSTRUCTION PLAN :PHASE I  
SCALE 1/4" = 1'-0"

CONSTRUCTION NOTES

- ALL ADJACENT WALLS AFFECTED BY THE REMODEL SHALL BE CLEANED AND PREPPED FOR PAINTING
- ALL FLOORING IN AFFECTED AREAS TO BE PATCHED AND REPAIRED TO LIKE NEW CONDITION
- ALL CEILINGS IN AFFECTED AREAS SHALL BE PATCH AND REPAIRED TO LIKE NEW CONDITION
- ALL EXTERIOR FINISHES IN AFFECTED AREAS SHALL BE PATCH AND REPAIRED TO LIKE NEW CONDITION
- ALL FLOOR, WALL AND CEILING FINISHES IN AFFECTED AREAS TO BE DETERMINED BY OWNER.

CONSTRUCTION CODED NOTES

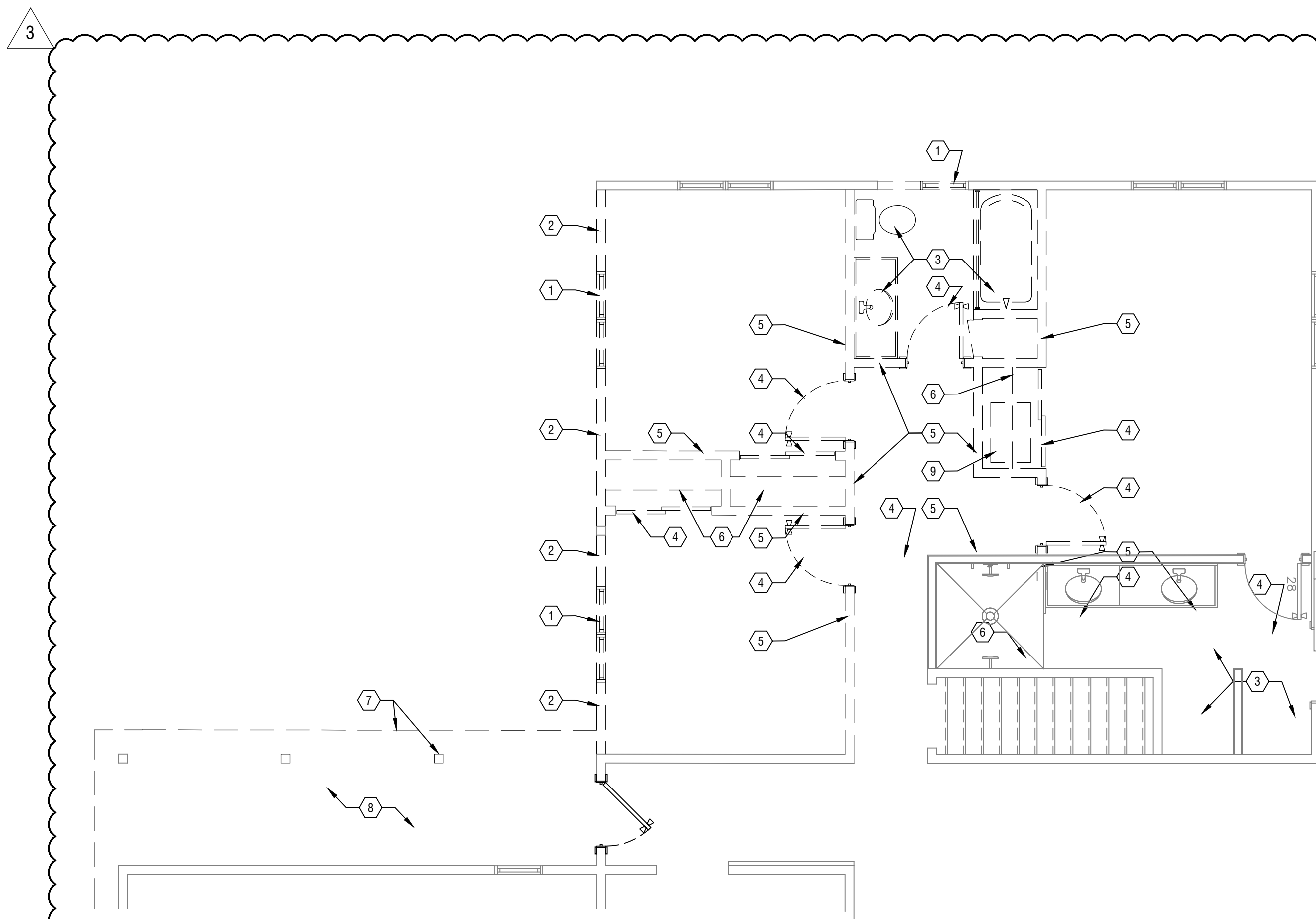
- 6" CUSTOM WOOD SHELVES ABOVE STAIR OPENING. MAINTAIN STAIR CLEARANCE. PAINT.
- ALIGN NEW WALL WITH EXISTING WALL.



1 ELEVATION  
SCALE 3/8" = 1'-0"

2 ELEVATION  
SCALE 3/8" = 1'-0"

3 ELEVATION  
SCALE 3/8" = 1'-0"



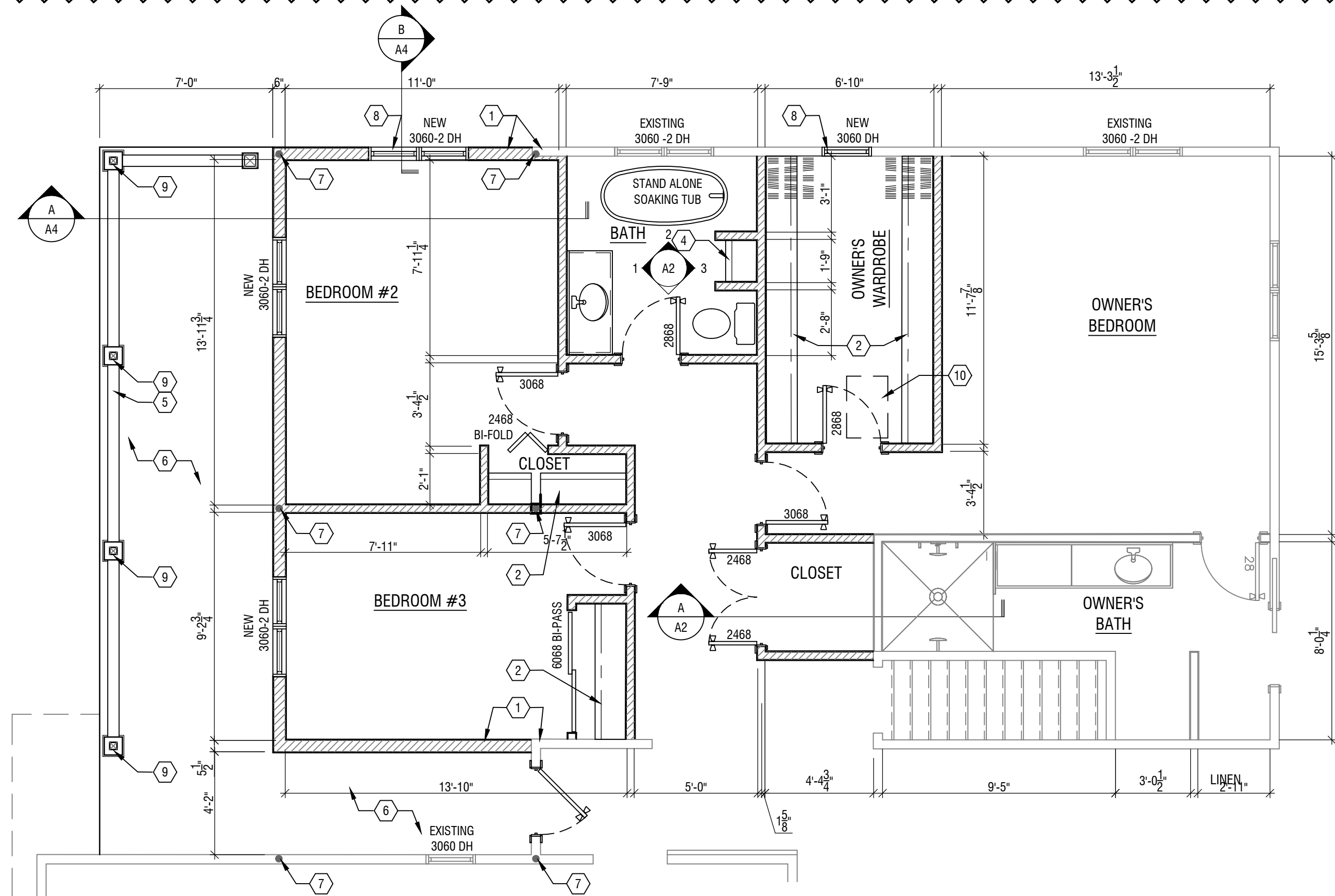
DEMOLITION PLAN: PHASE 2  
SCALE 1/4" = 1'-0"

#### DEMOLITION NOTES

- ALL ADJACENT WALLS AFFECTED BY THE REMODEL SHALL BE CLEANED AND PREPPED FOR PAINTING
- ALL FLOORING IN AFFECTED AREAS TO BE PATCHED AND REPAIRED TO LIKE NEW CONDITION
- ALL CEILINGS IN AFFECTED AREAS SHALL BE PATCH AND REPAIRED TO LIKE NEW CONDITION
- ALL EXTERIOR FINISHES IN AFFECTED AREAS SHALL BE PATCH AND REPAIRED TO LIKE NEW CONDITION

#### DEMOLITION CODED NOTES

- REMOVE EXISTING WINDOW. SALVAGE FOR POSSIBLE RE-USE
- REMOVE PORTION OF EXISTING EXTERIOR WALL. SUPPORT EXISTING ROOF UNTIL NEW LVL BEAM CAN BE INSTALLED.
- REMOVED EXISTING PLUMBING FIXTURES.
- REMOVE EXISTING DOOR AND FRAME.
- REMOVE EXISTING NON-BEARING INTERIOR WALL.
- REMOVE EXISTING ROD AND SHELF.
- REMOVE PORTION OF EXISTING ROOF AND TIE REMAIN INTO THE NEW CONSTRUCTION.
- REMOVE EXISTING PORCH SLAB.
- REMOVE AND RELOCATED ATTIC ACCESS PANEL.



CONSTRUCTION PLAN: PHASE 2  
SCALE 1/4" = 1'-0"

#### CONSTRUCTION NOTES

- ALL ADJACENT WALLS AFFECTED BY THE REMODEL SHALL BE CLEANED AND PREPPED FOR PAINTING
- ALL FLOORING IN AFFECTED AREAS TO BE PATCHED AND REPAIRED TO LIKE NEW CONDITION
- ALL CEILINGS IN AFFECTED AREAS SHALL BE PATCH AND REPAIRED TO LIKE NEW CONDITION
- ALL EXTERIOR FINISHES IN AFFECTED AREAS SHALL BE PATCH AND REPAIRED TO LIKE NEW CONDITION
- ALL FLOOR, WALL AND CEILING FINISHES IN AFFECTED AREAS TO BE DETERMINED BY OWNER.

#### CONSTRUCTION CODED NOTES

- ALIGN EXISTING WALL WITH NEW CONSTRUCTION.
- PROVIDE NEW ROD & SHELF.
- CUSTOM WOOD SHELVES ABOVE STAIR OPENING. PAINT.
- LINEN SHELVES. 5 SHELVES.
- WOOD RAILING.
- NEW 4" CONCRETE PORCH SLAB. REFER TO SECTION A/A4.
- DENOTES AREA FOR FOR STRUCTURAL SUPPORT OF NEW LVLS. REFER TO FRAMING PLAN.
- EXISTING OR RELOCATED WINDOW. SEE EXTERIOR ELEVATIONS.
- PREFAB COLUMN WRAP OVER 6x6 POST. STYLE BY OWNER. TURNCRRAFT OR EQUAL.
- RELOCATED ATTIC ACCESS PANEL.

# JOHNSTON RESIDENCE REMODEL AND ADDITION

430 CRANDALL DRIVE  
WORTHINGTON, OHIO 43085

#### DRAWING SET

- |                          |                |              |
|--------------------------|----------------|--------------|
| <input type="checkbox"/> | 12   21   2020 | Progress     |
| <input type="checkbox"/> | 07   17   2021 | check set    |
| <input type="checkbox"/> | 01   01   2021 | bid          |
| <input type="checkbox"/> | 01   01   2021 | permit       |
| <input type="checkbox"/> | 01   01   2021 | construction |

#### REVISIONS

- |   |                |                     |
|---|----------------|---------------------|
| △ | 05   21   2021 | plan examiner       |
| △ | 07   17   2021 | comments            |
| △ | 07   19   2022 | structural revision |
| △ |                | plan revision and   |
| △ |                | phased construction |
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SEAL

CITY OF WORTHINGTON

DRAWING NO. EXCP 17-2022

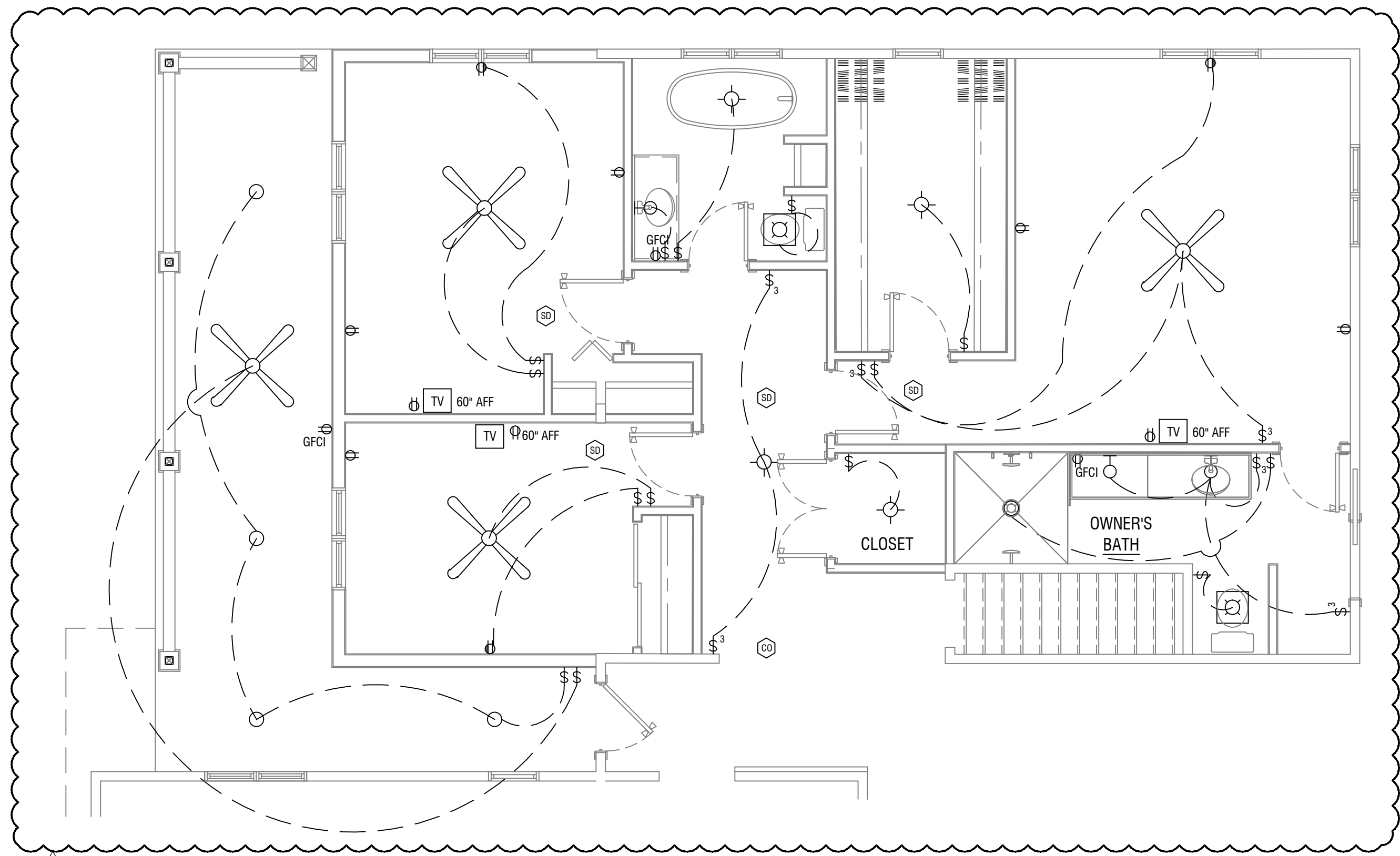
DATE 12/12/2022

SHEET TITLE  
PHASE 2: DEMOLITION AND CONSTRUCTION PLANS  
AND INTERIOR ELEVATIONS

SHEET NUMBER

A2-B





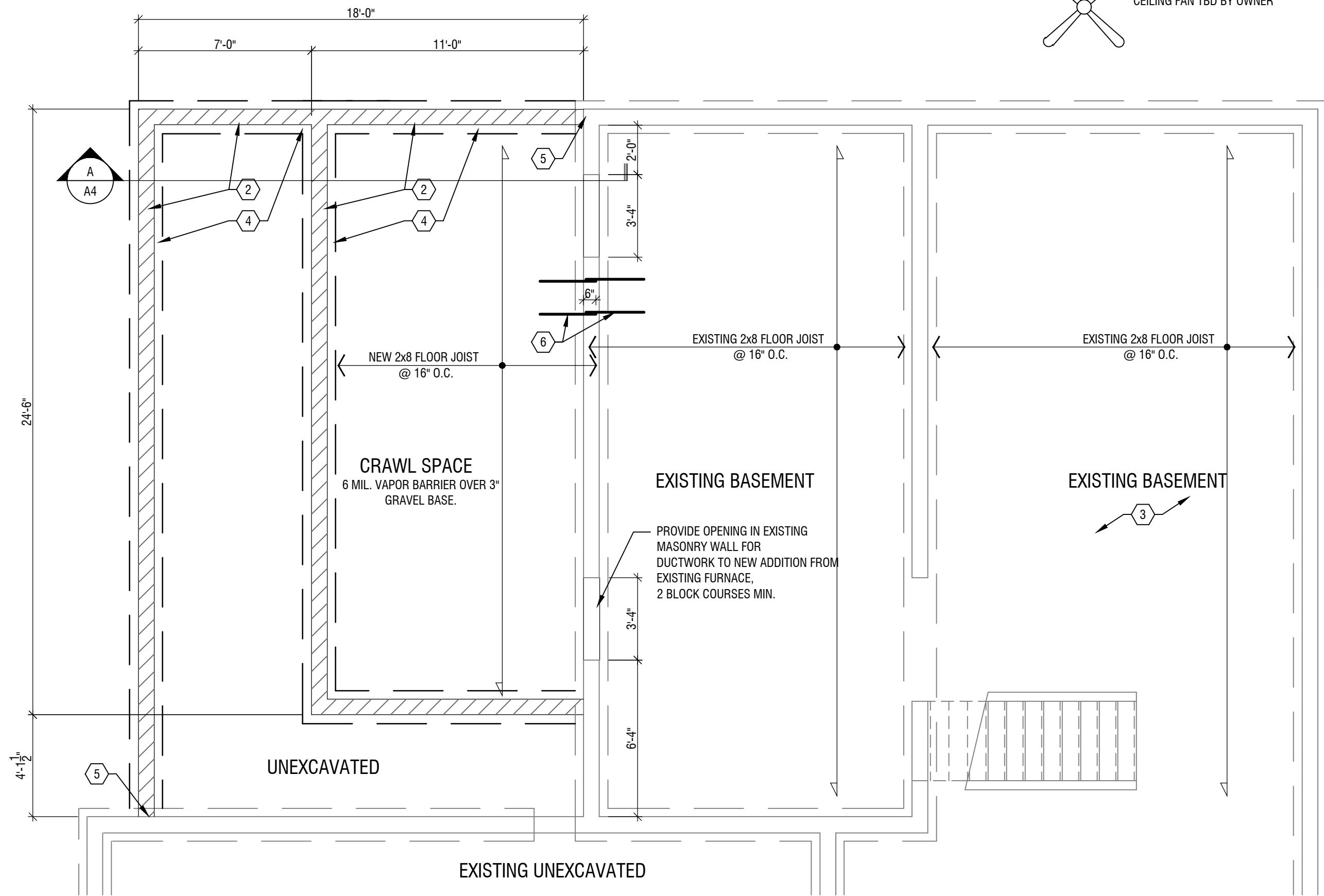
ELECTRICAL PLAN  
SCALE 1/4" = 1'-0"

ELECTRICAL GENERAL NOTES:

- CONTRACTOR TO REPLACE EXISTING ELECTRIC PANEL IS BASEMENT WITH NEW 200 AMP PANEL.
- CIRCUIT ALL NEW POWER AND LIGHTING BACK TO NEW PANEL LOCATED IN BASEMENT.
- COORDINATE FINAL LOCATION OF SWITCHING WITH OWNER.
- COORDINATE REPLACEMENT OF EXISTING BATHROOM FIXTURES AND EXHAUST FANS WITH OWNER.
- PROVIDE WATER-PROOF HOUSING FOR CAN FIXTURES IN WET AREAS.
- OUTLETS MUST BE TAMPER RESISTANT.
- NEW CIRCUITS TO BE ARC -FAULT PROOF.
- ALL BATHROOM OUTLETS TO BE 20 AMP CIRCUIT.

SYMBOL LEGEND

- RECESSED LED FIXTURE
- WALL MOUNTED LED FIXTURE TBD BY OWNER
- CEILING MOUNTED LED FIXTURE TBD BY OWNER
- EXHAUST FAN / LIGHT COMBINATION
- GFCI RECEPTACLE
- RECEPTACLE
- LIGHT SWITCH
- (X)-WAY LIGHT SWITCH
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- CABLE TV JACK
- CEILING FAN TBD BY OWNER



FOUNDATION PLAN  
SCALE 1/4" = 1'-0"

TYPICAL FOUNDATION WALL  
8" CMU WITH #6 @  
32" O.C. GROUT SOLID  
FULL HEIGHT INTO BLOCK CORES

FOOTING SCHEDULE

MARK	SIZE	REINFORCING
F1	16" WD. x 8" DP.	2 #4 CONTINUOUS

FOUNDATION CODED NOTES:

- PROVIDE OPENING IN EXISTING MASONRY WALL FOR DUCTWORK TO NEW ADDITION FROM EXISTING FURNACE, 2 BLOCK COURSES MIN.
- NEW 8" CONC. BLOCK FOUNDATION WALL, BOTTOM OF FOOTER MIN. 32" BELOW GRADE
- EXISTING FURNACE AND DUCT WORK TO REMAIN. REWORK TO SUPPLY THE NEW ADDITION
- NEW FOOTERS TO BE INSTALLED BELOW FROST LINE
- PIN INTO EXISTING FOUNDATION WALL WITH #5 @ 32" C.C. VERTICALLY
- SISTER NEW FLOOR JOIST INTO EXISTING FLOOR JOIST. 6" OVERLAP.



FRAMING PLAN  
SCALE 1/4" = 1'-0"

VENT CALCULATIONS:

TOTAL ATTIC AREA= 498 S.F.= 71,712 SQ. IN.  
71,712 SQ. IN./ 150 =478 SQ. IN. NET FREE  
VENTILATION REQUIRED

SOFFIT VENT: 45 x 15.0 SQ. IN. = 675 SQ. IN.  
TOTAL VENTILATION PROVIDED = 675 SQ. IN.

TYP. ROOF SHEATHING  
7/16" OSB SHEATHING W/  
10d @ 6" FROM EDGES & 10d @  
12" FIELD

ROOF PLAN CODED NOTES:

- ICE/WATER GUARD THROUGHOUT, TYPICAL ENTIRE ADDITION BECAUSE OF LOW ROOF SLOPE.
- ASPHALT SHINGLES OVER 15 LB ROOF FELT OVER 7/16" OSB SHEATHING WITH "H" CLIPS WITH ICE AND WATER DAM STARTER STRIP.
- ROOF OF NEW ADDITION TO STAY BELOW EXISTING RIDGE.
- NEW VENTED VINYL SOFFIT TO MACH EXISTING.
- NEW ALUMINUM GUTTERS AND DOWNSPOUTS, CONNECT TO EXISTING STORM SYSTEM OR DRIN TO SPLASH BLOCKS.
- R -49 BLOWN-IN INSULATION TO BE INSTALLED IN NEW ROOF.

JOHNSTON RESIDENCE REMODEL AND ADDITION

430 CRANDALL DRIVE  
WORTHINGTON, OHIO 43085

DRAWING SET

- 12 | 21 | 2020 Progress
- 07 | 17 | 2021 check set
- 01 | 01 | 2021 bid
- 01 | 01 | 2021 permit
- 01 | 01 | 2021 construction

REVISIONS

- 05 | 21 | 2021 plan examiner
- 07 | 17 | 2021 comments
- 07 | 19 | 2022 structural revision
- 07 | 19 | 2022 plan revision and
- 07 | 19 | 2022 phased construction

SEAL

CITY OF WORTHINGTON

DRAWING NO. EXCP 17-2022

DATE 12/12/2022

SHEET TITLE FOUNDATION, FRAMING AND

ELECTRICAL PLANS

SHEET NUMBER

A3

**430 CRANDALL DRIVE  
WORTHINGTON, OHIO 43085**

<input type="checkbox"/>	<u>12   21   2020</u>	Progress
<input type="checkbox"/>	_____	check set
<input type="checkbox"/>	_____	bid
<input checked="" type="checkbox"/>	<u>01   01   2021</u>	permit
<input type="checkbox"/>	_____	construction

1	05   21   2021	plan examiner
2	07   17   2021	comments
3	07   19   2022	structural revision
4	_____	plan revision and
5	_____	phased construction
6	_____	
7	_____	
8	_____	
9	_____	
10	_____	

DATE 12/12/2022

SHEET NUMBER \_\_\_\_\_

# A4





**City of Worthington**  
**BOARD OF ZONING APPEALS**  
**APPLICATION**

Meetings – First Thursday of Every Month

Case #	TUP 04-2022
Date Received	11/8/2022
Fee	\$50 pd
Meeting Date	
Filing Deadline	

1. Property Location 862 Proprietors Road Suite B.
2. Present/Proposed Use Event space
3. Zoning District I-1
4. Applicant Amber & Samuel Fullah  
Address 940 Minerva Ave. Columbus, OH 43229  
Phone Number(s) 614-927-7615 / 614-483-0116  
Email info@viberenueevents.com
5. Property Owner Kevin Huelsman  
Address 862 Proprietors Road Suite A Worthington, OH 43085  
Phone Number(s) 614-565-7138  
Email dr.huelsman11c@gmail.com
6. Action Requested (ie. type of variance) TUP
7. Project Details:
  - a) Description Use of the space for our current business
  - b) Expected Completion Date —
  - c) Approximate Cost N/A

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Amber Fullah  
Applicant (Signature)

11/8/22  
Date

Kevin Huelsman  
Property Owner (Signature)

11/8/22  
Date



# 862 Proprietors Rd., Suite B





Dear City of Worthington Board of Zoning:

We do understand this supporting statement is to speak of the details required on the attached application to get approval for continued use of the commercial space at 862 Proprietors Road Suite B. Worthington, OH 4305 where our business, Vibe Venue, operates. We also wanted to give insight into who we, Amber & Samuel Fullah, are and what our business offers to our family and to Worthington and the surrounding communities since opening.

Vibe Venue has been a well-maintained, safe and secure space for very intimate family and community events that has given Worthington and the surrounding communities a unique opportunity and space to celebrate special moments in their lives. Vibe Venue has also provided a full-time income for our family and two daughters, allowing Amber to focus solely on operating the business. We urge you to consider this fact in your decision to allow us to be conditionally approved to continue to use this space for our business.

Our landlord, Kevin Huelsman, has played a pivotal role by giving us the opportunity to start a business, which is what we've dreamed of and worked so hard building. He has been in support of our ideas for the space, being there for any questions or concerns we've had, and by offering extremely affordable rent that has given us the opportunity to grow and have revenue to support our family much quicker than we anticipated. Being at this location and having Kevin as our landlord has been a blessing for our family.

Since opening, we have hosted and designed many beautiful events for our clients, been featured in Voyage Ohio Magazine as a Hidden Gem in Columbus, are set to appear on Out & About Columbus, a television show on ABC6 and CW highlighting small businesses around Columbus and have received countless reviews of support and gratitude for what we offer to our clients and people of this community. We don't take our business or the issue of zoning lightly and understand what is at stake.

Please understand that we had no knowledge regarding zoning restrictions when we acquired the commercial space and we do, however, take responsibility for this. We are actively learning and growing as business owners and would never want to jeopardize our good standing as a business. We urge you not to fault us and our business for this lack of knowledge concerning zoning.

We hope to provide you with the information you need in the following supporting statement to be approved to use this location allowing our business to remain a part of the Worthington community.

CITY OF WORTHINGTON

DRAWING NO. TUP 04-2022

DATE 11/08/2022

**Supporting Statement:**

Vibe Venue's current use as a small event space has yielded a reasonable return and as mentioned, has allowed for a full-time income for our family as well as rental property income for Kevin Huelsman. Without granting us continued use of this property, our livelihood will be greatly jeopardized, in turn giving us no reasonable time to secure a new business location, which doesn't come with a guarantee. There are no substantial alterations that have affected the character of the neighborhood nor has the adjoining building suffered because of Vibe Venue operating at its current location. Neighboring businesses (i.e., dentist office and doctor's office) are not in operation in the evenings or on the weekends when Vibe Venue is operating. Safety protocols are strictly reinforced within the guidelines of our contracts with clients as well as security camera monitoring during all events. The exterior door is always closed when amplified music is being played in the space, which is also currently equipped with soundproof wall panels and ceiling tiles.

Additionally, approval of this variance has no effect on public facilities including sewerage and drainage facilities as we only use minimal utilities including electric, gas, and water. As previously stated, we, Amber and Samuel Fullah, had no knowledge of the zoning restrictions when we signed a lease to acquire the commercial space to operate Vibe Venue. Kevin Huelsman, property owner, also had no knowledge that the use of this property for Vibe Venue would be a zoning issue. This predicament cannot be feasibly obviated through any other method other than a variance or being considered as a conditional use for the I-1 zone. We observe the intent behind the zoning requirement and by granting us approval to continue to use the property, our family can continue to build our business and maintain an income to support ourselves and our daughters.

We appreciate your time!

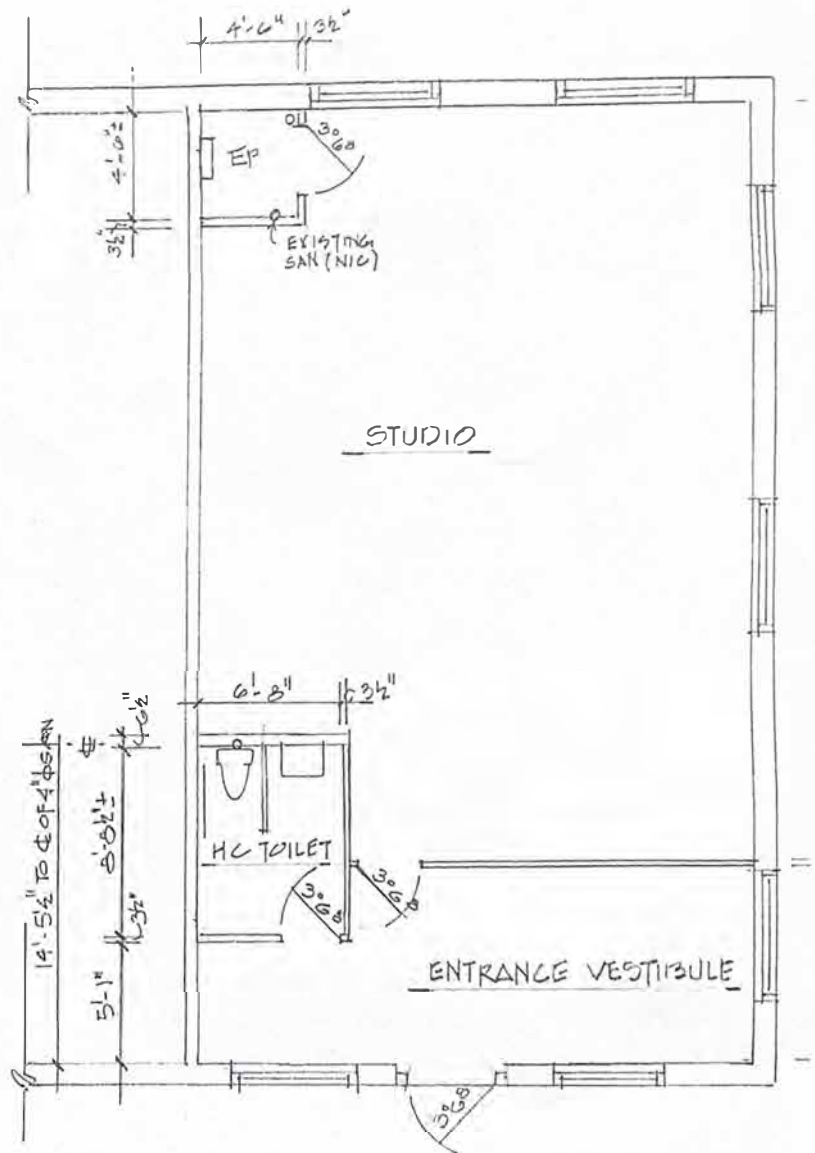
Amber & Samuel Fullah

CITY OF WORTHINGTON

DRAWING NO. TUP 04-2022

DATE 11/08/2022

- 1 ADD FLOOR TO CEILING WALLS
- 2 ADD PULL-DOWN STAIR
- 3 ADD 3 DOORS  
LOCK AT EP  
PRIVACY LOCK AT TOILET

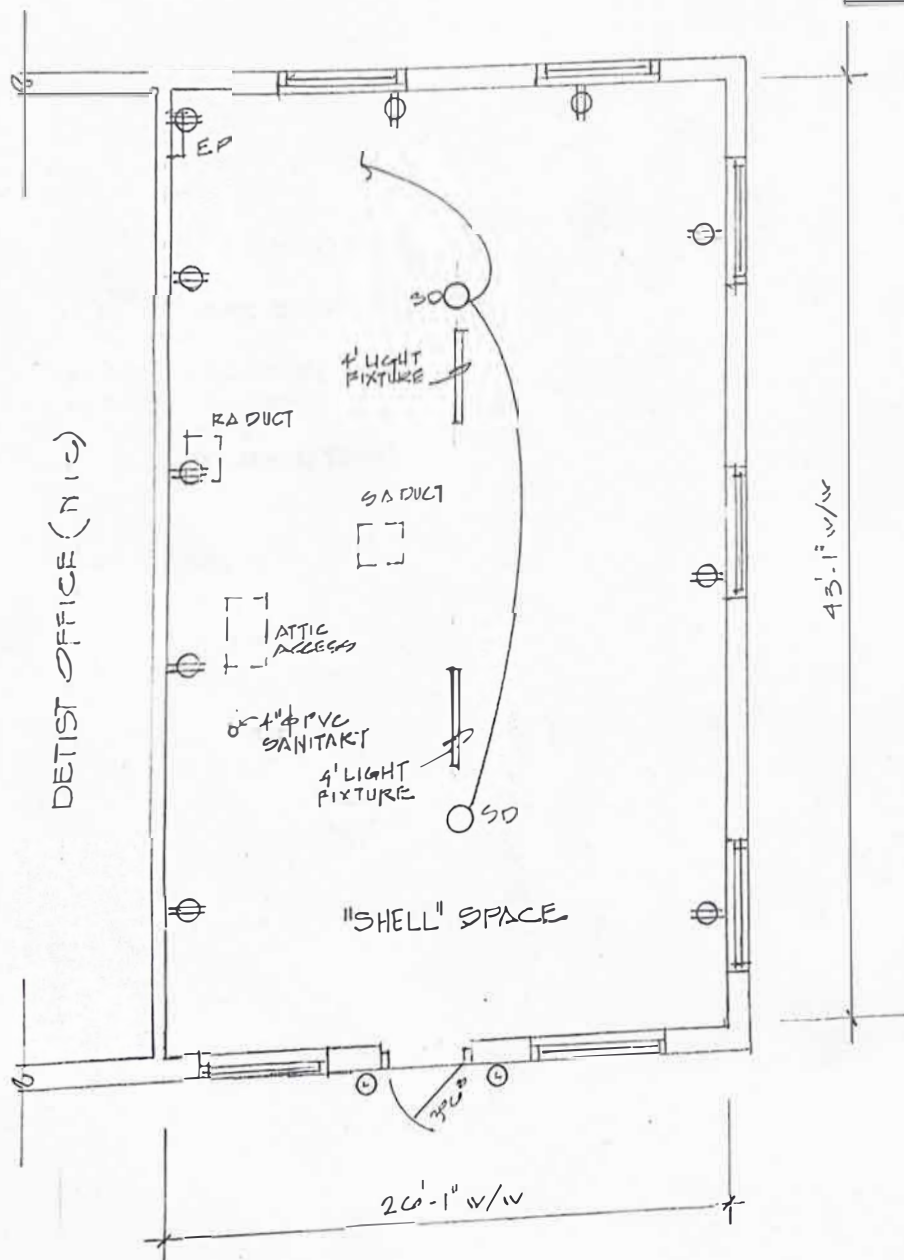


CITY OF WORTHINGTON  
DRAWING NO. TUP 04-2022  
DATE 11/08/2022

PROPOSED PLAN

SCALE 1/8" = 1'-0"

CITY OF WORTHINGTON  
 DRAWING NO. TUP 04-2022  
 DATE 11/08/2022



EXISTING PLAN  
 SCALE 1/8" = 1'-0"



City of Worthington, Ohio  
 Division of Building Regulation  
 Reviewed for Code Compliance  
 Reviewed by:  
 Don Phillips  
 02/09/2021

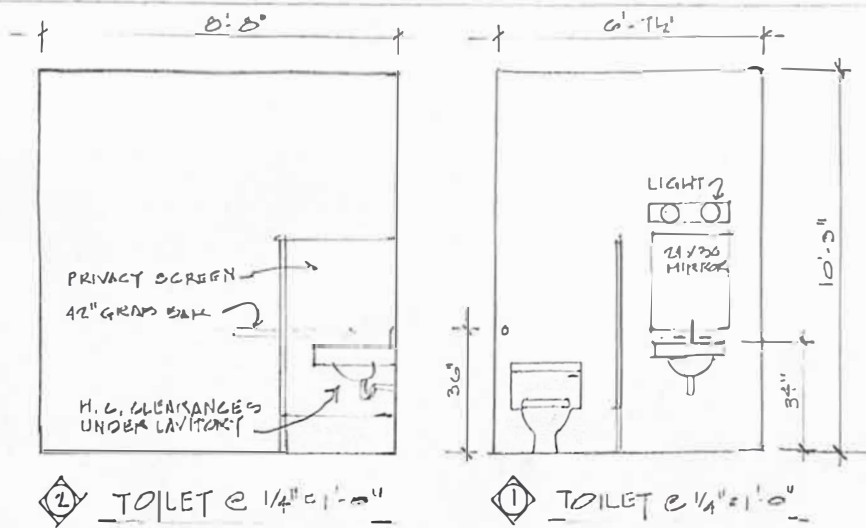
Martin F. Strayer, RA  
 1270 E. Walnut Street  
 Westerville, Ohio

Yoga Studio  
 862 Proprietors Rd.  
 Worthington, Ohio

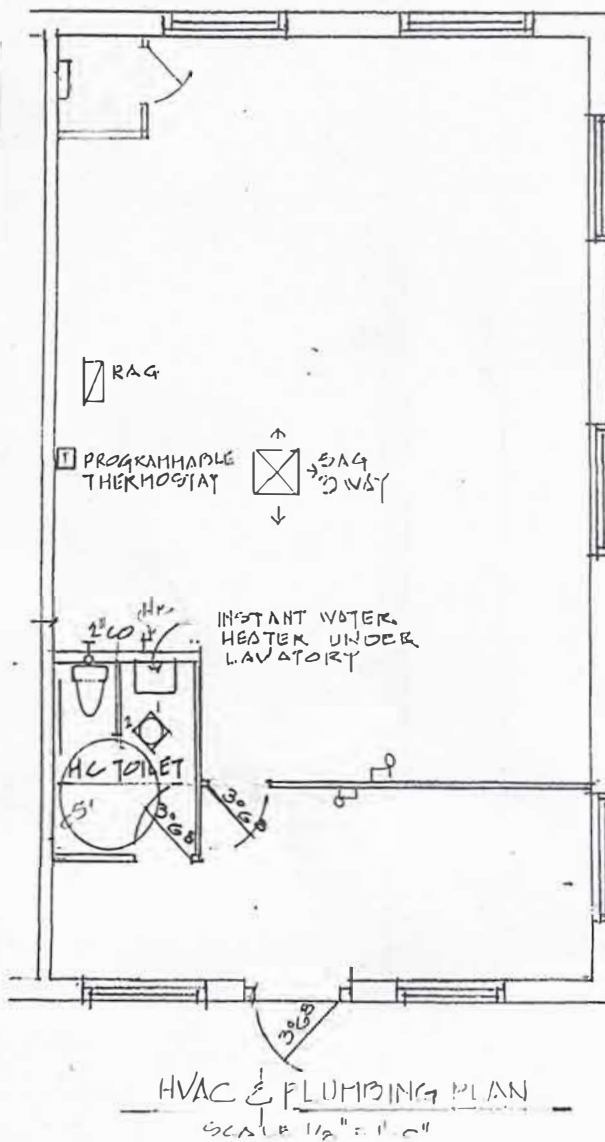
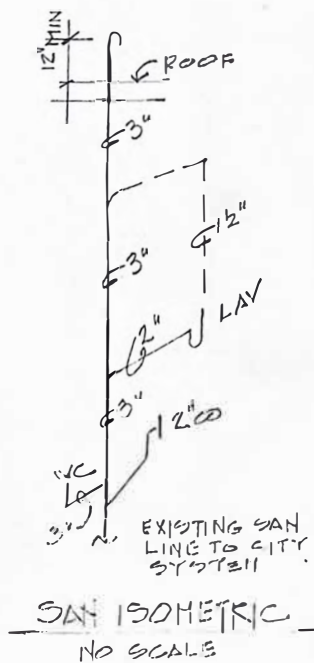
Owner / Contractor  
 BCR Worthington LLC

Date  
 1-30-21

Sheet #  
 2 of 4



City of Worthington, Ohio  
 Division of Building Regulation  
 Reviewed for Code Compliance  
 Reviewed by:  
 Don Phillips  
 02/09/2021



Martin F. Strayer, RA  
 1270 E. Walnut Street  
 Westerville, Ohio

Yoga Studio  
 862 Proprietors Rd.  
 Worthington, Ohio

Owner / Contractor  
 BCR Worthington LLC

CITY OF WORTHINGTON  
 DRAWING NO. TUP 04-2022  
 DATE 11/08/2022

Date  
 Sheet #  
 344





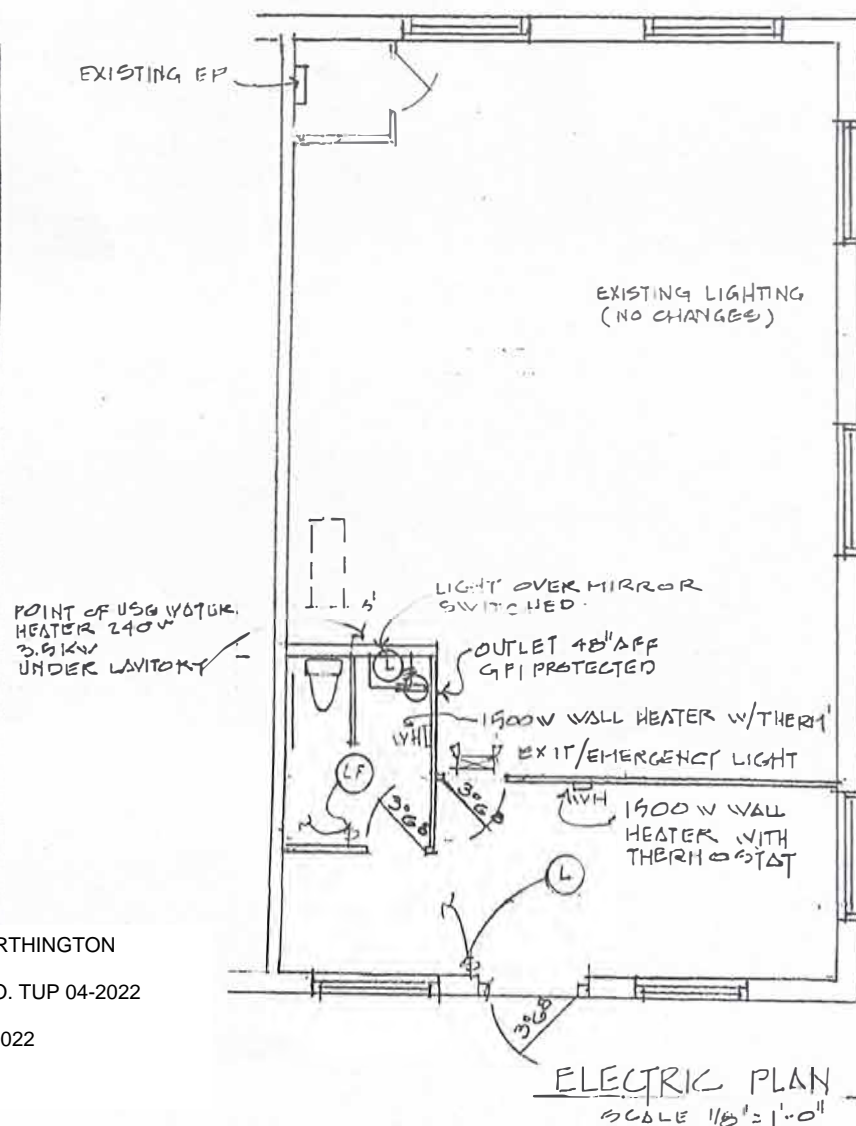
Martin F. Strayer, RA  
1270 E. Walnut Street  
Westerville, Ohio

Yoga Studio  
862 Proprietors Rd.  
Worthington, Ohio

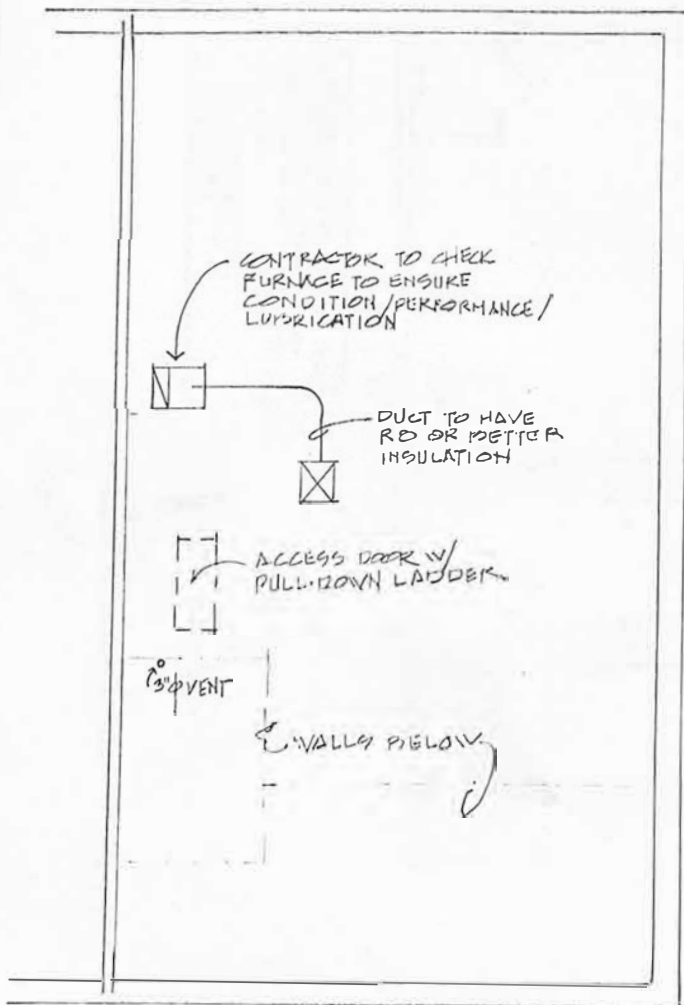
Owner / Contractor  
BCR Worthington LLC

Date  
1-30-21

Sheet #  
4 of 4



CITY OF WORTHINGTON  
DRAWING NO. TUP 04-2022  
DATE 11/08/2022



ATTIC PLAN  
SCALE 1/8" = 1'-0"

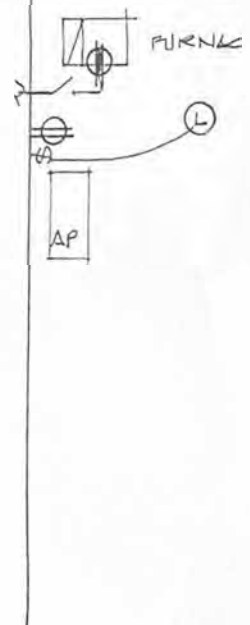
CITY OF WORTHINGTON  
DRAWING NO. TUP 04-2022  
DATE 11/08/2022

PANEL NO: <u>EXISTING SUP. PANEL</u>				LOCATION: <u>SE CORNER</u>				
TYPE: _____		MANUF: _____		MOUNT: <u>SURFACE</u>				
SERVICE: <u>120/240</u> VOLTS <u>1</u> PHASE <u>60</u> WIRE <u>60</u> Hz				MAINS: _____ AMPS _____ M.L.O. _____ M.C.B. _____ N OR <u>EXIST</u> _____ SOLID NEUTRAL				
CONNECTED LOAD	WIRE	WATTS	CIR. BRK.	CIRCUIT NUMBER	CIR. BRK.	WATTS	WIRE	CONNECTED LOAD
FURNACE			20	1 2	30			INCOMING ↓
LIGHTS			20	3 4	30			
UNMARKED			20	5 6	20			OUTLETS
UNMARKED			20	7 8	20			OUTLETS
WALL HEATER	12	1500	20	9 10	20	1500	12	WALL HEATER
TOILET LIGHT/FAN/OUTLET	12	600	20	11 12	20	200	12	POYER LIGHT/EXIT
				13 14	30	2500	10	WATER HEATER
				15 16				
				17 18				
				19 20				
				21 22				
				23 24				
				25 26				
				27 28				
				29 30				

NEW EXISTING

NEW EXISTING

ELECTRICAL CONTRACTOR TO FOLLOW NEC & OBC REQUIREMENTS.  
 NAME CIRCUITS ON THE PANEL BOX COVER.  
 CHECK EXISTING CIRCUITS AND BALANCE SIDES AS MUCH AS POSSIBLE.  
 CHECK EXISTING WIRING FOR CODE COMPLIANCE.



CITY OF WORTHINGTON  
 DRAWING NO. TUP 04-2022  
 DATE 11/08/2022





## BZA APPLICATION VAR 0046-2022 6655 Lakeside Cir. W.

<b>Plan Type:</b> Variance	<b>Project:</b>	<b>App Date:</b> 11/18/2022
<b>Work Class:</b> Variance Residential	<b>District:</b> City of Worthington	<b>Exp Date:</b>
<b>Status:</b> In Review		<b>Completed:</b>
<b>Valuation:</b> \$0.00		<b>Approval</b>
<b>Description:</b> We are asking to encroach on side yard setback by four feet. Due to the placement of our pool we do not have enough room to accommodate for the pavilion. There is no detriment to the neighborhood or our neighbor. This request does not affect any delivery of governmental services. We were not aware of the side yard back set back when purchasing the property.		
<b>Expire Date:</b>		

<b>Parcel:</b> 100-005804	Main	<b>Address:</b> 6655 Lakeside Cir W	Main	<b>Zone:</b> R-10(Low Density Residence)
		Worthington, OH 43085		

Applicant / Owner	Owner
Kerry L Gor	Krupal P Gor
6655 Lakeside Circle West	6655 LAKESIDE CIR W
Worthington, OH 43085	Worthington , OH 43085
Mobile: (614) 477-1186	

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003221	(Residential) Board of Zoning Appeals	\$25.00	\$25.00
Total for Invoice INV-00003221		\$25.00	\$25.00
Grand Total for Plan		\$25.00	\$25.00

# 6655 Lakeside Cir. W





**From:** [Rob Coriell](#)  
**To:** [Ganter, Kenny](#)  
**Cc:** [Kerry Gor](#); [Krupal Gor](#); [Bryan Critser](#); [Chad Miller](#)  
**Subject:** [EXTERNAL] Re: VAR 0046-2022 6655 Lakeside Cir. W - Pavilion  
**Date:** Thursday, December 22, 2022 7:45:21 AM  
**Attachments:** [image.png](#)

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Good Morning Kenny,

I am contacting you on behalf of Kerry & Krupal Gor. My name is Rob Coriell and I a Sales Representative at Outdoor-FX that is helping the Gor's with their project. I believe I spoke with you last week. We just had the surveying company stop back out to review the property line location since it was not clear on the survey of how close the property line was to the existing pool pad. After them coming out on Monday to re-measure, it has been determined that the sideyard property line is 10 feet from the existing concrete patio around the pool.

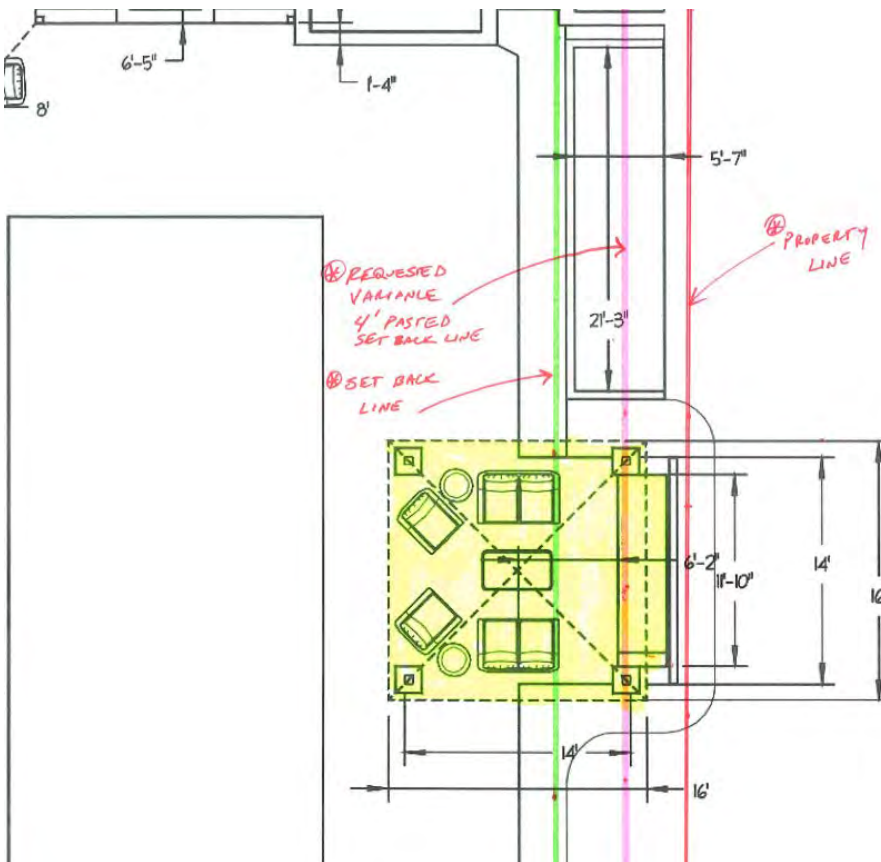
Our original design reflected a pavilion that is 16x16 from soffit to soffit and 8 feet of this structure would have been placed on the existing concrete pool patio and the other half would have been on the backside edge of the pool patio. We can only utilize 8 feet of the concrete area due to the plumbing underneath the patio that typically is placed within 4 feet of the pools water edge. The total width of this concrete pad is 12 feet from pools water edge to the plant bed next to the patio. Now knowing that the side property line is only 10 feet away from this concete patio, this would have put the edge of the pavilion only 2 feet away from the property line. This is depicted in the screen shot below. We originally thought there was more room on the side yard so we only requested to encroach into the 8' sideyard setback by 4 feet. Now knowing exactly how far we are from the property line we need to readjust the size pavilion to be wider and not as deep as 16 feet because we are assuming trying to get a variance that takes us right to the property line would not get approved.

What we would like for the board to consider is that we continue with the 4 foot variance request and we can re-design the size of the pavillion to be 19 wide x13.5 feet deep and this would keep the edge of the pavilion and serving counter underneath, 4 feet away from the propertly line. Having worked in this industry for years, I understand the reasons for the setbacks. In this particular situation this would only effect the Gor's neighbors to the East and they have already spoken to them directly to discuss what they are trying to accomplish with the variance request. This neighbor has advised they are fine and would have no issue with us encroaching into that setback by 4 feet.

I am currently on vacation until the 2<sup>nd</sup> of January, however our design team is working today



and tomorrow and then our entire company will be out of the office until the 2nd. Do you need updated drawings reflecting the new suggested size of the pavilion? If so, I can ask that our team make these adjustments and send them to you before everyone breaks for the holidays. Please let me know and we will plan accordingly. Thank you for your help with this matter Kenny, it is greatly appreciated.





VICINITY MAP



N.T.S.

MAP LEGEND

- BENCHMARK
- FOUND IRON PIPE
- SET 5/8" X 30" IRON PIN WITH YELLOW
- STAMPED "BALAND PROFESSIONALS"
- AIR CONDITIONING UNIT
- ELECTRIC BOX
- LIGHT POLE
- STORM MANHOLE
- FIRE HYDRANT
- WATER VALVE
- DECIDUOUS TREE
- BOUNDARY LINE
- ADJOINER LINE
- EASEMENT LINE
- SETBACK LINE
- ROADWAY CENTERLINE
- MAJOR CONTOUR LINE
- MINOR CONTOUR LINE

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAT REPRESENTS AN ACTUAL FIELD SURVEY MADE BY ME OR UNDER MY JURISDICTION AND IS PREPARED ACCORDING TO O.A.C. 4733-37



BALAND PROFESSIONALS, LLC  
8534 YANKEE STREET  
DAYTON, OH 45458  
937.535.0855  
WWW.BALANDPROFESSIONALS.COM  
INFO@BALANDPROFESSIONALS.COM

RAILROAD

SURVEYOR'S NOTES

NORTH AND DEARBY SYSTEM AS SHOWN HEREON IS REFERENCED TO THE WESTERLY LINE OF LOT 94 AS SHOWN HEREON (NORTH 16°47'35"EAST), AS RECORDED IN PB 58, PG 86

VERTICAL DATUM BASED ON NAVD 88(18) AND FURTHER BASED UPON THE O.D.O.T. V.R.S. NETWORK, COLLECTED DURING A FIELD SURVEY CONDUCTED ON 09/27/22

SUBJECT TO ALL TERMS, COVENANTS, CONDITIONS, EXCEPTIONS, AGREEMENTS, EASEMENTS AND ENCUMBRANCES OF RECORD, NO ZONING REPORT PROVIDED AT TIME OF SURVEY.

EVIDENCE OF OCCUPATION AS SHOWN, ALL DOCUMENTS USED TO ASCERTAIN BOUNDARY ARE AS SHOWN.

AN ACTUAL TITLE SEARCH WAS NOT PREPARED BY THE SURVEYOR AND ALL DOCUMENTATION AS SHOWN HEREON WAS MADE AVAILABLE BY PUBLIC RECORDS AS RECORDED WITH THE FRANKLIN COUNTY DEED AND ENGINEER'S RECORDS, ON FILE IN COLUMBUS, OH

CONTAINING  
1.4357 TOTAL ACRES

LOT 94  
POTTERS CREEK  
SECTION 2  
PB 58 PG 86  
KUPAL P. GOR  
OR 201706260086590

SITE BENCHMARK "A" INFORMATION

ELEVATION = 843.06' NAVD(88)

ARROW BOLT ON EXISTING FIRE HYDRANT  
ON SOUTH SIDE OF LAKESIDE CIRCLE

ZONING INFORMATION

CITY OF WORTHINGTON  
ZONED R-10 RESIDENTIAL

MIN LOT WIDTH = 80'  
MIN LOT AREA = 10,400 SQFT  
FRONT SETBACK = 30'  
REAR SETBACK = 30'  
SIDE SETBACK = 8' MIN / 20' TOTAL



GRAPHIC SCALE (IN FEET)  
1"=40'

EXISTING CONDITIONS SURVEY

LANDS OF GOR

6655 LAKESIDE CIRCLE  
CITY OF WORTHINGTON

1/4 TWP4, TWP 2, RANGE 19 U.S.M.L.  
FRANKLIN COUNTY, OHIO

SCALE: 1"=40'

DATE: 09/29/22

DESIGN:  
N/A

DRAWN:  
JBA

CHECKED:  
DPB



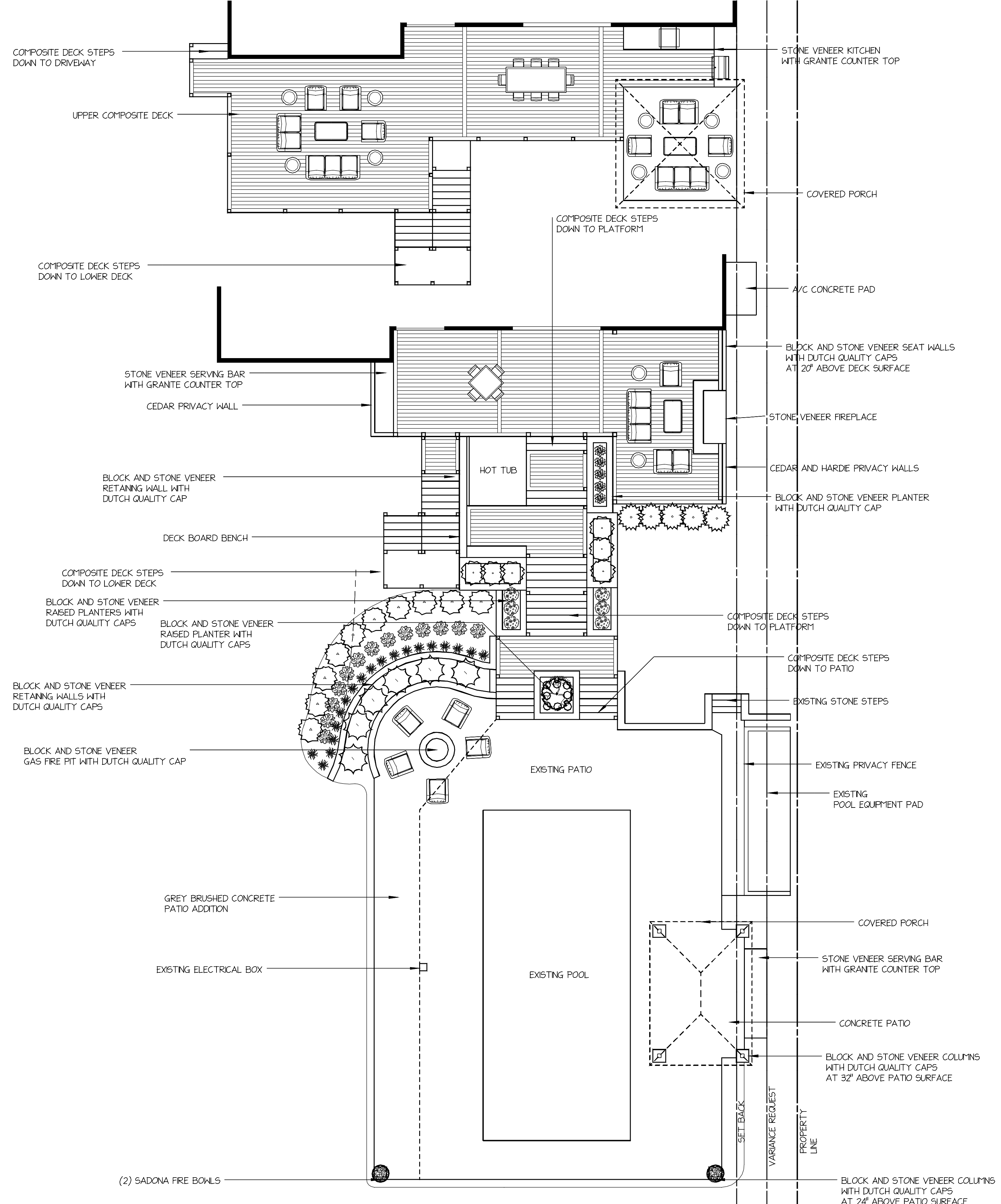
LAND PROFESSIONALS

JOB NO.:  
22-0424

SHEET NO.:

1 OF 1





KERRY GOR

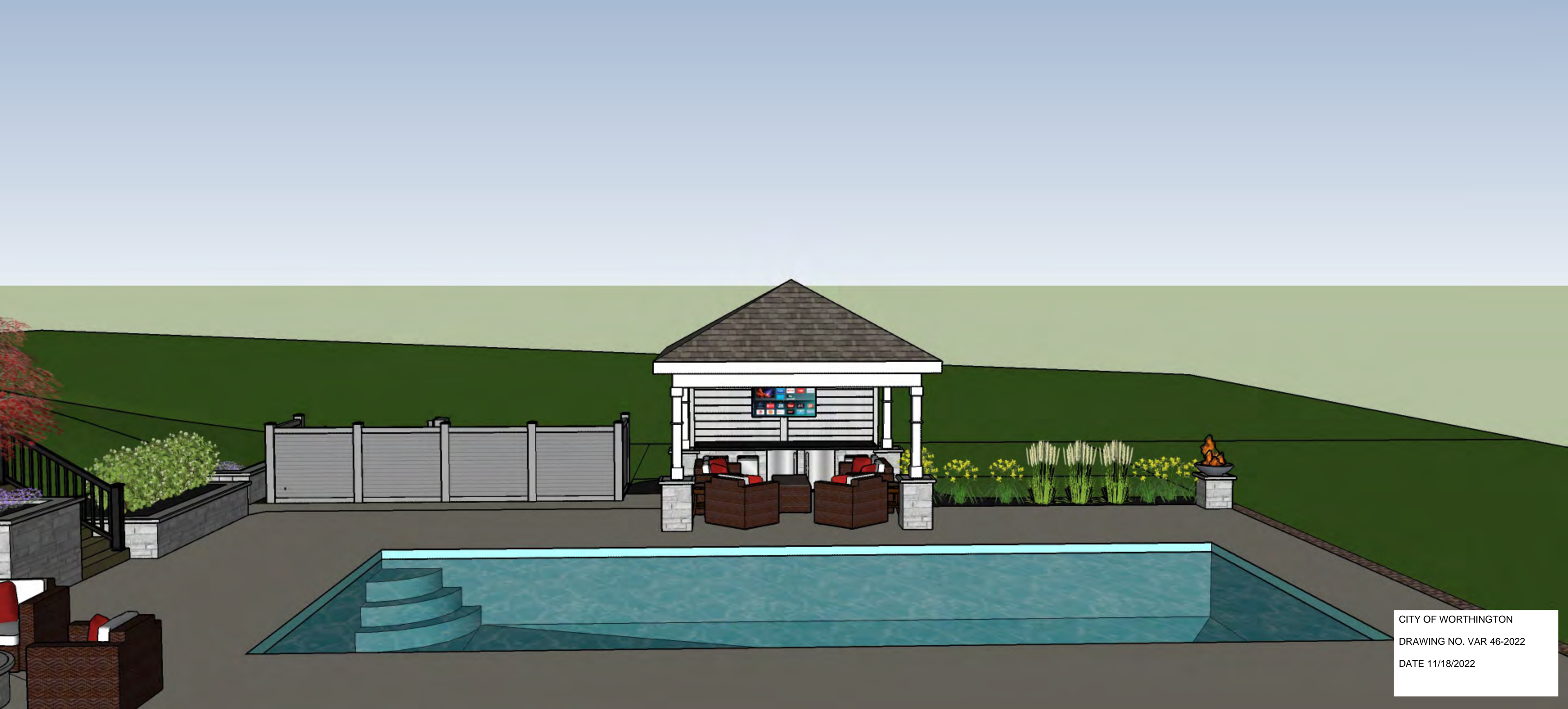
6655 LAKESIDE CIRCLE W

WORTHINGTON, OH 43085

client:		
scale	1 : 8	date 12-23-22
drawn by	CHARLOTTE	checked by ROB
		revision
		drawing # H3718.5.4





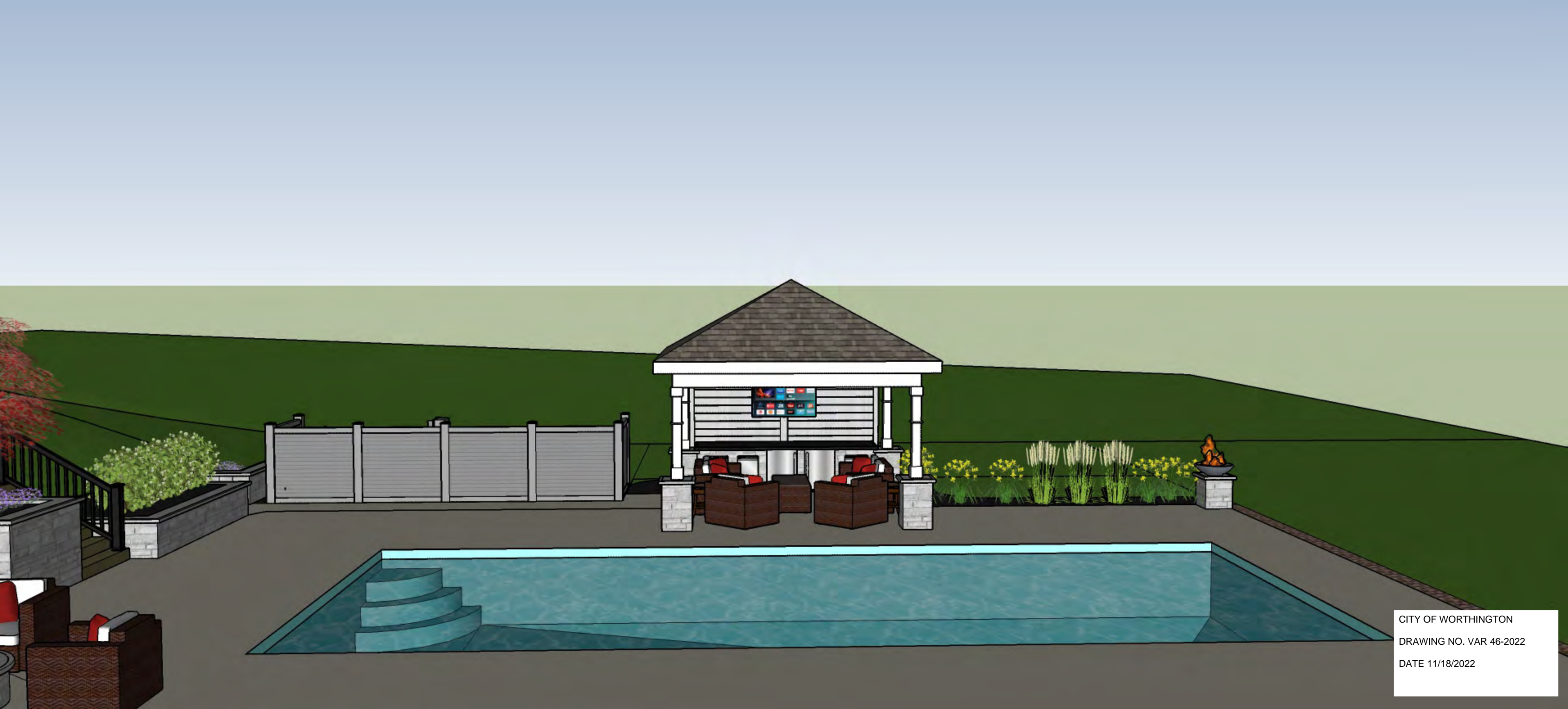


CITY OF WORTHINGTON

DRAWING NO. VAR 46-2022

DATE 11/18/2022



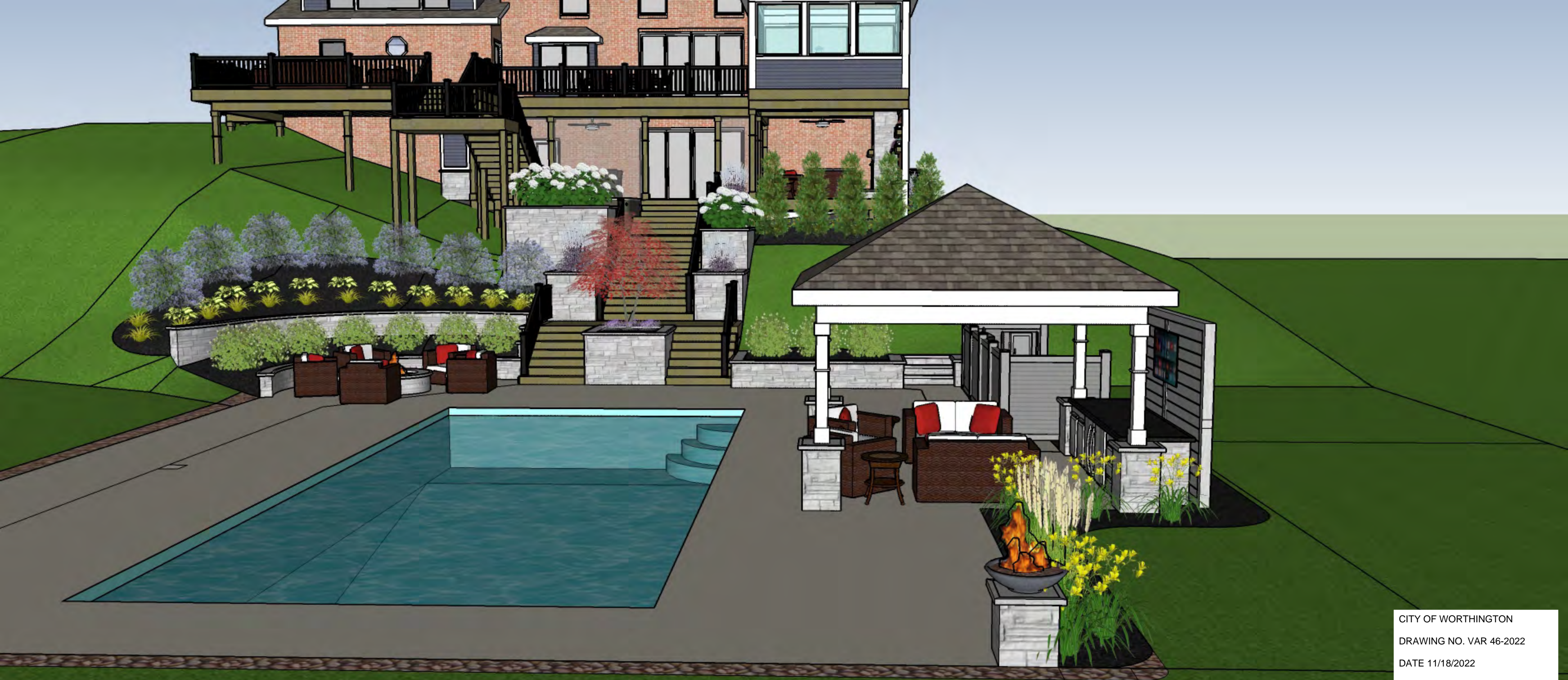


CITY OF WORTHINGTON

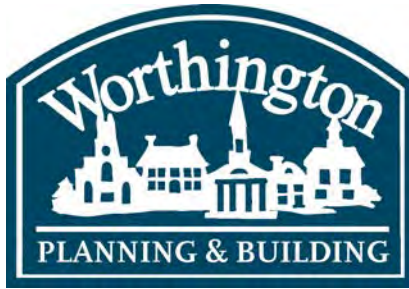
DRAWING NO. VAR 46-2022

DATE 11/18/2022









**BZA APPLICATION  
VAR 0047-2022  
1000 Beechview Dr. N**

<b>Plan Type:</b> Variance	<b>Project:</b>	<b>App Date:</b> 12/05/2022
<b>Work Class:</b> Variance Residential	<b>District:</b> City of Worthington	<b>Exp Date:</b>
<b>Status:</b> In Review		<b>Completed:</b>
<b>Valuation:</b> \$0.00		<b>Approval</b>
		<b>Expire Date:</b>

**Description:** This variance request is to increase the total accessory building square footage to add a 512 sqft multiuse accessory building that will have a section for storing home/garden tools and equipment with shop space for hobbies and repairs and a pool house/exercise space. The structure would also have a 96 sqft covered porch adjacent to a new 10'x10' plunge pool (42" deep). A full narrative is included in the attachments.

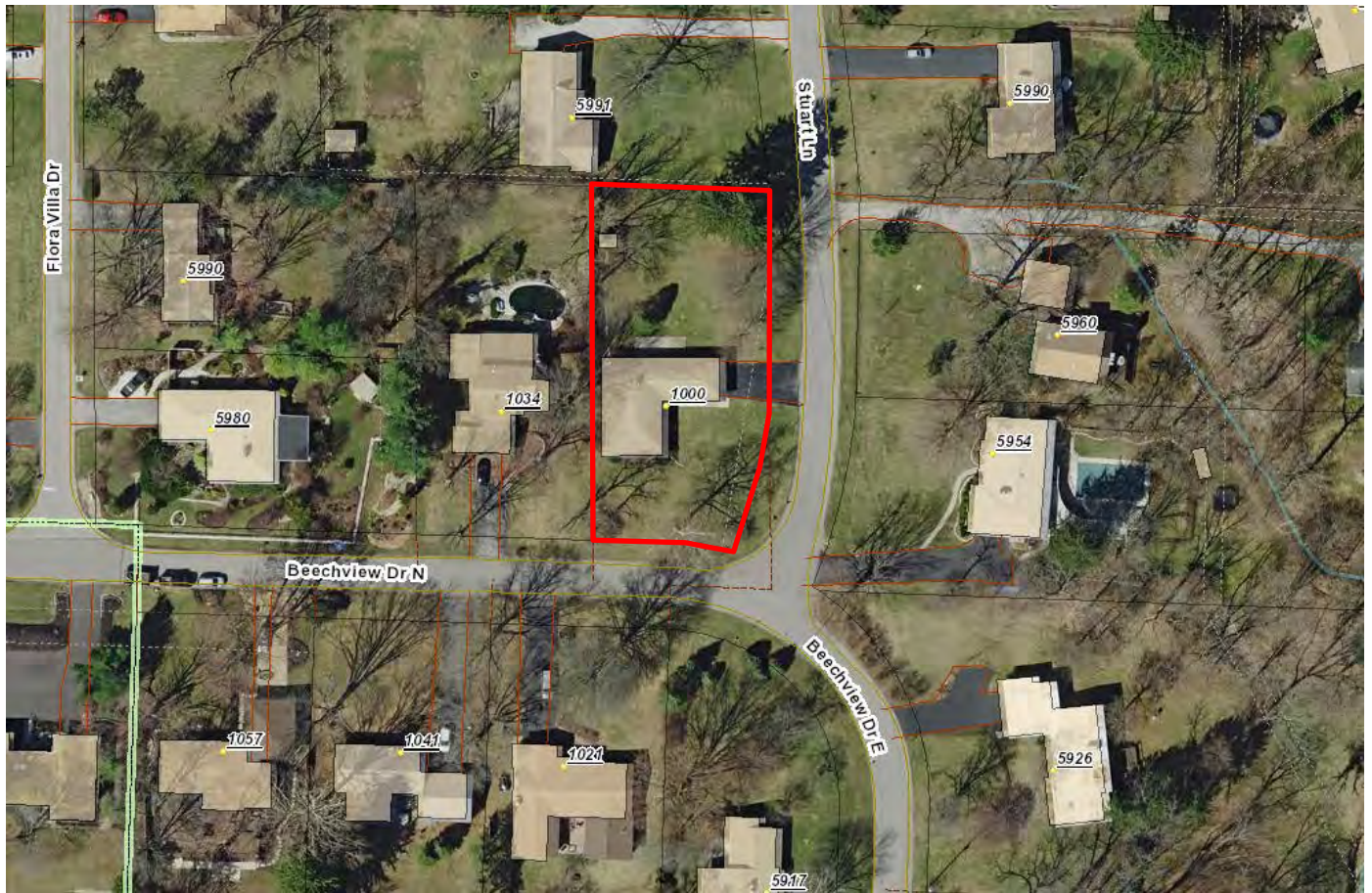
<b>Parcel:</b> 100-003029	Main	<b>Address:</b> 1000 N Beechview Dr Worthington, OH 43085	Main	<b>Zone:</b> R-10(Low Density Residence)
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Applicant / Owner	Owner
Amy Andres	Christine E Brasel
1000 Beechview Dr N	1000 N BEECHVIEW DR
Worthington, OH 43085-3341	Worthington , OH 43085
Mobile: (614) 571-7208	

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003297	(Residential) Board of Zoning Appeals	\$25.00	\$25.00
Total for Invoice INV-00003297		\$25.00	\$25.00
Grand Total for Plan		\$25.00	\$25.00



# 1000 Beechview Dr. N





Amy Andres, Christine Brasel  
1000 Beechview Dr N  
Worthington, OH 43085

December 5, 2022

Board of Zone Appeals members and staff,

This variance request is to increase the total accessory building square footage to add a 512 sqft multiuse accessory building that will have a section for storing home/garden tools and equipment with shop space for hobbies and repairs and a pool house/exercise space. The structure would also have a 96 sqft covered porch adjacent to a new 10'x10' plunge pool (42" deep).

In 2019, a whole house renovation included a 504sqft addition with a mudroom, a hobby/workshop space and 112sqft screened porch. During the pandemic, and now permanently, the hobby/workshop space from the new addition had to be repurposed as a home office. The work benches and equipment had to be moved into the garage. The garage is small compared to others in the neighborhood (20x22) and is only big enough for 2 cars with little room to spare for items typically stored in a larger garage. The goal of this project is to create much needed home/garden storage and hobby/workshop space, as well as a nice space to be utilized with the 10'x10' plunge pool that we plan to install as part of this project. Without this variance, it is not possible to park in the garage or utilize the property as intended. We would like to address the storage issue and create an attractive space for our hobbies, activities and for the new pool.

1. Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance;

The new space would add value to the property. The desired use of storage, hobby and exercise/pool space cannot be achieved without the variance.

2. Whether the variance is substantial;

The 395sqft needed is not a substantial variance as the lot size is nearly double the R-10 requirement. There are other properties in Worthington and in this neighborhood with accessory structure square footage similar to this request.

3. Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer a substantial detriment as a result of the variance;

The accessory 16'x32' accessory building will be constructed of wood and painted to match our home, and will have a 6'x16' porch with wood stained to match the fence. The roof will have a lower pitch with asphalt shingles to match the style of most homes in the neighborhood. The structure will have Pella casement and awning windows, residential doors and a single overhead door. Landscaping will be installed around the rectangular building to soften the aesthetic and ensure that it fits in with the neighborhood of predominantly 1950s ranches.



Our corner lot is oddly situated in that our backyard adjoins our North neighbor's large front yard, with her living room window facing east. The neighbor with whom we share the West property line has a 6' privacy fence, on a higher grade, making it about 24" higher than our fence in some areas. They don't have views of our backyard from most vantage points of their home, especially the first floor. Lastly, although her property does not adjoin ours, the neighbor two parcels North would have a view of the accessory structure as her home sits more forward on her lot and faces South. We have spoken to all three neighbors and provided them with some of the same images included in this packet. All are supportive of our plan and expressed trust that we will make the accessory structure aesthetically pleasing.

4. Whether the variance would adversely affect the delivery of governmental services (e.g., water, sewer, garbage);

No services will be affected by the location of the building, fence or pool. City water and sewer lines run in the easement along Stuart Lane. One note, the property water lines and sewer lines run East/West right behind our house and tie in on Stuart Lane. There are two preexisting drainage paths for water during heavy rain which run west to east, limiting placement of the structure and pool to the northern section of the backyard.

5. Whether the property owner purchased the property with knowledge of the zoning restriction;

No, we did not realize that the attached garage and porches were taken into account for the 850sqft calculation. It was only after watching a Zoning Board meeting online that I realized others were asking for variances for their sheds because the garage and porches were included in the calculation, so I called to confirm with the Worthington Building Department that the 850sqft also included attached garages/porches. The gentleman I spoke with noted that the shared wall between our garage and home could be excluded. It is a concrete block wall, so 13' (0.67'x20'=13.4') can be removed from the 440 square foot garage calculation. If this is incorrect, please adjust our request accordingly. Our calculations are listed below:

Garage	(20x22) –13= 427	New accessory building	512
Screened Porch	14x8 = 112	New covered porch	96
Front Porch	3x6 =18		
Shed	8x10 = 80	Total Square footage	1245
Existing Total	637	Variance needed	395

Note, if the square footage of the 42" tall, above ground plunge pool needs to be included in the calculation, there will be an additional 136sqft. This includes the structure of the pool footprint, the 10x10 dimension is the interior liner.

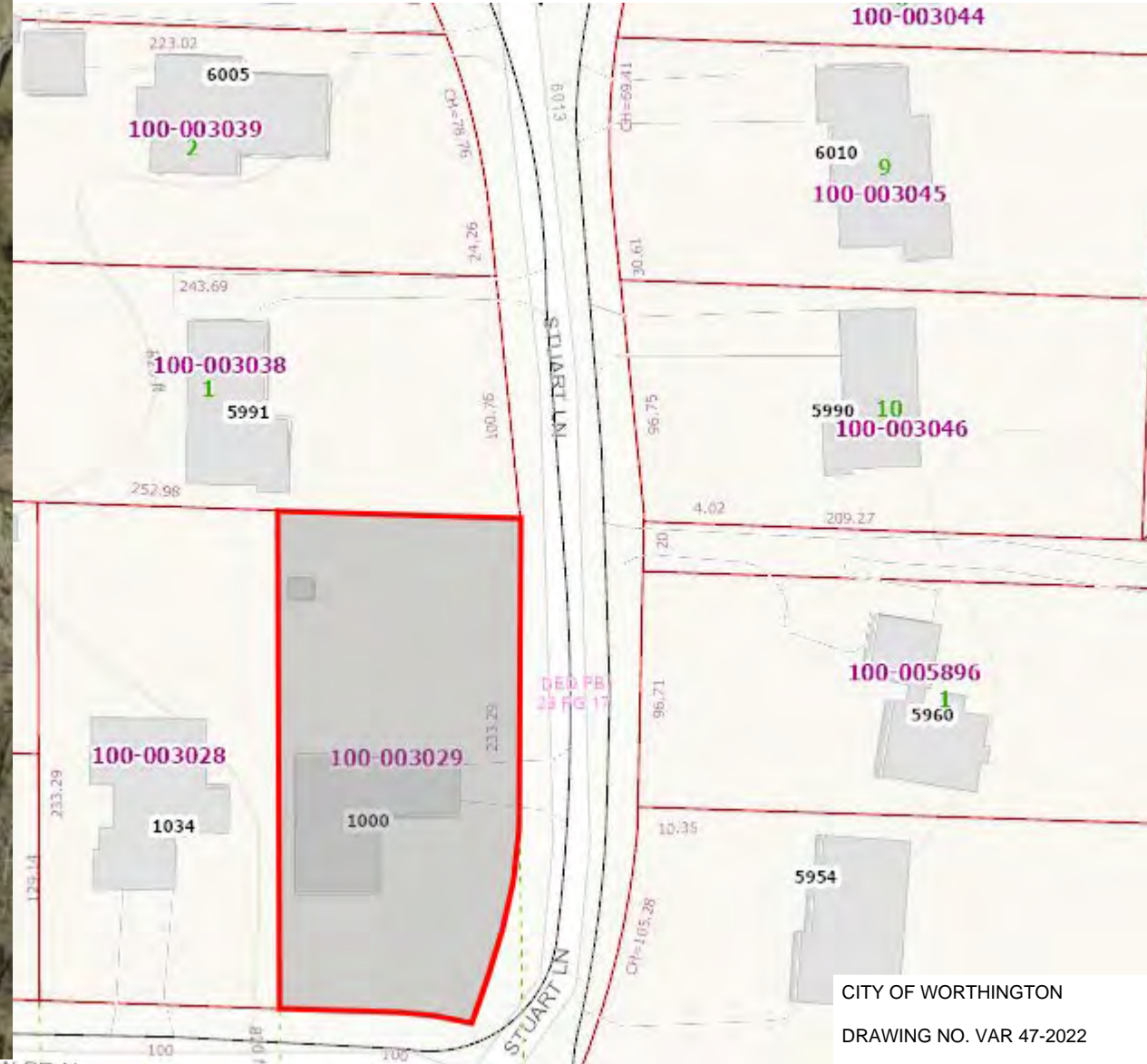
6. Whether the property owner's predicament feasibly can be obviated through some method other than a variance; and

No, there is no other available space in our home for storage or the intended uses. The location of the new structure is the most viable location that does not interfere with setback, easements and utilities.

7. Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting the variance.

Granting this variance will enable us to enjoy the property as intended while improving the property. It will facilitate parking in the garage and storing items in an orderly manner. The location of the improvement is in our backyard. Other residents through the City of Worthington have similar structures and layouts in their backyards. The design matches the aesthetic of the neighborhood, as the vast majority of homes in the neighborhood are mid-century ranches, several with swimming pools and accessory building. The proposed accessory structure and pool fits the spirit of the neighborhood.

# Franklin County Auditor - 1000 Beechview Drive N







100-003029 04/19/2017



100-003029 05/19/2021

Whole house remodel and addition in 2019. A portion of the addition is a screened porch.





From Beechview Dr N, front of property



From Stuart Lane, back of property



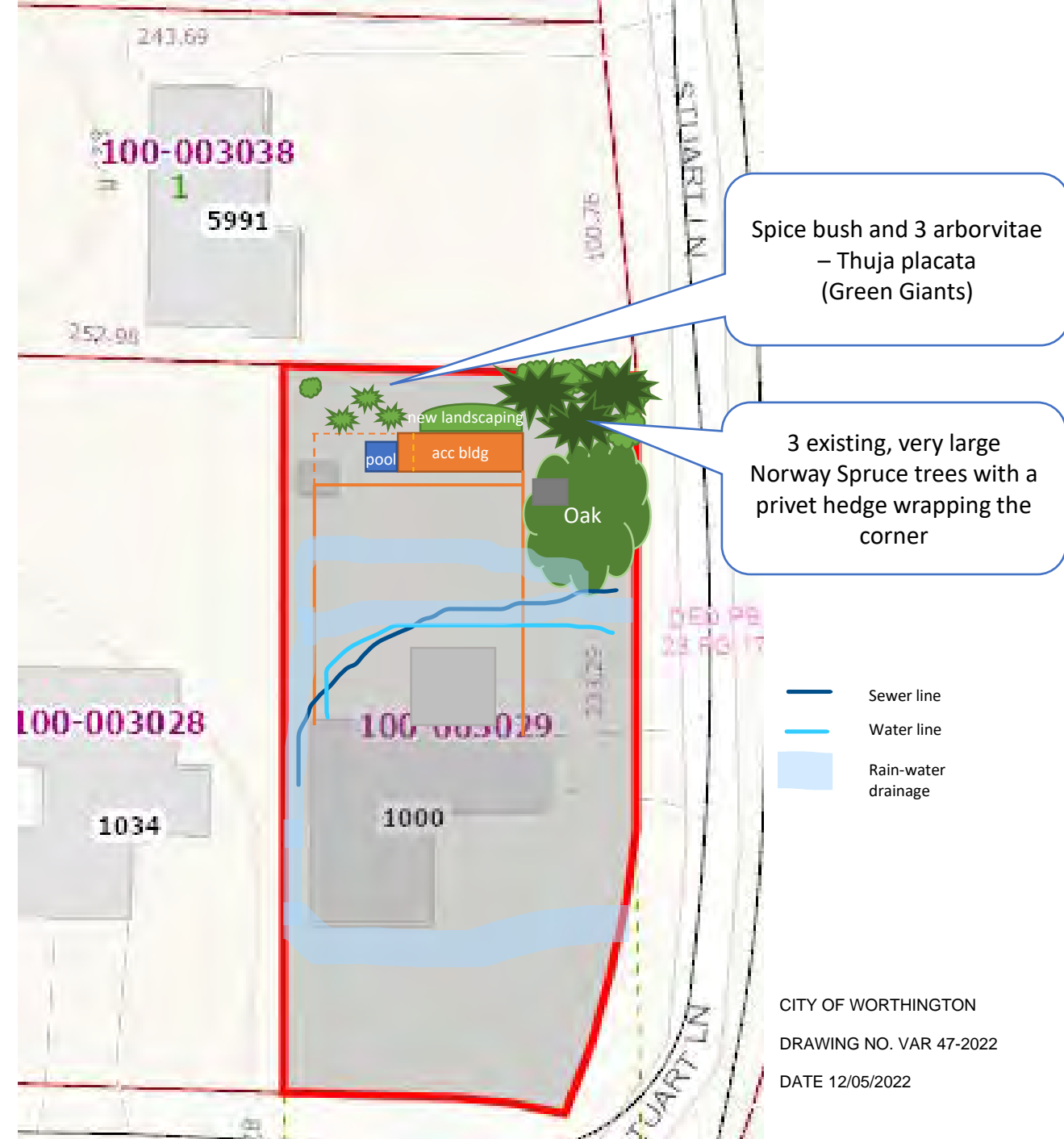
From Stuart Lane, side of property



From Stuart Lane, far view of back property

CITY OF WORTHINGTON  
DRAWING NO. VAR 47-2022  
DATE 12/05/2022



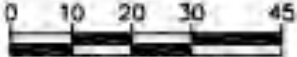




# BOUNDARY SURVEY

QTR. 4, TWP. 2, RNG. 19, U.S.M.L.

WORTHINGTON, FRANKLIN CO., OHIO

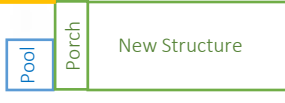


SCALE: 1"=30'



587°42'00"E 100.19' FLD. FLUSH  
207.85' FLD. EX. 2" FROM COR. ON LINE 0.81' FROM COR.

New Fence



Existing Fence



128.77'

STUART LN. (50')

ROBERT H. &  
CAROL S. GALLANT  
D.V. 3059, PG. 37  
0.479 AC. (TAX)

EX. 1-STORY  
STONE/STUCCO  
#1000

CONC. DRIVE

AMY ANDRES &  
CHRISTINE E. BRASEL  
INS. 201903200031639  
0.535 AC. (DEED)  
0.469 AC. SURVEY

R/W FLD. 2" DEEP, BENT N.E. 0.32' FROM COR.

N87°43'00"W 44.18'

C2

C1

BEECHVIEW DR. N. (50')

C1  
R=189.39'  
L=86.04'  
Δ=26°01'44"  
CH=S13°20'52"W  
85.30'

C2  
R=148.37'  
L=37.48'  
Δ=14°28'27"  
CH=N80°28'46"W  
37.38'

CITY OF WORTHINGTON

DRAWING NO. VAR 47-2022

DATE 12/05/2022

## LEGEND

⊙ IRON PIPE FOUND

● IRON PIN SET  
(5/8" O.D. REBAR  
30" LONG W/CAP  
"LOMANO 7711")

P PROPERTY LINE

R/W PUBLIC ROAD  
RIGHT-OF-WAY

**WESTERVILLE  
LAND  
SURVEYING, LLC**

125A E. HOWE ST.  
WESTERVILLE, OH 43081  
(614) 899-2209

DRAWING NAME: 2127805.DWG

## SURVEY NOTES

Bearings hereon are referenced to SPCS Grid, OH S. Zone, per a VRS GPS survey

Address of subject property is 1000 Beechview Dr. N., Worthington, OH 43085. PID is 100-003029.

This plot is based on the results of an actual field survey performed on the property under my supervision in August, 2021.

DATE 8/27/21

REVISED

JOB No.: 21-278

F.B./P.G.: 35/35

CLIENT: MS. CHRISTINE BRASEL

CLIENT P.O.: N/A

BY

*Michael P. Lomano*

OHIO PROFESSIONAL SURVEYOR No. 7711

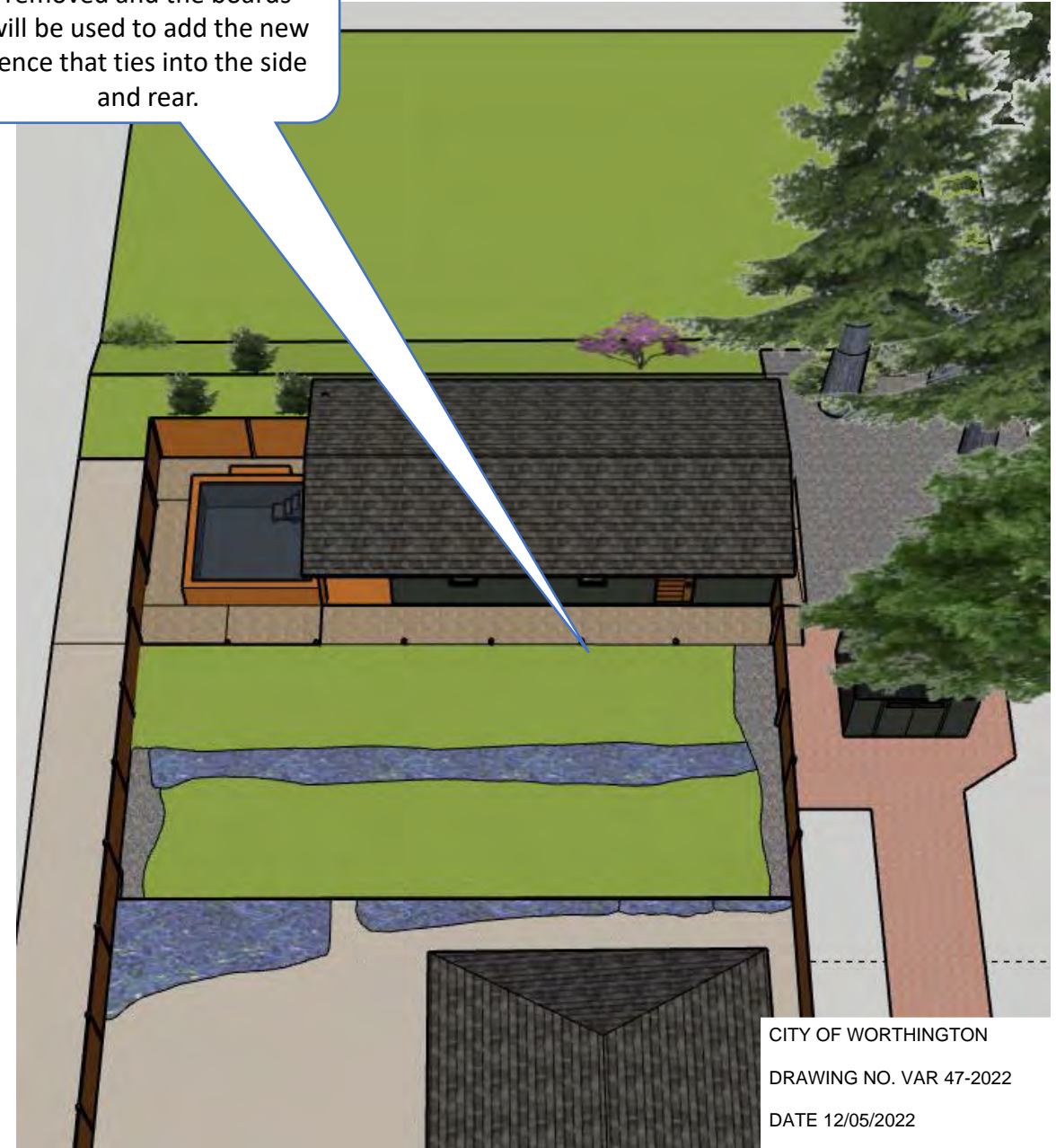


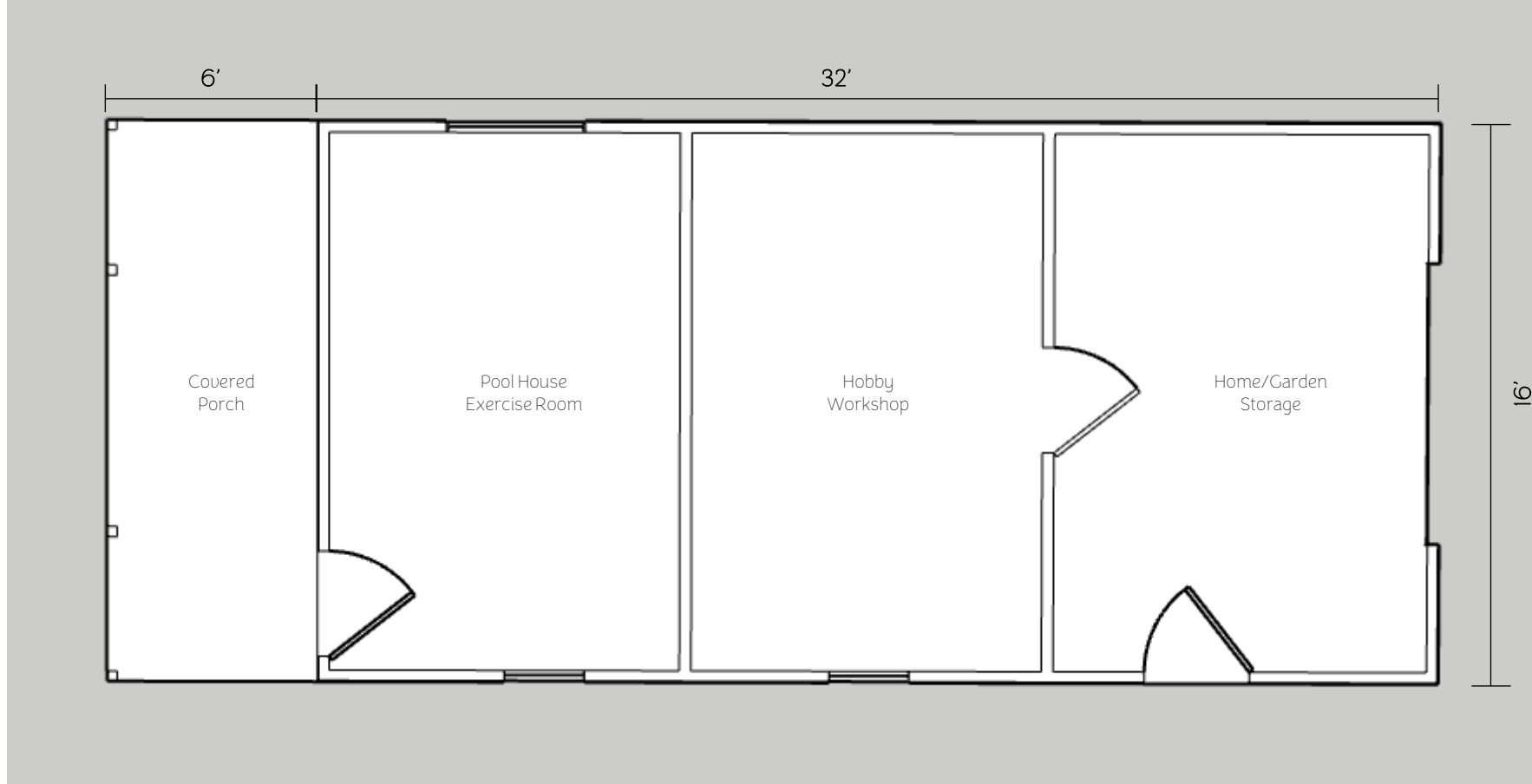


Existing fence is situated approx. 35' south of rear property line and 8' inside of west property line



Existing rear fence will be removed and the boards will be used to add the new fence that ties into the side and rear.



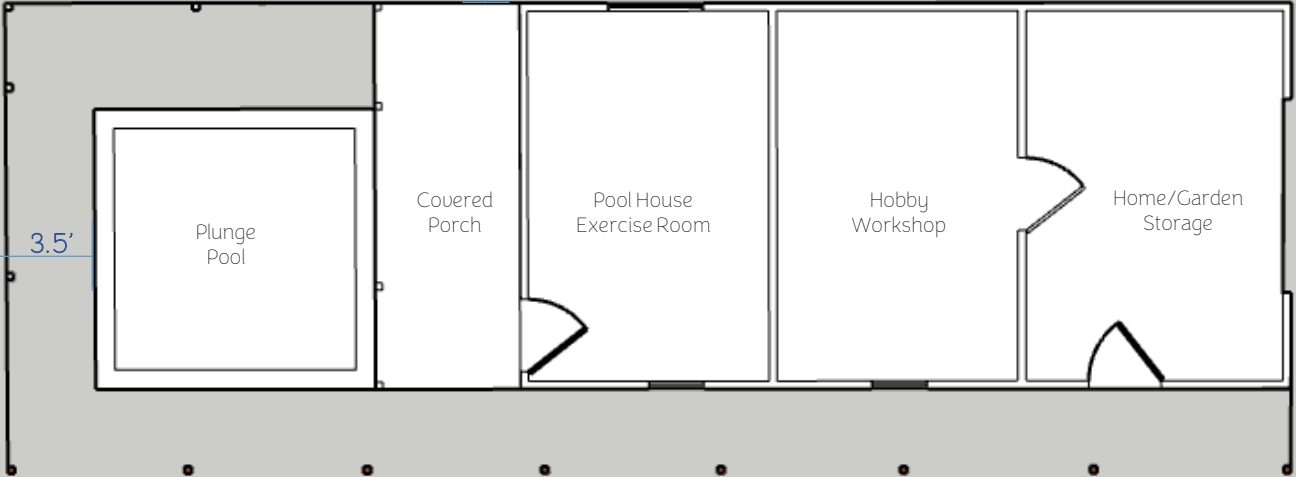




Extend fence to new structure

Approximately  
15'

8' 3.5'



Remove rear  
fence



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