



**ARCHITECTURAL REVIEW BOARD
MUNICIPAL PLANNING COMMISSION
-AGENDA-
Thursday, April 27, 2023 at 7:00 P.M.**

Louis J.R. Goorey Worthington Municipal Building
The John P. Coleman Council Chamber
6550 North High Street
Worthington, Ohio 43085

Watch online at [worthington.org/live](https://www.worthington.org/live) and comment in person or at [worthington.org/meeting-public-input](https://www.worthington.org/meeting-public-input)

A. Call to Order - 7:00 pm

1. Roll Call
2. Pledge of Allegiance
3. Approval of minutes of the March 23, 2023 meeting
4. Affirmation/swearing in of witnesses

B. Architectural Review Board – Consent Agenda

There will be no separate discussion of Consent Agenda items as they are considered to be routine by the Board and Commission and will be adopted by one motion. If a member of the Board & Commission, staff, or public requests discussion on a particular item, that item will be removed from the Consent Agenda and considered separately on the agenda. Approval of Consent Agenda items includes conditions as listed in the staff memo.

1. Porch – **577 Hartford.** (James Ross/Puckett) **ARB 25-2023**
2. Garage Door – **872 Oxford St.** (Brenda Ruf/Drabant) **ARB 22-2023**

C. Architectural Review Board – Unfinished Business

1. TWHS - Additions & Renovation – **300 W. Dublin-Granville Rd.** (Schorr Architects/Thomas Worthington High School) **ARB 99-2022**

D. Architectural Review Board – New Business

1. Renovations, Addition, Fence – **590 Morning St.** (Britney Cider) **ARB 26-2023**

2. Hot Tub Location, Fence – **688 Hartford St.** (Marcus Hitt) **ARB 27-2023**
3. Patio Furniture & Railing – **7105 N. High St.** (Maple Street Biscuit Company/Worthington Gateway) **ARB 21-2023**
4. Signage & Site Modifications – **7105 N. High St. & 121 W. Wilson Bridge Rd.** (Worthington Gateway) **ARB 24-2023**

E. Municipal Planning Commission – New Business

1. PUD Modification

- a. Signage & Site Modifications - **7105 N. High St. & 121 W. Wilson Bridge Rd.** (Worthington Gateway) **PUD 01-2023**

2. Amendment to Development Plan

- a. Signage – **6950 Worthington-Galena Rd.** (Rob Hazel/Sports Imports) **ADP 03-2023**
- b. Shipping/Storage Containers – **6969 Worthington-Galena Rd.** (Brad Wentz) **ADP 04-2023**

F. Other

G. Adjournment



MEMORANDUM

TO: Members of the Architectural Review Board
Members of the Municipal Planning Commission

FROM: Lynda Bitar, Planning Coordinator

DATE: April 14, 2023

SUBJECT: Staff Memo for the Meeting of April 27, 2023

B. Architectural Review Board – Consent Agenda

There will be no separate discussion of Consent Agenda items as they are considered to be routine by the Board and Commission and will be adopted by one motion. If a member of the Board & Commission, staff, or public requests discussion on a particular item, that item will be removed from the Consent Agenda and considered separately on the agenda. Approval of Consent Agenda items includes conditions as listed in the staff memo.

1. Porch – **577 Hartford.** (James Ross/Puckett) **ARB 25-2023**

Findings of fact & Conclusions

Background & Request:

This property has a Dutch Colonial style house built in the early 1900's and a detached garage that are contributing buildings in the Worthington Historic District. The gambrel roof on the front quickly transforms to a gable roof with shed dormer type sides that extend to the same gambrel treatment at the rear of the house. The property backs up to the Worthington United Methodist Church parking lot. In February the applicant received approval to build a 1047 square foot two-story addition to accommodate the owner as she ages and allow her daughter and her family to move into the house.

This is a request to reconstruct the front porch and add a metal roof.

Project Details:

1. The applicants report the front porch needs repair, and reconstruction of the porch to match the existing is planned.
2. Installation of a bronze standing seam metal roof is proposed in place of the existing asphalt shingle roof.

Land Use Plans:**Worthington Design Guidelines and Architectural District Ordinance**

- Porches: Original porch elements should be retained to the maximum extent possible and should be duplicated in the same design and materials if deteriorated or missing. Original elements such as turned columns, decorative elements, or tongue-and-groove ceilings should stay in place.
- Materials: Various roof materials can be found in Worthington. Asphalt shingles are most common, with a considerable amount of slate still in service; there also are some wood shingles. Metal roofs generally are not common but can sometimes be found on small porches and additions.

Recommendations:

Staff is recommending approval of this application. Reconstruction of the porch in the same style and the addition of a metal roof are appropriate.

Motion:

THAT THE REQUEST BY JAMES ROSS ON BEHALF OF MICHELLE PUCKETT FOR A CERTIFICATE OF APPROPRIATENESS TO RECONSTRUCT THE FRONT PORCH WITH A METAL ROOF AT 577 HARTFORD ST. AS PER CASE NO. ARB 25-2023, DRAWINGS NO. ARB 25-2023, DATED APRIL 13, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

2. Garage Door – **872 Oxford St.** (Brenda Ruf/Drabant) **ARB 22-2023**

Findings of Fact & Conclusions:**Background:**

This 53' wide by ~252' deep lot is on the east side of Oxford St. toward the north end of the street. The property is zoned R-10 (Low Density Residence), as are the properties to the north, south and west. To the east are C-1 (Neighborhood Commercial) parcels with the Spa House building and the multi-tenant commercial building with Mrs. Goodman's Baking Co., Jersey Mikes Subs and other businesses.

The 1,468 square foot single-family house on the property was built in 1900 and is a contributing building in the Worthington Historic District. A garage was added in 1985 and the house has been renovated and maintained over the years. The most recent ARB approval involved replacing the front porch and constructing an addition with new living area, a screened porch, and a patio to the rear.

This is a request to add a new garage door on the rear of the existing garage.

Project Details:

1. A new 8' wide steel overhead garage door is proposed in place of a window on the rear of the existing freestanding garage. The white door would have eight horizontal raised panels and the top corners are shown as clipped.
2. A coach light is proposed above the door.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Design and materials should be traditional, and compatible with the existing structure.

Recommendation:

Staff recommends approval of this application as the proposed door is compatible with the existing garage.

Motion:

THAT THE REQUEST BY BRENDA RUF ON BEHALF OF DONALD DRABANT TO ADD A DOOR TO THE REAR OF THE GARAGE AT 872 OXFORD ST. AS PER CASE NO. ARB 22-2023, DRAWINGS NO. ARB 22-2023 DATED APRIL 10, 2023, BE APPROVED, BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND/OR PRESENTED AT THE MEETING.

Motion for Consent Agenda:

THAT THE CONSENT AGENDA BE APPROVED.

C. Architectural Review Board – Unfinished Business

1. TWHS - Additions & Renovation – **300 W. Dublin-Granville Rd.** (Schorr Architects/ Thomas Worthington High School) **ARB 99-2022**

Findings of Fact & Conclusions

Background & Request:

Thomas Worthington High School was originally built in 1952 and has undergone many additions and renovations over the years. Replacement of most of the school is proposed. New building design was initially presented at the December 8, 2022 meeting. At the January 12, 2023 meeting, the applicant showed the site plan and discussed the various traffic patterns for the students, staff and visitors. Landscaping, lighting, and the north and east elevation were discussed at the January 26th meeting and the whole project was reviewed on March 23rd.

ARB/MPC Staff Memo

Meeting April 27, 2023

Page 3 of 21

The applicants are hoping to receive approval of most of the project with this submittal.

Italicized comments are from a previous memo.

Project Details

Site Plan:

1. Layout:

- a. The entrances to the site would remain in the same locations, so the only changes would be internal to the site.*
- b. The plan shows a larger entry plaza near the west entrance to the school.*
- c. The bus drop-off is shown along the southern most drive adjacent to the main parking lot.*
- d. North of the bus drop-off would be a pedestrian promenade and then a re-configured parking lot and drive that would connect to the drive on the north side of the school. The rest of the parking lot would remain as is.*
- e. The plan indicates a new natatorium that would be constructed further to the south with parking in the building's current location.*
- f. The drive in front of the high school would now be one-way and include parallel parking along the south side.*
- g. On the east side of the new school building (which would be further west than the existing school), parking is now proposed.*
- h. The site plan shows re-location of the softball field to the north side of the school from its current location in the flats. The field is proposed east of the baseball field with home plate at the southwest corner. The baseball field would be repositioned so home plate is at the southeast corner, which would allow for shared amenities between the fields.*
- i. Additional parking is shown east and south of the softball field's new location.*
- j. The plan also shows two practice turf fields west of the football stadium. The field to the north should be installed in the near future.*

2. Cross-sections:

- a. The cross-section on the east side shows the downward slope of the grade between the existing basketball courts and the new high school. The change would be accommodated with two separate parking fields.*
- b. The west side seems pretty level.*

3. Building Entrances:

- a. The main entrance would be on the west side (currently the athletic entrance).*
- b. A front entrance is shown on the south side.*
- c. Two entrances are shown on the east side.*

4. Pedestrian Circulation:

- a. Walkways to the site:*
 - From Evening St. - At southeast corner of site; south of tennis courts; and north*

- of basketball courts/playground
 - From W. Dublin-Granville Rd. (161) – Across 161 on the east side of Farrington Dr. and north to entrance; from 161 sidewalk south of Swiminc along north side of pool complex to new pedestrian promenade; from 161 sidewalk south of stadium along sidewalk on east side of stadium to pedestrian promenade
- b. Internally – Sidewalk around whole building.
- 5. Bus Drop-off/Pick-up:
 - a. The route shows the entrance at the drive by the stadium, turning right on the south side of the parking lot, and exiting out the drive to the east (where buses currently enter and exit).
 - b. The lane on the south side of the parking lot would have room for buses to park on both sides with an open lane between.
- 6. Parent Drop-off/Pick-up:

Parents would enter on the drive east the stadium; turn right just past the pedestrian promenade; curve to the left past the entry plaza; go left on the drive north of the school; loop around the main parking; and exit on the drive east of the stadium.
- 7. Staff Vehicular Routes:

Staff is slated to enter through the drive near the stadium and loop around the main parking to the northeast and east parking lots. Exit would be the same way or through the gate near the MAC.
- 8. Visitor Vehicular Routes:

Visitors are to enter across from Farrington Rd.; use the one-way drive on the south side of the school; and either exit at the gate by the MAC or head north to circle the school.

Building:

1. Most of the building would be demolished in stages to accommodate students while the project is constructed. Renovation is proposed for the athletic wing, which is the newest part of the building. The applicant has also mentioned modular classrooms may be used during construction.
2. Along with the new building proposed for construction in place of the existing school, an addition is designed for the south side of the athletic building. The new east end of the building is proposed to be further west than the existing, with parking is proposed on the east side.
3. The floor plans show the new building would be two stories; and a third floor is proposed in the front (middle of the south elevation). The only addition is an additional entry feature at the front door.
 - a. First Floor – Classrooms; administration; student commons (indoor/outdoor); music rooms; art rooms; auditorium; and a weight room in front of the existing auxiliary gym.
 - b. Second Floor – Classrooms; Cards Center; media center; special education.
 - c. Third Floor – Classrooms; staff room.

4. Front elevation

- a. *The center element is shown with a hip roof and five bays of openings, and the side elements for the three-story portion would have slightly lower gables and three bays. The east and west ends of the building would be two stories and are proposed with a smaller gable and two bays of windows.*
- b. *The cupola base is substantial.*
- c. *The visitor entry in the center is proposed with a portico supported by columns and having a railing around the flat roof. The main double doors would have a semi-circular transom window and the single doors on the sides are proposed with rectangular transoms above.*
- d. *Red brick is proposed for most of the building, except most of the first floor and some of the upper levels would have a tan/beige blend of brick. Also, a darker shade would create lines running through the first floor. Samples will be needed at some point.*
- e. *A gray standing seam metal roof is proposed. Details and a color sample are needed.*
- f. *The windows would have black frames and muntins. A catalogue cut is needed.*
- g. *Material proposed for the pilasters and columns has not been identified.*

5. West Elevation

- a. *A portico with a flat roof similar to the proposed front entry roof is shown for the entrance on the west side. The lighter proposed brick would be used for the end columns.*
- b. *The railing is now shown as black.*

6. North Elevation

- a. *The auditorium is shown to the east and the student commons would be in the middle.*
- b. *The commons would have floor to ceiling windows and a lower brick screen wall would create a semi-enclosed outdoor space for gathering.*
- c. *For the auditorium, small rectangular windows are shown across the top part of the wall. Four solid double-doors would be provided for access.*
- d. *Red brick is proposed for this elevation.*

7. East Elevation

- a. *The entrance would be two-stories with three bays of windows.*
- b. *A combination of red brick and lighter brick would make up the east wall.*
- c. *A solid black gate is proposed at the art alley.*

Landscaping and Trees:

1. *Pedestrian promenade has proposed trees with grates, permeable pavers, benches, trash cans as do the interior courtyards of the building and the student commons.*
2. *Adirondack chairs, tables with chairs and charging stations will be provided in the interior school spaces.*
3. *East parking has aluminum railings shown between parking areas.*
4. *The ball field area will be detailed in the future.*

5. *Some trees are proposed for removal in front of the existing school and along the north property line. A detailed report is included that has been reviewed by the City Arborist – 177 trees to be removed and 308 new trees to be planted. A protection plan has been provided for trees that are remaining.*
6. *Honeysuckle along the north property line is proposed to remain.*
7. *New trees would be planted in front of the school, near the entry areas, and in the new parking areas.*

Lighting:

1. *Pole lights in the main student parking lot on the west side and on the north side of the school would be 35'.*
2. *East side lights would range from 20' – 35' in height.*
3. *Poles in front of the school are proposed to be 14' high.*
4. *Pole height for the pedestrian promenade would be 10'.*
5. *At the Seabury Dr. and Farrington Dr. entrances 24' high light poles are proposed.*
6. *The photometric plan shows 0 footcandles at the north property line.*
7. *Wall packs are proposed along the rear of the building.*

Land Use Plans:

Worthington Design Guidelines

Staff Comments:

1. *Site Plan:*
 - a. *The new building is shown in the same location as it has been since the first hearing.*
 - b. *Changes to the site are as discussed previously:*
 - *Addition of pedestrian promenade*
 - *Re-configured bus and drop-off lanes, parking lot*
 - *Pedestrian circulation plan*
 - *New entry plaza on west side*
 - *New one-way drive along front of school for visitors*
 - *New parking lots on east side and northeast of school*
 - *Re-located baseball and softball fields*
 - *New turf fields west of stadium.*
 - *Lighting*
 - *Bases for pole lights cannot be exposed.*
 - *Landscaping*
 - *Bicycle racks should be the preferred “U” style*
 - *Railings and benches should be black instead of aluminum*
 - c. *A pedestrian walkway must be included consistently on these plans.*
 - d. *Pedestrian improvements are expected at Seabury Dr. and W. Dublin-Granville Rd.*

2. *Building*

- a. *Building design is essentially as shown previously.*
- b. *All elevations are now included*

3. **New Information**

- a. The schools will meet with the property owners to the north regarding proposed landscaping.
- b. A request was made by the ARB to use decorative poles in front of the high school and the architect is still working through the cost. Information is expected for the meeting.
- c. Detail of a new monument sign is expected.
- d. More detail on the north elevation is expected.
- e. A traffic impact study was submitted and will be reviewed before the meeting.

Motion:

THAT THE REQUEST BY SCHORR ARCHITECTS ON BEHALF OF THE WORTHINGTON SCHOOLS FOR A CERTIFICATE OF APPROPRIATENESS TO DEMOLISH EXISTING STRUCTURES, CONSTRUCT A NEW HIGH SCHOOL AND MODIFY THE SITE AT 300 W. DUBLIN-GRANVILLE RD., AS PER CASE NO. ARB 99-2022, DRAWINGS NO. ARB 99-2022, DATED APRIL 14, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

D. Architectural Review Board – New Business

- 1. Renovations, Addition, Fence – **590 Morning St. (Britney Cider) ARB 26-2023**

Findings of fact & Conclusions

Background & Request:

This property has a Colonial Revival style house that was built in 1948 and is a contributing building in the Worthington Historic District. The property is 60' wide and 330' deep and the house sits on the front part of the lot. In the 1980's, the owners added to the rear of the house and attached the existing garage. In 1998, a dormer addition was added as was a front porch roof.

The applicant is now seeking approval to convert and expand the existing attached garage for use as living space; construct a new attached garage with a carport; and add new front and side entry porched.

Project Details:

1. Site:

- On the north side, the existing house is 6.3' from the property line at the front but goes to 3.7' from the property line starting at the 1980's addition. This application proposes the new two-car garage and carport addition be in line with existing rear of the house, 3.7' from the north property line. A variance would be needed to allow that proximity to the property line.
- The addition on the south side would provide additional living space and a new entry porch. The porch structure is proposed 18' from the property line and a patio would be adjacent to the addition.
- A new porch on the front would be 30' from the property line.
- On the south side a fence would enclose yard area adjacent to the front of the house. The fence is proposed to be 4' high with 6" wide pickets and 3" or less spacing between pickets.
- The existing shared gravel driveway is proposed to expand north at the rear to meet the new garage and carport, and a turnaround area is planned.
- Brick columns with lanterns on top are proposed at four locations along the fence and patio on the south side, and two are shown in front of the house. A variance would be needed for the two in the required front yard.

2. Building:

- Conversion of the existing garage into living space and the addition to the south would allow for a great room, a den, and a mudroom. A new porch with a flat roof supported by columns is also proposed on the south side.
- The new garage would attach by way of a door and hallway between the great room and new mudroom. Columns are proposed on the front of the garage and to support the east end of the carport.
- Nested gables would cover the addition and conversion area, the garage and the carport.
- The front porch would extend to the south side of the house and a larger gable supported by columns would make up the roof.
- The gable faces on the front and the rear are proposed with Hardie shake siding.
- Dark gray lap siding (Hardie or LP) is proposed for the additions, and the existing house would be painted the same color. The trim color would be a shade of white.
- The columns are proposed to be a PVC composite material.
- New asphalt shingle roofing would match the existing.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

- Residential additions are recommended to maintain similar roof forms; be constructed as far to the rear and sides of the existing residence as possible; be subordinate; and have walls set back from the corners of the main house. Design and materials should be traditional, and compatible with the existing structure.

ARB/MPC Staff Memo

Meeting April 27, 2023

Page 9 of 21

- New structures should complement the form, massing and scale of existing nearby structures. Also, building placement and orientation are important design considerations. Most main entrances should face the street and garages should avoid facing the street.
- Roof: Roof shapes for new buildings should be appropriate to the style or design of the building. If a new building does not follow a particular style but is instead a vernacular design, then roof shapes and heights similar to those in the neighborhood or nearby would be most appropriate.
- Materials: Contemporary materials that simulate traditional ones are appropriate, but the preferred option is to use true traditional materials such as wood siding. Incompatible contemporary materials should be avoided. Brick has long been a traditional material in Worthington. Prepare a sample board for review by the Architectural Review Board.
- Windows: For new buildings, multiple-paned windows generally are not appropriate. The exception is a building being built in a particular style -- such as Federal, Greek Revival or Colonial Revival -- that would have employed this window type. When in doubt, simple 1 over 1 double-hung sash windows are usually the simplest, least expensive and most appropriate choice. Using the excellent precedents of Worthington's many historic structures, carefully design the pattern of window openings; window sizes and proportions (they must be appropriate for the size and proportions of the wall in which they are placed); pattern of window panes and muntins; and trim around the windows. Good quality wood windows are readily available and more affordable than in the past. True wood windows are always the first preference. Aluminum- or vinyl-clad windows can be appropriate, but primarily on secondary facades and less conspicuous locations. All-aluminum or vinyl windows are not prohibited but are not encouraged. Avoid blank walls.
- Ornamentation: Observe Worthington's excellent historic architecture for information on the kinds and amounts of ornamentation employed on various building styles and periods. Use ornamentation conservatively. It will be most successful if used in traditional locations: around windows and doors; along a building's cornice or at the corners; in gables; or on gates and fences. Most ornamentation historically was made of simple forms built up to a desired level of complexity. When in doubt, follow the old rule that "less is more." Sometimes just a little ornamentation, well placed, can have a major impact without the need for more extensive (and expensive, and hard-to-maintain) ornamentation. Use compatible materials in ornamental elements. Frame houses should have wood ornamentation, although in cases where the ornamental elements are some distance from the viewer it may be possible to use substitute materials such as fiberglass.
- Color: In general, avoid bright colors not typical in Worthington neighborhoods, such as various shades of purple or orange. For infill buildings being placed in an existing streetscape, select colors compatible with those already used along the streetscape. Many buildings follow a pattern of light colors for the building body and darker colors for the trim. Following this pattern is encouraged. In Worthington, the use of white or cream-colored trim also is common and would be appropriate for new construction. Avoid using too many colors. Usually one body color and one trim color are sufficient.

- Landscaping: Worthington's mature shade trees are the primary landscaping feature throughout the community. They are a major contributor to its character and help define its neighborhoods as stable, desirable places to live. In general, lawns are generous but not overly large, which contributes to the sense of human scale that is one of Worthington's important attributes. Other landscaping elements tend to be properly scaled and well-tended, which also tends to enhance neighborhood character. Maintain and nurture mature trees to prolong their lives. Plant and maintain street trees in planting areas between the street and sidewalk. Paving can sometimes reduce water absorption of the soil so much that trees do not get the moisture they require.
- Fencing should be traditional in style; constructed with traditional materials; and of simple design, appropriate for the house style. Side yard fences should be open in style (avoid solid, opaque fences that block all views) and three to four feet in height. In the back yard, generally avoid fences over four feet in height; higher fences are discouraged but may be appropriate where a commercial use abuts a residential property. In all cases, no fences higher than six feet are permitted.

Staff Comments:

1. Catalogue cuts are needed for the windows and doors.
2. Windows could be added on the north side of the garage to break up the blank wall, but may not be necessary, or desired by the neighbor to the north.
3. The new windows on the south side do not seem complimentary to the house.
4. Details of the lanterns are needed.
5. Any proposed condensing units or landscaping should be identified.

Recommendation:

Staff is recommending approval of this application once the Board reviews and approves of the needed details.

Motion:

THAT THE REQUEST BY BRITNEY CIDER FOR A CERTIFICATE OF APPROPRIATENESS TO MODIFY AND ADD ONTO THE HOUSE AT 590 MORNING ST. AS PER CASE NO. ARB 26-2023, DRAWINGS NO. ARB 26-2023, DATED APRIL 14, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

2. Hot Tub Location, Fence – 688 Hartford St. (Marcus Hitt) ARB 27-2023

Findings of Fact & Conclusions

Background & Request:

This house is a Cape Cod that was built in 1938 and is a contributing building in the Worthington Historic District. The property is 43' wide and extends roughly 252' to the east. In recent years the owners have constructed a rear addition; replaced the siding and windows; renovated the garage; constructed a shed; replaced existing fencing; replaced the front porch and drive; and installed a rear patio. A hot tub was approved at the end of 2022 and was placed in a temporary location. This is a request to move the hot tub to a permanent location and install a fence for screening.

Project Details:

1. The 84" x 84" x 36" hot tub was originally placed on the north side of the rear patio. The unit is a Master Spas, Clarity Spas Balance 7. An additional Arborvitae was planted to help with privacy.
2. The proposed permanent location is 5' from the south property line and just east of the patio. A variance would be needed for location in the required 10' side yard. A concrete pad is planned for the placement and a paver walkway would lead to the hot tub.
3. A fence is planned to screen the hot tub on the north side. The proposed fence is an 8.5' wide section that is 66" tall with 4" cedar boards spaced 2-3" apart.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Fencing should be traditional in style; constructed with traditional materials; and of simple design, appropriate for the house style. Side yard fences should be open in style (avoid solid, opaque fences that block all views) and three to four feet in height. In the back yard, generally avoid fences over four feet in height; higher fences are discouraged but may be appropriate where a commercial use abuts a residential property. In all cases, no fences higher than six feet are permitted.

Compatibility of design and materials, exterior details and relationships are standards of review in the Architectural District ordinance.

[Code Section 1149.08 Special Yard Requirements.](#)

(b) No accessory buildings shall be located in any front or side yard except under unusual circumstances where such building shall not conflict with the intent and purposes of this Zoning Ordinance, or, where enforcement shall result in extreme hardship. In either case the decision to permit such activity shall be made by the Board of Zoning Appeals. Accessory buildings such as garages and storage buildings exceeding 120 square feet in area may be located in the rear yard provided such buildings are set back at least eight feet from the side lot lines and ten feet from the rear lot line. Accessory buildings of 120 square feet or less in area must be set back at least

five feet from the side and rear lot lines. In any “R” District the total area for accessory buildings shall be limited to 850 square feet and must be compatible in materials and appearance to the other buildings in the area.

Code Section 1173.05 Portable and Nonportable Swimming Pools

(a) For the purposes of this section, the following terms are defined as follows:

"Portable swimming pool" means a container which is designed or used for wading purposes; which will not permit filling with water to a depth greater than 24 inches; and which may be dismantled, stored or moved from one place to another without the use of tools other than those normally found in a household workshop.

"Nonportable swimming pool" means any artificial body of water, whether inground or above-ground which conforms to the following criteria.

- (1) It is supplied with water from a controlled water source.
 - (2) It is not enclosed within a building.
 - (3) The depth of water exceeds 24 inches at any point.
- (b) Portable swimming pools shall be considered as a conforming use in any "R" or "AR" District.
- (c) Nonportable swimming pools may be allowed as an accessory use only in "R" and "AR" Districts provided that they comply with the following conditions and requirements:
- (1) The pool is intended and used solely for the enjoyment of the occupants of the principal use of the property on which it is located.
 - (2) The pool may not be located, including any walks or paved areas or accessory structures adjacent thereto, closer than ten feet to any property line of the property on which it is located.
 - (3) The swimming pool or the property as hereinafter defined on which it is located, shall have a barrier as required by Chapter [1305](#) to prevent uncontrolled access by children or other persons from the street or other adjacent properties.

Staff Comments:

1. Fences over 4’ in height are not recommended in the Architectural Review District.
2. If the hot tub was considered an accessory structure the requirement would allow placement to be 5’ from the property line. Because hot tubs meet the swimming pool definition 10’ is required. The reason for the 10’ requirement is not clear.

Motion:

THAT THE REQUEST BY MARCUS W. HITT FOR A CERTIFICATE OF APPROPRIATENESS TO RELOCATE A HOT TUB AND ADD A SCREEN FENCE AT 688 HARTFORD ST., AS PER CASE NO. ARB 27-2023, DRAWINGS NO. ARB 27-2023, DATED APRIL 14, 2023 BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

3. Patio Furniture & Railing – **7105 N. High St.** (Maple Street Biscuit Company/Worthington Gateway) **ARB 21-2023**

Findings of Fact & Conclusions

Background & Request:

This site is the 1.33 acre parcel abutting N. High St. that was created by the subdivision of the former Holiday Inn property at the northwest corner of N. High St. and Caren Ave. The land was used as a parking lot for the former hotel. In addition to the rest of the hotel site, this parcel is part of the Worthington Gateway Planned Use District (PUD). A multi-tenant building was approved in 2019 and is being constructed at this location. Sign criteria planned for the rest of the site are to be extended to this building with the next applications on this agenda. Maple Street Biscuit Company will submit for sign permits after the criteria are approved.

Five Guys restaurant patio furniture was approved for the south end of this building by the ARB in February of this year. This is a request for patio furniture and a railing for Maple Street Biscuit Company which plans to locate at the north end of the building.

Project Details:

1. Ten tables are proposed for the patio which is adjacent to the north side of the building. Six of the tables would seat 4 people and four would seat 2 people.
2. The tables and chairs would be constructed with champagne colored metal frames and “Perma-wood” natural Teak colored tops and seats.
3. Each 4-top table would have a hole for an umbrella. The umbrellas are shown as square fabric in antique beige with black poles and bases.
4. A railing is proposed around the perimeter of the patio that is the same design as used elsewhere on the site: black aluminum picket with circles at the top.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

The Design Guidelines recognize seating and tables for use by patrons makes an area feel more open and pedestrian-friendly. The Architectural District Ordinance calls for design and materials to be compatible.

Recommendation:

Staff is recommending approval of this application. The patio furniture is appropriate.

Motion:

THAT THE REQUEST BY THE TYLER JACKSON ON BEHALF OF MAPLE STREET BISCUIT COMPANY FOR A CERTIFICATE OF APPROPRIATENESS TO ADD PATIO FURNITURE AND A RAILING AT 7105 N. HIGH ST., AS PER CASE NO. ARB 21-2023,

DRAWINGS NO. ARB 21-2023, DATED APRIL 6, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

4. Signage & Site Modifications – **7105 N. High St. & 121 W. Wilson Bridge Rd.** (Worthington Gateway) **ARB 24-2023**

&

6. **Municipal Planning Commission – New Business**

1. **PUD Modification**

- a. Signage & Site Modifications - **7105 N. High St. & 121 W. Wilson Bridge Rd.** (Worthington Gateway) **PUD 01-2023**

Findings of Fact & Conclusions

Background & Request:

These applications involve two areas of the Worthington Gateway Planned Use District (PUD):

- 7105 N. High St. - A 1.33 acre parcel abutting N. High St. The land was used as a parking lot for the former Holiday Inn but approved as a multi-tenant building as part of the PUD. Identified tenants so far are Five Guys and Maple Street Bagel Company.
- 121 W. Wilson Bridge Rd. - A 2.033-acre parcel abutting Caren Ave. and single family lots to the south, and Lot #1 of the Worthington Gateway Subdivision on the north, west and east sides. The parcel was originally approved to accommodate a hotel.

When the signage criteria for the project were developed and approved, the N. High St. building was not designed, and the W. Wilson Bridge Rd. building was to be a hotel. Updated signage criteria that includes the current buildings under construction and a change to the monument signs are included in these applications.

The other part of this request is a change to the site layout around the 121 W. Wilson Bridge Rd. building.

Project Details:

1. Signage Criteria

- The original signage package remains for the previously approved portion of the site. These two buildings would have the same standards and have been added to the document. The submitted package includes all the wall, blade and freestanding

- signs for the site.
 - The applicants are requesting an additional tenant panel (1'6" in height) be added to the freestanding signs. The style would not change.
2. Site Plan:
- A larger green space is now shown west of the 4-story building.
 - The new configuration would reduce parking by 15 spots but improve stormwater detention on the site.

Worthington Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

1. Signage: While the regulations permit a certain maximum square footage of signs for a business, try to minimize the size and number of signs. Place only basic names and graphics on signs along the street so that drive-by traffic is not bombarded with too much information. Free-standing signs should be of the "monument" type; they should be as low as possible. Such signs should have an appropriate base such as a brick planting area with appropriate landscaping or no lighting. Colors for signs should be chosen for compatibility with the age, architecture and colors of the buildings they serve, whether placed on the ground or mounted on the building. Signs must be distinctive enough to be readily visible but avoid incompatible modern colors such as "fluorescent orange" and similar colors. Bright color shades generally are discouraged in favor more subtle and toned-down shades.
2. Sustainability: The City of Worthington and its Architectural Review Board are interested in encouraging sustainable design and building practices, while preserving the character and integrity of the Architectural Review District. Energy conservation methods are encouraged. Landscape concepts often complement energy conservation and should be maintained and replenished. Utilize indigenous plant materials, trees, and landscape features, especially those which perform passive solar energy functions such as sun shading and wind breaks. Preserve and enhance green/open spaces wherever practicable. Manage storm water run-off through the use of rain gardens, permeable forms of pavement, rain barrels and other such means that conserve water and filter pollutants. Bike racks and other methods of facilitating alternative transportation should be utilized. Streetscape elements should be of a human scale. Make use of recycled materials; rapidly renewable materials; and energy efficient materials. Use of natural and controlled light for interior spaces and natural ventilation is recommended. Minimize light pollution.

Worthington Comprehensive Plan

The 2005 Worthington Comprehensive Plan identifies the High Street Corridor (Extents Area) as a place where consistent site design should be encouraged such as landscape screening and interior planting of surface parking areas, and the location of large parking areas should be to the rear of the site. The corridor could accommodate redevelopment at a higher density, with such projects meeting the needs of the City, providing green setbacks and meeting the Architectural Design Guidelines. The plan recommends promoting a high quality physical environment, encouraging

the City to continue to emphasize strong physical and aesthetic design, and high-quality development. Also recommended is encouraging the private market to add additional commercial office space within the City.

Wilson Bridge Road Corridor Study

The Wilson Bridge Road Corridor Study, adopted in 2011, makes recommendations for the Wilson Bridge Road corridor from the Olentangy River to the west to the Railroad Crossing to the east. The Study recommends the need to promote the redevelopment of the Wilson Bridge Road Corridor into a mixed-use area that will generate new economic growth within the City. These requirements are intended to foster development that strengthens land use and economic value; encourage a mix of uses; enhance livability of the area; to augment pedestrian and bicycle connections; and to promote construction of high-quality buildings and public spaces that create and sustain long-term economic vitality.

Code Section 1174.08 PUD Procedures

(2) Requested modifications to the approved Final Plans shall be reviewed according to the following:

- A. City Staff. The City staff may authorize minor design modifications that are required to correct any undetected errors or that are consistent with the purpose of the approved Final Plan. Such modifications shall be limited to:
 - 1. Minor adjustments in lot lines provided no additional lots are created;
 - 2. Minor adjustments in location of Building footprints and parking lots, provided the perimeter required Yards remain in compliance;
 - 3. Minor adjustments in Building height;
 - 4. Minor modifications in Structure design and materials, and lighting provided there is the same general appearance; and
 - 5. Minor modifications of landscaping, including substitution of materials.
- B. Municipal Planning Commission. The Municipal Planning Commission shall review modifications other than those listed in the above section, and any of the above modifications as recommended by City staff.
 - 1. Should the Municipal Planning Commission find that such modification keeps the essential character of the approved PUD, and does not require an amendment to the PUD Ordinance, the Municipal Planning Commission shall approve such modification.
 - 2. Should the Municipal Planning Commission find that such modification requires an amendment to the PUD Ordinance, the Municipal Planning Commission shall forward a recommendation of approval or denial to the City Council for such amendment.

Recommendations:

Staff is recommending approval of these applications. The proposed comply with the ARB's previous review; add green space; keep the essential character of the approved PUD; and do not require an amendment to the PUD Ordinance.

ARB Motion:

THAT THE REQUEST BY FORD & ASSOCIATES ARCHITECTS FOR A CERTIFICATE OF APPROPRIATENESS TO APPROVE SIGNAGE CRITERIA AND SITE PLAN AMENDMENTS AT 7105 N. HIGH ST. AND 121 W. WILSON BRIDGE RD. AS PER CASE NO. ARB 24-2023, DRAWINGS NO. ARB 24-2023, DATED APRIL 12, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

MPC Motion:

THAT THE REQUEST BY MOMENT DEVELOPMENT TO MODIFY THE PUD TO APPROVE SIGNAGE CRITERIA AND SITE PLAN AMENDMENTS AT 7105 N. HIGH ST. AND 121 W. WILSON BRIDGE RD. AS PER CASE NO. PUD 01-2023, DRAWINGS NO. PUD 01-2023, DATED APRIL 12, 2023, BE APPROVED BASED ON THE PLANNING GOALS OF THE CITY, AS REFERENCED IN THE LAND USE PLANS AND THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

2. Amendment to Development Plan

- a. Signage – **6950 Worthington-Galena Rd.** (Rob Hazel/Sports Imports) **ADP 03-2023**

Findings of fact & Conclusions**Background & Request:**

The property at 6950 Worthington-Galena Rd. is 4.6 acres and contains a multi-tenant building that is roughly 63,000 square feet in area. The building was originally constructed in 1973 but has been added onto and renovated more recently. There is one freestanding sign on the property that identifies three tenants.

This request is for a second freestanding sign that would only identify Sports Imports.

Project Details:

1. One of the businesses on the existing sign is BSN which a competitor of Sports Imports.
2. The proposed sign would be 8'11" wide by 40" high or 29.7 square feet in area. The base is included in the sign area because it is wider than 8'.

3. The non-illuminated sign cabinet and base are proposed to be aluminum painted with a white background for the sign area and gray for the base. Black dimensional letters would be used for the company name and address and smaller flat black letters would spell out tag lines. Red is proposed as an accent color in the middle of the name.
4. Location of the sign is shown as 19' from the right-of-way, but appears to be closer to 10' from the right-of-way. The new sign would be about 90' away from the existing sign.

Land Use Plans:

2005 Worthington Comprehensive Plan

The City should strive to make the industrial corridor attractive to investment and redevelopment. The availability and provision of amenities (like the Recreation Center), services, and infrastructure are important in this effort. The City could adopt stronger aesthetic design controls to improve the appearance of this corridor, but there must be a careful balance with the impact to the users. As long as the industrial corridor continues to be economically attractive to investment and production, it will continue to be a vital part of Worthington's success.

Sign Code

Section 1170.05

(a) Sign area. Allowable permanent sign area for any single business shall be limited according to the widths of the building or part of the building occupied by such enterprise. For the purposes of this section, width shall be measured along the building face nearest parallel to the street line. In the case of a corner lot, either frontage may be used in determining maximum area for signage. The area of all permanent signs for any single business shall be equivalent to one and one-half square feet of sign area for each lineal foot of width of the building or part of the building, but shall not exceed a maximum area of 100 square feet per business.

(c) Freestanding Signage. There shall be no more than one freestanding sign per parcel. No part of any freestanding sign shall exceed an above-grade height of fifteen feet. Freestanding signs shall not be larger than sixty percent (60%) of the total sign area allowed for under Section [1170.05](#) (a). Freestanding signs shall be located not closer than ten feet to a public right of way or thirty-five feet to an adjoining property line.

(e) C-3 and I-1 Zoning Districts – Integrated Institutional, Office or Industrial Uses.

Integrated Institutional, Office or Industrial Uses in the C-3 and I-1 zoning districts as provided for in Section [1175.02](#) shall be permitted a maximum of two freestanding signs per development. Each sign shall not be over fifteen feet in height and shall have a maximum total area of 60 square feet.

Recommendation:

Staff is recommending approval of this application. The proposed sign meets the Code requirements for size and number of signs. Placement from the right-of-way must be at least 10'; location should not be closer than the existing sign.

Motion:

THAT THE REQUEST BY ROB HAZEL TO AMEND THE DEVELOPMENT PLAN BY ADDING A SIGN AT 6950 WORTHINGTON-GALENA RD. AS PER CASE NO. ADP 03-2023, DRAWINGS NO. ADP 03-2023, DATED MARCH 13, 2023, BE APPROVED BASED ON THE PLANNING GOALS OF THE CITY, AS REFERENCED IN THE LAND USE PLANS AND THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

b. Shipping/Storage Containers – **6969 Worthington-Galena Rd.** (Brad Wentz) **ADP 04-2023**

Findings of fact & Conclusions**Background & Request:**

The property at 6969 Worthington-Galena Rd. is about 3 acres in size (2 parcels) and contains two multi-tenant buildings with roughly 44,000 square feet of area total. The west side of the property is adjacent to railroad tracks and the north side is next to the Chiller ice facility. The buildings were originally constructed in 1973. Last year a code case involving the storage of equipment and materials next to the rear building was pursued and the condition was improved. At the same time shipping containers were noticed on the property. This is a request by the property owner for approval to keep the shipping containers.

Project Details:

1. There are three 8' x 20' shipping containers located at the northwest corner of the property. The containers are located 6' from the west property line and 3' from the north property line. Variances would be required to keep those containers in that location. In the I-1 Zoning District the required rear yard is 30' and the required side yard is 20'.
2. The 2017 Ohio Building Code will require changes to these structures to remain as placed, due to their proximity to the property lines and the existing building. As placed, these containers do not comply with the building code.
3. The City has invested in the Northeast Gateway project with the new road adjacent to the east side of this property. Also, a Train Observation Station with a caboose was added across the tracks from the shipping containers, and investment in the improvement of McCord park has been made and is continuing.

Land Use Plans:**2005 Worthington Comprehensive Plan**

The City should strive to make the industrial corridor attractive to investment and redevelopment. The availability and provision of amenities (like the Recreation Center), services, and infrastructure are important in this effort. The City could adopt stronger aesthetic design controls to improve the appearance of this corridor, but there must be a careful balance with the impact to the users. As long as the industrial corridor continues to be economically attractive to investment and production, it will continue to be a vital part of Worthington's success.

Recommendation:

Staff is recommending *denial* of this application. With the effort to improve aesthetics in the area made by the City, and the Ohio Building Code issues, storage containers should not be allowed in this location.

Motion:

THAT THE REQUEST BY BRAD WENTZ TO AMEND THE DEVELOPMENT PLAN FOR 6950 WORTHINGTON-GALENA RD. BY ALLOWING SHIPPING CONTAINERS TO REMAIN AS PER CASE NO. ADP 04-2023, DRAWINGS NO. ADP 04-2023, DATED MARCH 14, 2023, BE APPROVED BASED ON THE PLANNING GOALS OF THE CITY, AS REFERENCED IN THE LAND USE PLANS AND THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.



ARB APPLICATION ARB 0025-2023 577 Hartford St.

Plan Type:	Architectural Review Board	Project:		App Date:	04/13/2023
Work Class:	Certificate of Appropriateness	District:	City of Worthington	Exp Date:	
Status:	In Review			Completed:	
Valuation:	\$30,000.00			Approval	
				Expire Date:	

Description: I would like to re-do my front porch to look as it is currently but add a bronze standing seam roof while I am already undergoing the renovation construction, as this is the original porch from 1920 and several of the banisters and parts of the foundation need repaired. I want to replace it with the same look as the original home.

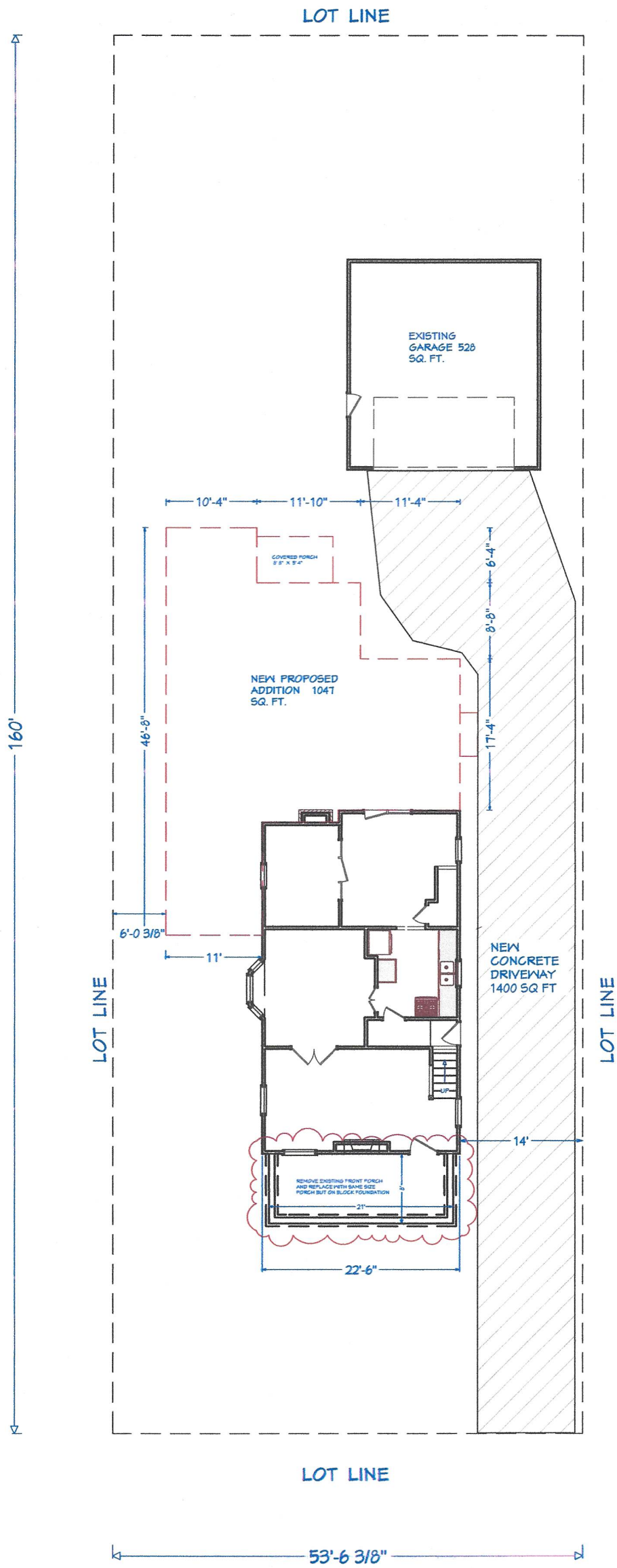
Parcel:	100-000092	Main	Address:	577 Hartford St Worthington, OH 43085	Main	Zone:	R-10(Low Density Residence)
----------------	------------	------	-----------------	--	------	--------------	-----------------------------

Owner	Applicant
Michele L Puckett	Ross Builders & Design
577 HARTFORD ST	James Ross
Worthington , OH 43085	6120 Crystal Valley Dr.
	Galena, OH 43021
	Mobile: 6142045661

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003741	Architectural Review Board	\$30.00	\$30.00
Total for Invoice INV-00003741		\$30.00	\$30.00
Grand Total for Plan		\$30.00	\$30.00

577 Hartford St.





CITY OF WORTHINGTON
DRAWING NO. ARB 0025-2023
DATE 04/13/2023



EAST ELEVATION

CITY OF WORTHINGTON
DRAWING NO. ARB 0025-2023
DATE 04/13/2023



SOUTH ELEVATION

CITY OF WORTHINGTON
DRAWING NO. ARB 0025-2023
DATE 04/13/2023



NORTH ELEVATION

CITY OF WORTHINGTON

DRAWING NO. ARB 0025-2023

DATE 04/13/2023



ARB APPLICATION ARB 0022-2023 872 Oxford St.

Plan Type: Architectural Review Board	Project:	App Date: 04/10/2023
Work Class: Certificate of Appropriateness	District: City of Worthington	Exp Date:
Status: In Review		Completed:
Valuation: \$8,437.00		Approval
Description: Adding an 8' garage door to the rear face of the existing detached garage.		Expire Date:

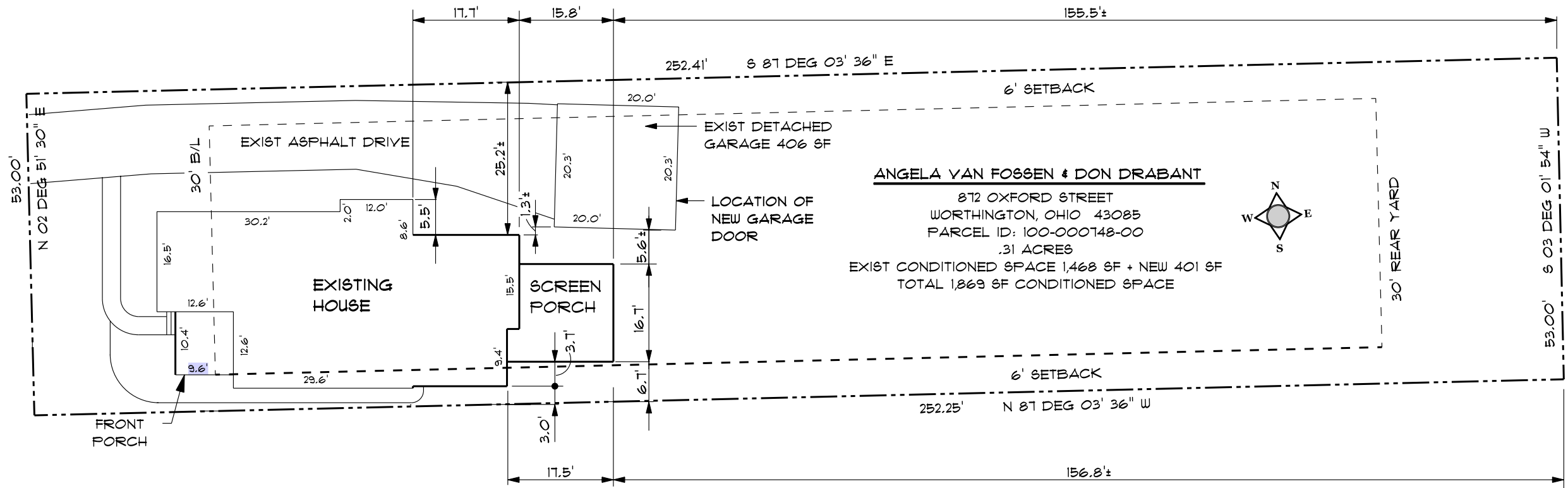
Parcel: 100-000748	Main	Address: 872 Oxford St Worthington, OH 43085	Main	Zone: R-10(Low Density Residence)
---------------------------	------	--	------	--

Owner Donald J Drabant, trustee 1105 N. Yamka Ct. Ivins, UT 84738	Applicant Brenda Ruf 3505 W. Dublin Granville Rd. Columbus, OH 43235 Business: 6144597211 Mobile: (614) 519-3513
--	---

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003738	Architectural Review Board	\$9.00	\$9.00
Total for Invoice INV-00003738		\$9.00	\$9.00
Grand Total for Plan		\$9.00	\$9.00

872 Oxford St.





SITE PLAN

DOWNSPOUT DRAIN TILE TO BE RELOCATED AS REQUIRED

TIE INTO EXISTING DRAIN TILE

FINISH GRADE SHALL FALL A MINIMUM OF 6" IN THE FIRST 10' FROM THE BUILDING PERIMETER.

FINAL FINISH GRADING & SEEDING BY HOMEOWNER

CITY OF WORTHINGTON

DRAWING NO. ARB 0022-2023

DATE 04/10/2023

EXISTING WALLS ARE
DIMENSIONED TO DRYWALL
NEW WALLS ARE DIMENSIONED
TO THE STUD.
UNLESS NOTED OTHERWISE

Scale: 1/4" = 1' (unless otherwise noted)

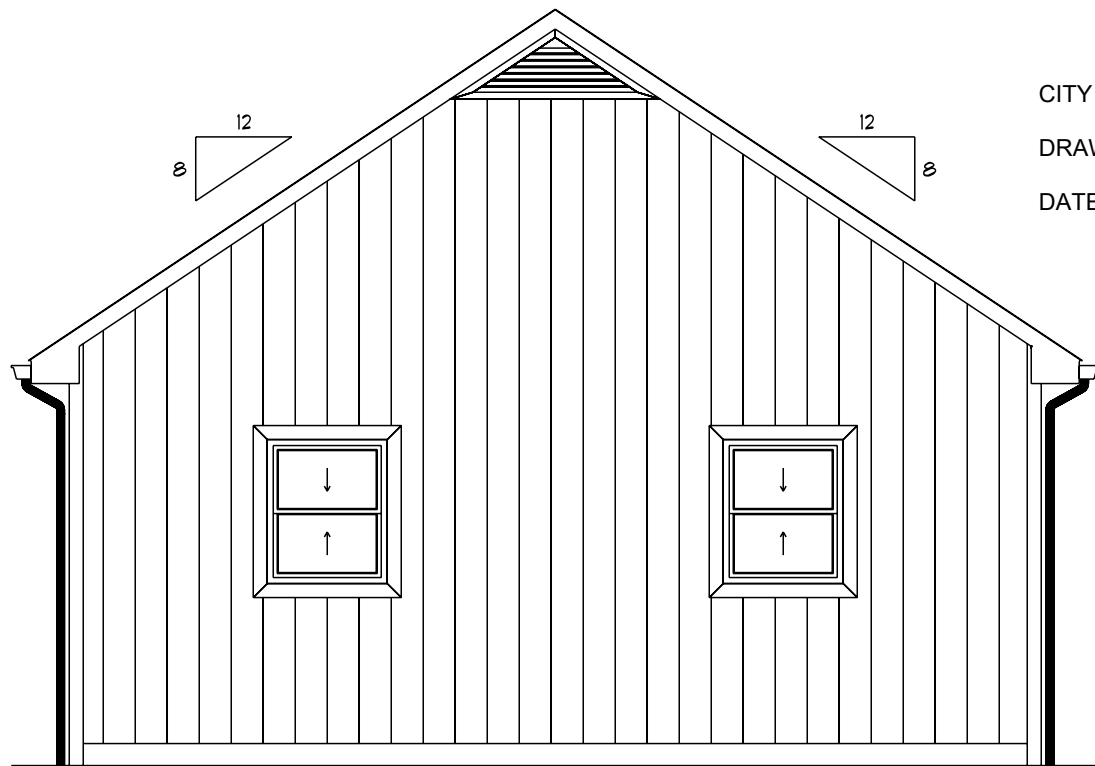
ANGELA VAN FOSSEN & DON DURABANT RESIDENCE
872 OXFORD ST. WORTHINGTON, OH 43085

DESIGNED BY:
STEVE DEMPSEY
ID BY:
MICHELLE MIXTER
PM BY:
T.B.D.
JOB # 2108025
FOR PERMIT 04.10.23
SITE PLAN

SHEET #
1 of 2
A-1

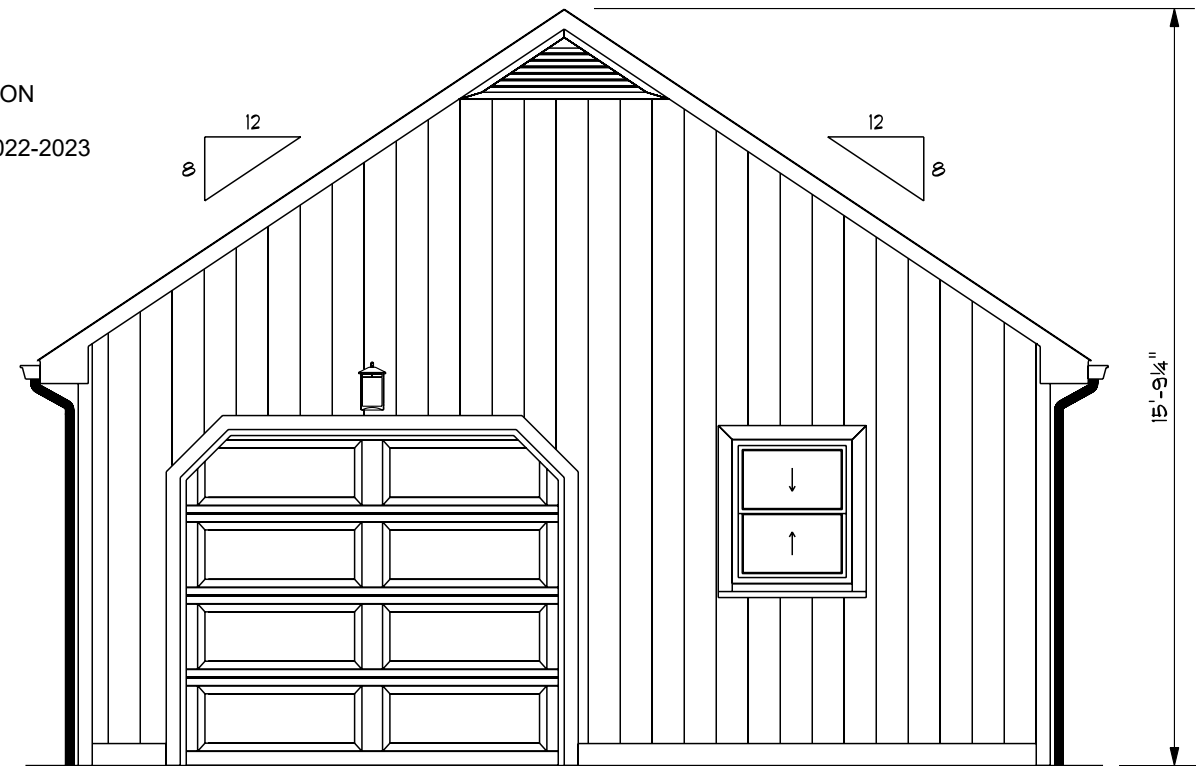
DAVE FOX
DESIGN • BUILD • REMODELERS
3505 W. Dublin-Granville Rd, Columbus, OH 43235 www.davefox.com 614-459-7211

Approved by: _____ Date: _____
Owner: _____ Date: _____

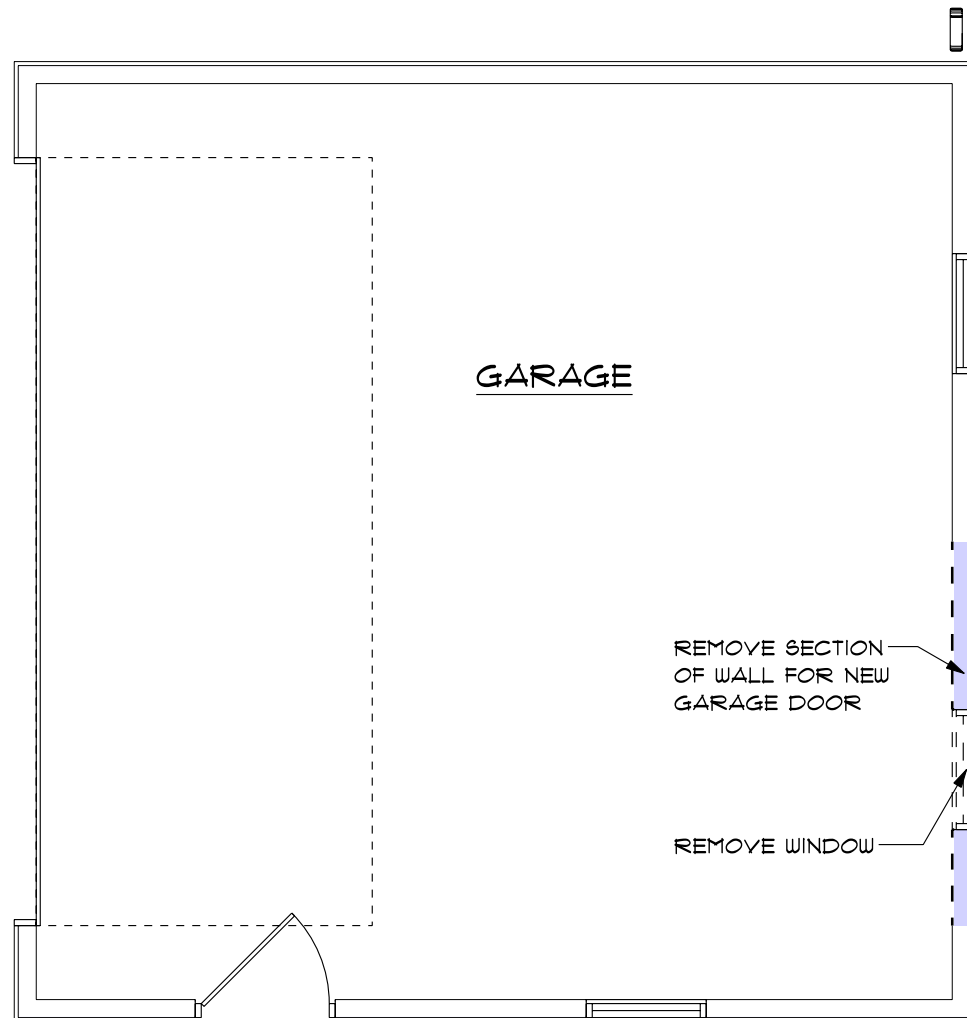


CITY OF WORTHINGTON
DRAWING NO. ARB 0022-2023
DATE 04/10/2023

EXISTING REAR GARAGE ELEVATION



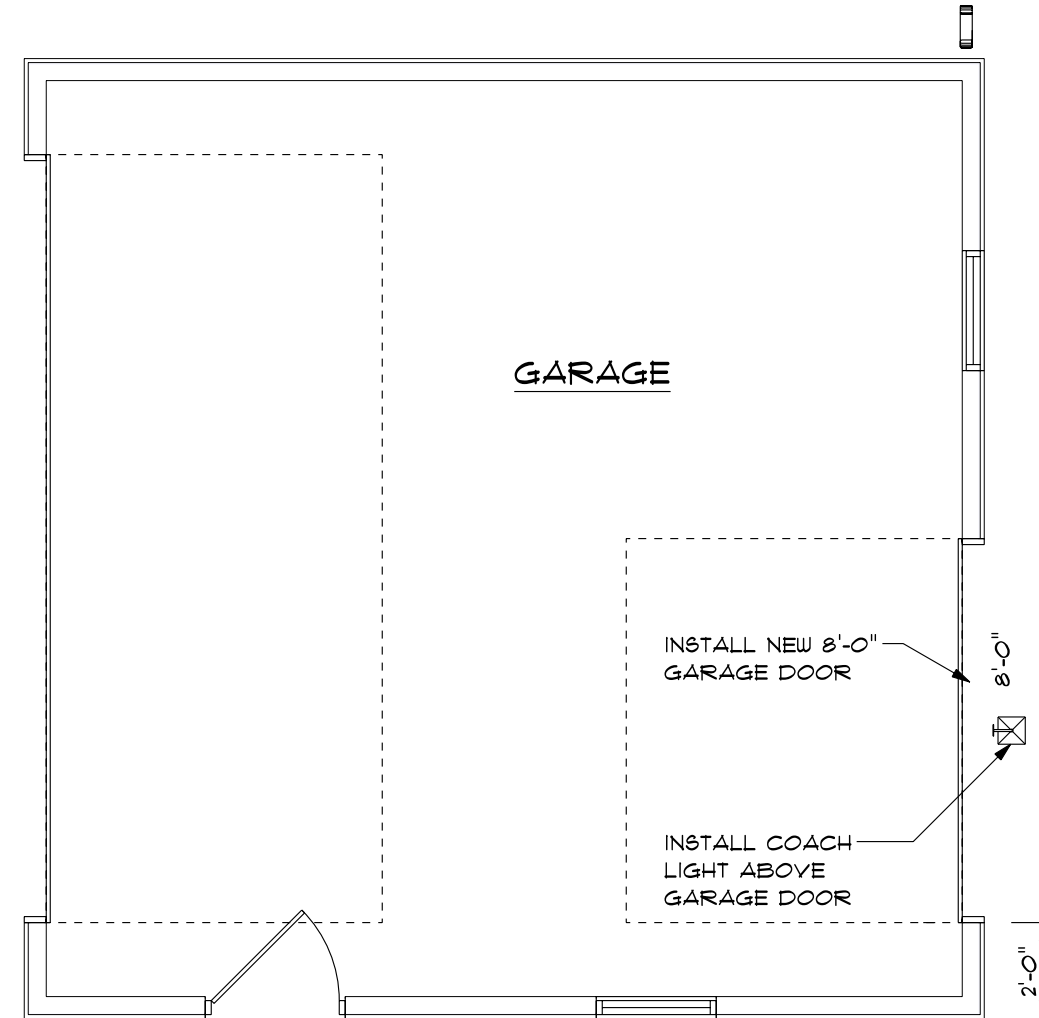
NEW REAR GARAGE ELEVATION



REMOVE SECTION
OF WALL FOR NEW
GARAGE DOOR

REMOVE WINDOW

EXISTING GARAGE PLAN



INSTALL NEW 8'-0"
GARAGE DOOR

INSTALL COACH
LIGHT ABOVE
GARAGE DOOR

NEW GARAGE PLAN

Scale: 1/4" = 1' (unless otherwise noted)

ANGELA VAN FOSSEN & DON DURABANT RESIDENCE
872 OXFORD ST. WORTHINGTON, OH 43085

Design Plans: For use by agents of DFR
only. Use of or modifications of these
plans without express permission of DFR
is strictly prohibited. Mechanical plans
to be verified by licensed contractor.

Approved by:

Owner:

Date:

Owner:

Date:

DESIGNED BY:
STEVE DEMPSEY
ID BY:
MICHELLE MIXTER
PM BY:
T.B.D.
JOB # 2108025
FOR PERMIT 04.10.23
ELEVATIONS & PLANS

SHEET #

2 of 2

A-2

DAVE FOX
DESIGN • BUILD • REMODELERS
3505 W. Dublin-Granville Rd, Columbus, OH 43235 www.davefox.com 614-459-7211

CLASSIC™ STEEL

VALUE PLUS

garage doors



America's Favorite Garage Doors®



Model T42L, Long Traditional Panel with Optional Madison 611 Window

CITY OF WORTHINGTON

DRAWING NO. ARB 0022-2023

DATE 04/10/2023

VALUE PLUS

Improve your home's appearance and energy efficiency with a Clopay Value Plus insulated garage door. Available in 24 or 25 gauge steel with 1-5/16" polystyrene insulation, Value Plus models offer moderate insulating R-values, strength and security, as well as quiet operation and a beautiful appearance. Choose from two panel styles, many color options and a wide range of window options to create a door that fits your budget and enhances your home's curb appeal.



**Tongue-and-Groove
Section Joints**

24
GAUGE
STEEL

T42S short panel
T42L long panel

25
GAUGE
STEEL

T52S short panel
T52L long panel

1 5/16"
POLYSTYRENE
INSULATION

R-VALUE
6.3

**Shiplap
Section Joints**

24
GAUGE
STEEL

94V short panel

25
GAUGE
STEEL

1500 short panel
76V long panel

1 5/16"
POLYSTYRENE
INSULATION

R-VALUE
6.3

2-LAYER CONSTRUCTION

1-5/16" polystyrene insulation provides comfort, energy efficiency and quiet operation in every season.

- Tongue-and-groove/shiplap section joints help seal out wind, rain and snow.
- Replaceable bottom weatherseal in a corrosion-resistant retainer helps prevent elements from entering garage.
- Clopay's Safe-T-Bracket® helps prevent serious injury that could occur if the bottom bracket were removed with the garage door closed and under tension.
- Long-life nylon rollers are smooth and quiet.
- Galvanized steel hinges are durable, reliable and secure.
- Inside/outside step plates and grip handles make doors easy and safe to operate.

Calculated door section R-value is in accordance with DASMA TL

CITY OF WORTHINGTON

DRAWING NO. ARB 0022-2023

DATE 04/10/2023



*Model T52S, Short Traditional Panel
with Optional Colonial 509 Window Design*

DETAIL



Deep panel edging and natural embossed woodgrain texture improve appearance close-up and from the curb.

STYLE



Traditional Short

Complements homes with traditional styling. Models T42S, T52S, 94V and 1500.



Traditional Long

Ideal for ranch style homes. Models T42L, T52L and 76V.

*Doors range from 6' to 16' high and 4'2" to 18' wide. Consult your Clopay dealer for size options.
WindCode® doors available to meet most regional wind load requirements.
Consult your local dealer for specific information.*

CITY OF WORTHINGTON

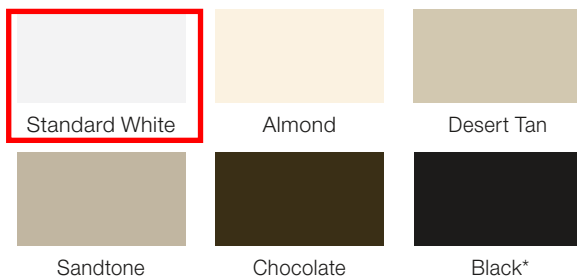
DRAWING NO. ARB 0022-2023

DATE 04/10/2023



Model 76V, Long Traditional Panel with
Optional Prairie 610 Window Design

COLORS



* Available on Model 94V. Additional charges apply.
Due to the printing process, colors may vary.

- Exterior steel on standard color doors has a natural woodgrain texture.
- Doors can be painted to match the home's exterior using a high-quality latex exterior paint. Do not use oil-based paint.

STEP PLATE/LIFT HANDLE



Color-matched exterior step plate/lift handles are durable, attractive and allow for safe opening and closing of your door.

CUSTOM PAINT OPTION



Color Blast® finish offers more than 1,500 Sherwin-Williams® color options to complement your home. Clopay's durable two-part paint system has been thoroughly tested and is backed by a five-year warranty.

RUST-PREVENTION SYSTEM



Steel skins are protected through a tough, layered coating system, including a hot-dipped galvanized layer, a protective metal oxide pretreatment and a baked-on primer and top coat.

CITY OF WORTHINGTON

DRAWING NO. ARB 0022-2023

DATE 04/10/2023



Model 1500, Short Traditional Panel

ENVIRONMENTAL ASSURANCE

Clopay doors are compliant with environmental laws and regulations. Clopay doors do not contain HFCs. All Clopay doors are compliant with:

- California SB 1013
- New Jersey A-5583/S-3919 – Greenhouse Gas Bill
- Washington HB 1112 – Hydrofluorocarbon Greenhouse Gas Emissions
- Canadian regulations amending the ozone-depleting substances and halocarbon alternatives regulations

WARRANTIES

PAINT SYSTEM	PAINT SYSTEM	WINDOWS	HARDWARE
LIMITED LIFE WARRANTY	LIMITED 25YR WARRANTY	LIMITED 10YR WARRANTY	LIMITED 3YR WARRANTY

Models T42, 94V

Models T52,
1500, 76V

All Models

All Models

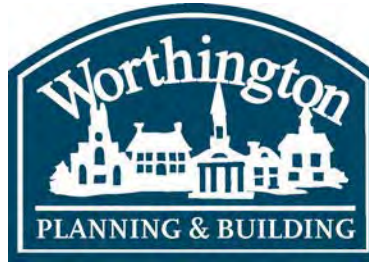


Model T42S, Short Traditional Panel with Plain Short Windows

CITY OF WORTHINGTON

DRAWING NO. ARB 0022-2023

DATE 04/10/2023



ARB APPLICATION
ARB 0099-2022
300 W. Dublin-Granville Rd.

Tabled 12-8-2022
 1-12-2023
 1-26-2023
 3-23-2023

Plan Type: Architectural Review Board	Project:	App Date: 04-14-2023 Revision
Work Class: Certificate of Appropriateness	District: City of Worthington	Exp Date:
Status: In Review		Completed:
Valuation: \$0.00		Approval
Description: The project is addition and renovations to Thomas Worthington High School.		Expire Date:

Parcel: 100-006617	Main	Address: 300 W Dublin-Granville Rd Worthington, OH 43085	Main	Zone:
---------------------------	------	--	------	--------------

Applicant Schorr Architects, Inc. Nathan Gammella 230 Bradenton Ave. Dublin, OH 43017 Business: 6147982096 Mobile: 4409152422	Current Property Owner Jeff Eble Business: (614) 450-6037
---	---

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003172	Architectural Review Board	\$200.00	\$200.00
Total for Invoice INV-00003172		\$200.00	\$200.00
Grand Total for Plan		\$200.00	\$200.00

Condition	Description	Date Created	Satisfied
No Build Document Must Be Reviewed	A no build document has been recorded for this parcel. Please review this document to ensure the permit cannot be issued.	06/29/2022	No
Building Code Variance On File	There is a building code variance on file that may affect future projects. Please check the parcel record.	07/13/2022	No

Thomas Worthington High School
Additions and Renovation
For 04.14.2023 Hearing

CITY OF WORTHINGTON

DRAWING NO. ARB 0099-2022

DATE 04/14/2023



**Thomas Worthington High School
ADDITIONS AND RENOVATION**

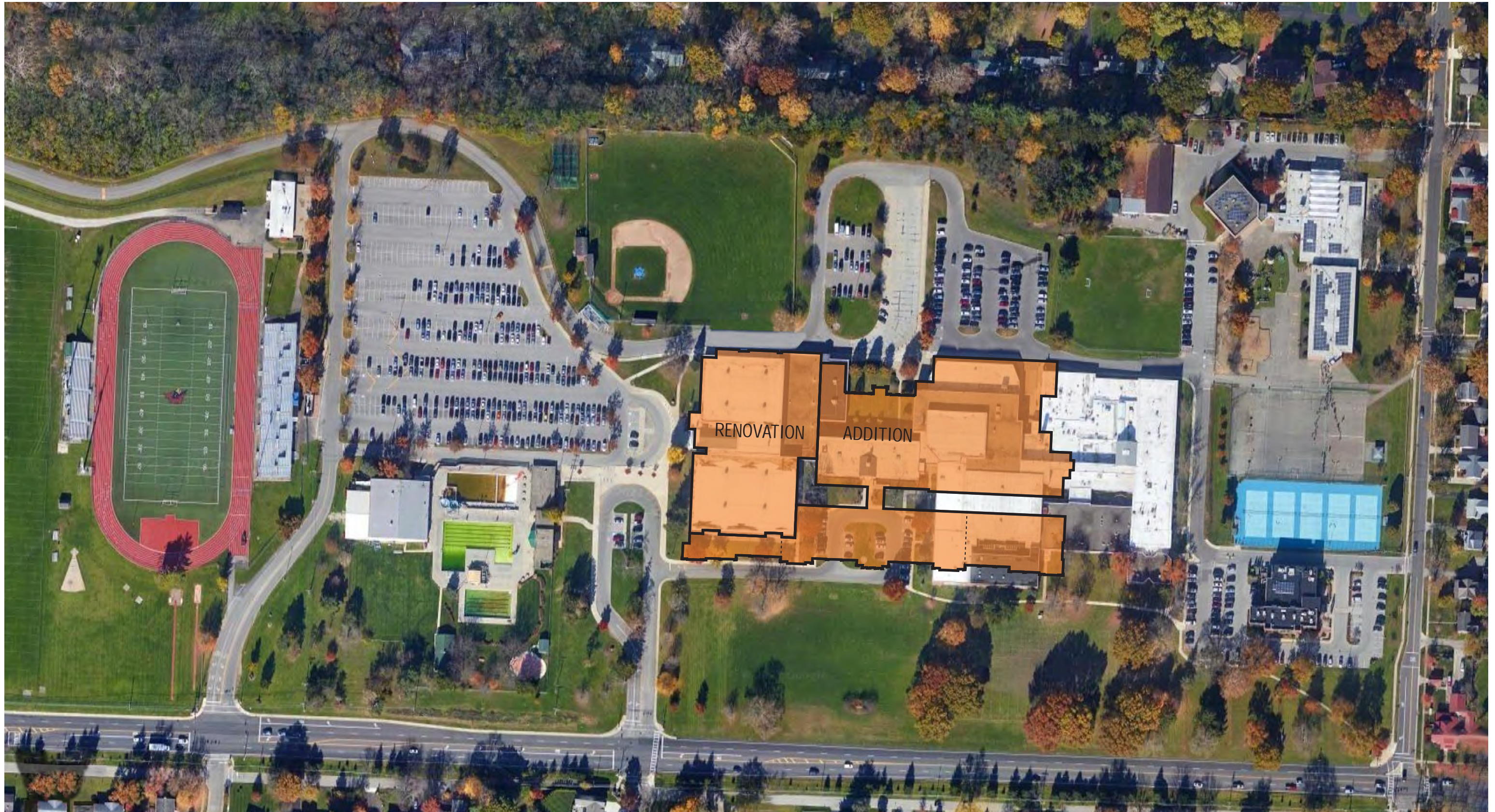
Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

SITE PLAN - EXISTING AERIAL

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023
CITY OF WORTHINGTON
DRAWING NO. ARB 0099-2022
DATE 04/14/2023





**Thomas Worthington High School
ADDITIONS AND RENOVATION**

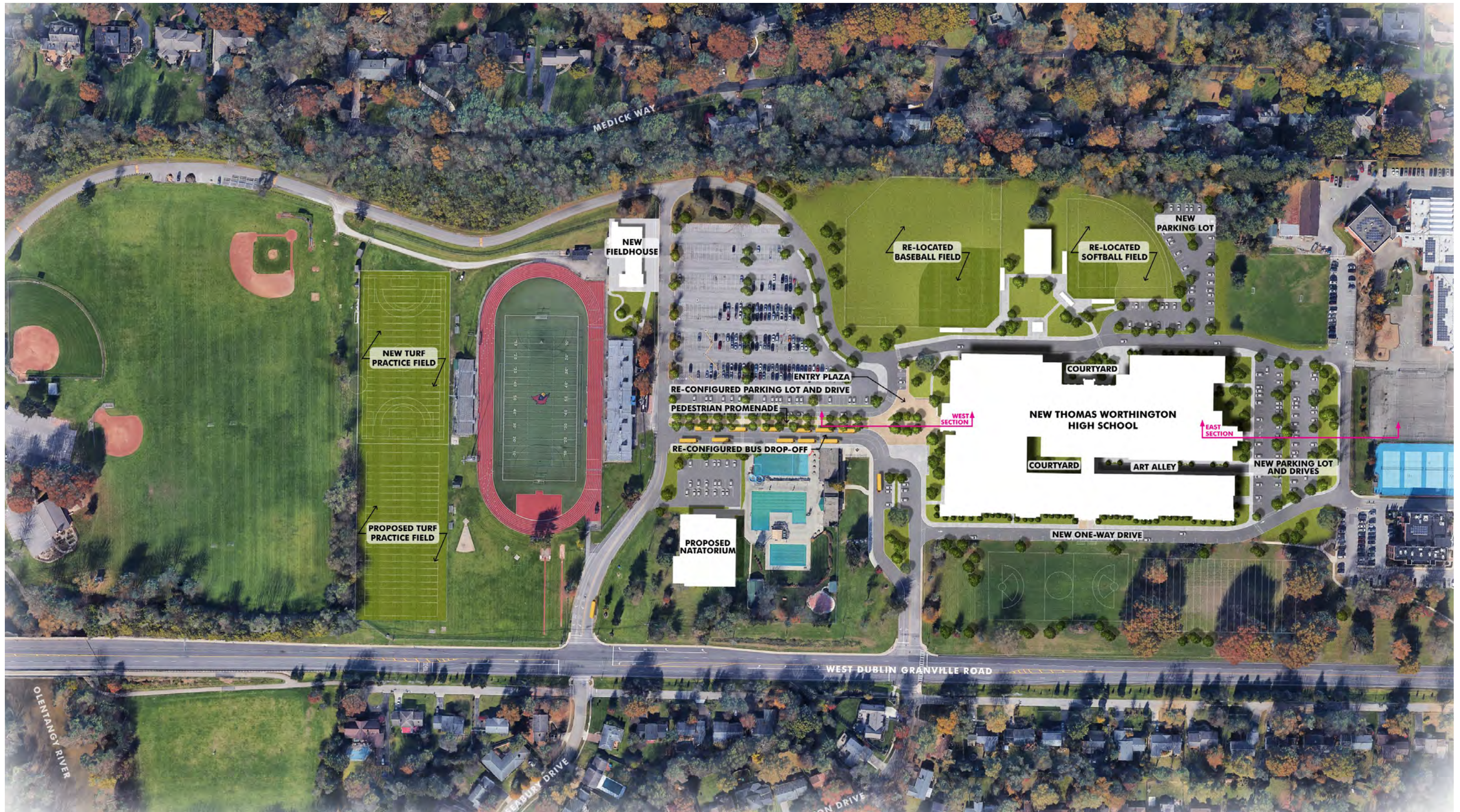
Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

**SITE PLAN - NEW FOOTPRINT OVER
EXISTING AERIAL**

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023
CITY OF WORTHINGTON
DRAWING NO. ARB 0099-2022
DATE 04/14/2023





Thomas Worthington High School ADDITIONS AND RENOVATION

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

SITE PLAN - RENDERED SITE PLAN FROM 01/12/23 HEARING

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

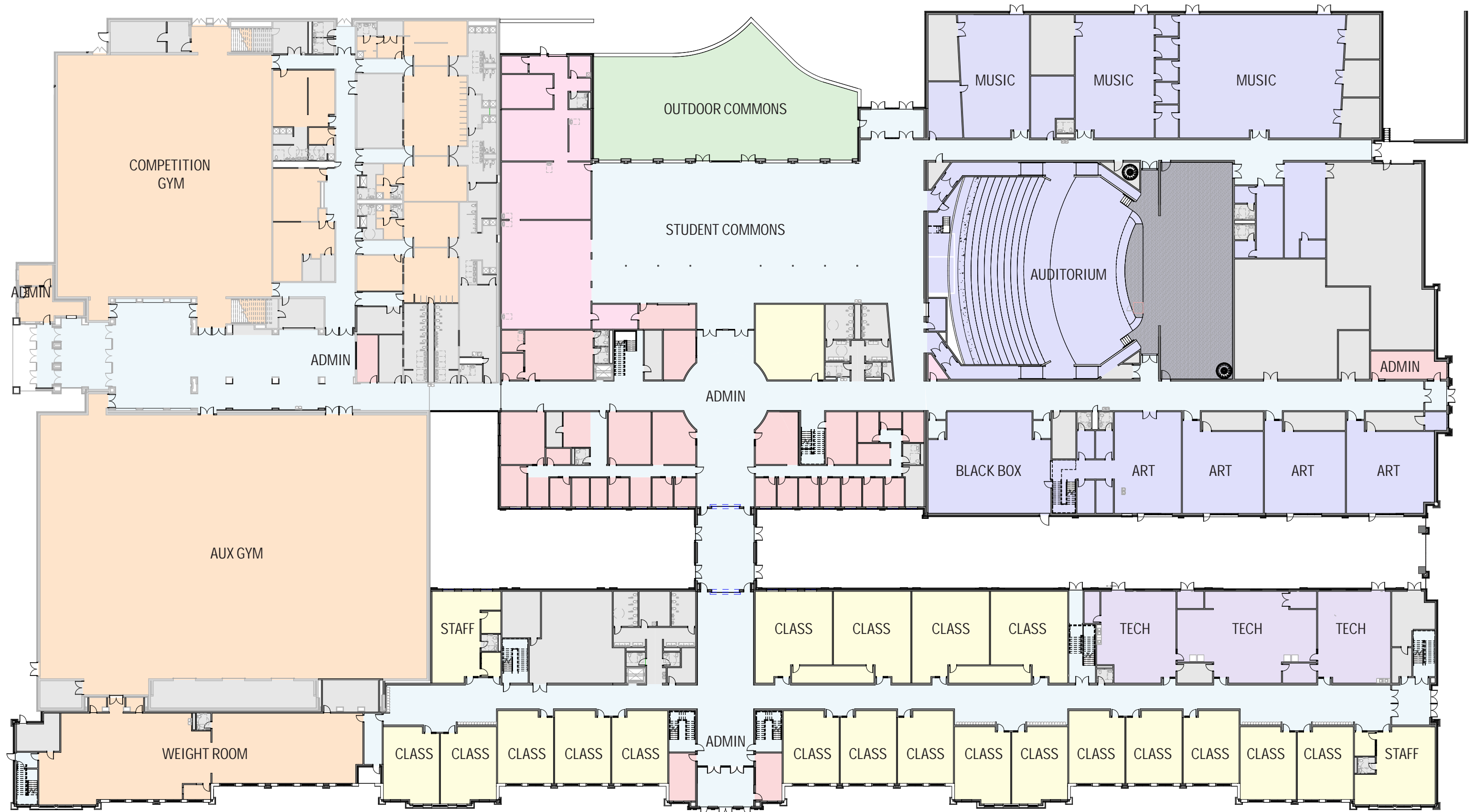
Sub. 04/14/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0099-2022

DATE 04/14/2023





**Thomas Worthington High School
ADDITIONS AND RENOVATION**

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

FLOOR PLAN - FIRST FLOOR

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0099-2022

DATE 04/14/2023





**Thomas Worthington High School
ADDITIONS AND RENOVATION**

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

FLOOR PLAN - SECOND FLOOR

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

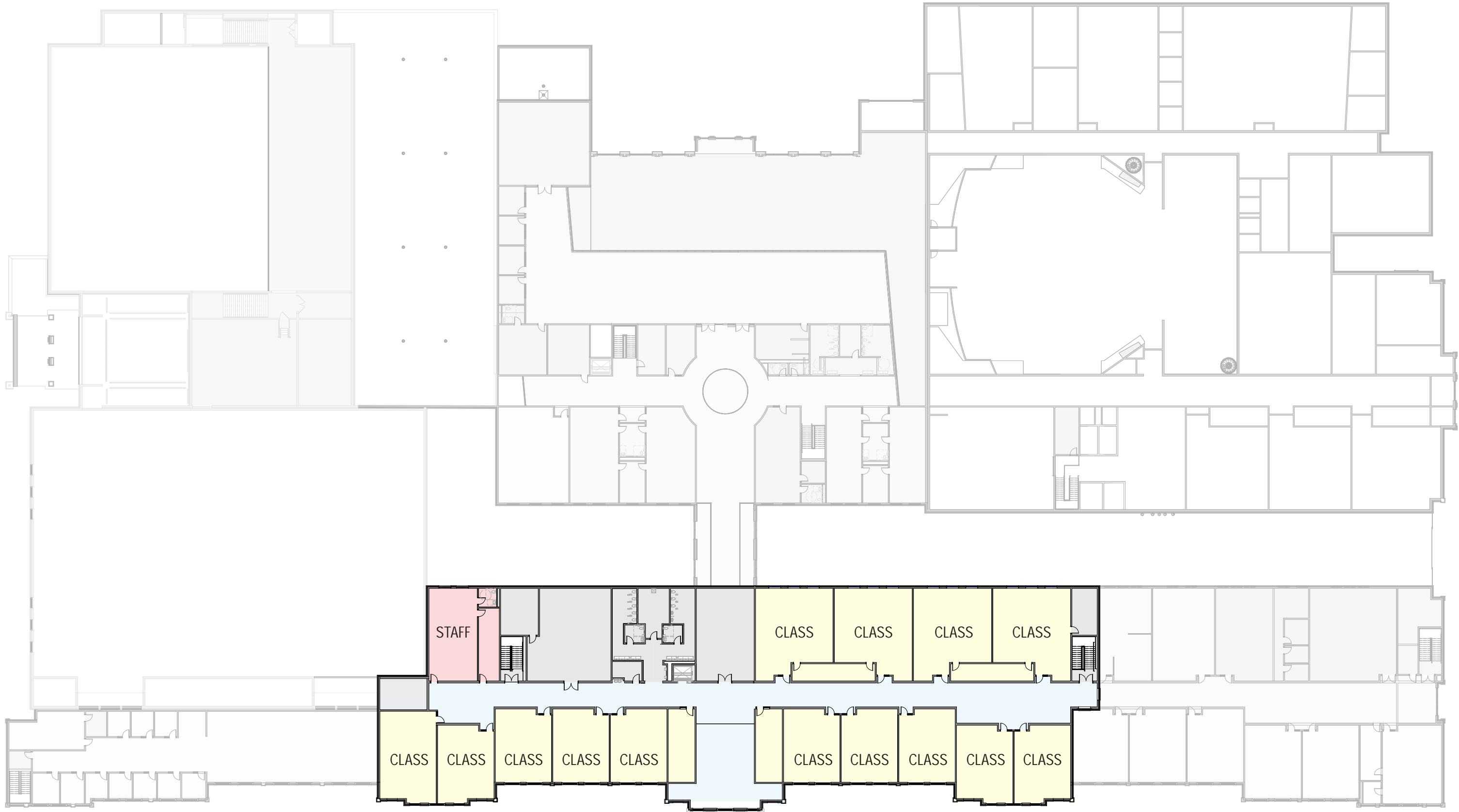
Sub. 04/14/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0099-2022

DATE 04/14/2023





**Thomas Worthington High School
ADDITIONS AND RENOVATION**

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

FLOOR PLAN - THIRD FLOOR

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023
CITY OF WORTHINGTON
DRAWING NO. ARB 0099-2022
DATE 04/14/2023





CITY OF WORTHINGTON
 DRAWING NO. ARB 0099-2022
 DATE 04/14/2023



**Thomas Worthington High School
 ADDITIONS AND RENOVATION**

Thomas Worthington High School
 300 WEST DUBLIN GRANVILLE RD.
 WORTHINGTON, OH 43085

ELEVATION - ADDITION SOUTH FACADE

CITY OF WORTHINGTON
 ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023





CITY OF WORTHINGTON
DRAWING NO. ARB 0099-2022
DATE 04/14/2023



**Thomas Worthington High School
ADDITIONS AND RENOVATION**

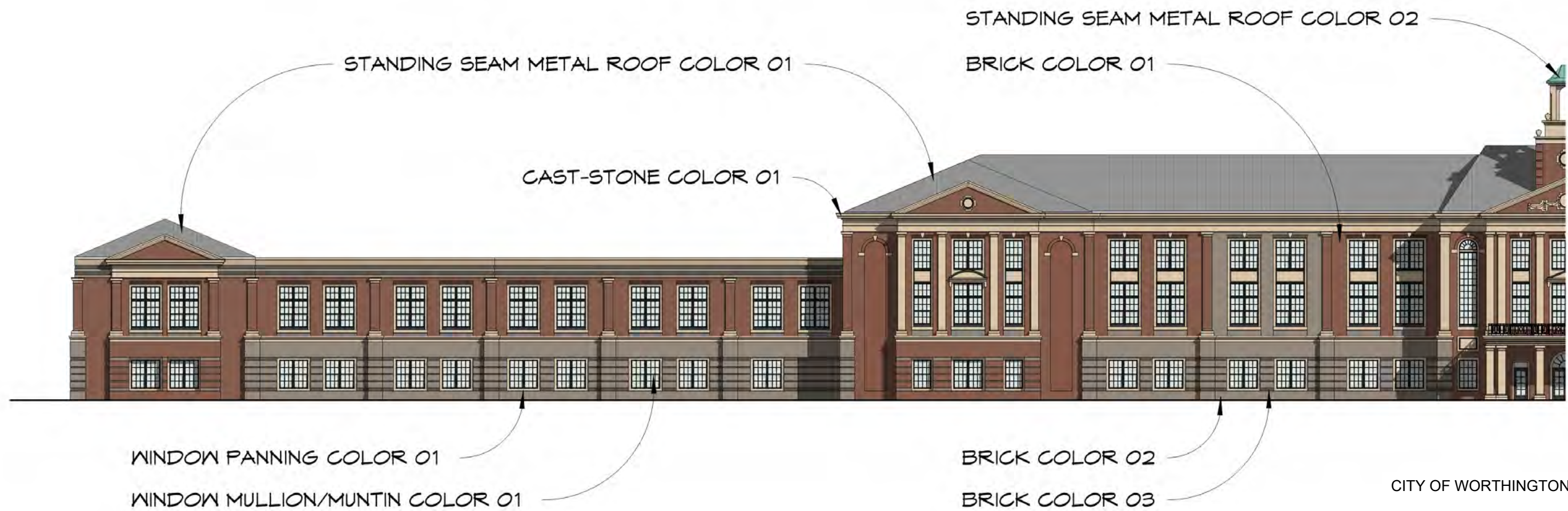
Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

ELEVATION - RENOVATED WEST FACADE

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023





CITY OF WORTHINGTON
DRAWING NO. ARB 0099-2022
DATE 04/14/2023



**Thomas Worthington High School
ADDITIONS AND RENOVATION**

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

ELEVATION - ADDITION NORTH FACADE

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023





CITY OF WORTHINGTON
DRAWING NO. ARB 0099-2022
DATE 04/14/2023



**Thomas Worthington High School
ADDITIONS AND RENOVATION**

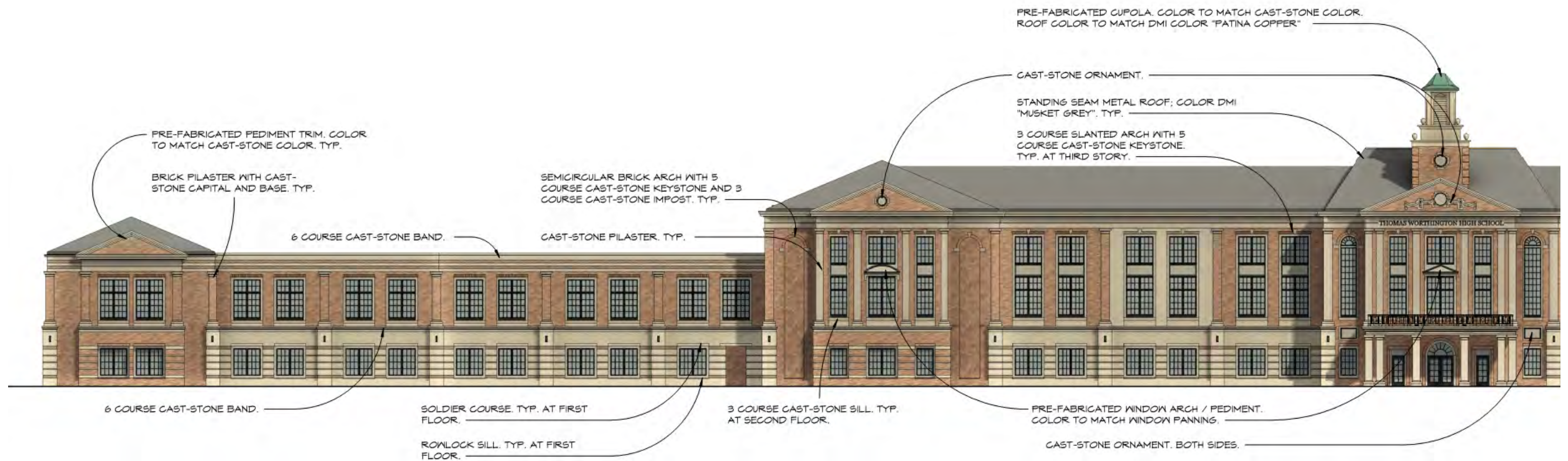
Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

ELEVATION - ADDITION EAST FACADE

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023





CITY OF WORTHINGTON
DRAWING NO. ARB 0099-2022
DATE 04/14/2023



Thomas Worthington High School ADDITIONS AND RENOVATION

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

MATERIAL INFORMATION

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023



	MANUFACTURER	DESCRIPTION
BRICK COLOR 01	BELDEN	BASIS OF DESIGN: BELCREST 760
BRICK COLOR 02	BELDEN	BASIS OF DESIGN: SAXONY BLEND A
BRICK COLOR 03	BELDEN	BASIS OF DESIGN: GARNET BLEND
CAST-STONE COLOR 01	READING ROCK	BASIS OF DESIGN COLOR: CHARLOTTE TAN
STANDING SEAM METAL ROOF COLOR 01	DMI	BASIS OF DESIGN COLOR: MUSKET GREY
STANDING SEAM METAL ROOF COLOR 02	DMI	BASIS OF DESIGN COLOR: HEMLOCK GREEN
WINDOW PANNING COLOR 01	PPG	BASIS OF DESIGN COLOR: SAHARA SAND
WINDOW MULLION/MUNTIN COLOR 01	PPG	BASIS OF DESIGN COLOR: BLACK

CITY OF WORTHINGTON
DRAWING NO. ARB 0099-2022
DATE 04/14/2023



**Thomas Worthington High School
ADDITIONS AND RENOVATION**

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

RENDER - VISITOR ENTRY

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023





**Thomas Worthington High School
ADDITIONS AND RENOVATION**

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

RENDER - VISITOR PARKING 01

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0099-2022

DATE 04/14/2023





**Thomas Worthington High School
ADDITIONS AND RENOVATION**

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

RENDER - VISITOR PARKING 02

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0099-2022

DATE 04/14/2023





**Thomas Worthington High School
ADDITIONS AND RENOVATION**

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

RENDER - VISITOR PARKING 03

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0099-2022

DATE 04/14/2023





**Thomas Worthington High School
ADDITIONS AND RENOVATION**

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

ELEVATION - WEST FACADE 01

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0099-2022

DATE 04/14/2023





**Thomas Worthington High School
ADDITIONS AND RENOVATION**

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

RENDERING - SOUTH AERIAL

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023
CITY OF WORTHINGTON
DRAWING NO. ARB 0099-2022
DATE 04/14/2023





**Thomas Worthington High School
ADDITIONS AND RENOVATION**

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

RENDERING - SOUTH FACADE FROM 161

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0099-2022

DATE 04/14/2023





**Thomas Worthington High School
ADDITIONS AND RENOVATION**

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

**RENDERING - SOUTH FACADE FROM
VISITOR ENTRY**

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023
CITY OF WORTHINGTON
DRAWING NO. ARB 0099-2022
DATE 04/14/2023





**Thomas Worthington High School
ADDITIONS AND RENOVATION**

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

**RENDERING - SOUTH FACADE FROM
VISITOR PARKING 01**

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0099-2022

DATE 04/14/2023





**Thomas Worthington High School
ADDITIONS AND RENOVATION**

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

**RENDERING - SOUTH FACADE FROM
VISITOR PARKING 02**

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0099-2022

DATE 04/14/2023





**Thomas Worthington High School
ADDITIONS AND RENOVATION**

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

RENDERING - MINOR FACADE

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0099-2022

DATE 04/14/2023





**Thomas Worthington High School
ADDITIONS AND RENOVATION**

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

RENDERING - SOUTH FACADE FROM FIELD

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0099-2022

DATE 04/14/2023





**Thomas Worthington High School
ADDITIONS AND RENOVATION**

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

RENDERING - SOUTH WEST AERIAL

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0099-2022

DATE 04/14/2023





**Thomas Worthington High School
ADDITIONS AND RENOVATION**

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

RENDERING - WEST AERIAL 01

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0099-2022

DATE 04/14/2023





**Thomas Worthington High School
ADDITIONS AND RENOVATION**

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

RENDERING - WEST AERIAL 02

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0099-2022

DATE 04/14/2023





**Thomas Worthington High School
ADDITIONS AND RENOVATION**

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

RENDERING - WEST PROMENADE 01

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0099-2022

DATE 04/14/2023





**Thomas Worthington High School
ADDITIONS AND RENOVATION**

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

RENDERING - WEST PROMENADE 02

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0099-2022

DATE 04/14/2023





**Thomas Worthington High School
ADDITIONS AND RENOVATION**

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

RENDERING - WEST FACADE 01

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0099-2022

DATE 04/14/2023





**Thomas Worthington High School
ADDITIONS AND RENOVATION**

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

RENDERING - WEST FACADE 02

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0099-2022

DATE 04/14/2023





**Thomas Worthington High School
ADDITIONS AND RENOVATION**

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

RENDERING - NORTH WEST AERIAL

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0099-2022

DATE 04/14/2023





**Thomas Worthington High School
ADDITIONS AND RENOVATION**

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

RENDERING -NORTH AERIAL

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0099-2022

DATE 04/14/2023





**Thomas Worthington High School
ADDITIONS AND RENOVATION**

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

RENDERING - NORTH FACADE

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0099-2022

DATE 04/14/2023





**Thomas Worthington High School
ADDITIONS AND RENOVATION**

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

RENDERING - NORTH EAST AERIAL

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023
CITY OF WORTHINGTON
DRAWING NO. ARB 0099-2022
DATE 04/14/2023





**Thomas Worthington High School
ADDITIONS AND RENOVATION**

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

RENDERING - EAST AERIAL

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0099-2022

DATE 04/14/2023





**Thomas Worthington High School
ADDITIONS AND RENOVATION**

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

**RENDERING - EAST ELEVATION FROM
EVENING ST. ELEMENTARY**

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0099-2022

DATE 04/14/2023





**Thomas Worthington High School
ADDITIONS AND RENOVATION**

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

**RENDERING - EAST ELEVATION FROM
EAST DRIVE**

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0099-2022

DATE 04/14/2023





**Thomas Worthington High School
ADDITIONS AND RENOVATION**

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

**RENDERING - EAST ELEVATION FROM
UPPER PARKING LOT**

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0099-2022

DATE 04/14/2023





**Thomas Worthington High School
ADDITIONS AND RENOVATION**

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

RENDERING - EAST ELEVATION 01

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0099-2022

DATE 04/14/2023





**Thomas Worthington High School
ADDITIONS AND RENOVATION**

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

RENDERING - EAST ELEVATION 02

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 04/14/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0099-2022

DATE 04/14/2023





ARB APPLICATION ARB 0026-2023 590 Morning St.

Plan Type: Architectural Review Board	Project:	App Date: 04/14/2023
Work Class: Certificate of Appropriateness	District: City of Worthington	Exp Date:
Status: In Review		Completed:
Valuation: \$175,000.00		Approval
		Expire Date:

Description:

1. Conversion of existing attached 2 car garage to new finished living space.
2. Addition of new attached 2 car garage and single vehicle carport.
3. Addition of new entry and porch to South elevation.
4. Modifications to existing front porch to expand and architectural detailing consistent with remainder of house.
5. New wooden fence to screen landscape area and refuse containers as required.
6. Typical siding, painting, and finished exterior materials as required

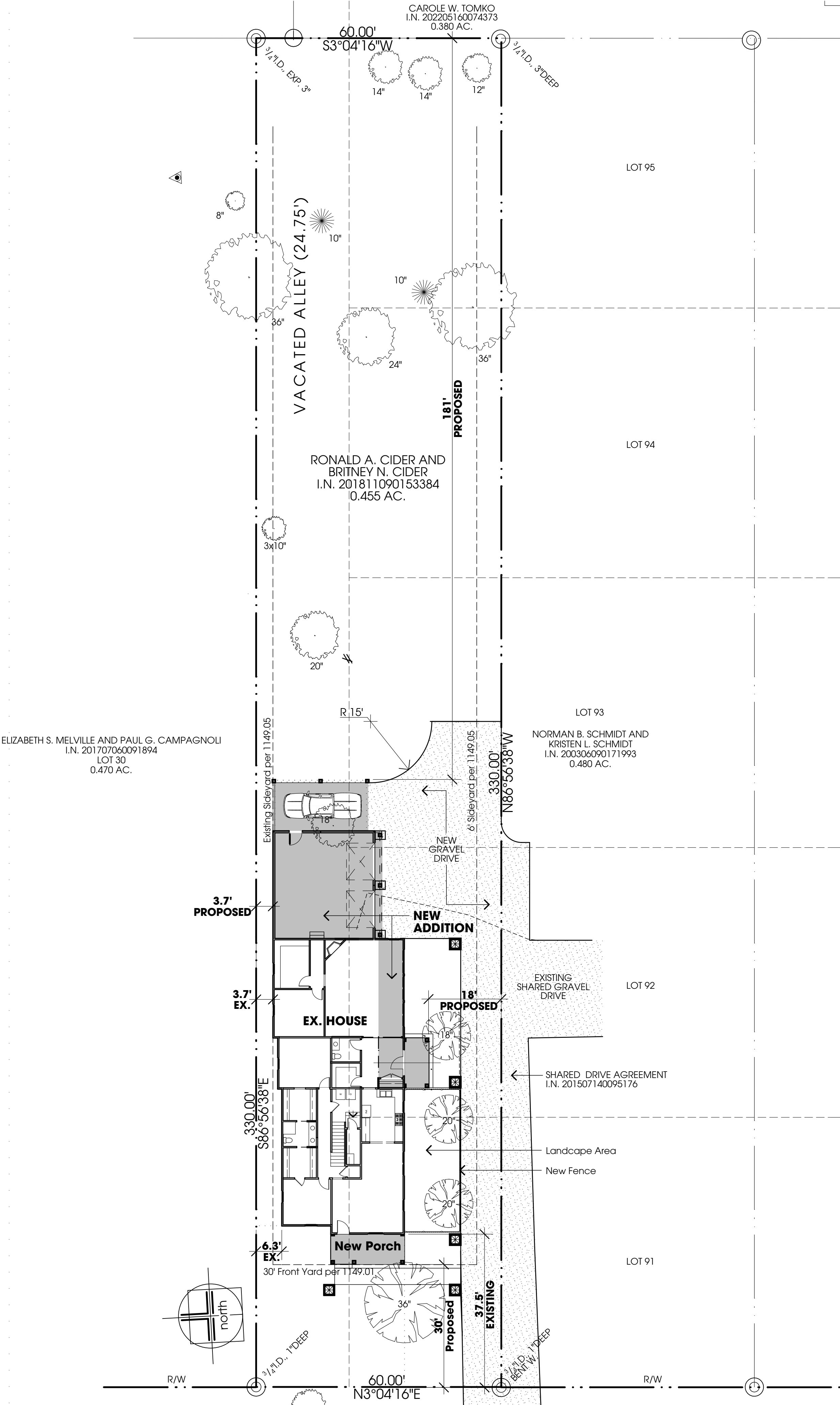
Parcel: 100-000880	Main	Address: 590 Morning St Worthington, OH 43085	Main	Zone: R-10(Low Density Residence)
---------------------------	------	---	------	--

Architect Dustin A Mondrach 300 E. Long St. Columbus, OH 43215 Mobile: 614-596-8514	Applicant / Owner Britney Cider 590 MORNING ST Worthington , OH 43085 Mobile: (614) 314-7063	Owner Ron Cider 590 MORNING ST Worthington , OH 43085 Mobile: (614) 394-2180
---	--	--

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003747	Architectural Review Board	\$175.00	\$175.00
Total for Invoice INV-00003747		\$175.00	\$175.00
Grand Total for Plan		\$175.00	\$175.00

590 Morning St.

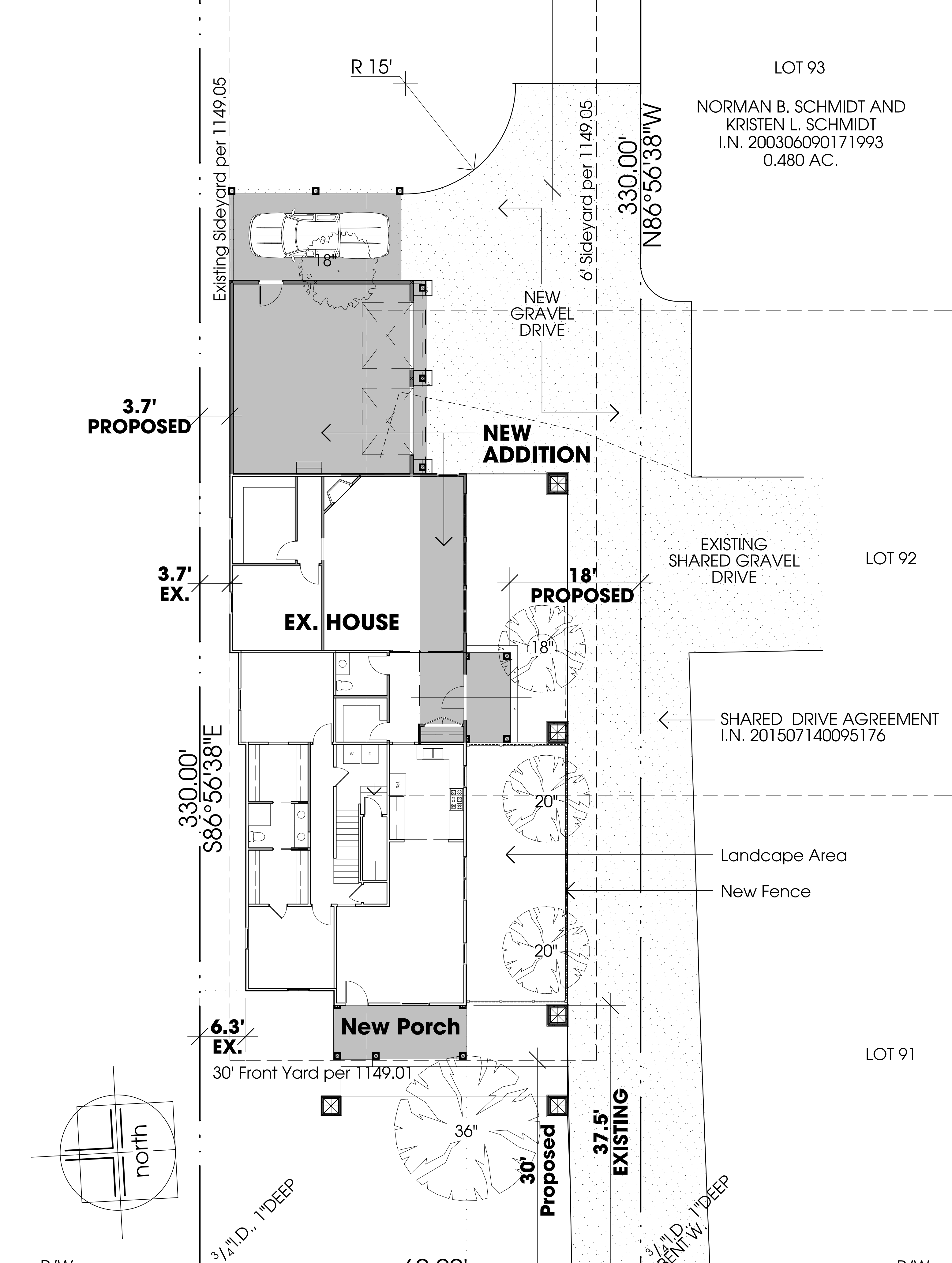




Site Plan
Scale: 1/16" = 1'-0"

MORNING ST (50')

CITY OF WORTHINGTON
DRAWING NO. ARB 0026-2023
DATE 04/14/2023



Site Plan Detail
Scale: 1/8" = 1'-0"

Cider Residence Garage Addition & Remodel

590 Morning St • Worthington • OH • 43085

MILHOAN
architects
LLC

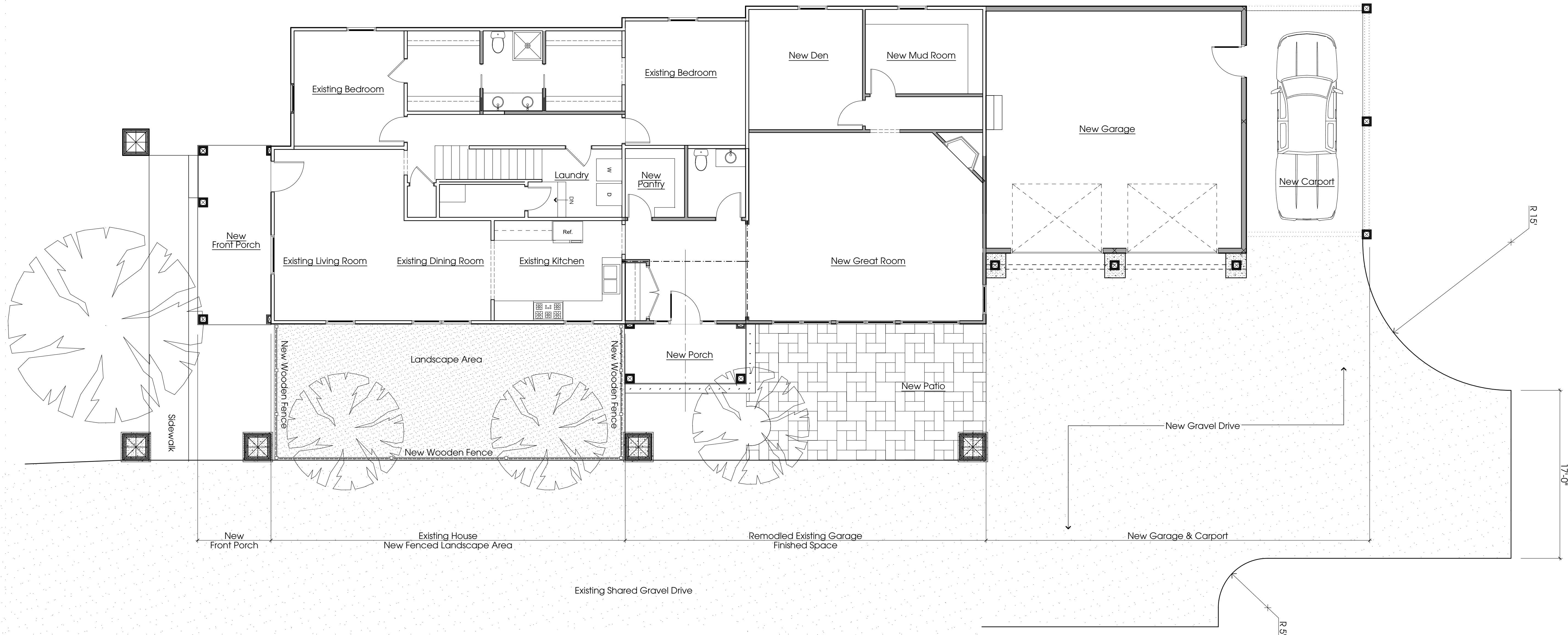
Long Street Studio • 300 East Long Street
Columbus, Ohio 43215 • 614.222.5000

DRAWN By: DAM / AIC
CHECKED By:
PROJECT NO.: CDR-01
DATE: 01.23.23
REVISIONS:

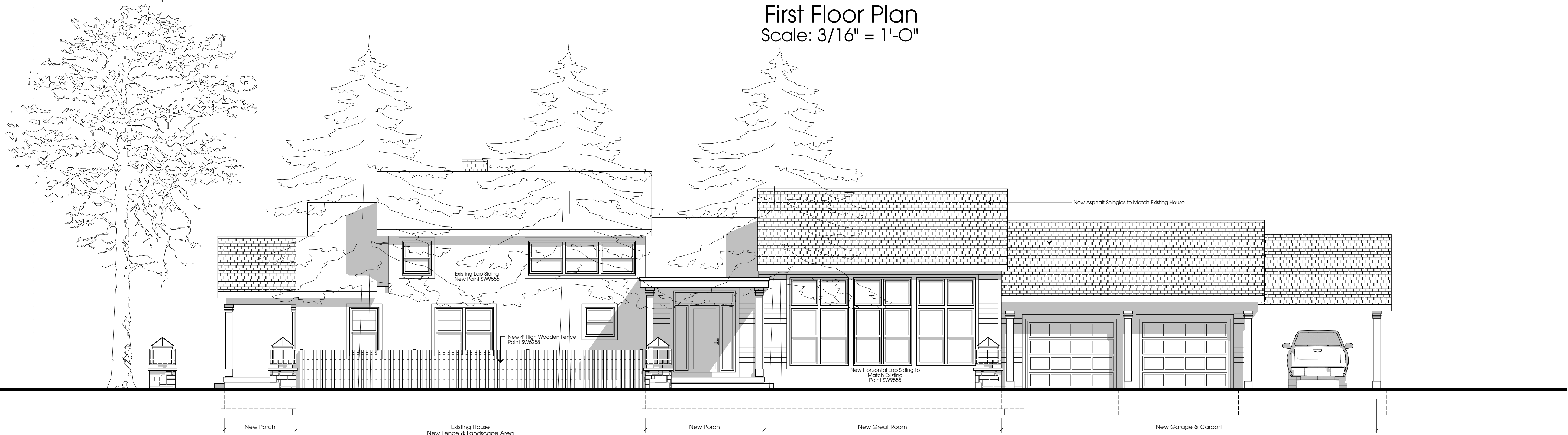
OF SHEETS

C2

© 2023 MILHOAN architects LLC
This material is the property of
MILHOAN architects LLC.
Reproduction (except by those
governmental agencies required
by law) in whole or in part is
expressly forbidden without
permission in writing from
MILHOAN architects LLC.



First Floor Plan
Scale: 3/16" = 1'-0"



Right Elevation
Scale: 3/16" = 1'-0"

© 2023 MILHOAN architects LLC
This material is the property of
MILHOAN architects LLC.
Reproduction (except by those
governmental agencies required
by law) in whole or in part is
expressly forbidden without
permission in writing from
MILHOAN architects LLC.

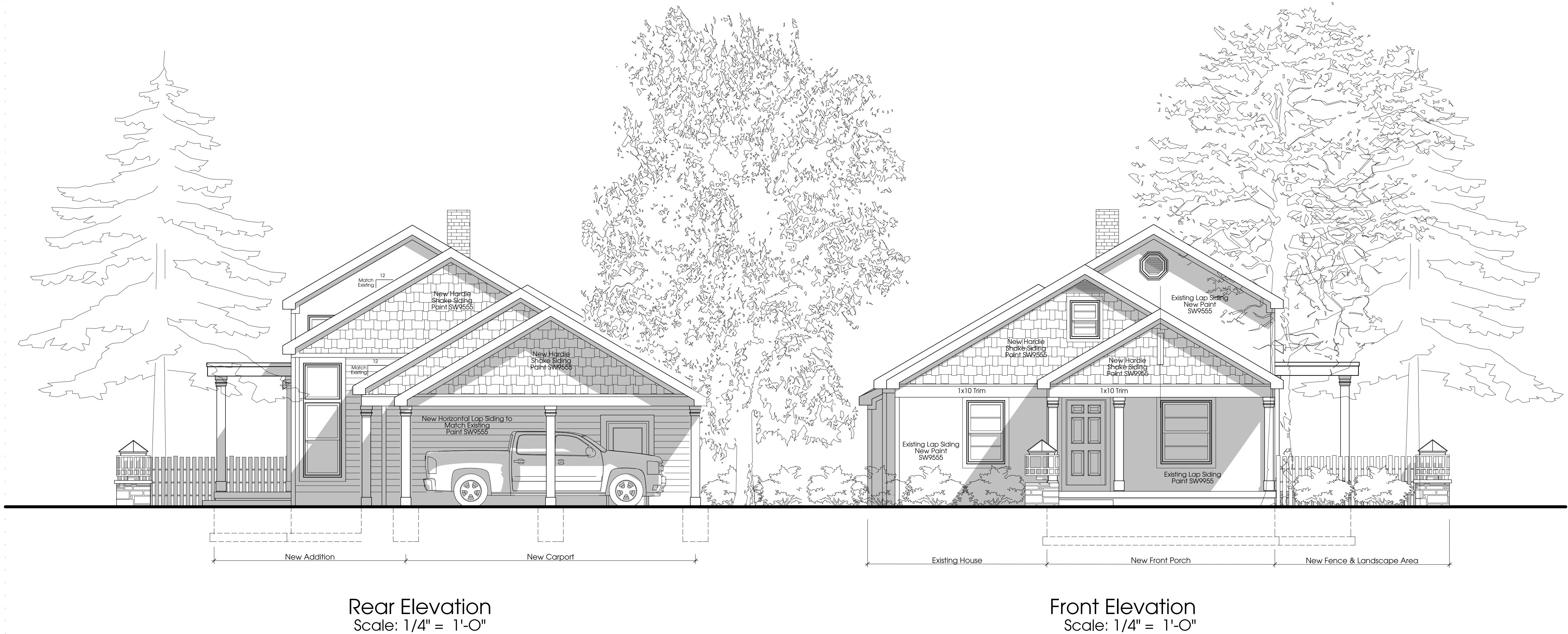
Cider Residence
Garage Addition & Remodel
590 Morning St • Worthington • OH • 43085

MILHOAN
architects
LLC

Long Street Studio • 300 East Long Street
Columbus, Ohio 43215 • 614 • 222 • 5001

DRAWN By: DAM / AIC
CHECKED By:
PROJECT NO.: CDR-01
DATE: 01.23.23
REVISIONS:

A4



Rear Elevation
Scale: 1/4" = 1'-0"

Front Elevation
Scale: 1/4" = 1'-0"

© 2023 MILHOAN architects LLC
This material is the property of
MILHOAN architects LLC.
Reproduction (except by those
governmental agencies required
by law) in whole or in part is
expressly forbidden without
permission in writing from
MILHOAN architects LLC.

Cider Residence
Garage Addition & Remodel
590 Morning St • Worthington • OH • 43085

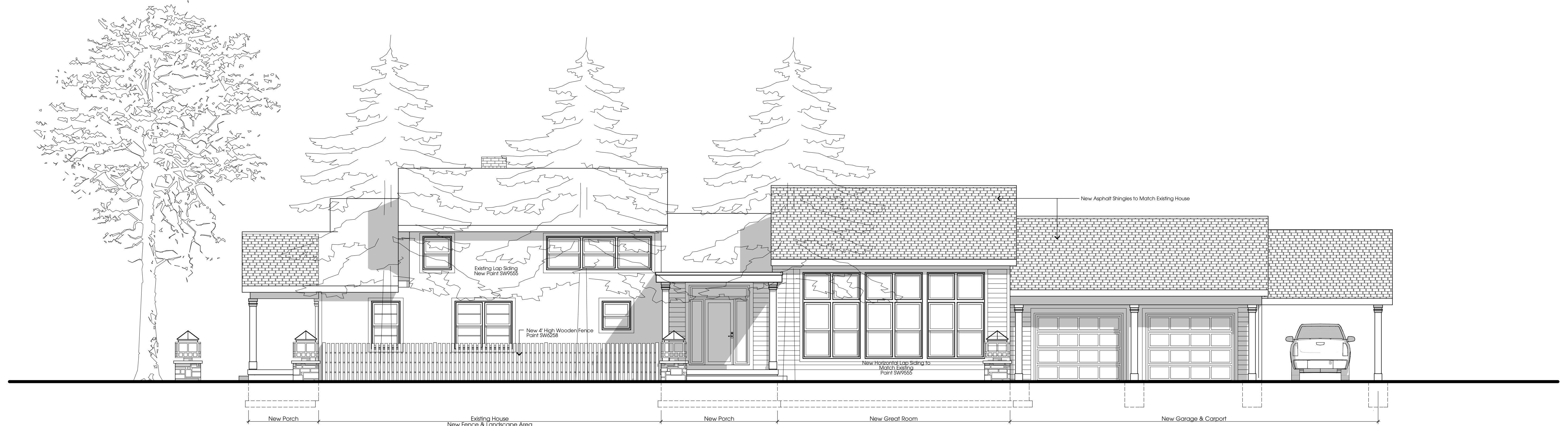
MILHOAN
architects
LLC

Long Street Studio • 300 East Long Street
Columbus, Ohio 43215 • 614 • 222 • 5000

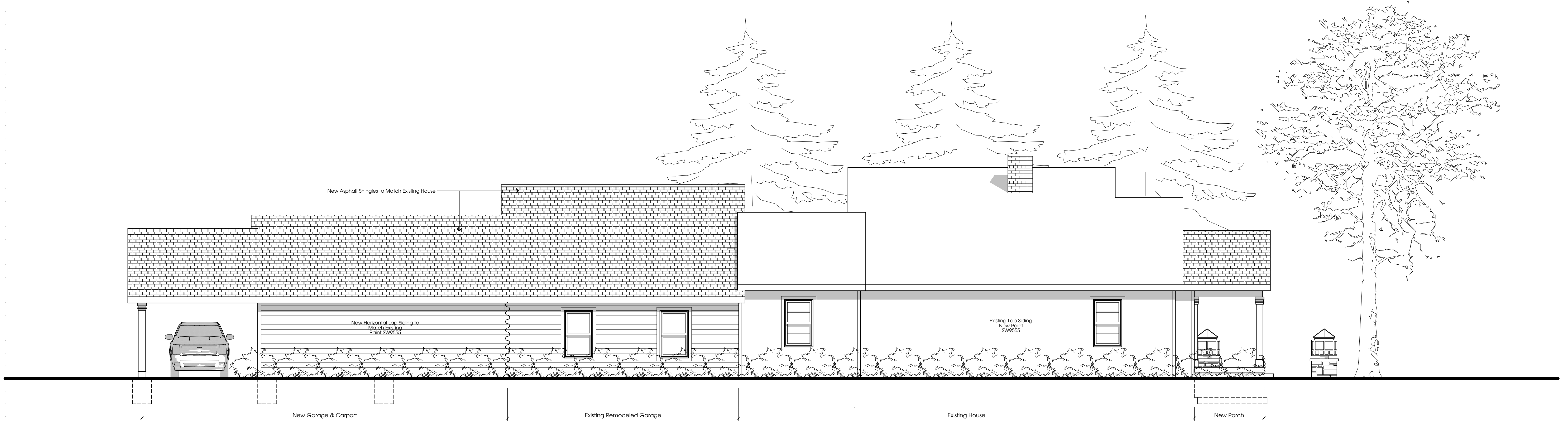
DRAWN By: DAM / AIC
CHECKED By:
PROJECT NO.: CDR-01
DATE: 01.23.23
REVISIONS:

A5

OF SHEETS



Right Elevation
Scale: 1/4" = 1'-0"



Left Elevation
Scale: 1/4" = 1'-0"

12:07



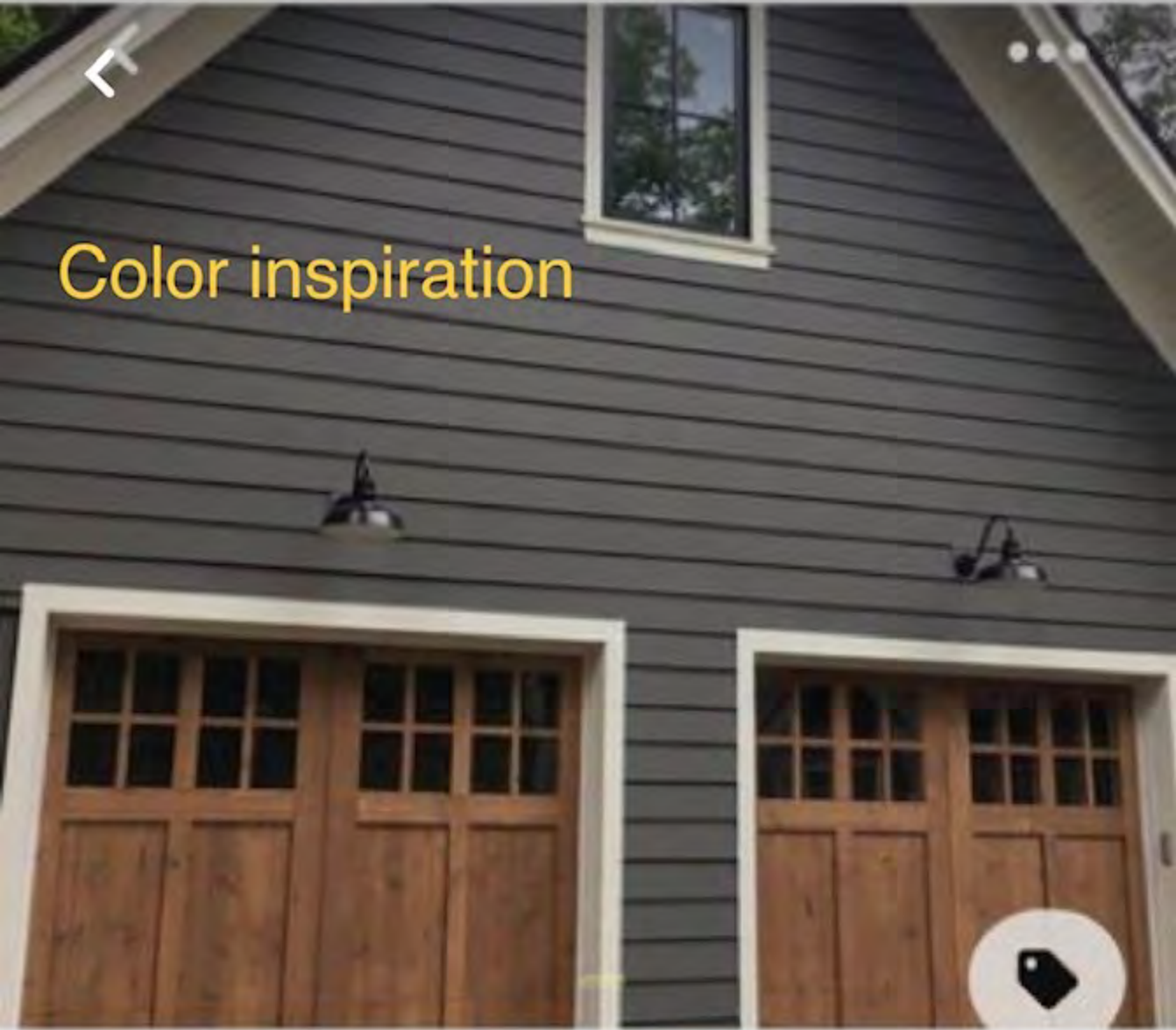
Seamless Visualizer

Created with

COLORSNAP | VISUALIZER



Color inspiration



SW 9555
Storm Warning
ColorSnap Studio

SW 9100
Umber Rust
ColorSnap Studio
Locator Number: 202-C7

SW 9594
Settlement
ColorSnap Studio

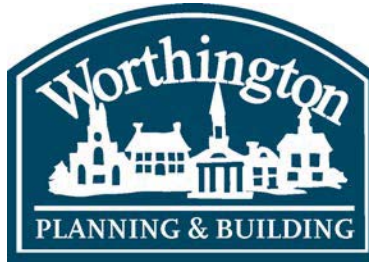
SW 6258
Tricorn Black
ColorSnap Studio
Locator Number: 251-C1

SW 7710
Brandywine
Trusted Collections: Timeless
Locator Number: 287-C7

SW 7076
Cyberspace
ColorSnap Studio
Locator Number: 235-C7

SW 2840
ed Silver
Collections: Historic





ARB APPLICATION ARB 0027-2023 688 Hartford St.

Plan Type:	Architectural Review Board	Project:		App Date:	04/14/2023
Work Class:	Certificate of Appropriateness	District:	City of Worthington	Exp Date:	
Status:	In Review			Completed:	
Valuation:	\$2,000.00			Approval	
				Expire Date:	

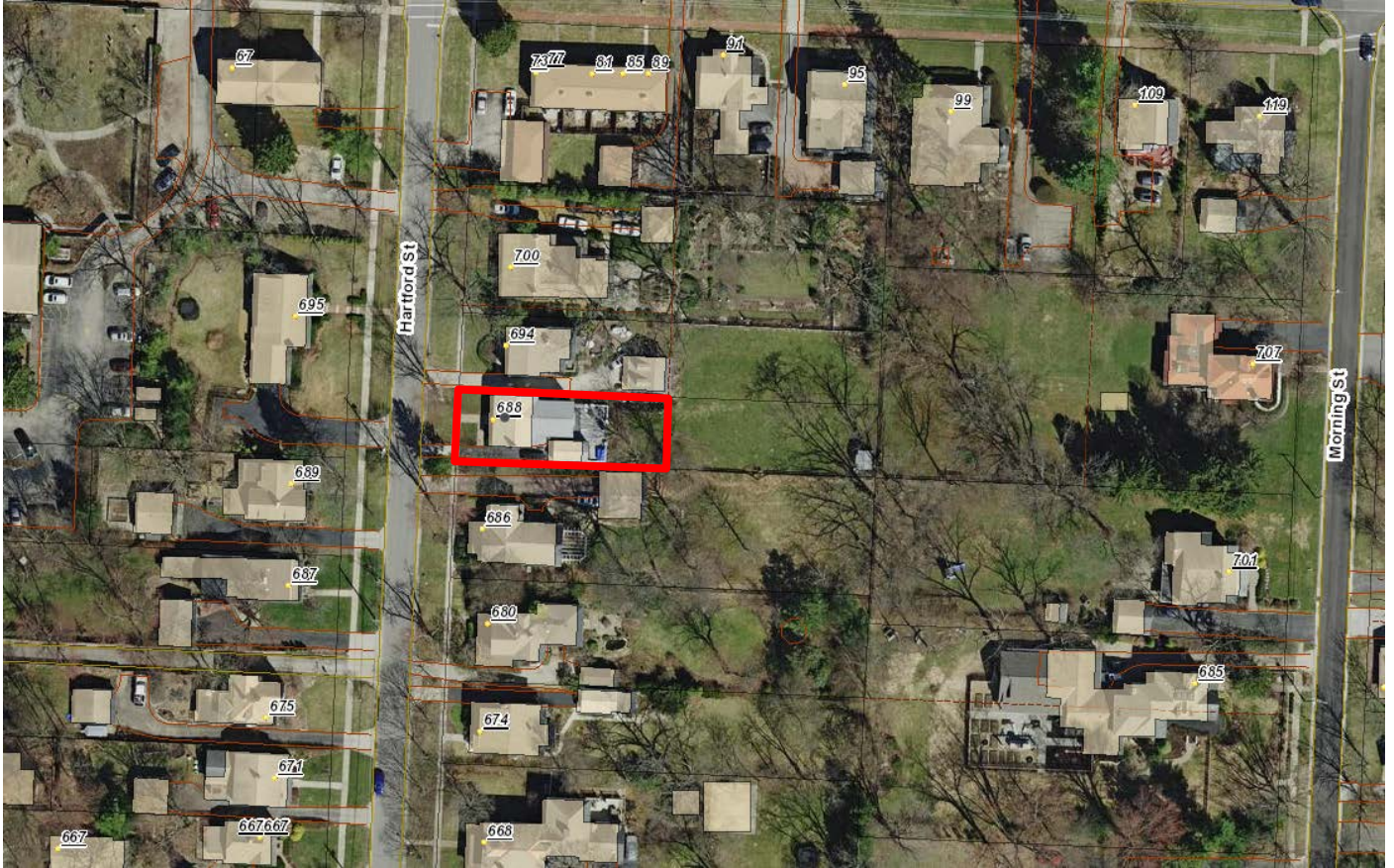
Description: In December 2022, the ARB and zoning department approved and permitted a hot tub that we installed on an existing patio behind our home. We considered this a temporary location until we could install a permanent foundation and relocate the tub adjacent to our paver patio. We are requesting a permit and approval to install a concrete pad and relocate the hot tub to the southern property line. We also are requesting a five-foot variance to place the hot tub five feet from the southern property line, rather than ten feet. The new location is screened (not visible) by our southern neighbor's garage and the 10-15 feet high arborvitae trees planted on the property line. To provide screening from the north, we are proposing a purpose-built and sized privacy fence/wall that would be the length of the hot tub pad (8.5 feet) and have horizontal cedar boards. This fence/wall would only partially obstruct the northern neighbors view of our southern neighbors' garage. We would opt for a natural / plant screen here, however, the hot tub location will be shaded underneath a large tree – presently challenges with plant growth. We have also contacted a landscaping company about planting additional trees along the northern property line to offer additional screening. There is a small buckeye tree that presents a challenge to fully screen the view, but we will likely plant a few additional arborvitae trees in addition to the proposed privacy fence. Finally, to provide walking access to the new hot tub location we will install a large-paver walkway just below our existing patio leading over to the new hot tub location. Since the grass won't grow in foot space below the patio anyway this is would be a great addition anyway.

Parcel:	100-000587	Main	Address:	688 Hartford St Worthington, OH 43085	Main	Zone:	R-10(Low Density Residence)
----------------	------------	------	-----------------	--	------	--------------	-----------------------------

Applicant / Owner	Owner
Marcus W Hitt	Rebecca M Hitt
688 HARTFORD ST	688 HARTFORD ST
Worthington , OH 43085	Worthington , OH 43085
Mobile: (937) 541-5428	Home: 6144069950

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003748	Architectural Review Board	\$2.00	\$2.00
		Total for Invoice INV-00003748	\$2.00
		Grand Total for Plan	\$2.00

688 Hartford St.



Hitt Zoning and Architecture Review Board Application

688 Hartford Street

April 2023

Submitted by:

Marcus W. Hitt
Rebecca M. Hitt

Project Overview

In December 2022, the ARB and zoning department approved and permitted a hot tub that we installed on an existing patio behind our home. We considered this a temporary location until we could install a permanent foundation and relocate the tub adjacent to our paver patio.

We are requesting a permit and approval to install a concrete pad and relocate the hot tub to the southern property line. We also are requesting a five-foot variance to place the hot tub five feet from the southern property line, rather than ten feet.

The new location is screened (not visible) by our southern neighbor's garage and the 10-15 feet high arborvitae trees planted on the property line.

To provide screening from the north, we are proposing a purpose-built and sized privacy fence/wall that would be the length of the hot tub pad (8.5 feet) and have horizontal cedar boards. This fence/wall would only partially obstruct the northern neighbors view of our southern neighbors' garage. We would opt for a natural / plant screen here, however, the hot tub location will be shaded underneath a large tree – presently challenges with plant growth. We have also contacted a landscaping company about planting additional trees along the northern property line to offer additional screening. There is a small buckeye tree that presents a challenge to fully screen the view, but we will likely plant a few additional arborvitae trees in addition to the proposed privacy fence.

Finally, to provide walking access to the new hot tub location we will install a large-paver walkway just below our existing patio leading over to the new hot tub location. Since the grass won't grow in foot space below the patio anyway this is would be a great addition anyway.

Project Details

Placement

Hot tub will be placed five feet from the southern property line, four feet east of our existing patio.

Concrete pad installation

Pad will be 8.5 feet long and 7 feet wide.

Privacy fence installation

66-inch-high cedar privacy fence that would be the length of the hot tub pad (8.5 feet) and have horizontal 4 inch cedar boards spaced 2-3 inches apart, whichever we can get approved

Walkway installation

Four feet wide with river rock and large 3 feet paver spaced by 6-10 inches.

Electrical

Previously installed and inspected: 50-amp GFCI breaker spa box placed over 5' away, in line of sight of hot tub.

View from behind house

Shows placement of hot tub.



Style of privacy fence

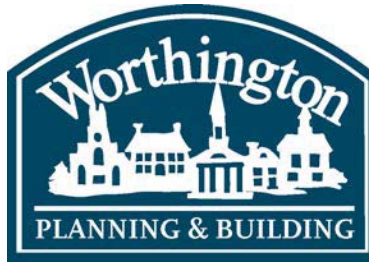
Shows an example picture of desired installation.



Style of paver walkway

Shows an example picture of desired installation. We would opt for smaller a rock-size.





ARB APPLICATION ARB 0021-2023 7105 N. High St.

Plan Type:	Architectural Review Board	Project:		App Date:	04/06/2023
Work Class:	Certificate of Appropriateness	District:	City of Worthington	Exp Date:	
Status:	In Review			Completed:	
Valuation:	\$40,000.00			Approval	
Description:	Maple Street Biscuit Company - New Exterior Signage - New Patio Furniture - New Patio Railing				

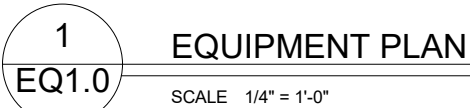
Parcel:	100-006793	Main	Address:	7105 N High St Worthington, OH 43085	Main	Zone:	
----------------	------------	------	-----------------	---	------	--------------	--

Owner	Tenant	Applicant
High Gateway LLC	Jensi Wherley	Tyler Jackson
600 Enterprise Dr.	7105 N HIGH ST	14901 Quorum Drive Suite 300
Lewis Center, OH 43035	Worthington , OH 43085	Dallas, TX 75254
	Business: (615) 354-3472	Mobile: (260) 417-7932

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003732	Architectural Review Board	\$40.00	\$40.00
Total for Invoice INV-00003732		\$40.00	\$40.00
Grand Total for Plan		\$40.00	\$40.00

7105 N. High St.





PW803

PERMA-WOOD™ TAN OUTDOOR

Our Perma-wood™ Outdoor is always cool to the touch. It is designed wide and comfortable, in a range of sizes.

PW-80318A



PW-80318



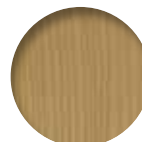
PW80330



PW803TT



PW803TT
3048UMB



Natural
Pressed Faux
Teak - Tan

PW803TT
3636 w/ Corner
Legs



STOCKED CONFIGURATIONS

MODEL	DESCRIPTION	WT.
PW80318	Side Chair	12 lbs
PW80318A	Arm Chair	14 lbs
PW80330	Barstool	14 lbs
PW803TT-2424	24" x 24" Flip Table Unit	30 lbs
PW803TT-3030	30" x 30" Flip Table Unit	50 lbs
PW803TT-3048*	30" x 48" Table w/ H Base	60 lbs
PW803TT-3636*	36" x 36" w/ Corner Legs	60 lbs

*Include Umbrella holes with grommet and cap

FINISHES



Champagne
Frame



Natural Teak - Pressed Grain
Tan Slats

CONSTRUCTION STYLE

Perma-wood™ pressed synthetic polystyrene
Welded, powder coated aluminium components
Stainless steel connectors
X-base stackable design for convenient
transport and storage
Table top assembly required. Tools included

CITY OF WORTHINGTON

DRAWING NO. ARB 0021-2023
DATE 04/06/2023

Chairs and More! • 347.617.1317
tChair.com • Info@JustChair.com

[Home](#) / [Umbrellas & Bases](#) / [Promenade Umbrellas](#)



Promenade Umbrellas

- All-aluminum threaded 2 pc pole for great support and strength
- 1.5" diameter pole
- Reinforced fiberglass ribbed upper frame
- Stainless steel attached locking pin
- Double stitched two layer pockets to resist fabric tears at pressure points on edges of umbrella
- Replaceable canopies and some parts are available if ever needed

Umbrella Top : 6' Square

6' Square

7' Octagon

The colors for the umbrellas are:

- Fabric – Antique Beige
- Pole – Black
- Base – Black

CITY OF WORTHINGTON

DRAWING NO. ARB 0021-2023

DATE 04/06/2023

Sunbrella Fabric





**50lb. Resin Coated
Concrete Base**



**Edison Cantilever
555lb Steel Plate
Base**

Search products...

Search

Product categories

Aluminum Seating

CITY OF WORTHINGTON

DRAWING NO. ARB 0021-2023

DATE 04/06/2023

Code Information:

Each Tenant shall be permitted one (1) primary sign on Wilson Bridge Road (north façade) and one (1) primary sign on the parking lot side (south façade) of the building in which they are located.

Secondary signs on the end wall facade of a Tenant's leased premises (i.e. sides of the building not facing Wilson Bridge Road or the parking lot) will require approval from the Landlord and City of Worthington as a variance to the sign code.

Raceway not allowed.

Individual letters or logos must not be wider than 48" inches without approval of Landlord.

Internally illuminated individual, face lit, channel letter. Halo illuminated letter are not permitted.

Sign area – Primary Facades: The maximum sign area of an in-line Tenant shall be one and one-half (1 1/2) square foot of wall sign for each one (1) linear foot tenant space frontage but shall not exceed a maximum area of 100 square feet per business.

Maximum letter height of message area shall be 24".

TYP. WALL TYPE ATTACHMENT SCHEDULE	
ALL FASTENERS @ 3/8" BY LENGTH AS REQUIRED	
(A) 3/8" X 4" POWER WEDGE 3/8" X 4" TAPCON 3/8" X 6" EXPANSION ANCHOR	CONCRETE & BLOCK
(B) 3/8" ALL THREAD X LENGTH AS REQ. W/ ANGLE STRINGER	STUCCO/ FOAM / LATH & STUD
(C) 3/8" X 6" TOGGLE BOLT	STUCCO / FOAM / LATH & STUD WHEN STRINGER NOT REQ.
(D) 3/8" X 6" LAG BOLT	STUCCO / WOOD LATH & STUD

harbinger

sign of the future

5300 Shad Road, Jacksonville, FL. 32257

harbingersign.com 904.268.4681

EST. 2012

MAPLE STREET

7105 N. HIGH STREET

WORTHINGTON, OH 43085

SALES ASSOC: Kelsey Watson

PROJECT MGR: Jill Riley

DESIGNER: Brandon Winebarger

FILE: MSBC_4086_WORTHINGTON, OH_R2

PATH: F:\Customers\X\Maple Street Biscuit Company_

MSBC\#4086 Worthington, OH\2. DESIGNS\3. CDR

DATE	REV	DESCRIPTION	INITIALS
03.07.23	00	Original	bw
03.22.23	R1	Update with options of color & add photo overlay	bw
03.30.23	R2	Remove Option 2 from art package. Update Leaf	bw

SQUARE FOOTAGE FORMULA

ZONING:
The maximum sign area of an in-line Tenant shall be one and one-half (1 1/2) square foot of wall sign for each one (1) linear foot tenant space frontage but shall not exceed a maximum area of 100 square feet per business.

CALCULATIONS:

41' X 1.5 SQFT = 61.5 SQFT

ALLOWED TOTAL	61.5 SqFt
PROPOSED TOTAL	32.6 SqFt

CUSTOMER APPROVAL:

☐ Approved

☐ Approved as Noted

☐ Not Approved

Customer Signature: _____

Date: _____

Customer Notes: _____

LISTED

MET

US

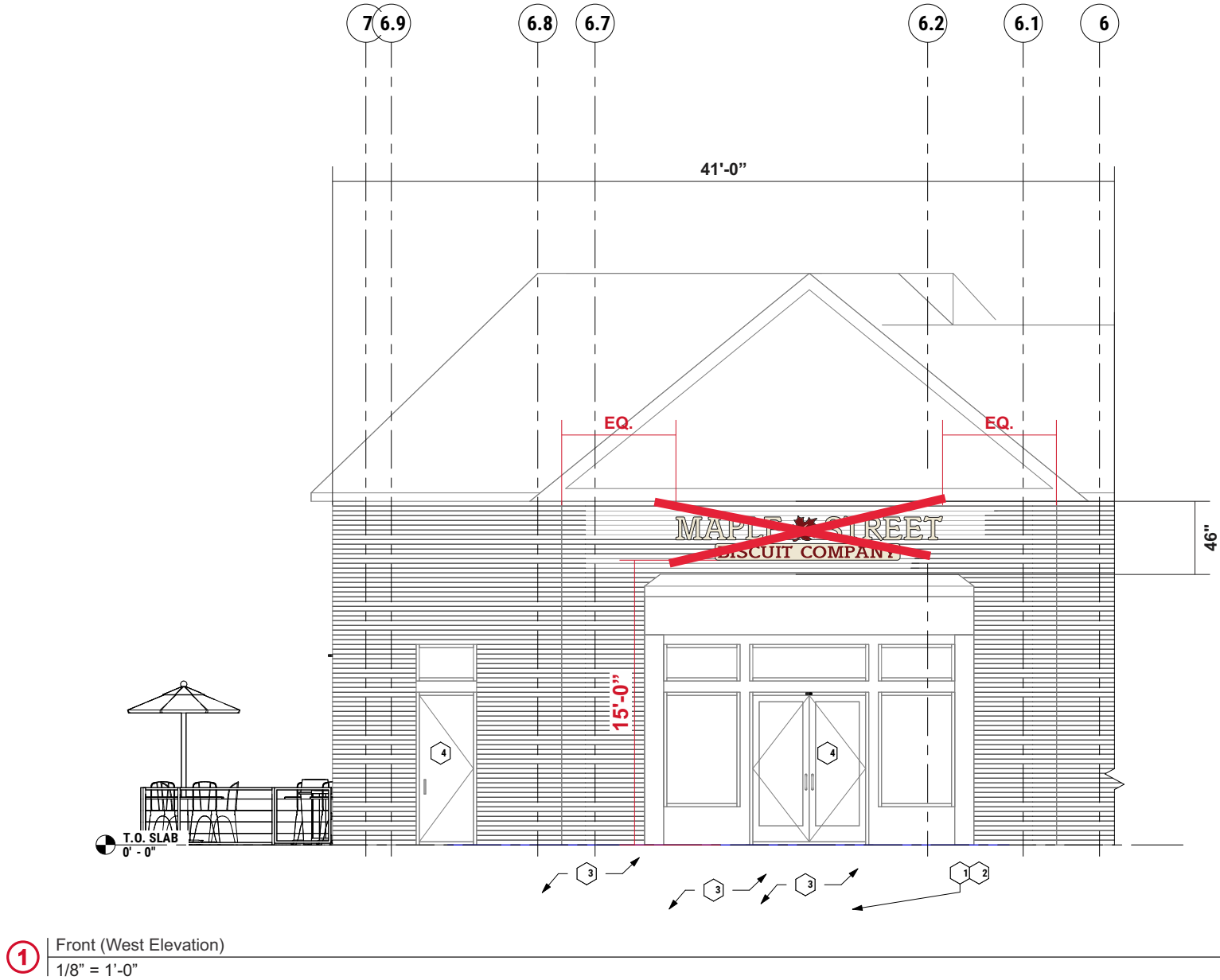
Complies with

UL 48

CSA C22.2 No.207

THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS: THE FLORIDA BUILDING CODE SEVENTH EDITION (2020). THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (MANUAL OF STEEL CONSTRUCTION, 9TH EDITION). THE AMERICAN WELDING SOCIETY (AWS D1.1-15. THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318-14). THE SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINUM ASSOCIATION (CURRENT EDITION).

PAGE 3



CITY OF WORTHINGTON
DRAWING NO. ARB 0021-2023
DATE 04/06/2023

Code Information:

Each Tenant shall be permitted one (1) primary sign on Wilson Bridge Road (north façade) and one (1) primary sign on the parking lot side (south façade) of the building in which they are located.

Secondary signs on the end wall facade of a Tenant's leased premises (i.e. sides of the building not facing Wilson Bridge Road or the parking lot) will require approval from the Landlord and City of Worthington as a variance to the sign code.

Raceway not allowed.

Individual letters or logos must not be wider than 48" inches without approval of Landlord.

Internally illuminated individual, face lit, channel letter. Halo illuminated letter are not permitted.

Sign area – Primary Facades: The maximum sign area of an in-line Tenant shall be one and one-half (1 1/2) square foot of wall sign for each one (1) linear foot tenant space frontage but shall not exceed a maximum area of 100 square feet per business.


Maximum letter height of message area shall be 24".

	TYP. WALL TYPE ATTACHMENT SCHEDULE	
	ALL FASTENERS @ 3/8" BY LENGTH AS REQUIRED	
(A)		CONCRETE & BLOCK
(B)		STUCCO/ FOAM / LATH & STUD
(C)		STUCCO / FOAM / LATH & STUD WHEN STRINGER NOT REQ.
(D)		STUCCO / WOOD LATH & STUD

harbinger

sign of the future

5300 Shad Road, Jacksonville, FL. 32257
harbingersign.com 904.268.4681



7105 N. HIGH STREET
WORTHINGTON, OH 43085

SALES ASSOC: Kelsey Watson
PROJECT MGR: Jill Riley
DESIGNER: Brandon Winebarger

FILE: MSBC_4086_WORTHINGTON, OH_R2
PATH: F:\Customers\X\Maple Street Biscuit Company_
MSBC\#4086 Worthington, OH\2. DESIGNS\3. CDR

DATE	REV	DESCRIPTION	INITIALS
03.07.23	00	Original	bw
03.22.23	R1	Update with options of color & add photo overlay	bw
03.30.23	R2	Remove Option 2 from art package. Update Leaf	bw

SQUARE FOOTAGE FORMULA

ZONING:

The maximum sign area of an in-line Tenant shall be one and one-half (1 1/2) square foot of wall sign for each one (1) linear foot tenant space frontage but shall not exceed a maximum area of 100 square feet per business.

CALCULATIONS:

41' X 1.5 SQFT = 61.5 SQFT

ALLOWED TOTAL	61.5 SqFt
PROPOSED TOTAL	32.6 SqFt


CUSTOMER APPROVAL:

☐ Approved
☐ Approved as Noted
☐ Not Approved

Customer Signature: _____

Date: _____

Customer Notes: _____



LISTED
c MET us

Complies with
UL 48
CSA C22.2 No.207

THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS: THE FLORIDA BUILDING CODE SEVENTH EDITION (2020). THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (MANUAL OF STEEL CONSTRUCTION, 9TH EDITION). THE AMERICAN WELDING SOCIETY (AWS D1.1-15. THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318-14). THE SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINUM ASSOCIATION (CURRENT EDITION).

PAGE 5

2 Rear (East Elevation)
1/8" = 1'-0"

CITY OF WORTHINGTON

DRAWING NO. ARB 0021-2023

DATE 04/06/2023

THIS DESIGN IS FOR THE SOLE PURPOSE OF ILLUSTRATION & CONCEPT DESIGN. THIS FILE IS NOT TO BE USED FOR PRODUCTION AND/OR FABRICATION. THIS DESIGN IS THE SOLE PROPERTY OF HARBINGER AND MAY NOT BE USED OR DUPLICATED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF HARBINGER.

Code Information:

Each Tenant shall be permitted one (1) primary sign on Wilson Bridge Road (north façade) and one (1) primary sign on the parking lot side (south façade) of the building in which they are located.

Secondary signs on the end wall facade of a Tenant's leased premises (i.e. sides of the building not facing Wilson Bridge Road or the parking lot) will require approval from the Landlord and City of Worthington as a variance to the sign code.

Raceway not allowed.

Individual letters or logos must not be wider than 48" inches without approval of Landlord.

Internally illuminated individual, face lit, channel letter. Halo illuminated letter are not permitted.

Sign area – Primary Facades: The maximum sign area of an in-line Tenant shall be one and one-half (1 1/2) square foot of wall sign for each one (1) linear foot tenant space frontage but shall not exceed a maximum area of 100 square feet per business.

Maximum letter height of message area shall be 24".

TYP. WALL TYPE ATTACHMENT SCHEDULE	
ALL FASTENERS @ 3/8" BY LENGTH AS REQUIRED	
(A) 3/8" X 4" POWER WEDGE 3/8" X 4" TAPCON 3/8" X 6" EXPANSION ANCHOR	CONCRETE & BLOCK
(B) 3/8" ALL THREAD X LENGTH AS REQ. W/ ANGLE STRINGER	STUCCO/ FOAM / LATH & STUD
(C) 3/8" X 6" TOGGLE BOLT	STUCCO / FOAM / LATH & STUD WHEN STRINGER NOT REQ.
(D) 3/8" X 6" LAG BOLT	STUCCO / WOOD LATH & STUD

harbinger

sign of the future

5300 Shad Road, Jacksonville, FL. 32257
harbingersign.com 904.268.4681

EST. 2012

MAPLE STREET

QUALITY CONTRACT

7105 N. HIGH STREET
WORTHINGTON, OH 43085

SALES ASSOC: Kelsey Watson
PROJECT MGR: Jill Riley
DESIGNER: Brandon Winebarger

FILE: MSBC_4086_WORTHINGTON, OH_R2
PATH: F:\Customers\X\Maple Street Biscuit Company_\MSBC\#4086 Worthington, OH\2. DESIGNS\3. CDR

DATE	REV	DESCRIPTION	INITIALS
03.07.23	00	Original	bw
03.22.23	R1	Update with options of color & add photo overlay	bw
03.30.23	R2	Remove Option 2 from art package. Update Leaf	bw

SQUARE FOOTAGE FORMULA

ZONING:

The maximum sign area of an in-line Tenant shall be one and one-half (1 1/2) square foot of wall sign for each one (1) linear foot tenant space frontage but shall not exceed a maximum area of 100 square feet per business.

CALCULATIONS:

65.7' X 1.5 SQFT = 98.5 SQFT

ALLOWED TOTAL	61.5 SqFt
PROPOSED TOTAL	32.6 SqFt

CUSTOMER APPROVAL:

☐ Approved
☐ Approved as Noted
☐ Not Approved

Customer Signature: _____

Date: _____

Customer Notes: _____

LISTED

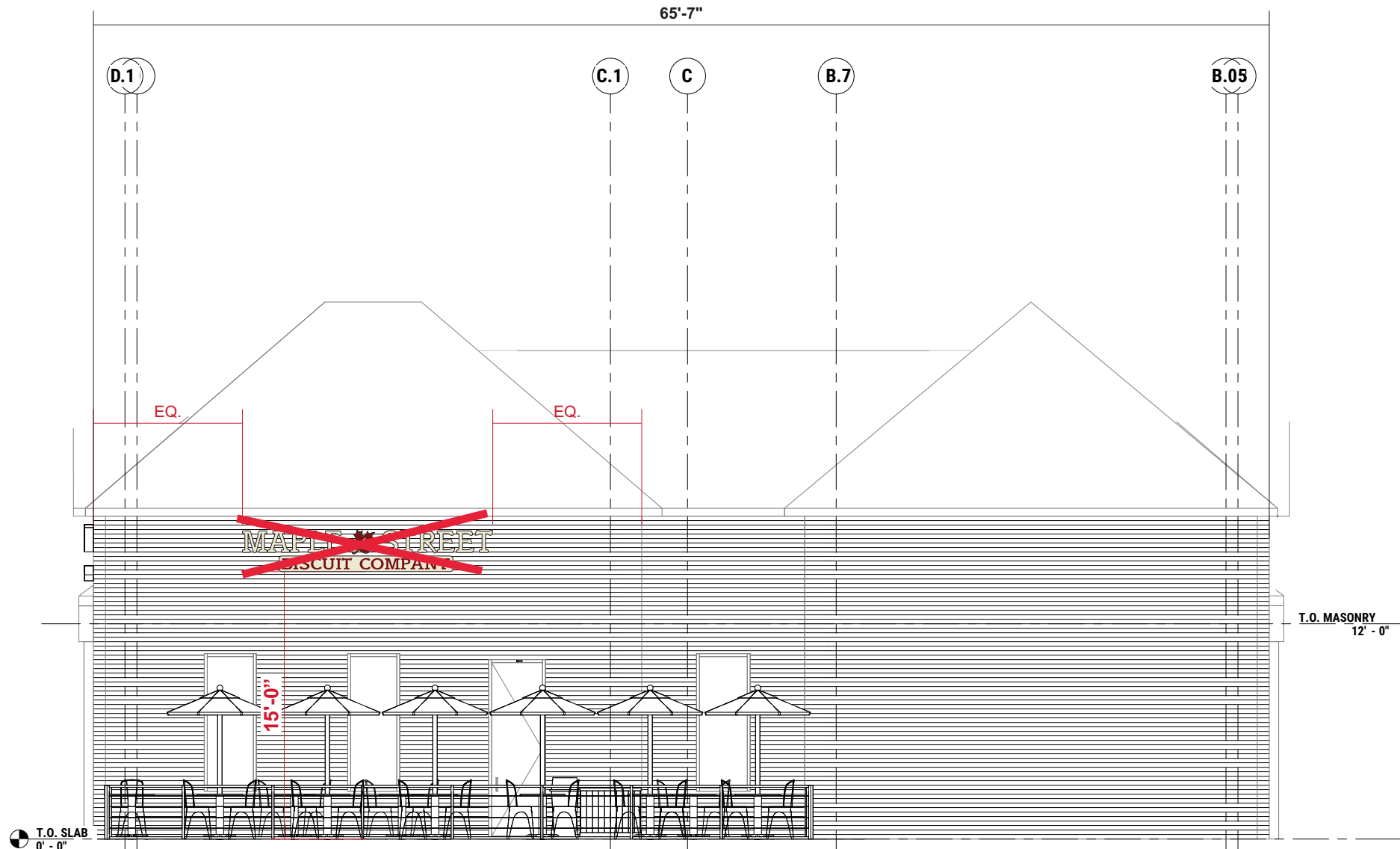
MET

US

Complies with
UL 48
CSA C22.2 No.207

THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS: THE FLORIDA BUILDING CODE SEVENTH EDITION (2020). THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (MANUAL OF STEEL CONSTRUCTION, 9TH EDITION). THE AMERICAN WELDING SOCIETY (AWS D1.1-15. THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318-14). THE SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINUM ASSOCIATION (CURRENT EDITION).

PAGE 7



3 Side (North Elevation)
1/8" = 1'-0"

CITY OF WORTHINGTON
DRAWING NO. ARB 0021-2023
DATE 04/06/2023



CITY OF WORTHINGTON
DRAWING NO. ARB 0021-2023
DATE 04/06/2023

Front & Side Photo Overlay
NTS

harbinger

sign of the future

5300 Shad Road, Jacksonville, FL 32257
harbingersign.com 904.268.4681



7105 N. HIGH STREET
WORTHINGTON, OH 43085

SALES ASSOC: Kelsey Watson
PROJECT MGR: Jill Riley
DESIGNER: Brandon Winebarger

FILE: MSBC_4086_WORTHINGTON, OH_R2
PATH: F:\Customers\X\Maple Street Biscuit Company_
MSBC\#4086 Worthington, OH\2. DESIGN\3. CDR

DATE	REV	DESCRIPTION	INITIALS
03.07.23	00	Original	bw
03.22.23	R1	Update with options of color & add photo overlay	bw
03.30.23	R2	Remove Option 2 from art package. Update Leaf	bw

SQUARE FOOTAGE FORMULA
ZONING:

CALCULATIONS:

ALLOWED TOTAL	
PROPOSED TOTAL	

CUSTOMER APPROVAL:

- ☐ Approved
☐ Approved as Noted
☐ Not Approved

Customer Signature:

Date:

Customer Notes:



Complies with
UL 48
CSA C22.2 No.207

THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS: THE FLORIDA BUILDING CODE SEVENTH EDITION (2020). THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (MANUAL OF STEEL CONSTRUCTION, 9TH EDITION). THE AMERICAN WELDING SOCIETY (AWS D1.1-15. THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318-14). THE SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINUM ASSOCIATION (CURRENT EDITION).



ARB & MPC APPLICATION ARB 0024-2023 & PUD 01-2023 Worthington Gateway

Plan Types: ARB, PUD Modification

Project:

App Date: 04/12/2023

District: City of Worthington

Exp Date:

Status: In Review

Completed:

Valuation: \$0.00

Approval

Description: Worthington Gateway Signage Criteria and site plan amendments

Expire Date:

Parcel: 100-006791	Address: 7105 N High St	Main	Zone:
100-006792	Worthington, OH 43085		
100-006793	105 W Wilson Bridge Rd		
	Worthington, OH 43085		
	71 W Wilson Bridge Rd		
	Worthington, OH 43085		
	53 W Wilson Bridge Rd		
	Worthington, OH 43085		
	89 W Wilson Bridge Rd		
	Worthington, OH 43085		
	121 W Wilson Bridge Rd		
	Worthington, OH 43085		

Owner Ohm Patel
Moment Development
Mobile: (614) 940-9101

Contractor
Kenny Leckrone
55 Caren Ave 360
Worthington, OH 43085
Home: (614) 403-5358

Applicant
Chris Knapton
55 Caren Avenue 360
Worthington, OH 43085
Mobile: (614) 832-4081

Architect
Ford & Associates Architects
Robert B Macinnes, Jr.
1500 W. Fifth Ave
Columbus, OH 43212
Business: 6144886252

Applicant
Ford & Associates Architects
Michelle Martin
1500 W. First Ave.
Columbus, OH 43212
Mobile: (614) 488-6252

Professional Engineer
Christopher Quick

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003745	Planned Unit Development Modification	\$100.00	\$100.00
Total for Invoice INV-00003745		\$100.00	\$100.00
Grand Total for Plan		\$100.00	\$100.00

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003746	Architectural Review Board	\$2.00	\$2.00
Total for Invoice INV-00003746		\$2.00	\$2.00
Grand Total for Plan		\$2.00	\$2.00

7105 N. High St. &
121 W. Wilson Bridge Rd.



Amendment to the original PUD approved previously by ARB and MPC for the Worthington Gateway Complex. We would like the High Street Parcel to adopt the signage package approved for the other Wilson Bridge parcels within the complex. Also establish signage criteria for 121 W Wilson Bridge Rd 4 story office building. Finally we would like to update the site plan to increase the green space on the Western side of the complex near the 4 story office building. This would be accomplished by decreasing parking by 15 spots. In our submission we will provide an updated site plan and also provide an updated storm water calculations for these adjustments.

1. Revised signage criteria of Worthington Gateway to include the North High Street retail building (R-6) and the Four Story office building (R-5).
2. Propose increase in ground sign height to include a 6th sign panel.
3. Revised site plan of building R-5 to include a green space.

CITY OF WORTHINGTON

DRAWINGS NO. ARB 24-2023
PUD 01-2023

DATE 04-12-2023



To: City of Worthington
From: The Mannik & Smith Group, Inc.
Date: March 17, 2023

Project #: A2620007
Re: Worthington Gateway – Stormwater Update

Since approval of the plans and accompanying stormwater management report in June of 2020, the Worthington Gateway project has seen modifications to the site plan. The changes have been relatively minor or have been done with consideration for the stormwater management plan. The latest revision to the site plan increases the overall impervious area and, while not excessively, warrants a review of the stormwater calculations.

The original report was produced for a site layout that resulted in 78.7% impervious area. With the current configuration, the impervious area is calculated to be 79.3%. This is still well under the pre-developed condition of 84.3% and leads to the same calculations of a 1-year critical storm.

The new storm sewer configuration and drainage areas were analyzed to ensure the peak flow rates from the development could be handled through the proposed storm sewer infrastructure and would not result in overburdening the downstream storm system. The table below shows the resulting values which remain well within design constraints:


Stormwater Management Summary

Storm Event (yr)	Pre-Developed Peak Flow Rates (cfs)	Total Allowable Peak Flow Rates (2) (cfs)	Detained Peak Flow Rates (3) (cfs)	Underground Basin Storage Volume (cf)
1	18.68	18.68	7.26 7.57	7,126 7,589
2	23.13	23.13	8.60 8.91	9,349 9,921
5	29.42	29.42	10.25 10.58	12,687 13,436
10	34.55	34.55	11.45 11.80	15,519 16,413
25	41.70	34.55	12.98 13.37	19,582 20,680
50	47.60	34.55	14.17 14.60	22,989 24,254
100	53.79	34.55	15.47 15.98	26,801 28,247

Although the proposed underground detention system will see an increase of almost 1500 cf of required storage volume, the system was designed to hold a total of approximately 33,000 cf which leaves over one foot freeboard within the system.

The existing downstream 36" storm sewer was of concern during the initial evaluation to make sure it had capacity for the developments stormwater runoff. The revised 100-year event outletting from the detention system has a peak flow rate of 15.98 cfs, 0.51 cfs greater than originally designed. This increase has very little impact to the downstream system which will still function better than the pre-developed condition prior to on-site detention.

After reviewing the proposed layout revision and running it through an analysis with the previous stormwater calculations, the City should be assured that this change will have no negative impact on the already approved design.


 Christopher E. Quick, PE, Associate
 The Mannik & Smith Group, Inc.

CITY OF WORTHINGTON

DRAWINGS NO. ARB 24-2023
 PUD 01-2023

DATE 04-12-2023



1. ALL TENANT COPY, SIZE, COLOR AND FORMAT SHALL REQUIRE PRIOR WRITTEN APPROVAL BY LANDLORD & SHALL COMPLY WITH THE REQUIREMENTS SET FORTH.
2. NO TENANT SIGNS ARE PERMITTED ON THE NORTH AND SOUTH BUILDING ELEVATIONS WITHOUT SPECIFIC LANDLORD AND CITY OF WORTHINGTON APPROVAL.
3. MAX. WIDTH NOT TO EXCEED 80% OF FACADE. MAX. LETTER HEIGHT NOT TO EXCEED 24" TALL.
4. THE AREA OF ALL PERMANENT SIGNS FOR ANY SINGLE BUSINESS SHALL BE EQUIVALENT TO 11/2 SQUARE FEET OF SIGN AREA. EACH SIGN SHALL BE FOR TENANT SPACE FRONTAGE, BUT SHALL NOT EXCEED A MAXIMUM AREA OF 100 SQUARE FEET PER BUSINESS.
5. ALL INCREASES IN SIGNAGE AREA ARE SUBJECT TO LANDLORD'S PRIOR WRITTEN APPROVAL.
6. SIGNS SHALL BE COMPOSED OF NOT MORE THAN TWO STYLES OF LETTERING PLUS ONE LOGO
7. LOGOS ARE PERMITTED, BUT MUST RECEIVE WRITTEN APPROVAL FROM LANDLORD.
8. MAXIMUM LETTER HEIGHT AS NOTED, AN ALLOWANCE OF OVERALL SIGN HEIGHT FOR ASCENDERS AND DESCENDERS, UPON LANDLORD APPROVAL.
9. ALL SIGNS SHALL CONSIST OF FABRICATED INDIVIDUALLY ILLUMINATED LETTERS OF ALUMINUM CONSTRUCTION AND LOW-VOLTAGE LED ILLUMINATION. NO NEON PERMITTED
10. REMOTE POWER UNITS REQUIRED.
11. SIGN FACES - 1/8" TO 3/16" THICK ACRYLIC OF ANY COLOR THAT PROVIDES GOOD CONTRAST AND ILLUMINATIONS TO STOREFRONT.
12. LETTER RETURNS PAINTED TO MATCH TRIMCAP RETAINER COLOR.
13. SIGN COLOR TO BE APPROVED BY LANDLORD. NOT MORE THAN FOUR COLORS, INCLUDING BLACK AND WHITE, SHALL BE USED ON ANY SIGN.
14. COLORS FOR SIGNS TO BE CHOSEN FOR COMPATIBILITY WITH THE AGE, ARCHITECTURE AND COLORS OF THE BUILDINGS THEY SERVE.
15. CENTER OF SIGNAGE TO BE CENTERED IN SIGN AREA.
16. SIGNAGE SHALL NOT BE CONSTRUCTED AS CABINET BOX SIGNS OR HAVE EXPOSED RACEWAYS OR CONDUIT.
17. INDIVIDUALLY MOUNTED INTERNALLY ILLUMINATED CHANNEL LETTERS AND LOGOS, ARE PREFERRED.

WORTHINGTON GATEWAY - R-6
7105 N. HIGH STREET, WORTHINGTON, OHIO 43085

PRELIMINARY
NOT FOR CONSTRUCTION

FAA #20022.00

A-2.6s

DATE 04-12-2023

BUILDING 'R-5' SIGNAGE ELEVATIONS



1. ALL TENANT CROP, SIZE, COLOR AND FORMAT SHALL REQUIRE PRIOR WRITTEN APPROVAL BY LANDLORD. I SHALL COMPLY WITH REQUIREMENTS SET FORTH.	2. SIGNS SHALL BE COMPRISED OF NOT MORE THAN TWO STYLES OF LETTERING PLUS ONE LOGO	3. LETTER RETURNING PAINTED TO MATCH TRIM/CAP RETAINER COLOR.
4. NO TENANT SIGNS ARE PERMITTED ON SOUTH OR SOUTHWEST ELEVATION WITH SPECIFIC LANDLORD AND CITY OF WORTHINGTON APPROVAL.	5. LOGOS ARE PERMITTED, BUT MUST RECEIVE WRITTEN APPROVAL FROM LANDLORD.	6. SIGN COLOR TO BE APPROVED BY LANDLORD, NOT MORE THAN FOUR COLORS INCLUDING BLACK AND WHITE. SHALL BE LIMITED TO ONE SIGN.
5. MAX. WIDTH NOT TO EXCEED 80% OF FACADE. MAX. LETTER HEIGHT NOT TO EXCEED 24" TALL.	6. MAXIMUM LETTER HEIGHT AS NOTED, AN ALLOWANCE OF OVERALL SIGN HEIGHT FOR ASCENDERS AND DESCENDERS, UPON LANDLORD APPROVAL.	7. COLORS FOR SIGNS TO BE CHOSEN FOR COMPATIBILITY WITH THE AGE, ARCHITECTURE AND COLORS OF THE BUILDINGS THEY SERVE.
6. THE AREA OF ALL PERMANENT SIGNS FOR ANY SINGLE BUILDING SHALL BE LIMITED TO 10% OF THE TOTAL AREA OF SIGN AREA FOR EACH LINEAL FOOT OF A TENANT SIGN. FOR PORTAGE, THE MAXIMUM AREA OF A SIGN AREA OF 1000 SQUARE FEET PER BUSINESS.	7. ALL SIGNS SHALL CONSIST OF FABRICATED INDIVIDUALLY ILLUMINATED LETTERS OF ALUMINUM CONSTRUCTION AND LOW-VOLTAGE LED ILLUMINATION. NO NEON PERMITTED.	8. CENTER OF SIGNAGE TO BE CENTERED IN SIGN AREA.
7. ALL INCREASES IN SIGNAGE AREA ARE SUBJECT TO LANDLORD'S PRIOR WRITTEN APPROVAL.	8. SIGN FACES - 1/8" TO 3/16" THICK ACRYLIC, OR ANY COLOR THAT PROVIDES GOOD CONTRAST AND ILLUMINATION TO STOREFRONT.	9. SIGNAGE SHALL NOT BE CONSTRUCTED AS CABINET BOX SIGNS OR BILBOARDS OR CONDUIT.
	9. REMOTE POWER UNITS REQUIRED.	10. INDIVIDUALLY MOUNTED INTERNALLY ILLUMINATED CHANNEL LETTERS AND LOGOS, ARE PREFERRED.



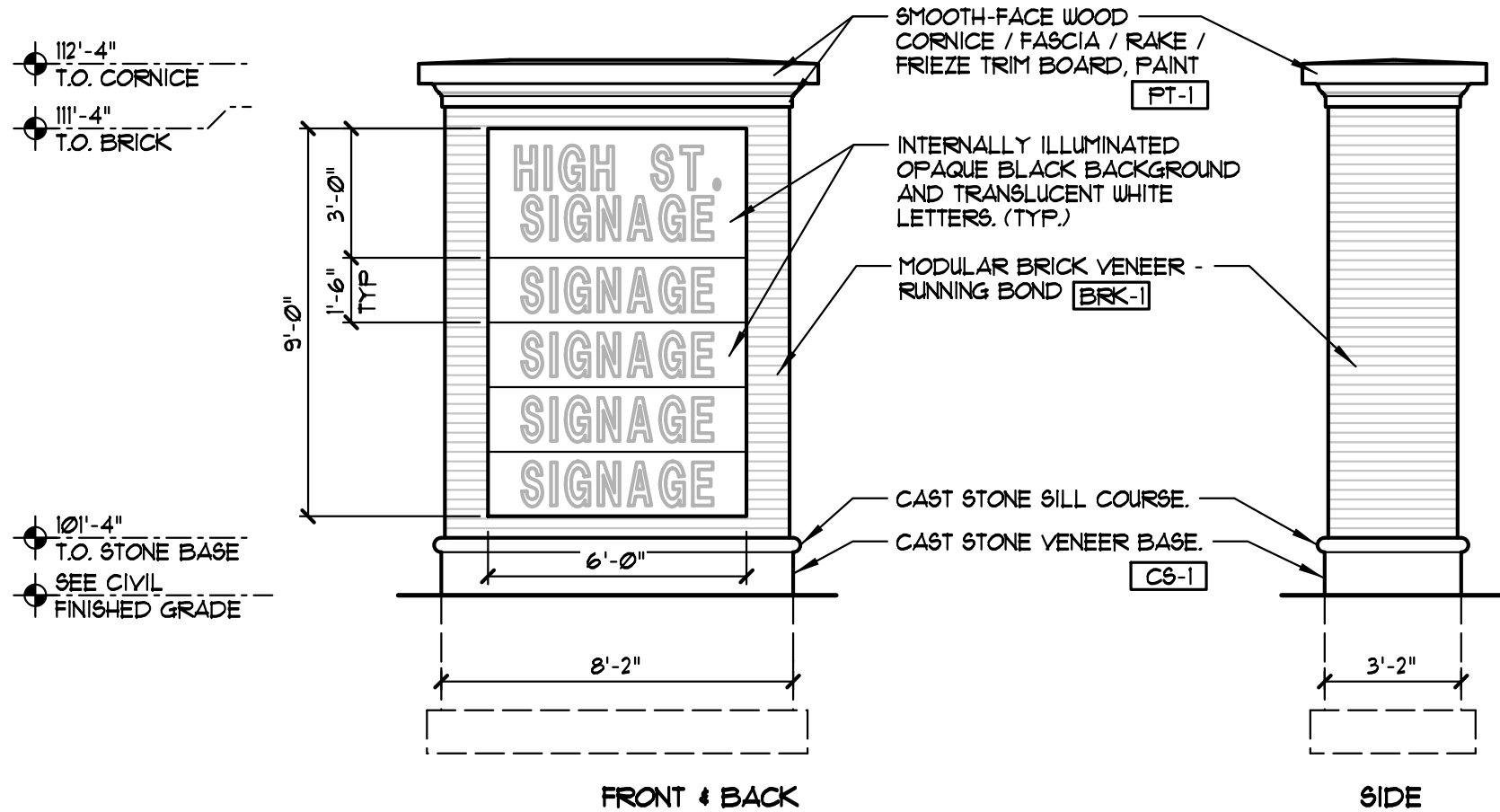
Southeast Corner
Option A - Existing 5 Panel Ground Sign

CITY OF WORTHINGTON
DRAWINGS NO. ARB 24-2023
PUD 01-2023
DATE 04-12-2023



Southeast Corner
Option B - Proposed 6 Panel Ground Sign

CITY OF WORTHINGTON
DRAWINGS NO. ARB 24-2023
PUD 01-2023
DATE 04-12-2023



K

GROUND SIGN ELEVATIONS - HIGH STREET (EXISTING)

SCALE 1/4" = 1'-0"

(SEE 'EXTERIOR MATERIAL FINISH KEY' ON SHEET A-2.1)

CITY OF WORTHINGTON

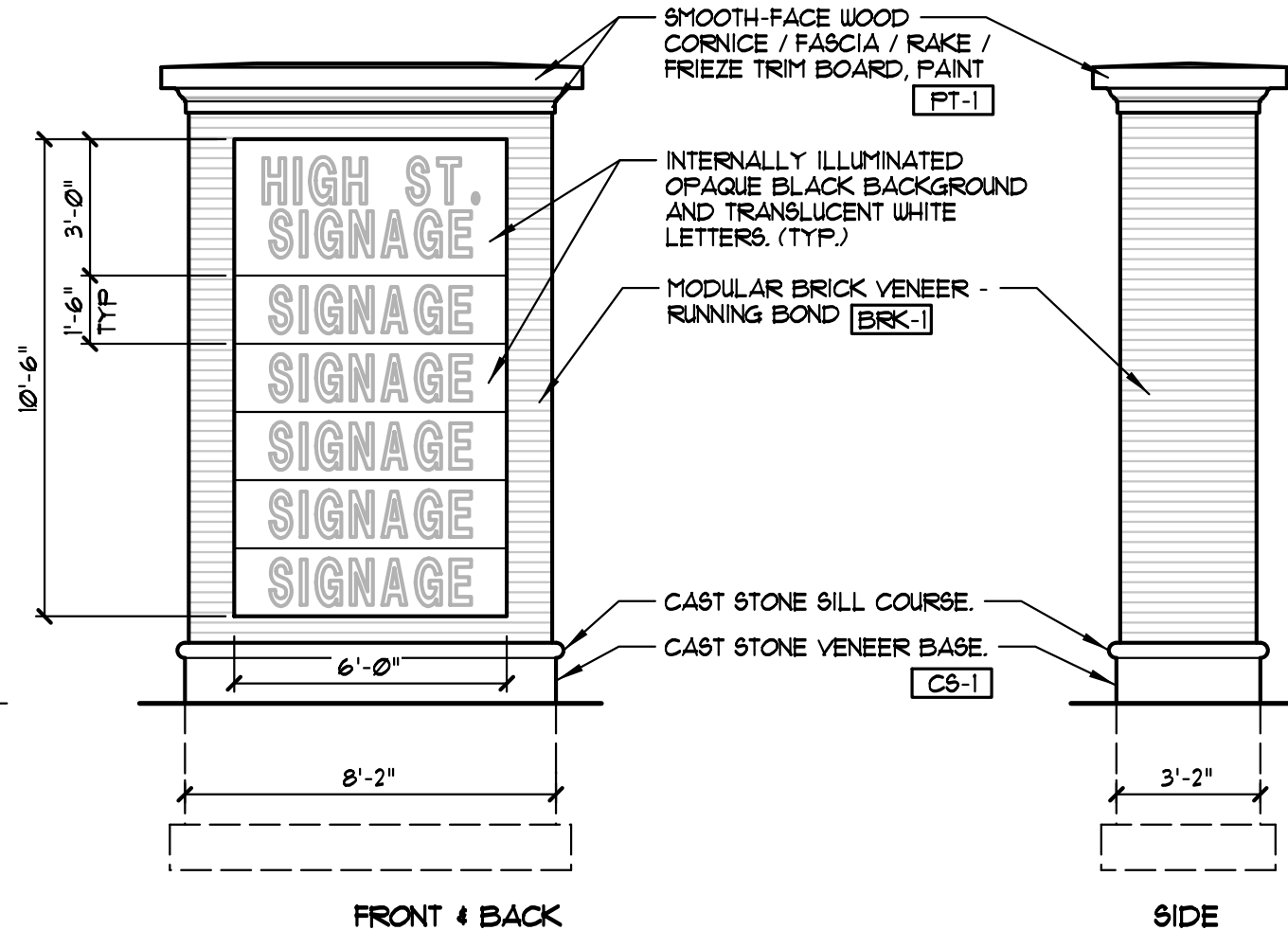
DRAWINGS NO. ARB 24-2023
PUD 01-2023

DATE 04-12-2023

FORD & ASSOCIATES		MODIFIES SHEET:	
A R C H I T E C T S		PROJECT NUMBER: 20022	
1500 WEST FIRST AVENUE COLUMBUS, OHIO 43212 614.488.6252 614.488.9963 (Fax)		DATE: APRIL 14, 2023	
		SHEET NO:	
WORTHINGTON - R6 7105 N. HIGH STREET, WORTHINGTON, OHIO 43085 For THE WITNESS GROUP 800 ENTERPRISE DRIVE, LEWIS CENTER, OHIO 43035			

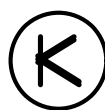
114'-0"
T.O. CORNICE
113'-0"
T.O. BRICK

101'-4"
T.O. STONE BASE
SEE CIVIL
FINISHED GRADE



FRONT & BACK

SIDE



GROUND SIGN ELEVATIONS - HIGH STREET (PROPOSED)

SCALE 1/4" = 1'-0"

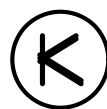
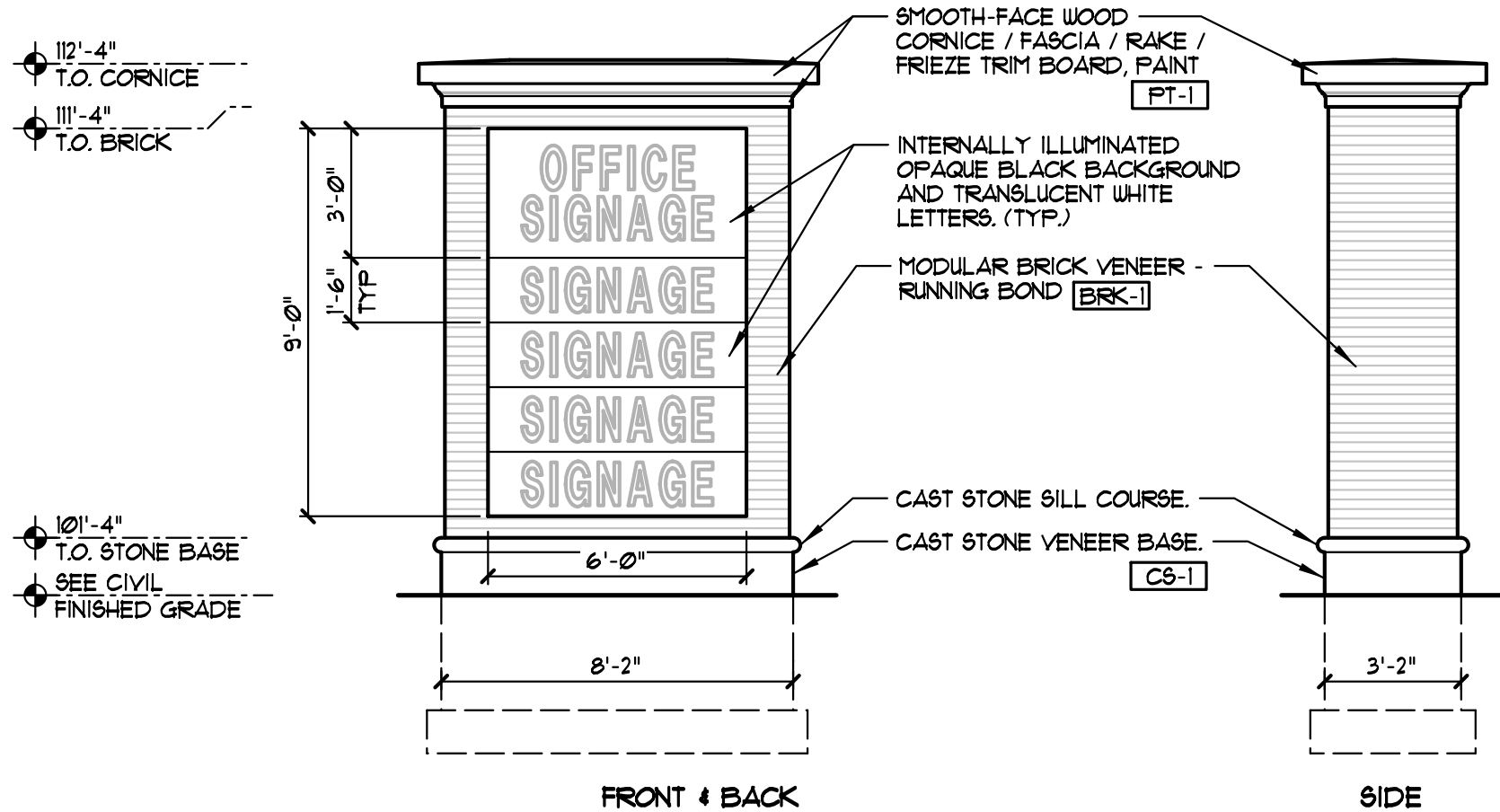
(SEE 'EXTERIOR MATERIAL FINISH KEY' ON SHEET A-2.1)

CITY OF WORTHINGTON

DRAWINGS NO. ARB 24-2023
PUD 01-2023

DATE 04-12-2023

FORD & ASSOCIATES		MODIFIED SHEET:	
ARCHITECTS		PROJECT NUMBER: 20022	
1500 WEST FIRST AVENUE COLUMBUS, OHIO 43212 614.488.6252 614.488.9963 (Fax)		DATE: APRIL 14, 2023	
		SHEET NO:	
WORTHINGTON - R6 7105 N. HIGH STREET, WORTHINGTON, OHIO 43085 For THE WITNESS GROUP 600 ENTERPRISE DRIVE, LEWIS CENTER, OHIO 43035			



GROUND SIGN ELEV'S - WILSON BRIDGE (EXISTING)

SCALE 1/4" = 1'-0"

(SEE 'EXTERIOR MATERIAL FINISH KEY' ON SHEET A-2.1)

CITY OF WORTHINGTON

DRAWINGS NO. ARB 24-2023
PUD 01-2023

DATE 04-12-2023

FORD & ASSOCIATES

ARCHITECTS

1500 WEST FIRST AVENUE
COLUMBUS, OHIO 43212
614.488.6252
614.488.9963 (Fax)

MODIFIED
SHEET:

PROJECT
NUMBER: 19110.04

DATE: APRIL 14, 2023

SHEET NO:

WORTHINGTON - R4

105 W. WILSON BRIDGE RD, WORTHINGTON, OH 43085

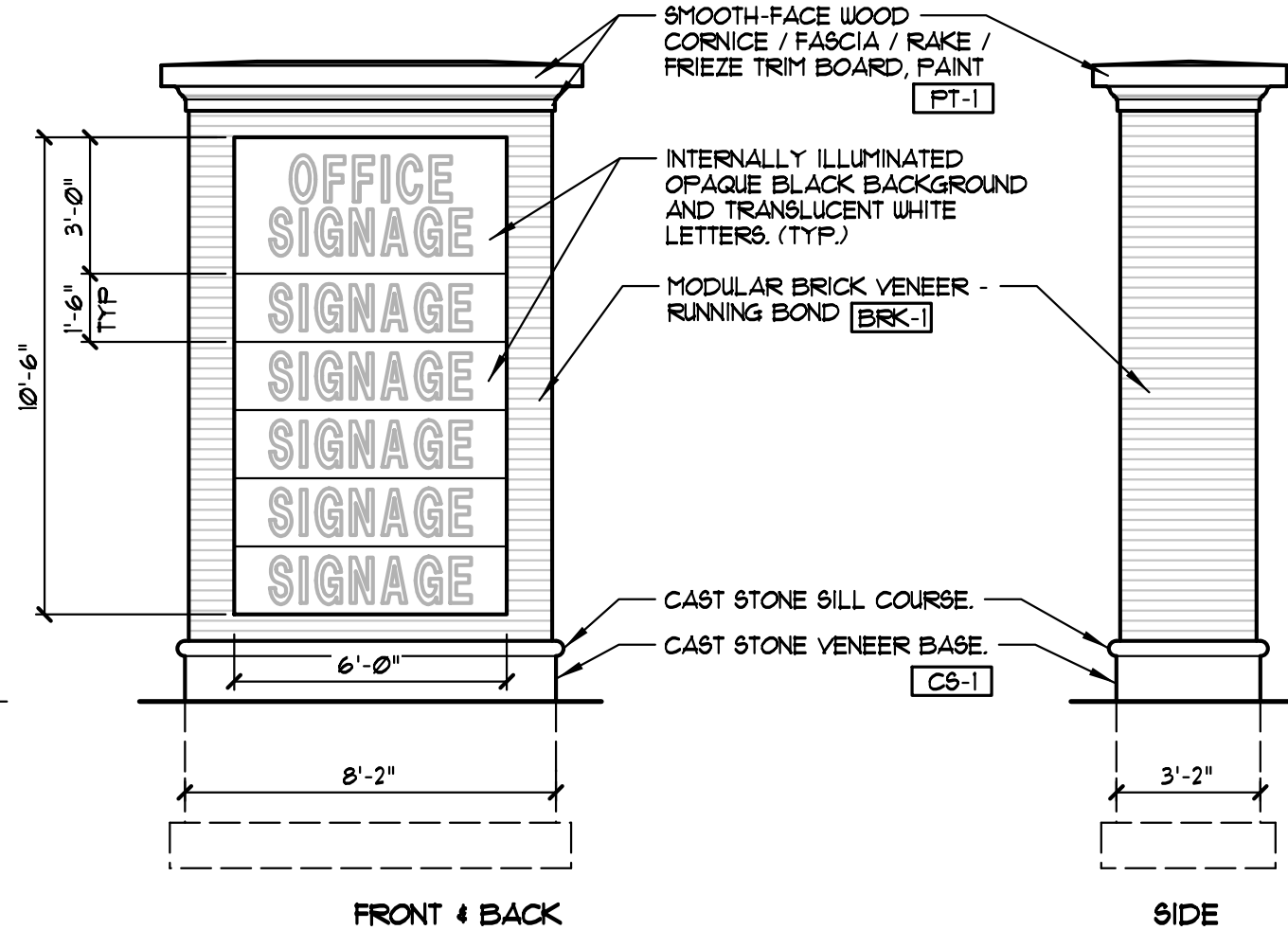
For

THE WITNESS GROUP

800 ENTERPRISE DRIVE, LEWIS CENTER, OHIO 43085

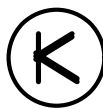
114'-0"
T.O. CORNICE
113'-0"
T.O. BRICK

101'-4"
T.O. STONE BASE
SEE CIVIL
FINISHED GRADE



FRONT & BACK

SIDE



GROUND SIGN ELEV'S - WILSON BRIDGE (PROPOSED)

SCALE 1/4" = 1'-0"

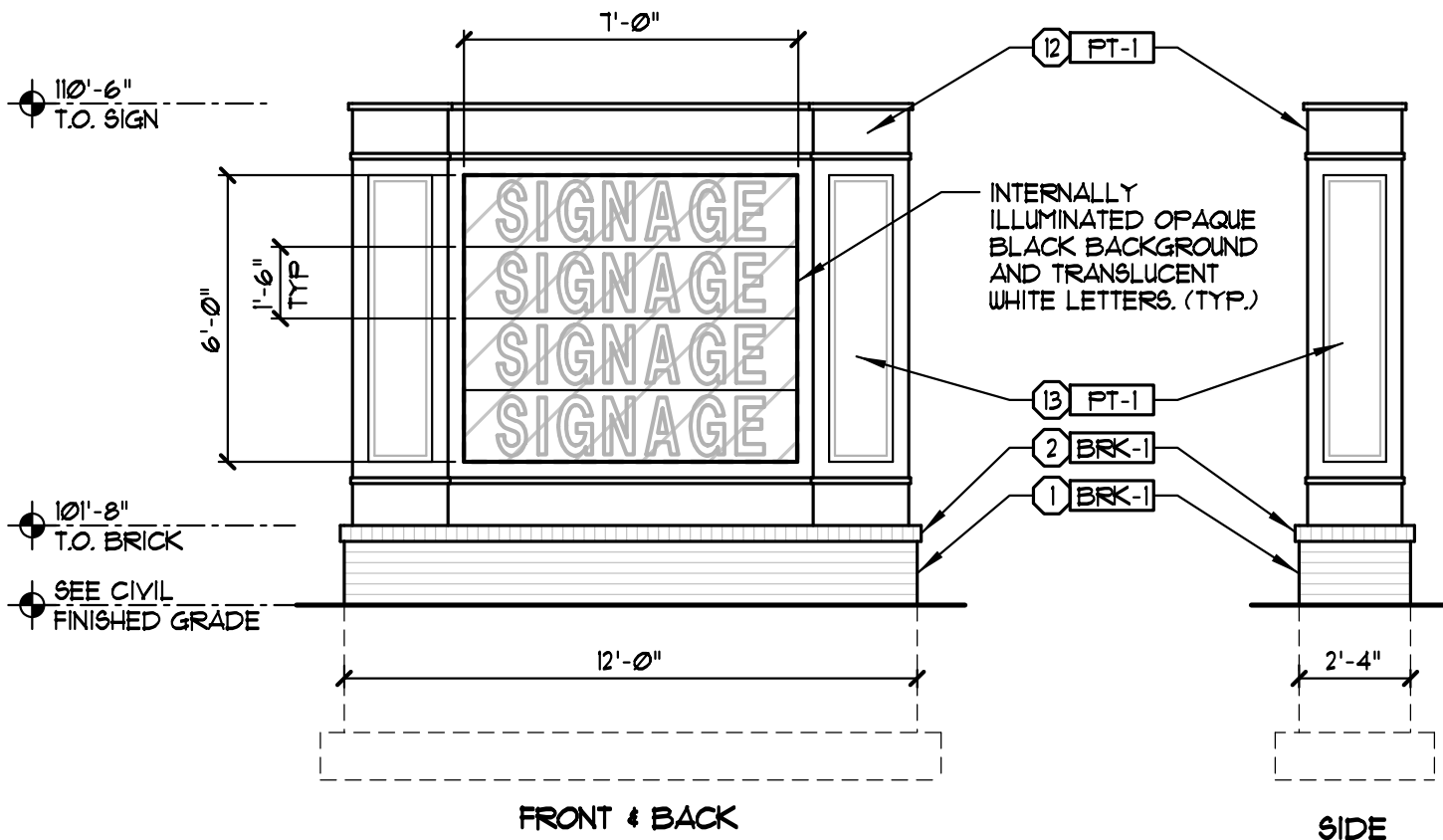
(SEE 'EXTERIOR MATERIAL FINISH KEY' ON SHEET A-2.1)

CITY OF WORTHINGTON

DRAWINGS NO. ARB 24-2023
PUD 01-2023

DATE 04-12-2023

FORD & ASSOCIATES		MODIFIED SHEET:	
ARCHITECTS		PROJECT NUMBER: 19110.04	
1500 WEST FIRST AVENUE COLUMBUS, OHIO 43212 614.488.6252 614.488.9963 (Fax)		DATE: APRIL 14, 2023	
		SHEET NO:	
<div>WORTHINGTON - R4</div> <div>105 W. WILSON BRIDGE RD, WORTHINGTON, OH 43085</div> <div>For THE WITNESS GROUP</div> <div>800 ENTERPRISE DRIVE, LEWIS CENTER, OHIO 43035</div>			



GROUND SIGN ELEVATIONS

SCALE 1/4" = 1'-0"

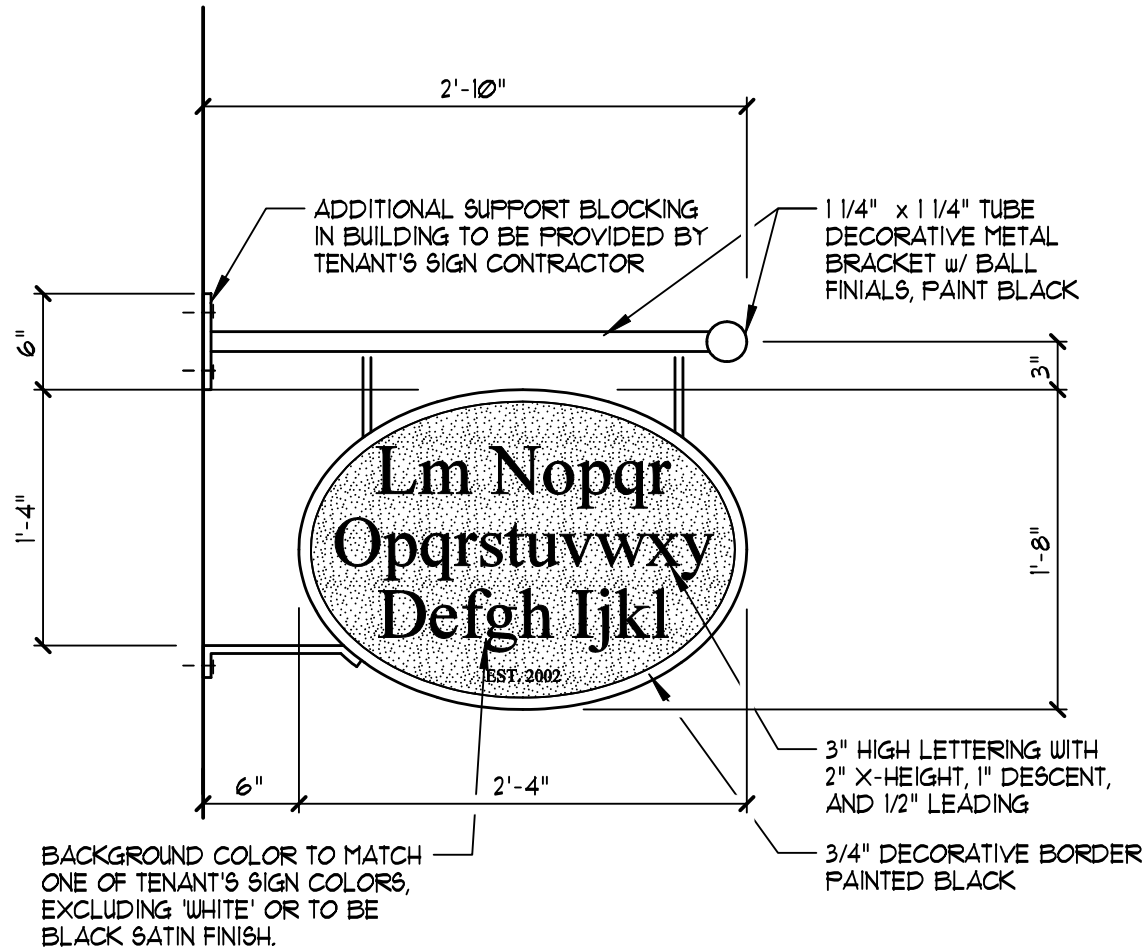
(SEE 'EXTERIOR MATERIAL FINISH KEY' AND 'ELEVATION CODED NOTES' ON SHEET A-2.1)

CITY OF WORTHINGTON

DRAWINGS NO. ARB 24-2023
PUD 01-2023

DATE 04-12-2023

FORD & ASSOCIATES		MODIFIES SHEET:	
A R C H I T E C T S		PROJECT NUMBER: 22016.00	
1500 WEST FIRST AVENUE COLUMBUS, OHIO 43212 614.488.6252 614.488.9963 (Fax)		DATE: APRIL 14, 2023	
		SHEET NO:	
<div><div>WORTHINGTON - R5</div><div>7007 N. HIGH STREET, WORTHINGTON, OH 43085</div><div>For THE WITNESS GROUP</div><div>600 ENTERPRISE DRIVE, LEWIS CENTER, OHIO 43035</div></div>			



F

TENANT BLADE SIGN DETAIL

SCALE 1/2" = 1'-0"

4" DEEP NON-ILLUMINATED WOODEN BLADE SIGN

CITY OF WORTHINGTON

DRAWINGS NO. ARB 24-2023
PUD 01-2023

DATE 04-12-2023

FORD & ASSOCIATES		MODIFIES SHEET:	
A R C H I T E C T S		PROJECT NUMBER: 17085	
1500 WEST FIRST AVENUE COLUMBUS, OHIO 43212 614.488.6252 614.488.9963 (Fax)		DATE: JUNE 1, 2018	
		SHEET NO:	
<div><div>WORTHINGTON DEV.</div><div>W WILSON BRIDGE ROAD, WORTHINGTON, OHIO 43085</div><div>For THE WITNESS GROUP</div><div>600 ENTERPRISE DRIVE, LEWIS CENTER, OHIO 43035</div></div>			

Worthington Redevelopment Commercial Center – Signage Criteria

April 17, 2023

The purpose of these signage criteria is to provide guidelines for the size, location and installation of signage to perpetuate the integrity of the design of the Worthington Redevelopment Commercial Center. These criteria establish regulations to accommodate each entity that will occupy space in the development in a manner to provide neat and orderly appearance of the development. These criteria comprise the minimum standards Tenants must meet in order to obtain the Landlord's and City of Worthington's approval for signage. Signage is governed by Chapter 1170 of the Codified Ordinances of the City of Worthington. All signage shall be approved by the City of Worthington prior to installation.

DESIGN CRITERIA

I. GENERAL DESIGN CRITERIA

- A. Movement. No sign shall incorporate movement or the illusion of movement. Pennants, streamers, banners, and other non-rigid devices are prohibited. Business flags are an exception.
- B. Illumination. Internally illuminated signs shall be constructed so as to allow the illumination of only letters, numbers or other identifying symbols on the display surface. No light shall pass through the background. Internally illuminated signs shall not exceed the equivalent of an 800 milliamper fluorescent tube mounted not closer than twelve inches on center. External illumination shall be installed so that the light source is not visible from adjoining premises and does not illuminate such premises. No external light source shall be located or arranged so as

to cause confusion or a hazard to traffic or conflict with traffic control signals. Flashing signs shall not be permitted.

- C. Styles. Signs shall be comprised of not more than two styles of lettering plus one logo. A logo is an emblem, character, pictograph, trademark or symbol used alone to represent a business, organization, entity or product. There shall be not more than three sizes of all such lettering, including a logo.
- D. Colors. Colors for signs should be chosen for compatibility with the age, architecture and colors of the buildings they serve. Not more than four (4) colors, including black and white, shall be used on any sign.
- E. Signs must be distinctive enough to be readily visible, but avoid incompatible modern colors such as "fluorescent orange" and similar colors. Bright color shades generally are discouraged in favor more subtle and toned-down shades.
- F. Wall-mounted and projection signs shall be designed appropriately for the building, and shall not be constructed as cabinet box signs or have exposed raceways or conduit.

II. MEASUREMENT

- A. Sign area is calculated by totaling all display areas of a sign, including sign faces, molding and framing, but excluding supporting members less than or equal to twenty-four inches in width.

CITY OF WORTHINGTON

DRAWINGS NO. ARB 24-2023
PUD 01-2023

DATE 04-12-2023

Worthington Redevelopment Commercial Center – Signage Criteria

April 17, 2023

- B. Planters or other decorative supporting structures shall be excluded in the computation of sign area unless the structure exceeds two feet in height or eight feet in length, in which case the entire structure shall be included in the computation of sign area.
- C. The area for wall-mounted signs which consist of individually mounted letters, numbers or other symbols on a fascia or wall shall be the area of a rectangle circumscribed around the letters, numbers or other symbols.

III. DESIGN CRITERIA – BUILDINGS FRONTING WILSON BRIDGE ROAD

A. Wall Mounted Tenant Identification – General:

- 1. Each Tenant shall be permitted one (1) primary sign on Wilson Bridge Road (north façade) and one (1) primary sign on the parking lot side (south façade) of the building in which they are located. Each Tenant shall appropriate their allowable signage area to their allowable sign locations.
- 2. Secondary signs on the end wall facade of a Tenant's leased premises (i.e. sides of the building not facing Wilson Bridge Road or the parking lot) will require approval from the Landlord and City of Worthington as a variance to the sign code.
- 3. No signs shall extend above the building roof cornice or eave line.

- 4. Sign operation: All signage shall be photocell and time clock controlled and uniformly illuminated during normal business hours unless otherwise determined by the Developer. Tenants with longer hours or that are open for business 24 hours may be permitted to have their sign illuminated beyond the normal business hours of the development.
- 5. Signage mounted on raceways will not be accepted.
- 6. In all instances the message area letters and/or its sign panel shall be mounted directly to the building face consisting of brick, cast stone, or lap-siding or other approved building material.
- 7. Individual letters or logos must not be wider than 48" inches without approval of Landlord.
- 8. Illumination shall be from a concealed or indirect light source and shall not flash, blink, fluctuate, travel, move or in any manner fail to provide constant illumination and shall not create a hazard or visibility problem or interfere with or impair vehicular movement on any street from which the sign may be viewed. Illuminated signs shall be constructed and maintained so that the source of illumination is shielded or otherwise prevented from beaming directly onto adjacent properties or streets. Illumination of each individual mounted letter to be installed in the following manner:
 - (a) Internally illuminated individual, face lit, channel letter,
 - (b) 'Halo' illuminated letter are not permitted.

CITY OF WORTHINGTON

DRAWINGS NO. ARB 24-2023
PUD 01-2023

DATE 04-12-2023

Worthington Redevelopment Commercial Center – Signage Criteria

April 17, 2023

- (c) Externally illuminated letters or letters on a prefinished sign background panel are not permitted.

B. Sign Types:

1. Internally Illuminated Channel Letters:

- (a) Illumination of individual channel letters shall be of LED within each letter unit with remote transformers or self-contained low voltage power supply for each letter unit located within the storefront soffit or ceiling.
- (b) Letter returns shall be minimum .040" aluminum.
- (c) Letters shall be mounted 1 inch off the face of exterior wall to permit drainage. In no event shall the sign protrude more than 6 inches from the face of the building.
- (d) Internally illuminated individual letters may be mounted to prefinished sign background panel that is mounted over the building exterior face material. If a background panel is used to mount the letters, the area of the background panel shall be considered the area of the sign.

C. Tenant Signage – Single Story Retail In-Line Tenants:

- 1. Sign area – Primary Facades: The maximum sign area of an in-line Tenant shall be one and one-half (1 1/2) square foot of wall sign for each one (1) linear foot Tenant space frontage, but shall not exceed a maximum area of 100 square feet per business. Sign

area shall be as defined in the City of Worthington Codified Ordinances, Chapter 1170.

- 2. The horizontal width of each Tenant's copy (i.e. logo, name, etc.) shall be a maximum of eighty percent (80%) of the width of the Tenant's leased premises.
- 3. Each Tenant sign shall be located in the general location of the leased Tenant space storefront.
- 4. For Tenant leased premises that occupy more than one exterior storefront bay of a building, the Tenant sign shall be located in the bay that contains the Tenant's primary entrance.
- 5. Sign height: The maximum mounting height of any sign shall not exceed seventeen feet (17') above grade, or as appropriate to the building architecture and shall not extend above the building roof cornice.
- 6. Maximum letter height of message area shall be 24". Descent letters (i.e. j, g, p, q) shall be permitted; however, the descent element of the letter shall be included in the sign area calculation. This descent would be in addition to the area of a rectangle that encloses the remaining letters.
- 7. The sign area must terminate twenty-four inches (24") inside the Tenant space side limits or corner of a building.

CITY OF WORTHINGTON

DRAWINGS NO. ARB 24-2023
PUD 01-2023

DATE 04-12-2023

Worthington Redevelopment Commercial Center – Signage Criteria

April 17, 2023

D. Tenant Signage – Office Tenants:

1. Only the office Tenants leasing more than 50% of the designated office space of each floor level are permitted to have a sign on the exterior of the building.
2. Sign area – Primary Facades: The maximum sign area of an in-line Tenant shall be one and one-half (1 1/2) square foot of wall sign for each one (1) linear foot Tenant space frontage, but shall not exceed a maximum area of 100 square feet per business. Sign area shall be as defined in the City of Worthington Codified Ordinances, Chapter 1170.
3. Sign height: The maximum mounting height of any sign shall not exceed seventeen feet (17') above grade, or as appropriate to the building architecture and shall not extend above the building roof eave.
4. Maximum letter height of message area shall be 24". Descent letters (i.e. j, g, p, q) shall be permitted; however, the descent element of the letter shall be included in the sign area calculation. This descent would be in addition to the area of a rectangle that encloses the remaining letters.
5. The sign area must terminate twenty-four inches (24") from a corner of a building.

E. Tenant Blade Signs:

1. Tenant to purchase blade sign through specific manufacturer provided by Landlord.

2. Each Tenant shall be permitted one (1) projecting blade sign at a maximum of three (3) square feet of sign area.
 - (a) Each blade sign shall be of the same color as the Tenant's canopy sign letters
 - (b) The Tenant's name to be no greater than 3 inches in height and to have a 3/4" wide decorative border on the blade sign painted black.
 - (c) Blade signs are to be located on the South Elevation (parking lot side) of the building.
 - (d) Tenant's that have frontage on the ends of buildings will be permitted (1) blade sign on the end wall frontage.
3. No part of any blade sign shall be less than eight (8) feet above the sidewalk or ground level. All blade sign locations are to be approved by Landlord.

F. Window Signs:

1. Permanent window signs shall be limited to signs denoting the identification of the occupant, the address of the premises and its use. For the purposes of this criteria, a window shall be defined as a single wall opening regardless of the number of individual panes or subdividing mullions.
2. Temporary informational window signs shall be limited in size to two (2) square feet per sign.
3. Maximum window coverage for the combined area of informational, permanent and temporary window signs shall be 25% of the window area.

CITY OF WORTHINGTON

DRAWINGS NO. ARB 24-2023
PUD 01-2023

DATE 04-12-2023

Worthington Redevelopment Commercial Center – Signage Criteria

April 17, 2023

IV. DESIGN CRITERIA – BUILDINGS FRONTING NORTH HIGH STREET

A. Wall Mounted Tenant Identification – General:

1. Each Tenant shall be permitted one (1) primary sign on North High Street (east façade) and one (1) primary sign on the parking lot side (west façade) of the building in which they are located. Each Tenant shall appropriate their allowable signage area to their allowable sign locations.
2. Secondary signs on the end wall facade of a Tenant's leased premises (i.e. sides of the building not facing North High Street or the parking lot) will require approval from the Landlord and City of Worthington as a variance to the sign code.
3. No signs shall extend above the building roof cornice or eave line.
4. Sign operation: All signage shall be photocell and time clock controlled and uniformly illuminated during normal business hours unless otherwise determined by the Developer. Tenants with longer hours or that are open for business 24 hours may be permitted to have their sign illuminated beyond the normal business hours of the development.
5. Signage mounted on raceways will not be accepted.
6. In all instances the message area letters and/or its sign panel shall be mounted directly to the building face

consisting of brick, cast stone, or lap-siding or other approved building material.

7. Individual letters or logos must not be wider than 48" inches without approval of Landlord.
8. Illumination shall be from a concealed or indirect light source and shall not flash, blink, fluctuate, travel, move or in any manner fail to provide constant illumination and shall not create a hazard or visibility problem or interfere with or impair vehicular movement on any street from which the sign may be viewed. Illuminated signs shall be constructed and maintained so that the source of illumination is shielded or otherwise prevented from beaming directly onto adjacent properties or streets. Illumination of each individual mounted letter to be installed in the following manner:
 - (a) Internally illuminated individual, face lit, channel letter,
 - (b) 'Halo' illuminated letter are not permitted.
 - (c) Externally illuminated letters or letters on a prefinished sign background panel are not permitted.

B. Sign Types:

1. Internally Illuminated Channel Letters:
 - (a) Illumination of individual channel letters shall be of LED within each letter unit with remote transformers or self-contained low voltage power supply for each letter unit located within the storefront soffit or ceiling.

CITY OF WORTHINGTON

DRAWINGS NO. ARB 24-2023
PUD 01-2023

DATE 04-12-2023

Worthington Redevelopment Commercial Center – Signage Criteria

April 17, 2023

- (b) Letter returns shall be minimum .040" aluminum.
- (c) Letters shall be mounted 1 inch off the face of exterior wall to permit drainage. In no event shall the sign protrude more than 6 inches from the face of the building.
- (d) Internally illuminated individual letters may be mounted to prefinished sign background panel that is mounted over the building exterior face material. If a background panel is used to mount the letters, the area of the background panel shall be considered the area of the sign.

C. Tenant Signage – Single Story Retail In-Line Tenants:

1. Sign area – Primary Facades: The maximum sign area of an in-line Tenant shall be one and one-half (1 1/2) square foot of wall sign for each one (1) linear foot Tenant space frontage, but shall not exceed a maximum area of 100 square feet per business. Sign area shall be as defined in the City of Worthington Codified Ordinances, Chapter 1170.
2. The horizontal width of each Tenant's copy (i.e. logo, name, etc.) shall be a maximum of eighty percent (80%) of the width of the Tenant's leased premises.
3. Each Tenant sign shall be located in the general location of the leased Tenant space storefront.
4. For Tenant leased premises that occupy more than one exterior storefront bay of a building, the Tenant sign

CITY OF WORTHINGTON

DRAWINGS NO. ARB 24-2023
PUD 01-2023

DATE 04-12-2023

shall be located in the bay that contains the Tenant's primary entrance.

5. Sign height: The maximum mounting height of any sign shall not exceed eighteen feet (18') above grade, or as appropriate to the building architecture and shall not extend above the building roof cornice.
6. Maximum letter height of message area shall be 24". Descent letters (i.e. j, g, p, q) shall be permitted; however, the descent element of the letter shall be included in the sign area calculation. This descent would be in addition to the area of a rectangle that encloses the remaining letters.
7. The sign area must terminate twenty-four inches (24") inside the Tenant space side limits or corner of a building.

E. Tenant Blade Signs:

1. Tenant to purchase blade sign through specific manufacturer provided by Landlord.
2. Each Tenant shall be permitted one (1) projecting blade sign at a maximum of three (3) square feet of sign area.
 - (a) Each blade sign shall be of the same color as the Tenant's canopy sign letters
 - (b) The Tenant's name to be no greater than 3 inches in height and to have a 3/4" wide decorative border on the blade sign painted black.
 - (c) Blade signs are to be located on the South Elevation (parking lot side) of the building.

Worthington Redevelopment Commercial Center – Signage Criteria

April 17, 2023

(d) Tenant's that have frontage on the ends of buildings will be permitted (1) blade sign on the end wall frontage.

3. No part of any blade sign shall be less than eight (8) feet above the sidewalk or ground level. All blade sign locations are to be approved by Landlord.

F. Window Signs:

1. Permanent window signs shall be limited to signs denoting the identification of the occupant, the address of the premises and its use. For the purposes of this criteria, a window shall be defined as a single wall opening regardless of the number of individual panes or subdividing mullions.
2. Temporary informational window signs shall be limited in size to two (2) square feet per sign.
3. Maximum window coverage for the combined area of informational, permanent and temporary window signs shall be 25% of the window area.

V. DESIGN CRITERIA – FOUR STORY OFFICE BUILDING

A. Wall Mounted Tenant Identification – General:

1. Each Tenant shall be permitted one (1) primary sign on north façade and one (1) primary sign on either the west or east façade of the building in which they are located. Each Tenant shall appropriate their allowable signage area to their allowable sign locations.

2. Secondary signs on the south facade of a Tenant's leased premises will require approval from the Landlord and City of Worthington as a variance to the sign code.
3. No signs shall extend above the second floor of the building, with the exception of the blade sign at the NE corner of the building.
4. Sign operation: All signage shall be photocell and time clock controlled and uniformly illuminated during normal business hours unless otherwise determined by the Developer. Tenants with longer hours or that are open for business 24 hours may be permitted to have their sign illuminated beyond the normal business hours of the development.
5. Signage mounted on raceways will not be accepted.
6. In all instances the message area letters and/or its sign panel shall be mounted directly to the building face consisting of brick, cast stone, or lap-siding or other approved building material.
7. Individual letters or logos must not be wider than 48" inches without approval of Landlord.
8. Illumination shall be from a concealed or indirect light source and shall not flash, blink, fluctuate, travel, move or in any manner fail to provide constant illumination and shall not create a hazard or visibility problem or interfere with or impair vehicular movement on any street from which the sign may be viewed. Illuminated

CITY OF WORTHINGTON

DRAWINGS NO. ARB 24-2023
PUD 01-2023

DATE 04-12-2023

Worthington Redevelopment Commercial Center – Signage Criteria

April 17, 2023

signs shall be constructed and maintained so that the source of illumination is shielded or otherwise prevented from beaming directly onto adjacent properties or streets. Illumination of each individual mounted letter to be installed in the following manner:

- (a) Internally illuminated individual, face lit, channel letter,
- (b) 'Halo' illuminated letter are not permitted.
- (c) Externally illuminated letters or letters on a prefinished sign background panel are not permitted.

B. Sign Types:

1. Internally Illuminated Channel Letters:

- (a) Illumination of individual channel letters shall be of LED within each letter unit with remote transformers or self-contained low voltage power supply for each letter unit located within the storefront soffit or ceiling.
- (b) Letter returns shall be minimum .040" aluminum.
- (c) Letters shall be mounted 1 inch off the face of exterior wall to permit drainage. In no event shall the sign protrude more than 6 inches from the face of the building.
- (d) Internally illuminated individual letters may be mounted to prefinished sign background panel that is mounted over the building exterior face material. If a background panel is used to mount the letters, the area of the background panel shall be considered the area of the sign.

C. Tenant Signage – First Floor Retail Tenants:

- 1. Sign area – Primary Facades: The maximum sign area of an in-line Tenant shall be one and one-half (1 1/2) square foot of wall sign for each one (1) linear foot Tenant space frontage, but shall not exceed a maximum area of 100 square feet per business. Sign area shall be as defined in the City of Worthington Codified Ordinances, Chapter 1170.
- 2. The horizontal width of each Tenant's copy (i.e. logo, name, etc.) shall be a maximum of eighty percent (80%) of the width of the Tenant's leased premises.
- 3. Each Tenant sign shall be located in the general location of the leased Tenant space storefront.
- 4. For Tenant leased premises that occupy more than one exterior storefront bay of a building, the Tenant sign shall be located in the bay that contains the Tenant's primary entrance.
- 5. Sign height: The maximum mounting height of any sign shall not exceed sixteen feet (16') above grade, or as appropriate to the building architecture and shall not extend above the building roof cornice.
- 6. Maximum letter height of message area shall be 24". Descent letters (i.e. j, g, p, q) shall be permitted; however, the descent element of the letter shall be included in the sign area calculation. This descent would be in addition to the area of a rectangle that encloses the remaining letters.

CITY OF WORTHINGTON

DRAWINGS NO. ARB 24-2023
PUD 01-2023

DATE 04-12-2023

Worthington Redevelopment Commercial Center – Signage Criteria

April 17, 2023

7. The sign area must terminate twenty-four inches (24") inside the Tenant space side limits or corner of a building.

D. Tenant Signage – Office Tenants:

1. Only the office Tenants leasing more than 50% of the designated office space of each floor level are permitted to have a sign on the exterior of the building.
2. Sign area – Primary Facades: The maximum sign area of an in-line Tenant shall be one and one-half (1 1/2) square foot of wall sign for each one (1) linear foot Tenant space frontage, but shall not exceed a maximum area of 100 square feet per business. Sign area shall be as defined in the City of Worthington Codified Ordances, Chapter 1170.
3. Sign height: The maximum mounting height of any sign shall not exceed seventeen feet four inches (17'-4") above grade, or as appropriate to the building architecture and shall not extend above the building roof eave.
4. Maximum letter height of message area shall be 24". Descent letters (i.e. j, g, p, q) shall be permitted; however, the descent element of the letter shall be included in the sign area calculation. This descent would be in addition to the area of a rectangle that encloses the remaining letters.
5. The sign area must terminate twenty-four inches (24") from a corner of a building.

E. Tenant Blade Signs:

1. Tenant to purchase blade sign through specific manufacturer provided by Landlord.
2. Each Tenant shall be permitted one (1) projecting blade sign at a maximum of three (3) square feet of sign area.
 - (a) Each blade sign shall be of the same color as the Tenant's canopy sign letters
 - (b) The Tenant's name to be no greater than 3 inches in height and to have a 3/4" wide decorative border on the blade sign painted black.
 - (c) Blade signs are to be located on the South Elevation (parking lot side) of the building.
 - (d) Tenant's that have frontage on the ends of buildings will be permitted (1) blade sign on the end wall frontage.
3. No part of any blade sign shall be less than eight (8) feet above the sidewalk or ground level. All blade sign locations are to be approved by Landlord.

F. Window Signs:

3. Permanent window signs shall be limited to signs denoting the identification of the occupant, the address of the premises and its use. For the purposes of this criteria, a window shall be defined as a single wall opening regardless of the number of individual panes or subdividing mullions.

CITY OF WORTHINGTON

DRAWINGS NO. ARB 24-2023
PUD 01-2023

DATE 04-12-2023

Worthington Redevelopment Commercial Center – Signage Criteria

April 17, 2023

4. Temporary informational window signs shall be limited in size to two (2) square feet per sign.
3. Maximum window coverage for the combined area of informational, permanent and temporary window signs shall be 25% of the window area.
6. No more than six (6) Tenant names may be permitted to be identified on a single sign face.
7. All tenant signs shall be permitted to include a translucent white logo within the opaque black background tenant panel.

VI – GROUND SIGNS

A. Project Identification Signs:

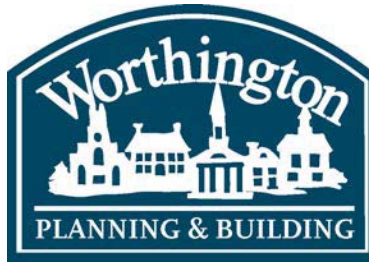
1. The Developer shall be permitted to three (3) Project Identification Signs listing the names of selected Tenants. One (1) sign shall be permitted on the Wilson Bridge Road frontage. One (1) sign shall be permitted near the corner of North High Street and Caren Drive. One (1) sign shall be permitted at the NW corner of the four-story office building.
2. The maximum sign height shall be fourteen feet zero inches (14'-0") above finish grade.
3. The total area of the Tenant sign panels located on the Project Identification Sign shall be a sixty-three (63 SF) square feet per sign face for maximum of one hundred and twenty-six square feet (126 SF) in area.
4. Tenant panels on the Project Identification Sign shall be internally illuminated with a consistent opaque black background and translucent white letters.
5. All tenant sign text shall be of the same type face/font.

END OF DOCUMENT

CITY OF WORTHINGTON

DRAWINGS NO. ARB 24-2023
PUD 01-2023

DATE 04-12-2023



MPC APPLICATION
ADP 03-2023
6950 Worthington-Galena Rd.

Plan Type: Amendment to Development Plan	Project:	App Date: 03/13/2023
Work Class: Amendment to Development Plan	District: City of Worthington	Exp Date:
Status: In Review		Completed:
Valuation: \$0.00		Approval
Description: We would like to erect a separate freestanding sign for our business located at 6950 Worthington-Galena Rd that only has our signage.		Expire Date:

Parcel: 100-003515	Main	Address: 6950 Worthington Galena Rd	Main	Zone: I-1(Restricted Industrial: Research Office)
		Worthington, OH 43085		

Owner	Applicant
WG Property LLC	Rob Hazel
11111 Santa Monica Blvd S	6950 Worthington Galena Rd, Ste 120
Los Angeles, CA 90025	Worthington, OH 43085-2580
	Business: (614) 503-0408
	Mobile: (614) 270-7299

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003743	Amendment to Development Plan	\$50.00	\$50.00
Total for Invoice INV-00003743		\$50.00	\$50.00
Grand Total for Plan		\$50.00	\$50.00

6950 Worthington-Galena Rd



From: Rob Hazel <RHazel@sportsimports.com>

Sent: Wednesday, April 5, 2023 4:28 PM

To: Brown, Lee <Lee.Brown@worthington.org>; Ganter, Kenny <Kenny.Ganter@worthington.org>

Subject: RE: [EXTERNAL] New Monument

Hi Lee,

Below is our supporting statement:

Sports Imports is requesting a stand-alone monument sign for 6950 Worthington-Galena Road. Sports Imports is a premium supplier of athletic equipment to thousands of middle schools, high schools, colleges, and recreational facilities across the nation. As commercial tenants of the property we share the building with BSN who also competes in the athletic supplies industry. Additionally, BSN color scheme causes further brand confusion to customers and could insinuate that as a leading premium product, we share product lines, customer support, or supply chain with a competitor who does not meet our specifications for quality and performance. It is imperative to our business that the two companies remain separate of association for customers and sales.

Signed,

Danielle Calo Martine – President

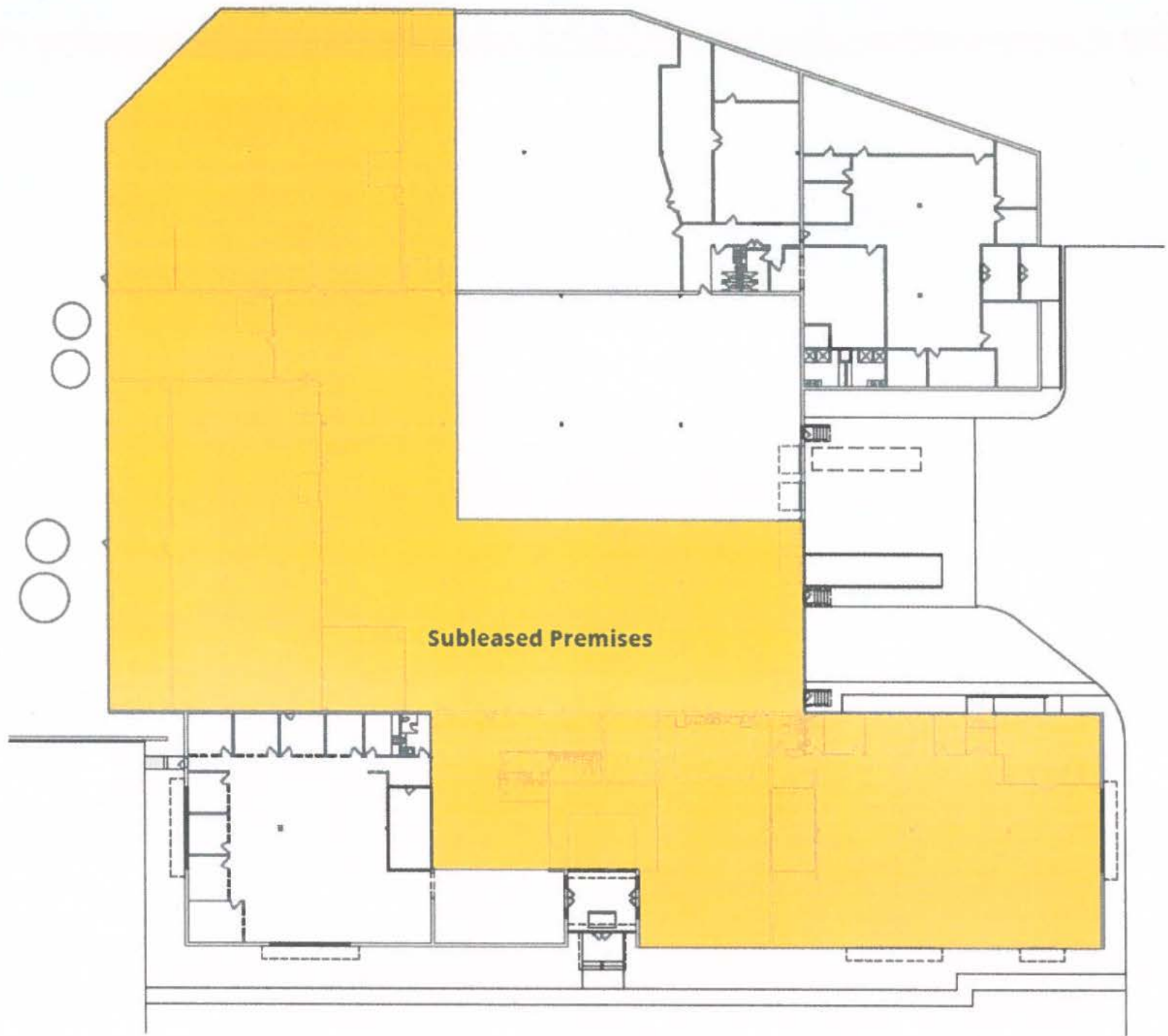
4.5.23

CITY OF WORTHINGTON

DRAWING NO. ADP 03-2023

DATE 03/13/2023

Plan of the Premises



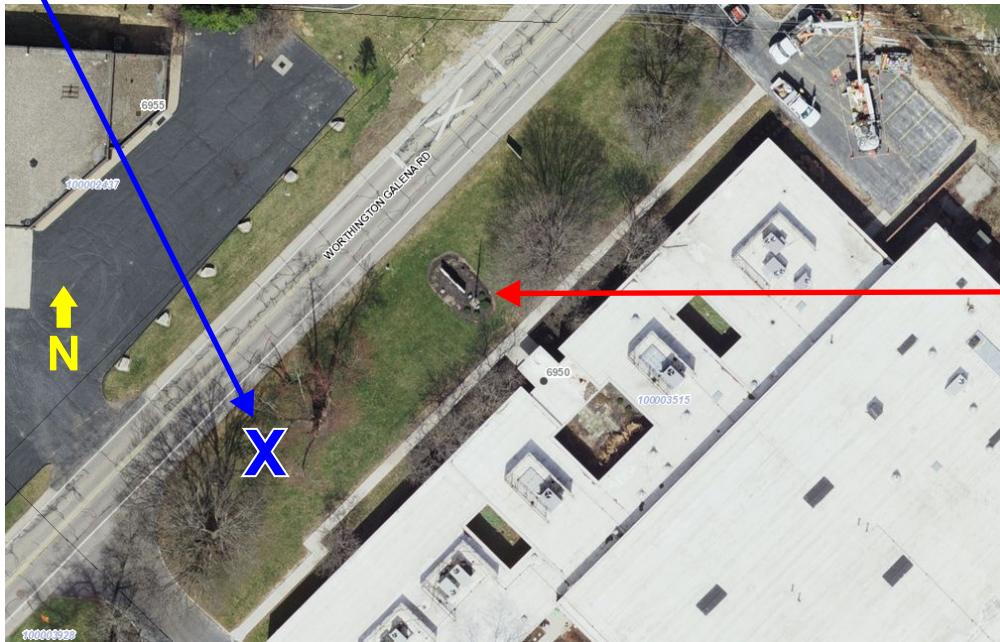
CITY OF WORTHINGTON

DRAWING NO. ADP 03-2023

DATE 03/13/2023



● PROPOSED NEW SIGN
19ft setback from ROW



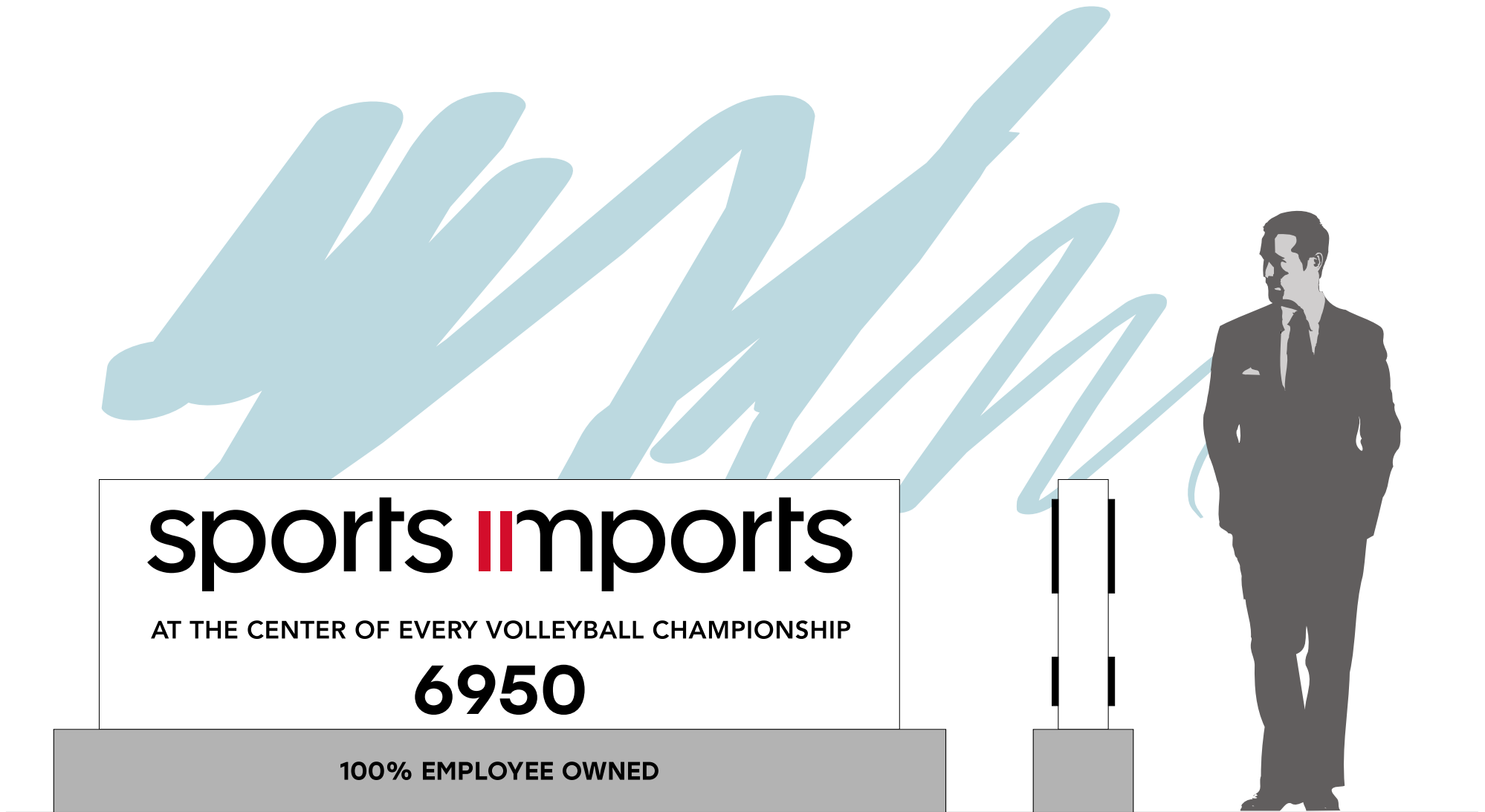
Sports Imports
6950 Worthington Galena Rd
PID#100003515

CITY OF WORTHINGTON
DRAWING NO. ADP 03-2023
DATE 03/13/2023

D/F non-Illuminated monument sign

● EXISTING SIGN (to remain)



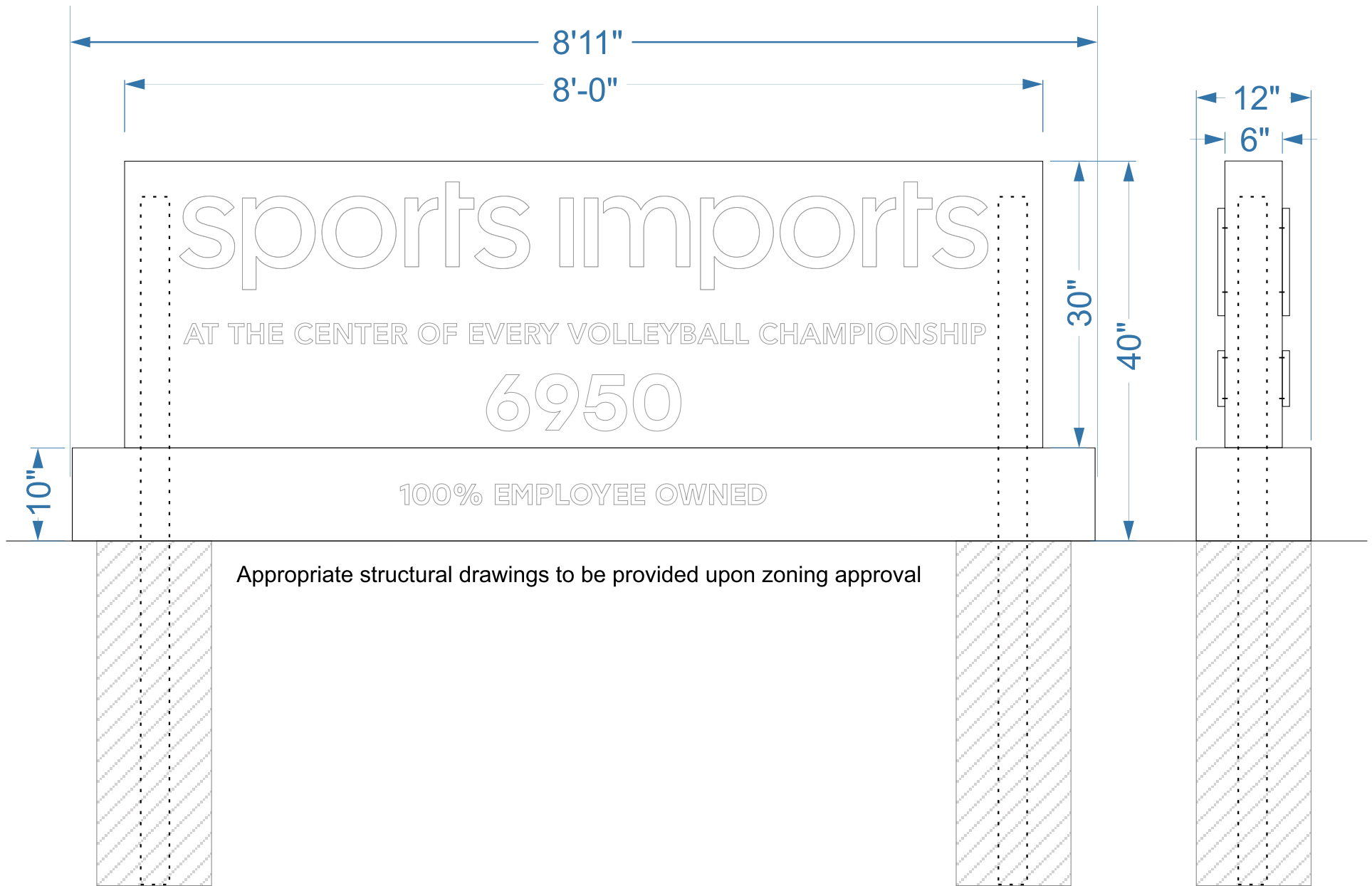


Sports Imports
6950 Worthington Galena Rd
PID#100003515

D/F non-Illuminated monument sign

- Painted aluminum cabinet & base
- Dimensional FCO large copy, smaller copy PSV
- Colors: Black
 - White
 - PMS Cool Gray 11
 - PMS 186 Red

CITY OF WORTHINGTON
DRAWING NO. ADP 03-2023
DATE 03/13/2023



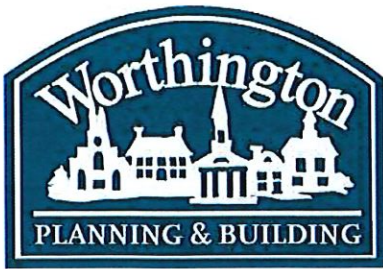
Sports Imports
 6950 Worthington Galena Rd
 PID#100003515

D/F non-Illuminated monument sign

CITY OF WORTHINGTON

DRAWING NO. ADP 03-2023

DATE 03/13/2023



Amendment to Development Plan Application

Case # ADP 04-2023
Date Received 03-14-2023
Fee \$50.00 pd
Meeting Date 04-27-2023
Filing Deadline

1. Property Location 6969 WORTHINGTON GALENA RD 43085
2. Present Use & Proposed Use office WAREHOUSE
3. Present & Proposed Zoning _____
4. Applicant BRAD WENTZ
Address 6490 PLESENTON DR WORTHINGTON OHIO 43085
Phone 614 205-1607
5. Property Owner BRAD WENTZ
Address SAME
Phone SAME
6. Project Description ADDING 3 SHIPPING CONTAINERS TO
THE PROPERTY FOR STORAGE
7. Variances Requested ALLOW THE DESIGNATED SPACE FOR THE
3 SHIPPING CONTAINERS

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Brad A. Wentz
Applicant (Signature)

12/13/2022
Date

Brad A. Wentz
Property Owner (Signature)

12/13/2022
Date

MPC Approval Date:

City Council Approval Date:

6969 Worthington-Galena Rd.



RECEIVED
MAR 14 2023

To: City of Worthington

BY:

From: 6969 Worth-Galena LLC

Re: Adding 3 Shipping Containers to the property at 6969 Worthington Galena Rd

Parcel: 100-002444

Date: February 20, 2023

I am requesting permission to add (3) 8x20 shipping containers to the above property. Some of my tenants need additional storage. I would prefer the storage be contained in these shipping containers vs. setting visible outside. I also feel the security of locked containers will be a better deterrent to theft on my property.

The containers are closer to the property lines than the written guidelines. I am asking for an approved variance to allow the containers to be closer to the property line. As you review the location of the containers, you will notice they are not infringing on any other usable land. Behind the container to the west are railroad tracks. To the north property line are trees and a creek.

Thank you for your consideration on this matter.

Brad Wentz
Sole member
6969 Worth-Galena LLC

614-205-1607

DELIVERED TO WORTHINGTON
BUILDING DEPT 3/14/23:

THIS MEMO

AMENDMENT TO DEVELOPMENT PLAN
-6969 REAR PICTURE
-AUDITOR PARCEL PRINTOUT

APPLICATION FOR PERMIT/CERTIFICATE
OF COMPLIANCE

CITY OF WORTHINGTON

DRAWING NO. ADP 04-2023

DATE 03/14/2023

by TERESE KELLEY

0909 Rear



CITY OF WORTHINGTON

DRAWING NO. ADP 04-2023

DATE 03/14/2023

11/29/2021

