



**BOARD OF ZONING APPEALS**  
**-AGENDA-**  
**Thursday, May 4, 2023 at 7:00 P.M.**

Louis J.R. Goorey Worthington Municipal Building  
The John P. Coleman Council Chamber  
6550 North High Street  
Worthington, Ohio 43085

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**A. Call to Order - 7:00 pm**

1. Roll Call
2. Pledge of Allegiance
3. Approval of minutes of the April 6, 2023 meeting
4. Affirmation/swearing in of witnesses

**B. Items of Public Hearing – Consent Agenda**

There will be no separate discussion of Consent Agenda items as they are considered to be routine by the Board and will be adopted by one motion. If a member of the Board, staff, or the public requests discussion on a particular item, that item will be removed from the Consent Agenda and considered separately on the agenda.

1. **Extension of Construction Completion Period – Renovation – 6108 Huntley Rd.**  
(Donita Harris) **EXCP 03-2023**
2. **Extension of Construction Completion Period – Renovation – 6760 Hayhurst St.**  
(Andrew Ratliff) **EXCP 04-2023**
3. **Extension of Construction Completion Period – Renovation – 649 High St.** (Kevin Rohyans) **EXCP 05-2023**
4. **Extension of Construction Completion Period – New House – 576 Greenwich St.**  
(Joseph Moss/Haidet) **EXCP 06-2023**

**C. Items of Public Hearing – Regular Agenda**

1. **Variance – Side Yard Setback – House Rebuild – 6851 Highland Place** (James Ross/Buxton) **VAR 11-2023**

**D. Other**

**E. Adjournment**



## MEMORANDUM

TO: Members of the Board of Zoning Appeals

FROM: Kenny Ganter, Planning & Building Assistant

DATE: April 28, 2023

SUBJECT: Staff Memo for the Meeting of May 4, 2023

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### **B. Items of Public Hearing – Consent Agenda**

1. **Extension of Construction Completion Period – Renovation – 6108 Huntley Rd.** (Donita Harris) **EXCP 03-2023**

#### **Findings of Fact and Conclusions**

##### **Background:**

This shopping center is in the C-2 (Community Commercial) Zoning District and located north of E. Dublin-Granville Rd. The building is mainly in the City of Columbus with the northeastern suite being in the Architectural Review District. The applicant is renovating a tenant space to the east of the Elnas African Delights restaurant that opened in 2021. The tenant will be using the space for a beauty salon.

The permit was issued on September 17, 2021 and expired on March 17, 2023. Due to a financial hardship of the applicant's husband being sick, the remaining work was not able to be completed within the construction period. This will be the applicants first time extension request.

##### **Worthington Codified Ordinances:**

##### **[Section 1305.06\(b\) Compliance with Ordinances](#)**

The permit authorizing the work as shown on the approved construction documents is invalid if the work is not completed, inspected, and approved within eighteen months of the issuance of the permit.

##### **[Section 1305.06\(c\) Compliance with Ordinances](#)**

Before any work authorized by a permit may continue for which the permit is invalid, the owner shall make application to the Board of Zoning Appeals for an extension of time as required under Chapter 1129 of the Planning and Zoning Code. Failure to complete work within said time period or any additional time granted by the Board of Zoning Appeals shall constitute a violation of this code.

**Request:**

The applicant is requesting to extend the construction completion period for one year.

**Project Details:**

1. A partial Certificate of Occupancy was issued in November 2021 to allow the applicant to run the business.
2. The remaining work includes an addition of a source capture system for mechanical ventilation for a nail technician to operate.
3. The last inspection for the project was completed in November 2021.
4. Rough and final inspections are expected to be scheduled soon.

**Conclusions:**

Staff feels a one-year time extension should provide ample time to complete the remaining work, call for inspections, and close the permit.

**Motion:**

**THAT THE REQUEST BY DONITA HARRIS FOR AN EXTENSION OF THE CONSTRUCTION COMPLETION PERIOD UNTIL MAY 4, 2024 AT 6108 HUNTLEY RD., AS PER CASE NO. EXCP 03-2023, DRAWINGS NO. EXCP 03-2023 DATED MARCH 15, 2023, BE APPROVED, BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND/OR PRESENTED AT THE MEETING.**

2. **Extension of Construction Completion Period – Renovation – 6760 Hayhurst St.**  
(Andrew Ratliff) EXCP 04-2023

**Findings of Fact and Conclusions****Background:**

This house was built in 1971 and is in the R-10 (Low Density Residential) Zoning District in Worthington Estates. The property owner is in the process of remodeling various portions of the house. The renovation includes two bathrooms, a kitchen, and new stairs.

The permit was issued on October 26, 2021 and expired on April 26, 2023. The applicant stated that the project stalled for several reasons including but not limited to the global pandemic, scarcity and increased price of materials, and long lead times for various contractors. This will be the applicants first time extension request.

**Worthington Codified Ordinances:****[Section 1305.06\(b\) Compliance with Ordinances](#)**

The permit authorizing the work as shown on the approved construction documents is invalid if the work is not completed, inspected, and approved within eighteen months of the issuance of the permit.

**[Section 1305.06\(c\) Compliance with Ordinances](#)**

Before any work authorized by a permit may continue for which the permit is invalid, the owner shall make application to the Board of Zoning Appeals for an extension of time as required under

Chapter 1129 of the Planning and Zoning Code. Failure to complete work within said time period or any additional time granted by the Board of Zoning Appeals shall constitute a violation of this code.

**Request:**

The applicant would like to extend the construction completion period for one year.

**Project Details:**

1. The stairs to the basement have been relocated and a wall has been removed and replaced with a beam. Demolition of the existing bathrooms are to be completed next.
2. The last inspection for the renovation was completed in February 2022.
3. Rough and final inspections are expected to be scheduled soon.

**Conclusions:**

Staff feels a one-year time extension should provide ample time to complete the remaining work, call for inspections, and close the permit.

**Motion:**

**THAT THE REQUEST BY ANDREW RATLIFF FOR AN EXTENSION OF CONSTRUCTION COMPLETION PERIOD UNTIL MAY 4, 2024 AT 6760 HAYHURST ST., AS PER CASE NO. EXCP 04-2023, DRAWINGS NO. EXCP 04-2023 DATED MARCH 27, 2023, BE APPROVED, BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND/OR PRESENTED AT THE MEETING.**

3. **Extension of Construction Completion Period – Renovation – 649 High St. (Kevin Rohyans) EXCP 05-2023**

**Findings of Fact and Conclusions**

**Background:**

This property is home to the Worthington Inn at the center of Old Worthington. In November 2020, the Municipal Planning Commission approved a conditional use to convert a portion of the building to residential units on the second floor and a conference room on the third floor. Along with this renovation, the Architectural Review Board approved other renovations such as windows, doors, and lighting.

The permit for this project was issued on August 3, 2021 and expired on February 2, 2023. Due to supply chain and workforce issues, the applicant is requesting to extend the construction completion period. This will be the applicants first time extension request.

**Worthington Codified Ordinances:**

**[Section 1305.06\(b\) Compliance with Ordinances](#)**

The permit authorizing the work as shown on the approved construction documents is invalid if the work is not completed, inspected, and approved within eighteen months of the issuance of the permit.

### Section 1305.06(c) Compliance with Ordinances

Before any work authorized by a permit may continue for which the permit is invalid, the owner shall make application to the Board of Zoning Appeals for an extension of time as required under Chapter 1129 of the Planning and Zoning Code. Failure to complete work within said time period or any additional time granted by the Board of Zoning Appeals shall constitute a violation of this code.

#### **Request:**

The applicant is requesting to extend the construction completion period for four months.

#### **Project Details:**

1. Finishes will be installed soon on the second and third floors.
2. Most of the rough inspections have been scheduled and passed. Final inspections are expected to be scheduled soon.
3. The fire safety and evacuation plan and emergency responder radio coverage have not been approved. The applicant must submit these documents to receive full plan approval.

#### **Conclusions:**

Staff feels a one-year time extension should provide ample time to complete the remaining work, call for inspections, and close the permit.

#### **Motion:**

**THAT THE REQUEST BY KEVIN ROHYANS FOR AN EXTENSION OF CONSTRUCTION COMPLETION PERIOD UNTIL MAY 4, 2024 AT 649 HIGH ST., AS PER CASE NO. EXCP 05-2023, DRAWINGS NO. EXCP 05-2023 DATED MARCH 30, 2023, BE APPROVED, BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND/OR PRESENTED AT THE MEETING.**

4. **Extension of Construction Completion Period** – New House – **576 Greenwich St.** (Joseph Moss/Haidet) **EXCP 06-2023**

### **Findings of Fact and Conclusions**

#### **Background:**

This lot sits north of Colonial Hills Elementary in the R-10 (Low Density Residential) Zoning District in Rush Creek Village. The property owner demolished an existing 1,158 sq. ft. single-family residence in 2019. With the demolition of the existing house, the property owner is constructing a new two-story 2,551 sq. ft. single-family residence on the lot. The Board of Zoning Appeals approved front, side and rear yard setbacks in June 2021.

The permit was issued on December 3, 2021 and expires on June 5, 2023. Due to supply chain and builder issues, the applicant is requesting to extend the construction completion period. This will be the applicants first time extension request.

**Worthington Codified Ordinances:****Section 1305.06(b) Compliance with Ordinances**

The permit authorizing the work as shown on the approved construction documents is invalid if the work is not completed, inspected, and approved within eighteen months of the issuance of the permit.

**Section 1305.06(c) Compliance with Ordinances**

Before any work authorized by a permit may continue for which the permit is invalid, the owner shall make application to the Board of Zoning Appeals for an extension of time as required under Chapter 1129 of the Planning and Zoning Code. Failure to complete work within said time period or any additional time granted by the Board of Zoning Appeals shall constitute a violation of this code.

**Request:**

The applicant is requesting to extend the construction completion period until January 2024.

**Project Details:**

1. Interior framing has been completed. Mechanical and masonry work will be completed soon.
2. Some rough and final inspections have been scheduled and passed. More inspections will be scheduled soon.
3. The electrical and floor trusses have not been approved. The applicant must submit these documents to receive full plan approval.

**Conclusions:**

Staff feels a one-year time extension should provide ample time to complete the remaining work, call for inspections, and close the permit.

**Motion:**

**THAT THE REQUEST BY JOSEPH MOSS ON BEHALF OF JOHN AND CATHERINE HAIDET FOR AN EXTENSION OF CONSTRUCTION COMPLETION PERIOD UNTIL MAY 4, 2024 AT 576 GREENWICH ST., AS PER CASE NO. EXCP 06-2023, DRAWINGS NO. EXCP 06-2023 DATED MARCH 31, 2023, BE APPROVED, BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND/OR PRESENTED AT THE MEETING.**

**C. Items of Public Hearing – Regular Agenda**

1. **Variance** – Side Yard Setback – **House Rebuild** – 6851 Highland Place (James Ross/Buxton) **VAR 11-2023**

This house is in the R-10 (Low Density Residential) Zoning District in East Worthington Estates. The property is an irregular shaped lot located south of the Highland Ave. Complex and east of Worthington-Galena Rd. The existing house caught on fire in December 2022. Due to the extent of the fire, the property owners are demolishing the structure that is remaining and rebuilding the

home. A demolition permit was submitted on April 19, 2023 to remove the existing structure and cap water and sewer lines. The construction company completing the demolition will try to salvage the home foundation as well.

**Worthington Codified Ordinance:**

[1149.01 Yard, Area and Height for Dwellings and Accessory Structures.](#)

The required side yard in the R-10 Zoning District is 8’.

**Request:**

The applicant is requesting approval to construct a new house 7.81” from the east property line for a variance of about 3”.

**Project Details:**

1. An approximately 3,000 sq. ft. two-story home will be constructed with a 474 sq. ft. two-car garage and 320 sq. ft. concrete patio. The existing porch will be remolded.
2. The roof will have black dimensional asphalt shingles with a bronze standing seam metal roof on the front gable. The siding will be white on the sides and rear. Board and batten siding will be on the front.
3. The proposal meets the accessory building area requirement of 850 sq. ft.
4. There is a 5’ easement on the east and south sides of the lot. The concrete patio encroaches into the easement on the east side, but it does not require a variance since it is at grade.
5. Construction could start 5-6 weeks from the completion of the demolition.
6. The home is expected to be completed by March 2024.

**Conclusions:**

The essential character of the neighborhood should not be substantially altered with the proposed materials for the new dwelling and the encroachment. The variance is not substantial.

**Motion:**

**THAT THE REQUEST BY JAMES ROSS ON BEHALF OF TY AND KALIE BUXTON FOR A VARIANCE TO CONSTRUCT A NEW HOUSE IN THE REQUIRED SIDE YARD AT 6851 HIGHLAND PL., AS PER CASE NO. VAR 11-2023, DRAWINGS NO. VAR 11-2023, DATED APRIL 7, 2023, BE APPROVED, BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND/OR PRESENTED AT THE MEETING.**

### **1129.05 Powers and Duties.**

(b) Exceptions. In hearing and deciding appeals, the Board shall have the power to grant an exception in the following instances:

(5) Temporary use permits. A temporary use permit may be granted where the temporary use of a structure or premises in any district where such temporary use shall be for a period of more than ninety days is proposed for a purpose or use that does not conform to the regulations prescribed elsewhere in this Zoning Ordinance for the district in which it is located, provided that such use be of a temporary nature and does not involve the erection of a substantial structure. A temporary use permit for such use shall be granted in the form of a temporary and revocable permit, for not more than a six-month period, subject to a six months' renewal and such conditions as will safeguard the public health, safety, convenience, and general welfare.

(6) Extension and construction completion periods. The Board may authorize, for good cause shown, extension of the time period provided for the completion of structures in the Building Code. However, the Board may not authorize extension of the period for greater than a one-year extension of time subject to one-year renewals and such conditions as will safeguard the public health, safety, convenience, and general welfare.

(c) Area Variances. The Board shall have the power to hear and decide appeals and authorize variances from the provisions or requirements of this Zoning Ordinance. In authorizing a variance, the Board may attach conditions and require such guarantee or bond as it may deem necessary to assure compliance with the objective of this Zoning Ordinance. The Board may grant a variance in the application of the provisions of the Zoning Ordinance when it is determined that practical difficulty exists based on the following factors:

(1) Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance;

(2) Whether the variance is substantial;

(3) Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer a substantial detriment as a result of the variance;

(4) Whether the variance would adversely affect the delivery of governmental services (e.g. water, sewer, garbage).

(5) Whether the property owner purchased the property with knowledge of the zoning restriction;

(6) Whether the property owner's predicament feasibly can be obviated through some method other than a variance; and,

(7) Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting the variance.

(d) Interpretation of District Map. In case of any questions as to the location of any boundary line between zoning districts, a request for interpretation of the Zoning District Map may be made to the Board which shall interpret the Map in such a way as to carry out the intent and purpose of this Zoning Ordinance.

(e) Extension of Nonconforming Use. The Board shall have the authority to grant an extension of a building or the expansion of the use of a lot devoted to a nonconforming use upon a lot occupied by such building or use, or on a lot adjoining, provided that such lot was under the same ownership as the lot in question on the date such building or use became nonconforming, and where such extension is necessary and incidental to the existing use of such building or lot. However, the floor areas or lot areas of such extensions shall not exceed, in all, 100 percent (100%) of the area of the existing building or lot devoted to a nonconforming use.



MINUTES OF THE REGULAR MEETING  
BOARD OF ZONING APPEALS

April 6, 2023

**A. Call to Order – 7:00 p.m.**

1. Roll Call - the following members were present: Cynthia Crane, Chair; and Garrett Guillozet, Vice-Chair. Also present were Mikel Coulter, Representative of the MPC; and Lee Brown, Director of Planning and Building. Board member Brian Seitz, Secretary, was absent.
2. Pledge of Allegiance
3. Oath of Office  
Mr. Brown gave the Oath of Office to swear in new Board member Ms. Beth Benzenberg
4. Approval of Minutes of March 2, 2022 meeting  
Mr. Coulter moved to approve the minutes and Mr. Guillozet seconded the motion. All members voted "Aye" and the minutes were approved.
5. Affirmation/swearing in of witnesses

**B. Items of Public Hearing – Regular Agenda**

1. **Variance** – Side & Rear Yard Setbacks – Fence – **5687 Foster Ave.** (Peter Martin) **VAR 03-2023**

Mr. Brown reviewed the following from the staff memo:

**Findings of Fact & Conclusions**

**Background:**

This 0.15 acre property is in the R-10 (Low Density Residential) Zoning District and in Colonial Hills. The property fronts Foster Ave. (63.85') to the east and Loveman Ave. (148.1') to the south. Also, the property fronts an alley (27.27') to the west and has a concrete path that leads to the rear of the house from the Loveman Ave. right-of-way. The south side of the property sits slightly higher than the sidewalk abutting Loveman Ave.

The property owners want to construct a fence towards the rear of their home. The applicant stated that the fence will be used for a dog and future children on their property.

**Worthington Codified Ordinances:**

1149.01 Yard, Area and Height for Dwellings and Accessory Structures.

The required front and rear yards in the R-10 Zoning District are 30'.

1149.08 Special Yard Requirements.

At corner lots, no accessory uses, accessory structures, structures, material or equipment storage shall be located in any required front yard. Side yards fronting on the adjacent street can be reduced to two-thirds of the required front setback from the right of way of the adjacent street.

The required side yard along Loveman Ave. is 20'.

1180.02 "R" Districts. (Fences)

- (a) In any "R" District, no fence or wall shall be erected in the area between the right of way line and the building setback line except for a wall necessary to accommodate differences in grade. No fence or wall in an "R" district shall exceed a height of six feet.

**Request:**

The applicant is requesting to construct a fence in the required side and rear yard. The fence will be 4' from the south property line for a variance of 16' and 28.5' from the west property line for a variance of 1.5'.

**Project Details:**

1. A 4' high wood picket fence is proposed. The total length of the fence is 93' with three gates.
2. The fence will run south from the southwest corner of the house and stopping before the existing tree. Then, it will run across the side yard along Loveman Ave. and head north about 28.5' from the alley and sit at the top of the concrete driveway.
3. The Loveman Ave. has a 50' right-of-way and the alley to the west has a 16.5' right-of-way.
4. Utilities should not be affected where the fence will be located.

**Conclusions:**

Although the variance request is substantial, there are various fences in similar locations in the neighborhood.

**Discussion:**

Jessica Martin, 5687 Foster Ave., Worthington, Ohio, and Mr. Peter Martin, 5687 Foster Ave., Worthington, Ohio were the applicants. Mrs. Crane asked if there was anyone in the audience that wanted to speak for or against this application, but no one commented.

**Motion:**

Mr. Guillozet moved:

**THAT THE REQUEST BY PETER MARTIN FOR A VARIANCE TO INSTALL FENCING IN THE REQUIRED SIDE AND REAR YARD AT 5687 FOSTER AVE., AS**

**PER CASE NO. VAR 03-2023, DRAWINGS NO. VAR 03-2023, DATED FEBRUARY 15, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

Mr. Coulter seconded the motion. Mr. Brown called the roll. Ms. Benzenberg, aye; Mr. Coulter, aye; Mr. Guillozet, aye; and Mrs. Crane, aye. The motion was approved.

**2. Variance – Rear Yard Setback – Addition – 341 Pinney Dr. (Shaun P. Hamm) VAR 04-2023**

Mr. Brown reviewed the following from the staff memo:

**Findings of Fact & Conclusions**

**Background:**

This property is in the R-10 (Low Density Residential) Zoning District and in the Worthington Southwest Addition. The property is 76' wide x 124' deep for a total area of 9422 sq. ft. The property backs up to the Village of Riverlea to the south.

The applicant would like to build a 480 sq ft. addition on the back of their house to include a family room and a dedicated home office. This would allow the owners to convert their current office back into a guest bedroom for their family. The applicant stated that the addition will also provide space to socialize and relax.

**Worthington Codified Ordinances:**

[1149.01 Yard, Area and Height for Dwellings and Accessory Structures.](#)

The required rear yard in the R-10 Zoning District is 30'.

**Request:**

The applicant is requesting approval to construct an addition 13'10" from the south property line for a variance of about 16'2".

**Project Details:**

1. The proposed addition is 24' wide and 20' deep and sits 11' from the east property line. The addition is attached to the rear of the house on the southeast side of the lot. There are no utilities underground where the addition would be located.
2. The addition will be set in 1' from the existing house on the east side and will have a gabled roof with asphalt shingles.
3. The applicant is proposing a similar style of siding and windows on the addition from the existing house. The existing house and new addition will be painted with a paint color comparable to teal.
4. A new concrete patio is proposed to the west side of the addition.
5. Landscaping and lighting are not proposed at this time.

**Conclusions:**

The essential character of the neighborhood should not be substantially altered as there are many similarly sized additions in Worthington.

Although the variance request would be substantial, the fencing at the west and south property lines should help mitigate the proximity of the addition to adjacent neighbors.

**Discussion:**

Mr. Shaun Hamm, 341 Pinney Dr., Worthington, Ohio came forward as the applicant. Mr. Hamm said he will be converting his current home office back to a third bedroom, so his parents have a place to stay when they come to visit. Mr. Guillozet asked Mr. Hamm if he would be maintaining the current vegetation and he said yes. Mrs. Crane asked if there was anyone in the audience that wanted to speak for or against this application, but no one commented.

**Motion:**

Mr. Coulter moved:

**THAT THE REQUEST BY SHAUN P. HAMM FOR A VARIANCE TO CONSTRUCT AN ADDITION IN THE REQUIRED REAR YARD AT 341 PINNEY DR. AS PER CASE NO. VAR 04-2023, DRAWINGS NO. VAR 04-2023, DATED FEBRUARY 23, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

Mr. Guillozet seconded the motion. Mr. Brown called the roll. Ms. Benzenberg, aye; Mr. Guillozet, aye; Mr. Coulter, aye; and Mrs. Crane, aye. The motion was approved.

**3. Variance – Side Yard Setback – Fence – 27 E. South St. (Sally Parker) VAR 05-2023**

Mr. Brown reviewed the following from the staff memo:

**Findings of Fact & Conclusions**

**Background:**

This 0.14 acre property is 49' wide x 128' deep and at the southeast corner of E. South St. and the alley that runs between the commercial and residential properties. The 1696 sf two-story house constructed in 1988 sits higher than the alley and the owners would like to construct a retaining wall along the alley and a fenced-in patio adjacent to the house on the west side. The homeowners' goal is to provide a safe and private outdoor space on the property.

**Worthington Codified Ordinances:**

[1149.01 Yard, Area and Height for Dwellings and Accessory Structures.](#)

The required front yard in the R-10 Zoning District is 30'.

[1149.08 Special Yard Requirements.](#)

(a) At corner lots, no accessory uses, accessory structures, structures, material or equipment storage shall be located in any required front yard. Side yards fronting on the adjacent street can be reduced to two-thirds of the required front setback from the right of way of the adjacent street.

The required side yard along the alley is 20'.

#### 1180.02 "R" Districts. (Fences)

(a) In any "R" District, no fence or wall shall be erected in the area between the right of way line and the building setback line except for a wall necessary to accommodate differences in grade. No fence or wall in an "R" district shall exceed a height of six feet.

#### **Request:**

Approval to install a fence about 2' from the alley for a variance of 18' is requested.

#### **Project Details:**

1. A 20" high retaining wall is proposed to start at the house, 3' north of the driveway. The wall would frame the 22' x 32' new patio area with the edge being at the alley. Finally, the retaining wall would head north along the alley, eventually tapering in the last ~20' to match the grade near the northwest corner of the lot, ending at the E. South St. right-of-way line. Construction is to be of Unilock Brussels dimensional tumbled blocks in Sierra with bullnose coping on top.
2. Behind the retaining wall a 6' tall cedar fence is proposed that would be mostly solid at the bottom with the top 2' having an area with openings between narrow pickets.
3. A bed with shrubs is proposed on the north side and adjacent to the house. A Bradford Pear tree next to the house is slated for removal.
4. The Architectural Review Board approved the proposal at its March 23, 2023 meeting.
5. Location of the right-of-way/property lines is necessary to assure the retaining wall would be on the property rather than in the alley or E. South St. rights-of-way.

#### **Conclusions:**

1. The proposed fence would screen the commercial use to the west. A more solid style is warranted and fits the character of the neighborhood.
2. Another suitable location for a screened patio does not exist for this property.

#### **Discussion:**

Mr. Brown explained if it was just the retaining wall a variance would not be needed. The ARB discussed the total height of about 8' with the fence. Mr. Coulter said part of the discussion was about safety. Ms. Sally Parker, 27 E. South St., Worthington, Ohio was the applicant. Mrs. Crane asked if there was anyone in the audience that wanted to speak for or against this application, but no one commented.

#### **Motion:**

Ms. Benzenberg moved:

**THAT THE REQUEST BY SALLY PARKER FOR A VARIANCE TO INSTALL A FENCE IN THE REQUIRED SIDE YARD AT 27 E. SOUTH ST., AS PER CASE NO. VAR 05-2023, DRAWINGS NO. VAR 05-2023, DATED MARCH 8, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

Mr. Guillozet seconded the motion. Mr. Brown called the roll. Mr. Coulter, aye; Mr. Guillozet, aye; Ms. Benzenberg, aye; and Mrs. Crane, aye. The motion was approved.

**4. Variance – Building Height – New School – 300 W. Dublin-Granville Rd. (Schorr Architects/Thomas Worthington High School)) VAR 06-2023**

Mr. Brown reviewed the following from the staff memo:

**Findings of Fact & Conclusions**

**Background:**

Thomas Worthington High School was originally built in 1952 and has undergone many additions and renovations over the years. Replacement of most of the school is proposed. The building and site design have been reviewed by the Architectural Review Board and approval of the plan is expected at its April 27<sup>th</sup> meeting.

**Worthington Codified Ordinances:**

[1149.02 Yard, Area and Height for All Buildings other than Dwellings.](#)

The maximum building height in the S-1 Zoning District is 4 stories or 45’.

[1123.11 Building.](#)

(c) "Height of building" means the vertical distance from the average established grade to the highest point of the coping of a flat roof or to the deck line of a mansard roof, or to the mean height level between eaves and ridge for gable, hip and gambrel roofs.

**Request:**

Approval is requested to construct the new high school with portions of the building being taller than 45’.

- South Elevation: The center section of the south elevation would be 3 stories with the mean height of the hip roof being 46’ tall; and the cupola being 73’ tall. The variance request for the roof is 1’; and the variance request for the cupola is 28’.
- Auditorium Fly Space: The proposed height for the auditorium fly space at the northeast corner of the school is 54’ for a requested variance of 9’.

**Project Details:**

1. Along with the new building proposed for construction in place of the existing school (300’ from W. Dublin-Granville Rd.), an addition is designed for the south side of the athletic

building. The new east end of the building is proposed to be further west than the existing, and parking is proposed on the east side.

3. The floor plans show the new building would be two stories; and a third floor is proposed in the front (middle of the south elevation).
4. Front elevation
  - a. The center element is shown with a hip roof and five bays of openings, and the side elements for the three-story portion would have slightly lower gables and three bays.
  - b. The cupola base is substantial.
  - c. Red brick is proposed for most of the building, except most of the first floor and some of the upper levels would have a tan/beige blend of brick. Also, a darker shade would create lines running through the first floor.
  - e. A gray standing seam metal roof is proposed.
5. North Elevation
  - a. The auditorium is shown to the east and the student commons would be in the middle.
  - b. The commons would have floor to ceiling windows and a lower brick screen wall would create a semi-enclosed outdoor space for gathering.
  - c. For the auditorium, small rectangular windows are shown across the top part of the wall. Four solid double-doors would be provided for access. The fly space of the auditorium is shown set back about 87' from the proposed east entrance of the building.
  - d. Red brick is proposed for this elevation.
7. East Elevation
  - a. The entrance would be two-stories with three bays of windows.
  - b. A combination of red brick and lighter brick would make up the east wall.
  - c. A solid black gate is proposed at the art alley.
  - d. The auditorium fly space would be visible from the parking area and possibly Evening St. to the east. Trees are proposed in that parking lot.

### **Conclusions:**

1. The grand front building façade and entrance are an appropriate size and scale for the building, especially given the distance from W. Dublin-Granville Rd. The variance for the roof on the three-story part of the school would not be substantial. The cupola height is appropriate for the building design.
2. The location of the auditorium fly space is set back from the exterior building walls so would be somewhat hidden from view. Also, the area is an expected part of a high school auditorium and is proposed with the same brick as the building.
3. The essential character of the neighborhood would not be altered with the proposed variances.

### **Discussion:**

Mr. Coulter explained this matter has been before the Architectural Review Board (ARB) four times so far, and there has been a lot of public comment in meetings before they came to ARB. The comments drove a lot of the design. Mr. Coulter said there were a few people that wanted a contemporary looking school and he was concerned because of the location of the school. He said the people that ended up going to the school board meetings wanted a very historical looking

building that fit within the architecture and the framework of what Worthington is known for. Mr. Coulter said there were very few discussions relative to height because the height was driven by the fact that with a smaller footprint, you need to go three stories tall. He said they are expecting to have the final submission at the April 27, 2023, meeting. Mr. Coulter added the building is very large and felt the scale and massing warranted the variance request. Mrs. Crane asked for clarification for the height variance. Mr. Brown explained there were two areas that needed a variance, the cupola up front, and the fly space for the auditorium.

Mr. Nathan Gammella, representing Schorr Architects, 230 Bradenton Ave., Dublin, Ohio, said the fly space was set back on the east side eighty-six feet, and six inches. Mrs. Crane asked if the cupola served any function and Mr. Gammella said no, the cupola was just a decorative element. Mr. Gammella explained to Mrs. Crane that the project would be completed in phases and west through the phases.

Mrs. Crane asked if there was anyone in the audience that wanted to speak for or against this application.

Mr. Paul Miller, representing Schorr Architects, 230 Bradenton Ave., Dublin, Ohio, said one of the first activities would be to dig a pit for an underground detention on the south lawn. Everyone will think they are putting the building on the south lawn, but there are not. That area will eventually get covered and grassed over.

**Motion:**

Mr. Guillozet moved:

**THAT THE REQUEST BY SCHORR ARCHITECTS ON BEHALF OF THE WORTHINGTON SCHOOLS FOR HEIGHT VARIANCES TO CONSTRUCT A NEW HIGH SCHOOL AT 300 W. DUBLIN-GRANVILLE RD., AS PER CASE NO. VAR 06-2023, DRAWINGS NO. VAR 06-2023, DATED MARCH 10, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

Mr. Coulter seconded the motion. Mr. Brown called the roll. Ms. Benzenberg, aye; Mr. Coulter, aye; Mr. Guillozet, aye; and Mrs. Crane, aye. The motion was approved.

**5. Variance – Sign Requirements – New Freestanding Sign – 6895 N. High St. (Liz Salisbury/Fifth Third Bank) VAR 09-2023**

Mr. Brown reviewed the following from the staff memo:

**Findings of Fact & Conclusions**

**Background:**

This bank property was developed in 1970 and became Fifth Third Bank in the 1990's. Fifth Third initially used the pylon sign that was originally installed for State Savings Bank, and then changed to the current monument sign in 2011. The existing sign cabinet is 50 square feet (sf) per side; has a base that is 6' wide and 2' high; and the top of the sign is just over 7' high. In 2011 a variance was granted to allow the 50 square foot (sf) per side monument sign.

A new sign is proposed with this application that would have updated branding for the bank and sign area greater than was previously approved.

### **Worthington Codified Ordinances:**

#### **1170.04 Measurement.** (Signs)

- (a) Sign area is calculated by totaling all display areas of a sign, including sign faces, molding and framing, but excluding supporting members less than or equal to twenty-four inches in width.
- (b) Planters or other decorative supporting structures shall be excluded in the computation of sign area unless the structure exceeds two feet in height or eight feet in length, in which case the entire structure shall be included in the computation of sign area.

#### **1170.05 Commercial and Industrial District Requirements.**

- (a) Sign area. Allowable permanent sign area for any single business shall be limited according to the widths of the building or part of the building occupied by such enterprise. For the purposes of this section, width shall be measured along the building face nearest parallel to the street line. In the case of a corner lot, either frontage may be used in determining maximum area for signage. The area of all permanent signs for any single business shall be equivalent to one and one-half square feet of sign area for each lineal foot of width of the building or part of the building, but shall not exceed a maximum area of 100 square feet per business.
- (c) Freestanding Signage. There shall be no more than one freestanding sign per parcel. No part of any freestanding sign shall exceed an above-grade height of fifteen feet. Freestanding signs shall not be larger than sixty percent (60%) of the total sign area allowed for under Section [1170.05](#) (a). Freestanding signs shall be located not closer than ten feet to a public right of way or thirty-five feet to an adjoining property line.

### **Request:**

The applicant would like to install a sign that is 85 square feet per side including the base which must be included due to the size being larger than 8' wide x 2' high. The Code allows for 30 square feet (sf) per side so the requested variance is 55 square feet per side or 110 square feet total.

### **Project Details:**

1. Location of the new sign would be south of the existing sign which is slated for removal. A new wall and landscape element was added at the street corner by the City, and a new bus shelter was installed to the south. The sign must be placed at least 10' from the right-of-way/front property line so would be at a lower elevation than the sidewalk.
2. The new 120" wide x 53" tall (~45 sf in area per side) aluminum sign box is designed with curves at two of the corners. The aluminum faces would be curved and routed to allow the

logo and letters to be raised from the surface and illuminated. The blue background at the top 2/3 and the squiggly pattern at the bottom 1/3 would not be illuminated. The sides and top of the box are proposed as green.

3. The sign base is proposed to be 125" wide x 45" tall (~39 sf in area per side). The top and bottom 4" would be gray caps and the remainder was proposed to have a faux brick but the Architectural Review Board approved a brick veneer to match the building instead.
4. Total sign area would be 85 sf per side (125" x 98") which includes the entire base as is required by Code for bases greater than 8' wide x 2' high.
5. The Architectural Review Board approved the proposed sign with modifications at its March 23, 2023 meeting.

#### **Conclusions:**

1. With the addition of the corner element at Caren Ave. and N. High St. and the bus shelter, there is less visibility of the existing sign.
2. The proposed sign cabinet is 45 sf in area which is smaller than the previously approved variance. The larger sign base would accommodate the sign and allow it to be just over 8' in height. The 1' increase along with relocation to the south should improve visibility.
3. The essential character of the area should not be substantially altered with this proposal.

#### **Discussion:**

Mr. Kevin McCord, representing Fifth Third Bank (virtually), said the presentation was spot on. They would like to move the sign to a more visible location. The corner looks great, and a lot of improvements have been made. Ms. Benzenberg asked if the sign was moving behind the bus stop or further south on the property and Mr. McCord said the sign was moving further south. Mr. Coulter spoke about the ARB discussing the lighting and the use of veneer brick instead of the faux brick originally proposed. Mrs. Crane asked who decides where bus shelters will go. Mr. Brown said it is a combination of COTA, citizen requests, and the City, and spoke about the addition of trash cans maintained by COTA.

Mrs. Crane asked if there was anyone in the audience that wanted to speak for or against this application, but no one commented.

#### **Motion:**

Mr. Coulter moved:

**THAT THE REQUEST BY LIZ SALISBURY ON BEHALF OF FIFTH THIRD BANK FOR A VARIANCE TO INSTALL A NEW FREESTANDING SIGN AT 6895 N. HIGH ST. AS PER CASE NO. VAR 09-2023, DRAWINGS NO. VAR 09-2023, DATED MARCH 16, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

Mr. Guillozet seconded the motion. Mr. Brown called the roll. Ms. Benzenberg, aye; Mr. Guillozet, aye; Mr. Coulter, aye; and Mrs. Crane, aye. The motion was approved.

**C. Other** - There was no other business to discuss.

**D. Adjournment**

Mr. Coulter moved to adjourn the meeting and Mr. Guillozet seconded the motion. All Board members voted, “Aye,” and the meeting adjourned at 7:41 p.m.



**BZA APPLICATION  
EXCP 03-2023  
6108 HUNTLEY RD.**

<b>Plan Type:</b> Extension of Construction Completion Period	<b>Project:</b>	<b>App Date:</b> 03/15/2023
<b>Work Class:</b> Extension of Construction Completion Period	<b>District:</b> City of Worthington	<b>Exp Date:</b>
<b>Status:</b> In Review		<b>Completed:</b>
<b>Valuation:</b> \$0.00		<b>Approval Expire Date:</b>
<b>Description:</b> I am in need of an extension to add a source capture system in my salon so that I may have a nail tech. During the last 15 months I ran into a financial hardship due to my husband being ill. I still want to have the work done so that I can have a nail tech but I am needing an extension to make this happen.		

<b>Parcel:</b> 100-002177	Main	<b>Address:</b> 6108 Huntley Rd	Main	<b>Zone:</b> C-2
		Worthington, OH 43229		

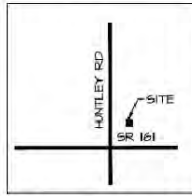
Applicant / Tenant	Owner
Donita A Harris	Huntley Square LLC
6108 Huntley Rd.	4920 Scioto Darby Rd.
Columbus, OH 43229	Suite 120
Mobile: 6144268055	Hilliard, OH 43026

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003631	(Commercial/Industrial) Board of Zoning Appeals	\$50.00	\$0.00
Total for Invoice INV-00003631		\$50.00	\$0.00
Grand Total for Plan		\$50.00	\$0.00

# 6108 Huntley Rd.



6108 HUNTLEY ROAD  
COLUMBUS, OHIO



LOCATION MAP

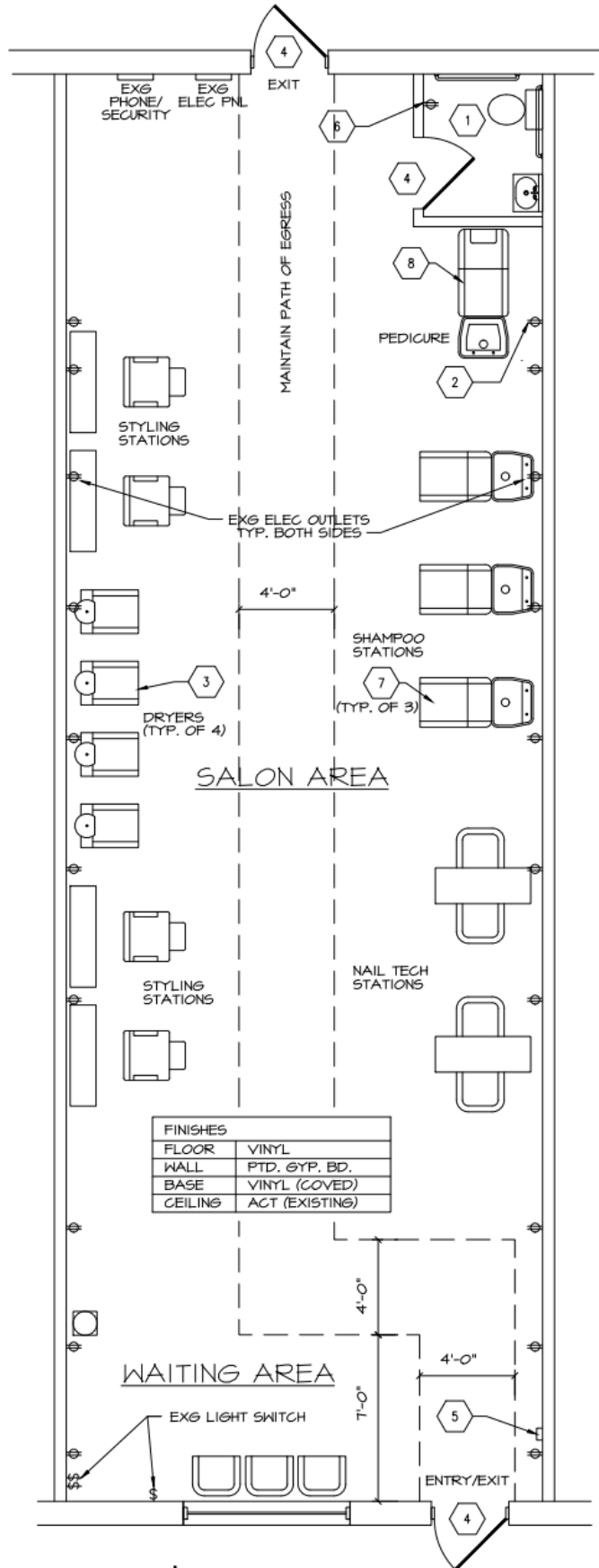
SP-1	SITE PLAN/SPECIFICATIONS
SP-2	SPECIFICATIONS
SP-3	SPECS/ SCHEDULES
AI-1	FLOOR/CEILING/MECHANICAL PLANS



SITE PLAN  
SCALE: 1" = 30'



DATE 03/15/2023



# FLOOR PLAN SCALE: 1/4" = 1'-0"

CITY OF WORTHINGTON

DRAWING NO. EXCP 03-2023

DATE 03/15/2023



## BZA APPLICATION EXCP 04-2023 6760 Hayhurst St.

<b>Plan Type:</b>	Extension of Construction Completion Period	<b>Project:</b>		<b>App Date:</b>	03/27/2023
<b>Work Class:</b>	Extension of Construction Completion Period	<b>District:</b>	City of Worthington	<b>Exp Date:</b>	
<b>Status:</b>	In Review			<b>Completed:</b>	
<b>Valuation:</b>	\$0.00			<b>Approval</b>	
				<b>Expire Date:</b>	

**Description:** I am in the process of remodeling various portions of my house. The remaining portions of the project are the remodel of both bathrooms and a kitchen. Some of the project has already been completed and inspected by the city of Worthington. So far, the stairs to the basement have been moved and a wall has been removed and replaced with a beam. The project stalled for several reasons including but not limited to the global pandemic, scarcity and increased price of materials, and long lead times for various contractors. My existing permit number is BLDR2021-0635, IVR number 35308. I would like to extend this permit for another year from the expiration date of 4/27/2023.

<b>Parcel:</b>	100-004953	Main	<b>Address:</b>	6760 Hayhurst St Worthington, OH 43085	Main	<b>Zone:</b>	R-10(Low Density Residence)
----------------	------------	------	-----------------	---	------	--------------	-----------------------------

Applicant / Owner  
Andrew G Ratliff  
6760 HAYHURST ST  
Worthington , OH 43085  
Mobile: 6145612223

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003690	(Residential) Board of Zoning Appeals	\$25.00	\$25.00
Total for Invoice INV-00003690		\$25.00	\$25.00
Grand Total for Plan		\$25.00	\$25.00

# 6760 Hayhurst St.



BUILDING CODE NOTES

THESE PLANS WERE DESIGNED AND ENGINEERED TO COMPLY WITH ALL APPLICABLE BUILDING CODES TO THE BEST KNOWLEDGE OF THE AUTHOR. THESE NOTES INCLUDE:

- RESIDENTIAL CODE OF OHIO 2019
- OHIO BUILDING CODE - 2005 / 1998 O.B.O.A.
- NATIONAL ELECTRICAL CODE 2008
- LOCAL BUILDING & ZONING AMENDMENTS
- B.O.C.A. / '92 C.A.B.O. / '95 C.A.B.O.

THE NOTES ON THIS SPECIFIC SET OF BUILDING PLANS ARE INTENDED TO ADDRESS TYPICAL METHODS OF CONSTRUCTION WITHIN THE LIMITS OF ALL GOVERNING BUILDING CODES. WHILE EVERY EFFORT HAS BEEN MADE TO NOTE THE MOST TYPICAL AND ALL NON TYPICAL METHODS OF CONSTRUCTION IN RELATION TO GOVERNING BUILDING CODES AND REGULATIONS, IT IS NOT POSSIBLE, NOR PRACTICAL TO STATE THE ENTIRE CONTENTS OF ALL GOVERNING CODES AND REGULATIONS ON THIS SPECIFIC SET OF PLANS. THEREFORE IT IS HERE STATED THAT THIS RESIDENTIAL CONSTRUCTION PROJECT WILL ADHERE TO ALL APPLICABLE BUILDING CODES, REGULATIONS, AND ENGINEERING REQUIREMENTS IN THE CONSTRUCTION OF THIS SPECIFIC JOB WRITTEN AND/OR IMPLIED.

GENERAL & CODE COMPLIANCE NOTES

ALL CONTRACTORS ARE REQUIRED TO REVIEW & UNDERSTAND THE APPROPRIATE CONTRACT DOCUMENTS AND CONSTRUCTION DRAWINGS PRIOR TO ORDERING ANY MATERIALS OR BEGINNING ANY CONSTRUCTION. IF QUESTION ARISE, THEY MUST CONTACT THE JOB SUPERVISOR & RESIDENTIAL DESIGNER FOR CLARIFICATION PRIOR TO PROCEEDING. THESE DRAWINGS ARE ABBREVIATED AND INDICATE THE MINIMUM STANDARDS NECESSARY TO COMPLY WITH TYPICAL BUILDING CODES AND PERMIT REGULATIONS. THE AUTHOR HAS MADE EVERY ATTEMPT TO BE ACCURATE & COMPLETE, BUT SHOULD ANY ERRORS OR OMISSIONS BE DISCOVERED IT IS THE CONTRACTORS RESPONSIBILITY TO IMMEDIATELY NOTIFY THE JOB SUPERVISOR & RESIDENTIAL DESIGNER FOR PROBLEM RESOLUTION PRIOR TO CONTINUING CONSTRUCTION.

ELECTRICAL, PLUMBING, & HVAC DESIGN, ENGINEERING, SIZING, & PLACEMENT ARE NOT PART OF THE RESIDENTIAL DESIGNER'S RESPONSIBILITIES, BUT MAY BE SHOWN FOR REFERENCE ONLY, OR INCLUDED WHEN DONE BY OTHERS AS PART OF THIS PLAN.

FOUNDATION WALL REINFORCEMENT MUST COMPLY WITH SECTION 404.

FOUNDATION WATERPROOFING MUST COMPLY WITH SECTION 406.

ALL ELECTRICAL EQUIPMENT AND INSTALLATION SHALL COMPLY WITH THE N.E.C. WHICH IS IN EFFECT AT THE TIME OF ITS INSTALLATION.

SMOKE DETECTORS MUST BE LOCATED & INSTALLED IN ACCORDANCE WITH SECTION 314.

CO DETECTORS MUST BE LOCATED & INSTALLED IN ACCORDANCE WITH SECTION 315.

ALL HANDRAILS MUST COMPLY WITH SECTION SECTION 311.

ALL GUARDRAILS MUST COMPLY WITH SECTION SECTION 312.

STAIR CONSTRUCTION MUST COMPLY WITH SECTION 311.

ALL DOORS AND HALLWAYS SHALL COMPLY WITH SECTION 311.

CRAWLSPACES MUST COMPLY WITH SECTION 408.

ALL GLAZING SHALL COMPLY WITH SECTION 308.

ATTIC ACCESS MUST COMPLY WITH SECTION 807.

BATHROOM VENTILATION MUST COMPLY WITH SECTION 303.3

GARAGE SEPARATION MUST COMPLY WITH SECTION 309.

AT LEAST ONE (1) EXTERIOR OPENING IN EACH BEDROOM SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 310.

FRAMING NOTES

ALL DIMENSIONS CORRESPOND TO EITHER CENTERLINES OF CORNERS OF WOOD FRAMING LENGTHS AND/OR FENESTRATION.

EXTERIOR WALLS MEASURED 4" / INTERIOR WALLS MEASURED 3.5" UNLESS NOTED.

ALL STRUCTURAL LUMBER MINIMUM #2 SOUTHERN YELLOW PINE OR BETTER UNLESS NOTED OTHERWISE.

ALL OTHER LUMBER MINIMUM #2 CANADIAN SPECIES SPRUCE-PINE-FIR.

ALL HEADERS IN EXTERIOR WALLS TO BE MINIMUM 2-2X6 OR AS NOTED ON FLOORPLAN.

ALL LUMBER IS TO BE GRADED AND MARKED WITH THE APPROPRIATE GRADE STAMP.

ALL INTERIOR NON-BEARING HEADERS ARE 2X4 STUD (FLAT).

PROVIDE MINIMUM 2-2X4 STUDS AT ALL BEARING POINTS UNLESS NOTED OTHERWISE.

ALL MULTIPLE MEMBER BEAMS ARE TO BE NAILED TOGETHER WITH 2 ROWS OF 16p NAILS (TOP AND BOTTOM) SPACED EVERY 12" ON CENTER.

ENDS OF JOISTS, BEAMS OR GIRDERS TO BEAR 1½" OR GREATER ON WOOD OR METAL AND TO BEAR 3" OR GREATER ON MASONRY.

ANY CUTTING, NOTCHING OR OTHER ADJUSTMENTS TO STRUCTURAL MEMBERS MUST COMPLY WITH CODE ALLOWANCES AND NOT LESSEN THE STRUCTURAL INTEGRITY OF THE BUILDING IN ANY MANNER

PROVIDE SOLID BLOCKING BELOW ALL BEARING POINTS (CRUSH ZONES).

ROOF TRUSSES, MANUFACTURED BEAMS, AND ALL OTHER PRE-CONSTRUCTED MATERIALS ARE DESIGNED AND ENGINEERED BY THE MANUFACTURER.

AVOID FLOORJOISTS DIRECTLY BELOW PLUMBING DRAINS.

USE OF METAL HANGERS MUST BE IN CONFORMANCE WITH MAN. RECOMMENDATIONS.

DESIGN LIVE LOADS: 40 PSF FIRST FLOOR 30 PSF SECOND FLOOR SLEEPING ROOMS 25 PSF ROOF FRAMING (WITHSTAND 90 MPH WIND LOAD)

FOUNDATION PLAN NOTES

ALL FOOTINGS ARE 16" WIDE X 8" DEEP UNLESS NOTED OTHERWISE.

TO TIE FOOTINGS OF DIFFERENT LEVELS TOGETHER, HOLD HIGH FOOTINGS BACK FROM LOWER LEVELS. USE POURED LINTELS TO BRIDGE & TIE.

ALL FOOTING DESIGNS ARE BASED ON 1500 PSF SOIL BEARING.

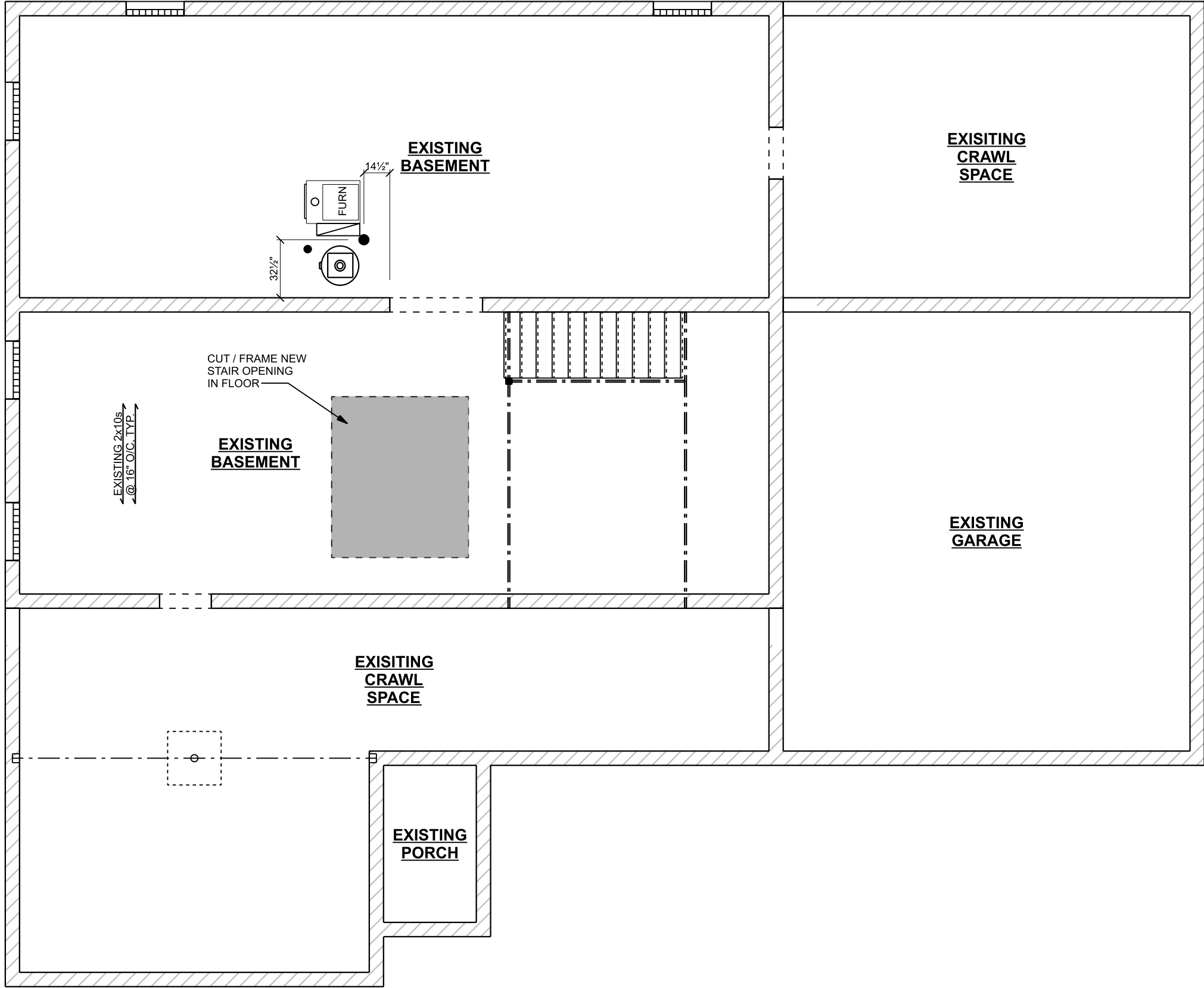
ALL FOOTINGS ARE TO BE PLACED ON UNDISTURBED SOIL LOCATED BELOW THE FROST LINE DICTATED BY THE CONSTRUCTION LOCATION.

WATERPROOF / DAMPPROOF PER LOCAL CODE.

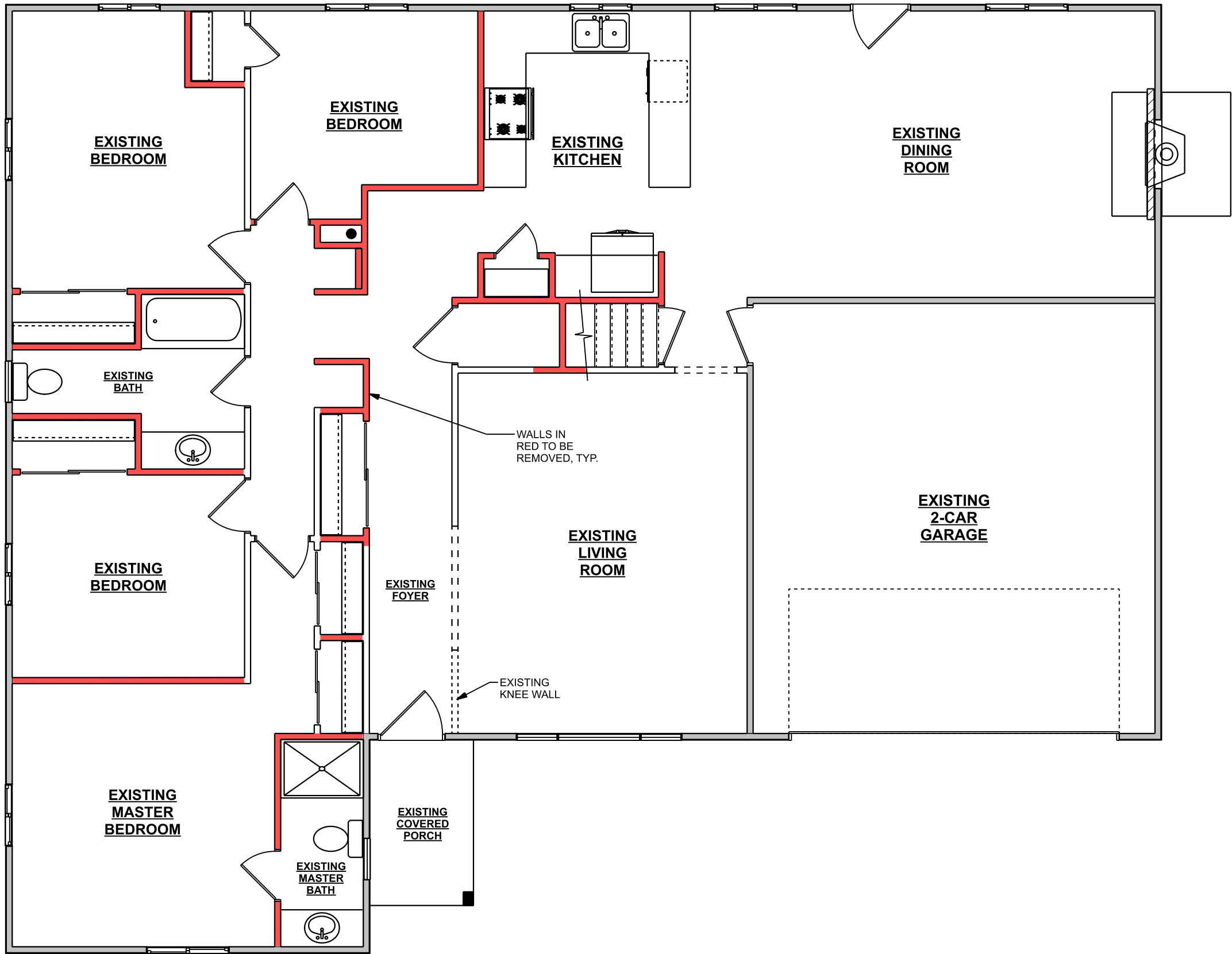
GRADE IS TO BE 8" OR MORE BELOW TOP OF FOUNDATION. SLOPING AWAY FROM THE HOUSE MIN. 6" FALL IN FIRST 10'-0".

HORIZONTAL CONCRETE SLABS (FLATWORK) ARE TO BE A MINIMUM 3.5" THICK (3500 PSI COMPRESSIVE STRENGTH) ON MIN. 4" GRAVEL FILL.

RATLIFF  
RESIDENCE



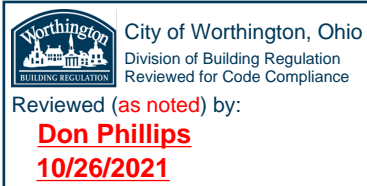
AS-BUILT FOUNDATION PLAN



AS-BUILT FIRST FLOOR PLAN

DRAWING SCHEDULE	
AS-BUILT PLANS	1
NEW FOUNDATION	2
NEW 1st FLOOR	3
SECTIONS & ELEC.	4

CITY OF WORTHINGTON  
DRAWING NO. EXCP 04-2023  
DATE 03/27/2023



RATLIFF

SINGLE FAMILY  
RESIDENCE DETACHED

AS-BUILT PLANS

OFFICE: 614-365-1823  
620 ALUM CREEK DRIVE,  
SUITE 308  
COLUMBUS, OH 43205  
WWW.PRODESIGNSERVICES.NET

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Services, INC.

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**BIA**  
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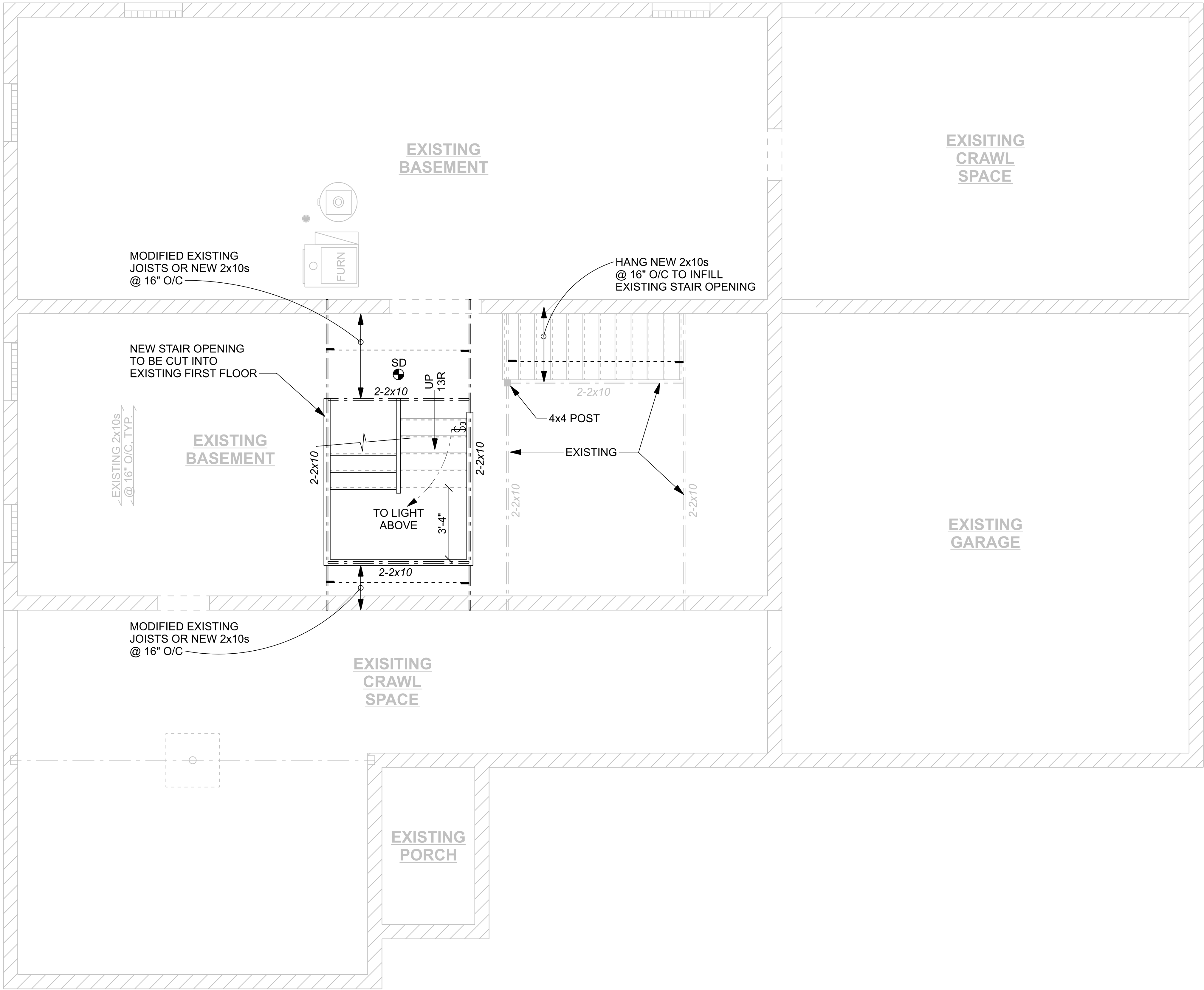
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MTG #1 ■ MTG #2 ■ MTG #3 ■ FINAL DWGS ■

START DATE:  
4/10/2021

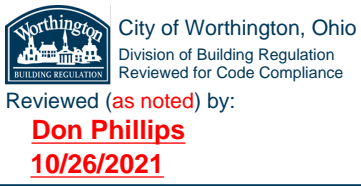
DATE PLOTTED:  
10/19/2021

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BMH  
PAGE:  
1

NEW FOUNDATION PLAN  
SCALE: 3/8" = 1'-0"



CITY OF WORTHINGTON  
DRAWING NO. EXCP 04-2023  
DATE 03/27/2023



RATLIFF

SINGLE FAMILY  
RESIDENCE DETACHED

NEW FOUNDATION

OFFICE: 614-365-1823  
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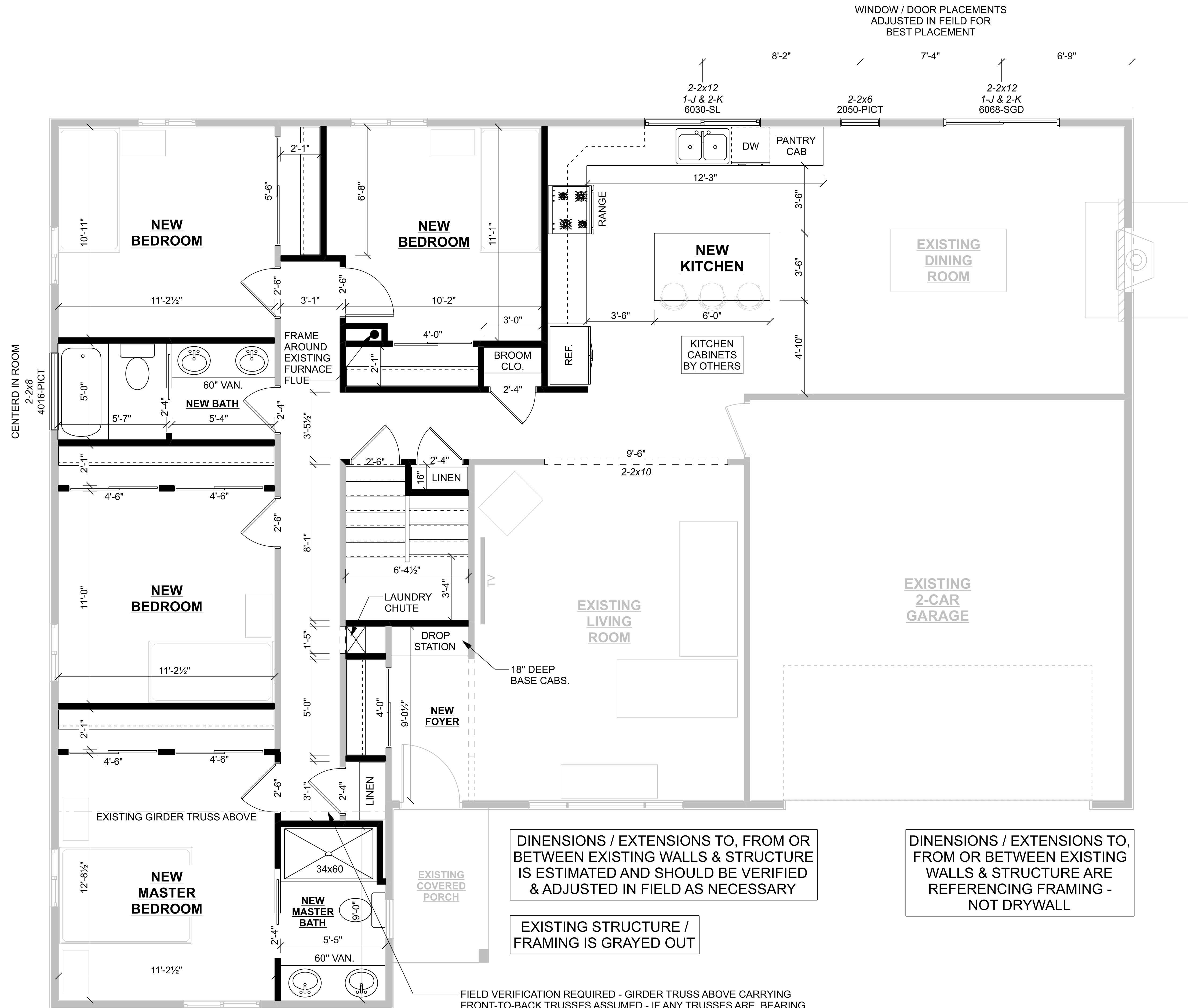
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MTG #1 ■ MTG #2 ■ MTG #3 ■ FINAL DWGS ■

START DATE:  
4/10/2021

DATE PLOTTED:  
10/19/2021

DESIGN BY:  
BMH  
CD'S DRAWN BY:  
BMH

PAGE:  
**2**



## HEADER KEY

LVLS ARE FIGURED TO BE 1¼" WIDE.

"J" & "K" IN HEADER NAMES  
REPRESENT JACKS & KINGS.

THE NUMBER PRECEDING "J" OR  
"K" REPRESENTS THE NUMBER  
OF JACKS OR KINGS REQUIRED,

THE NUMBER OF JACKS & KINGS  
ARE FIGURED TO BE PLACED  
ON BOTH SIDES OF THE HEADER  
UNLESS NOTED OTHERWISE,

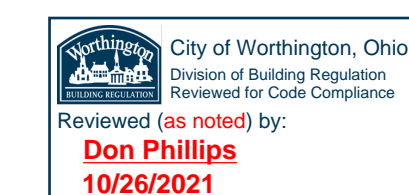
EX. 2-2x10  
2-J 2-K

THIS IS A 2-2x10 HEADER WITH  
(2) JACK AND (2) KING STUDS  
AT EACH END OF THE HEADER.

## NEW FIRST FLOOR PLAN

SCALE: 3/8" = 1'-0"

CITY OF WORTHINGTON  
DRAWING NO. EXCP 04-2023  
DATE 03/27/2023



RATLIFF

SINGLE FAMILY  
RESIDENCE DETACHED

NEW 1st FLOOR

OFFICE: 614-365-1823  
620 ALUM CREEK DRIVE,  
SUITE 308  
COLUMBUS, OH 43205  
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DESIGN ■ CD'S ■  
MTG #1 ■ MTG #2 ■ MTG #3 ■ FINAL DWGS ■

START DATE:  
4/10/2021  
DATE PLOTTED:  
10/19/2021

DESIGN BY:  
BMH  
CD'S DRAWN BY:  
BMH  
PAGE:  
3

(partial) **NFPA 70 210.11 Branch Circuits Required.** Branch circuits for lighting and for appliances, including motor-operated appliances, shall be provided to supply the loads calculated in accordance with 220.10. In addition, branch circuits shall be provided for specific loads not covered by 220.10 where required elsewhere in this Code and for dwelling unit loads as specified in 210.11(C).

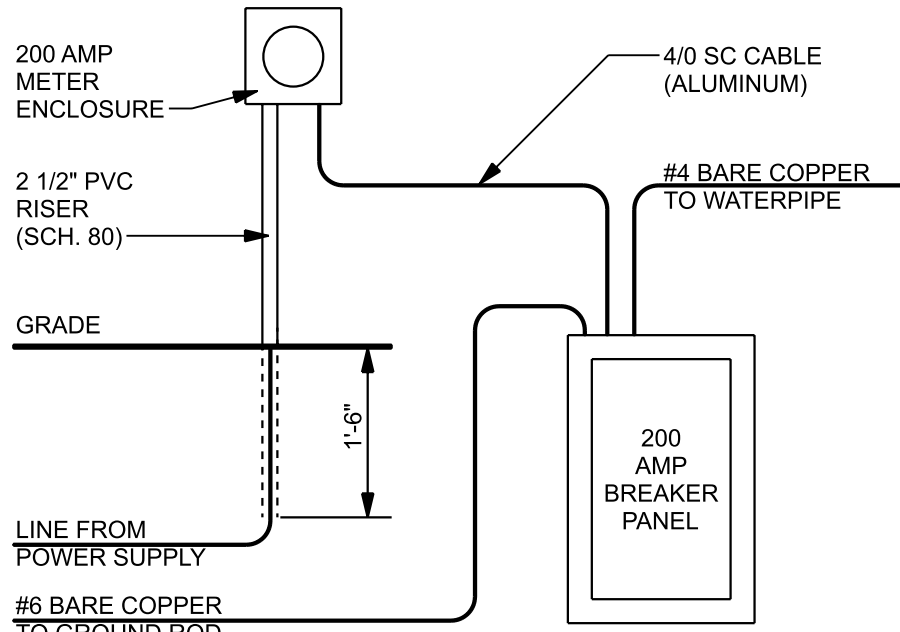
(C) Dwelling Units.

(1) Small-Appliance Branch Circuits. In addition to the number of branch circuits required by other parts of this section, two or more 20-ampere small-appliance branch circuits shall be provided for all receptacle outlets specified by 210.52(B).

(2) Laundry Branch Circuits. In addition to the number of branch circuits required by other parts of this section, at least one additional 20-ampere branch circuit shall be provided to supply the laundry receptacle outlet(s) required by 210.52(F). This circuit shall have no other outlets.

(3) Bathroom Branch Circuits. In addition to the number of branch circuits required by other parts of this section, at least one 20-ampere branch circuit shall be provided to supply bathroom receptacle outlet(s). Such circuits shall have no other outlets.

Exception: Where the 20-ampere circuit supplies a single bathroom, outlets for other equipment within the same bathroom shall be permitted to be supplied in accordance with 210.23(A)(1) and (A)(2).



**ELECTRICAL SERVICE DIAGRAM**  
NOT TO SCALE

(partial) **NFPA 70 210.52(C) Countertops and Work Surfaces.** In kitchens, pantries, breakfast rooms, dining rooms, and similar areas of dwelling units, receptacle outlets for countertop and work surfaces shall be installed in accordance with 210.52(C)(1) through (C)(5).

(1) Wall Countertop and Work Surfaces. A receptacle outlet shall be installed at each wall countertop and work surface that is 300 mm (12 in.) or wider. Receptacle outlets shall be installed so that no point along the wall line is more than 600 mm (24 in.) measured horizontally from a receptacle outlet in that space.

Exception: Receptacle outlets shall not be required on a wall directly behind a range, counter-mounted cooking unit, or sink in the installation described in Figure 210.52(C)(1).

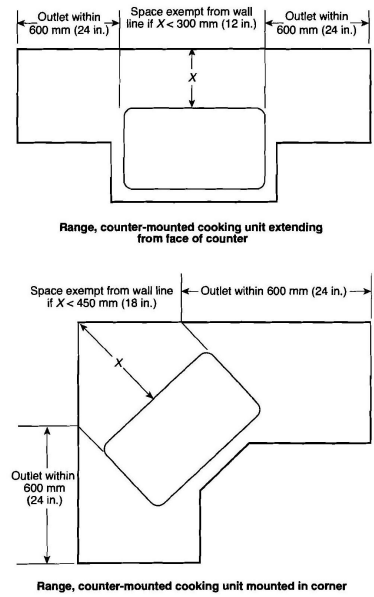


Figure 210.52(C)(1) Determination of Area Behind a Range, or Counter-Mounted Cooking Unit or Sink.

(2) Island Countertop Spaces. At least one receptacle shall be installed at each island countertop space with a long dimension of 600 mm (24 in.) or greater and a short dimension of 300 mm (12 in.) or greater.

(3) Peninsular Countertop Spaces. At least one receptacle outlet shall be installed at each peninsular countertop long dimension space with a long dimension of 600 mm (24 in.) or greater and a short dimension of 300 mm (12 in.) or greater. A peninsular countertop is measured from the connecting perpendicular wall.

(4) Separate Spaces. Countertop spaces separated by rangetops, refrigerators, or sinks shall be considered as separate countertop spaces in applying the requirements of 210.52(C)(1). If a range, counter-mounted cooking unit, or sink is installed in an island or peninsular countertop and the depth of the countertop behind the range, counter-mounted cooking unit, or sink is less than 300 mm (12 in.), the range, counter-mounted cooking unit, or sink shall be considered to divide the countertop space into two separate countertop spaces. Each separate countertop space shall comply with the applicable requirements in 210.52(C).

(5) Receptacle Outlet Location. Receptacle outlets shall be located on or above, but not more than 500 mm (20 in.) above, the countertop or work surface. Receptacle outlet assemblies listed for use in countertops or work surfaces shall be permitted to be installed in countertops or work surfaces. Receptacle outlets rendered not readily accessible by appliances fastened in place, appliance garages, sinks, or rangetops as covered in 210.52(C)(1), Exception, or appliances occupying dedicated space shall not be considered as these required outlets.

Exception to (5): To comply with the following conditions (1) and (2), receptacle outlets shall be permitted to be mounted not more than 300 mm (12 in.) below the countertop or work surface. Receptacles mounted below a countertop or work surface in accordance with this exception shall not be located where the countertop or work surface extends more than 150 mm (6 in.) beyond its support base.

(1) Construction for the physically impaired

(2) On island and peninsular countertops or work surfaces where the surface is flat across its entire surface (no backsplashes, dividers, etc.) and there are no means to mount a receptacle within 500 mm (20 in.) above the countertop or work surface, such as an overhead cabinet.

**NFPA 70 210.8(A) Dwelling Units.** All 125-volt, single-phase, 15- and 20-ampere receptacles installed in the locations specified in 210.8(A)(1) through (10) shall have ground-fault circuit-interrupter protection for personnel.

(1) Bathrooms

(2) Garages, and also accessory buildings that have a floor located at or below grade level not intended as habitable rooms and limited to storage areas, work areas, and areas of similar use except for the receptacle located to serve a garage door opener when the device is a single receptacle and located in the ceiling.

(3) Outdoors

Exception to (3): Receptacles that are not readily accessible and are supplied by a branch circuit dedicated to electric snow-melting, deicing, or pipeline and vessel heating equipment shall be permitted to be installed in accordance with 426.28 or 427.22, as applicable

(4) Crawl spaces – at or below grade level

(5) Unfinished portions or areas of the basement not intended as habitable rooms.

Exceptions:

1. A receptacle supplying only a permanently installed fire alarm or burglar alarm system shall not be required to have groundfault circuit-interrupter protection.

2. A single receptacle located to serve a sump pump shall not be required to have ground-fault circuit-interrupter protection when there is a duplex receptacle with ground-fault circuitinterrupter protection within six (6) feet of the sump pump.

(6) Kitchens – where the receptacles are installed to serve the countertop surfaces

(7) Sinks – where the receptacles are installed within 1.8 m (6 ft) of the outside edge of the sink

(8) Bathhouses

(9) Bathtubs or shower stalls – where receptacles are installed within 1.8 m (6 ft) of the outside edge of the bathtub or shower stall

(10) Laundry areas

(partial) **NFPA 70 210.52(D) Bathrooms.** At least one receptacle outlet shall be installed in bathrooms within 900 mm (3 ft) of the outside edge of each basin. The receptacle outlet shall be located on a wall or partition that is adjacent to the basin or basin countertop, located on the countertop, or installed on the side or face of the basin cabinet not more than 300 mm (12 in.) below the countertop. Receptacle outlet assemblies listed for the application shall be permitted to be installed in the countertop. In no case shall the receptacle be located more than 300 mm (12 in.) below the top of the basin or basin countertop. Receptacle outlet assemblies listed for use in countertops shall be permitted to be installed in the countertop.

ELECTRICAL LEGEND		
ELECTRICAL	COUNT	SYMBOL
SWITCH	13	⌚
SWITCH 3 WAY	5	⌚
BATHROOM FAN & LIGHT	1	⌚
CEILING LIGHT	10	⌚
VANITY LIGHT 2	2	⌚
BATHROOM FAN	1	⌚
CAN LIGHT	5	⌚
ISLAND LIGHT	2	⌚
SMOKE & CO DET	2	⌚
SMOKE DET	4	⌚

SWITCH & FIXTURE LOCATIONS ARE DETERMINED BY ELECTRICAL CONTRACTOR, HOMEOWNER, BUILDER AND/OR BUILDING SPECS.

ALL WIRING DONE TO LATEST N.E.C. AND LOCAL CODES

**NFPA 70 406.12 Tamper-Resistant Receptacles.** All 15- and 20-ampere, 125- and 250-volt nonlocking-type receptacles in the areas specified in 406.12(1) through (7) shall be listed tamper-resistant receptacle. Tamper-resistant receptacles shall be installed as specified in 406.12(A) through (C).

(1) In all areas specified in 210.52 and 550.13.

(2) Guest rooms and guest suites of hotels and motels

(3) Child care facilities

(4) Preschools and elementary education facilities

(5) Business offices, corridors, waiting rooms and the like in clinics, medical and dental offices and outpatient facilities

(6) Subset of assembly occupancies described in 518.2 to include places of waiting transportation, gymnasiums, skating rinks, and auditoriums

(7) Dormitories

Exception to (1), (2), (3), (4), (5), and (7): Receptacles in the following locations shall not be required to be tamper resistant

(1) Receptacles located more than 1.7 m (5 ½ ft) above the floor

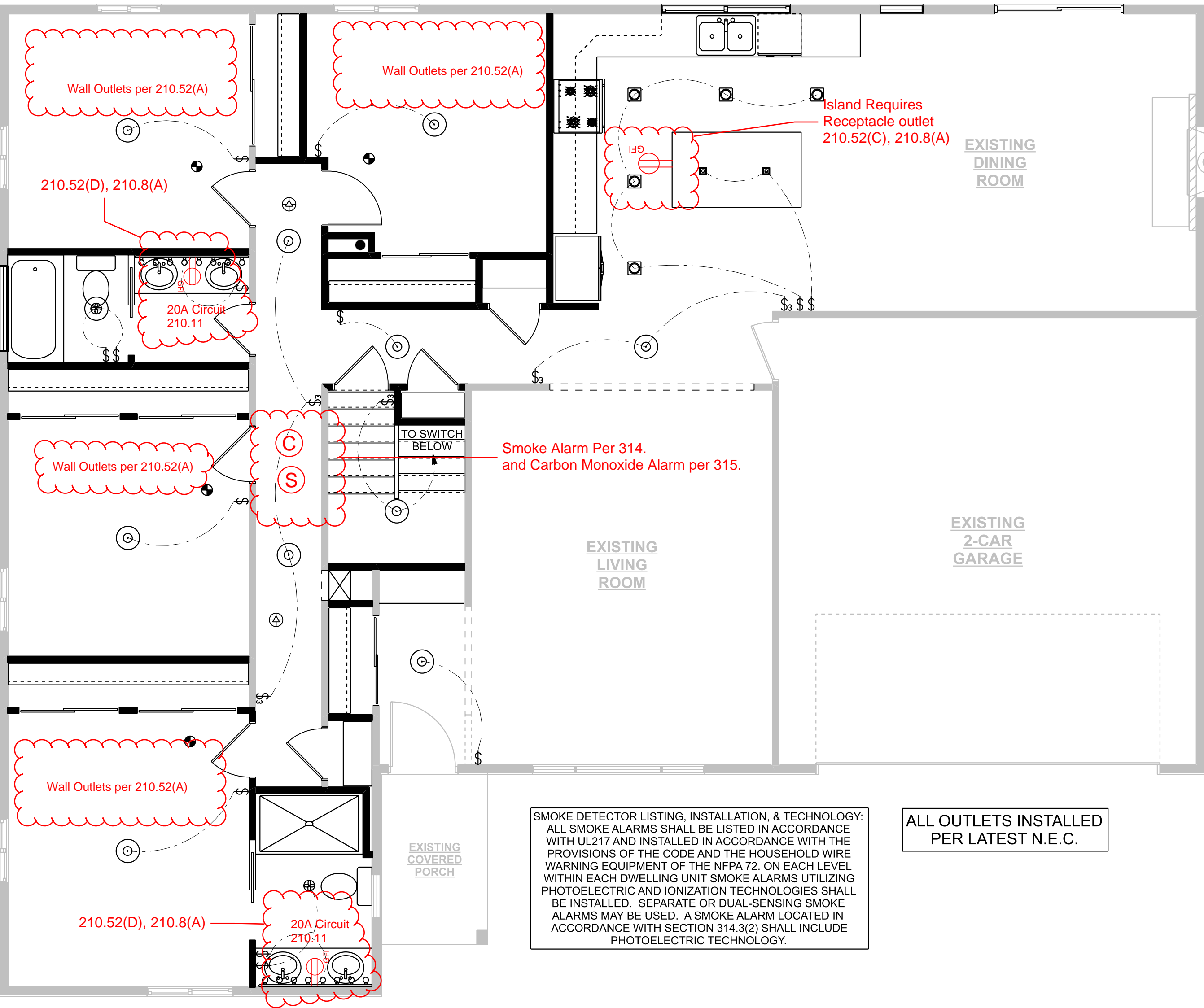
(2) Receptacles that are part of a luminaire or appliance

(3) A single receptacle or a duplex receptacle for two appliances located within the dedicated space for each appliance that, in normal use, is not easily moved from one place to another and that is cord-and-plug-connected in accordance with 400.10(A)(6), (A)(7), or (A)(8)

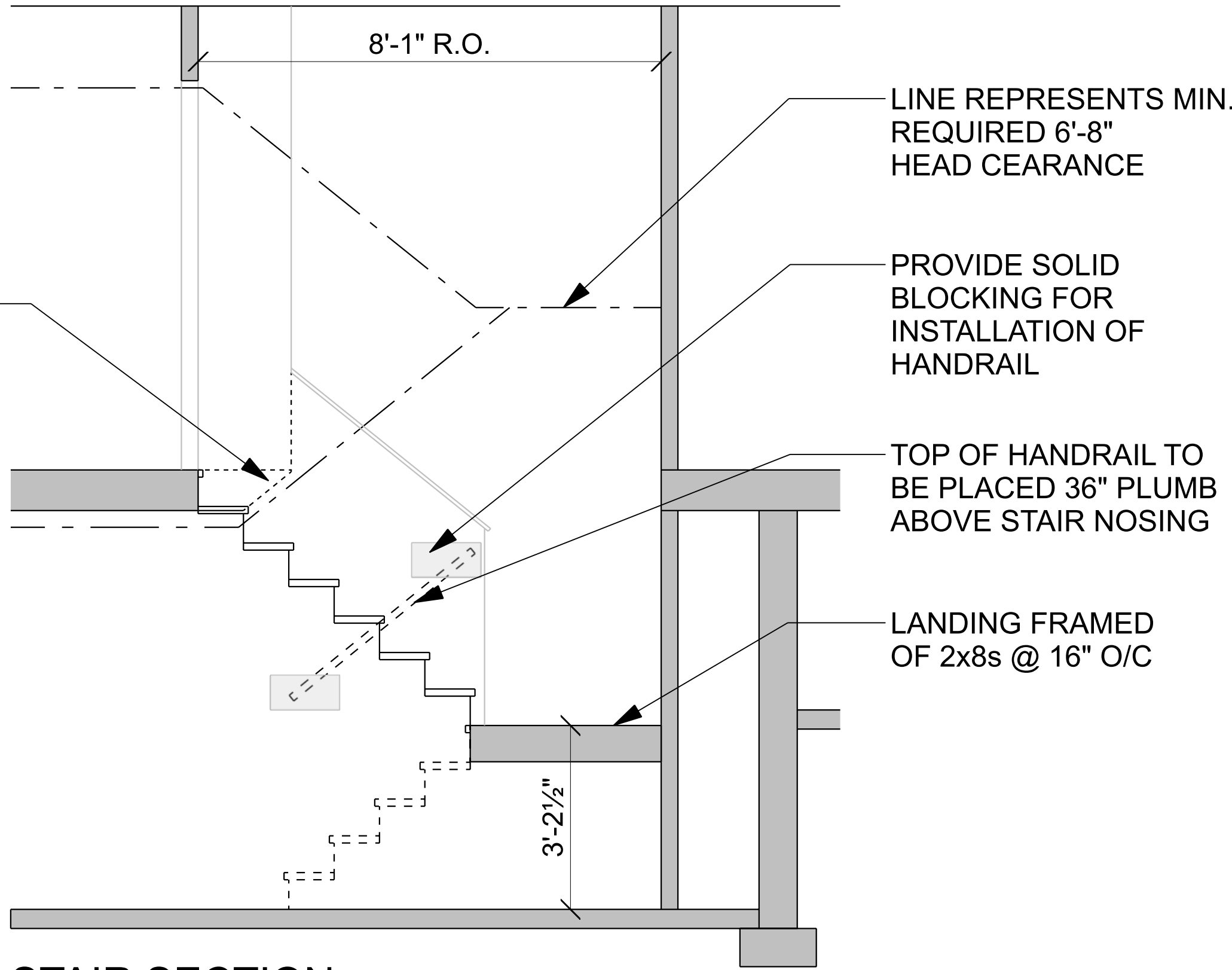
(4) Nongrounding receptacles used for replacements as permitted in 406.4(D)(2)(a)

**SMOKE DETECTOR LISTING, INSTALLATION, & TECHNOLOGY:** ALL SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL217 AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE CODE AND THE HOUSEHOLD WIRE WARNING EQUIPMENT OF THE NFPA 72. ON EACH LEVEL WITHIN EACH DWELLING UNIT SMOKE ALARMS UTILIZING PHOTOELECTRIC AND IONIZATION TECHNOLOGIES SHALL BE INSTALLED. SEPARATE OR DUAL-SENSING SMOKE ALARMS MAY BE USED. A SMOKE ALARM LOCATED IN ACCORDANCE WITH SECTION 314.3(2) SHALL INCLUDE PHOTOELECTRIC TECHNOLOGY.

**ALL OUTLETS INSTALLED PER LATEST N.E.C.**



**NEW FF PLAN - ELECTRICAL**  
SCALE: 1/4" = 1'-0"



**STAIR SECTION**

**NFPA 70 210.8(A) Dwelling Units.** All 125-volt, single-phase, 15- and 20-ampere receptacles installed in the locations specified in 210.8(A)(1) through (10) shall have ground-fault circuit-interrupter protection for personnel.

(1) Bathrooms

(2) Garages, and also accessory buildings that have a floor located at or below grade level not intended as habitable rooms and limited to storage areas, work areas, and areas of similar use except for the receptacle located to serve a garage door opener when the device is a single receptacle and located in the ceiling.

(3) Outdoors

Exception to (3): Receptacles that are not readily accessible and are supplied by a branch circuit dedicated to electric snow-melting, deicing, or pipeline and vessel heating equipment shall be permitted to be installed in accordance with 426.28 or 427.22, as applicable

(4) Crawl spaces – at or below grade level

(5) Unfinished portions or areas of the basement not intended as habitable rooms.

Exceptions:

1. A receptacle supplying only a permanently installed fire alarm or burglar alarm system shall not be required to have groundfault circuit-interrupter protection.

2. A single receptacle located to serve a sump pump shall not be required to have ground-fault circuit-interrupter protection when there is a duplex receptacle with ground-fault circuitinterrupter protection within six (6) feet of the sump pump.

(6) Kitchens – where the receptacles are installed to serve the countertop surfaces

(7) Sinks – where the receptacles are installed within 1.8 m (6 ft) of the outside edge of the sink

(8) Bathhouses

(9) Bathtubs or shower stalls – where receptacles are installed within 1.8 m (6 ft) of the outside edge of the bathtub or shower stall

(10) Laundry areas

**314.1.2 Technologies.** On each level within each dwelling unit smoke alarms utilizing photoelectric and ionization technologies shall be installed. Separate or dual-sensing smoke alarms may be used. A smoke alarm located in accordance with section 314.3(2) shall include photoelectric technology.

**Exception:** A system meeting the requirements of Section 314.7 is not required to include both technologies.

**314.3 Location.** Smoke alarms shall be installed in the following locations:

1. In each sleeping room.

2. Outside each separate sleeping area in the immediate vicinity of the sleeping rooms.

3. On each additional story of the dwelling, including basements and habitable attics and not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.

4. Smoke alarms shall be installed not less than 3 feet (914 mm) horizontally from the door or opening of a bathroom that contains a bathtub or shower unless this would prevent placement of a smoke alarm required by this section.

**314.4 Interconnection.** Where more than one smoke alarm is required to be installed within an individual dwelling unit in accordance with Section 314.3, the alarm devices shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms in the individual dwelling unit. Physical interconnection of smoke alarms shall not be required where listed and labeled wireless alarms are installed and all alarms sound upon activation of one alarm.

**Exception:** Interconnection of smoke alarms in existing areas shall not be required where the alterations or repairs do not result in the removal of interior wall or ceiling finishes exposing the structure, unless there is an attic, crawl space or basement available which could provide access for interconnection without the removal of interior finishes.

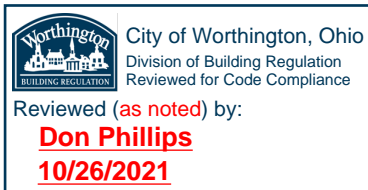
**314.6 Power source.** Smoke alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and, where primary power is interrupted, shall receive power from a battery. Wiring shall be permanent and without a disconnecting switch other than those required for overcurrent protection.

**Exceptions:**

1. Smoke alarms shall be permitted to be battery operated where installed in buildings without commercial power.

2. Hard-wiring of smoke alarms in existing areas shall not be required where the alterations or repairs do not result in the removal of interior wall or ceiling finishes exposing the structure, unless there is an attic, crawl space or basement available which could provide access for hard wiring without the removal of interior finishes.

CITY OF WORTHINGTON  
DRAWING NO. EXCP 04-2023  
DATE 03/27/2023



**RATLIFF**

SINGLE FAMILY  
RESIDENCE DETACHED

SECTIONS & ELEC.

OFFICE: 614-365-1823  
620 ALUM CREEK DRIVE,  
SUITE 308  
COLUMBUS, OH 43205  
WWW.PRODESIGNSERVICES.NET

**A B D**  
The Home Builders

**Professional DESIGN Services, INC.**

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SERVICES, INC

BIA ASSOCIATE MEMBER

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OF THE COPYRIGHT HOLDER

**RATLIFF  
RESIDENCE**

DESIGN ■ CD'S ■  
MTG #1 ■ MTG #2 ■ MTG #3 ■ FINAL DWGS ■

START DATE:  
4/10/2021

DATE PLOTTED:  
10/19/2021

DESIGN BY:  
BMH

CD'S DRAWN BY:  
BMH

PAGE:  
4



## BZA APPLICATION EXCP 05-2023 649 High St.

**Plan Type:** Extension of Construction Completion Period    **Project:**    **App Date:** 03/30/2023  
**Work Class:** Extension of Construction Completion Period    **District:** City of Worthington    **Exp Date:**  
**Status:** In Review    **Completed:**  
**Valuation:** \$0.00    **Approval**  
**Expire Date:**  
**Description:** Request extension on building permit. Building permit was pulled to allow for demolition and full plan review was submitted later. We kindly request an extension to allow for completion of the project. We have received all our rough-in inspections and are installing finishes. Job should be complete soon, 3-4 months.

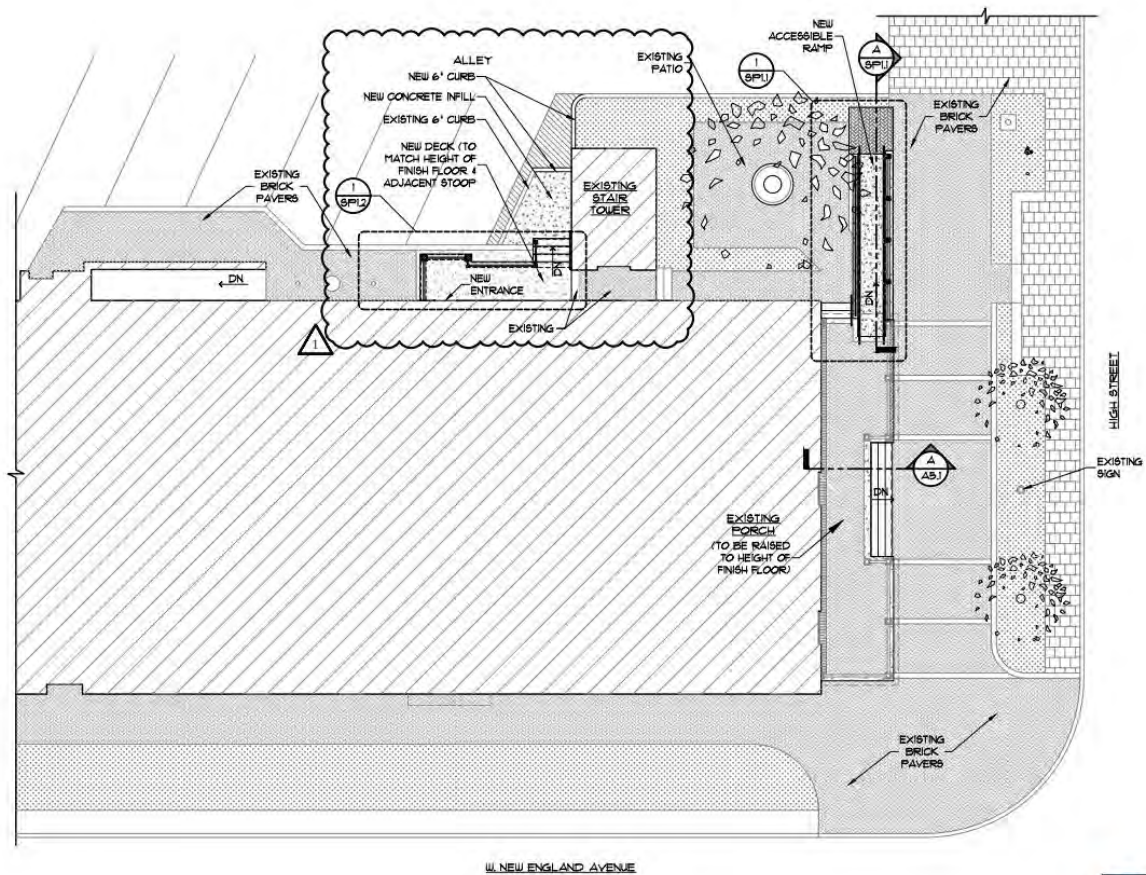
<b>Parcel:</b> 100-006629	<b>Address:</b> 649 High St Main Worthington, OH 43085	<b>Zone:</b> C-5(Central Commercial)
100-006630		
100-006627 Main		

Applicant / Owner  
Kevin Rohyans  
634 High St Suite A  
Worthington, OH 43085  
Business: 6143329237

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003715	(Commercial/Industrial) Board of Zoning Appeals	\$50.00	\$50.00
Total for Invoice INV-00003715		\$50.00	\$50.00
Grand Total for Plan		\$50.00	\$50.00

# 649 High St.

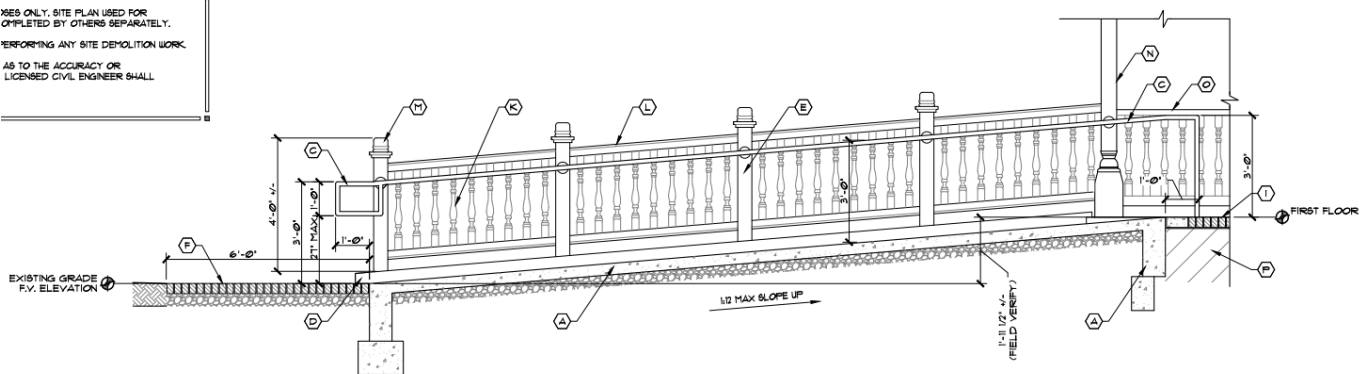




111 NEW ENGLAND AVENUE



THIS ONLY. SITE PLAN USED FOR  
COMPLETED BY OTHERS SEPARATELY.  
PERFORMING ANY SITE DEMOLITION WORK.  
AS TO THE ACCURACY OR  
LICENSED CIVIL ENGINEER SHALL



RAMP SECTION DETAIL

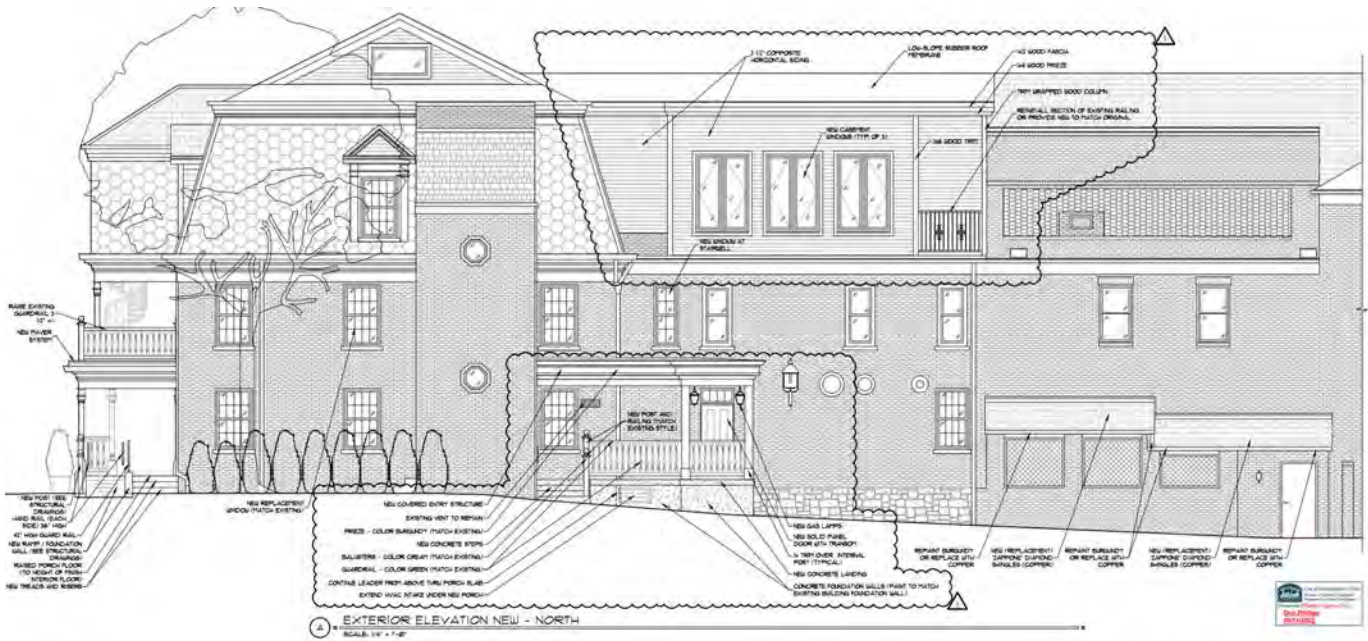
CITY OF WORTHINGTON

DRAWING NO. EXCP 05-2023

DATE 03/30/2023



(A) EXTERIOR ELEVATION NEW - EAST  
SCALE: 1/4" = 1'-0"



(A) EXTERIOR ELEVATION NEW - NORTH  
SCALE: 1/4" = 1'-0"



CITY OF WORTHINGTON

DRAWING NO. EXCP 05-2023

DATE 03/30/2023



## BZA APPLICATION EXCP 06-2023 576 Greenwich St.

<b>Plan Type:</b> Extension of Construction Completion Period	<b>Project:</b>	<b>App Date:</b> 03/31/2023
<b>Work Class:</b> Extension of Construction Completion Period	<b>District:</b> City of Worthington	<b>Exp Date:</b>
<b>Status:</b> In Review		<b>Completed:</b>
<b>Valuation:</b> \$0.00		<b>Approval</b>
<b>Description:</b> Requesting an extension of the completion period for construction of a new, 2-story / 2,551 square-foot, single family residence (previous single-family structure was removed in 2019)		<b>Expire Date:</b>

<b>Parcel:</b> 100-001818 Main	<b>Address:</b> 576 Greenwich St Main Worthington, OH 43085	<b>Zone:</b> R-10(Low Density Residence)
--------------------------------	--	--

<b>Owner</b> Catherine Dean-Haidet 576 GREENWICH ST Worthington , OH 43085 Home: 7407391069	<b>Applicant</b> Joseph A Moss 330 W. Spring St. Suite 265 Columbus, OH 43215 Business: 614-228-2122	<b>Owner</b> John Haidet 576 Greenwich St Worthington, OH 54085 Mobile: (740) 739-1070
---	--	--

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003714	(Residential) Board of Zoning Appeals	\$25.00	\$25.00
Total for Invoice INV-00003714		\$25.00	\$25.00
Grand Total for Plan		\$25.00	\$25.00

# 576 Greenwich St.







13 Perspective View : Northeast



1 Perspective View : Southeast



CITY OF WORTHINGTON

DRAWING NO. EXCP 06-2023

DATE 03/31/2023



# City of Worthington

## BOARD OF ZONING APPEALS

### APPLICATION

Meetings – First Thursday of Every Month

Case #	VAR 0011-2023
Date Received	04/07/2023
Fee	\$25 pd
Meeting Date	
Filing Deadline	

1. Property Location 6851 Highland Place

2. Present/Proposed Use Single Family Home

3. Zoning District R-10

4. Applicant James Ross

Address 6120 Crystal Valley Dr. Galena Ohio 43021

Phone Number(s) 614 204 5661

Email Jimr.rbd@gmail.com

5. Property Owner Ty and Kalie Buxton

Address 6851 Highland Place Worthington Ohio 43085

Phone Number(s) Ty 614 395-1571

Email Tybuxton@hotmail.com

6. Action Requested (ie. type of variance) asking for reducing side yard setback from 8' to 7.81'

7. Project Details:

a) Description Rebuild a new/different house due to house fire

b) Expected Completion Date Jan 1, 2024

c) Approximate Cost \$500,000 to \$600,000

#### PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

James Ross  
Applicant (Signature)

4/6/23  
Date

[Signature]  
Property Owner (Signature)

4/6/23  
Date

6851 Highland Pl.



Monday April 3, 2023

To whom it may concern,

I was raised in Worthington since the early 1980's when my parents moved to West Stafford Avenue when I was 3 or 4 years old. I attended Worthington Presbyterian Church for Kindergarten, Evening Street Elementary School, Worthingway Middle School, & graduated from Thomas Worthington HS.

My wife graduated from Worthington Christian High School & has lived in & around Worthington her entire life.

We purchased the property at 6851 Highland Place a few years ago to raise our budding family in with one young child & another on the way.

We are requesting a small variance from the eight-foot side setback line for additional garage storage necessary for our growing family & non-feasibility of a three-car garage. Our third child is due in late August & we are in the initial stages of the re-build due to the unfortunate house fire encountered in DEC of 2022.

We love Worthington & want to continue to raise our family here!

Your consideration of our variance request is greatly appreciated.

The Buxton's,

  
Ty Buxton / Date

  
Kaylie Buxton / Date



CERTIFIED TO GREAT AMERICAN TITLE AGENCY

LEGAL DESC. LOT 36 ~ EAST WORTHINGTON ESTATES P.B. 46 PG. 71

FEMA INFORMATION: FLOOD ZONE X MAP PANEL INFO 39049C 0157K MAP DATE 06-17-08

WORTHINGTON GALENA ROAD

80.18'

20.00'

10' EASEMENT

31.4'

16.1'

BLACKTOP DRIVE

30' BLDG. LINE

WOOD PORCH

60.2'

6851

2 STORY FRAME

26.2'

10.8'

11.1'

24.2'

9.3'

15.2'

3.0'

9.0'

28'

PAVER PATIO

0.9'

6.8'

7.8'

113.76'

5' EASEMENT

35

36

64

5' EASEMENT

170.11'

5' EASEMENT

67.19'

37

CITY OF WORTHINGTON

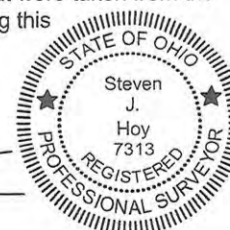
DRAWING NO. VAR 001

DATE 04/07/2023

## PAVER PATIO IN EASEMENT

BUYER / OWNER

Bv



RESIDENTIAL STRUCTURAL NOTES:

D. GENERAL

1. THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE AFTER THE BUILDING IS FULLY COMPLETE. IT IS SOLELY THE CONTRACTOR’S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE, AND TO ENSURE THE STABILITY OF THE BUILDING AND ITS COMPONENT PARTS, AND THE ADEQUACY OF TEMPORARY OR INCOMPLETE CONNECTIONS, DURING ERECTION. THIS INCLUDES THE ADDITION OF ANY SHORING, SHEETING, TEMPORARY GUYS, BRACING OR TIEDOWNS THAT MIGHT BE NECESSARY. SUCH MATERIAL IS NOT SHOWN ON THE DRAWINGS. IF APPLIED, THEY SHALL BE REMOVED AS CONDITIONS PERMIT, AND SHALL RETAIN THE CONTRACTOR’S PROPERTY. THE ENGINEER HAS NO EXPERTISE IN, AND TAKES NO RESPONSIBILITY FOR, CONSTRUCTIONS MEANS OR METHODS OR JOB SITE SAFETY DURING CONSTRUCTION.
2. IT’S SOLELY THE RESPONSIBILITY OF EACH CONTRACTOR TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION. THE ENGINEER IS NOT ENGAGED IN, AND DOES NOT SUPERVISE CONSTRUCTION.
3. SHOULD ANY OF THE DETAILED INSTRUCTIONS SHOWN ON THE PLANS CONFLICT WITH THESE STRUCTURAL NOTES, THE SPECIFICATIONS, OR WITH EACH OTHER, THE STRICTEST PROVISION SHALL GOVERN.
4. GOVERNING CODE: RESIDENTIAL CODE OF OHIO.
5. DESIGN ROOF SNOW LOAD: 25 PSF PLUS THE EFFECTS OF DRIFTING SNOW PER ASCS 7.

A. GROUND SNOW LOAD = 25 PSF

B. FLAT SNOW LOAD = 20 PSF

C. SNOW EXPOSURE FACTOR = 1.0

D. SNOW LOAD IMPORTANCE FACTOR = 1.0
6. DESIGN LOADS:

A. FIRST FLOOR = 40 PSF LIVE LOAD + 15 PSF DEAD LOAD

B. SECOND FLOOR = 40 PSF LIVE LOAD + 15 PSF DEAD LOAD

C. ATTIC = 20 PSF LIVE LOAD (AREAS WHERE HEIGHT IS 30” OR GREATER)

D. EXTERIOR BALCONIES AND DECKS = 40 PSF LIVE LOAD OR OCCUPANCY SERVED

E. ROOF = 25 PSF LIVE LOAD + 20 PSF DEAD LOAD
7. WIND DESIGN PARAMETERS:

A. BASIC WIND SPEED = 115 MPH

B. WIND LOAD IMPORTANCE FACTOR = 1.0

C. WIND EXPOSURE = EXPOSURE B
8. SEISMIC DESIGN PARAMETERS:

A. OCCUPANCY CATEGORY = II

B. SITE CLASS = D
9. SOIL DESIGN CONDITIONS:

A. DESIGN ALLOWANCE SOIL BEARING PRESSURE FOR FOUNDATIONS = 1500 PSF BASED ON ORC TABLE 401.4.1

B. EQUIVALENT FLUID PRESSURE FOR WALL LOADING = 55 PCF

C. THE WATER TABLE SHALL BE BELOW THE LOWEST FLOOR LEVEL OF THE STRUCTURE.

D. IT IS THE CONTRACTOR’S RESPONSIBILITY TO VERIFY THE SOIL IS ADEQUATE TO SUPPORT THE STRUCTURE AND THAT THE PRESUMPTIVE WALL LOADING IS CORRECT. NOTIFY THE ENGINEER OF RECORD IN WRITING IMMEDIATELY IF THE SOIL DOES NOT CONFORM TO THESE CONDITIONS.

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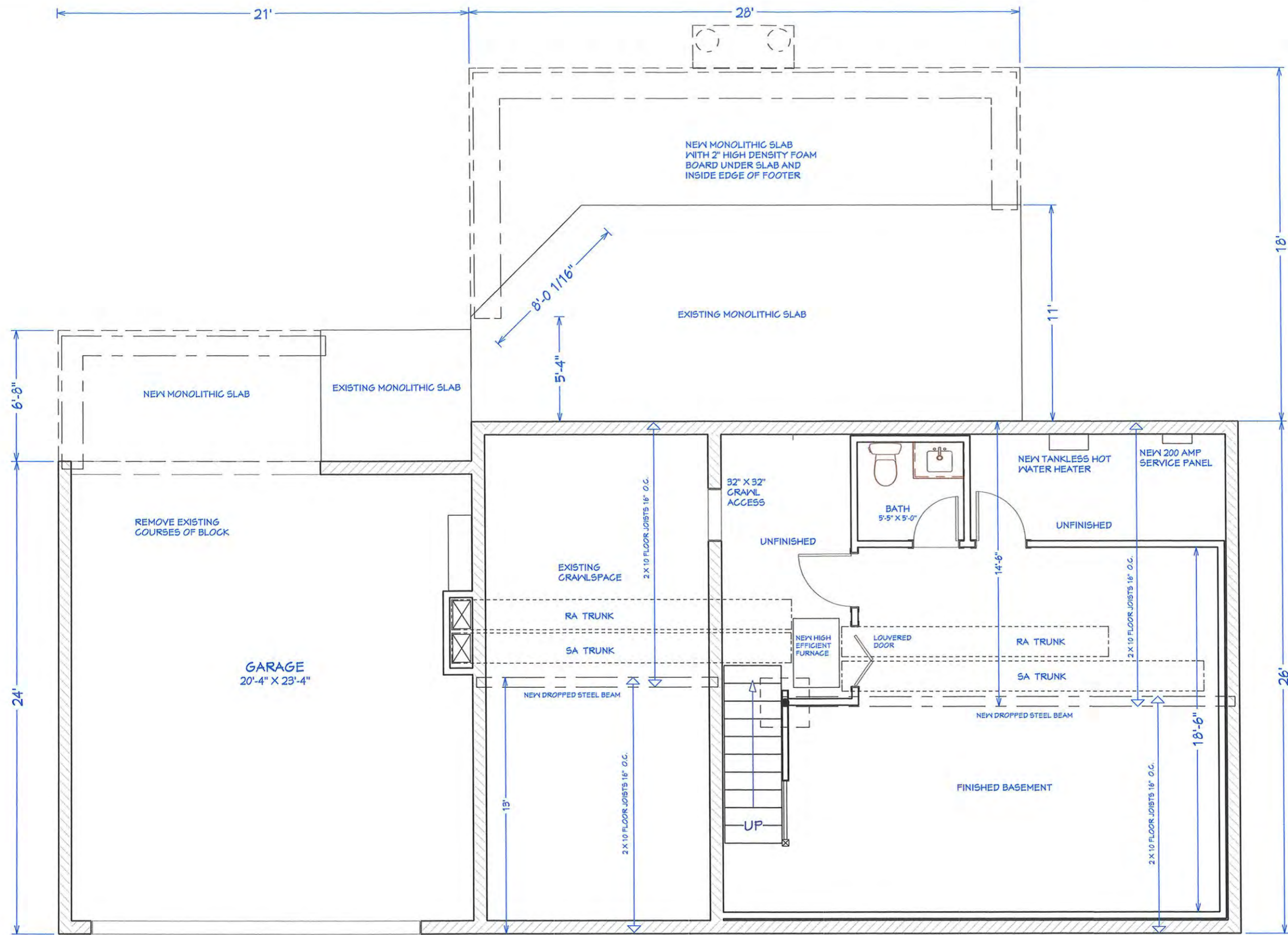
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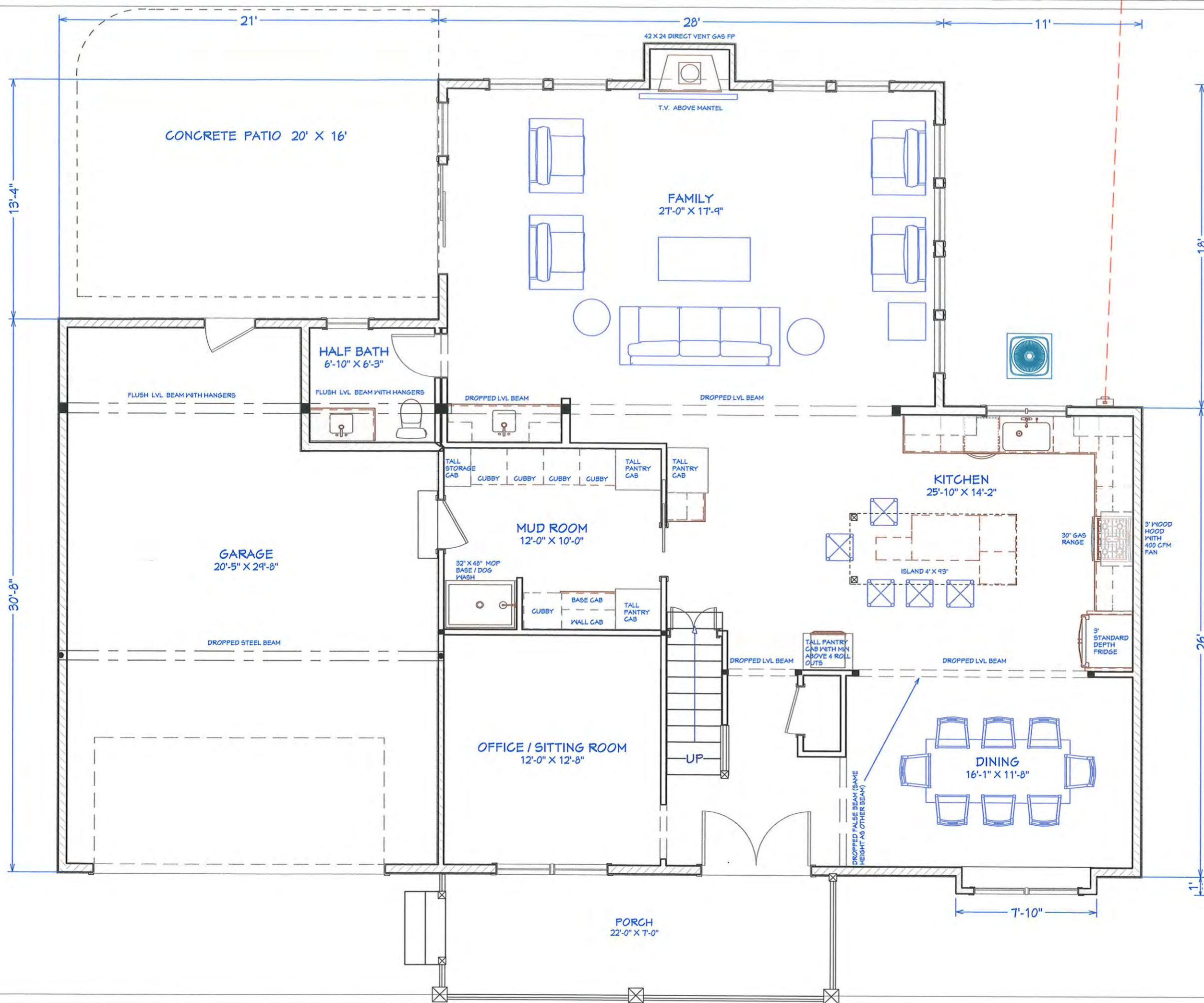
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CITY OF WORTHINGTON  
DRAWING NO. VAR 0011-2023  
DATE 04/07/2023



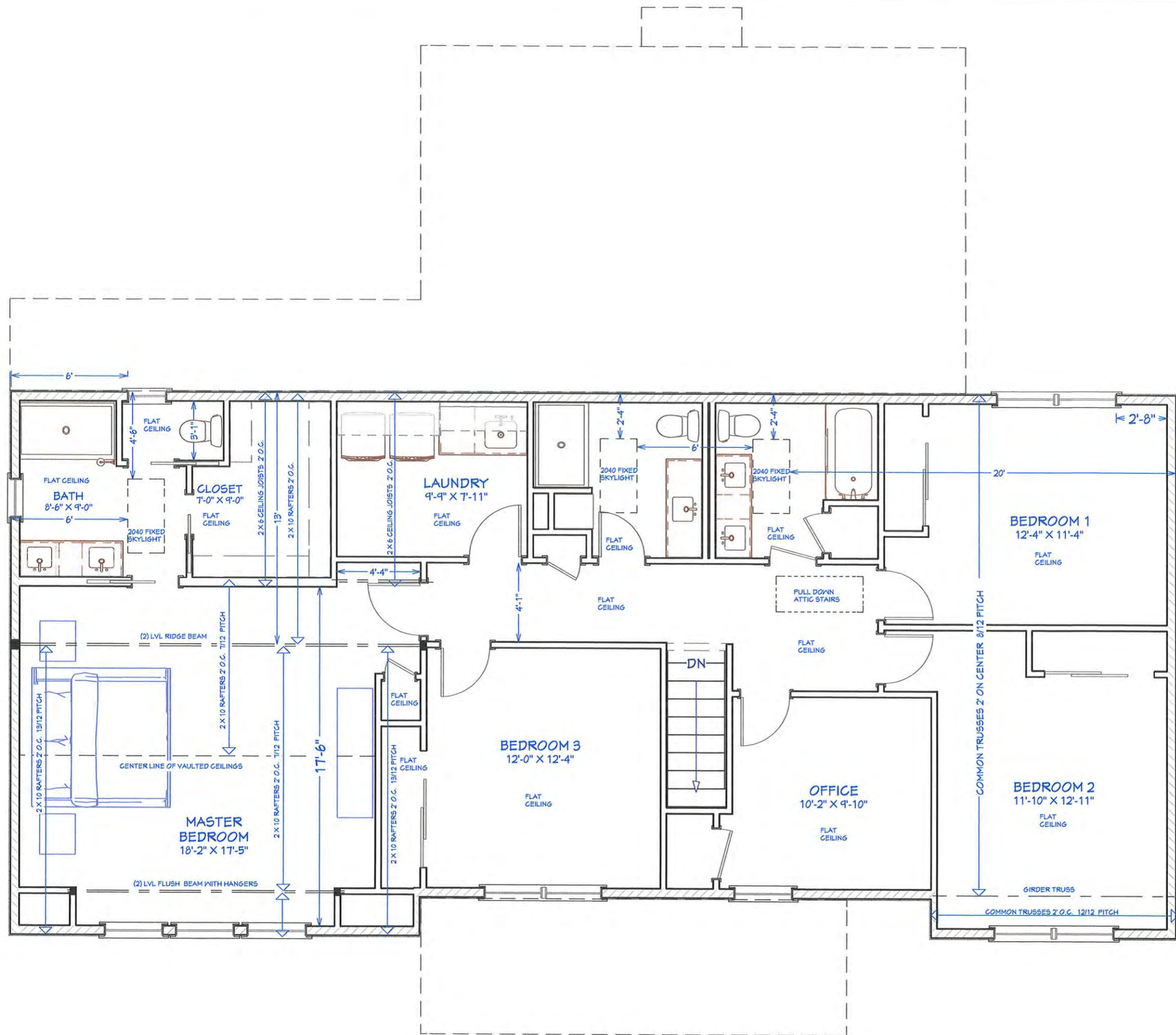
CITY OF WORTHINGTON  
DRAWING NO. VAR 0011-2023  
DATE 04/07/2023

The Buxton Residence  
6851 Highland Pl.  
Worthington Ohio 43085

Plan #: NEW FIRST FLOOR  
Scale: 3/16" = 1'  
Date: 3 - 31 - 23

Ross Builders and Design  
6120 Crystal Valley Dr  
Galena, OH 43021  
614-204-5661

ROSS  
BUILDERS AND DESIGN



CITY OF WORTHINGTON  
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The Buxton Residence  
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Plan #: NEW SECOND FLOOR  
Scale: 3/16" = 1'  
Date: 3 - 31 - 23

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6120 Crystal Valley Dr  
Galena, OH 43021  
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FRONT ELEVATION SCALE: 3/16" = 1'

CITY OF WORTHINGTON  
DRAWING NO. VAR 0011-2023  
DATE 04/07/2023



RIGHT ELEVATION SCALE : 3/16" = 1'

CITY OF WORTHINGTON

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DATE 04/07/2023



LEFT ELEVATION SCALE : 3/16" = 1'

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DATE 04/07/2023



REAR ELEVATION SCALE : 3/16" = 1'

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