ARCHITECTURAL REVIEW BOARD
MUNICIPAL PLANNING COMMISSION
-AGENDA-
Thursday, June 8, 2023 at 7:00 P.M.

Louis J.R. Goorey Worthington Municipal Building
The John P. Coleman Council Chamber
6550 North High Street
Worthington, Ohio 43085
Watch online at worthington.org/live and comment in person or at worthington.org/meeting-public-input

---

A. Call to Order - 7:00 pm

1. Roll Call
2. Pledge of Allegiance
3. Approval of minutes of the May 11, 2023 meeting
4. Affirmation/swearing in of witnesses

B. Architectural Review Board – New Business

1. Directional Signs – **80 E. Wilson-Bridge Rd.** (Nesa Rogers/McDonalds) **ARB 16-2023**
2. Fence – **60 Short St.** (Justin Taylor) **ARB 33-2023**
3. Fence – **110 W. Stafford Ave.** (Krista Pattison) **ARB 34-2023**
4. Steeple Change – **773 High St.** (Doug Fell/Worthington Presbyterian Church) **ARB 36-2023**
5. Shed – **782 Hartford St.** (Brian Hudson) **ARB 37-2023**
6. Shed – **771 Morning St.** (Kasey E. Karafa) **ARB 39-2023**

7. Windows – **561 Oxford St.** (Mallory Jones/Johnston) **ARB 42-2023**

8. Sign – **885 Evening St.** (Scott Farnsworth/Evening Street Elementary) **ARB 40-2023**

9. Sign – **2075 W. Dublin-Granville Rd.** (Scott Farnsworth/Linworth Experiential Program) **ARB 41-2023**

10. Fieldhouse Modifications – **300 W. Dublin-Granville Rd.** (Schorr Architects/ Worthington Schools) **ARB 44-2023**

11. Modifications & Signage – **7000 N. High St.** (J. Carter Bean Architects/Wilcox Communities) **ARB 43-2023**

12. Wall Signs – **2285 W. Dublin-Granville Rd., Units 119 & 120** (Aaron Schlagbaum/Eastway Supplies Inc.) **ARB 35-2023**

C. Municipal Planning Commission – New Business

1. Amendment to Development Plan

a. Wall Signs – **2285 W. Dublin-Granville Rd., Units 119 & 120** (Aaron Schlagbaum/ Eastway Supplies Inc.) **ADP 06-2023**

2. Conditional Use Permit

a. Semi-public Use in R-10 – New Fencing – **6121 Olentangy River Rd.** (Andy Shafran/Congregation Beth Tikvah) **CU 02-2023**

3. Demolition 75+ Years

a. **281 Franklin Ave.** (Ted Nemeth – Compass Homes) **DEMO 01-2023**

b. **286 W. South St.** (Eric Kmetz) **DEMO 02-2023**

4. Subdivision

a. Preliminary Plat – **286 W. South St.** (Eric Kmetz) **SUB 02-2023**

F. Other

G. Adjournment

MEMORANDUM

TO: Members of the Architectural Review Board
Members of the Municipal Planning Commission

FROM: R. Lee Brown, Director
Lynda Bitar, Planning Coordinator

DATE: June 2, 2023

SUBJECT: Staff Memo for the Meeting of June 8, 2023

---

1. Architectural Review Board – New Business

1. Directional Signs – **80 E. Wilson-Bridge Rd.** (Nesa Rogers/McDonalds) **ARB 16-2023**

<u>Findings of Fact & Conclusions</u>

Background & Request:
McDonald's has operated at this location since 1979. The site was redeveloped in 2018.

At some point, likely during the pandemic, signs were added to the site to direct customers to parking spaces and through the drive-thru. Approval is now sought for these signs.

Project Details:

1. Six signs are sitting on the sidewalk between the main parking in front of the building: 4 for curbside pickup spaces and 2 for drive-thru parking. The 6 signs have yellow trapezoidal bases and yellow backgrounds. The curbside pickup signs have a lot of text, images, and colors. The other 2 have black text "Reserved Drive Thru". The sign faces are 47" high x 14.06" wide; and total height is 86.5" (the bases are 22" high). The 2 drive thru signs have yellow poles and the others are aluminum.
2. There are 2 delivery driver signs placed on posts at parking spaces on the south side of the building. The sign faces are the same size as the others, but total height is 102". Yellow bollards wrap the post on the bottom 52".
3. A sign was placed along with traffic cones near the drive-thru lanes saying, "Any Lane Any Time". The sign is 18" x 24" and 95" total sitting on a black weighted base.
4. The signs would be considered directional. They do not meet the dimensional requirements for directional signs so variances would be needed for the individual signs as well as the total area.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

The Worthington Design Guidelines and Architectural District Ordinance recommend signs be efficient and compatible with the age and architecture of the building. While the regulations permit a certain maximum square footage of signs for a business, try to minimize the size and number of signs. Place only basic names and graphics on signs along the street so that drive-by traffic is not bombarded with too much information. The Architectural District Ordinance calls for design and materials to be compatible.

Sign Code

(f) "Directional sign" means a sign used to direct on-site traffic and identify services such as restrooms, hours of operation, etc., and of which no more than fifty-percent of the graphic area is non-directional information. The display area for such signs shall not exceed twenty-four inches in height or width, and the above grade height for freestanding directional signs shall not exceed thirty-six inches. The total area for all such signage shall be no more than 20 square feet per parcel. Directional signs are excluded in the computation of sign area.

Staff Comments:

1. Staff understands how businesses have needed to change due to the pandemic and the use of technology. Keeping the associated visual clutter to a minimum while providing directional information should be the goal.
2. As this restaurant has a third window for drive thru, it is not clear why 2 additional drive thru spaces are needed.
3. We are curious to know if 4 curbside pickup spaces are ever used at the same time.
4. The drive thru sign and cones should not be necessary.
5. If all signs are warranted, the bases and bollards should be changed to a more neutral color rather the main advertising color for the business.

Recommendation:

Staff is recommending the applicant re-evaluate the need for the signs, and change the bases and bollards if the signs are necessary.

Motion:

THAT THE REQUEST BY NESA ROGERS ON BEHALF OF MCDONALD'S FOR A CERTIFICATE OF APPROPROPRIATENESS TO RETAIN DIRECTIONAL SIGNS AT 80 E. WILSON BRIDGE RD., AS PER CASE NO. ARB 16-2023, DRAWINGS NO. ARB 16-2023, DATED MARCH 7, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

2. Fence – **60 Short St.** (Justin Taylor) **ARB 33-2023**

<u>Findings of Fact & Conclusions</u>

Background & Request:
An American Foursquare built in 1910, this house is on the lot at the northeast corner of Oxford and Short Streets. The house and the garage, which is accessed from Oxford St., are contributing buildings in the Worthington Historic District. In 2006 a one-story addition with a clipped gable roof was approved and constructed on the west side of the original house and in 2022 second story additions were approved above that west side addition and to the rear. The house is built 29.1' from the Short St. property line and the addition is at 30'.

In 2007, fencing was approved to enclose the side and rear yards which was a scalloped picket fence that was 4' at the highest point. The fence was installed but later removed. This applicant is requesting approval to install new fencing in the same location.

Project Details:
1. The proposed location for the main fencing starts at the southwest corner of the addition which is 30' from the front property line and extends west to about 1' from the west property line. The location is approximately 23' from the back of the curb for Oxford St. The previously granted variance would be used to allow the fence to be 1' from the right-of-way instead of the required 20'. The fence would then head north to the driveway and east to the garage. Gates would be west of the house and adjacent to the garage.
2. The main fence would be a cedar picket fence that is 45" at the highest and arches down to 39". Opening between pickets are planned to be equal to picket width which would be 3.5". The fence is proposed to be painted white. Supporting members would need to be on the inside of the fence.
3. A new black aluminum gate is proposed on the east side of the house to connect existing aluminum fencing.

Land Use Plans:
<u>Worthington Design Guidelines and Architectural District Ordinance</u>
Fencing should be open in style; constructed with traditional materials; 3' to 4' in height; in the back yard; and of simple design, appropriate for the house style. Design and materials should be compatible with the existing structure.

Recommendation:
1. Staff is recommending <u>*approval*</u> of this application. It is not typical for fences to be closer to the street than houses in Old Worthington, but this corner lot has the house placed to the east and wide rights-of-way. Also, the location was previously approved by the ARB and BZA.
2. The proposed fence style is appropriate.

Motion:
THAT THE REQUEST BY JUSTIN TAYLOR FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL A FENCE AT 60 SHORT ST. AS PER CASE NO. ARB 33-2023, DRAWINGS NO. ARB 33-2023, DATED MAY 11, 2023 BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

3. Fence – **110 W. Stafford Ave.** (Krista Pattison) **ARB 34-2023**

Findings of Fact & Conclusions

Background & Request:
The structure at 110 W. Stafford Ave. is a Bungalow that was originally constructed in 1924 and is a contributing building in the Worthington Historic District. The house was added onto in the 1980's and the garage was replaced in the 1990's. The lot is 60' wide x 134' deep for area of 8040 square feet.

The previous owner erected a vinyl fence without approval and the current owner is seeking approval for the fence.

Project Details:
1. The fencing is located along the west property line and returns to the house at the southwest corner. The fence appears to be between 42" and 48" in height, is made of white vinyl, and is not totally erect (portions are leaning).
2. The neighbor to the west recently installed a black aluminum picket fence next to the vinyl fence.

Land Use Plans:
Worthington Design Guidelines and Architectural District Ordinance
Fencing should be traditional in style; constructed with traditional materials; and of simple design, appropriate for the house style. Side yard fences should be open in style (avoid solid, opaque fences that block all views) and three to four feet in height. In the back yard, generally avoid fences over four feet in height; higher fences are discouraged but may be appropriate where a commercial use abuts a residential property. In all cases, no fences higher than six feet are permitted.

Staff Comments:
1. Vinyl fencing is not typically approved in the Architectural Review District and likely would not have been approved at this location if a request had been made.
2. The aluminum picket fence installed by the adjacent neighbor could act as a side yard boundary for both properties. If needed, a different material could replace the portion between the house and side property line.

Recommendation:
Staff is recommending *denial* of the following motion and removal of the vinyl fencing.

Motion:
THAT THE REQUEST BY KRISTA PATTISON FOR A CERTIFICATE OF APPROPRIATENESS TO RETAIN FENCING AT 110 W. STAFFORD AVE. AS PER CASE NO. ARB 34-2023, DRAWINGS NO. ARB 34-2023, DATED MAY 15, 2023 BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

4. Steeple Change – **773 High St.** (Doug Fell/Worthington Presbyterian Church) **ARB 36-2023**

Findings of Fact & Conclusions

Background & Request:
The original part of the Worthington Presbyterian Church was built in the early 1800's. Several significant additions were constructed over the years, including in 1990 and 2004. The steeple has remained largely unchanged except that urns were added at some point in the mid-1900's. This is a request to remove the urns.

Project Details:
1. The applicant has found photos and sketches of the church steeple and narrowed the timeline for arrival of the 8 urns to between 1942 and 1959. There are 2 at each corner of the upper half of the steeple. No documentation was found regarding the project.
2. The urns have deteriorated to the point of needing replaced and the church would like to remove them instead due to cost and maintenance. Photos and sketches of the church over the years seem to indicate the urns were not an original part of the steeple

Land Use Plans:
Worthington Design Guidelines and Architectural District Ordinance
Design and materials should be compatible with the existing structure.

Recommendation:
Staff is recommending *approval* of this application as the urns were not originally part of the steeple.

Motion:
THAT THE REQUEST BY DOUG FELL ON BEHALF OF THE WORTHINGTON PRESBYTERIAN CHURCH FOR A CERTIFICATE OF APPROPRIATENESS TO REMOVE THE URNS FROM THE STEEPLE AT 773 HIGH ST., AS PER CASE NO. ARB 36-2023, DRAWINGS NO. ARB 36-2023, DATED MAY 18, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

5. Shed – **782 Hartford St.** (Brian Hudson) **ARB 37-2023**

Findings of Fact & Conclusions

Background & Request:
The front part of this house was originally erected in the late 1830's or 40's on the west side of High St. facing the Village Green. The house was moved to its current location about 1930 and restored and added onto in the mid 1980's. In 1998, the current owner was approved to construct another addition to the south. In 2006, approval was gained for construction of a deck, a garage addition and a rear screened porch.

This request is for approval of a shed.

Project Details:
1. The shed is proposed to be 10' from the north side property line and 155' from the rear property line on part of a concrete pad formerly used as a basketball court.
2. The proposed Weaver Barns shed would be 10' x 20' with a gable roof finished in metal, a dormer, windows with window boxes and doors with 6 lights. The colors are shown as Bear Beige, Caramel, Brown and Copper.

Land Use Plans:
Worthington Design Guidelines and Architectural District Ordinance
New outbuildings should use design cues from older nearby structures, including form, massing, roof shape, roof pitch and height, materials, window and door types and detailing. Try to create a new building compatible in appearance with the house it accompanies.

Recommendation:
Staff is recommending *approval* of this application but feels the colors should be complimentary to the house.

Motion:
THAT THE REQUEST BY BRIAN HUDSON FOR A CERTIFICATE OF APPROPRIATENESS TO PLACE A SHED AT 782 HARTFORD ST. AS PER CASE NO. ARB 37-2023, DRAWINGS NO. ARB 37-2023, DATED MAY 23, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

6. Shed – **771 Morning St.** (Kasey E. Karafa) **ARB 39-2023**

Findings of Fact & Conclusions

Background & Request:
This 1,820 sq. ft. wood Cottage was constructed in 1908. There is an existing 240 sq. ft. 1-car detached garage to the rear of the home. In 1971 the Board approved a 200 sq. ft. addition to the

rear of the existing home; in 1991 the Board permitted the property owner to cover the existing soffit and fascia with vinyl covering; and in 2022 a first-floor rear and side addition was approved.

This is a request for a shed.

Project Details:

1. The shed is proposed to be installed behind the garage about 22" from the south property line to match the garage setback. A variance is needed for that placement.
2. The shed would be 8' x 10' with a gable roof and painted to match the house.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

New outbuildings should use design cues from older nearby structures, including form, massing, roof shape, roof pitch and height, materials, window and door types and detailing. Try to create a new building compatible in appearance with the house it accompanies.

Recommendation:

Staff is recommending *approval* of this application as the proposed shed complies with the Design Guidelines.

Motion:

THAT THE REQUEST BY KASEY E. KARAFA FOR A CERTIFICATE OF APPROPRIATENESS CONSTRUCT A REAR ADDITION AND REMODEL AT 771 MORNING ST., AS PER CASE NO. ARB 39-2023, DRAWINGS NO. ARB 39-2023, DATED MAY 25, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

7. Windows – **561 Oxford St.** (Mallory Jones/Johnston) **ARB 42-2023**

Findings of Fact & Conclusions

Background & Request:

This property is on the west side of Oxford St., four houses north of South St. The 44.86' wide lot is 150' deep and adjacent to an alley at the rear. The Homestead style house was constructed in the early 1900's and is a contributing property in the Worthington Historic District. In 2018 the owner added two windows to the house on the north side. Approval of this application would allow two windows to be added to the south side.

Project Details:

1. The proposed windows would be 30 ½" wide x 70" tall casement windows installed on the south side toward the rear of the house where there were windows previously. Most other windows in the house are double hung
2. Provia Endure beige vinyl windows are proposed. The exterior trim would match that of the other windows in the house.

Land Use Plans:
Worthington Design Guidelines and Architectural District Ordinance
Be sure that window designs are appropriate for the style or time period of the house. Design and materials should be traditional, and compatible with the existing structure.

Staff Comments:
Casement windows may be out of character with this house.

Motion:
THAT THE REQUEST BY MALLORY JONES ON BEHALF OF SARAH JOHNSTON FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL NEW WINDOWS AT 561 OXFORD ST. AS PER CASE NO. ARB 42-2023, DRAWINGS NO. ARB 42-2023, DATED MAY 26, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

8. Sign – **885 Evening St.** (Scott Farnsworth/Evening Street Elementary) **ARB 40-2023**

Findings of fact & Conclusions

Background & Request:
This is a request for approval of a new freestanding sign for Evening St. Elementary.

Project Details:
1. The sign is proposed in front of the school along Evening St. Staff has asked for clarification of the proposed location, which must be at least 10' from the right-of-way.
2. A double-sided monument sign is proposed that would be brick to match the school in an "L" shape, with the pillar toward the school. The brick and a cap are shown as 2' high and the pillar at the end would be a total of 5'. A black sign cabinet is proposed to be 7' wide and 3' high with 3 lines of changeable copy below the Worthington Schools logo and "EVENING STREET ELEMENTARY" on a blue background. The Worthington Schools logo would also be on the brick pillar and the address is proposed in 7" white letters on the base (shown as 855 but should be 885).
3. The sign would only be illuminated with ground lighting. Details are still needed.

Land Use Plans:
Worthington Design Guidelines and Architectural District Ordinance
The Worthington Design Guidelines and Architectural District Ordinance recommend signs be efficient and compatible with the age and architecture of the building. Try to minimize the size and number of signs. Place only basic names and graphics on signs along the street so that drive-by traffic is not bombarded with too much information. The Architectural District Ordinance calls for design and materials to be compatible.

Recommendation:
Staff is recommending *approval* of this application as the proposed sign is appropriate in this location.

Motion:
THAT THE REQUEST BY SCOTT FARNSWORTH ON BEHALF OF THE WORTHINGTON SCHOOLS FOR A CERTIFICATE OF APPROPRIATENESS TO REPLACE THE FREESTANDING SIGN AT 885 EVENING ST., AS PER CASE NO. ARB 40-2023, DRAWINGS NO. ARB 40-2023, DATED MAY 26, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING

9. Sign – **2075 W. Dublin-Granville Rd.** (Scott Farnsworth/Linworth Experiential Program) **ARB 41-2023**

Findings of Fact & Conclusions

Background & Request:
Linworth Experiential Program (formerly Linworth Alternative High School) was originally constructed in 1940, and is located on a 5 acre property on the south side of W. Dublin-Granville Rd. This is a request to replace the freestanding sign at the front of the property.

Project Details:
1. The sign is proposed in front of the school along W. Dublin-Granville Rd. Staff has asked for clarification of the proposed location, which must be at least 10' from the right-of-way.
2. A double-sided monument sign is proposed that would be brick to match the school in an "L" shape, with the pillar toward the school. The brick and a cap are shown as 2' high and the pillar at the end would be a total of 5'. A black sign cabinet is proposed to be 7' wide and 3' high with "LINWORTH Experiential Program" in white on a blue background. The Worthington Schools logo would be on the brick pillar and the address is proposed in 7" white letters on the base.
3. The sign would only be illuminated with ground lighting. Details are still needed.

Land Use Plans:
Worthington Design Guidelines and Architectural District Ordinance
The Worthington Design Guidelines and Architectural District Ordinance recommend signs be efficient and compatible with the age and architecture of the building. Try to minimize the size and number of signs. Place only basic names and graphics on signs along the street so that drive-by traffic is not bombarded with too much information. The Architectural District Ordinance calls for design and materials to be compatible.

Recommendation:
Staff is recommending *approval* of this application as the proposed sign is appropriate in this location.

Motion:
THAT THE REQUEST BY SCOTT FARNSWORTH ON BEHALF OF THE WORTHINGTON SCHOOLS FOR A CERTIFICATE OF APPROPRIATENESS REPLACE THE FREESTANDING SIGN AT 2075 W. DUBLIN-GRANVILLE RD., AS PER CASE NO. ARB 41-2023, DRAWINGS NO. ARB 41-2023, DATED MAY 26, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

10. Fieldhouse Modifications – **300 W. Dublin-Granville Rd.** (Schorr Architects/Worthington Schools) **ARB 44-2023**

Findings of Fact & Conclusions

Background & Request:
A new fieldhouse was approved for Thomas Worthington High School last year and the project is currently under construction. This is a request to modify the previous approval.

Project Details:
1. Entry Feature:
   A new gateway style entry feature with a sign is proposed that would be along the parking lot, lined up with the stairs on the south side of the fieldhouse. Brick posts with cast stone caps and bases are proposed that would match the materials on the fieldhouse. An arched metal sign is proposed to connect the posts at about 10' above grade. The sign would read "DOW NELSON SPORTS COMPLEX" in letters cut out of the metal. A cardinal logo is proposed on each post. Gates would match the adjacent fencing.
2. Trees:
   The previous approval showed 3 trees in the patio area adjacent to the fieldhouse. Reportedly a gas line runs under that area and electric is above. Outside of the fence there are plans to have a concrete walkway. The applicant would like to plant additional trees on the high school site rather than in this area.
3. Fence:
   The fence along the north end is proposed to move about 16' to the north and be black vinyl coated chain link instead of black metal picket to match the fencing along the front of the building.
4. Lacrosse Wall:
   This wall would be for lacrosse players to practice throwing and catching and is proposed at the northeast corner of the new turf practice field to the north. The concrete wall is planned to be 12' tall and 22' wide and have a 40' x 22' concrete pad adjacent to the south.

Land Use Plans:
Worthington Design Guidelines and Architectural District Ordinance
New accessory structures in the Architectural Review District should be compatible with the site.

Recommendation:
Staff is recommending *approval* of these modifications as they seem appropriate for this site.

Motion:
THAT THE REQUEST BY SCHORR ARCHITECTS ON BEHALF OF THE WORTHINGTON SCHOOLS FOR A CERTIFICATE OF APPROPRIATENESS TO MODIFY THE NEW FIELDHOUSE PLANS FOR THOMAS WORTHINGTON HIGH SCHOOL, 300 W. DUBLIN-GRANVILLE RD., AS PER CASE NO. ARB 44-2023, DRAWINGS NO. ARB 44-2023, DATED MAY 29, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

11. Modifications & Signage – **7000 N. High St.** (J. Carter Bean Architects/Wilcox Communities) **ARB 43-2023**

<u>Findings of Fact & Conclusions</u>

Information that has not changed is italicized.

Background & Request:
This 8052 square foot two-story brick building was constructed in 2007 for CF Bank on a 1 acre lot that was created by combining 4 lots. The 3 easternmost lots were rezoned to the C-3 Zoning District, while the 4th lot remained in the R-10 Zoning District and was landscaped to provide screening for the adjacent residential property. The bank building sits 50' from the N. High St. right-of-way and parking is to the rear. There is access from Highland Ave. and from N. High St. by way of a drive on the Primrose School property to the south.

Modifications to the building and site were approved in December of 2022 so Wilcox Communities could use the property to house its corporate office. This application offers some revisions to the previous approval and includes signage.

Project Details:
1. Site:
   a. To the rear of the building, the trees and planting bed aligned with the south half of the building would remain, but the patio area would be planted with grass.
   b. A new section of sidewalk is proposed at the south end of the that grass area.
2. Building:
   a. Three colors were painted on the rear of the building. A photo is included in the packet and was emailed to the ARB. The applicant's preferred color is in the middle. It is Option 2 – Roman Column SW 7562.
   b. A matte black standing seam metal roof with smooth metal (16" between seams) is proposed.
   c. Removal of the lower trim elements below the roof, including the dentils and molding, is proposed. Also to be removed are the small decorative gables above the front and rear entrances.
   d. The cupola has been redesigned from the previous version to leave the chimneys looking more like chimneys adding a window on each side.

e. *New black aluminum entry doors and sidelights are proposed for the east and west sides of the building as are projecting canopies above the entrances.* The flat metal canopies would have 4 tiebacks each and be prefinished in black. The entries have been redesigned to include additional side panels.
f. *Installation of exterior muntins to match the existing interior muntin pattern is proposed, and all window frames would be painted black. The arched windows would also have the panels below painted black.* The existing keystone style headers would be retained, and along with the stone sills would be painted the same color as the building.
g. *Black cylindrical light fixtures are proposed between windows around the building. Strip lights would be installed on the canopies to light the wall and future signs above.*
h. The removal of doors on the west elevation at the south end and replacement with windows is proposed.
i. The removal of windows and replacement with doors on the east elevation at the north end is proposed to allow additional access to the patio.

3. Signage
   a. Signs are proposed at the east and west entries consisting of individual 1'9" high letters spelling "wilcox" mounted on top of the canopies and painted black with a satin finish. Below those letters "COMMUNITIES" would be routed in the metal fascia and be 4 5/8" high. Sign area would be about 17 square feet per sign.
   b. Additional wall signs are proposed at the northwest corner – one on the west face and one on the north face. These signs would consist of 6'4" high x 2'8" and 2'6" aluminum panels with cutout letters spelling "wilcox". The letters would be painted to match the building and the panels would be black. Sign area is 17 square feet and 16 square feet, with the smaller proposed for the north side.
   c. The top half of the existing freestanding sign would be remade to say "wilcox" with a black background and white lettering. The area is about 21.25 sf/side.
   d. Black panels with white lettering would be applied to the existing directional signs.
   e. Previously, variances were granted to allow 2 wall signs that were 16 square feet each and an off-premises freestanding sign. The current application would need new variances for the entrance wall signs being larger than the previous approval, for 2 additional wall signs, and for total sign area.

Land Use Plans:

<u>Worthington Design Guidelines and Architectural District Ordinance</u>

For historic structures, unpainted brick walls that were not painted before should not be painted, however, it may be acceptable to paint newer brick walls. Generally, lighter colors should be used for this purpose, with darker colors for trim.

While the architecture is of prime importance in a commercial district such as Worthington's, landscaping of building sites is also important.

While the regulations permit a certain maximum square footage of signs for a business, try to minimize the size and number of signs. Place only basic names and graphics on signs along the street so that drive-by traffic is not bombarded with too much information. Free-standing signs should be of the "monument" type; they should be as low as possible. Such signs should have an

appropriate base such as a brick planting area with appropriate landscaping or no lighting. Colors for signs should be chosen for compatibility with the age, architecture and colors of the buildings they serve, whether placed on the ground or mounted on the building.

Compatibility of design and materials, exterior details and relationships are standards of review in the Architectural District ordinance.

Staff Comments:

1. The proposed changes to the site will be an enhancement.
2. Painting the brick was approved for this building - the preferred color seems appropriate.
3. The simplification of the trim and removal of the front and rear gables should be appropriate.
4. The changes to the cupola seem appropriate.
5. Additional signs on the building may not be desirable given the proximity of the building to the street and the size of the site.

Recommendation:
Staff is recommending *approval* of the building and site changes but does not feel the additional wall signs are necessary.

Motion:
THAT THE REQUEST BY J. CARTER BEAN ARCHITECT ON BEHALF OF WILCOX COMMUNITIES FOR A CERTIFICATE OF APPROPRIATENESS TO MAKE MODIFICATIONS AT 7000 N. HIGH ST., AS PER CASE NO. ARB 43-2023, DRAWINGS NO. ARB 43-2023, DATED MAY 26, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

12. Wall Signs – **2285 W. Dublin-Granville Rd., Units 119 & 120** (Aaron Schlagbaum/Eastway Supplies Inc.) **ARB 35-2023**

&

4. **Municipal Planning Commission – New Business**

1. **Amendment to Development Plan**

a. Wall Signs – **2285 W. Dublin-Granville Rd., Units 119 & 120** (Aaron Schlagbaum/ Eastway Supplies Inc.) **ADP 06-2023**

Findings of fact & Conclusions

Background & Request
In 2014 & 2015, the property owner of this land at the southwest corner of W. Dublin-Granville Rd. and Linworth Rd. annexed, rezoned, subdivided, created a Development Plan, and received

Architectural Review Board approval to redevelop the property as a neighborhood commercial site. As part of the approval sign criteria was established for the development.
This is a request to allow a business with 2 storefronts to have 2 signs and a logo.

Project Details:

1. The business, Eastway Supplies Inc., plans to occupy 2 suites with larger sign bands.
2. The sign to the east would say "EASTWAY SUPPLIES, INC." in blue with a wave-shaped logo to the left. The Eastway letters would be 24" high; the Supplies, Inc. letters would be 12.91" high; and the logo would be 50" high. The logo would exceed the overall height allowed in the previous approval by the ARB by 2".
3. The sign to the west would have 12.64" high blue letters "KITCHEN & BATH SHOWROOM".
4. Each business is only allowed one wall sign, so a variance is needed.

Land Use Plans:

Linworth Crossing Development Plan

Approved Sign Criteria per the Development Plan:

- These tenant spaces are permitted up to 56 square feet of sign area.
- Maximum character height is 24". Maximum overall height is 48".
- Black gooseneck LED lights are above all signs.
- All signs will consist of 1 ½" thick non-illuminated dimensional letters and logos, centered in the sign band area. The font style can vary.
- The proposed color palette for the signs is red (PMS #7621); blue (PMS #541); green (PMS #561); and PMS Black C.
- Proposed logos must be approved by the ARB.

Worthington Design Guidelines

The City of Worthington has sign regulations, the purpose of which is to keep commercial signage from overwhelming the city's traditional architecture and its human scale. The regulations also address safety issues.

Development Plan Amendment Ordinance

When an applicant wishes to make modifications following approval of a Final Development Plan, and variances are included, the modification must be approved by the City Council.

Recommendation:

Staff is recommending *approval* of these application, as the signs would keep the character of the development. The color should match the approved PMS #561.

ARB Motion:
THAT THE REQUEST BY AARON SCHLAGBAUM FOR A CERTIFICATE OF APPROPRIATENESS ADD SIGNAGE AT 2285 W. DUBLIN-GRANVILLE RD., SUITES 119 & 120 AS PER CASE NO. ARB 35-2023, DRAWINGS NO. ARB 35-2023, DATED MAY 18, 2023 BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

MPC Motion:
THAT THE REQUEST BY AARON SCHLAGBAUM FOR APPROVAL TO AMEND THE DEVELOPMENT PLAN AT 2285 W. DUBLIN-GRANVILLE RD., AS PER CASE NO. ADP 06-2023, DRAWINGS NO. ADP 06-2023, DATED MAY 18, 2023, BE RECOMMENDED TO CITY COUNCIL FOR APPROVAL BASED ON THE PLANNING GOALS OF THE CITY, AS REFERENCED IN THE LAND USE PLANS AND THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

2. **Conditional Use Permit**

a. Semi-public Use in R-10 – New Fencing – **6121 Olentangy River Rd.** (Andy Shafran/Congregation Beth Tikvah) **CU 02-2023**

Findings of Fact & Conclusions

Background & Request:
Beth Tikvah has been operating at this site as a Semi-public use in the R-10 Zoning District since 1978. Because this is a Conditional Use in R-10, any changes made to the building, property and operation must be approved by the Municipal Planning Commission. Over the years, the congregation has added onto the building, and modified the site with changes to the parking, landscaping and fencing.

This application is a request to install addition fencing on the south side of the building to help secure the synagogue.

Project Details:
1. The fence is proposed to extend from the southeast corner of the building for about 30' to the existing fence on the south property line.
2. The fence style would be 6' high solid cedar. A 4' wide gate with a lock is proposed near the bottom of the slope.
3. Boulders are to be placed in front of the fence.

Land Use Plans:
1127.03 Conditional Use Permits
(d) Basic Standards and Review Elements

(1) The following general elements are to be considered when hearing applications for Conditional Use Permits:

A. Effect on traffic pattern – No effect has been identified.
B. Effect on public facilities – No effect has been identified.
C. Effect on sewerage and drainage facilities – No effect has been identified.
D. Utilities required – None.
E. Safety and health considerations – None.
F. Noise, odors and other noxious elements, including hazardous substances and other environmental hazards – Nothing has been identified.
G. Hours of use – No change.
H. Shielding or screening considerations for neighbors – A 6' solid fence is already in place.
I. Appearance and compatibility with the general neighborhood – No change.

(3) The following basic standards apply to conditional uses in any "S", "AR" or "R" District:

A. The location, size, nature and intensity of the use, operations involved in or conducted in connection with it, its site layout and its relation to streets giving access to it, shall be such that both pedestrian and vehicular traffic to and from the use will not be hazardous, inconvenient or conflict with the normal traffic on residential streets, taking into account the relation to main traffic thoroughfares and to street intersections, parking, screening and the general character and intensity of development of the area. The provisions for parking, screening and signage shall also be specified by the applicant and considered by the Commission.
B. The location and height of buildings, the location, nature and height of walls and fences, and the nature and extent of landscaping on the site shall be such that the use will not hinder or discourage the appropriate development and use of adjacent land and buildings.

Recommendation:
Staff is recommending *approval* of this application as placement of this additional fencing should be appropriate for the site.

Motion:
THAT THE REQUEST BY BETH TIKVAH CONGREGATION FOR A CONDITIONAL USE PERMIT TO ADD FENCING AT 6121 OLENTANGY RIVER ROAD, AS PER CASE NO. CU 02-2023, DRAWINGS NO. CU 02-2023, DATED MAY 16, 2023, BE APPROVED BASED ON THE PLANNING GOALS OF THE CITY, AS REFERENCED IN THE LAND USE PLANS AND THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

3. Demolition 75+ Years

a. **281 Franklin Ave.** (Ted Nemeth – Compass Homes) **DEMO 01-2023**

<u>Findings of Fact & Conclusions</u>

Background & Request:
This 1,256 sq. ft. one and a half story home was constructed in 1947. The property is .23-acres in size and is located on the south side of Franklin Ave. The property is currently accessed by a rear alleyway that runs parallel to E. Granville Rd. and is accessed from Pingree Dr. The owners purchased the property on May 22, 2023, and would now like to demolish the existing structure that is in poor condition and construct a new single-family home on the site.

Project Details:

1. Proposed Demolition & Construction Schedule
    a. June 12, 2023 – Install silt fencing.
    b. June 14, 2023 – Commence mechanical demolition of the structure, secure hazardous areas with construction fencing.
    c. June 16, 2023 – Complete site restoration.
    d. Start construction of new home once the plans have been reviewed and approved for compliance with the Residential Code of Ohio.
2. Demolition Permit
    a. Submitted on April 20, 2023 – Pending MPC approval.
3. Permit – New Structure
    a. Submitted on May 26, 2023 – Pending review by the Chief Building Official.

Land Use Plans:
<u>Codified Ordinances</u>:
On January 17, 2023, City Council approved changes to the Planning & Zoning Code to have the Municipal Planning Commission review the demolition or partial demolition of buildings that are more than seventy-five (75) years old that are located outside of the Architectural Review District. Upon notice of demolition or partial demolition the Worthington Historical Society shall provide a written report documenting their review to the City.

1153.05 STANDARDS FOR REVIEW: CERTIFICATE OF DEMOLITION.
The requirements for approval by the Municipal Planning Commission are the following:

(a) Verification that the applicant has cooperated with the Worthington Historical Society to permit the documenting of the building including any reasonable requests to photograph the exterior and interior of the building and the surrounding property.

(b) When its review is concluded, the Commission will determine by a vote of its members, whether the application for a certificate of demolition shall be approved. If approved by three (3) or more of its members, the Commission shall return the application and appended material to the Director of Planning and Building with the instruction that the Certificate of Demolition be issued, provided all other requirements for a permit, if applicable, are met. The certificate of demolition shall be valid for eighteen (18) months from the date of approval, or such extension as may be granted by the Commission. If not

approved, the Commission shall return the application and appended material to the applicant with a notice that the certificate of demolition shall not be issued because the application did not meet the criteria and standards set forth herein.

Staff Comments:

1. A written report from the Worthington Historical Society has been provided documenting the condition of the building.
2. A tree protection detail has been shown in the application materials; however, no trees have been shown to be protected on the site. A Tree Protection Plan will be needed identifying all trees that are to remain.
    a. Clarification needed.
3. A Driveway Permit will be required from the Service & Engineering Department for a new access point to Franklin Ave.
4. Coordination with the Service & Engineering Department and the City of Columbus on the disconnection of the sanitary sewer and water to the existing structure is needed.
5. New house renderings were submitted as part of the application materials; however, no dimensions have been shown on a site plan to verify compliance with the Planning & Zoning Code for setback requirements.
    a. Clarification needed.
6. The neighboring property at 293 Franklin Ave. is also owned by the property owner as their main residence. The owners have purchased the property to construct a new single-family home for a family member that would provide the option for single-level living.

Recommendation:

Staff is recommending *conditional approval* of the proposed demolition application with the following condition:

- A Tree Protection Plan needs to be created.

Motion:

THAT THE REQUEST BY TED NEMETH – COMPASS HOMES FOR APPROVAL TO DEMOLISH 281 FRANKLIN AVE., AS PER CASE NO. DEMO 01-2023, DRAWINGS NO. DEMO 01-2023, DATED MAY 26, 2023, BE APPROVED BE APPROVED BASED ON THE PLANNING GOALS OF THE CITY, AS REFERENCED IN THE LAND USE PLANS AND ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING WITH THE CONDITION THAT THE APPLICANT SUBMIT A TREE PROTECTION PLAN.

b. **286 W. South St.** (Eric Kmetz) **DEMO 02-2023**

Findings of fact & Conclusions

Background & Request:

This 2,782 sq. ft. one-story home was constructed in 1944. The property is .88-acres in size and is located at the northwest corner of W. South St. and Weatherburn Pl. The applicant purchased the property on March 14, 2023, and would now like to demolish the existing structure that is in

poor condition. The applicant has also made application to subdivide the .88-acre lot into three (3) separate building lots.

Project Details:

1. Proposed Demolition & Construction Schedule
    a. Demolition will occur within 30-days of approval of the Subdivision Final Plat by City Council.
2. Demolition Permit
    a. Not submitted at this time.
3. Permit – New Structures
    a. Not submitted at this time.

Land Use Plans:

Codified Ordinances:

On January 17, 2023, City Council approved changes to the Planning & Zoning Code to have the Municipal Planning Commission review the demolition or partial demolition of buildings that are more than seventy-five (75) years old that are located outside of the Architectural Review District. Upon notice of demolition or partial demolition the Worthington Historical Society shall provide a written report documenting their review to the City.

1153.05 STANDARDS FOR REVIEW: CERTIFICATE OF DEMOLITION.

The requirements for approval by the Municipal Planning Commission are the following:

(a) Verification that the applicant has cooperated with the Worthington Historical Society to permit the documenting of the building including any reasonable requests to photograph the exterior and interior of the building and the surrounding property.

(b) When its review is concluded, the Commission will determine by a vote of its members, whether the application for a certificate of demolition shall be approved. If approved by three (3) or more of its members, the Commission shall return the application and appended material to the Director of Planning and Building with the instruction that the Certificate of Demolition be issued, provided all other requirements for a permit, if applicable, are met. The certificate of demolition shall be valid for eighteen (18) months from the date of approval, or such extension as may be granted by the Commission. If not approved, the Commission shall return the application and appended material to the applicant with a notice that the certificate of demolition shall not be issued because the application did not meet the criteria and standards set forth herein.

Staff Comments:

1. A written report from the Worthington Historical Society has been provided documenting the condition of the building.
2. A demolition and restoration schedule still needs to be submitted that includes the following: when utilities are to be disconnected, when demolition or partial demolition is to start, installation of silt fencing, the time duration of demolition or partial demolition of buildings, when site restoration is to start, and the time duration of the site restoration. The entire schedule duration shall not exceed 90-days.
    a. The application materials just state that demolition will occur withing 30-days of approval of the applicant's plan to subdivide the parcel.

3. Coordination with the Service & Engineering Department and the City of Columbus on the disconnection of the existing sanitary sewer and water to the existing structure is needed.
4. A tree survey was submitted providing detail for every tree larger than 6 caliper inches on the site. The site has an abundance of honeysuckle and overgrown vegetation on the site.
    a. This information is required as part of the subdivision process.
    b. A Tree protection Plan needs to be created to demonstrate how the trees will be protected during demolition and during future construction.
5. Approval of the demolition of the existing building does not impact the proposed subdivision that is also on the agenda. These are two separate agenda items.

Recommendations:
Staff is recommending *conditional approval* of the proposed demolition application with the following conditions:

- A Demolition and Restoration Schedule needs to be submitted and approved prior to receiving a permit to demolish the building from the Division of Building Regulation.
- A Tree Protection Plan needs to be created.

Motion:
THAT THE REQUEST BY ERIC KMETZ FOR APPROVAL TO DEMOLISH 286 W. SOUTH ST., AS PER CASE NO. DEMO 02-2023, DRAWINGS NO. DEMO 02-2023, DATED MAY 26, 2023, BE APPROVED BASED ON THE PLANNING GOALS OF THE CITY, AS REFERENCED IN THE LAND USE PLANS AND ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING WITH THE CONDITION THAT THE APPLICANT SUBMIT A DEMOLITION & RESTORATION SCHEDULE AND A TREE PROTECTION PLAN.

4. **Subdivision**

a. Preliminary Plat – **286 W. South St.** (Eric Kmetz) **SUB 02-2023**

Findings of Fact & Conclusions

Background & Request:
The request before you is to subdivide an existing .88-acres lot that is located at the northwest corner of W. South St. and Weatherburn Pl. The proposal is to create three (3) building lots out of what is currently Lot #1 of Weatherburn Subdivision which was platted in 1986 that created a five (5) lot subdivision with four (4) lots gaining access from a newly constructed cul-de-sac. The subdivision now known as Weatherburn was a Resubdivision of Hoyer's Subdivision that was originally a 36-lot subdivision platted in 1894. The applicant purchased the property on March 14, 2023, and the existing 2,782 sq. ft. one-story home constructed in 1944 is proposed to be demolished as part of the redevelopment of the site. The property is in the R-10 Zoning District.

Project Details:

1. Proposed Lots:
    a. Lot #1:
        i. Lot Area – 10,765 sq. ft.
        ii. Lot Width – 67-feet
    b. Lot #2:
        i. Lot Area – 10,892 sq. ft.
        ii. Lot Width – 65-feet
    c. Lot #3:
        i. Lot Area – 17,156 sq. ft.
        ii. Lot Width – 78-feet – Weatherburn Pl.
        iii. Lot Width – 174-feet – W. South St.
2. Proposed Front Setbacks:
    a. Lot #1
        i. Required – 30-feet
        ii. Proposed – 58-feet
            1. Larger setback due to an existing platted utility easement for a 12-inch sanitary sewer line that runs north to south.
    b. Lot #2
        i. Required – 30-feet
        ii. Proposed – 58-feet
            1. Larger setback due to an existing platted utility easement for a 12-inch sanitary sewer line that runs north to south.
    c. Lot #3
        i. Required – 30-feet
        ii. Proposed – 30-feet plus along W. South St. and 73-feet along Weatherburn Pl.
3. Access Points:
    a. All access points will be from Weatherburn Pl. and will be required to receive a Driveway Permit from the Service & Engineering Department.
        i. The Service & Engineering Department is asking that the access for Lot #3 (corner lot) be moved north towards the rear property line between Lot #2 and Lot #3 to provide an appropriate distance from the intersection of Weatherburn Pl. and W. South St.
    b. The existing access point on W. South St. will be removed as part of the subdivision. This area will need to be reseeded, graded and a new curb installed in the area of the existing drive approach.
4. Sidewalks:
    a. Sidewalks will be required along the W. South St. frontage that will be 5-feet in width and will connect with the existing sidewalk of 4-feet along Weatherburn Pl.
5. Street Trees:
    a. Twelve (12) street trees are proposed along W. South St. and Weatherburn Pl. Four (4) street trees along Weatherburn Pl. located in the public right-of-way and eight (8) street trees located on the backside of the new sidewalk that will be located on private property along W. South St.
        i. The location of existing underground utilities in the area is the reason for

the location of the W. South St. street trees being located on the backside of the new sidewalk.

ii. Utilities:

1. 21-inch and 24-inch storm sewer
2. 12-inch sanitary sewer line
3. 6-inch waterline

b. The applicant will need to work with the City Arborist to determine the appropriate street tree species prior to the Final Plat being approved.

6. Existing Vegetation:

a. A Tree Survey was submitted providing detail for every tree larger than 6 caliper inches on the site.

b. The site also has an abundance of honeysuckle and overgrown vegetation on the site.

c. There are thirty-eight (38) existing trees on the site that exceed 6 caliper inches on the site. The trees have all been ranked for their condition from Very Good to Poor.

d. Some of the trees have been shown on the Preliminary Plat to stay as part of the redevelopment of the site.

i. 17 trees have been shown to remain on the site.

1. A tree protection plan needs to be created.

e. Tree protection fencing needs to be shown on the plans for the trees that are proposed to stay on the site and be protected during demolition and construction of the new single-family homes.

7. Utilities:

a. There is an existing 12-inch sanitary sewer line that runs north to south that is located in a 10' sanitary sewer easement that is approximately 40-feet from the public right-of-way of Weatherburn Pl.

i. Connection to sewer will connect to the existing 12-inch sanitary sewer line that is already on the site.

b. There is an existing 6-inch waterline on the eastern side of Weatherburn Pl. and a 6-inch waterline along the north side of W. South St.

i. To connect to the waterline on Weatherburn Pl. the Service & Engineering Department will require the applicant to bore under the roadway to access the waterline. The applicant will be responsible for any damage related to connection to utilities.

c. Electric & Gas:

i. Information not provided.

d. Stormwater:

i. There are two existing catch basins at the intersection of Weatherburn Pl. and W. South St. that connect to a 21-inch storm sewer line.

ii. The flow of water from the site will be required to be graded to not negatively impact the neighboring properties.

e. Exact location of proposed utilities and any necessary easements to accommodate those utilities need to be shown.

8. A Subdivider's Agreement will be required as part of the Subdivision process.

Worthington Planning & Zoning Code:
Section 1149.01 Yard, Area and Height for Dwellings & Accessory Structures

District	Lot Width	Lot Area	Front Setback	Rear Setback	Side	Sum of Side	Height
R-10	80-feet	10,400sq. ft.	30-feet	30-feet	8-feet	20-feet	30-feet

Section 1149.06 Architectural Projections

(a) Cornices, eaves, sills, canopies or similar projections may extend or project into required side yards not more than two inches for each one foot of width of such side yard and may extend or project into a required front or rear yard not more than thirty inches. Bay windows and chimneys may project into a required front, side or rear yard not more than eighteen inches provided the side yard is not reduced to less than six feet.

(b) Open structures such as porches, balconies, platforms, carports and covered patios shall be considered a part of the building to which attached and shall not project into the required minimum yards, except as otherwise provided herein.

(c) Uncovered floor areas such as patios, decks and similar structures accessory to a dwelling shall be permitted to within not less than fifteen feet of the rear lot line provided that the floor level of the structure shall be not more than three feet above the adjacent grade prior to construction of the structure, and provided that railings, screens, posts or other enclosures shall project not more than four feet above the floor surface of the structure.

Land Use Plans:

Worthington Comprehensive Plan

The 2005 Worthington Comprehensive Plan states that one of the strengths of the Worthington Community is its residential neighborhoods. Encouraging development in existing neighborhoods is important in maintaining the existing housing stock throughout Worthington.

Staff Comments:

1. Preliminary Plat Missing Information:
    a. Proposed Name of Subdivision
    b. Location within the City
    c. Intersecting property lines of adjacent tracts of lands
    d. Existing zoning classifications and dimensional requirements
    e. Existing contours with intervals at a minimum of 5-feet
    f. Any proposed easements
    g. Preliminary grading plan
    h. Proposed landscaping and screening plan
    i. Coordination with an engineer that is familiar with the subdivision requirements.
2. Public Area Payment:
    a. $250.00/new dwelling unit – required at the time of applying for a permit to construct the new dwelling units.
3. Special Park Fund:
    a. $500.00/newly created lot – required at the time of recording the Final Plat.
4. Proposed Variances:
    a. Lot #1
        i. Rear Yard

1. Required – 30-feet
2. Proposed – 29.4-feet
    a. Variance of 8-inches
        i. The variance is not substantial, and the existing sanitary sewer easement pushes the proposed building back further into the lot.
        ii. A different floor plan might eliminate the need for a variance for the rear setback.

ii. Side Yard
1. Required 8-feet, permits architectural projections up to 18-inches
2. Proposed 6-feet, this includes the architectural projections to 24-inches.
    a. Variance of 6-inches
        i. The variance is not substantial however a different floor plan might eliminate the need for a variance.

iii. Lot Width
1. Required – 80-feet
2. Proposed – 67-feet
    a. Variance of 13-feet
        i. The lot widths are not out off character for the area. There are a variety of lot sizes and widths found throughout this quadrant of the City.

b. Lot #2
i. Lot Width
1. Required – 80-feet
2. Proposed – 65-feet
    a. Variance of 15-feet
        i. The lot widths are not out of character for the area. There are a variety of lot sizes and widths found throughout this quadrant of the City.

c. Lot #3
i. Rear Yard
1. Required – 30-feet
2. Proposed – 22-feet
    a. Variance of 8-feet
        i. The variance is not substantial; however, a different floor plan might eliminate the need for a variance for the rear setback.

5. Tree Projection Plan
    a. Tree protection fencing needs to be shown on the plans for the trees that are proposed to stay on the site and be protected during demolition and construction of the new single-family homes.
6. A Subdivider's Agreement will be required as part of the Subdivision process.
7. Since the property is not located in the Architectural Review District, strict adherence to construct the homes as shown in the application materials is not legally possible by the Municipal Planning Commission.

8. The Municipal Planning Commission cannot legally require the proposed houses to be constructed as shown. The Commission can review the proposal for compliance with the Subdivision Regulations and any variances for proposed setbacks as part of the platting process. The applicant is proposing setbacks as part of the platting process and the proposed variances related to the setbacks would run with the land.
9. The Final Plat will need to reference that this is a Resubdivision of Lot #1 of Weatherburn and will need to be numbered to follow the requirements of the Franklin County Engineer's Office Map Room and the Franklin County Auditor's Office requirements for the creation of new lots within an existing platted subdivision.
10. The applicant has also made application to demolish the existing single-family home on the site that is also on the agenda. These are two separate applications and are independent of each other. The demolition application meets the requirements of Section 1153.05 and will be reviewed by the Commission for compliance.
11. The proposed lot sizes exceed the minimum square footage of 10,400 sq. ft. in size for a newly created lots in the R-10 District.
12. Two of the proposed lots to not meet the minimum lot width requirement for newly created lots in the R-10 District; however, the lot widths are not out of character for the area. There are a variety of lot sizes and widths found throughout this quadrant of the City.
    a. The applicant provided an exhibit that depicts the lots found in the area that do not meet the minimum lot width for newly created parcels.
    b. The majority of lots in this area were created prior to the adoption of the 1971 Planning & Zoning Code.
    c. The applicant would technically be able to create three (3) lots with a minimum of 80-feet of frontage without any variances if it was not for the 10' sanitary sewer easement that bisects the eastern portion of the site there could have been two lots on W. South St. and one lot on Weatherburn Pl.
13. The Municipal Planning Commission is charged with the review the Preliminary Plat on its conformance with the ordinances of the City and with the goal of preserving and/or restoring and maintaining natural features and maintaining the character of the surrounding neighborhood.
14. Staff is recommending the applicant hire a professional surveyor or engineer to assist in the creation of the required materials needed for the Final Plat.
15. Subdivision Process:
    a. Municipal Planning Commission
        i. Preliminary Plat – Section 1101.09
        ii. Final Plat – Section 1101.12
            1. The Municipal Planning Commission shall make a recommendation to City Council for final approval.
    b. City Council
        i. Council will need to review and approve the proposed Final Plat with variances.
            1. If approved, the Ordinance would have an effective date 20-days after Council passage.

Recommendations:
Staff is recommending *conditional approval* of the application if the Municipal Planning Commission feels comfortable moving forward with requiring the additional items that are required as part of the Preliminary Plat approval to be submitted with the materials for the Final Plat.

Motion:
THAT THE REQUEST BY ERIC KMETZ FOR APPROVAL OF A PRELIMINARY PLAT AT 286 W. SOUTH ST., AS PER CASE NO. SUB 02-2023, DRAWINGS NO. SUB 02-2023, DATED MAY 26, 2023, BE APPROVED BASED ON THE PLANNING GOALS OF THE CITY, AS REFERENCED IN THE LAND USE PLANS AND ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING WITH THE CONDITION THAT THE APPLICANT SUBMIT THE MISSING ITEMS REQUIRED FOR A PRELIMINARY PLAT AT THE TIME OF MAKING APPLICATION FOR THE FINAL PLAT.

ARB APPLICATION
ARB 0016-2023
80 E. Wilson Bridge Rd.

Plan Type:	Architectural Review Board	**Project:**		**App Date:**	03/07/2023
Work Class:	Certificate of Appropriateness	**District:**	City of Worthington	**Exp Date:**	
Status:	In Review			**Completed:**	
Valuation:	$0.00			**Approval**	
Description:	Good Morning,			**Expire Date:**	

We are asking for approval to keep our parking lot signage that was installed for the convenience of our customers. There are 2 Reserved Drive Thru Parking signs, 4 Curbside Pickup Parking signs and 2 McDelivery Driver Parking signs. 6 of these signs have a yellow bases and are set up on the sidewalk/walkway from the parking lot to the building. 2 of these signs are on the south side of the building with poles that are in the ground. Thank You.

Parcel:	100-005497 Main	**Address:**	80 E Wilson Bridge Rd Worthington, OH 43085 Main	**Zone:**	C-4(Highway and Automotive Services)

Owner
Scott Holowicki
Mobile: (614) 363-1023

Owner
McDonalds Real Estate Company
110 N. Carpenter St.
Chicago, IL 60607

Applicant
Wicki Ventures LLC, dba McDonald's
Nesa Rogers
2101 Riverside Dr
Columbus, OH 43221
Business: 61436310232103
Mobile: 7403600018

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003606	Architectural Review Board	$2.00	$2.00
	Total for Invoice INV-00003606	$2.00	$2.00
	Grand Total for Plan	**$2.00**	**$2.00**

80 E. Wilson Bridge Rd.

R’s = (2) Reserved Drive Thru Parking Spots

C’s = (4) Curbside Pickup Parking Spots

D’s = (2) McDelivery Delivery Driver Parking Spots

ALAT – Any Lane Any Time Drive Thru Sign (to help direct customers to use both lanes).

Reserved & Curbside Pickup Signs:

Sign = 86.5” high (total).

Base = 21.5”w x 21.5”d x 22”h

Pole between base & sign face = 17.5”h

Pole = 2” diameter

Sign face = 47”h x 14 1/16”w

CITY OF WORTHINGTON

DRAWING NO. ARB 0016-2023

DATE 03/07/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0016-2023

DATE 03/07/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0016-2023

DATE 03/07/2023

McDelivery Driver Parking Signs:

Sign = 102” high (total).

Yellow Bollard= 52”h x 7.25”w

Pole space between sign face & bollard = 3”

Pole = 1.75”w x 1.75”d

Sign Face = 47”h x 14 1/16”w

CITY OF WORTHINGTON

DRAWING NO. ARB 0016-2023

DATE 03/07/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0016-2023

DATE 03/07/2023

Any Lane Any Time Sign:

Sign = 95” high (total).

Sign face = 18”w x 24”h

Base = 5”h x 19”w x 19”d; 60lbs

Pole = 90”h x 1.75”w x 1.75”d

CITY OF WORTHINGTON

DRAWING NO. ARB 0016-2023

DATE 03/07/2023

ARB APPLICATION
ARB 0033-2023
60 Short St.

Plan Type:	Architectural Review Board	**Project:**		**App Date:**	05/11/2023
Work Class:	Certificate of Appropriateness	**District:**	City of Worthington	**Exp Date:**	
Status:	In Review			**Completed:**	
Valuation:	$6,000.00			**Approval**	
				Expire Date:	

Description: We are looking to build a fence on our property that will create a closed-in space on the side and back of the home for the safety of our young child and dog. We are in contact with contractors who can provide a fence that fits the design guidelines of the district and is similar to the aesthetic of other nearby lots with side yards. It will be 4 ft high, picket-style with spacing, made of cedar wood. We intend to paint it white. It appears that a similar fence to what we're proposing existed on this property as recently as 2011 but was removed.

To enclose the area on the east side of the house, we will add a black metal gate, similar to the existing fencing in that part of the property and neighboring property.

A contractor will submit a formal site plan for the fence permit. The design and appearance of the fencing will be the same, regardless of which contractor we select.

Parcel:	100-000010 Main	**Address:**	60 Short St Worthington, OH 43085 Main	**Zone:**	AR-4.5(Low Density Apartment Residenc

Applicant / Owner	Owner
Justin Taylor	Ana Delerme
60 Short St	60 SHORT ST
Worthington, OH 43085	Worthington , OH 43085
Mobile: (412) 715-7168	

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003881	Architectural Review Board	$6.00	$6.00
	Total for Invoice INV-00003881	$6.00	$6.00
	Grand Total for Plan	**$6.00**	**$6.00**

60 Short St.

614
609
0
Oxford St
38
601
593
60
54
40
36
587
Short St
581
59
51
45
41
53
573
569
574
588
602
561

HOY LAND SURVEYING
1767 McCorkle Blvd #1767
Westerville, Ohio 43086
Phone: 614-679-1186

HOY Land Surveying

JOB NUMBER #: 4906-2022 S DATE OF DRAWING 7-25-22

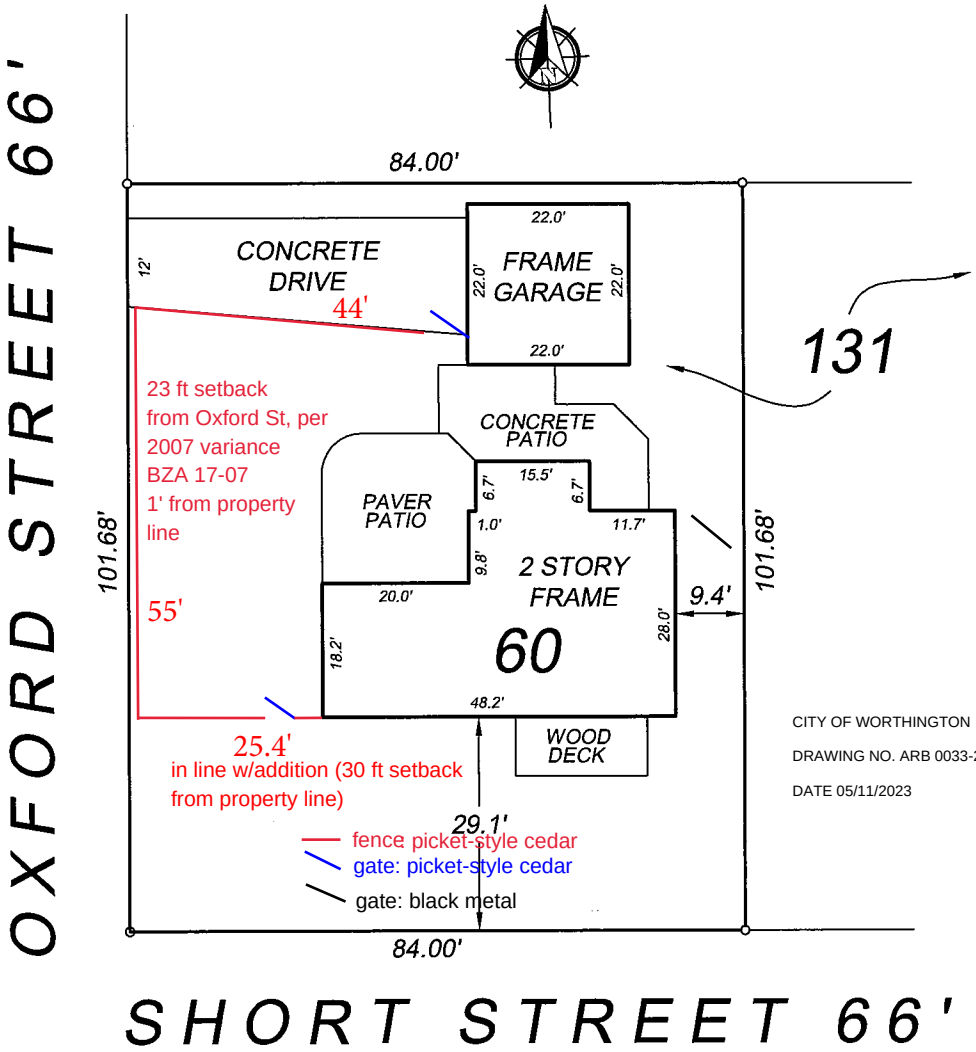
CERTIFIED TO GREAT AMERICAN TITLE AGENCY, LLC

LENDER FIRST FEDERAL SAVINGS & LOAN ASSOCIATION OF LAKEWOOD BUYER TAYLOR & DELERME

LEGAL DESC. LOT 131 ~ CITY OF WORTHINGTON P.B. 3 PG. 330

CITY/TWP. WORTHINGTON COUNTY FRANKLIN DRN. SAS CK. SJH DRAWING SCALE 1" = 20'

FEMA INFORMATION: FLOOD ZONE X MAP PANEL INFO 39049C 0159K MAP DATE 6-17-08



CITY OF WORTHINGTON
DRAWING NO. ARB 0033-2023
DATE 05/11/2023

ENCROACHMENT INFORMATION
NONE NOTED

I / WE HAVE RECEIVED A COPY OF THIS SURVEY AND FIND THE CONDITIONS ACCEPTABLE.

BUYER / OWNER

BUYER / OWNER

We hereby certify that the foregoing MORTGAGE LOCATION SURVEY was prepared in accordance with Chapter 4733-38, Ohio Administrative Code, and is not a Boundary Survey pursuant to Chapter 4733-37, Ohio Administrative Code. This plat is prepared for mortgage loan and title purposes only and is not to be construed as having been prepared for the owner and is not to be used to erect fences or other structures. Easements shown on this plat were taken from the subdivision plat of record. Additional easements affecting this property may exist.

By

STATE OF OHIO
Steven J. Hoy
7313
REGISTERED PROFESSIONAL SURVEYOR

Proposed fence type - 45" high cedar picket, rolling arch style

Existing fencing on east side of house - new gate will be similar style/color

CITY OF WORTHINGTON

DRAWING NO. ARB 0033-2023

DATE 05/11/2023

City of Worthington

ARCHITECTURAL REVIEW BOARD

Certificate of Appropriateness
Application

Case # ARB 0034-2023
Date Received 05/15/2023
Fee $2 pd
Meeting Date
Filing Deadline
Receipt #

1. **Property Location** 110 W. Stafford Ave
2. **Present/Proposed Use** seeking approval to keep a current structure (a fence installed by the previous owner).
3. **Zoning District** R-10
4. **Applicant** Zachary & Krista Pattison

   Address 110 W. Stafford Ave

   Phone Number(s) 724-561-9812

   Email pattisonkrista@gmail.com
5. **Property Owner** (same as # 4)

   Address

   Phone Number(s)

   Email
6. **Project Description** approval of previous owner's fence
7. **Project Details:** N/A, as the fence already exists on the property as a current structure.

   a) **Design**

   b) **Color**

   c) **Size**

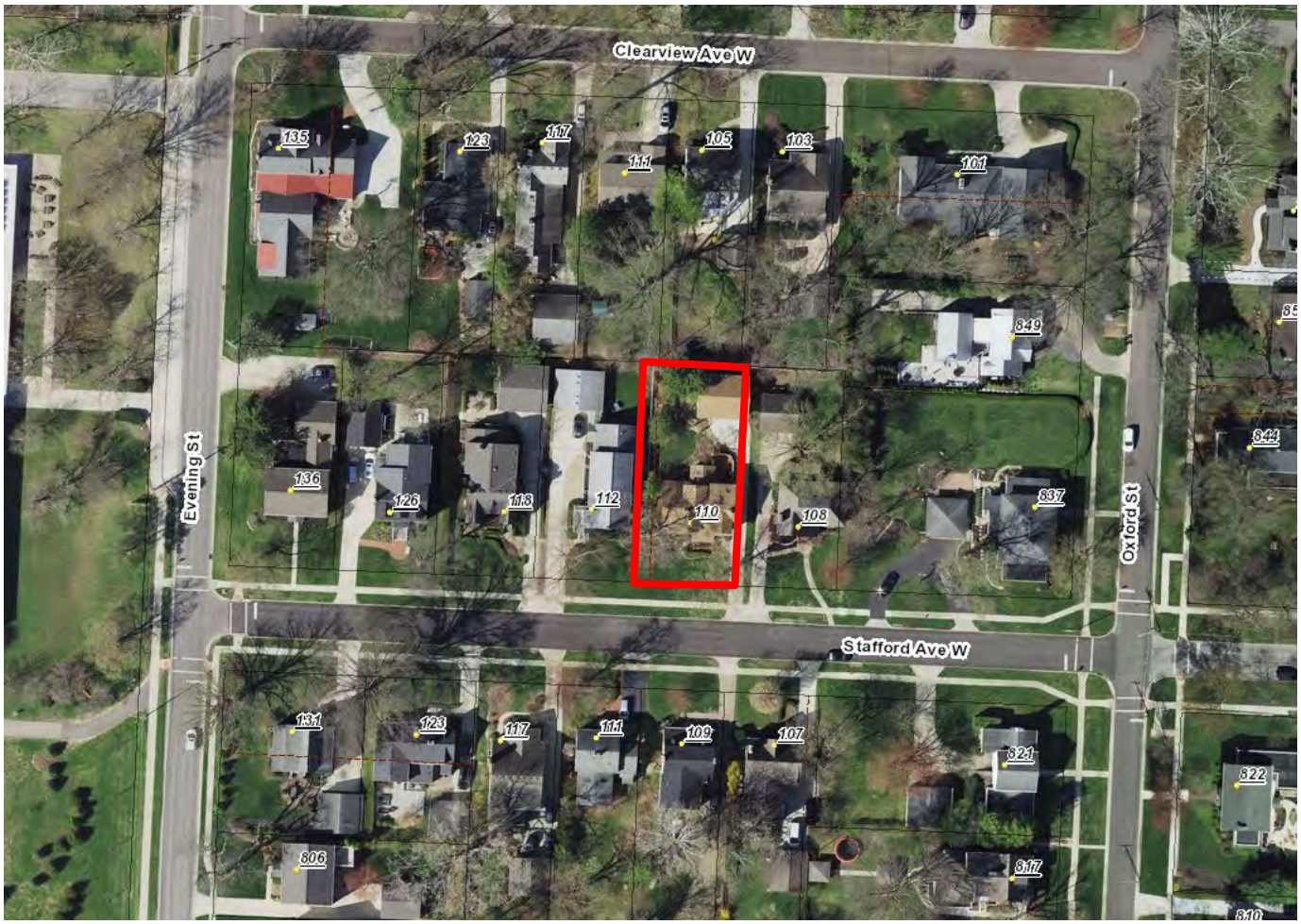
   d) **Approximate Cost** N/A **Expected Completion Date** N/A

PLEASE READ THE FOLLOWING STATEMENTAND SIGN YOUR NAME:
The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Applicant (Signature) — Date 5-9-2023

Property Owner (Signature) — Date 5/9/2023

110 W. Stafford Ave.



CITY OF WORTHINGTON

DRAWING NO. ARB 0034-2023

DATE 05/15/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0034-2023

DATE 05/15/2023

ARB APPLICATION
ARB 0036-2023
773 High St.

Plan Type:	Architectural Review Board	**Project:**		**App Date:**	05/18/2023
Work Class:	Certificate of Appropriateness	**District:**	City of Worthington	**Exp Date:**	
Status:	In Review			**Completed:**	
Valuation:	$2,000.00			**Approval**	
				Expire Date:	

Description: We are requesting approval to remove 8 urns from the church steeple of the Worthington Presbyterian Church.

As noted in the accompanying photos, the urns were added between 1942 and 1959, and they are now deteriorating and represent a safety risk. The cost to replace is estimated to be $10,000 plus the continued cost to maintain. The cost to remove them is estimated to be $2,000 and future maintenance costs are avoided.

Given that the urns were never a part of the original church steeple (reference photos) and are not a critical element of its character and beauty, we are requesting approval to have them removed. The exact timing is TBD, but we anticipate this to occur in the fall of 2023.

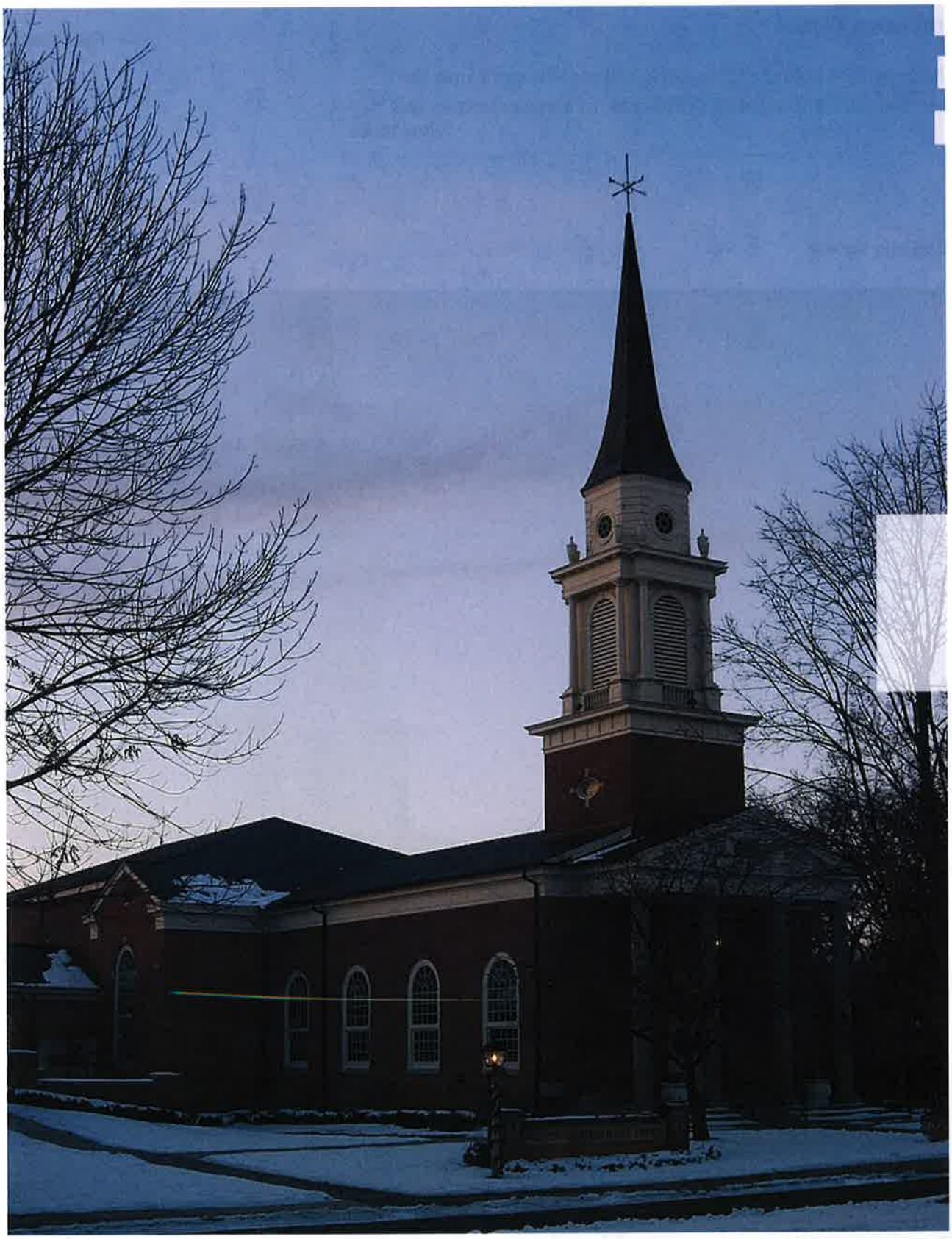
Parcel:	100-006326 Main	**Address:**	773 High St Worthington, OH 43085 Main	**Zone:**	S-1(Special)

Applicant / Owner
Doug Fell
773 High Street
Worthington, OH 43085
Business: 6148855355
Mobile: (614) 601-2297

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003997	Architectural Review Board	$2.00	$0.00
	Total for Invoice INV-00003997	$2.00	$0.00
	Grand Total for Plan	**$2.00**	**$0.00**

773 High St.

784
Oxford St
777
Griswold Center
773
Worthington Presbyterian Church
753
Village Green Dr NW
64
44
28
Granville Rd W
SW



Front of Worthington Presbyterian Church, located at 733 High Street (U.S. Route 23) in Worthington, Ohio, United States. Built in 1927, it is

More details

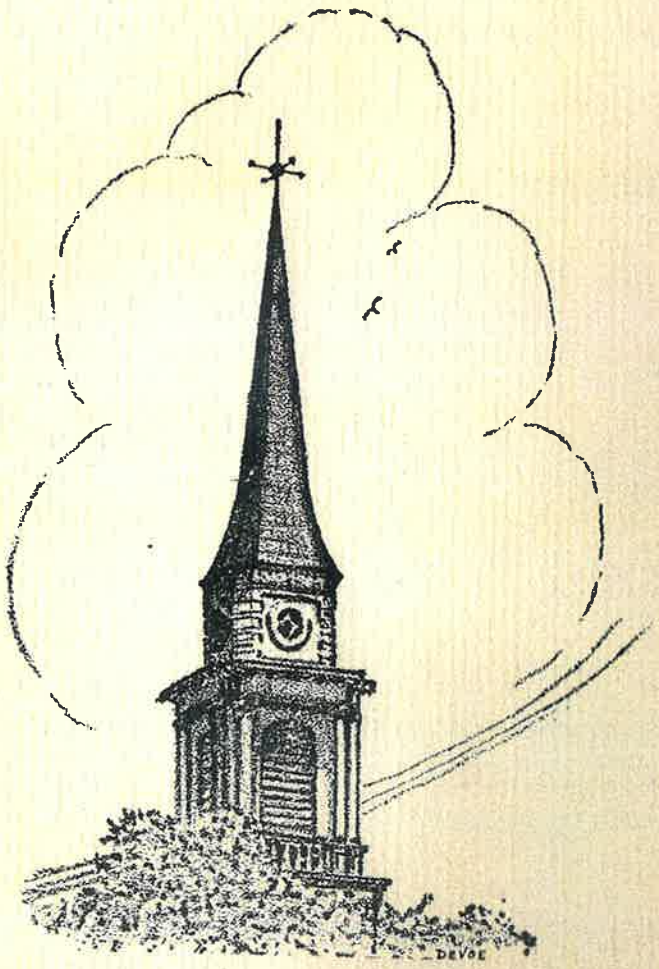
Nyttend - Own work

2000's

CITY OF WORTHINGTON

DRAWING NO. ARB 0036-2023

DATE 05/18/2023



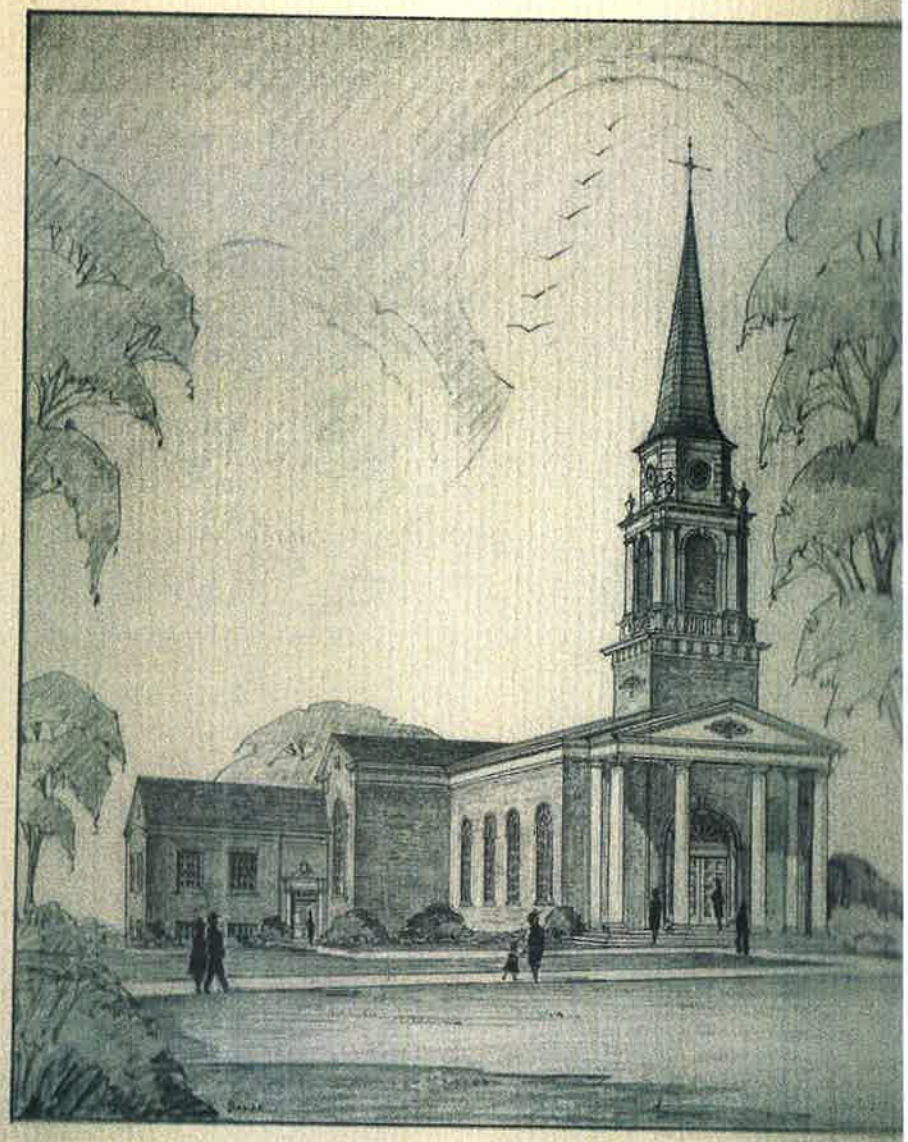
"Tower In The Sky"

CITY OF WORTHINGTON
DRAWING NO. ARB 0036-2023
DATE 05/18/2023

Worthington United Presbyterian C

of

Worthington, Ohio



One Hundred Seventy Fifth Anniver

1805 – 1980

Dedication

September 27, 1959

The First Presbyterian Church

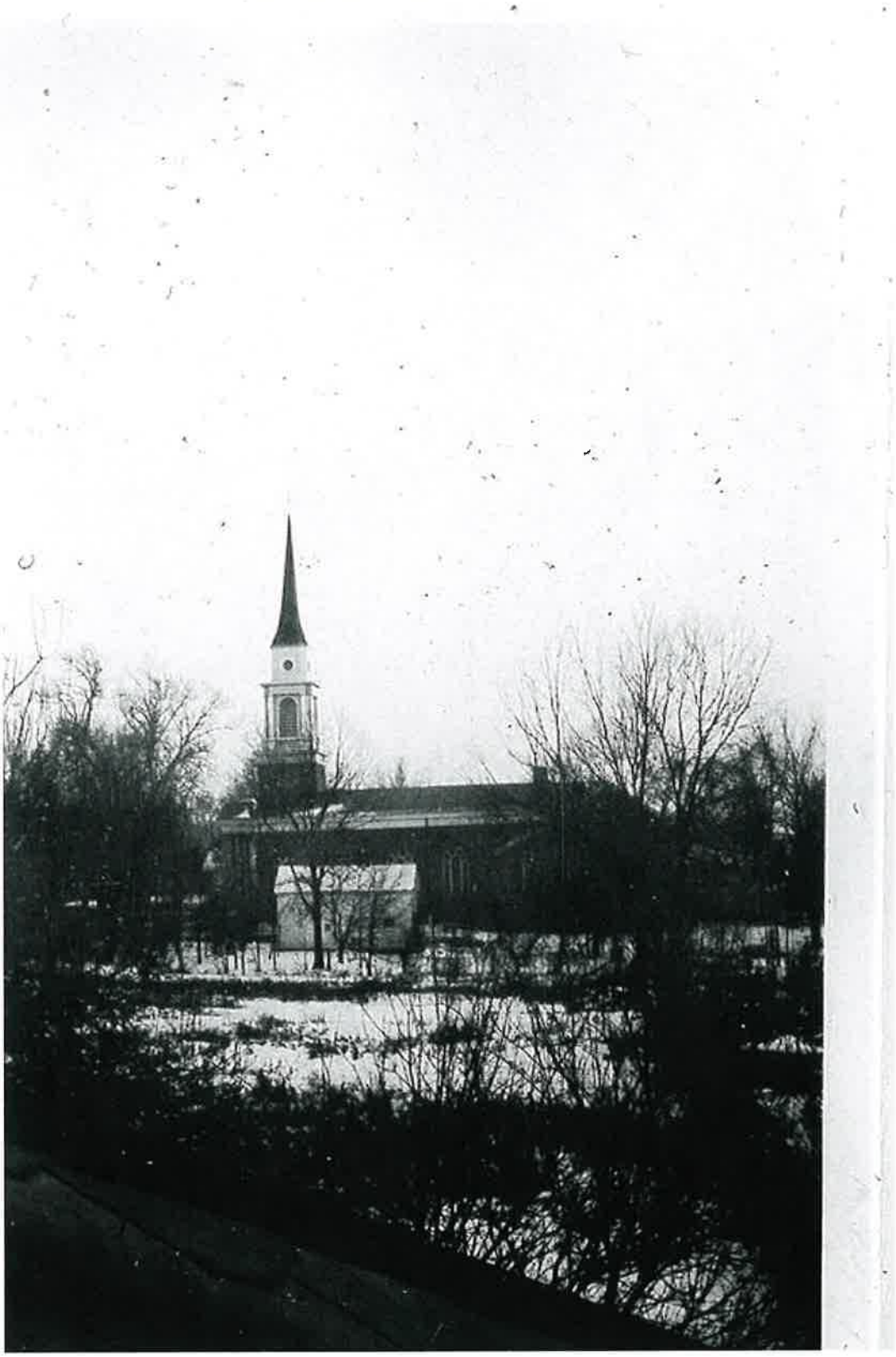
Founded June 18, 1816
Worthington, Ohio

CITY OF WORTHINGTON

DRAWING NO. ARB 0036-2023

DATE 05/18/2023

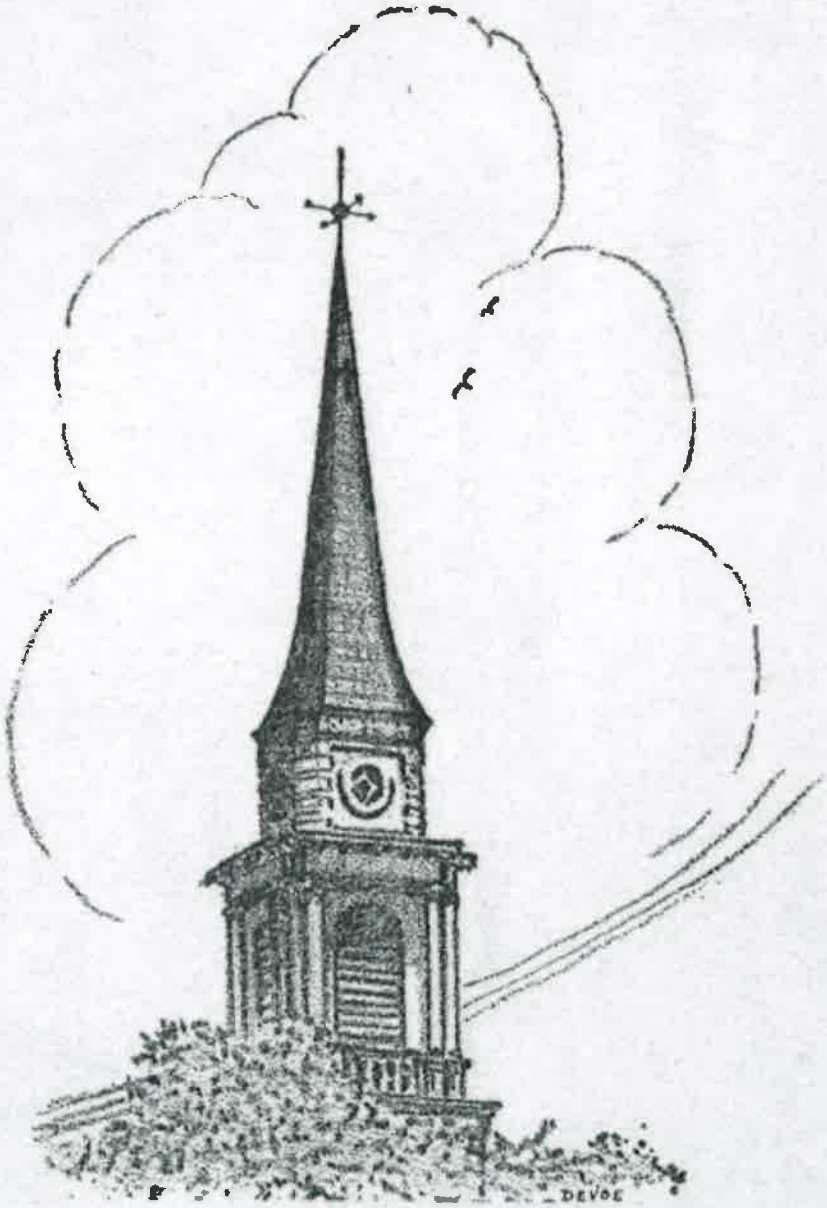
1942



CITY OF WORTHINGTON

DRAWING NO. ARB 0036-2023

DATE 05/18/2023



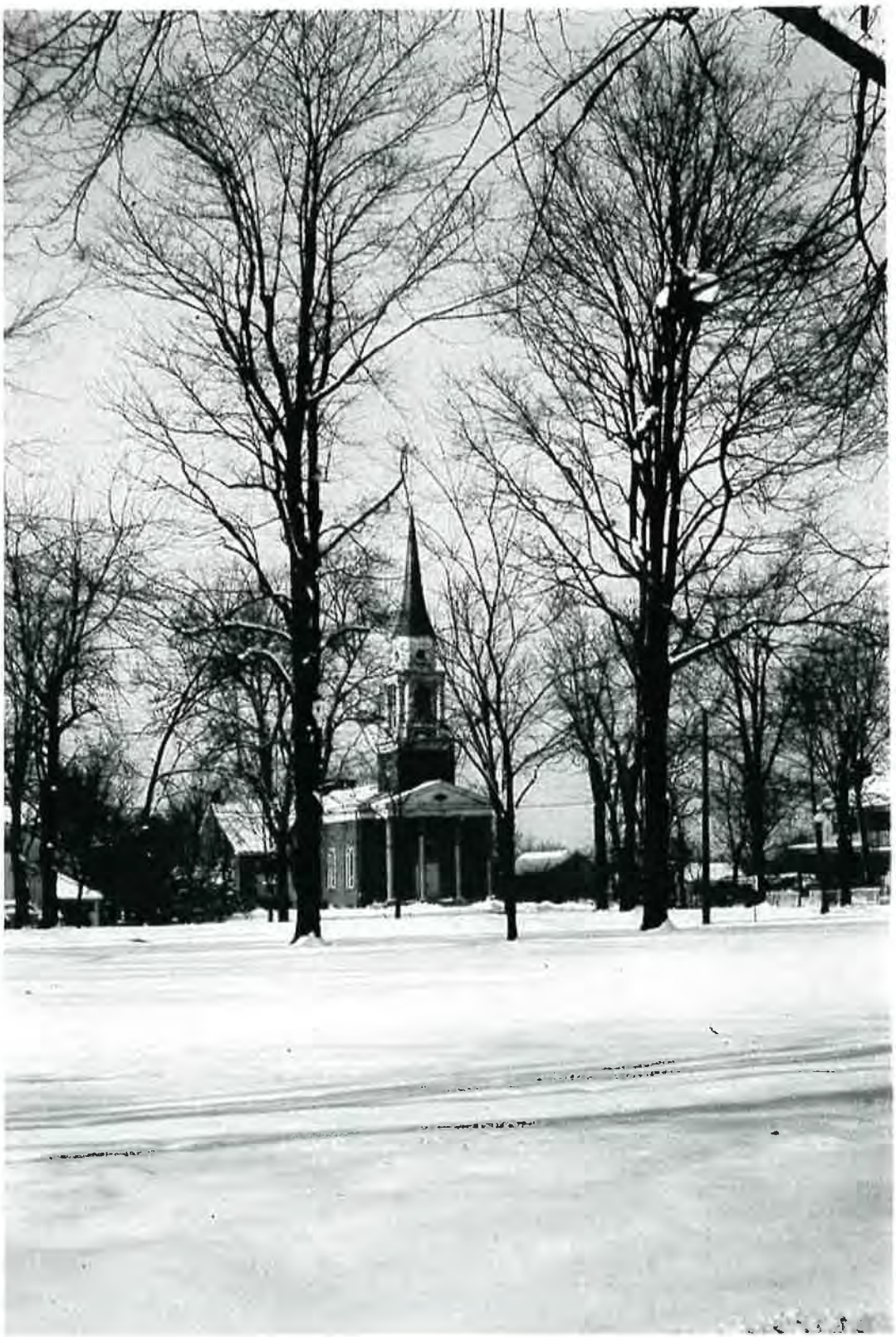
"Tower In The Sky"

1940's

CITY OF WORTHINGTON

DRAWING NO. ARB 0036-2023

DATE 05/18/2023



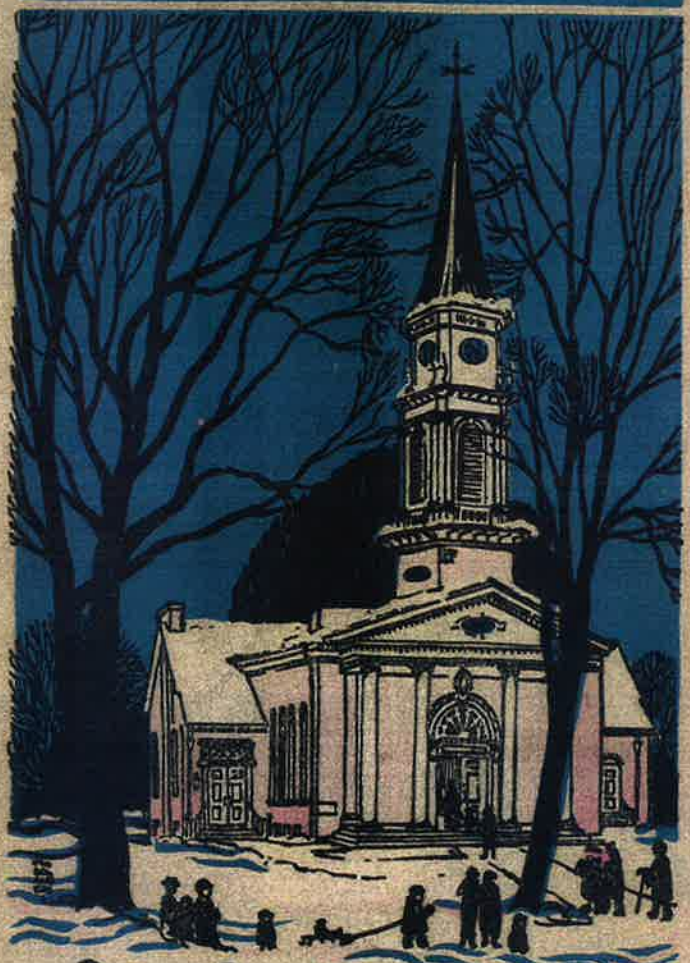
1940's

CITY OF WORTHINGTON

DRAWING NO. ARB 0036-2023

DATE 05/18/2023

PROGRAM OF DEDICATION



First Presbyterian Church · Worthington, Ohio

JANUARY 1927

CITY OF WORTHINGTON
DRAWING NO. ARB 0036-2023
DATE 05/18/2023

ARB APPLICATION
ARB 0037-2023
782 Hartford St.

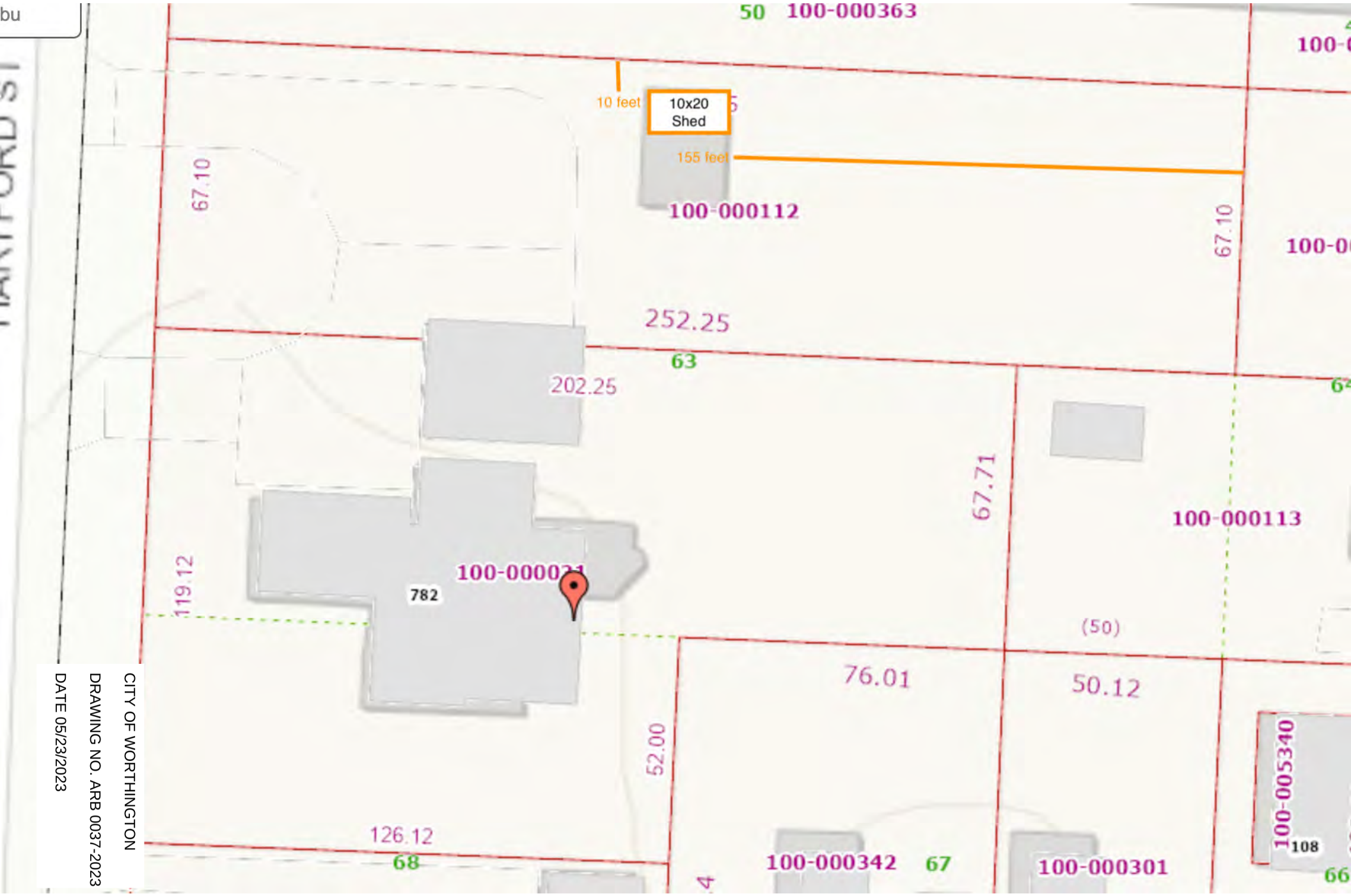
Plan Type:	Architectural Review Board	**Project:**		**App Date:**	05/23/2023
Work Class:	Certificate of Appropriateness	**District:**	City of Worthington	**Exp Date:**	
Status:	In Review			**Completed:**	
Valuation:	$10,000.00			**Approval**	
Description:	Need a review of shed design.			**Expire Date:**	

Parcel: 100-000031 Main	**Address:** 782 Hartford St Worthington, OH 43085 Main	**Zone:**AR-4.5(Low Density Apartment Residence

Applicant / Owner
Brian Hudson
782 HARTFORD ST
Worthington , OH 43085
Business: 6142822872
Mobile: (614) 282-2872

Invoice No.	Fee		Fee Amount	Amount Paid
INV-00003964	Architectural Review Board		$10.00	$10.00
		Total for Invoice INV-00003964	**$10.00**	**$10.00**
		Grand Total for Plan	**$10.00**	**$10.00**

782 Hartford St.



CITY OF WORTHINGTON

DRAWING NO. ARB 0037-2023

DATE 05/23/2023

Name	Brian Hudson
Name	Brian Hudson
Phone	614.282.2872
Phone	
Email	614.282.2872
Email	
Salesperson	Michael Troyer

Weaver Barns ltd.
"everyone needs a little structure in their life"

Weaver Barns
1696 State Route 39
Sugarcreek, OH 44681
330-852-2103

Quote 35038

Quote Date	5/22/2023
Site Ready	
Delivery Date	
Arrival Time	
Crew	

Bill To 782 Hartford Street
Worthington, OH 43085

Ship To 782 Hartford Street
Worthington, OH 43085

Structure

				Sidewall	Roof Pitch	
10x20	Craftsman	Duratemp	Assembled on Site	7	7	$12,124.00

		Body	Trim	Trim Style			Finish / Features
	Paint	Non Stock Color	Bear Beige	Craftsman			$1533.00
		Doors					
1		36" #100-SD Wood Single Door			$285.00	-$285.00	
1		5' #100 Wood Double Door			$495.00	-$495.00	
1		36" #203-SD Wood Single Door		Caramel	$430.00		$430.00
1		5' #203-LW Wood Double Door		Caramel	$805.00		$805.00
		Windows					
3		2' x 3' Aluminum Single Hung Window with screen & grids		Brown	$150.00		$450.00
1		Wood Shutter Set		Bear Beige	$85.00		$85.00
3		Wood Flowerbox		Bear Beige	$65.00		$195.00
		Shelves					
3		10' x 1' Shelf (2 x 4 Joists)			$70.00		$210.00
1		10' x 2' Shelf (2 x 4 Joists)			$100.00		$100.00
		Lofts					
2		10' x 48" Craftsman Loft			$0.00		$0.00
		Roof					
1		Drip Edge		Metal Roof	$0.00		$0.00
1		Oakridge Shingles			$0.00	$0.00	
1		Metal Roof - Manchester & Craftsman		Copper	$5.80		$1,160.00
		Paint					
1		Bracket Color		Caramel	$0.00		$0.00
200		0752 Cactus Valley Paint / Wild Grass Color TBD			$0.50		$100.00

CITY OF WORTHINGTON

DRAWING NO. ARB 0037-2023

DATE 05/23/2023

Nam Brian Hudson

Weaver Barns ltd.
"everyone needs a little structure in their life"

Quote 35038

Payments

Transaction	Type	M.O.P	Amount
"			

Options Total	$5,068.00
Options Credits	-$780.00
Sub Total After Options	$16,412.00
May special	-$1,641.20
Delivery	$0.00
Sub Total Before Tax	$14,770.80
Tax (.07)	$1,033.96
Sub Total After Tax	$15,804.76
Deposit	
Balance Due	$15,804.76

Notes

CITY OF WORTHINGTON

DRAWING NO. ARB 0037-2023

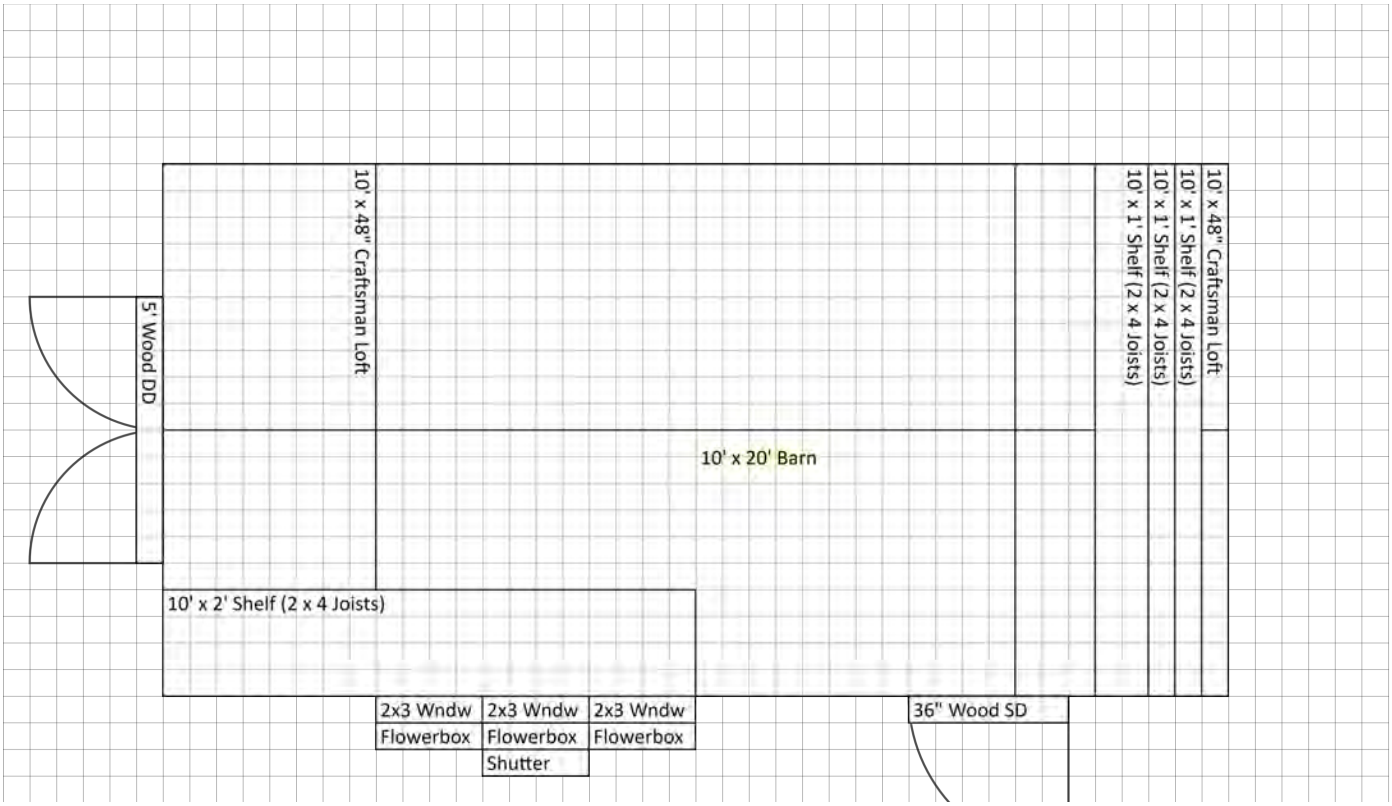
DATE 05/23/2023

Nam Brian Hudson

Weaver Barns ltd.
"everyone needs a little structure in their life"

Quote 35038

Visual Design



CITY OF WORTHINGTON

DRAWING NO. ARB 0037-2023

DATE 05/23/2023

Nam Brian Hudson

Weaver Barns ltd.
"everyone needs a little structure in their life"

Quote 35038

Example Construction Contract

This Agreement is made between Weaver Barns and Brian Hudson on 5/22/2023 appearing on the order to perform the work as listed on the order form attached. You certify that you are qualified to and authorize Weaver Barns and its employees, dealers and subcontractors' access to the property on the ship- too address on the order to fulfil any needs. You also release them from any and all liabilities including but not limited to damage to your driveway, lawn, septic systems, piping etc. You acknowledge that you have the right to enter into this contract and your electronic signature is as binding as a physical one.

Permits: Customer is responsible for all Building Permits.

Quote: Free

Placing the Order: A 10% Deposit is required to place an order.

Final Payment: Final payment is due (COD) on the day of the delivery. Please remit payment to Weaver Barns and deliver to the onsite Builder or Delivery Person. All pricing on an order with a deposit, is good for 6 Months from the time which the order was placed.

Delivery Complications: If the product has been loaded for delivery for the following day and needs to be postponed due to your request a $150 'reloading fee' will apply. If your site is inadequate when we arrive and we need to return on a different day there will be a 'return trip' fee assessed of a minimum of $250 and a maximum of $550 depending on your location.

Cancelation: If an order is canceled within 6 months of the initial Order the deposit will be refunded in full if the order has not been finalized*. Once the order has been finalized or 6 months has passed from the original order date (Whichever comes first) the 10% Deposit (of the subtotal before tax) becomes nonrefundable. These funds are available to be used towards Weaver Barns product for 2 years after the deposit was given, after 2 years it will become the property of Weaver Barns and is not usable towards any product.

*If internal drawings or stamped drawings were made (within the 6 months period or pre finalization) for this project a fee will be assessed which the deposit will be applied to.

- **Assemble on Site Delivery:** The crew delivering this structure will back in to the building site. Unless a carry charge is selected, you give your consent to do this while releasing them from any liabilities with ruts or damage to your yard. If this is not an option, a carry charge fee will apply.

CITY OF WORTHINGTON

DRAWING NO. ARB 0037-2023

DATE 05/23/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0037-2023

DATE 05/23/2023

ARB APPLICATION
ARB 0039-2023
771 Morning St.

Plan Type:	Architectural Review Board	**Project:**		**App Date:**	05/25/2023
Work Class:	Certificate of Appropriateness	**District:**	City of Worthington	**Exp Date:**	
Status:	In Review			**Completed:**	
Valuation:	$4,500.00			**Approval**	
Description:	Shed in back yard			**Expire Date:**	

Parcel:	100-000290 Main	**Address:**	771 Morning St Worthington, OH 43085 Main	**Zone:**	AR-4.5(Low Density Apartment Residenc

Applicant / Owner	Owner
Kasey E Karafa	Nicholas M Karafa
771 MORNING ST	771 MORNING ST
Worthington , OH 43085	Worthington , OH 43085
Mobile: (419) 350-4488	Mobile: 4193491159

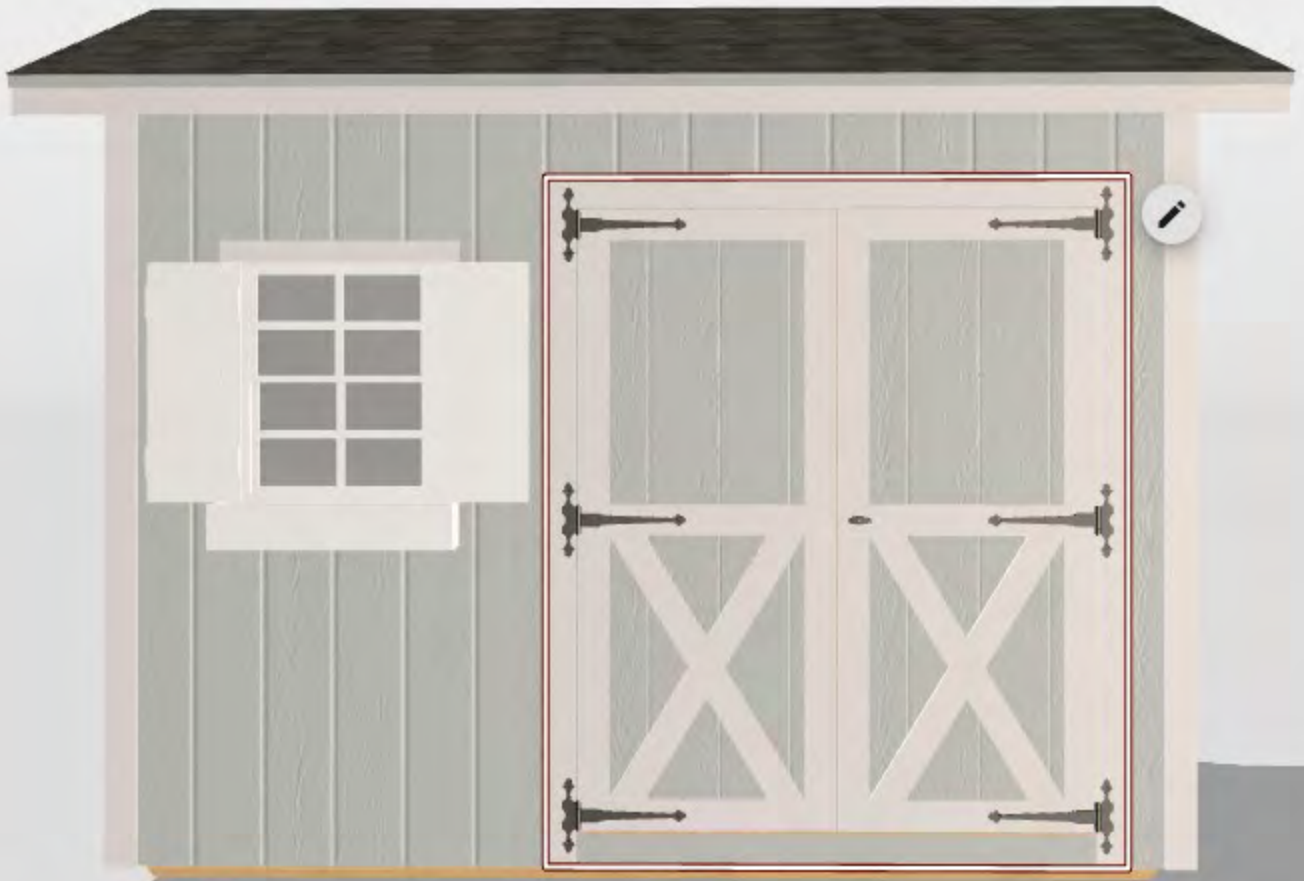
Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003996	Architectural Review Board	$5.00	$5.00
	Total for Invoice INV-00003996	$5.00	$5.00
	Grand Total for Plan	**$5.00**	**$5.00**

771 Morning St.

CITY OF WORTHINGTON

DRAWING NO. ARB 0039-2023

DATE 05/25/2023



Gable

8x10

CITY OF WORTHINGTON

DRAWING NO. ARB 0039-2023

DATE 05/25/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0039-2023

DATE 05/25/2023

ARB APPLICATION
ARB 0042-2023
561 Oxford St

Plan Type:	Architectural Review Board	**Project:**		**App Date:**	05/26/2023
Work Class:	Certificate of Appropriateness	**District:**	City of Worthington	**Exp Date:**	
Status:	In Review			**Completed:**	
Valuation:	$5,690.00			**Approval**	
				Expire Date:	

Description: -Cut back and expose framing on dinning room wall
-Install 2 New Provia Endure casement windows within existing header and framing

Parcel:	100-000182 Main	**Address:**	561 Oxford St Worthington, OH 43085 Main	**Zone:**	R-10(Low Density Residence)

Owner	Applicant
Sarah I Johnston	Mallory Jones
561 OXFORD ST	4150 Tuller Rd Suite 210
Worthington , OH 43085	Dublin, OH 43017
Home: 6148464941	

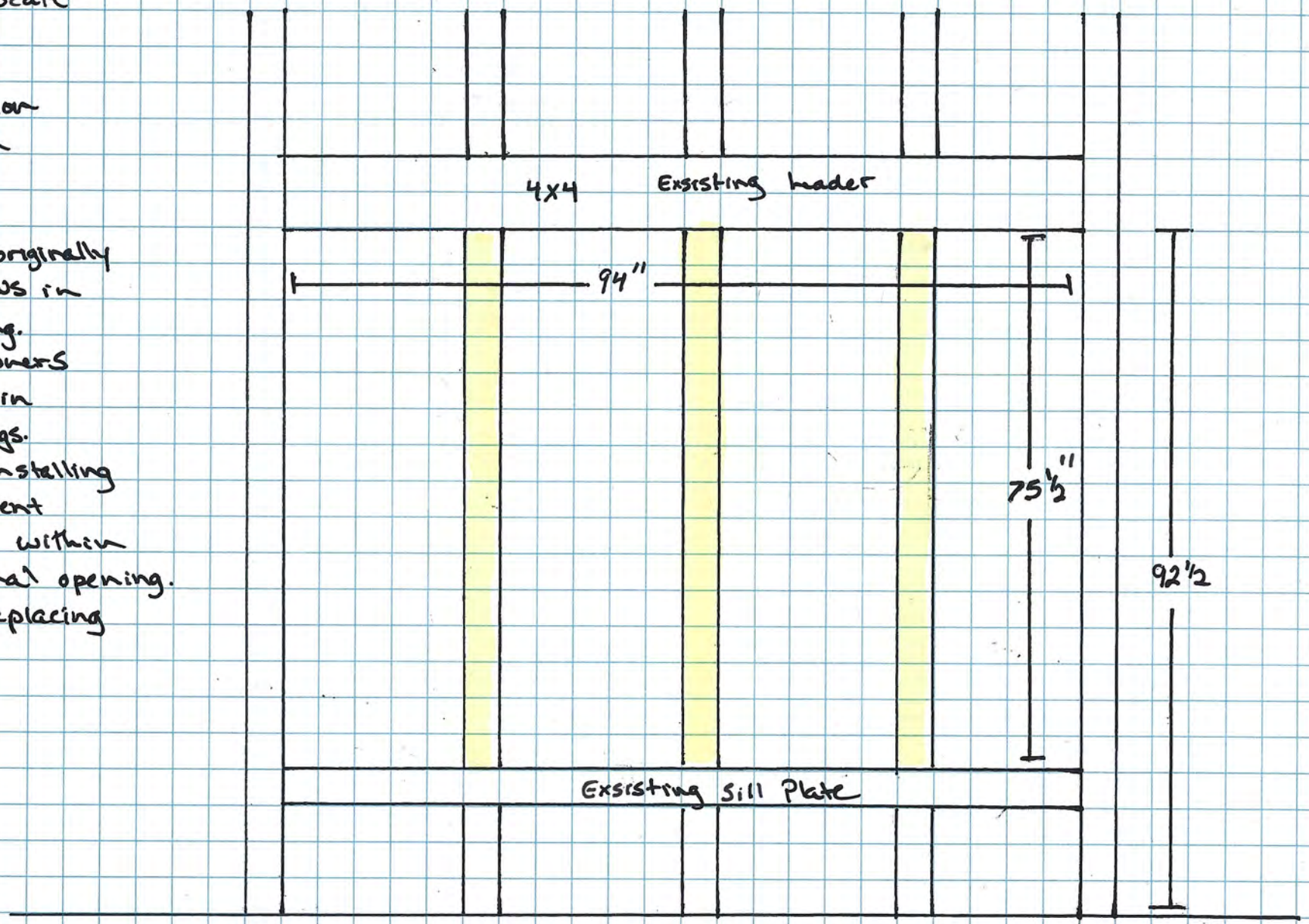
Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003980	Architectural Review Board	$6.00	$6.00
	Total for Invoice INV-00003980	$6.00	$6.00
	Grand Total for Plan	**$6.00**	**$6.00**

561 Oxford St.

Johnston, P. Project
Not to Scale

House is ballon construction

There was originally two windows in this opening. Previous owners filled in the openings. We are installing two casement windows within the original opening. We are replacing header.



: FRAMING ADDED WHEN ORIGINAL WINDOWS WERE REMOVED
THIS WILL BE REMOVED IN ORDER TO RETURN TO EXISTING R.O.

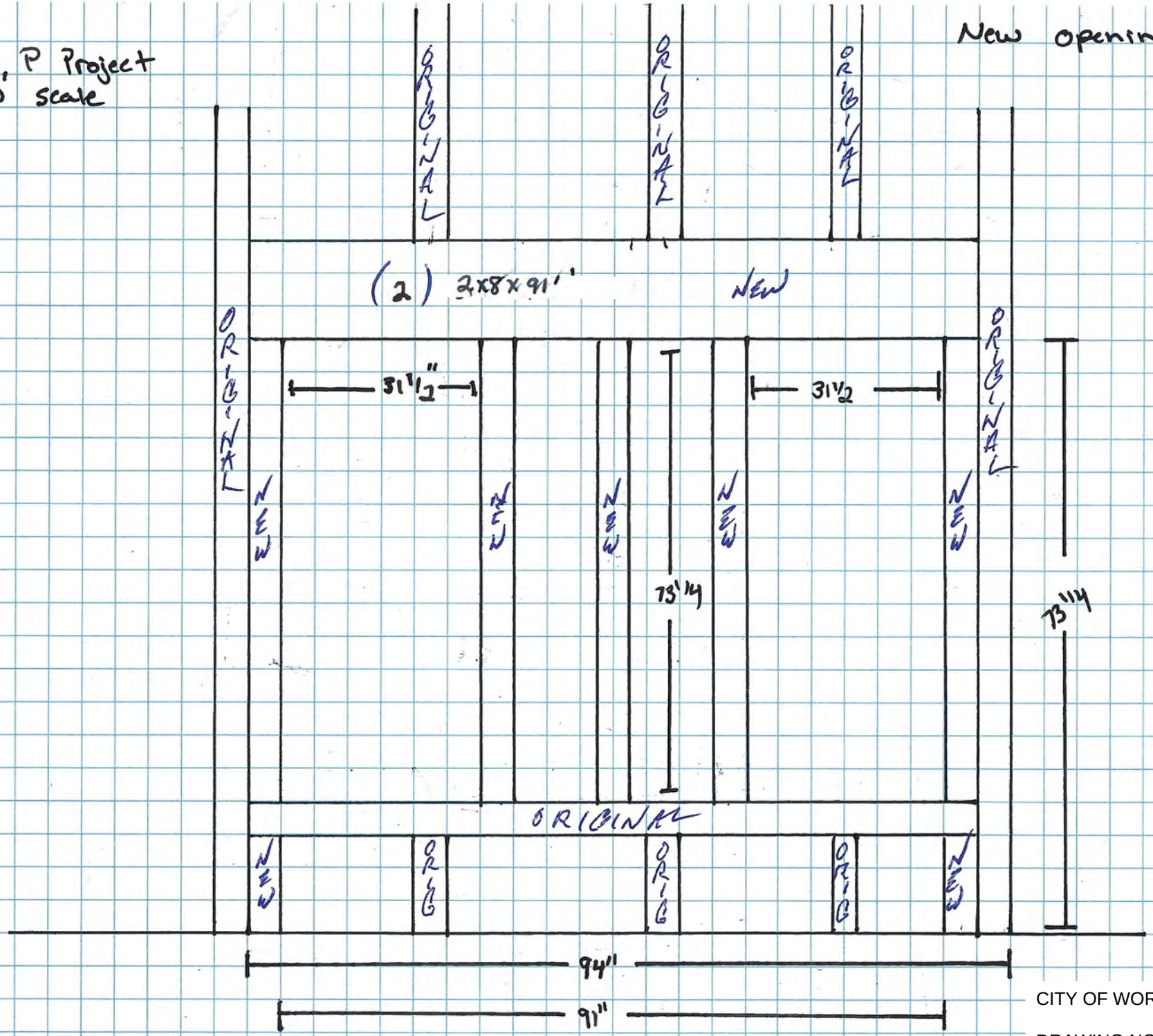
CITY OF WORTHINGTON

DRAWING NO. ARB 0042-2023

DATE 05/26/2023

Johnston, P Project
Not to scale

New openings



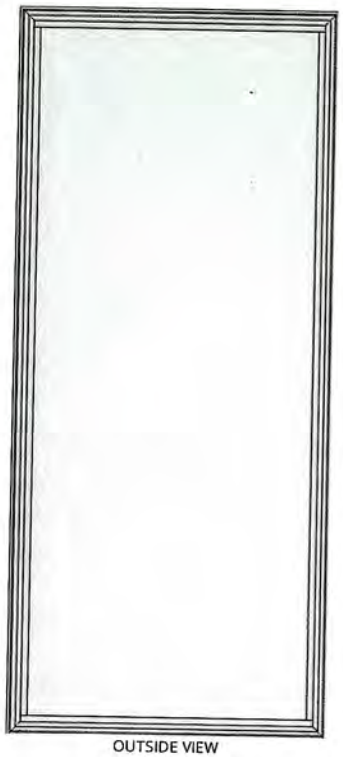
CITY OF WORTHINGTON

DRAWING NO. ARB 0042-2023

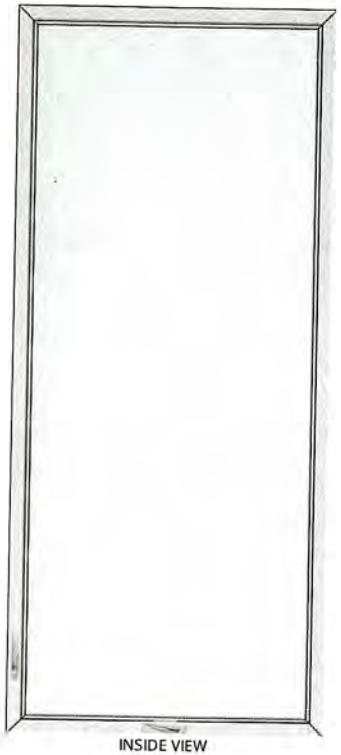
DATE 05/26/2023

YOUR **PROFESSIONAL-CLASS** PRODUCT

Endure EN600 Series 625 - 1-Lite Casement - Hinged Left (OLI)



OUTSIDE VIEW



INSIDE VIEW

HEGG WINDOWS + DOORS

614-761-0890
4150 Tuller Road
Dublin, OH 43017

QUOTE INFORMATION

Job: Johnston Project
Tag: 101 Dining
PO #JOHNSTON:2WDS
Order #9512242-1

DETAILS

Endure Window - EN600 Series
625 - 1-Lite Casement - Hinged Left (OLI)
Beige
Exact Size: 30 1/2" x 70"
Corner Drive System
ROTO Hardware
Beige Lock-out Crank Handle
INNERGY Thermal Sash Reinforcement
Extruded Full Screen (Beige) with BetterVue Screen Mesh
Graphite Foam Insulation
Sill Extender
ComforTech DLA-UV
Double Strength Glass
3/4" IG Thickness

[redacted]

SIZING

Opening Width Range:	30 3/4" to 31"
Opening Height Range:	70 1/4" to 70 1/2"
Window Size:	30 1/2" x 70"
United Inches:	101
Egress Size:	18 13/32" x 64 9/16"
Egress Square Foot:	8.2539
Egress Meets Criteria:	No
Operable Sash Size:	28 7/8" x 68 3/8"
Operable Glass Size:	26 3/4" x 66 1/4" x 3/4"
Operable Glass Viewable Size:	25 7/8" x 65 3/8"
Full Screen:	26 13/16" x 66 5/16"
Casement Screen Notch:	19 15/16"

Structural

Cert #: 462-H-009.01
R-PG50
Size Tested: 36" x 75"
DP: +50/-50
AAMA/WDMA/CSA 101/1.S.2/A440-08/-011/-17

WINDOW & DOOR MANUFACTURERS ASSOCIATION
WDMA
Hallmark Certification

ENERGY

ENERGY PERFORMANCE RATINGS

U-Factor (U.S/I-P)	Solar Heat Gain Coefficient
0.25	0.21

ADDITIONAL PERFORMANCE RATINGS

Visible Transmittance	Condensation Resistance
0.46	60.00

Air Infiltration (cfm/ft2)
<= 0.02

ENERGY STAR® Certified
In All 50 States.

Installation Instructions

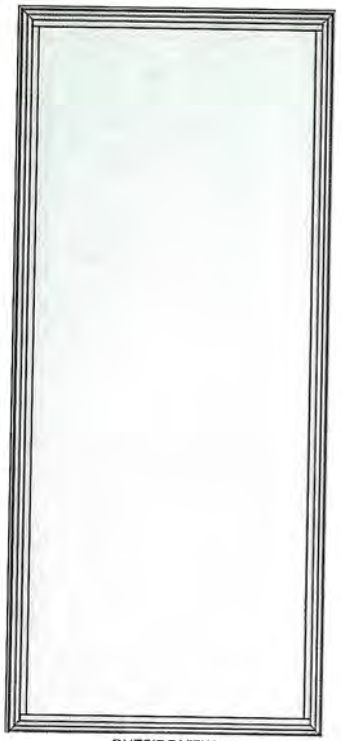
CITY OF WORTHINGTON

DRAWING NO. ARB 0042-2023

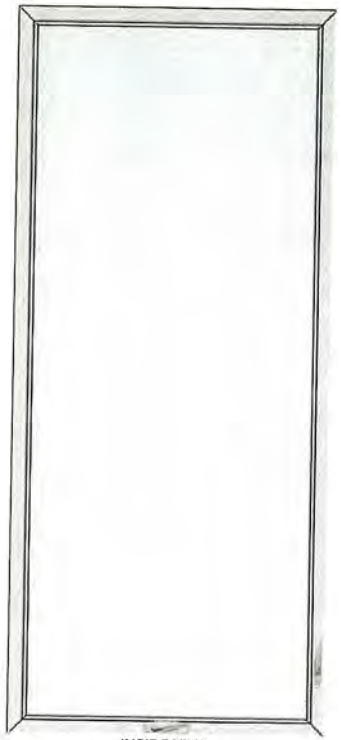
DATE 05/26/2023

YOUR **PROFESSIONAL-CLASS** PRODUCT

Endure EN600 Series 624 - 1-Lite Casement - Hinged Right (OLI)



OUTSIDE VIEW



INSIDE VIEW

HEGG WINDOWS + DOORS

614-761-0890
4150 Tuller Road
Dublin, OH 43017

QUOTE INFORMATION

Job: Johnston Project
Tag: 102 Dining
PO #JOHNSTON:2WDS
Order #9512242-2

DETAILS

Endure Window - EN600 Series
624 - 1-Lite Casement - Hinged Right (OLI)
Beige
Exact Size: 30 1/2" x 70"
Corner Drive System
ROTO Hardware
Beige Lock-out Crank Handle
INNERGY Thermal Sash Reinforcement
Extruded Full Screen (Beige) with BetterVue Screen Mesh
Graphite Foam Insulation
Sill Extender
ComforTech DLA-UV
Double Strength Glass
3/4" IG Thickness

[redacted]

SIZING

Opening Width Range:	30 3/4" to 31"
Opening Height Range:	70 1/4" to 70 1/2"
Window Size:	30 1/2" x 70"
United Inches:	101
Egress Size:	18 13/32" x 64 9/16"
Egress Square Foot:	8.2539
Egress Meets Criteria:	No
Operable Sash Size:	28 7/8" x 68 3/8"
Operable Glass Size:	26 3/4" x 66 1/4" x 3/4"
Operable Glass Viewable Size:	25 7/8" x 65 3/8"
Full Screen:	26 13/16" x 66 5/16"
Casement Screen Notch:	19 15/16"

Structural

Cert #: 462-H-009.01
R-PG50
Size Tested: 36" x 75"
DP: +50/-50
AAMA/WDMA/CSA 101/1.S.2/A440-08/-011/-17

WINDOW & DOOR MANUFACTURERS ASSOCIATION
WDMA
Hallmark Certification

ENERGY

ENERGY PERFORMANCE RATINGS

U-Factor (U.S/I-P)	Solar Heat Gain Coefficient
0.25	0.21

ADDITIONAL PERFORMANCE RATINGS

Visible Transmittance	Condensation Resistance
0.46	60.00

Air Infiltration (cfm/ft2)
<= 0.02

ENERGY STAR® Certified In All 50 States.

Installation Instructions

CITY OF WORTHINGTON

DRAWING NO. ARB 0042-2023

DATE 05/26/2023

Summary
Land Profile
Residential
Commercial
Improvements
Permits
Mapping
Sketch
Photo
StreetSmart
Aerial Photos
Transfers
BOR Status
CAUV Status
Tax & Payments
Tax Distribution
Tax Calculators
Value History
Rental Contact
Incentive Details
Quick Links

Parcel ID: 100-000182-00
JOHNSTON SARAH ILES

Map Routing: 100-N064 -067-00
561 OXFORD ST

Record Navigator
3 of 3
Return to Search Results
Reports
Proximity Report
Map Report
Parcel Summary
Parcel Detail
Go

CITY OF WORTHINGTON

DRAWING NO. ARB 0042-2023

DATE 05/26/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0042-2023

DATE 05/26/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0042-2023

DATE 05/26/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0042-2023

DATE 05/26/2023

ARB APPLICATION
ARB 0040-2023
885 Evening St.

Plan Type:	Architectural Review Board	**Project:**		**App Date:**	05/26/2023
Work Class:	Certificate of Appropriateness	**District:**	City of Worthington	**Exp Date:**	
Status:	In Review			**Completed:**	
Valuation:	$22,900.00			**Approval**	
Description:	Non-Illuminated Monument Cabinet w/ Dimensional Logo, Pin Letters & Changeable Copy on New Brick Monument Base.			**Expire Date:**	

Parcel:	100-006617 Main	**Address:**	885 Evening St Worthington, OH 43085 Main	**Zone:**	

Applicant
Scott Farnsworth
1917 Henry Ave. SW
Canton, OH 44706
Business: 3304559995
Mobile: (330) 639-8764

Owner
Worthington Schools
Tim Gehring
200 E WILSON BRIDGE RD
Worthington , OH 43085
Business: 6148833000
Mobile: 6143614419

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003978	Architectural Review Board	$23.00	$23.00
	Total for Invoice INV-00003978	$23.00	$23.00
	Grand Total for Plan	**$23.00**	**$23.00**

Condition	Description	Date Created	Satisfied
No Build Document Must Be Reviewed	A no build document has been recorded for this parcel. Please review this document to ensure the permit cannot be issued.	06/29/2022	No
Building Code Variance On File	There is a building code variance on file that may affect future projects. Please check the parcel record.	07/13/2022	No

885 Evening St.

Worthington Schools

CITY OF WORTHINGTON

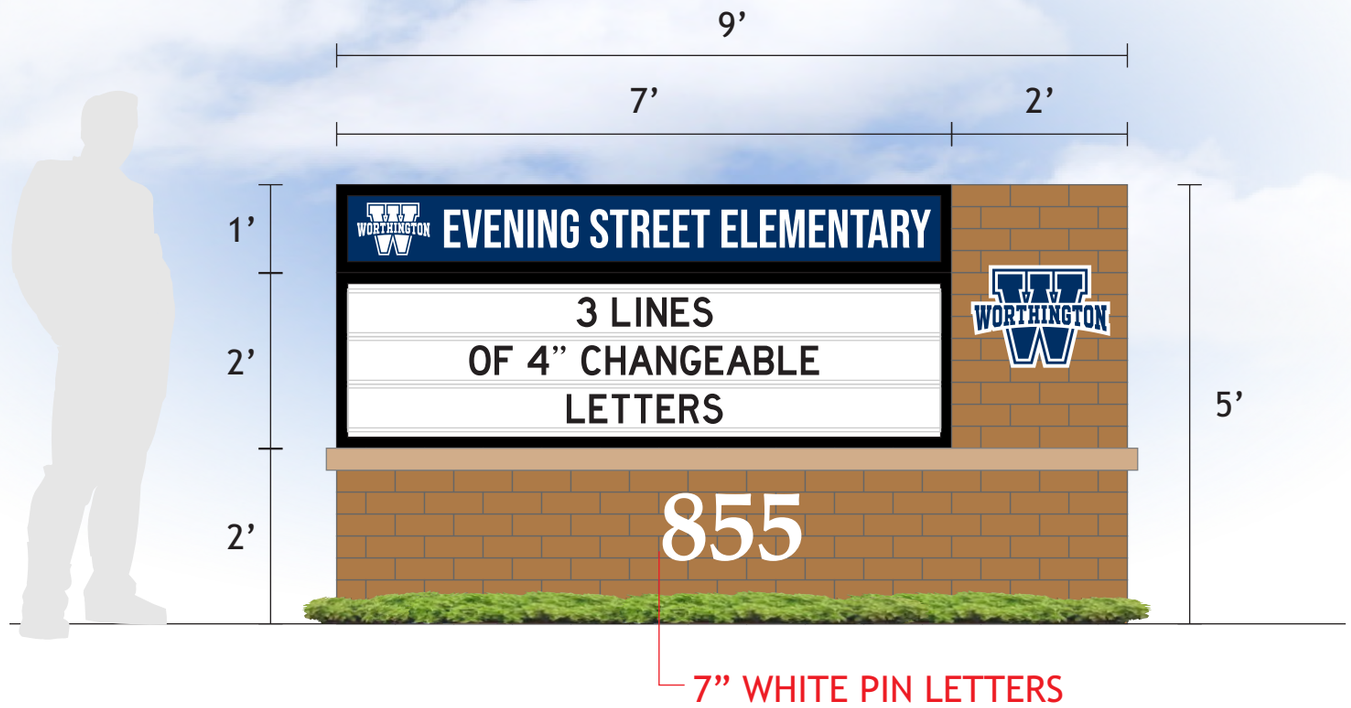
DRAWING NO. ARB 0040-2023

DATE 05/26/2023

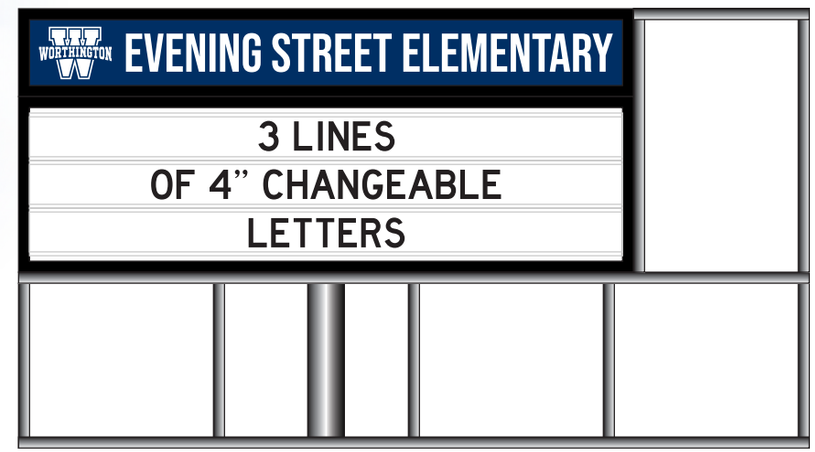
ARCHER SIGN CORPORATION
1917 HENRY AVE. SW. CANTON, OH 44706
P: 330-455-9995 F: 330-455-9994
www.archersign.com

Worthington Schools 11-10-2022

MONUMENT SIGN - STYLE 2 OPTION B) 45 SF
PILLAR TO BE ADJACENT TO SCHOOL



DETAIL VIEW: MASONRY FRAMING & COPY BOARD POST
VENEER BRICK TO FRAME
CEMENT BOARD
POST



CITY OF WORTHINGTON

DRAWING NO. ARB 0040-2023

DATE 05/26/2023

CLIENT REVIEW STATUS
APPROVED
REVISE & RESUBMIT
NAME: DATE:

THIS IS NOT A SHOP DRAWING

DESCRIPTION
DOUBLE SIDED MONUMENT SIGN
GROUND ILLUMINATED
CHANGEABLE LETTERS, MOUNTED ON BRICK BASE AND COLUMN, DIMENSIONAL NON ILLUMINATED LOGO ON 2 SIDES OF COLUMN

ARCHER SIGN CORPORATION
1917 HENRY AVE. SW. CANTON, OH 44706
P: 330-455-9995 F: 330-455-9994
www.archersign.com

CUSTOMER:	LOCATION:	SALESPERSON:	DRAWN BY:
WORTHINGTON SCHOOLS	WORTHINGTON, OH	JERRY ARCHER	SL/TS
DATE: 03-08-2022	PROJECT MANAGER: ASHLEY NEWBOLD	FILE LOCATION:	MISC INFORMATION:

REVISIONS:
3/8-STYLE 2 OPTION B, ADD PIN LETTER ADDY
ADD FRAME WORK FOR BRICK VENEER & POST FOR COPY BOARD
5/10-REMOVE INTERNAL ILLUM, GROUND ILLUM ONLY, POLE DIM

THIS ORIGINAL DESIGN IS THE EXCLUSIVE PROPERTY OF THE ARCHER SIGN CORPORATION, AND IS PROTECTED BY FEDERAL COPYRIGHT LAWS. ANY REPRODUCTION, OR CONSTRUCTION OF ANY SIGN SIMILAR TO THE ONE EMBODIED HERE IN, IS EXPRESSLY FORBIDDEN AND WILL RESULT IN A PENALTY FEE OF UP TO TEN PERCENT OF THE TOTAL JOB COST, PAYABLE TO THE ARCHER SIGN CORPORATION.

NOTE: ALL ILLUMINATED SIGNS MANUFACTURED FOR 120 VOLT CIRCUIT (UNLESS SPECIFIED).

ARB APPLICATION
ARB 0041-2023
2075 W. Dublin-Granville Rd.

Plan Type:	Architectural Review Board	**Project:**		**App Date:**	05/26/2023
Work Class:	Certificate of Appropriateness	**District:**	City of Worthington	**Exp Date:**	
Status:	In Review			**Completed:**	
Valuation:	$23,200.00			**Approval**	
Description:	Non-Illuminated Monument Cabinet w/ Dimensional Logo & Pin Letters on New Brick Monument Base.			**Expire Date:**	

Parcel:	100-003049 Main	**Address:**	2075 W Dublin-Granville Rd Worthington, OH 43085 Main	**Zone:**	S-1(Special)

Owner
Worthington Schools
Tim Gehring
200 E WILSON BRIDGE RD
Worthington , OH 43085
Business: 6148833000
Mobile: 6143614419

Applicant
Scott Farnsworth
1917 Henry Ave. SW
Canton, OH 44706
Business: 3304559995
Mobile: (330) 639-8764

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003977	Architectural Review Board	$24.00	$24.00
	Total for Invoice INV-00003977	$24.00	$24.00
	Grand Total for Plan	**$24.00**	**$24.00**

2075 W. Dublin-Granville Rd.

WORTHINGTON

LINWORTH ALTERNATIVE SCHOOL COLUMBUS, OH 01/23/2023

ARCHER SIGN CORPORATION

ESTABLISHED 1969

1917 HENRY AVE. SW. CANTON, OH 44706
P: 330-455-9995 F: 330-455-9994
www.archersign.com

CITY OF WORTHINGTON

DRAWING NO. ARB 0041-2023

DATE 05/26/2023

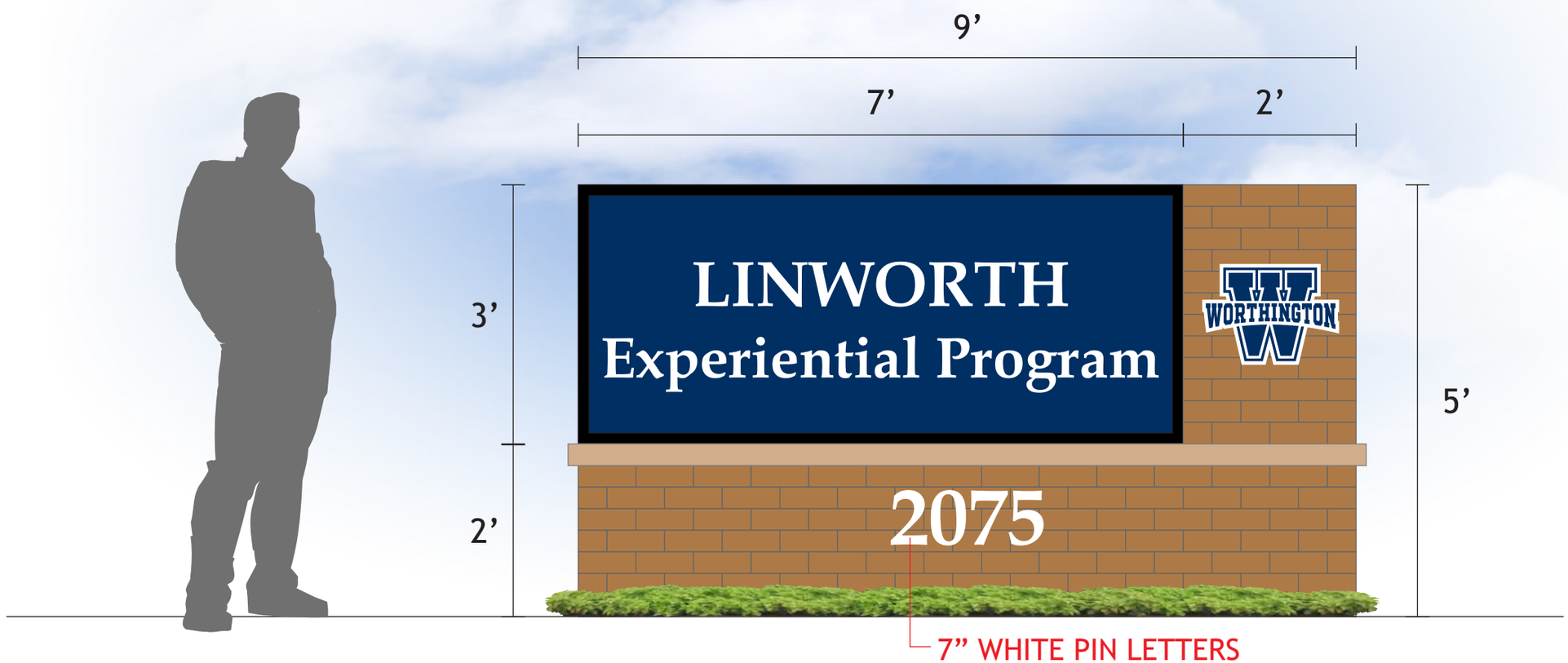
DESCRIPTION 45 SF

MANUFACTURE & INSTALL
(1) NEW MONUMENT SIGN
PILLAR TO BE ADJACENT WITH SCHOOL

CITY OF WORTHINGTON

DRAWING NO. ARB 0041-2023

DATE 05/26/2023



ARCHER SIGN CORPORATION
1917 HENRY AVE. SW. CANTON, OH 44706
P: 330-455-9995 F: 330-455-9994
www.archersign.com

CUSTOMER:	LOCATION:	SALESPERSON:
LINWORTH ALT. SCHOOL	COLUMBUS, OH	ASHLEY NEWBOLD
DATE:	**PROJECT MANAGER:**	**DRAWN BY:**
01/23/2023		TAYLRE

REVISIONS:

DATE	BY	DESCRIPTION
2-17-23	AN/TS	OPTION 1, ADD PIN LETTER ADDY

CLIENT REVIEW STATUS

- [ ] APPROVED
- [ ] REVISE & RESUBMIT

NAME: DATE:

THIS IS NOT A SHOP DRAWING

COLORS:

- DRESS BLUES SW9176 253-C1
- BLACK
- WHITE

AFFILIATIONS

WSA WORLD SIGN ASSOCIATES
VISTAGE
MSA
UL

COPYRIGHT NOTICE

THIS ORIGINAL DESIGN IS THE EXCLUSIVE PROPERTY OF THE ARCHER SIGN CORPORATION, AND IS PROTECTED BY FEDERAL COPYRIGHT LAWS. ANY REPRODUCTION, OR CONSTRUCTION OF ANY SIGN SIMILAR TO THE ONE EMBODIED HERE IN, IS EXPRESSLY FORBIDDEN AND WILL RESULT IN A PENALTY FEE OF UP TO TEN PERCENT OF THE TOTAL JOB COST, PAYABLE TO THE ARCHER SIGN CORPORATION.

NOTE: ALL ILLUMINATED SIGNS MANUFACTURED FOR 120 VOLT CIRCUIT (UNLESS SPECIFIED).

ARB APPLICATION
ARB 0044-2023
300 W. Dubin-Granville Rd.

Plan Type:	Architectural Review Board	**Project:**		**App Date:**	05/29/2023
Work Class:	Certificate of Appropriateness	**District:**	City of Worthington	**Exp Date:**	
Status:	In Review			**Completed:**	
Valuation:	$40,000.00			**Approval**	
Description:	Improvements to the FIELDHOUSE at TWHS.			**Expire Date:**	

Parcel: 100-006617 Main	**Address:** 300 W Dublin-Granville Rd Main Worthington, OH 43085	**Zone:**

Applicant
Schorr Architects, Inc.
Nathan Gammella
230 Bradenton Ave.
Dublin, OH 43017
Business: 6147982096
Mobile: 4409152422

Owner
Jeff Eble
Business: (614) 450-6037

Applicant
Paul Miller
230 Bradenton Ave
Dublin, OH 43017
Mobile: 4403911416

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004005	Architectural Review Board	$40.00	$40.00
	Total for Invoice INV-00004005	$40.00	$40.00
	Grand Total for Plan	**$40.00**	**$40.00**

Condition	Description	Date Created	Satisfied
No Build Document Must Be Reviewed	A no build document has been recorded for this parcel. Please review this document to ensure the permit cannot be issued.	06/29/2022	No
Building Code Variance On File	There is a building code variance on file that may affect future projects. Please check the parcel record.	07/13/2022	No

300 W. Dublin-Granville Rd.

schorr architects inc.
230 Bradenton Avenue
Dublin, Ohio 43017
p: 614.798.2096 | f: 614.798.2097

CDA COMMUNITY DESIGN ALLIANCE
236 High Street
Hamilton, Ohio 45011
p: 513.275.1740 | f: 513.275.1741

Thomas Worthington High School Fieldhouse
Ongoing Improvements
Supporting Statement
05/26/2023

This submission outlines 4 proposed improvements to the ongoing Thomas Worthington Fieldhouse Project:

Improvement 1 – New Entry Signage

This improvement adds a gateway-style entrance to the fieldhouse site. This entry is intended to be the entry for everyone entering the fieldhouse site. The gateway's centerline is aligned to the centerline of the major staircase.

The previously approved Hi-R block system is used to construct each post. Blocks arranged to create a square (2' – 3 5/8" all sides) built up to 12'-4" and capped with 2" thick cast-stone with 1" overhang all sides. Both the tan and red color block are used, the cast stone color selection will match the tan blocks. The sign is metal, spans 10' above grade and has the "DOW NELSON SPORTS COMPLEX" naming in the TWHS font. The color of the metal sign will match the adjacent approved railing.

Materials in the renderings are provided as accurately as possible. Renderings in the same style as the previously approved submission are also provided.

Improvement 2 – Revised Tree Layout

The approved tree layout indicated three trees within the fence line, centered between the building and the fence. Since then, coordination issues have been pointed out. There is a gas line underground, as well as electrical lines which run overhead which make planting trees in this location potentially hazardous. At one time, a submission was made indicating the trees east, outside of the fence line. Since then, the TWHS has been designing all that area, and indicates a sidewalk to run all the way north through that area, prohibiting tree planting.

Schorr Architects and the District propose treating the Fieldhouse and the High School as one site and finding a new location for the three proposed trees which serve the athletic side of the site.

Improvement 3 – Revised North Fence Layout

This improvement shifts the existing fence at the north of the site to be approximately 16ft further north. The site plan indicates the southwest most portion of the fence as remaining in the same place with the north-eastern part of the fence rotating along counterclockwise to achieve the 16ft difference.

This improvement allows for District vehicles to traverse the site without crossing pedestrian traffic.

CITY OF WORTHINGTON

DRAWING NO. ARB 0044-2023

DATE 05/29/2023

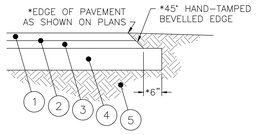
schorr architects inc.
230 Bradenton Avenue
Dublin, Ohio 43017
p: 614.798.2096 | f: 614.798.2097

CDA COMMUNITY DESIGN ALLIANCE
236 High Street
Hamilton, Ohio 45011
p: 513.275.1740 | f: 513.275.1741

Improvement 4 – Lacrosse Wall

This improvement adds a lacrosse practice wall west of the fieldhouse project and adjacent to the proposed, north turf field. The wall will allow lacrosse players to practice throwing and catching. The face of the wall is approximately 850ft from the curb of W. Dublin Granville Rd.

The wall will stand 12ft above grade and have a concrete finish. In front of the wall there is a concrete pad measuring 40ft long and 22ft wide which matches the width of the wall.

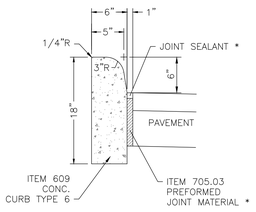


* ONLY WHERE PAVEMENT DOES NOT ABUT CURB/SIDEWALK

1. 1 1/2" ~ ITEM 441, ASPHALT CONCRETE SURFACE COURSE, TYPE 1 (448), PG64-22
2. ITEM 407, TACK COAT, 702.12, NON-TRACKING (0.09 GAL/SY) – TO BE APPLIED BETWEEN ASPHALT COURSES NOT PLACED WITHIN 24 HOURS OF EACH OTHER
3. 2" ~ ITEM 441, ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 2 (448), PG64-22
4. 8" ~ ITEM 304, AGGREGATE BASE
5. ITEM 204, SUBGRADE COMPACTION

STD. DUTY PAVEMENT (1)

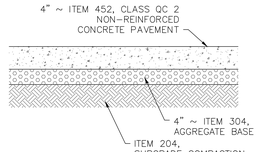
NOT TO SCALE



* ONLY WHERE CONCRETE CURB MEETS CONCRETE PAVEMENT

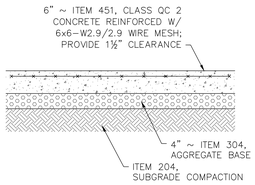
STD. CONCRETE CURB (2)

NOT TO SCALE



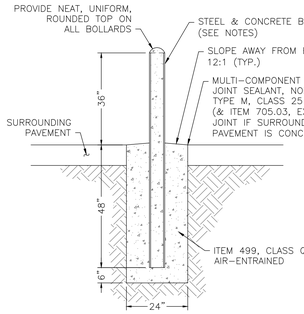
CONCRETE PAVEMENT (3)

NOT TO SCALE



CONDENSING UNIT PAD (4)

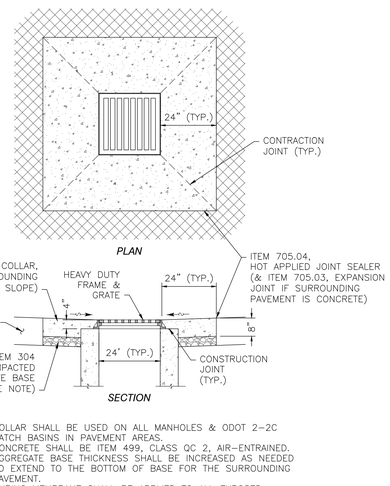
NOT TO SCALE



NOTES:
1. PIPE SHALL BE 6" DIA. SCH 40 STEEL FILLED W/ CONCRETE, ITEM 499, CLASS QC 2, AIR-ENTRAINED.
2. PROVIDE HDPE SLIP COVER OR PAINT W/ HIGH PERFORMANCE GLOSS OIL-BASED ENAMEL EXTERIOR PAINT. COLORS SHALL BE COORDINATED W/ OWNER.

CONCRETE BOLLARD (5)

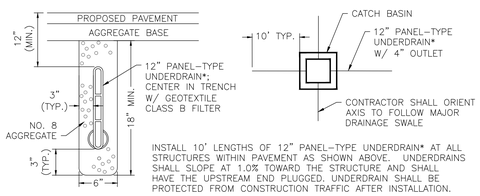
NOT TO SCALE



NOTES:
1. COLLAR SHALL BE USED ON ALL MANHOLES & ODOT 2-2C CATCH BASINS IN PAVEMENT AREAS.
2. CONCRETE SHALL BE ITEM 499, CLASS QC 2, AIR-ENTRAINED.
3. AGGREGATE BASE THICKNESS SHALL BE INCREASED AS NEEDED TO EXTEND TO THE BOTTOM OF BASE FOR THE SURROUNDING PAVEMENT.
4. CURING MEMBRANE SHALL BE APPLIED TO ALL EXPOSED FINISHED SURFACES PER ITEM 451.11.

CONCRETE STRUCTURE COLLAR (MANHOLES & ODOT 2-2C STRUCTURES) (6)

NOT TO SCALE



INSTALL 10' LENGTHS OF 12" PANEL-TYPE UNDERDRAIN* AT ALL STRUCTURES WITHIN PAVEMENT AS SHOWN ABOVE. UNDERDRAINS SHALL SLOPE AT 1.0% TOWARD THE STRUCTURE AND SHALL HAVE THE UPSTREAM END PLUGGED. UNDERDRAIN SHALL BE PROTECTED FROM CONSTRUCTION TRAFFIC AFTER INSTALLATION.

* 4" SINGLE WALL PERFORATED UNDERDRAIN MAY BE SUBSTITUTED. INVERT SHALL BE 24" (MIN.) BELOW TOP OF CASTING.

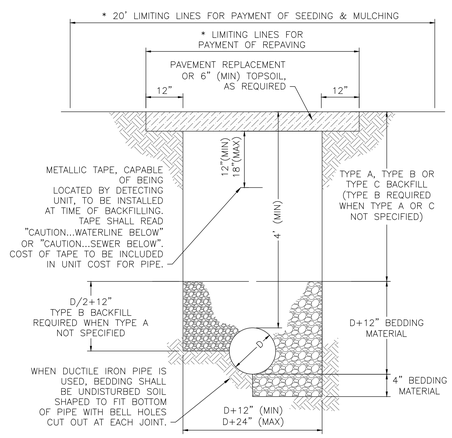
CATCH BASIN FINGER DRAIN (7)

NOT TO SCALE

CITY OF WORTHINGTON

DRAWING NO. ARB 0044-2023

DATE 05/29/2023

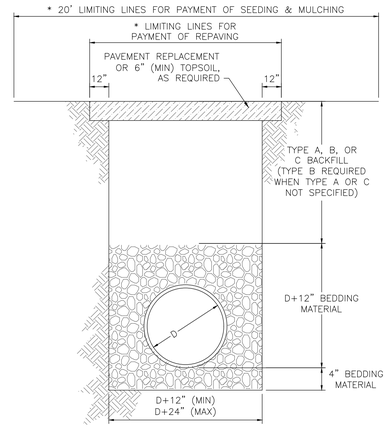


* LIMITING LINES FOR PAYMENT APPLY ONLY WHEN CONTRACT PROVIDES FOR UNIT PRICE PAYMENT OF PAVEMENT REPLACEMENT AND SEEDING & MULCHING.

NOTES:
1. ITEM NUMBERS REFER TO STATE OF OHIO, DEPARTMENT OF TRANSPORTATION, CONSTRUCTION AND MATERIAL SPECIFICATIONS.
2. AGGREGATE FOR BEDDING IS NO. 57, NO. 6, NO. 67, NO. 68, OR NO. 7, ITEM 703.
3. TYPE A BACKFILL SHALL BE COMPACTED GRANULAR MATERIAL AS SPECIFIED IN ITEM 304, GRADE A. TYPE A BACKFILL SHALL BE USED WHEN THE TRENCH IS 5' OR LESS FROM ANY PAVED OR GRAVEL SURFACE, OR BENEATH THE PAVEMENT OR GRAVEL. COMPACTION SHALL MEET THE REQUIREMENTS OF ITEM 203.
4. TYPE B BACKFILL SHALL BE NATURAL SOIL FREE FROM STONES LARGER THAN 2" ACROSS THEIR GREATEST DIMENSION, TOPSOIL, VEGETATION, DEBRIS, RUBBISH, OR FROZEN MATERIAL, COMPACTED TO 95% OF ITS MAXIMUM LABORATORY DRY WEIGHT.
5. TYPE C BACKFILL SHALL BE NATURAL SOIL FREE FROM STONES LARGER THAN 6" ACROSS THEIR GREATEST DIMENSION, TOPSOIL, VEGETATION, DEBRIS, RUBBISH, OR FROZEN MATERIAL, COMPACTED TO 90% OF ITS MAXIMUM LABORATORY DRY WEIGHT. WHEN APPROVED BY THE ENGINEER, STONES NO LARGER THAN ONE CUBIC FOOT MAY BE DEPOSITED AT LEAST 3' ABOVE THE TOP OF THE PIPE.
6. THE EXCAVATED TRENCH WIDTH 12" ABOVE THE CONDUIT MAY BE INCREASED WITHOUT EXTRA COMPENSATION.
7. RIGID PIPE SHALL BE DUCTILE IRON, THICKNESS CLASS 53, PRESSURE RATING 350. FLEXIBLE PIPE SHALL BE PVC C-900 DR14 FOR SIZES UP TO 12" AND PVC C-905 DR18 FOR LARGER SIZES.
8. WHEN CALLED FOR ON THE CONSTRUCTION DRAWINGS, ENCASEMENT SHALL BE CLASS C CONCRETE.
9. SECTIONS ARE SYMMETRICAL ABOUT THE CENTERLINE.
10. GRANULAR BEDDING AND BACKFILL SHALL NOT BE REQUIRED FOR DUCTILE IRON PIPE UNLESS WITHIN LIMITS REQUIRING GRANULAR BACKFILL FOR ROADS AND DRIVEWAYS.

TYP. TRENCH FOR WATER MAINS & SEWER FORCE MAINS (8)

NOT TO SCALE

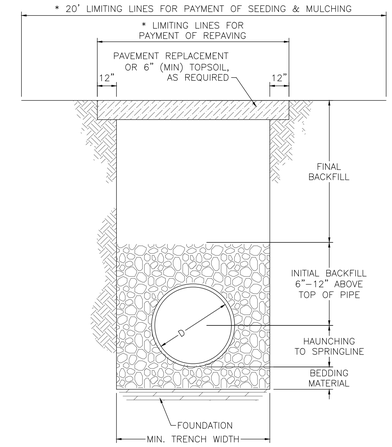


* LIMITING LINES FOR PAYMENT APPLY ONLY WHEN CONTRACT PROVIDES FOR UNIT PRICE PAYMENT OF PAVEMENT REPLACEMENT AND SEEDING & MULCHING.

NOTES:
1. ITEM NUMBERS REFER TO STATE OF OHIO, DEPARTMENT OF TRANSPORTATION, CONSTRUCTION AND MATERIAL SPECIFICATIONS.
2. AGGREGATE FOR BEDDING IS WASHED GRAVEL NO. 57, NO. 6, NO. 67, NO. 68, OR NO. 7, ITEM 703.
3. TYPE A BACKFILL SHALL BE COMPACTED GRANULAR MATERIAL AS SPECIFIED IN ITEM 304, GRADE A. TYPE A BACKFILL SHALL BE USED WHEN THE TRENCH IS 5' OR LESS FROM ANY PAVED OR GRAVEL SURFACE, OR BENEATH THE PAVEMENT OR GRAVEL. COMPACTION SHALL MEET THE REQUIREMENTS OF ITEM 203.
4. TYPE B BACKFILL SHALL BE NATURAL SOIL FREE FROM STONES LARGER THAN 2" ACROSS THEIR GREATEST DIMENSION, TOPSOIL, VEGETATION, DEBRIS, RUBBISH, OR FROZEN MATERIAL, COMPACTED TO 95% OF ITS MAXIMUM LABORATORY DRY WEIGHT.
5. TYPE C BACKFILL SHALL BE NATURAL SOIL FREE FROM STONES LARGER THAN 6" ACROSS THEIR GREATEST DIMENSION, TOPSOIL, VEGETATION, DEBRIS, RUBBISH, OR FROZEN MATERIAL, COMPACTED TO 90% OF ITS MAXIMUM LABORATORY DRY WEIGHT. WHEN APPROVED BY THE ENGINEER, STONES NO LARGER THAN ONE CUBIC FOOT MAY BE DEPOSITED AT LEAST 3' ABOVE THE TOP OF THE PIPE.
6. THE EXCAVATED TRENCH WIDTH 12" ABOVE THE CONDUIT MAY BE INCREASED WITHOUT EXTRA COMPENSATION.
7. COVER OVER PIPE SHALL BE AS SPECIFIED ON PLANS. UNLESS OTHERWISE SPECIFIED, ROOF DRAINS SHALL HAVE 30" MIN. COVER AND SANITARY SEWER SERVICES SHALL HAVE 48" MIN. COVER.

TYP. TRENCH FOR PVC STORM & SANITARY PIPE (9)

NOT TO SCALE



* LIMITING LINES FOR PAYMENT APPLY ONLY WHEN CONTRACT PROVIDES FOR UNIT PRICE PAYMENT OF PAVEMENT REPLACEMENT AND SEEDING & MULCHING.

NOTES:
1. FOUNDATION: WHERE TRENCH BOTTOM IS UNSTABLE, CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER & REPLACE WITH A FOUNDATION OF CLASS I OR II MATERIAL AS DEFINED IN ASTM D2321, "STANDARD PRACTICE FOR INSTALLATION OF THERMOPLASTIC PIPE FOR SEWER & OTHER GRAVITY-FLOW APPLICATIONS", LATEST EDITION. AS AN ALTERNATIVE & AT THE DISCRETION OF THE ENGINEER, TRENCH BOTTOM MAY BE STABILIZED USING WOVEN GEOTEXTILE FABRIC.
2. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III, & INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.

UNLESS OTHERWISE SPECIFIED BY THE ENGINEER, MIN. BEDDING THICKNESS SHALL BE 4" FOR 4"-24" & 42"-48" PIPE & 6" FOR 30"-36" PIPE.

3. HAUNCHING & INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III, & INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
4. UNLESS OTHERWISE SPECIFIED BY THE ENGINEER, MIN. RECOMMENDED TRENCH WIDTHS SHALL BE AS FOLLOWS:

NOMINAL ø	MIN. WIDTH
4"	21"
6"	23"
8"	25"
10"	28"
12"	31"
15"	34"
18"	39"
24"	48"
30"	66"
36"	78"
42"	83"
48"	89"
60"	102"

5. THE EXCAVATED TRENCH WIDTH TWELVE INCHES (12") ABOVE THE CONDUIT MAY BE INCREASED WITHOUT EXTRA COMPENSATION.

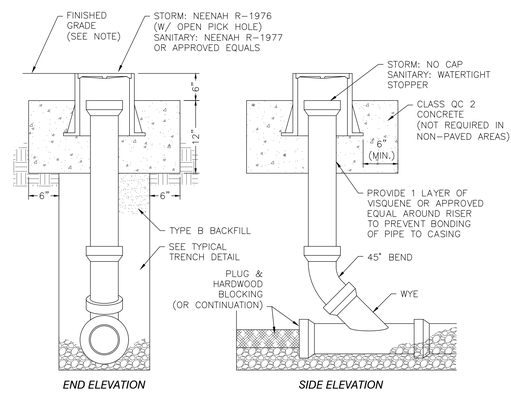
MINIMUM COVER: MIN. RECOMMENDED DEPTHS OF COVER FOR VARIOUS LIVE LOADING CONDITIONS ARE AS FOLLOWS. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE FROM TOP OF PIPE TO GROUND SURFACE.

SURFACE LIVE LOADING CONDITION	MIN. COVER
H25 (FLEXIBLE PAVEMENT)	12" **
H25 (RIGID PAVEMENT)	12"
E80 RAILWAY	24"
HEAVY CONSTRUCTION	48"

** TOP OF PIPE TO BOTTOM OF BITUMINOUS PAVEMENT SECTION.

TYP. TRENCH CORRUGATED PE PIPE (11)

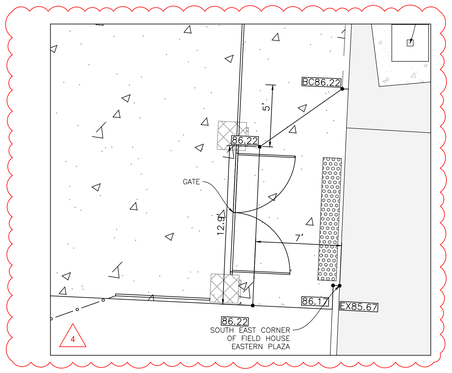
NOT TO SCALE



NOTE: CLEANOUT TOP OF CASTING SHALL BE SET FLUSH WITH FINISHED GRADE IN PAVEMENT AREAS OR 2" MIN. TO 4" MAX. ABOVE FINISHED GRADE IN NON-PAVED AREAS.

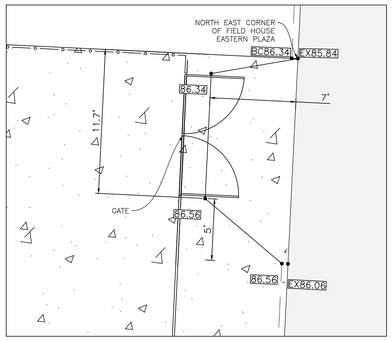
CLEANOUT (12)

NOT TO SCALE



SOUTHEAST CURB CUT (10)

1" = 5'



NORTHEAST CURB CUT (13)

1" = 5'

Know what's below. Call before you dig.

SANDS DECKER ENGINEERS & SURVEYORS

OFFICES

1495 Old Henderson Road
Columbus, Ohio 43220
614-459-6992

422 North Broad Street
Lancaster, Ohio 43130
740-385-2140

507 Main Street
Zanesville, Ohio 43701
740-450-1640

These drawings are instruments of professional service by Sands Decker CPS, LLC for the designated project. Sands Decker CPS, LLC assumes no liability for unauthorized use of these drawings, specifications & documents.

MISC. DETAILS

THOMAS WORTHINGTON HIGH SCHOOL FIELD HOUSE
300 WEST DUBLIN GRANVILLE ROAD
WORTHINGTON, OHIO 43085

PREPARED FOR:
WORTHINGTON CITY SCHOOLS
200 EAST WILSON BRIDGE ROAD
WORTHINGTON, OH 43085

schorr architects inc.

CDA COMMUNITY DESIGN ALLIANCE

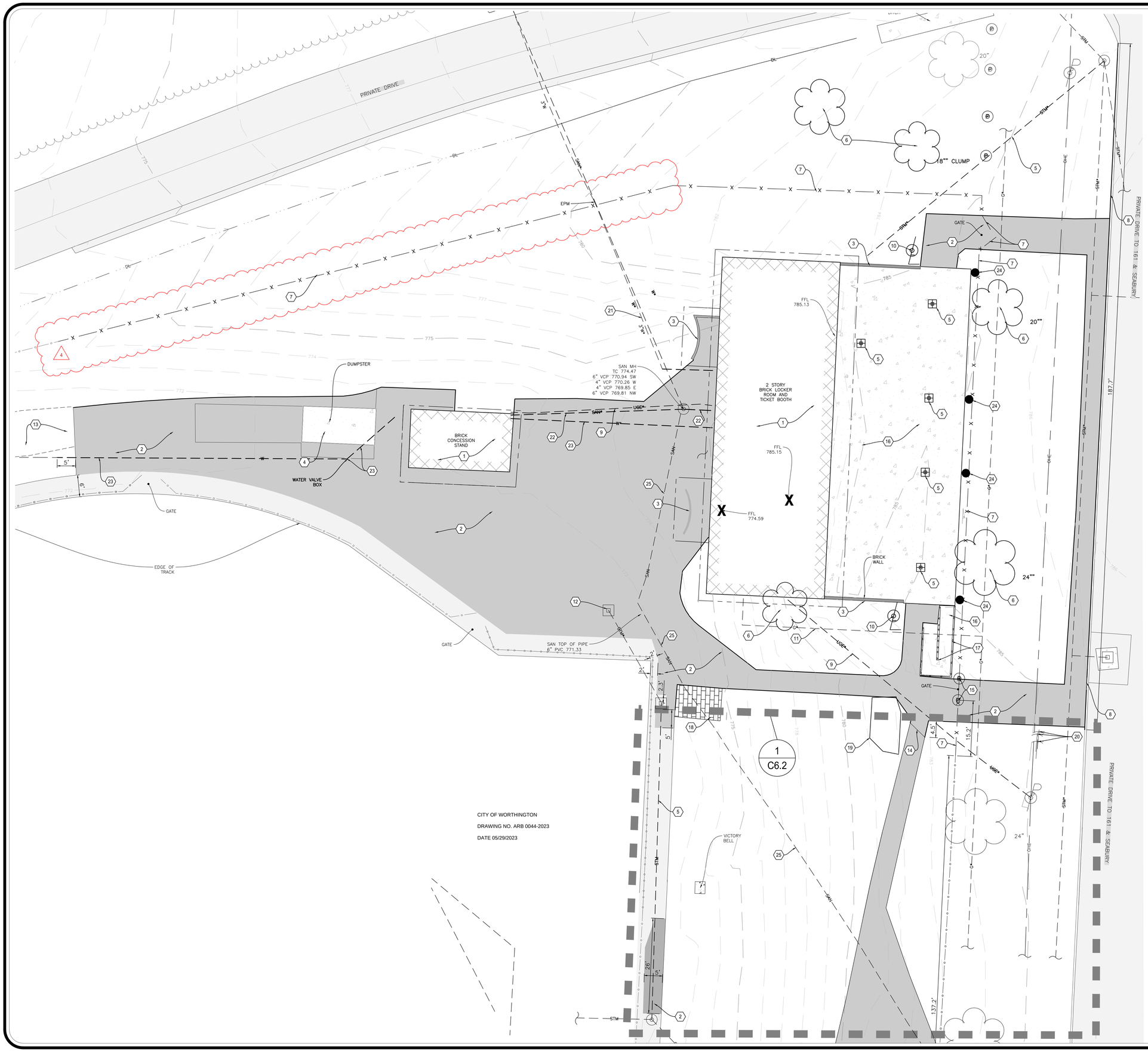
SD 05/27/2022	4 PR 008 05/03/23
DD 06/24/2022	
CD 09/02/2022	
CD #2 10/07/2022	
CONFORMED SET 11/23/22	
COMM. NO.: 2210	

STATE OF OHIO GLENN E. DECKER 57924 REGISTERED PROFESSIONAL ENGINEER

SIGNED 04/05/23 DATE

C1.2

S:\Schorr 4415 Worthington Schools Field House\Dwg\4415 Thomas Worthington Field House Master VE.dwg 5/5/2023 2:33 PM



DEMOLITION KEYNOTES

1. EX. BUILDING & APPURTENANCES TO BE REMOVED. COORDINATE DISCONNECTION OF EX. SERVICES WITH UTLITY PROVIDER. SEE SITE UTILITY PLAN AND MEP PLANS FOR NEW BUILDING SERVICES. SEE ARCHITECTURAL PLANS FOR BUILDING DEMOLITION.
2. EX ASPHALT PAVEMENT & BASE TO BE REMOVED.
3. EX. BRICK WALLS TO BE REMOVED.
4. DUMPSTER & PAD TO BE REMOVED.
5. EX. STORM TO BE REMOVED/ABANDONED. SEE SITE UTILITY PLAN.
6. TREE & STUMP TO BE REMOVED.
7. EX. FENCE & GATES TO BE REMOVED & REUSED. CONTRACTOR SHALL COORDINATE WITH OWNER.
8. EX. CURB TO BE REMOVED & REPLACED.
9. EX. ELECTRIC LINE TO BE REMOVED & RELOCATED. SEE MEP PLANS.
10. EX. LIGHT POLE TO BE REMOVED. SEE MEP PLANS.
11. EX. GAS LINE TO BE REMOVED & RELOCATED. SEE MEP PLANS.
12. EX. CATCH BASIN TO REMAIN & TO BE RAISED TO GRADE. SEE SITE UTILITY AND GRADING PLAN.
13. EX. GRAVEL DRIVEWAY TO REMAIN. ANY DRIVEWAY DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED/REPLACED TO NEAREST DETAILS PER DETAIL.
14. EX. GATOR PATH TO BE TRUNCATED.
15. CONCRETE BOLLARD TO BE REMOVED.
16. CONCRETE PAVEMENT/SIDEWALK TO BE REMOVED.
17. EX. SIDEWALK RAILING TO BE REMOVED.
18. EX. BRICK PAVEMENT TO BE REMOVED.
19. EX. LANDSCAPE TO BE REMOVED.
20. EX. ANCHOR GUY WIRES TO BE RELOCATED AS NECESSARY. CONTRACTOR SHALL COORDINATE WITH ELECTRIC UTILITY PROVIDER AND THE OWNER FOR THE RELOCATION.
21. EX. WATER LINE TO BE REMOVED. SEE SITE UTILITY PLAN & WSP2056A.
22. EX. SANITARY LINE TO THE CONCESSION STAND & TO THE EX. BUILDING TO BE REMOVED.
23. EX. WATER LINE & VALVE BOX TO BE REMOVED.
24. EX. CLEANOUT TO BE REMOVED.
25. EX. SANITARY LINE TO BE KEPT & PROTECTED. CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGE THAT CAN POTENTIALLY AFFECT THE EXISTING SANITARY LINE.
26. EX. BELL & ASSOCIATED STRUCTURE TO BE REMOVED AND REALLOCATED. COORDINATE WITH OWNER FOR RELOCATION. ALTERNATE
27. EX. PATH TO BE REMOVED TO THE BLEACHERS. SEE SITE DIMENSION PLAN FOR RELOCATED PATH. ANY PAVEMENT DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED/REPLACED PER PAVEMENT DETAIL. ALTERNATE
28. EX.TREE & STUMP TO BE REMOVED. COORDINATE WITH OWNER PRIOR TO REMOVAL. ALTERNATE
29. EX. FENCE TO BE REMOVED. ALTERNATE.

MISC. NOTES

- ALL ITEMS NOTED FOR DEMOLITION SHALL BE REMOVED AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE FEDERAL AND LOCAL REGULATIONS, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- CONTRACTOR SHALL COORDINATE THE DISCONNECTION, REMOVAL, RELOCATION, AND/OR ABANDONMENT OF EXISTING UTILITIES WITH THE APPROPRIATE UTILITY OWNER AS NECESSARY AND SHALL MEET ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND REQUIREMENTS. ANY ABANDONED OR INACTIVE UTILITIES ENCOUNTERED ON-SITE, WHETHER SHOWN ON THESE PLANS OR NOT, SHALL BE REMOVED TO THE PROPERTY LINE AND CAPPED.
- AT-GRADE STRUCTURES (MANHOLES, VALVE BOXES, ETC.) FOR ANY REMAINING ACTIVE UTILITIES THAT LIE WITHIN PROP. GRADING LIMITS SHALL BE ADJUSTED AS NEEDED TO MEET FINISH GRADE. COORDINATE WORK WITH APPROPRIATE UTILITY OWNERS.
- THE REMOVAL OF ANY ITEMS WHICH HAVE IN-GROUND FOUNDATIONS, BASES OR FOOTERS OF ANY KIND SHALL INCLUDE COMPLETE REMOVAL OF SAID FOUNDATIONS.
- VOIDS REMAINING AFTER DEMOLITION WHICH DO NOT FALL WITHIN AREAS OF PROP. PAVEMENT SHALL BE BROUGHT TO WITH 6" OF FINISHED GRADE THEN FINISHED WITH TOPSOIL, SEEDING & MULCHING PER SPECIFICATIONS.

LEGEND

EX. CONCRETE PAD/SIDEWALK REMOVED

EX. ASPHALT PAVEMENT REMOVED

EX. ASPHALT PAVEMENT REMAIN

NORTH

GRAPHIC SCALE

1" = 10'

Know what's below. Call before you dig.

SANDS DECKER ENGINEERS & SURVEYORS

OFFICES

1495 Old Henderson Road
Columbus, Ohio 43220
614-459-6992

422 North Broad Street
Lancaster, Ohio 43130
740-385-2140

507 Main Street
Zanesville, Ohio 43701
740-450-1640

These drawings are instruments of professional service by Sands Decker CPS, LLC for the designated project. Sands Decker CPS, LLC assumes no liability for unauthorized use of these drawings, specifications & documents.

SITE DEMOLITION PLAN

THOMAS WORTHINGTON HIGH SCHOOL FIELD HOUSE
300 WEST DUBLIN GRANVILLE ROAD
WORTHINGTON, OHIO 43085

PREPARED FOR:
WORTHINGTON CITY SCHOOLS
200 EAST WILSON BRIDGE ROAD
WORTHINGTON, OH 43085

schorr architects inc.

CDA COMMUNITY DESIGN ALLIANCE

SD 05/27/2022	4 PR 008 05/03/23
DD 06/24/2022	
CD 09/02/2022	
CD #2 10/07/2022	
CONFORMED SET 11/23/22	
COMM. NO.: 2210	

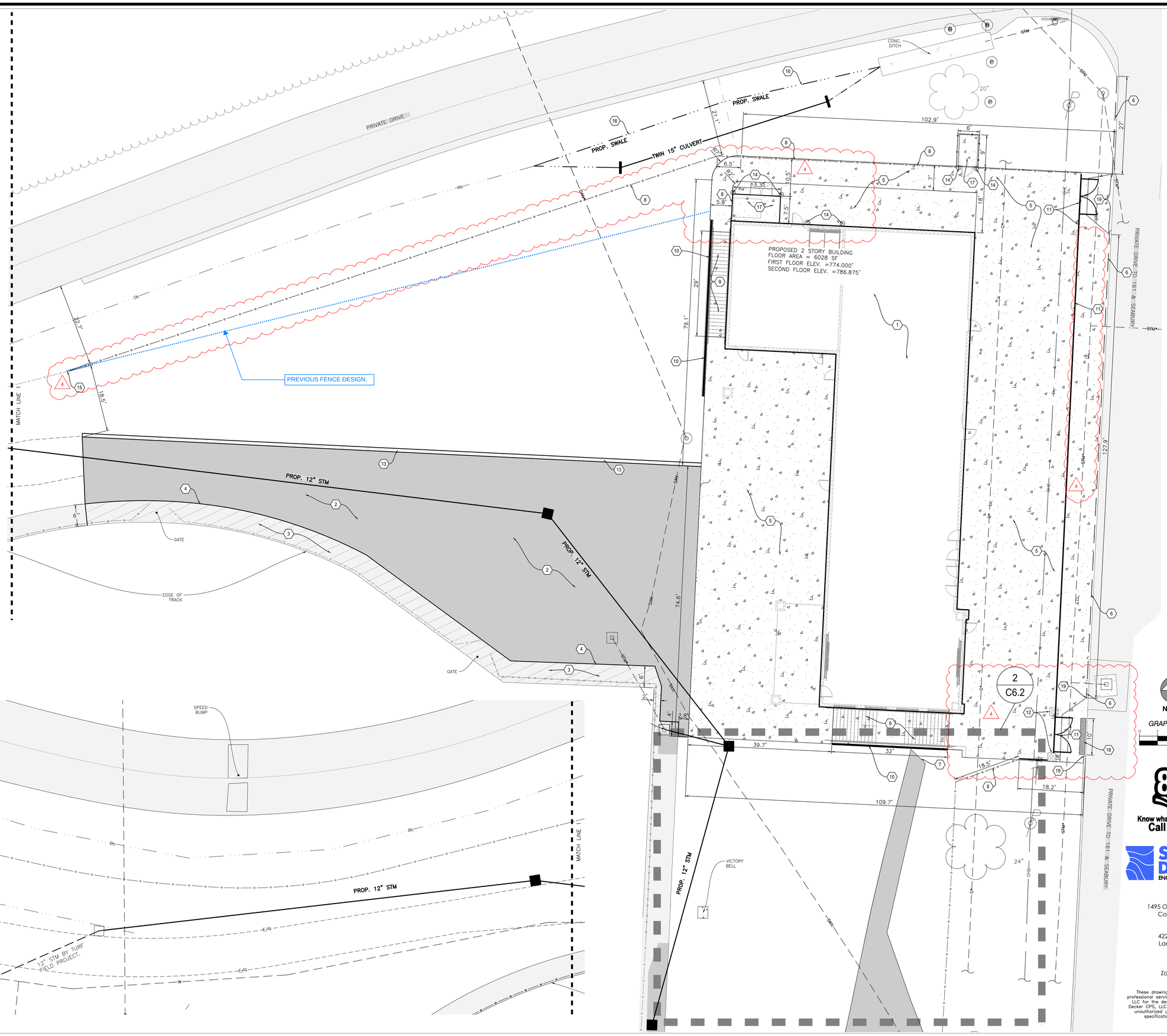
STATE OF OHIO
GLENN E. DECKER
57924
REGISTERED
PROFESSIONAL ENGINEER

SIGNED

04/05/23
DATE

C3.0

S:\Schorr 4415 Worthington Schools Field House\Dwg\4415 Thomas Worthington Field House Master VE.dwg 5/5/2023 3:33 PM



SITE KEYNOTES

1. PROPOSED FIELD HOUSE BUILDING. SEE ARCHITECTURAL PLANS FOR DETAILS.
2. STD. DUTY PAVEMENT. SEE DETAIL 1.
3. SEAL COAT EX PAVEMENT.
4. SAWCUT PAVEMENT TO PROVIDE STRAIGHT, CLEAN JOINT, REMOVING 6" OF EX. ASPHALT (MIN.) ADJACENT TO PROP. PAVEMENT. APPLY ITEM 407, TACK COAT, 702.13 SPR ASPHALT EMULSION, TO EXPOSED VERTICAL FACE PRIOR TO PLACEMENT OF NEW ASPHALT. SEAL JOINT WITH ITEM 705.04 HOT APPLIED JOINT SEALER.
5. CONCRETE PAVEMENT. SEE DETAIL 3.
6. STRAIGHT CONCRETE CURB. SEE DETAIL 2.
7. TRUNCATED EXISTING PATH.
8. PROP. CHAIN LINK FENCE. SEE ARCHITECTURAL PLANS FOR DETAIL. COORDINATE WITH THE OWNER IF REMOVED FENCE AND GATE TO BE REUSED.
9. STAIRS. SEE ARCHITECTURAL PLANS FOR DETAIL.
10. PROP. RETAINING WALL. SEE STRUCTURAL PLANS FOR DETAILS.
11. PROP. ALUMINUM PICKET FENCE AND GATES. SEE ARCHITECTURAL PLAN FOR DETAILS. CONTRACTOR SHALL COORDINATE WITH OWNER FOR LOCATION.
12. PROP. HI-R BLOCK POST AND METAL SIGNAGE.
13. PROP. GRAVEL BERM. ODOT ITEM 411.
14. PROP. BOLLARD. SEE DETAIL 6.
15. CONTRACTOR TO COORDINATE WITH THE OWNER FOR CHAIN LINK FENCE REPLACEMENT & TERMINUS FENCE REPLACEMENT LOCATION. SEE ARCHITECTURAL PLANS FOR DETAIL.
16. PROP. SWALE. SEE SITE GRADING PLAN.
17. CONDENSING UNIT CONCRETE PAD. SEE DETAIL 4.
18. DETECTIBLE WARNING, TYP. AT FLUSH/AT-GRADE.
19. CURB CUT. SEE DETAIL 11 & 13.
20. REROUTED EXISTING GATOR PATH. SEE STD. DUTY PAVEMENT DETAIL 1. ALTERNATE.
21. ADA SIDEWALK TO BLEACHERS TO MEET ADA REQUIREMENTS. SEE STD. DUTY PAVEMENT DETAIL. ALTERNATE.
22. PROP. ALUMINUM PICKET FENCE TO THE NORTH OF EX. TICKET BOOTH. SEE ARCHITECTURAL PLANS FOR DETAIL. COORDINATE WITH THE OWNER IF REMOVED FENCE AND GATE TO BE REUSED. ALTERNATE
23. STRAIGHT CONCRETE CURB. SEE DETAIL 2. ALTERNATE

MISC. NOTES

- ALL ITEM NUMBERS REFER TO THE STATE OF OHIO DEPT. OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS, LATEST EDITION, UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE MEASURED TO FACE OF CURB WHERE APPLICABLE UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE GROUND & REPORT ANY LAYOUT DISCREPANCIES IMMEDIATELY TO THE A/E.
- REFER TO THE ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL BUILDING CORNER LOCATIONS IN THE FIELD.
- DO NOT SCALE FROM THIS DRAWING. ALL WRITTEN DIMENSIONS SHALL GOVERN. ANY DISCREPANCIES SHALL IMMEDIATELY BE REPORTED TO THE A/E.
- CONTRACTOR SHALL PROVIDE EXPANSION JOINTS EVERY 20' L.F. OF CONCRETE SIDEWALK.

LEGEND

- STD. DUTY PAVEMENT
- ASPHALT SEAL COATING
- CONCRETE PAD/SIDEWALK
- GRAVEL
- EX. ASPHALT PAVEMENT

CITY OF WORTHINGTON

DRAWING NO. ARB 0044-2023

DATE 05/29/2023

NORTH

GRAPHIC SCALE

1" = 10'

Know what's below. Call before you dig.

SANDS DECKER ENGINEERS & SURVEYORS

OFFICES

1495 Old Henderson Road
Columbus, Ohio 43220
614-459-6992

422 North Broad Street
Lancaster, Ohio 43130
740-385-2140

507 Main Street
Zanesville, Ohio 43701
740-450-1640

These drawings are instruments of professional service by Sands Decker CPS, LLC for the designated project. Sands Decker CPS, LLC assumes no liability for unauthorized use of these drawings, specifications & documents.

SITE DIMENSION PLAN

THOMAS WORTHINGTON HIGH SCHOOL FIELD HOUSE

300 WEST DUBLIN GRANVILLE ROAD
WORTHINGTON, OHIO 43085

PREPARED FOR:
WORTHINGTON CITY SCHOOLS
200 EAST WILSON BRIDGE ROAD
WORTHINGTON, OH 43085

schorr architects inc.

CDA COMMUNITY DESIGN ALLIANCE

SD 05/27/2022	4 PR 008 05/03/23
DD 06/24/2022	
CD 09/02/2022	
CD #2 10/07/2022	
CONFORMED SET 11/23/22	
COMM. NO.: 2210	

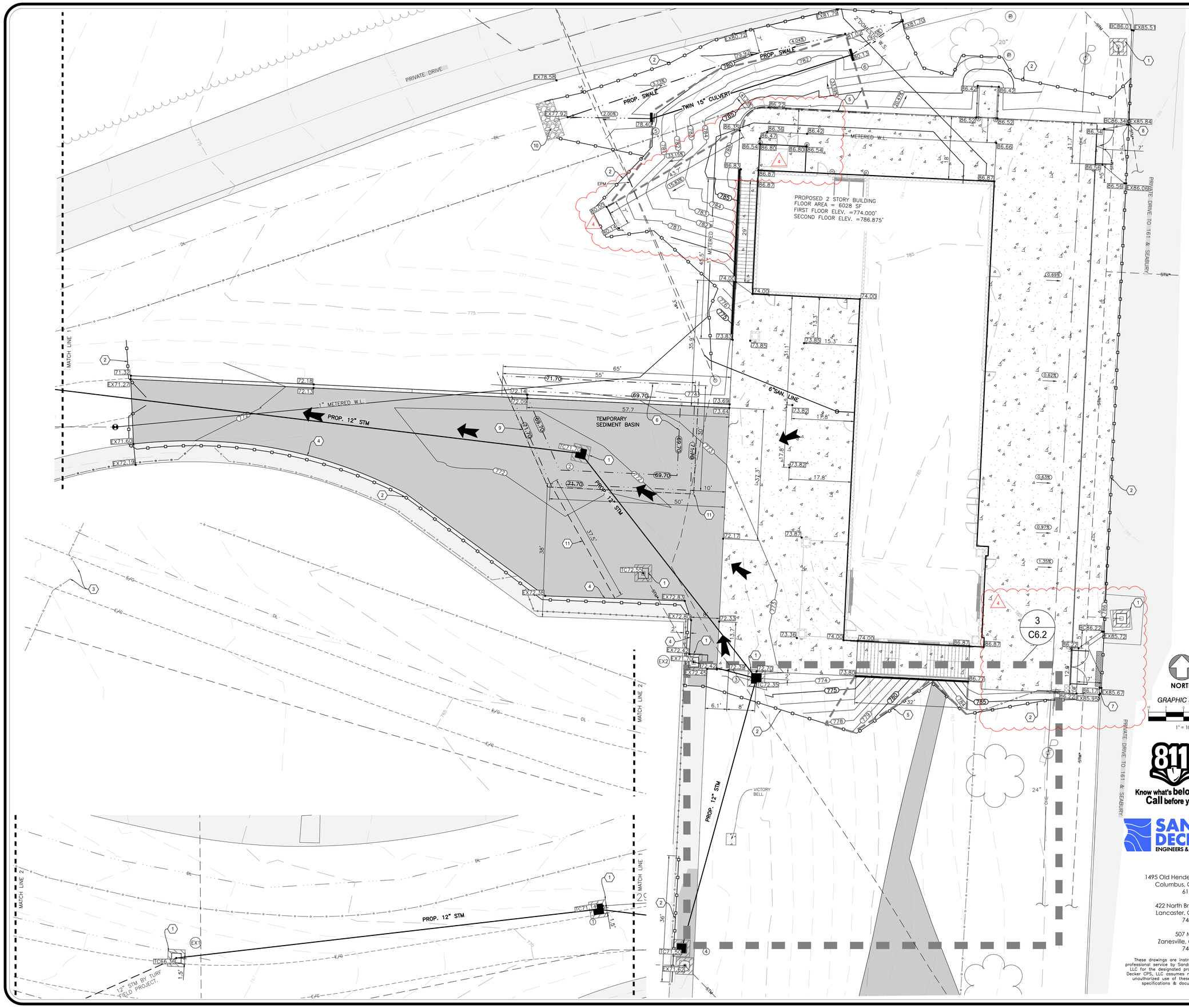
STATE OF OHIO
GLENN E. DECKER
57924
REGISTERED
PROFESSIONAL ENGINEER

SIGNED

04/05/23
DATE

C4.0

S:\Schorr 4415 Worthington Schools Field House\Dwg\4415 Thomas Worthington Field House Master IC.dwg 5/5/2023 3:33 PM



GRADING KEYNOTES

1. INLET PROTECTION, TYP. SEE DETAIL.
2. SEDIMENT CONTROL FENCE OR STRAW WATTLE. SEE DETAILS.
3. CONSTRUCTION ENTRANCE. SEE DETAIL
4. MEET EXISTING PAVEMENT GRADE.
5. INSTALL ODOT ITEM 671, EROSION CONTROL MATTING, TYPE C INSTALLED AND SECURED ACCORDING TO ODOT STD. DWG. DM-4.2 OR MANUFACTURER'S RECOMMENDATIONS.
6. TEMPORARY SEDIMENT BASIN. SEE EXCAVATED DROP INLET SEDIMENT PROTECTION DETAIL.
7. REMOVE AND REPLACE EX. CURB TO NEAREST JOINT SOUTH OF CURB CUT. TAPER CURB FROM FULL HEIGHT TO FLUSH WITH PAVEMENT AT APRON IN 12". SEE DETAIL.
8. TAPER CURB FROM FULL HEIGHT TO FLUSH IN 12". SEE DETAIL.
9. ORANGE SAFETY FENCE.
10. TEMPORARY COMPOST CHECK DAM PER RAINWATER AND LAND DEVELOPMENT MANUAL.
11. TEMPORARY DIVERSION BERM 1' H X 2' D X 37.5' L.

MISC. NOTES

- ALL GRADES SHOWN ARE PAVEMENT ELEVATIONS AT FACE OF CURB, WHERE APPLICABLE UNLESS OTHERWISE NOTED. EX = EXISTING, TC = TOP OF CURB/TOP OF CASTING.
- GRADE BOXES HAVE BEEN TRUNCATED FOR LEGIBILITY. ADD 700 TO ALL SPOT ELEVATIONS.
- ALL DISTURBED AREAS LEFT UNPAVED SHALL BE SEEDED & MULCHED.
- ALL EXISTING AND PROPOSED STORM SEWER INLETS SHALL BE FITTED WITH EROSION CONTROL DEVICES DURING CONSTRUCTION.
- ANY EXISTING MANHOLES, WATER VALVES, OR OTHER UTILITY STRUCTURES SHALL BE ADJUSTED TO GRADE ACCORDING TO THE UTILITY OWNER'S REQUIREMENTS.
- CONTRACTOR SHALL CONSTRUCT AND MAINTAIN A TEMPORARY CONSTRUCTION ENTRANCE TO MITIGATE TRACKING OF DIRT AND DEBRIS ONTO PUBLIC STREETS.
- CONTRACTOR SHALL UTILIZE APPROVED CONCRETE WASHOUT AREAS. LOCATIONS TO BE DETERMINED IN THE FIELD.
- ALL SLOPE 3:1 AND STEEPER SHALL REQUIRE ODOT ITEM 671, TEMPORARY EROSION CONTROL MATTING, TYPE C. INSTALLED AND SECURED ACCORDING TO ODOT STD. DWG. DM-4.2 OR MANUFACTURER'S RECOMMENDATIONS.

LEGEND

MAJOR FLOOD ROUTING

EROSION CONTROL MATTING

INLET PROTECTION

CITY OF WORTHINGTON

DRAWING NO. ARB 0044-2023

DATE 05/29/2023

SITE GRADING & STORM WATER POLLUTION PREVENTION PLAN

THOMAS WORTHINGTON HIGH SCHOOL FIELD HOUSE

300 WEST DUBLIN GRANVILLE ROAD
WORTHINGTON, OHIO 43085

PREPARED FOR:
WORTHINGTON CITY SCHOOLS
200 EAST WILSON BRIDGE ROAD
WORTHINGTON, OH 43085

NORTH

GRAPHIC SCALE

1" = 10'

811 Know what's below. Call before you dig.

SANDS DECKER ENGINEERS & SURVEYORS

OFFICES

1495 Old Henderson Road
Columbus, Ohio 43220
614-459-6992

422 North Broad Street
Lancaster, Ohio 43130
740-385-2140

507 Main Street
Zanesville, Ohio 43701
740-450-1640

These drawings are instruments of professional service by Sands Decker CPS, LLC for the designated project. Sands Decker CPS, LLC assumes no liability for unauthorized use of these drawings, specifications & documents.

schorr architects inc.

CDA COMMUNITY DESIGN ALLIANCE

SD 05/27/2022	4 PR 008 05/03/23
DD 06/24/2022	
CD 09/02/2022	
CD #2 10/07/2022	
CONFORMED SET 11/23/22	
COMM. NO.: 2210	

STATE OF OHIO
GLENN E. DECKER
57924
REGISTERED
PROFESSIONAL ENGINEER

SIGNED

04/05/23
DATE

C6.0

S:\Schorr 4415 Worthington Schools Field House\Dwg\4415 Thomas Worthington Field House Master XE.dwg 5/5/2023 2:33 PM

ADA SIDEWALK &
GATOR PATH ALTERNATE
SITE DEMOLITION PLAN (1)
SCALE 1"=20'

DEMOLITION KEYNOTES

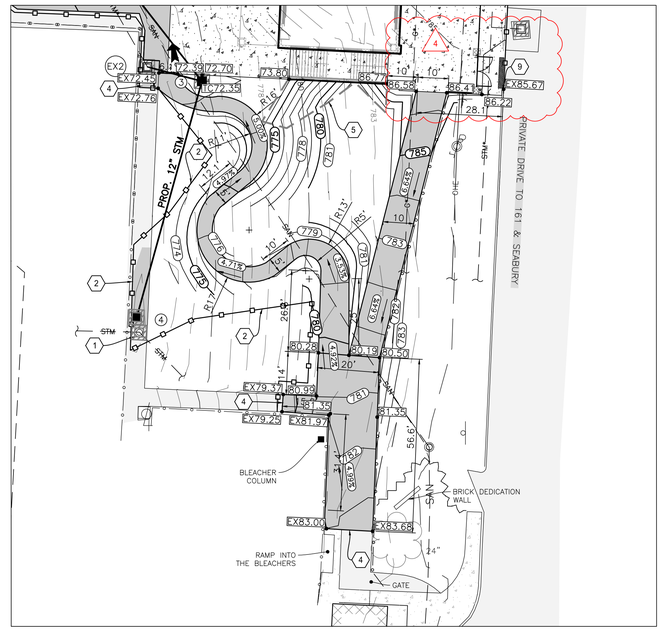
1. EX. BUILDING & APPURTENANCES TO BE REMOVED. COORDINATE DISCONNECTION OF EX. SERVICES WITH UTLITY PROVIDER. SEE SITE UTILITY PLAN AND MEP PLANS FOR NEW BUILDING SERVICES. SEE ARCHITECTURAL PLANS FOR BUILDING DEMOLITION.
2. EX ASPHALT PAVEMENT & BASE TO BE REMOVED.
3. EX. BRICK WALLS TO BE REMOVED.
4. DUMPSTER & PAD TO BE REMOVED.
5. EX. STORM TO BE REMOVED/ABANDONED. SEE SITE UTILITY PLAN.
6. TREE & STUMP TO BE REMOVED.
7. EX. FENCE & GATES TO BE REMOVED & REUSED. CONTRACTOR SHALL COORDINATE WITH OWNER.
8. EX. CURB TO BE REMOVED & REPLACED.
9. EX. ELECTRIC LINE TO BE REMOVED & RELOCATED. SEE MEP PLANS.
10. EX. LIGHT POLE TO BE REMOVED. SEE MEP PLANS.
11. EX. GAS LINE TO BE REMOVED & RELOCATED. SEE MEP PLANS.
12. EX. CATCH BASIN TO REMAIN & TO BE RAISED TO GRADE. SEE SITE UTILITY AND GRADING PLAN.
13. EX. GRAVEL DRIVEWAY TO REMAIN. ANY DRIVEWAY DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED/REPLACED TO NEAREST DETAILS PER DETAIL.
14. EX. GATOR PATH TO BE TRUNCATED.
15. CONCRETE BOLLARD TO BE REMOVED.
16. CONCRETE PAVEMENT/SIDEWALK TO BE REMOVED.
17. EX. SIDEWALK RAILING TO BE REMOVED.
18. EX. BRICK PAVEMENT TO BE REMOVED.
19. EX. LANDSCAPE TO BE REMOVED.
20. EX. ANCHOR GUY WIRES TO BE RELOCATED AS NECESSARY. CONTRACTOR SHALL COORDINATE WITH ELECTRIC UTILITY PROVIDER AND THE OWNER FOR THE RELOCATION.
21. EX. WATER LINE TO BE REMOVED. SEE SITE UTILITY PLAN & WSP2056A.
22. EX. SANITARY LINE TO THE CONCESSION STAND & TO THE EX. BUILDING TO BE REMOVED.
23. EX. WATER LINE & VALVE BOX TO BE REMOVED.
24. EX. CLEANOUT TO BE REMOVED.
25. EX. SANITARY LINE TO BE KEPT & PROTECTED. CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGE THAT CAN POTENTIALLY AFFECT THE EXISTING SANITARY LINE.
26. EX. BELL & ASSOCIATED STRUCTURE TO BE REMOVED AND REALLOCATED. COORDINATE WITH OWNER FOR RELOCATION. ALTERNATE
27. EX. PATH TO BE REMOVED TO THE BLEACHERS. SEE SITE DIMENSION PLAN FOR RELOCATED PATH. ANY PAVEMENT DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED/REPLACED PER PAVEMENT DETAIL. ALTERNATE
28. EX.TREE & STUMP TO BE REMOVED. COORDINATE WITH OWNER PRIOR TO REMOVAL. ALTERNATE
29. EX. FENCE TO BE REMOVED. ALTERNATE.

MISC. NOTES

- ALL ITEMS NOTED FOR DEMOLITION SHALL BE REMOVED AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE FEDERAL AND LOCAL REGULATIONS, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- CONTRACTOR SHALL COORDINATE THE DISCONNECTION, REMOVAL, RELOCATION, AND/OR ABANDONMENT OF EXISTING UTILITIES WITH THE APPROPRIATE UTILITY OWNER AS NECESSARY AND SHALL MEET ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND REQUIREMENTS. ANY ABANDONED OR INACTIVE UTILITIES ENCOUNTERED ON-SITE, WHETHER SHOWN ON THESE PLANS OR NOT, SHALL BE REMOVED TO THE PROPERTY LINE AND CAPPED.
- AT-GRADE STRUCTURES (MANHOLES, VALVE BOXES, ETC.) FOR ANY REMAINING ACTIVE UTILITIES THAT LIE WITHIN PROP. GRADING LIMITS SHALL BE ADJUSTED AS NEEDED TO MEET FINISH GRADE. COORDINATE WORK WITH APPROPRIATE UTILITY OWNERS.
- THE REMOVAL OF ANY ITEMS WHICH HAVE IN-GROUND FOUNDATIONS, BASES OR FOOTERS OF ANY KIND SHALL INCLUDE COMPLETE REMOVAL OF SAID FOUNDATIONS.
- VOIDS REMAINING AFTER DEMOLITION WHICH DO NOT FALL WITHIN AREAS OF PROP. PAVEMENT SHALL BE BROUGHT TO WITH 6" OF FINISHED GRADE THEN FINISHED WITH TOPSOIL, SEEDING & MULCHING PER SPECIFICATIONS.

LEGEND

- EX. CONCRETE PAD/SIDEWALK REMOVED
- EX. ASPHALT PAVEMENT REMOVED
- EX. ASPHALT PAVEMENT REMAIN



ADA SIDEWALK &
GATOR PATH ALTERNATE
SITE GRADING PLAN (3)
SCALE 1"=20'

GRADING KEYNOTES

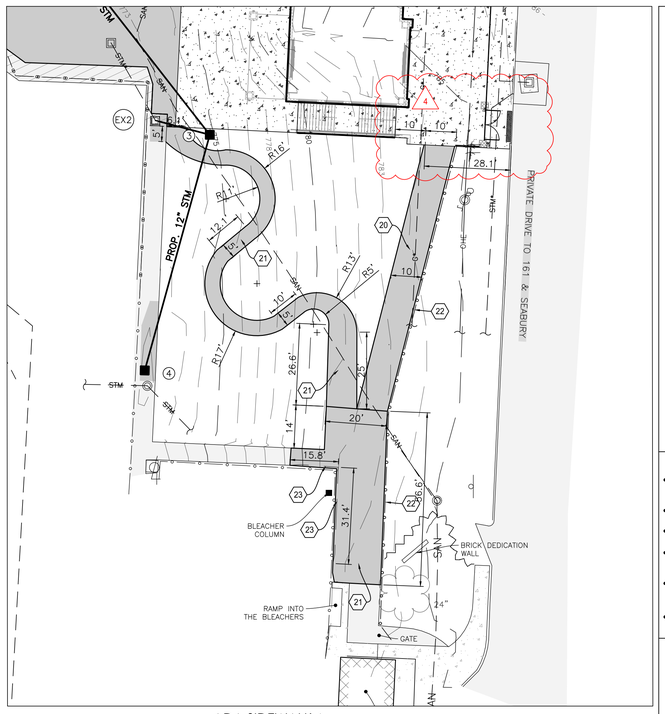
1. INLET PROTECTION, TYP. SEE DETAIL.
2. SEDIMENT CONTROL FENCE OR STRAW WATTLE. SEE DETAILS.
3. CONSTRUCTION ENTRANCE. SEE DETAIL
4. MEET EXISTING PAVEMENT GRADE.
5. INSTALL ODOT ITEM 671, EROSION CONTROL MATTING, TYPE C INSTALLED AND SECURED ACCORDING TO ODOT STD. DWG. DM-4.2 OR MANUFACTURER'S RECOMMENDATIONS.
6. TEMPORARY SEDIMENT BASIN. SEE EXCAVATED DROP INLET SEDIMENT PROTECTION DETAIL.
7. REMOVE AND REPLACE EX. CURB TO NEAREST JOINT SOUTH OF CURB CUT. TAPER CURB FROM FULL HEIGHT TO FLUSH WITH PAVEMENT AT APRON IN 12". SEE DETAIL.
8. TAPER CURB FROM FULL HEIGHT TO FLUSH IN 12". SEE DETAIL.
9. ORANGE SAFETY FENCE.
10. TEMPORARY COMPOST CHECK DAM PER RAINWATER AND LAND DEVELOPMENT MANUAL.
11. TEMPORARY DIVERSION BERM 1' H X 2' D X 37.5' L.

MISC. NOTES

- ALL GRADES SHOWN ARE PAVEMENT ELEVATIONS AT FACE OF CURB, WHERE APPLICABLE UNLESS OTHERWISE NOTED. EX = EXISTING, TC = TOP OF CURB/TOP OF CASTING.
- GRADE BOXES HAVE BEEN TRUNCATED FOR LEGIBILITY. ADD 700 TO ALL SPOT ELEVATIONS.
- ALL DISTURBED AREAS LEFT UNPAVED SHALL BE SEEDED & MULCHED.
- ALL EXISTING AND PROPOSED STORM SEWER INLETS SHALL BE FITTED WITH EROSION CONTROL DEVICES DURING CONSTRUCTION.
- ANY EXISTING MANHOLES, WATER VALVES, OR OTHER UTILITY STRUCTURES SHALL BE ADJUSTED TO GRADE ACCORDING TO THE UTILITY OWNER'S REQUIREMENTS.
- CONTRACTOR SHALL CONSTRUCT AND MAINTAIN A TEMPORARY CONSTRUCTION ENTRANCE TO MITIGATE TRACKING OF DIRT AND DEBRIS ONTO PUBLIC STREETS.
- CONTRACTOR SHALL UTILIZE APPROVED CONCRETE WASHOUT AREAS. LOCATIONS TO BE DETERMINED IN THE FIELD.
- ALL SLOPE 3:1 AND STEEPER SHALL REQUIRE ODOT ITEM 671, TEMPORARY EROSION CONTROL MATTING, TYPE C. INSTALLED AND SECURED ACCORDING TO ODOT STD. DWG. DM-4.2 OR MANUFACTURER'S RECOMMENDATIONS.

LEGEND

- MAJOR FLOOD ROUTING
- EROSION CONTROL MATTING
- INLET PROTECTION



ADA SIDEWALK &
GATOR PATH ALTERNATE
SITE DIMENSION PLAN (2)
SCALE 1"=20'

SITE KEYNOTES

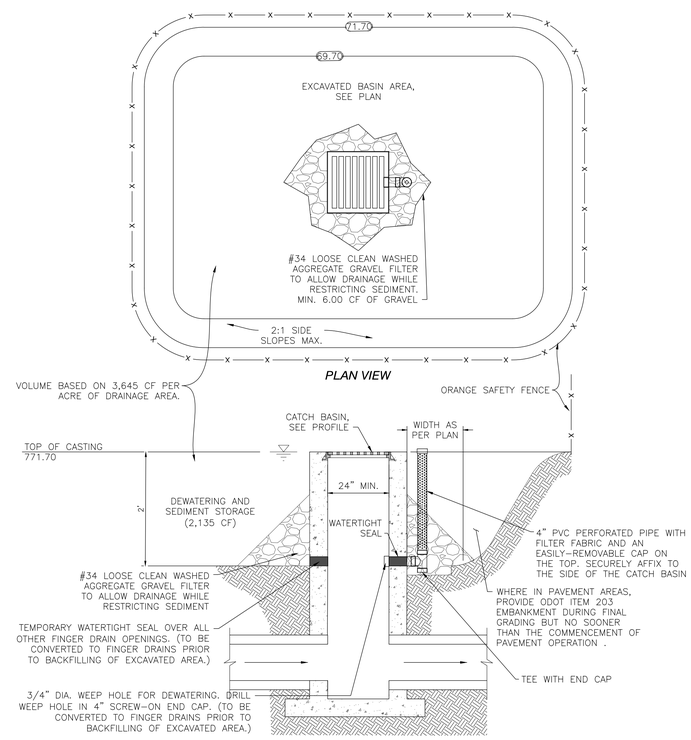
1. PROPOSED FIELD HOUSE BUILDING. SEE ARCHITECTURAL PLANS FOR DETAILS.
2. STD. DUTY PAVEMENT. SEE DETAIL 1.
3. SEAL COAT EX PAVEMENT.
4. SAWCUT PAVEMENT TO PROVIDE STRAIGHT, CLEAN JOINT, REMOVING 6" OF EX. ASPHALT (MIN.) ADJACENT TO PROP. PAVEMENT. APPLY ITEM 407, TACK COAT, 702.13 SPR ASPHALT EMULSION, TO EXPOSED VERTICAL FACE PRIOR TO PLACEMENT OF NEW ASPHALT. SEAL JOINT WITH ITEM 705.04 HOT APPLIED JOINT SEALER.
5. CONCRETE PAVEMENT. SEE DETAIL 3.
6. STRAIGHT CONCRETE CURB. SEE DETAIL 2.
7. TRUNCATED EXISTING PATH.
8. PROP. CHAIN LINK FENCE. SEE ARCHITECTURAL PLANS FOR DETAIL. COORDINATE WITH THE OWNER IF REMOVED FENCE AND GATE TO BE REUSED.
9. STAIRS. SEE ARCHITECTURAL PLANS FOR DETAIL.
10. PROP. RETAINING WALL. SEE STRUCTURAL PLANS FOR DETAILS.
11. PROP. ALUMINUM PICKET FENCE AND GATES. SEE ARCHITECTURAL PLAN FOR DETAILS. CONTRACTOR SHALL COORDINATE WITH OWNER FOR LOCATION.
12. PROP. HI-R BLOCK POST AND METAL SIGNAGE.
13. PROP. GRAVEL BERM. ODOT ITEM 411.
14. PROP. BOLLARD. SEE DETAIL 6.
15. CONTRACTOR TO COORDINATE WITH THE OWNER FOR CHAIN LINK FENCE REPLACEMENT & TERMINUS FENCE REPLACEMENT LOCATION. SEE ARCHITECTURAL PLANS FOR DETAIL.
16. PROP. SWALE. SEE SITE GRADING PLAN.
17. CONDENSING UNIT CONCRETE PAD. SEE DETAIL 4.
18. DETECTIBLE WARNING, TYP. AT FLUSH/AT-GRADE.
19. CURB CUT. SEE DETAIL 11 & 13.
20. REROUTED EXISTING GATOR PATH. SEE STD. DUTY PAVEMENT DETAIL 1. ALTERNATE.
21. ADA SIDEWALK TO BLEACHERS TO MEET ADA REQUIREMENTS. SEE STD. DUTY PAVEMENT DETAIL. ALTERNATE.
22. PROP. ALUMINUM PICKET FENCE TO THE NORTH OF EX. TICKET BOOTH. SEE ARCHITECTURAL PLANS FOR DETAIL. COORDINATE WITH THE OWNER IF REMOVED FENCE AND GATE TO BE REUSED. ALTERNATE
23. STRAIGHT CONCRETE CURB. SEE DETAIL 2. ALTERNATE

MISC. NOTES

- ALL ITEM NUMBERS REFER TO THE STATE OF OHIO DEPT. OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS, LATEST EDITION, UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE MEASURED TO FACE OF CURB WHERE APPLICABLE UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE GROUND & REPORT ANY LAYOUT DISCREPANCIES IMMEDIATELY TO THE A/E.
- REFER TO THE ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL BUILDING CORNER LOCATIONS IN THE FIELD.
- DO NOT SCALE FROM THIS DRAWING. ALL WRITTEN DIMENSIONS SHALL GOVERN. ANY DISCREPANCIES SHALL IMMEDIATELY BE REPORTED TO THE A/E.
- CONTRACTOR SHALL PROVIDE EXPANSION JOINTS EVERY 20' L.F. OF CONCRETE SIDEWALK.

LEGEND

- STD. DUTY PAVEMENT
- ASPHALT SEAL COATING
- CONCRETE PAD/SIDEWALK
- GRAVEL
- EX. ASPHALT PAVEMENT



NOTES:

1. THE EXCAVATED TRAP SHOULD BE SIZED TO PROVIDE A MINIMUM STORAGE CAPACITY CALCULATED AT THE RATE OF 135 CUBIC YARDS FOR ONE (1) ACRE OF DRAINAGE AREA. A TRAP SHOULD BE NO LESS THAN ONE (1) FOOT, NOR MORE THAN TWO (2) FEET DEEP MEASURED FROM THE TOP OF THE INLET STRUCTURE. SIDE SLOPES SHOULD NOT BE STEEPER THAN 2:1.
2. THE SLOPES OF THE TRAP MAY VARY TO FIT THE DRAINAGE AREA AND TERRAIN.
3. WHERE THE AREA RECEIVES CONCENTRATED FLOWS, SUCH AS IN A DITCH OR HIGHWAY MEDIAN, PROVIDE THE TRAP WITH A SHAPE HAVING A 2:1 RATIO OF LENGTH TO WIDTH, WITH THE LENGTH ORIENTED IN THE DIRECTION OF THE FLOW.
4. SEDIMENT SHOULD BE REMOVED AND THE TRAP RESTORED TO THE ORIGINAL DEPTH WHEN THE SEDIMENT HAS ACCUMULATED TO 40% THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHOULD BE SPREAD IN A SUITABLE AREA AND STABILIZED SO IT WILL NOT ERODE.
5. DURING FINAL GRADING, THE INLET SHALL BE PROTECTED WITH GEOTEXTILE INLET PROTECTION. ONCE FINAL GRADING IS ACHIEVED, SOD OR ODOT ITEM 671, TEMPORARY EROSION CONTROL MATTING, TYPE C (SEE ODOT STD. DWG. DM-4.2) SHALL BE IMPLEMENTED TO PROTECT THE AREA UNTIL PERMANENT VEGETATION IS ESTABLISHED.

EXCAVATED DROP INLET
SEDIMENT PROTECTION (4)
NOT TO SCALE

CITY OF WORTHINGTON

DRAWING NO. ARB 0044-2023

DATE 05/29/2023

STORM & ALTERNATE DETAILS

THOMAS WORTHINGTON HIGH SCHOOL FIELD HOUSE
300 WEST DUBLIN GRANVILLE ROAD
WORTHINGTON, OHIO 43085

PREPARED FOR:
WORTHINGTON CITY SCHOOLS
200 EAST WILSON BRIDGE ROAD
WORTHINGTON, OH 43085

Know what's below. Call before you dig.

SANDS DECKER ENGINEERS & SURVEYORS

OFFICES

1495 Old Henderson Road
Columbus, Ohio 43220
614-459-6992

422 North Broad Street
Lancaster, Ohio 43130
740-385-2140

507 Main Street
Zanesville, Ohio 43701
740-450-1640

These drawings are instruments of professional service by Sands Decker CPS, LLC for the designated project. Sands Decker CPS, LLC assumes no liability for unauthorized use of these drawings, specifications & documents.

schorr architects inc.

CDA COMMUNITY DESIGN ALLIANCE

SD 05/27/2022	4 PR 008 05/03/23
DD 06/24/2022	
CD 09/02/2022	
CD #2 10/07/2022	
CONFORMED SET 11/23/22	
COMM. NO.: 2210	

STATE OF OHIO
GLENN E. DECKER
57924
REGISTERED
PROFESSIONAL ENGINEER

SIGNED 04/05/23 DATE

C6.2

S:\Schorr 4415 Worthington Schools Field House\Dwg\4415 Thomas Worthington Field House Master VE.dwg 5/5/2023 2:33 PM

CITY OF WORTHINGTON

DRAWING NO. ARB 0044-2023

DATE 05/29/2023

Thomas Worthington High School
Fieldhouse - Ongoing Improvements

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

NEW SIGNAGE EAST ELEVATION

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 05/26/2023

schorr architects inc.

CDA COMMUNITY DESIGN ALLIANCE

CITY OF WORTHINGTON

DRAWING NO. ARB 0044-2023

DATE 05/29/2023

Thomas Worthington High School
Fieldhouse - Ongoing Improvements

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

NEW SIGNAGE ENLARGED EAST ELEVATION

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 05/26/2023

schorr architects inc.

CDA COMMUNITY DESIGN ALLIANCE

Thomas Worthington High School
Fieldhouse - Ongoing Improvements

Thomas Worthington High School
300 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

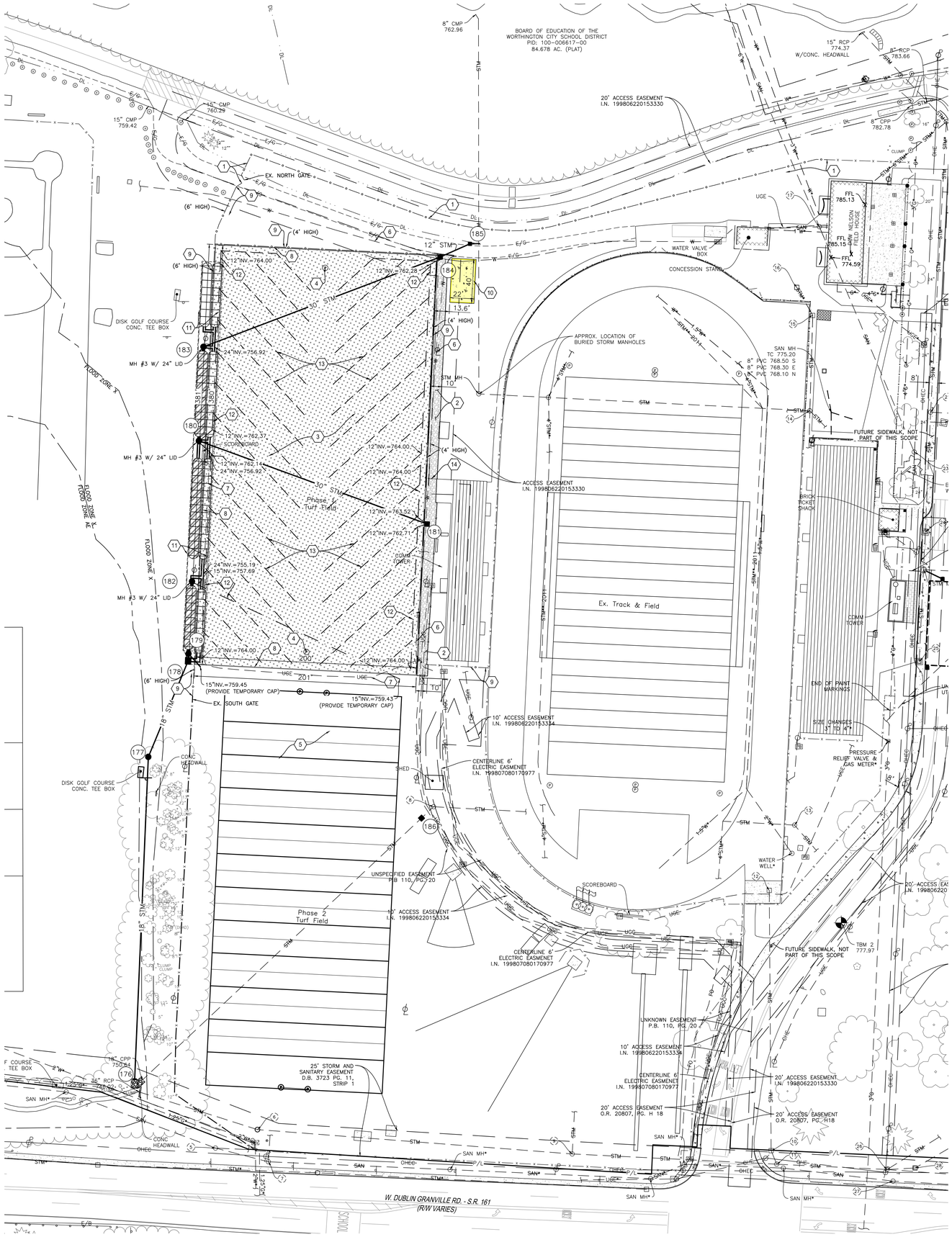
NEW SIGNAGE RENDERING

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 05/26/2023

schorr architects inc.

CDA COMMUNITY DESIGN ALLIANCE



SITE KEYNOTES

1. FENCE ALTERNATE: PROVIDE 6' HIGH FENCE AND GATE (BLACK VINYL COATED CHAIN LINK FENCE W/ KNUCKLED SELVAGE).
2. PROVIDE GRAVEL DRIVE. SEE DETAIL.
3. PROP. TURF FIELD. SEE DELEGATED DESIGN AND SPECS BY SYNTHETIC TURF MANUFACTURER.
4. PROVIDE NEW GOAL POSTS PER SYNTHETIC TURF MANUFACTURER'S SPECS.
5. PROTECT EX. IRRIGATION LINES FOR SOUTH PRACTICE FIELD.
6. RE-LOCATE EX. WATER LINE TO DRINKING FOUNTAIN AS NECESSARY. CONTRACTOR TO VERIFY SIZE AND LOCATION PRIOR TO CONSTRUCTION AND PURCHASE OF MATERIALS.
7. SEE SITE UTILITY PLAN FOR ELECTRIC SUPPLY DETAILS. REPORT TO A/E IF CONFLICTS EXIST.
8. PROVIDE PERIMETER CURB PER TURF SECTION DETAIL (LOCATED ON NORTH, SOUTH, AND WEST SIDES.
9. PROVIDE BLACK VINYL COATED CHAIN LINK FENCE W/ KNUCKLED SELVAGE (6' AND 4' HEIGHTS NOTED ON PLAN). SEE DETAIL THIS SHEET.
10. PROVIDE LACROSSE PAD AND WALL. SEE STRUCTURAL PLANS FOR DETAILS.
11. UNDERGROUND DETENTION, SEE SITE GRADING PLAN, PHASE 1.
12. PROVIDE 12" UNDERDRAIN COLLECTOR PIPE @ 1.0% MIN. SLOPE. SEE INVERTS AND CATCH BASIN CONNECTION POINTS INDICATED ON PLAN.
13. DELEGATED DESIGN FOR UNDERDRAINS AND DRAINAGE AGGREGATE BELOW TURF MATERIAL (SUGGESTED LAYOUT SHOWN FOR REFERENCE ONLY.) SEE TURF MANUFACTURER PLANS AND SPECS.
14. PROVIDE 10' WIDE, 4' HIGH GATE. SEE DETAIL THIS SHEET

NORTH

GRAPHIC SCALE

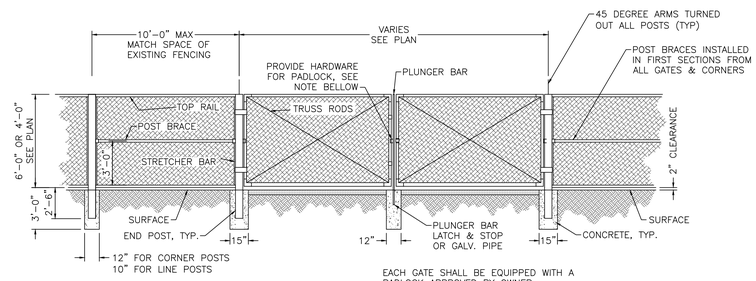
1" = 40'

MISC. NOTES

- ALL ITEM NUMBERS REFER TO THE STATE OF OHIO DEPT. OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS, LATEST EDITION, UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE MEASURED TO FACE OF CURB WHERE APPLICABLE UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE GROUND & REPORT ANY LAYOUT DISCREPANCIES IMMEDIATELY TO THE A/E.
- REFER TO THE SITE UTILITY PLANS OR STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
- DO NOT SCALE FROM THIS DRAWING. ALL WRITTEN DIMENSIONS SHALL GOVERN. ANY DISCREPANCIES SHALL IMMEDIATELY BE REPORTED TO THE A/E.

LEGEND

- PROPOSED CONCRETE
- EX. CONCRETE WALK
- PROPOSED SYNTHETIC TURF
- PROPOSED GRAVEL DRIVE



POSTS/RAILS SHALL BE AS FOLLOWS:
BRACE RAILS – 1 5/8" DIA.
GATE FRAME – 1 5/8" DIA.
LINE POSTS – 2 1/2" DIA.
CORNER POSTS – 2 1/2" DIA.
GATE SUPPORT POSTS – 3" DIA.

NOTE: CONTRACTOR SHALL MATCH DESIGN TO THE FIELD HOUSE CHAINLINK FENCE. ALL CHAINLINK FENCES TO BE BLACK VINYL-COATED

EACH GATE SHALL BE EQUIPPED WITH A PADLOCK APPROVED BY OWNER. TUMBLERS SHALL BE IDENTICALLY SET IN EACH LOCK SO THAT THE SAME KEY WILL OPEN ALL LOCKS. 2 KEYS SHALL BE FURNISHED WITH EACH PADLOCK.

CHAIN LINK FENCE
FENCE & SWING GATE (1)
NOT TO SCALE

CITY OF WORTHINGTON

DRAWING NO. ARB 0044-2023

DATE 05/29/2023

SITE DIMENSION PLAN
PHASE 1

Thomas Worthington High School
Turf Practice Fields (Phase 1 & Phase 2)
300 West Dublin Granville Road
Worthington, OH 43085

PREPARED FOR:
Worthington Schools
200 East Wilson Bridge Road
Worthington, Ohio 43085

Know what's below. Call before you dig.

SANDS DECKER ENGINEERS & SURVEYORS

OFFICES

1495 Old Henderson Road
Columbus, Ohio 43220
614-459-6992

422 North Broad Street
Lancaster, Ohio 43130
740-385-2140

507 Main Street
Zanesville, Ohio 43701
740-450-1640

These drawings are instruments of professional service by Sands Decker CPS, LLC for the designated project. Sands Decker CPS, LLC assumes no liability for unauthorized use of these drawings, specifications, and documents.

SD PROJECT NO. 4424

schorr architects inc.

CDA COMMUNITY DESIGN ALLIANCE

PERMIT SET 4/04/2023	
PERMIT & UG DETENTION UPDATES 4/19/2023	
COMM. NO.: 2255	

C3.02

STATE OF OHIO
GLENN E. DECKER
57924
5/9/2023
PROFESSIONAL ENGINEER

SIGNED 5/9/2023 DATE

S:\Schorr 4424 New Thomas Worthington High School\Dwg\Schorr 4424 New Thomas Worthington High School - Turf Fields Master (ods 10).dwg 5/9/2023 11:40 AM

010000 - GENERAL STRUCTURAL NOTES

1. THE GENERAL STRUCTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST BETWEEN THE DRAWINGS, SPECIFICATIONS AND THE GENERAL STRUCTURAL NOTES, THE STRICTEST PROVISION SHALL GOVERN.
2. GOVERNING CODE:
   OHIO BUILDING CODE - 2017 EDITION
3. SEE STRUCTURAL PLANS FOR DESIGN SOIL BEARING PRESSURE AND LIVE LOADS. LIVE LOADS REDUCED IN ACCORDANCE WITH THE GOVERNING CODE, IF APPLICABLE.
4. ROOF SNOW LOAD:

GROUND SNOW LOAD (Pg)	- 20 PSF
SNOW EXPOSURE FACTOR (Ce)	- 1.0
IMPORTANCE FACTOR (Is)	- 1.1
THERMAL FACTOR (Ct)	- 1.0
FLAT ROOF SNOW LOAD (Pf)	- 22 PSF

5. WIND LOAD:

ULTIMATE DESIGN WIND SPEED (Vult)	- 120 MPH
NOMINAL WIND SPEED (Vasd)	- 89 MPH
RISK CATEGORY	- III
EXPOSURE CATEGORY	- EXPOSURE B
INTERNAL PRESSURE COEFFICIENT (G Cpi)	- ±0.18

6. SEISMIC LOAD:

RISK CATEGORY	- III
IMPORTANCE FACTOR (Ie)	- 1.25
MAPPED SPECTRAL RESPONSE ACCELERATION AT SHORT PERIOD (Ss)	- 0.12
MAPPED SPECTRAL RESPONSE ACCELERATION AT ONE-SECOND PERIOD (S1)	- 0.061
SITE CLASS	- D
SPECTRAL RESPONSE PARAMETER AT SHORT PERIOD (SDs)	- 0.128
SPECTRAL RESPONSE PARAMETER AT ONE-SECOND PERIOD (SD1)	- 0.098
SEISMIC DESIGN CATEGORY	- B
DESIGN BASE SHEAR	- 1K
SEISMIC RESPONSE COEFFICIENT (Cs)	- 0.04

   BASIC SEISMIC FORCE RESISTING SYSTEM:
   A2 -ORDINARY REINFORCED CONCRETE SHEAR WALLS (R=4, Ω=2 1/2, Cd=4)
   DESIGN BY EQUIVALENT LATERAL FORCE PROCEDURE
7. THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCES AND TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF WHATEVER TEMPORARY BRACING, GUYS, OR TIE-DOWNS WHICH MIGHT BE NECESSARY. SUCH MATERIAL SHALL REMAIN THE CONTRACTOR'S PROPERTY AFTER COMPLETION OF THE PROJECT.
8. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.
9. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS RELATING TO EXISTING CONSTRUCTION AND EXISTING SERVICE ON THE SITE.
10. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF COLUMNS, WALLS, OPENINGS ETC. WITH THE ARCHITECTURAL DRAWINGS PRIOR TO PROCEEDING WITH THE WORK. DO NOT SCALE THESE DRAWINGS. USE DIMENSIONS. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN STRUCTURAL DRAWINGS AND DRAWINGS OF ANY OTHER DISCIPLINE.
11. CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGN CAPACITY OF THE FRAMING. THE CONTRACTOR IS RESPONSIBLE FOR LIMITING THE AMOUNT OF CONSTRUCTION DEAD LOAD APPLIED TO THE STRUCTURAL FRAMING.
12. THE ERECTION AND CONSTRUCTION SEQUENCES SHALL BE DEVELOPED BY THE CONTRACTOR TO ACCOUNT FOR THE EFFECTS OF THERMAL MOVEMENTS TO THE STRUCTURE. DETAILED EXPANSION JOINTS ON THESE DRAWINGS ARE DESIGNED FOR MOVEMENT OF A COMPLETED STRUCTURE.
13. IF EQUIPMENT SHIPPING OR OPERATING WEIGHT EXCEEDS VALUE SHOWN ON THESE DRAWINGS, DO NOT PLACE EQUIPMENT. NOTIFY STRUCTURAL ENGINEER AND ARCHITECT.
14. DO NOT MODIFY, ALTER OR REPAIR ANY STRUCTURAL MEMBER WITHOUT PRIOR WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER.
15. SHOP DRAWINGS SHALL BE REVIEWED AND STAMPED BY CONTRACTOR PRIOR TO SUBMISSION TO STRUCTURAL ENGINEER.
16. SEE THIS SHEET FOR SPECIAL INSPECTIONS.

033000 - CAST-IN-PLACE CONCRETE

1. SPECIFICATIONS AND STANDARDS:
   CONCRETE WORK, DETAILING, FABRICATION AND PLACING OF BARS AND CONCRETE SHALL BE GOVERNED BY THE APPLICABLE VERSION OF:
   A. ACI 301, ACI 315, AND ACI 318.
   B. CRSI RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS.
   C. ACI 306 AND ACI 305 FOR COLD AND HOT WEATHER CONCRETING, RESPECTIVELY. THE CONTRACTOR SHALL AT ALL TIMES HAVE A COPY OF THE RELEVANT SPECIFICATIONS QUOTED ABOVE ON THE SITE AND THE SUPERVISORY PERSONNEL SHALL BE THOROUGHLY FAMILIAR WITH THE CONTENTS THEREOF.
2. CONTINGENCIES:
   A. LEAN CONCRETE UNDER FOUNDATIONS FOR EARTH FILL DUE TO ACCIDENTAL OVEREXCAVATION OR SOFT SPOTS.
3. CONCRETE REQUIREMENTS AND LOCATION IN JOB:

CLASS	LOCATION	fc	MAX W/C RATIO	FINISH	SPECIAL REQUIREMENTS
1	FOOTINGS	3000 PSI		RfIM-Fn, SmFm-Fn IF EXPOSED	
2	FOUNDATION AND RETAINING WALLS EXPOSED TO EXTERIOR	4500 PSI	0.45	RfFm-Fn, SmFm-Fn IF EXPOSED,	6% +/- 1.5% AIR CONTENT, MID-RANGE WATER REDUCER REQUIRED UNO A6-Fn WHERE NOTED
3	EXTERIOR WALKS, STOOPS STEPS, APRONS, AND CURBS; EXTERIOR FORMED CONCRETE EXPOSED TO VIEW	4500 PSI	0.45	NsBrm-Fn, Grt-Cl-Fn	6% +/- 1.5% AIR CONTENT
4	FLOWABLE FILL - TYPE I UTILITY TRENCH BACKFILL	50-100 PSI			UNCONFINED COMPRESSION STRENGTH PER ASTM D4832 NO TESTS
5	FLOWABLE FILL - TYPE II	85 PSI			UNCONFINED COMPRESSION STRENGTH PER ASTM D4832 NO TESTS
6	LEAN FILL OVER SOFT SOILS OR OVER EXCAVATIONS	1500 PSI			NO TESTS

   SUBMIT CONCRETE MIXES FOR APPROVAL IN ACCORDANCE WITH ACI 301 BEFORE PLACING ANY CONCRETE.
   ALL MIXES SHALL INCLUDE ASTM C150 PORTLAND CEMENT AND ALL AGGREGATE SHALL CONFORM TO ASTM C33.
   CONCRETE TESTING PER ACI 318 SECTION 26.12.
4. REINFORCING REQUIREMENTS:
   A. BARS: ASTM A615, GRADE 60.
   B. WELDED WIRE REINFORCING: ASTM A185.

033000 - CAST-IN-PLACE CONCRETE (CONTINUED)

5. FOOTINGS:
   A. DOWELS IN FOOTINGS TO MATCH VERTICAL REINFORCING IN CONCRETE WALLS.
   B. BEND ALL BARS 24 DIAMETERS AROUND CORNERS OF FOOTINGS. BARS AT THE INSIDE FACE OF THE CORNER SHALL BE CONTINUED ACROSS TO THE OUTSIDE AND THEN BENT.
6. WALLS AND PIERS:
   A. CLASS B TENSION LAP SPLICES FOR HORIZONTAL AND VERTICAL WALL REINFORCING UNLESS NOTED.
   B. STAGGER SPLICES IN WALLS SO THAT NO MORE THAN 1/3 OF THE REINFORCING IS SPLICED IN ANY GIVEN CROSS-SECTION. STAGGER SPLICES 40 DIAMETERS.
7. SPLICES:
   A. TENSION SPLICES, WHEN PERMITTED - LAP IN ACCORDANCE WITH THE ACI CODE AND THE TABLE SHOWN BELOW.
   LAP SPLICE SCHEDULE:

BAR SIZE	LAP CLASS	TOP BAR (f'c<4000 PSI)	TOP BAR (f'c≥4000 PSI)	OTHER BAR (f'c<4000 PSI)	OTHER BAR (f'c≥4000 PSI)
#3	A	22"	19"	17"	15"
	B	28"	24"	22"	19"
#4	A	29"	25"	22"	19"
	B	37"	32"	29"	25"
#5	A	36"	31"	28"	24"
	B	47"	40"	36"	31"
#6	A	43"	37"	33"	29"
	B	56"	48"	43"	37"
#7	A	62"	54"	48"	42"
	B	81"	70"	62"	54"
#8	A	71"	62"	55"	47"
	B	93"	80"	71"	62"
#9	A	80"	70"	62"	54"
	B	104"	91"	80"	70"
#10	A	91"	78"	70"	60"
	B	118"	102"	91"	78"
#11	A	100"	87"	77"	67"
	B	130"	113"	100"	87"

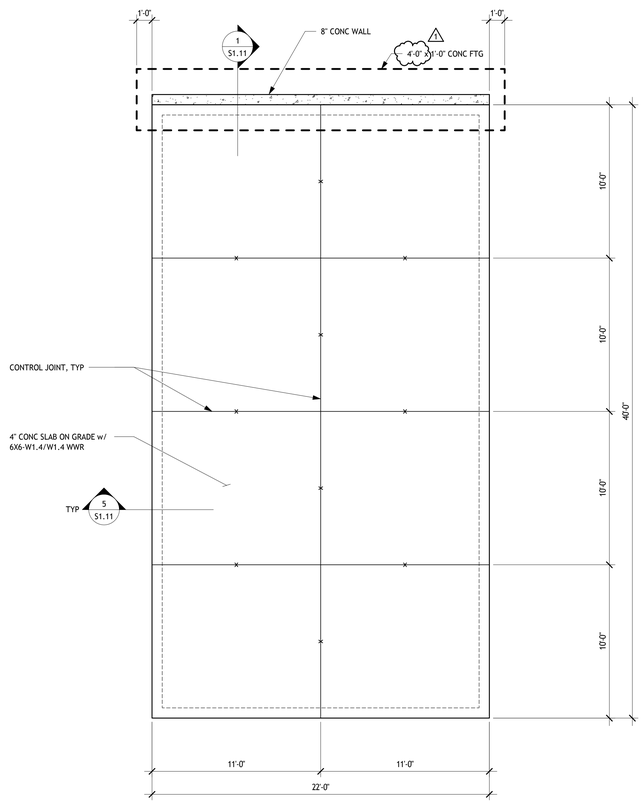
   NOTES:
   a. TOP BARS ARE DEFINED AS HORIZONTAL BARS WITH MORE THAN 12" OF FRESH CONCRETE BELOW THEM.
   b. ALL LAP SPLICES SHALL BE CLASS B UNLESS OTHERWISE NOTED.
   c. VALUES ARE NORMAL WEIGHT CONCRETE NON-EPOXY COATED BARS.
   B. LAP WELDED WIRE REINFORCING 1 SPACE + 2" AT ALL EDGES AND ENDS OF SHEETS.
8. COVER:
   A. MINIMUM CONCRETE COVER, UNLESS NOTED OTHERWISE:
      - UNFORMED SURFACE IN CONTACT WITH THE GROUND: 3".
      - FORMED SURFACES EXPOSED TO EARTH OR WEATHER: 1 1/2" FOR #5 OR SMALLER, 2" FOR #6 OR LARGER.
      - FORMED SURFACES NOT EXPOSED TO EARTH OR WEATHER: WALLS & SLABS: 3/4".
9. MISCELLANEOUS:
   A. WHERE FILL IS ON BOTH SIDES OF A FOUNDATION WALLS, PLACE THE FILL EVENLY ON BOTH SIDES OF THE WALL.
   B. CONSTRUCTION JOINTS PERMITTED ONLY WHERE SHOWN OR AS APPROVED BY THE STRUCTURAL ENGINEER.
   C. PROVIDE ONE #4x3'-0" DIAGONAL REINFORCING BAR AT MID-DEPTH OF SLAB AT ALL RE-ENTRANT CORNERS OF SLABS ON GRADE.
   D. SUBMIT STEEL REINFORCING SHOP DRAWINGS THAT DETAIL FABRICATION, BENDING AND PLACEMENT PRIOR TO FABRICATION, BENDING AND PLACEMENT PRIOR TO FABRICATION.

PART I: SCHEDULE OF SPECIAL INSPECTIONS					
IBC TABLE 1705.3					
REQUIRED VERIFICATION AND INSPECTION OF CONCRETE CONSTRUCTION					
VERIFICATION AND INSPECTION	CONTINUOUS	PERIODIC	REFERENCED STANDARDS [A]	IBC SECTION	REMARKS
1. INSPECTION OF REINFORCING STEEL, INCLUDING PLACEMENT.	-	X	ACI 318 CH. 20, 25.2, 25.3, 26.6.1-26.6.3	1908.4000	
2. INSPECTION OF REINFORCING STEEL WELDING	N/A	N/A	AWS D1.4, ACI 318: 26.6.4	-	
A. VERIFY WELDABILITY OF REINFORCING BARS OTHER THAN ASTM A706;	N/A	N/A			
B. INSPECT SINGLE-PASS FILLET WELDS, MAXIMUM 5/16"	N/A	N/A			
C. INSPECT ALL OTHER WELDS	N/A	N/A			
3. INSPECTION OF ANCHORS CAST IN CONCRETE	-	X	ACI 318: 17.8.2	-	
4. INSPECTION OF ANCHORS POST-INSTALLED IN HARDENED CONCRETE MEMBERS. [B]			ACI 318: 17.8.2	-	
A. ADHESIVE ANCHORS INSTALLED IN HORIZONTALLY OR UPWARDLY INCLINED ORIENTATIONS TO RESIST SUSTAINED TENSION LOADS.	N/A	-			
B. MECHANICAL ANCHORS AND ADHESIVE ANCHORS NOT DEFINED IN 4.A	-	N/A			
5. VERIFY USE OF REQUIRED DESIGN MIX.	-	X	ACI 318: CH. 19, 26.4.3, 26.4.4	1904.1, 1904.2, 1908.2, 1908.3	
6. PRIOR TO CONCRETE PLACEMENT, FABRICATE SPECIMENS FOR STRENGTH TESTS, PERFORM SLUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE.	X	-	ASTM C 172 ASTM C 31 ACI 318: 26.4, 26.12	1908.10	
7. INSPECTION OF CONCRETE FOR PROPER APPLICATION TECHNIQUES.	X	-	ACI 318: 26.5	1908.6, 1908.7, 1908.8	
8. INSPECTION FOR MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES.	-	X	ACI 318: 26.5.3, 26.5.5	1908.9000	
9. INSPECTION OF PRESTRESSED CONCRETE:		N/A	ACI 318: 26.10	-	
A. APPLICATION OF PRESTRESSING FORCES.	N/A				
B. GROUTING OF BONDED PRESTRESSING TENDONS IN THE SEISMIC FORCE RESISTING SYSTEM.	N/A				
10. ERECTION OF PRECAST CONCRETE MEMBERS.	N/A	N/A	ACI 318: 26.8	-	
11. VERIFICATION OF IN-SITU CONCRETE STRENGTH, PRIOR TO REMOVAL OF SHORES AND FORMS FROM STRUCTURAL SLABS.	N/A	N/A	ACI 318: 26.11.2	-	
12. INSPECT FORMWORK FOR SHAPE, LOCATION AND DIMENSIONS OF THE CONCRETE MEMBER BEING FORMED.	-	X	ACI 318: 26.11.1.2(B)	-	

A. WHERE APPLICABLE, SEE ALSO SECTION 1705.12, SPECIAL INSPECTIONS FOR SEISMIC RESISTANCE. REFERENCE CODE IS ACI 318-14

B. SPECIFIC REQUIREMENTS FOR SPECIAL INSPECTION SHALL BE INCLUDED IN THE RESEARCH REPORT FOR THE ANCHOR ISSUED BY AN APPROVED SOURCE IN ACCORDANCE WITH 17.8.2 IN ACI 318, OR OTHER QUALIFICATION PROCEEDURES. WHERE SPECIFIC REQUIREMENTS ARE NOT PROVIDED, SPECIAL INSPECTION REQUIREMENTS SHALL BE SPECIFIED BY THE REGISTERED DESIGN PROFESSIONAL AND SHALL BE APPROVED BY THE BUILDING OFFICIAL PRIOR TO THE COMMENCEMENT OF THE WORK.

PART I: SCHEDULE OF SPECIAL INSPECTIONS			
IBC TABLE 1705.6			
REQUIRED VERIFICATION AND INSPECTION OF SOILS			
VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED	REMARKS
1. VERIFY MATERIALS BELOW FOOTINGS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY.	-	X	
2. VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL.	-	X	
3. PERFORM CLASSIFICATION AND TESTING OF CONTROLLED FILL MATERIALS.	-	X	
4. VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESSES DURING PLACEMENT AND COMPACTION OF COMPACTED FILL.	X	-	
5. PRIOR TO PLACEMENT OF CONTROLLED FILL, OBSERVE SUBGRADE AND VERIFY SITE HAS BEEN PREPARED PROPERLY.	-	X	

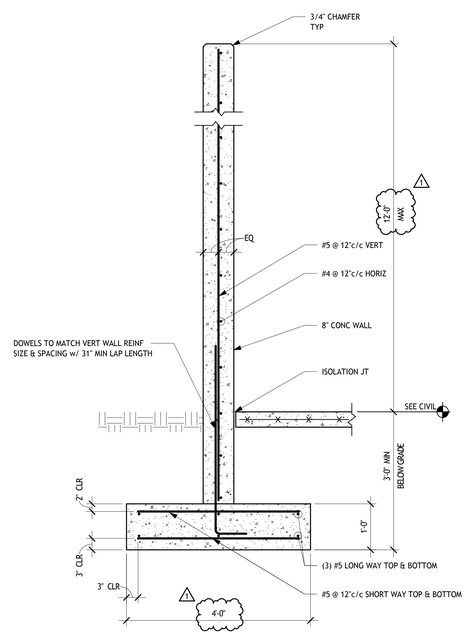


LACROSSE WALL FOUNDATION PLAN

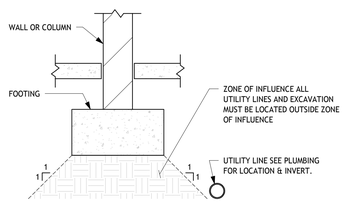
1/4" = 1'-0"

1. VERIFY LOCATIONS OF COLUMNS, WALLS, OPENINGS, ETC. WITH ARCHITECTURAL DRAWINGS BEFORE PLACING FOUNDATIONS.
2. PROVIDE 4" OF GRANULAR SUBGRADE BELOW SLAB UNLESS NOTED OTHERWISE IN THE REFERENCED GEOTECHNICAL REPORT.
3. SEE CIVIL DRAWINGS FOR REFERENCE SITE ELEVATION.
4. DESIGN SOIL BEARING PRESSURE 3000 psf. ANY SOFT SPOTS OR VARIATIONS IN SUBSURFACE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER. THE DESIGN BEARING CAPACITY SHALL BE FIELD VERIFIED BY AN INDEPENDENT TESTING AGENCY SPECIALIZING IN SOILS INVESTIGATIONS. GEOTECHNICAL INFORMATION INCLUDED IN THE CONSTRUCTION DOCUMENTS WAS OBTAINED FROM A REPORT ISSUED BY GEOTECHNICAL CONSULTANTS INC., PROJECT NUMBER 22-G-26835, DATED OCT 18, 2022.
5. SEE CIVIL DRAWINGS FOR LOCATION OF WALL AND TOP OF SLAB ELEVATION.
6. FOOTINGS TO CENTER UNDER WALL UNLESS NOTED.
7. WHERE FILL IS ON BOTH SIDES OF A WALL, INSTALL THE FILL UNIFORMLY ON BOTH SIDES OF THE WALL.
8. SEE 2/S1.11 AND 3/S1.11 FOR UTLITIES AND PLUMBING THAT RUN UNDER AND PARALLEL WITH FOUNDATIONS.
9. SYMBOL LEGEND:

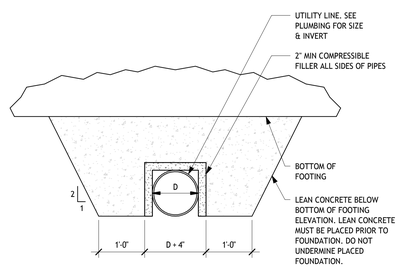
   —X— • INDICATES FLOOR CONTROL OR CONSTRUCTION JOINT ON PLAN. SEE SECTION 4/S1.11.



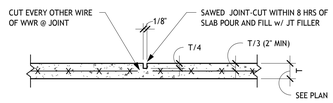
1 S1.11 SECTION 3/4" = 1'-0"



2 S1.11 SECTION 3/4" = 1'-0"

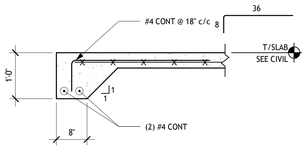


3 S1.11 SECTION 3/4" = 1'-0"



1. PROVIDE TOOLED JOINTS IN FRESH CONCRETE EACH SIDE OF WALLS WHERE SLABS POUR THRU DOORWAYS.

4 S1.11 DETAIL 3/4" = 1'-0"



5 S1.11 SECTION 3/4" = 1'-0"

CITY OF WORTHINGTON

DRAWING NO. ARB 0044-2023

DATE 05/29/2023

SMBH STRUCTURAL ENGINEERING
1166 Dublin Road Suite 200
Columbus, OH 43215-1038
614-481-9800
www.smbhinc.com
smbh job no: 022-025.003

LACROSSE WALL FOUNDATION & DETAILS

Thomas Worthington High School
Turf Practice Fields (Phase 1 & Phase 2)
300 West Dublin Granville Road
Worthington, OH 43085

PREPARED FOR:
Worthington Schools
200 East Wilson Bridge Road
Worthington, Ohio 43085

schorr architects inc.
CDA COMMUNITY DESIGN ALLIANCE

BID SET 01/13/23	
PR 001 04/20/23 1	
COMM. NO.: 2255	

S1.11

STATE OF OHIO JONATHAN T. BEIER E-68389 REGISTERED PROFESSIONAL ENGINEER

04 / 20 / 2023

SIGNED DATE

4/21/2023 12:45:55 PM

ARB APPLICATION
ARB 0043-2023
7000 N. High St.

Plan Type:	Architectural Review Board	**Project:**		**App Date:**	05/26/2023
Work Class:	Certificate of Appropriateness	**District:**	City of Worthington	**Exp Date:**	
Status:	In Review			**Completed:**	
Valuation:	$0.00			**Approval**	
Description:	Minor revisions to previously approved design. Plus, proposed signage.			**Expire Date:**	

Parcel:	100-004112 Main	**Address:**	7000 N High St Worthington, OH 43085 Main	**Zone:**	

Owner
Jonathan Wilcox
7000 N HIGH ST
Worthington , OH 43085
Mobile: (614) 340-1050

Applicant
J. Carter Bean Architect, LLC
James C Bean
4400 North High Street
Suite 401
Columbus, OH 43214
Mobile: (614) 595-2285

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003979	Architectural Review Board	$2.00	$2.00
	Total for Invoice INV-00003979	$2.00	$2.00
	Grand Total for Plan	**$2.00**	**$2.00**

7000 N. High St.

GENERAL PLANTING NOTES:

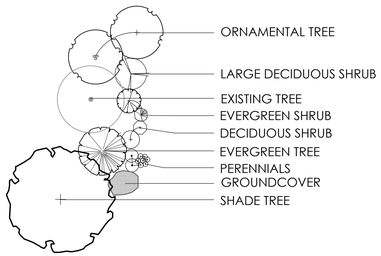
1. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
2. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
3. PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. PLANTING BEDS SHALL HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTINUOUS BED.
5. ALL PLANTING BEDS TO BE TILLED TO A MINIMUM DEPTH OF 12".
6. ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
7. SODDING / SEEDING BY LANDSCAPE CONTRACTOR.
8. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
9. ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDED/ SODDED.
10. ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.

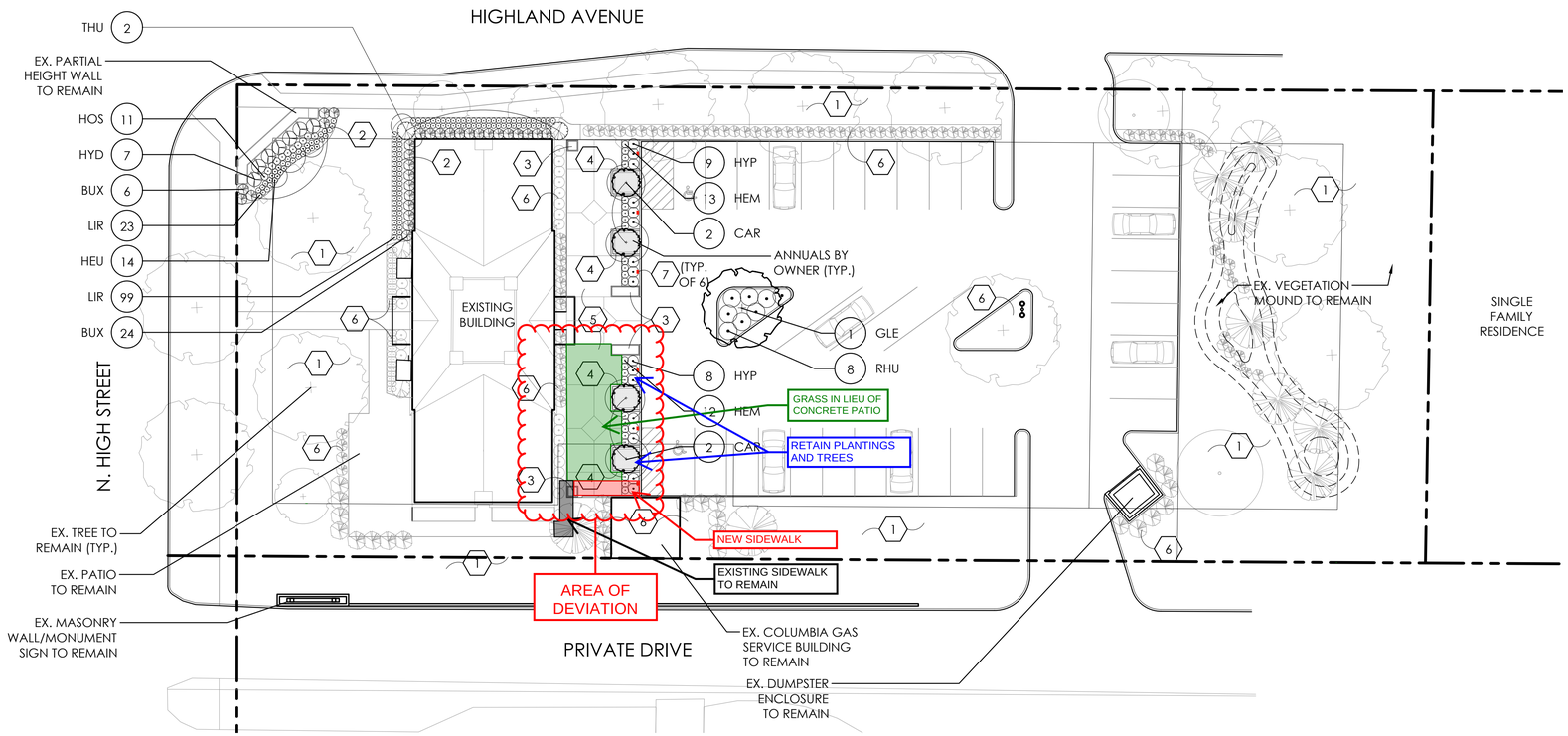
CONSTRUCTION NOTES

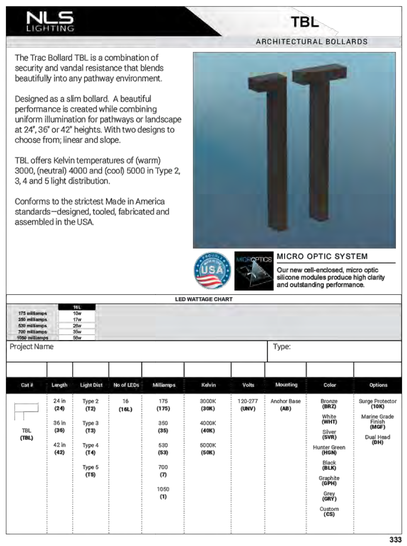
1. LAWN AREA. PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
2. LANDSCAPE AREA. PROVIDE 3" DEPTH HARDWOOD MULCH. POSITIVE DRAINAGE ACROSS ALL SURFACES.
3. PLANTERS. STYLE AND LOCATION BY OWNER.
4. LIMESTONE CURBING. STYLE BY OWNER.
5. CONCRETE PATIO. MATERIAL BY OWNER.
6. EXISTING LANDSCAPE BED TO REMAIN.
7. TBL ARCHITECTURAL BOLLARD LOW VOLTAGE LANDSCAPE LIGHTING FROM NLS LIGHTING. COLOR FIXTURE BLACK OR OWNER APPROVED EQUAL. SEE DETAIL 3, THIS SHEET FOR MORE INFORMATION.

PLANT KEY TYPICALS

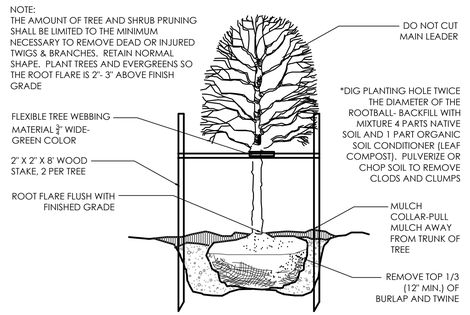
SEE PLANT LIST FOR SPECIFIC PLANT SPECIES



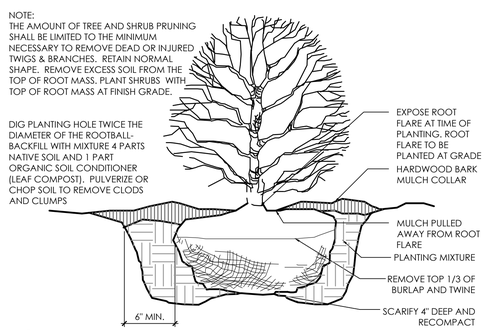




3 BOLLARD LIGHT
SCALE: N.T.S.



1 DECIDUOUS TREE 01-1001
N.T.S.



2 SHRUB PLANTING DETAIL 01-1300
N.T.S.

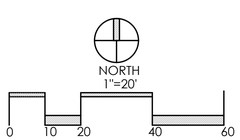
PLANT LIST

(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.
TREES					
4	CAR	CARPINUS BETULUS 'FRANS FONTAINE'	FRANS FONTAINE COLUMNAR EUROPEAN HORNBEAM	2" CAL.	B&B
1	GLE	GLEDITSIA TRIACANTHOS F. INERMIS 'SKYCOLE'	SKYLINE® HONEYLOCUST	2" CAL.	B&B
SHRUBS					
30	BUX	BUXUS X 'GREEN VELVET'	GREEN VELVET BOXWOOD	24" HGT.	B&B
7	HYD	HYDRANGEA QUERCIFOLIA 'RUBY SLIPPERS'	RUBY SLIPPERS OAKLEAF HYDRANGEA	24" HGT.	B&B
17	HYP	HYDRANGEA ARBORESCENS 'NCHA7'	INVINCIBELLE® MINI MAUVETTE® HYDRA		
8	RHU	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	24" SPRD.	B&B
2	THU	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	4-5' HGT.	B&B
PERENNIALS/ORNAMENTAL GRASSES					
25	HEM	HEMEROCALLIS 'FRAGRANT RETURNS'	FRAGRANT RETURNS DAYLILY	NO. 1	CONT.
14	HEU	HEUCHERA X 'GEORGIA PEACH'	GEORGIA PEACH CORAL BELLS	NO. 1	CONT.
11	HOS	HOSTA 'DANCING QUEEN'	DANCING QUEEN HOSTA	NO. 1	CONT.
122	LIR	LIRIOPE MUSCARI 'VARIEGATA'	VARIEGATED LILYTURF	NO. 1	CONT.

NOTE: ANNUALS TO BE PLANTED BY OWNER. NOT IN INITIAL LANDSCAPE COSTS

PRELIMINARY
NOT FOR CONSTRUCTION



CITY OF WORTHINGTON
DRAWING NO. ARB 0043-2023
DATE 05/26/2023

REVISIONS

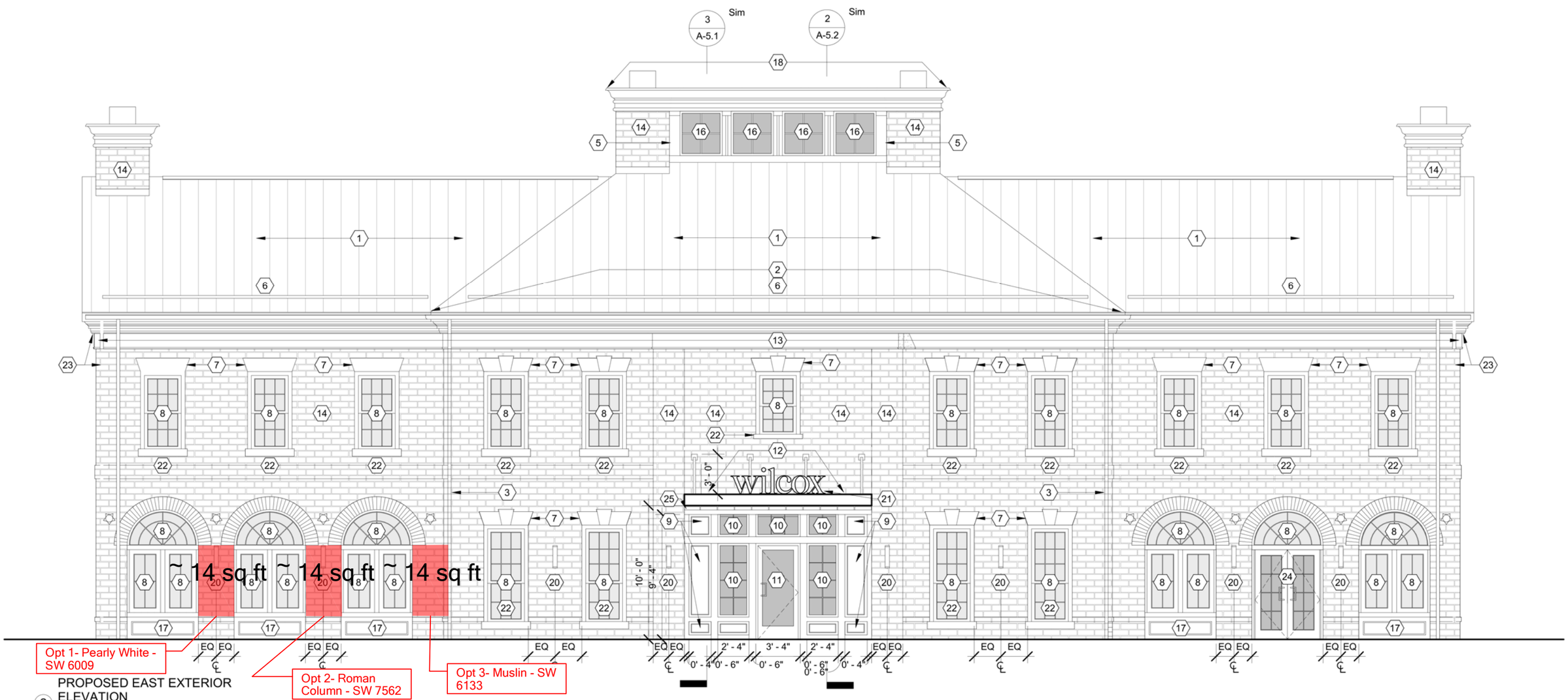
OVERALL LANDSCAPE PLAN

WILCOX OFFICE BUILDING
PREPARED FOR
WILCOX COMMUNITIES
7000 N. HIGH STREET
WORTHINGTON, OH 43085

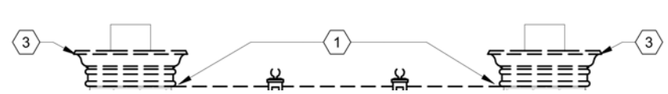
Faris Planning & Design
LAND PLANNING • LANDSCAPE ARCHITECTURE
4876 Cemetery Road
p: (614) 487-1964
Hilliard, OH 43026
www.farisplanninganddesign.com

DATE	11/15/22
PROJECT	XXXXXX
SHEET	

L-1.2



PROPOSED EAST EXTERIOR ELEVATION
2
3/16" = 1'-0"



CITY OF WORTHINGTON

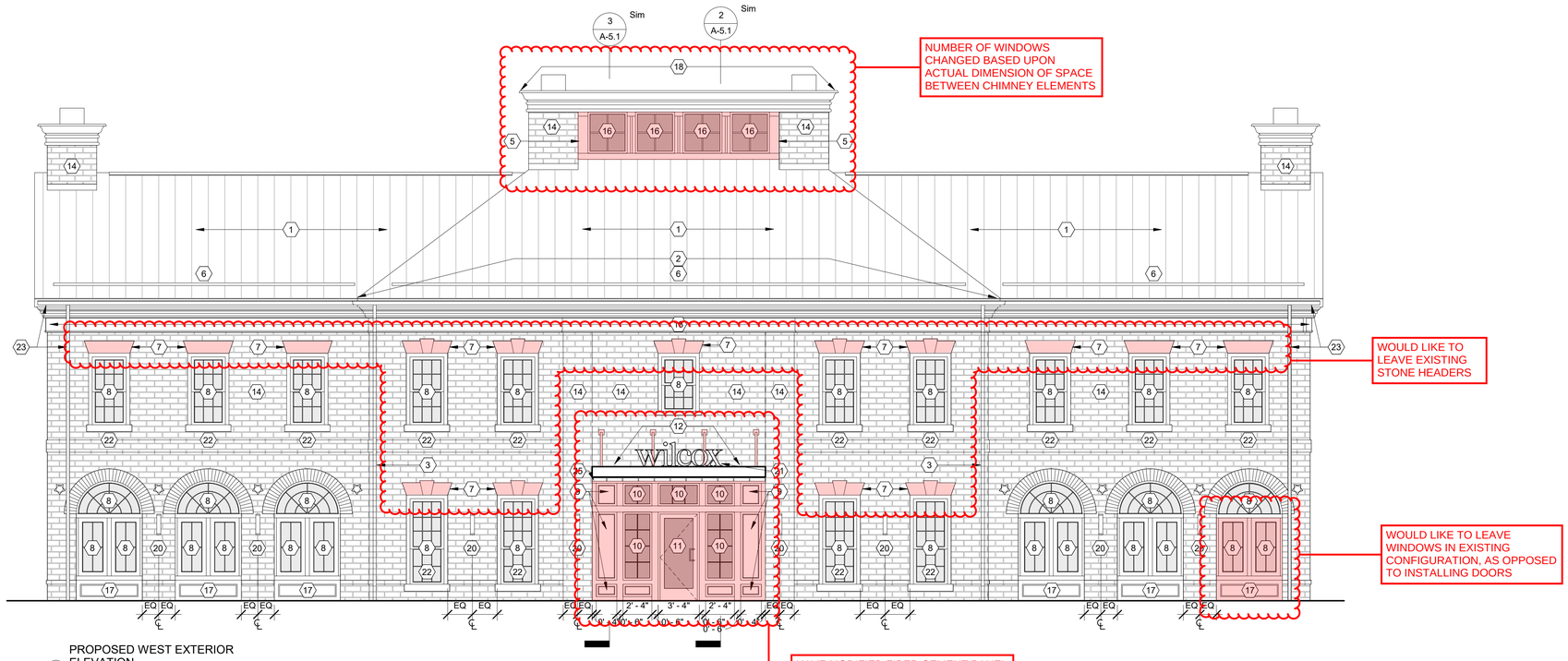
DRAWING NO. ARB 0043-2023

DATE 05/26/2023

CITY OF WORTHINGTON

DRAWING NO. ARB 0043-2023

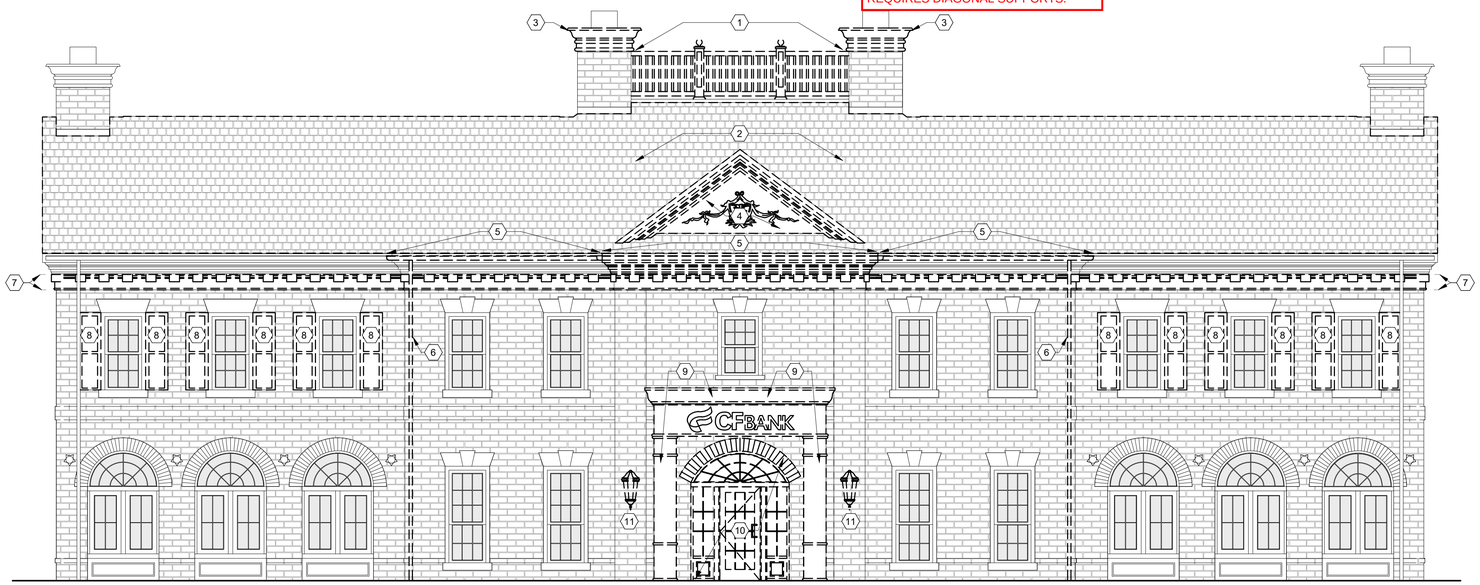
DATE 05/26/2023



PROPOSED WEST EXTERIOR ELEVATION
3/16" = 1'-0"

HAVE MODIFIED FIBER CEMENT PANEL DIMENSIONS BASED UPON EXISTING CONDITIONS.

PRE-FABRICATED CANOPY SYSTEM REQUIRES DIAGONAL SUPPORTS.



DEMOLITION WEST EXTERIOR ELEVATION
3/16" = 1'-0"

CITY OF WORTHINGTON

DRAWING NO. ARB 0043-2023

DATE 05/26/2023

ELEVATION CODED NOTES

1. PREFINISHED STANDING SEAM METAL ROOF, INTER-LOCK IL20 - 24 GA. - SMOOTH
2. OGEE GUTTER (24 GA.) TO MATCH DEMOLISHED SIZE, PAINTED
3. 4X3 METAL (24 GA.) DOWNSPOUT TO MATCH DEMOLISHED SIZE. HOLD TIGHT TO FACE OF CONSTRUCTION, PAINTED
4. EXTERIOR WALL MOUNTED UP / DOWN SCONCE LIGHT FIXTURE
5. FIBER CEMENT PANEL SIDING AND TRIM (SMOOTH FINISH), PAINTED
6. CONTINUOUS METAL SNOW RAIL TO MATCH STANDING SEAM ROOF FINISH. INSTALL PER MANUFACTURER SPECIFICATIONS
7. EXISTING HEADER / KEYSTONE, PAINTED (SEE SECTION DETAILS)
8. EXISTING WINDOWS TO BE PAINTED WITH APPLIED MUNTIN GRIDS. MUNTIN APPLICATION TO MATCH EXISTING CONFIGURATION
9. FIBER CEMENT PANELING AND TRIM (SMOOTH), PAINTED
10. 2" x 4 1/2" ALUMINUM STOREFRONT SYSTEM w/ 1" CLEAR INSULATED GLASS AND INTERIOR / EXTERIOR MUNTINS.
11. ALUM. FULL LITE STOREFRONT ENTRY DOOR
12. PRE-ENGINEERED METAL CANOPY WITH DIAGONAL BRACING, PAINTED
13. FIBER CEMENT BAND, PTD (SEE SECTION DETAILS). HEIGHT TO MATCH DEMOLISHED EURETHANE MOLDING BAND (SEE SECTION DETAILS)
14. EXISTING MASONRY, PAINTED
15. EXISTING MECHANICAL LOUVER, PTD TO MATCH ADJACENT PAINTED MASONRY
16. 2" x 4 1/2" ALUMINUM STOREFRONT SYSTEM w/ 1" CLEAR INSULATED GLASS AND EXTERIOR MUNTINS. PROVIDE EXTERIOR GRADE TRANSLUCENT FILM ON GLASS
17. EXISTING WOOD PANEL AND TRIM TO BE PAINTED
18. DECORATIVE URETHANE (FYPON) MOLDING. HEIGHT TO MATCH DEMOLISHED DECORATIVE MOLDING
19. EXSITING HOLLOW METAL DOOR AND FRAME TO BE PAINTED
20. WALL MOUNTED LINEAR UP LIGHTING ABOVE METAL CANOPY
21. CANOPY MOUNTED PREFINISHED LASER CUT ALUMINUM SIGNAGE
22. EXISTING STONE SILL TO BE PAINTED
23. ALL EXISTING DECORATIVE MOLDING, TRIM GUTTERS AND DOWNSPOUTS TO BE PAINTED
24. FULL LITE METAL FRENCH DOORS WITH EXTERIOR AND INTERIOR MUNTINS TO MATCH ADJACENT WINDOWS.
25. NEW MASONRY INFILL, PAINTED
26. EXISTING WALL MOUNTED CT CABINET TO REMAIN
27. EXISTING WALL MOUNTED ELECTRICAL METER TO REMAIN

DEMOLITION ELEVATION CODED NOTES

1. EXISTING URETHANE (FYPON) MECHANICAL SCREEN RAILING TO BE REMOVED IN PREPARATION FOR NEW SCREEN INFILL. PATCH AND REPAIR ROOFING AT ATTACHMENT LOCATIONS AS NECESSARY
2. EXISTING DIMENSIONAL ASPHALT SHINGLE ROOFING TO BE REMOVED IN PREPARATION FOR NEW ROOFING. REPLACE ANY DAMAGED ROOF SHEATHING AS NECESSARY
3. EXISTING DECORATIVE URETHANE (FYPON) MOLDING TO BE REMOVED IN PREPARATION FOR NEW DECORATIVE MOLDING
4. EXISTING ROOF DORMER, TRIM, MOLDING, DECORATIVE CREST TO BE REMOVED IN PREPARATION FOR NEW ROOFING TO MATCH EXISTING ROOF SLOPE. REPLACE ANY DAMAGED ROOF SHEATHING OR INSTALL NEW ROOF SHEATHING AS NEEDED TO MATCH EXISTING THICKNESS IN PREPARATION FOR NEW ROOF
5. EXISTING GUTTER TO BE REMOVED IN PREPARATION FOR NEW GUTTER
6. EXISTING DOWNSPOUT TO BE REMOVED IN PREPARATION FOR NEW DECORATIVE TRIM AND DOWNSPOUT
7. EXISTING LOWER PORTION OF DECORATIVE URETHANE (FYPON) MOLDING TO BE REMOVEDIN PREPARATION FOR NEW DECORATIVE MOLDING
8. EXISTING COMPOSITE WINDOW SHUTTERS TO BE REMOVED. PATCH AND REPAIR MASONRY AS NEEDED IN PREPARATION FOR PAINTING MASONRY
9. EXISTING URETHANE (FYPON) PILASTERS, DECORATIVE TRIM AND SIGNAGE. PATCH AND REPAIR MASONRY BEHIND TO BE REMOVED IN PREPARATION FOR PAINTING MASONRY
10. EXISTING DOOR, FRAME, WINDOW SIDELIGHTS, ARCHED WINDOW AND MASONRY ARCH TO BE REMOVED IN PREPARATION FOR NEW INFILL. PROVIDE TEMPORARY SHORING AS NECESSARY PRIOR TO INSTALLATION OF NEW INFILL
11. EXISTING WALL MOUNTED SCONCE LIGHTING TO BE REMOVED. PATCH AND REPAIR AS NECESSARY FOR NEW WALL MOUNTED SCONCE LIGHTING
12. EXISTING URETHANE (FYPON) WRAPPED STRUCTURAL COLUMNS, BALCONY, RAILING AND DECORATIVE TRIM TO BE REMOVED. PATCH AND REPAIR MASONRY AT BUILDING FACE IN PREPARATION FOR EXPOSED PAINTED MASONRY
13. EXISTING BUILDING MOUNTED DIMENSIONAL SIGNAGE TO BE REMOVED. PATCH AND REPAIR AS NECESSARY IN PREPARATION FOR EXPOSED PAINTED MASONRY
14. EXISTING WINDOW AND WOOD PANEL BELOW TO BE REMOVED IN PREPARATION FOR NEW INFILL FRENCH DOORS
15. EXISTING WALL MOUNTED CT CABINET TO REMAIN
16. EXISTING WALL MOUNTED ELECTRICAL METER TO REMAIN

BEAN
J. CARTER BEAN ARCHITECT
4100 NORTH HIGH STREET
SUITE 201 COLUMBUS
OHIO 43214
T 614 262 5544
FX 614 262 2327

STATE OF OHIO
J. CARTER BEAN
1015234
REGISTERED ARCHITECT

J. CARTER BEAN, LICENSE #1015234
EXPIRATION DATE: 12/31/2023

COPYRIGHT 2021
ALL DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF J CARTER BEAN ARCHITECT AND MAY NOT BE USED, DUPLICATED OR ALTERED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT

WILCOX OFFICE BUILDING

7000 N HIGH STREET, WORTHINGTON, OHIO 43085

FOR

WILCOX COMMUNITIES

250 W OLD WILSON BRIDGE RD SUITE 140, WORTHINGTON, OH 43085

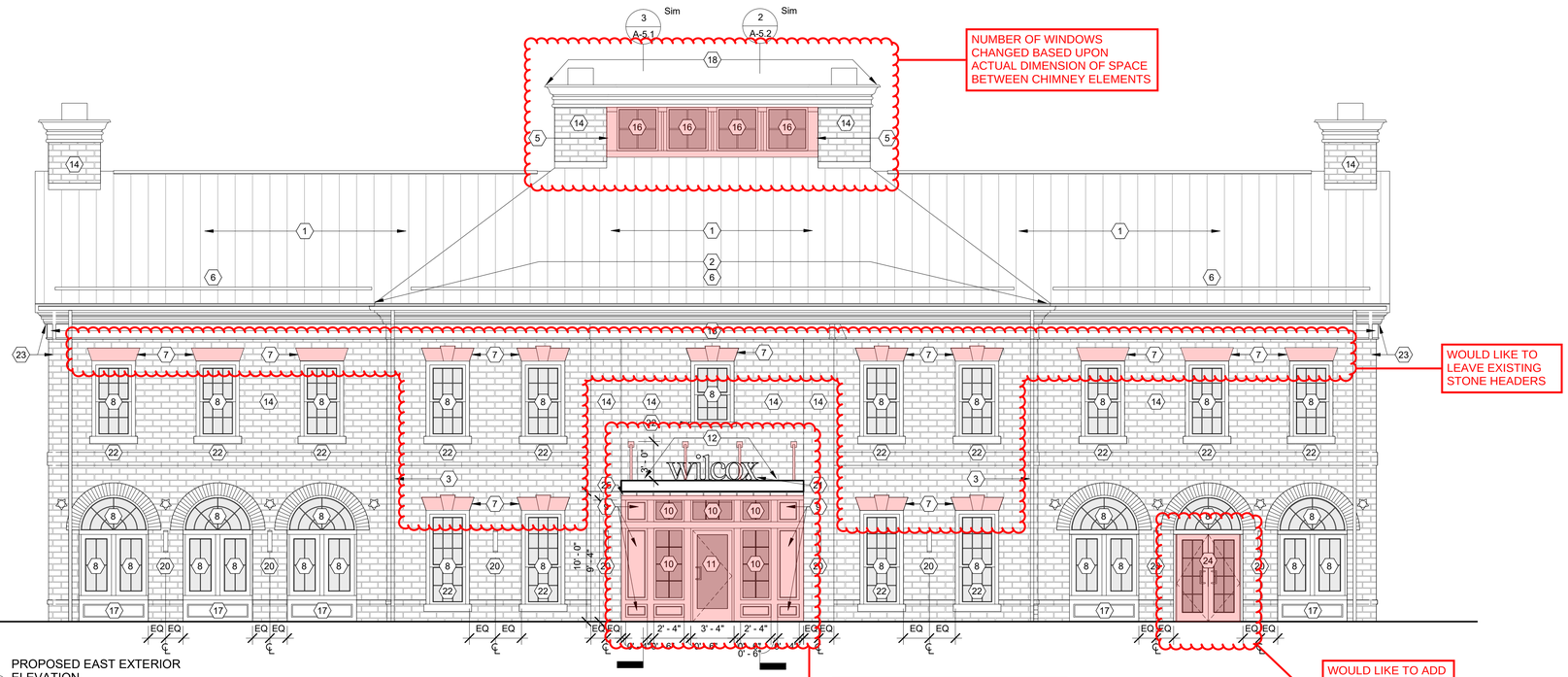
No.	Date	Description
	04.14.23	CD PROGRESS

DRAWING TITLE
DEMOLITION AND PROPOSED EXTERIOR ELEVATIONS

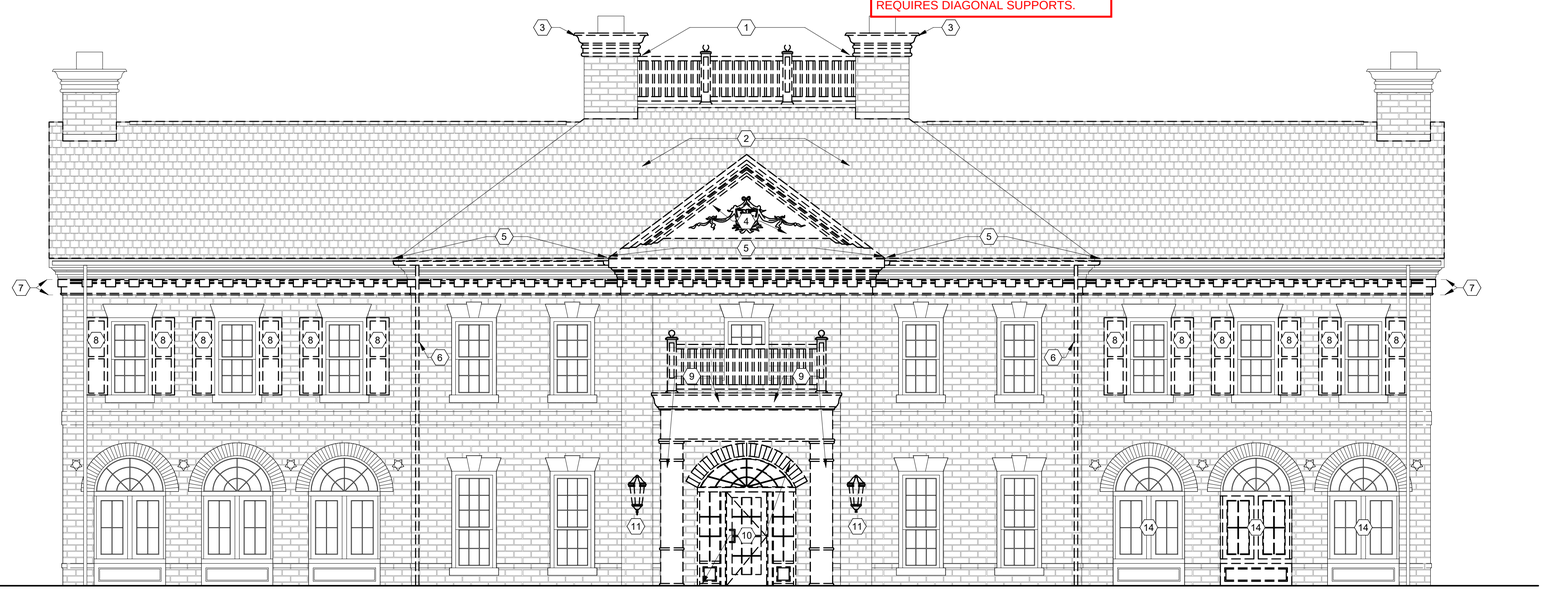
DRAWING NUMBER
A-2.1

BEAN Project Number

4/17/2023 3:20:47 PM E:\648951\Users\Administrator\Desktop\Wilcox_7000 N. High\Interior Conceptual Design_CD_2023_04_10.rvt



PROPOSED EAST EXTERIOR ELEVATION
2 3/16" = 1'-0"



DEMOLITION EAST EXTERIOR ELEVATION
1 3/16" = 1'-0"

ELEVATION CODED NOTES

1. PREFINISHED STANDING SEAM METAL ROOF, INTER-LOCK IL20 - 24 GA. - SMOOTH
2. OGEE GUTTER (24 GA.) TO MATCH DEMOLISHED SIZE, PAINTED
3. 4X3 METAL (24 GA.) DOWNSPOUT TO MATCH DEMOLISHED SIZE. HOLD TIGHT TO FACE OF CONSTRUCTION. PAINTED
4. EXTERIOR WALL MOUNTED UP / DOWN SCONCE LIGHT FIXTURE
5. FIBER CEMENT PANEL SIDING AND TRIM (SMOOTH FINISH), PAINTED
6. CONTINUOUS METAL SNOW RAIL TO MATCH STANDING SEAM ROOF FINISH. INSTALL PER MANUFACTURER SPECIFICATIONS
7. EXISTING HEADER / KEYSTONE, PAINTED (SEE SECTION DETAILS)
8. EXISTING WINDOWS TO BE PAINTED WITH APPLIED MUNTIN GRIDS. MUNTIN APPLICATION TO MATCH EXISTING CONFIGURATION
9. FIBER CEMENT PANELING AND TRIM (SMOOTH), PAINTED
10. 2" x 4 1/2" ALUMINUM STOREFRONT SYSTEM w/ 1" CLEAR INSULATED GLASS AND INTERIOR / EXTERIOR MUNTINS.
11. ALUM. FULL LITE STOREFRONT ENTRY DOOR
12. PRE-ENGINEERED METAL CANOPY WITH DIAGONAL BRACING, PAINTED
13. FIBER CEMENT BAND, PTD (SEE SECTION DETAILS). HEIGHT TO MATCH DEMOLISHED EURETHANE MOLDING BAND (SEE SECTION DETAILS)
14. EXISTING MASONRY, PAINTED
15. EXISTING MECHANICAL LOUVER, PTD TO MATCH ADJACENT PAINTED MASONRY
16. 2" x 4 1/2" ALUMINUM STOREFRONT SYSTEM w/ 1" CLEAR INSULATED GLASS AND EXTERIOR MUNTINS. PROVIDE EXTERIOR GRADE TRANSLUCENT FILM ON GLASS
17. EXISTING WOOD PANEL AND TRIM TO BE PAINTED
18. DECORATIVE URETHANE (FYPON) MOLDING. HEIGHT TO MATCH DEMOLISHED DECORATIVE MOLDING
19. EXSITING HOLLOW METAL DOOR AND FRAME TO BE PAINTED
20. WALL MOUNTED LINEAR UP LIGHTING ABOVE METAL CANOPY
21. CANOPY MOUNTED PREFINISHED LASER CUT ALUMINUM SIGNAGE
22. EXISTING STONE SILL TO BE PAINTED
23. ALL EXISTING DECORATIVE MOLDING, TRIM GUTTERS AND DOWNSPOUTS TO BE PAINTED
24. FULL LITE METAL FRENCH DOORS WITH EXTERIOR AND INTERIOR MUNTINS TO MATCH ADJACENT WINDOWS.
25. NEW MASONRY INFILL, PAINTED
26. EXISTING WALL MOUNTED CT CABINET TO REMAIN
27. EXISTING WALL MOUNTED ELECTRICAL METER TO REMAIN

DEMOLITION ELEVATION CODED NOTES

1. EXISTING URETHANE (FYPON) MECHANICAL SCREEN RAILING TO BE REMOVED IN PREPARATION FOR NEW SCREEN INFILL. PATCH AND REPAIR ROOFING AT ATTACHMENT LOCATIONS AS NECESSARY
2. EXISTING DIMENSIONAL ASPHALT SHINGLE ROOFING TO BE REMOVED IN PREPARATION FOR NEW ROOFING. REPLACE ANY DAMAGED ROOF SHEATHING AS NECESSARY
3. EXISTING DECORATIVE URETHANE (FYPON) MOLDING TO BE REMOVED IN PREPARATION FOR NEW DECORATIVE MOLDING
4. EXISTING ROOF DORMER, TRIM, MOLDING, DECORATIVE CREST TO BE REMOVED IN PREPARATION FOR NEW ROOFING TO MATCH EXISTING ROOF SLOPE. REPLACE ANY DAMAGED ROOF SHEATHING OR INSTALL NEW ROOF SHEATHING AS NEEDED TO MATCH EXISTING THICKNESS IN PREPARATION FOR NEW ROOF
5. EXISTING GUTTER TO BE REMOVED IN PREPARATION FOR NEW GUTTER
6. EXISTING DOWNSPOUT TO BE REMOVED IN PREPARATION FOR NEW DECORATIVE TRIM AND DOWNSPOUT
7. EXISTING LOWER PORTION OF DECORATIVE URETHANE (FYPON) MOLDING TO BE REMOVEDIN PREPARATION FOR NEW DECORATIVE MOLDING
8. EXISTING COMPOSITE WINDOW SHUTTERS TO BE REMOVED. PATCH AND REPAIR MASONRY AS NEEDED IN PREPARATION FOR PAINTING MASONRY
9. EXISTING URETHANE (FYPON) PILASTERS, DECORATIVE TRIM AND SIGNAGE. PATCH AND REPAIR MASONRY BEHIND TO BE REMOVED IN PREPARATION FOR PAINTING MASONRY
10. EXISTING DOOR, FRAME, WINDOW SIDELIGHTS, ARCHED WINDOW AND MASONRY ARCH TO BE REMOVED IN PREPARATION FOR NEW INFILL. PROVIDE TEMPORARY SHORING AS NECESSARY PRIOR TO INSTALLATION OF NEW INFILL
11. EXISTING WALL MOUNTED SCONCE LIGHTING TO BE REMOVED. PATCH AND REPAIR AS NECESSARY FOR NEW WALL MOUNTED SCONCE LIGHTING
12. EXISTING URETHANE (FYPON) WRAPPED STRUCTURAL COLUMNS, BALCONY, RAILING AND DECORATIVE TRIM TO BE REMOVED. PATCH AND REPAIR MASONRY AT BUILDING FACE IN PREPARATION FOR EXPOSED PAINTED MASONRY
13. EXISTING BUILDING MOUNTED DIMENSIONAL SIGNAGE TO BE REMOVED. PATCH AND REPAIR AS NECESSARY IN PREPARATION FOR EXPOSED PAINTED MASONRY
14. EXISTING WINDOW AND WOOD PANEL BELOW TO BE REMOVED IN PREPARATION FOR NEW INFILL FRENCH DOORS
15. EXISTING WALL MOUNTED CT CABINET TO REMAIN
16. EXISTING WALL MOUNTED ELECTRICAL METER TO REMAIN

CITY OF WORTHINGTON
DRAWING NO. ARB 0043-2023
DATE 05/26/2023

BEAN
J. CARTER BEAN ARCHITECT
4200 NORTH HIGH STREET
SUITE 201 COLUMBUS
OHIO 43214
TEL 614 262 5544
FAX 614 262 2327

STATE OF OHIO
J. CARTER BEAN
1015234
REGISTERED ARCHITECT

J. CARTER BEAN, LICENSE #1015234
EXPIRATION DATE: 12/31/2023

COPYRIGHT 2021
ALL DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF J CARTER BEAN ARCHITECT AND MAY NOT BE USED, DUPLICATED OR ALTERED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT

WILCOX OFFICE BUILDING

7000 N HIGH STREET, WORTHINGTON, OHIO 43085

FOR

WILCOX COMMUNITIES

250 W OLD WILSON BRIDGE RD SUITE 140, WORTHINGTON, OH 43085

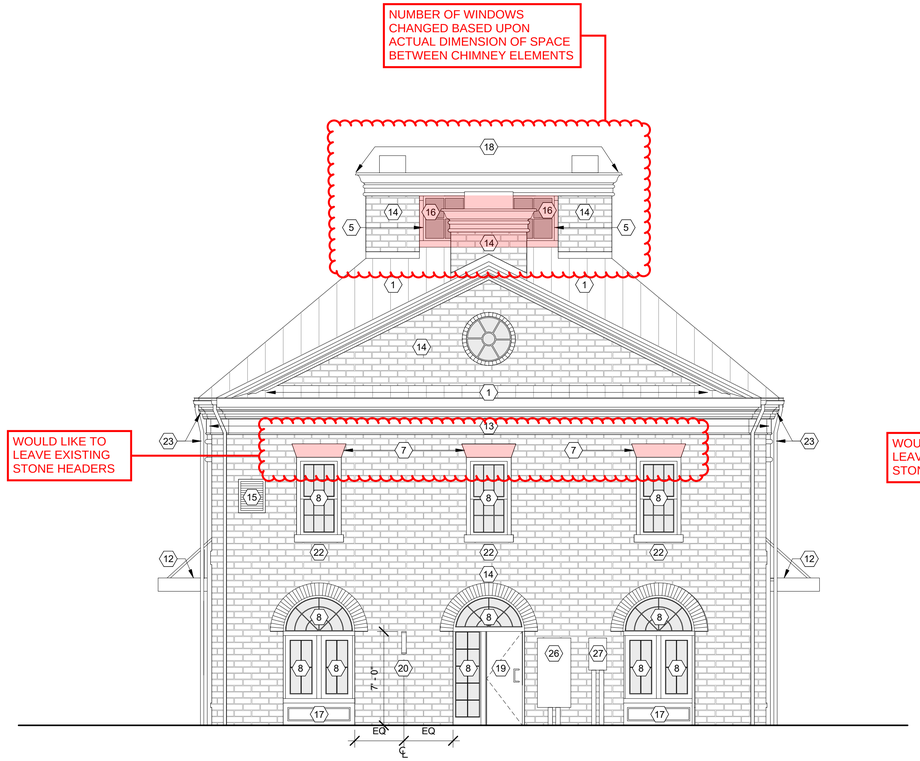
No.	Date	Description
	04.14.23	CD PROGRESS

DRAWING TITLE
DEMOLITION AND PROPOSED EXTERIOR ELEVATIONS

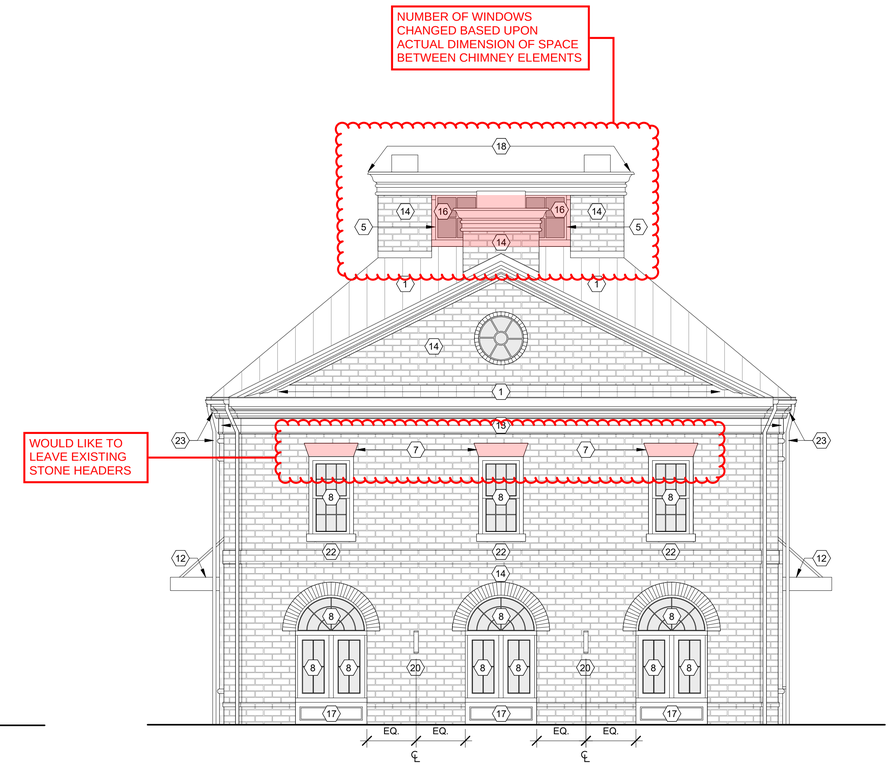
DRAWING NUMBER
A-2.2

BEAN\Project Number

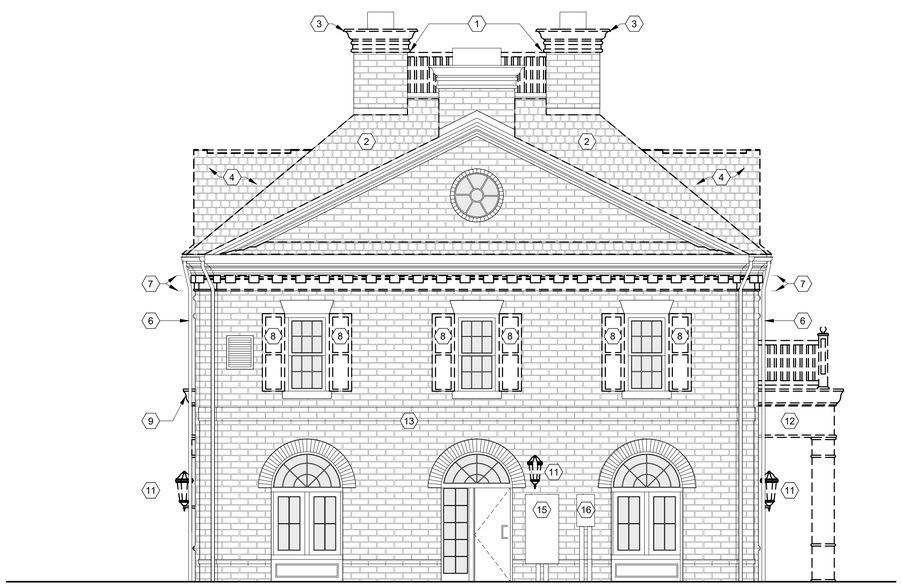
4/17/2023 3:20:48 PM E:\548351\Users\Administrator\Desktop\Wilcox_7000 N. High\Interior Conceptual Design_CD_2023_04_10.rvt



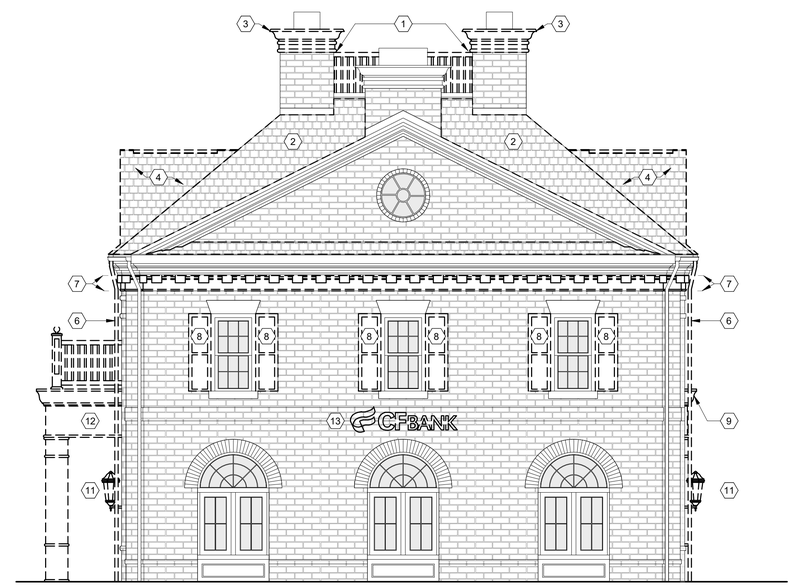
4 PROPOSED SOUTH EXTERIOR ELEVATION
3/16" = 1'-0"



3 PROPOSED NORTH EXTERIOR ELEVATION
3/16" = 1'-0"



2 DEMOLITION SOUTH EXTERIOR ELEVATION
3/16" = 1'-0"



1 DEMOLITION NORTH EXTERIOR ELEVATION
3/16" = 1'-0"

CITY OF WORTHINGTON

DRAWING NO. ARB 0043-2023

DATE 05/26/2023

ELEVATION CODED NOTES

1. PREFINISHED STANDING SEAM METAL ROOF, INTER-LOCK IL20 - 24 GA. - SMOOTH
2. OGEE GUTTER (24 GA.) TO MATCH DEMOLISHED SIZE, PAINTED
3. 4X3 METAL (24 GA.) DOWNSPOUT TO MATCH DEMOLISHED SIZE, HOLD TIGHT TO FACE OF CONSTRUCTION, PAINTED
4. EXTERIOR WALL MOUNTED UP / DOWN SCONCE LIGHT FIXTURE
5. FIBER CEMENT PANEL SIDING AND TRIM (SMOOTH FINISH), PAINTED
6. CONTINUOUS METAL SNOW RAIL TO MATCH STANDING SEAM ROOF FINISH. INSTALL PER MANUFACTURER SPECIFICATIONS
7. EXISTING HEADER / KEYSTONE, PAINTED (SEE SECTION DETAILS)
8. EXISTING WINDOWS TO BE PAINTED WITH APPLIED MUNTIN GRIDS. MUNTIN APPLICATION TO MATCH EXISTING CONFIGURATION
9. FIBER CEMENT PANELING AND TRIM (SMOOTH), PAINTED
10. 2" x 4 1/2" ALUMINUM STOREFRONT SYSTEM w/ 1" CLEAR INSULATED GLASS AND INTERIOR / EXTERIOR MUNTINS.
11. ALUM. FULL LITE STOREFRONT ENTRY DOOR
12. PRE-ENGINEERED METAL CANOPY WITH DIAGONAL BRACING, PAINTED
13. FIBER CEMENT BAND, PTD (SEE SECTION DETAILS). HEIGHT TO MATCH DEMOLISHED EURETHANE MOLDING BAND (SEE SECTION DETAILS)
14. EXISTING MASONRY, PAINTED
15. EXISTING MECHANICAL LOUVER, PTD TO MATCH ADJACENT PAINTED MASONRY
16. 2" x 4 1/2" ALUMINUM STOREFRONT SYSTEM w/ 1" CLEAR INSULATED GLASS AND EXTERIOR MUNTINS. PROVIDE EXTERIOR GRADE TRANSLUCENT FILM ON GLASS
17. EXISTING WOOD PANEL AND TRIM TO BE PAINTED
18. DECORATIVE URETHANE (FYPON) MOLDING. HEIGHT TO MATCH DEMOLISHED DECORATIVE MOLDING
19. EXSITING HOLLOW METAL DOOR AND FRAME TO BE PAINTED
20. WALL MOUNTED LINEAR UP LIGHTING ABOVE METAL CANOPY
21. CANOPY MOUNTED PREFINISHED LASER CUT ALUMINUM SIGNAGE
22. EXISTING STONE SILL TO BE PAINTED
23. ALL EXISTING DECORATIVE MOLDING, TRIM GUTTERS AND DOWNSPOUTS TO BE PAINTED
24. FULL LITE METAL FRENCH DOORS WITH EXTERIOR AND INTERIOR MUNTINS TO MATCH ADJACENT WINDOWS.
25. NEW MASONRY INFILL, PAINTED
26. EXISTING WALL MOUNTED CT CABINET TO REMAIN
27. EXISTING WALL MOUNTED ELECTRICAL METER TO REMAIN

DEMOLITION ELEVATION CODED NOTES

1. EXISTING URETHANE (FYPON) MECHANICAL SCREEN RAILING TO BE REMOVED IN PREPARATION FOR NEW SCREEN INFILL. PATCH AND REPAIR ROOFING AT ATTACHMENT LOCATIONS AS NECESSARY
2. EXISTING DIMENSIONAL ASPHALT SHINGLE ROOFING TO BE REMOVED IN PREPARATION FOR NEW ROOFING. REPLACE ANY DAMAGED ROOF SHEATHING AS NECESSARY
3. EXISTING DECORATIVE URETHANE (FYPON) MOLDING TO BE REMOVED IN PREPARATION FOR NEW DECORATIVE MOLDING
4. EXISTING ROOF DORMER, TRIM, MOLDING, DECORATIVE CREST TO BE REMOVED IN PREPARATION FOR NEW ROOFING TO MATCH EXISTING ROOF SLOPE. REPLACE ANY DAMAGED ROOF SHEATHING OR INSTALL NEW ROOF SHEATHING AS NEEDED TO MATCH EXISTING THICKNESS IN PREPARATION FOR NEW ROOF
5. EXISTING GUTTER TO BE REMOVED IN PREPARATION FOR NEW GUTTER
6. EXISTING DOWNSPOUT TO BE REMOVED IN PREPARATION FOR NEW DECORATIVE TRIM AND DOWNSPOUT
7. EXISTING LOWER PORTION OF DECORATIVE URETHANE (FYPON) MOLDING TO BE REMOVEDIN PREPARATION FOR NEW DECORATIVE MOLDING
8. EXISTING COMPOSITE WINDOW SHUTTERS TO BE REMOVED. PATCH AND REPAIR MASONRY AS NEEDED IN PREPARATION FOR PAINTING MASONRY
9. EXISTING URETHANE (FYPON) PILASTERS, DECORATIVE TRIM AND SIGNAGE. PATCH AND REPAIR MASONRY BEHIND TO BE REMOVED IN PREPARATION FOR PAINTING MASONRY
10. EXISTING DOOR, FRAME, WINDOW SIDELIGHTS, ARCHED WINDOW AND MASONRY ARCH TO BE REMOVED IN PREPARATION FOR NEW INFILL. PROVIDE TEMPORARY SHORING AS NECESSARY PRIOR TO INSTALLATION OF NEW INFILL
11. EXISTING WALL MOUNTED SCONCE LIGHTING TO BE REMOVED. PATCH AND REPAIR AS NECESSARY FOR NEW WALL MOUNTED SCONCE LIGHTING
12. EXISTING URETHANE (FYPON) WRAPPED STRUCTURAL COLUMNS, BALCONY, RAILING AND DECORATIVE TRIM TO BE REMOVED. PATCH AND REPAIR MASONRY AT BUILDING FACE IN PREPARATION FOR EXPOSED PAINTED MASONRY
13. EXISTING BUILDING MOUNTED DIMENSIONAL SIGNAGE TO BE REMOVED. PATCH AND REPAIR AS NECESSARY IN PREPARATION FOR EXPOSED PAINTED MASONRY
14. EXISTING WINDOW AND WOOD PANEL BELOW TO BE REMOVED IN PREPARATION FOR NEW INFILL FRENCH DOORS
15. EXISTING WALL MOUNTED CT CABINET TO REMAIN
16. EXISTING WALL MOUNTED ELECTRICAL METER TO REMAIN

BEAN
J. CARTER BEAN
24 NORTH HIGH STREET
SUITE 201 COLUMBUS
OHIO 43215
T 614 262 5611
FX 614 262 2327

STATE OF OHIO
J. CARTER BEAN
1015234
REGISTERED ARCHITECT

J. CARTER BEAN, LICENSE #1015234
EXPIRATION DATE: 12/31/2023

COPYRIGHT 2021
ALL DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF J CARTER BEAN ARCHITECT AND MAY NOT BE USED, DUPLICATED OR ALTERED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT

WILCOX OFFICE BUILDING
7000 N HIGH STREET, WORTHINGTON, OHIO 43085
FOR
WILCOX COMMUNITES
250 W OLD WILSON BRIDGE RD SUITE 140, WORTHINGTON, OH 43085

No.	Date	Description
	04.14.23	CD PROGRESS

DRAWING TITLE
DEMOLITION AND PROPOSED EXTERIOR ELEVATIONS

DRAWING NUMBER
A-2.3

BEAN Project Number

4/17/2023 3:20:52 PM E:\64835\Users\Administrator\Desktop\Wilcox_7000 N. High\Interior Conceptual Design_CD_2023_04_10.rvt

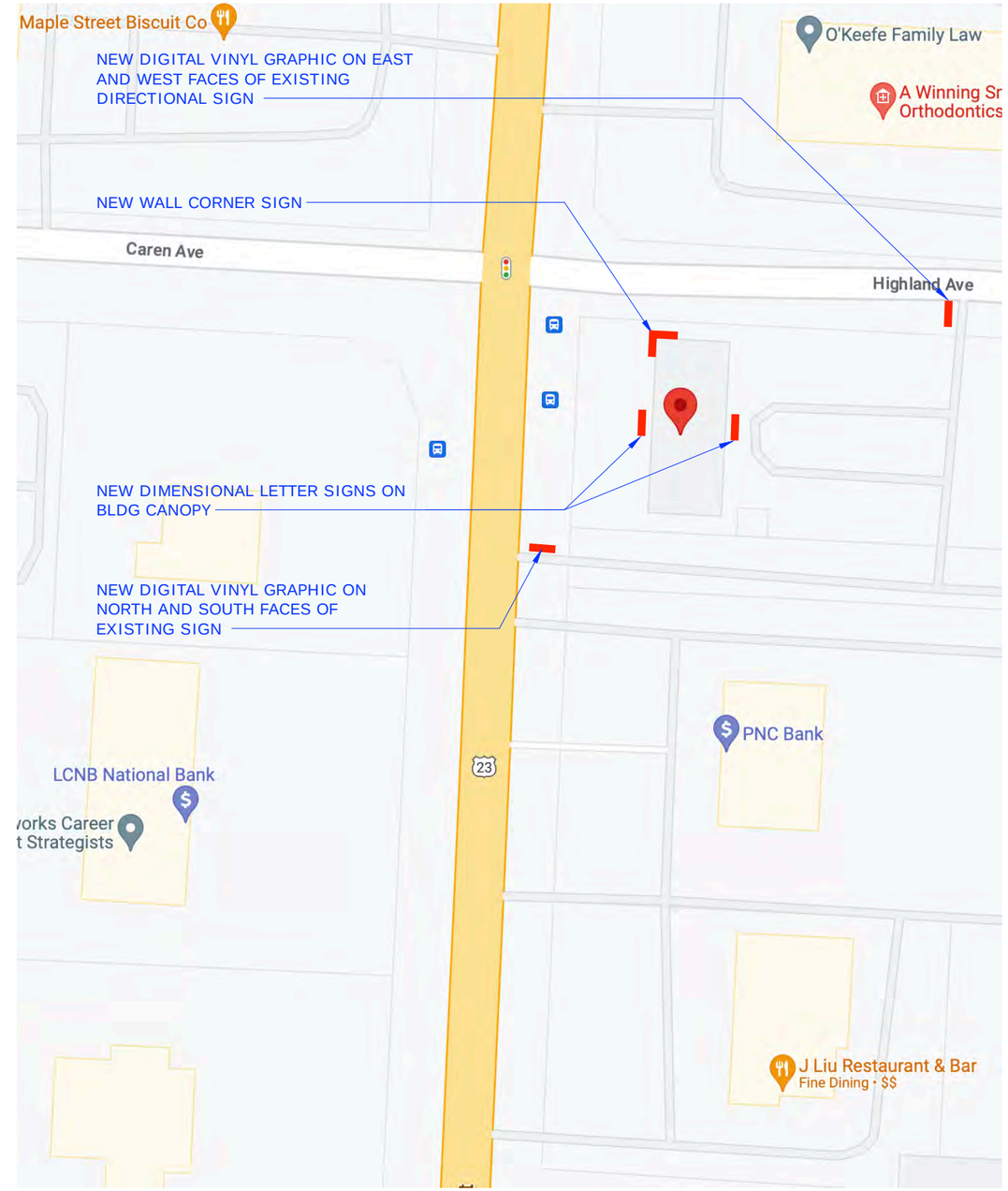
GENERAL NOTES

1. ALL SIGN MESSAGING/BRANDING TO BE PER OWNER-PROVIDED CONTENT. IF APPLICABLE
2. SIGN MOUNTING STRUCTURE DESIGN PER CURRENT EDITION OF COSA

COLOR:
PMS BLACK C
FINISH: SATIN

COLOR:
PMS WHITE C
FINISH: SATIN

COLOR:
PMS COOL GREY 8 C
FINISH: SATIN



CITY OF WORTHINGTON

DRAWING NO. ARB 0043-2023

DATE 05/26/2023

1 SITE PLAN
SCALE: NONE

/Users/baykoulabdara/Documents/PROJECTS/_023_026_WILCOX

© Copyright 2023 Columbus Sign Company
All rights reserved. The designs and means and methods herein are the intellectual properties of Columbus Sign Company. No part of the contents of this work may be reproduced or transmitted in any form or by any means, electronic or mechanical (including photocopying, recording, or any information retrieval system), without the written approval of Columbus Sign Company.

Columbus Sign Co.
SINCE 1911

EXTERIOR BUILDING SIGNS FABRICATION DOCUMENT
05/26/2023

Project address:
WILCOX COMMUNITIES
7000 N. HIGH ST.
WORTHINGTON, OH 43085

Project Layout
○ **Approved**
○ **Approved as Noted**

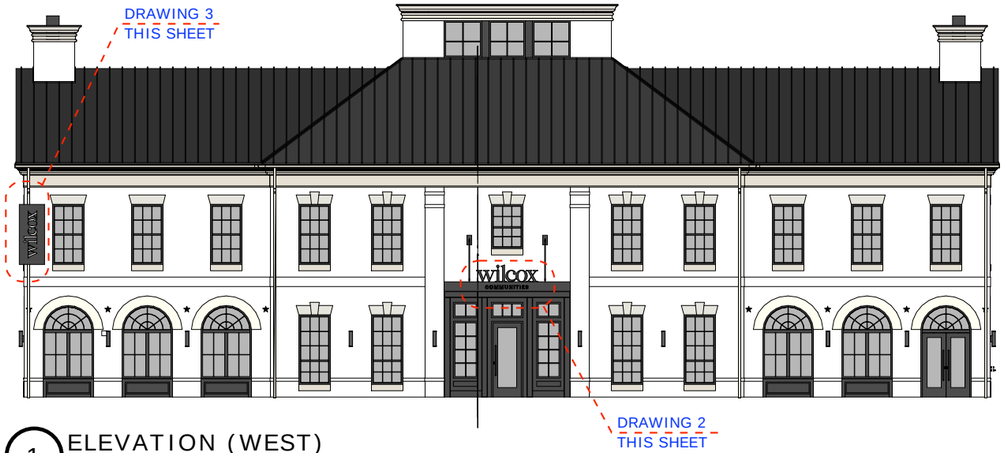
Approval Signature

Sales: RS
Design: BAY
Dwg: #23_026

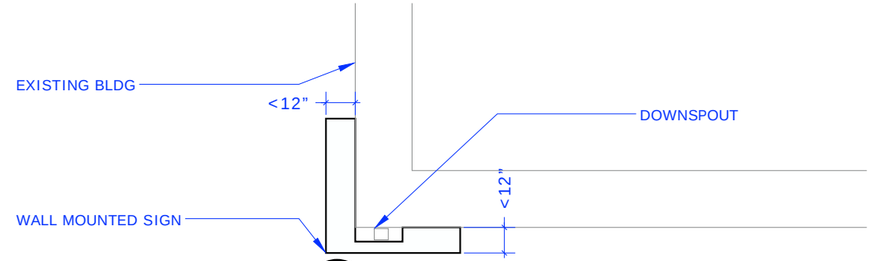
UL:
☐ YES ■ NO
INSTALL PER NEC 600
-GROUNDING
-BONDING

CS

NON-ILLUMINATED BUILDING SIGNS



1 ELEVATION (WEST)
SCALE: N/A

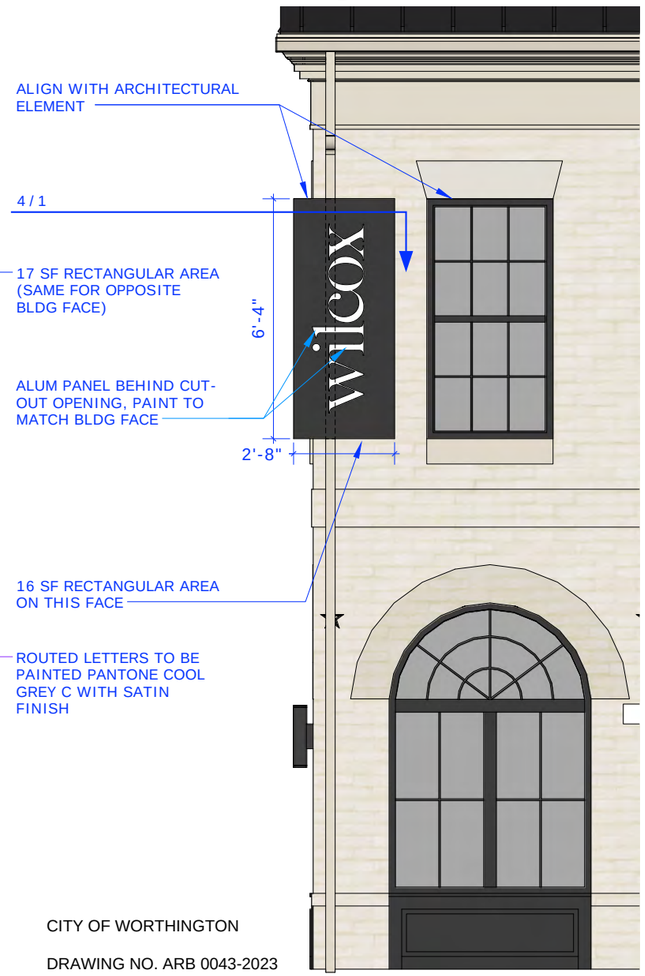


4 PLAN DETAIL AT WALL SIGN
SCALE: N/A

ZONE: C3

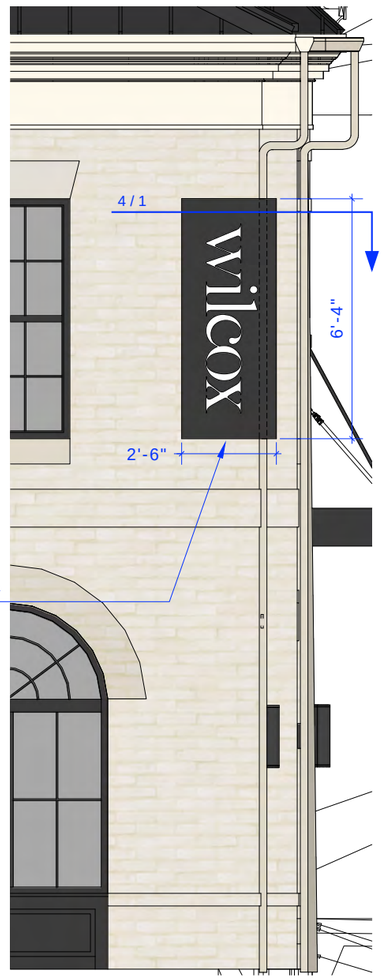
SAME SIGN TYPE AND DIMENSIONS ON OPPOSITE FACE OF BLDG

2 ENLARGED ELEVATION AT ENTRANCE
SCALE: N/A



TOTAL AREA: 32 SF

WEST FACADE



NORTH FACADE

3 ENLARGED ELEVATION AT NW CORNER
SCALE: N/A

CITY OF WORTHINGTON

DRAWING NO. ARB 0043-2023

DATE 05/26/2023

© Copyright 2023 Columbus Sign Company
All rights reserved. The designs and means and methods herein are the intellectual properties of Columbus Sign Company. No part of the contents of this work may be reproduced or transmitted in any form or by any means, electronic or mechanical (including photocopying, recording, or any information retrieval system), without the written approval of Columbus Sign Company.
/Users/baykoulabdara/Documents/PROJECTS/_023_026_WILCOX

Columbus Sign Co. SINCE 1911

EXTERIOR BUILDING SIGNS FABRICATION DOCUMENT
05/26/2023

Project address:
WILCOX COMMUNITIES
7000 N. HIGH ST.
WORTHINGTON, OH 43085

Project Layout
○ **Approved**
○ **Approved as Noted**

Approval Signature

Sales: RS
Design: BAY
Dwg: #23_026

UL:
☐ YES ■ NO
INSTALL PER NEC 600
-GROUNDING
-BONDING

2

NON-ILLUMINATED SIGNS RENDERINGS

1 RENDERED VIEW AT NW CORNER
SCALE: N/A

2 RENDERED VIEW AT WEST ENTRANCE
SCALE: N/A

CITY OF WORTHINGTON

DRAWING NO. ARB 0043-2023

DATE 05/26/2023

/Users/baykoulabdara/Documents/PROJECTS/_023_026_WILCOX

© Copyright 2023 Columbus Sign Company
All rights reserved. The designs and means and methods herein are the intellectual properties of Columbus Sign Company. No part of the contents of this work may be reproduced or transmitted in any form or by any means, electronic or mechanical (including photocopying, recording, or any information retrieval system), without the written approval of Columbus Sign Company.

Columbus Sign Co. SINCE 1911

EXTERIOR BUILDING SIGNS FABRICATION DOCUMENT
05/26/2023

Project address:
WILCOX COMMUNITIES
7000 N. HIGH ST.
WORTHINGTON, OH 43085

Project Layout
○ **Approved**
○ **Approved as Noted**

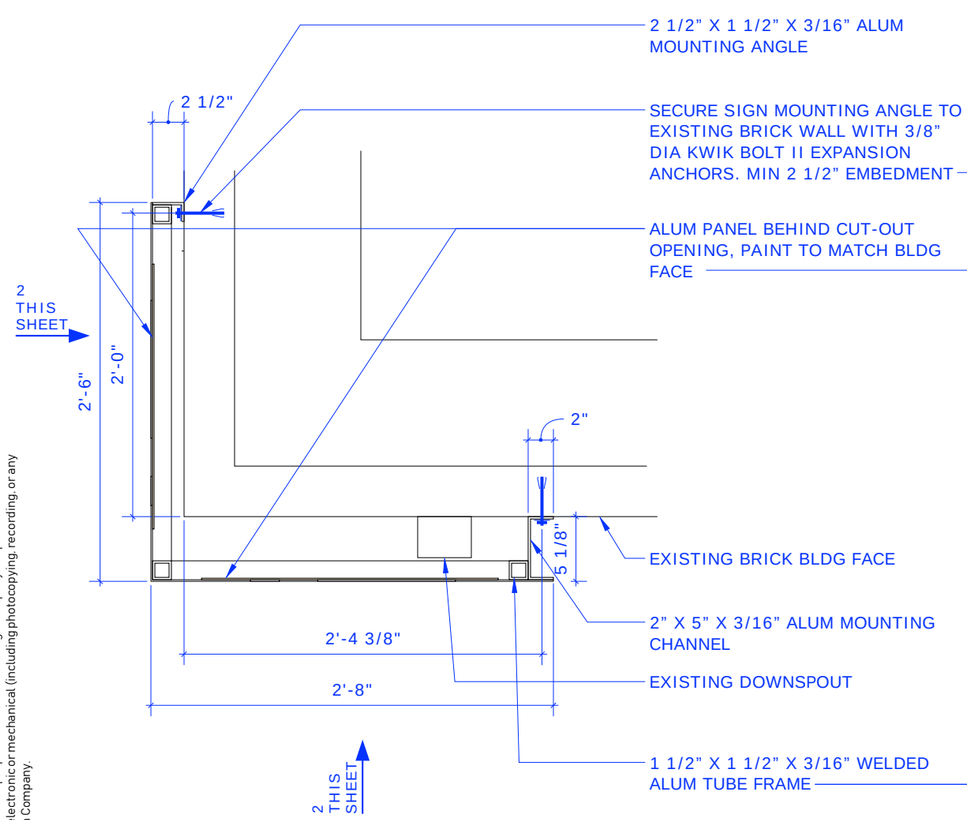
Approval Signature

Sales: RS
Design: BAY
Dwg: #23_026

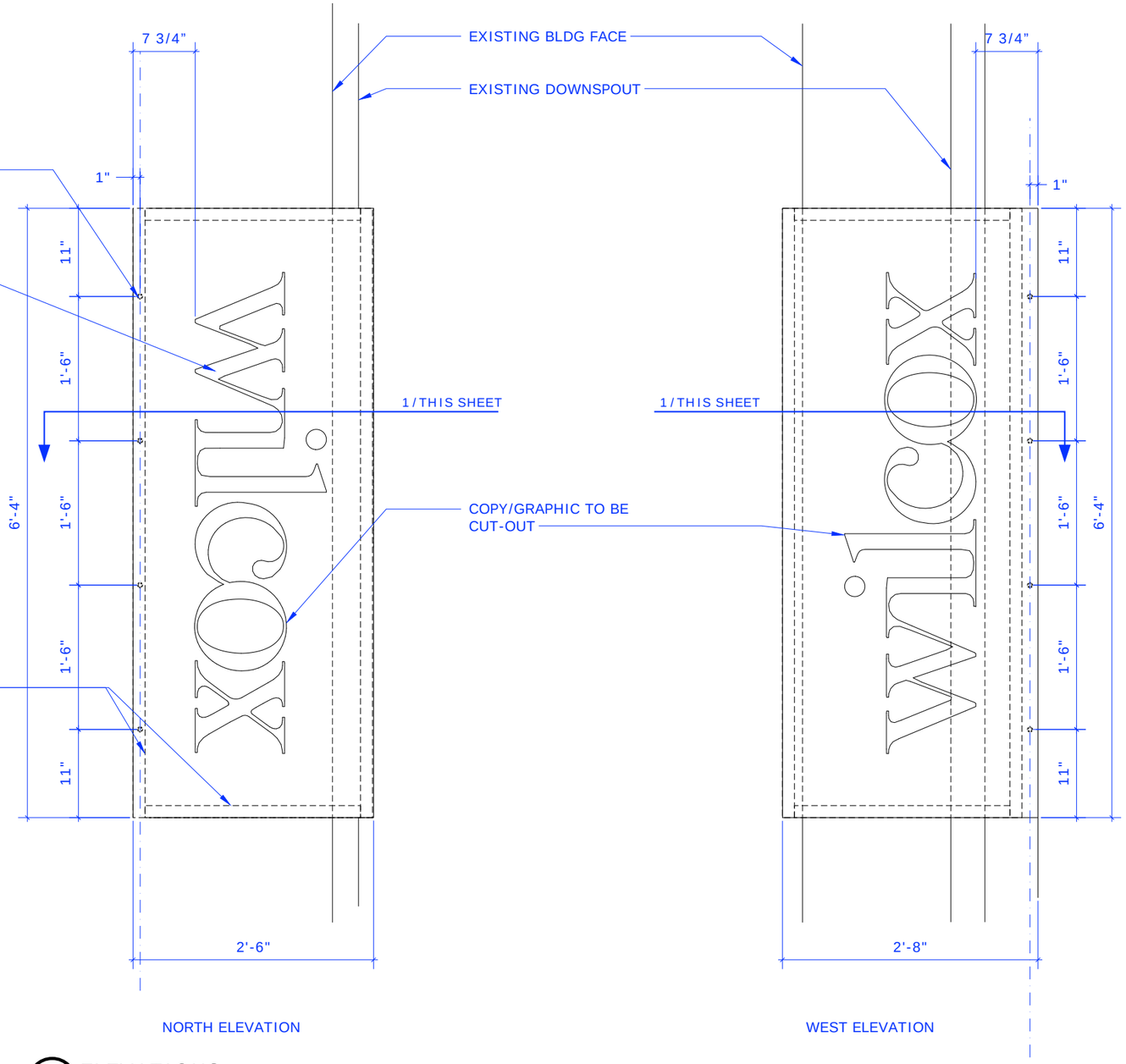
UL:
☐ YES ■ NO
INSTALL PER
NEC 600
-GROUNDING
-BONDING

3

CORNER SIGN DETAILS



1 PLAN DETAIL
SCALE: N/A



2 ELEVATIONS
SCALE: N/A

CITY OF WORTHINGTON

DRAWING NO. ARB 0043-2023

DATE 05/26/2023

© Copyright 2023 Columbus Sign Company
All rights reserved. The designs and means and methods herein are the intellectual properties of Columbus Sign Company. No part of the contents of this work may be reproduced or transmitted in any form or by any means, electronic or mechanical (including photocopying, recording, or any information retrieval system), without the written approval of Columbus Sign Company.
/Users/baykoulabdara/Documents/PROJECTS/_023_026_WILCOX

Columbus Sign Co. SINCE 1911

EXTERIOR BUILDING SIGNS FABRICATION DOCUMENT
05/26/2023

Project address:
WILCOX COMMUNITIES
7000 N. HIGH ST.
WORTHINGTON, OH 43085

Project Layout
○ Approved
○ Approved as Noted

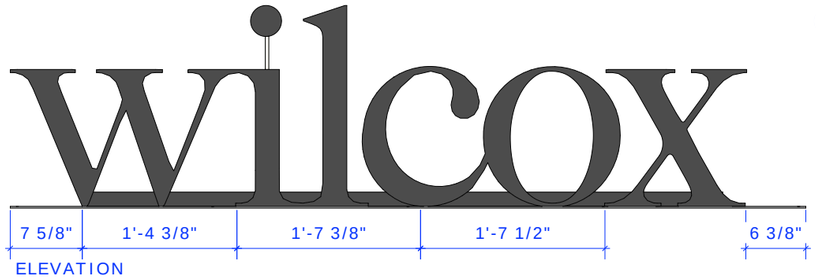
Approval Signature

Sales: RS
Design: BAY
Dwg: #23_026

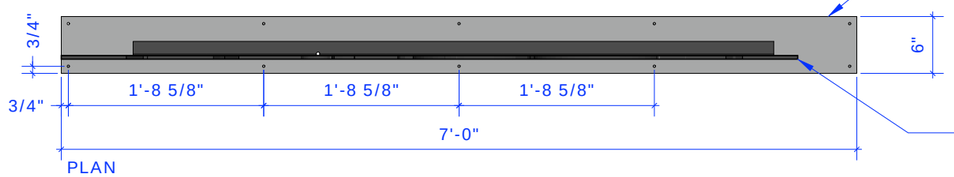
UL:
☐ YES ■ NO
INSTALL PER NEC 600
-GROUNDING
-BONDING

COLUMBUS SIGN COMPANY
1515 E. Fifth Ave. Columbus, OH 43219 P: (614)252-3133 F: (614-252-2494) WWW.COLUMBUSSIGN.COM

CANOPY SIGN DETAIL
QTY: 2



ELEVATION



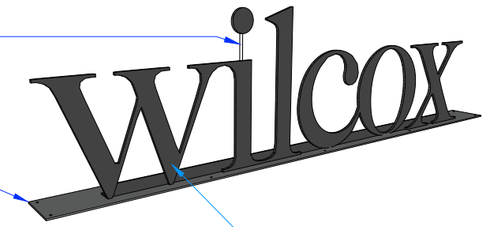
PLAN

3 MOUNTING PLATE DETAILS
SCALE: N/A

VISIBLE SUPPORT POST TO BE PAINTED TO MATCH PRIMARY BLDG FACADE COLOR

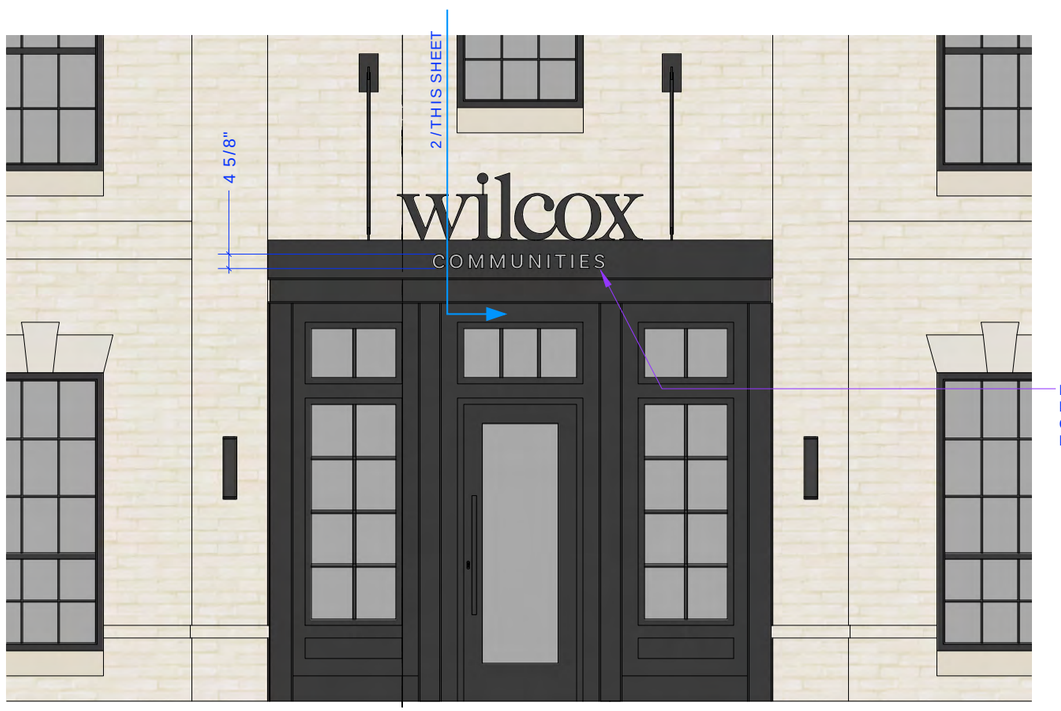
3/16" ALUM MOUNTING PLATE, PAINT PMS BLACK WITH SATIN FINISH (SHOWN LIGHT FOR DRAWING CLARITY ONLY)

3/8" NON-ILLUMINATED DIMENSIONAL LETTERS FASTENED TO MOUNTING ANGLE. FACE AND RETURNS PAINTED BLACK WITH SATIN FINISH



4 PERSPECTIVE VIEW OF CANOPY TOP LETTERS
SCALE: N/A

3/8" NON-ILLUMINATED DIMENSIONAL LETTERS FASTENED TO MOUNTING ANGLE. FACE AND RETURNS PAINTED BLACK WITH SATIN FINISH



ROUTED LETTERS TO BE PAINTED PANTONE COOL GREY C WITH SATIN FINISH

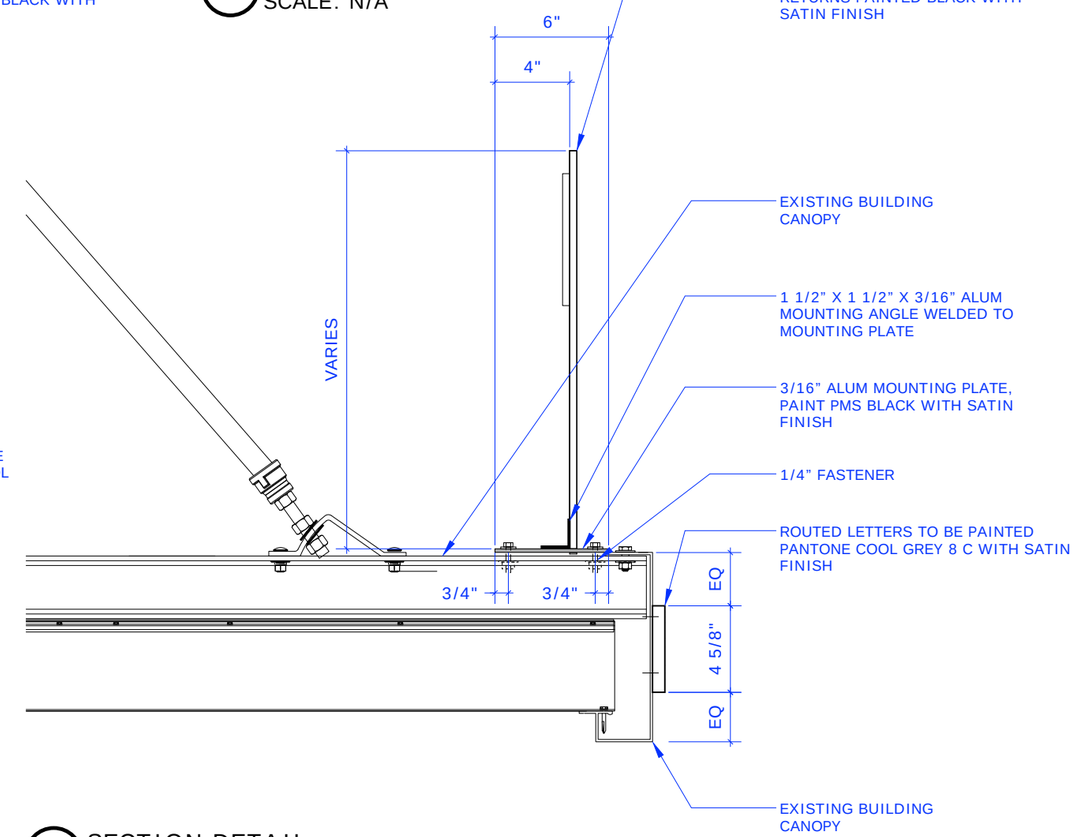
SAME SIGN TYPE AND DIMENSIONS ON OPPOSITE FACE OF BLDG

1 ENLARGED ELEVATION AT ENTRANCE
SCALE: N/A

CITY OF WORTHINGTON

DRAWING NO. ARB 0043-2023

DATE 05/26/2023



2 SECTION DETAIL
SCALE: N/A

© Copyright 2023 Columbus Sign Company
All rights reserved. The designs and means and methods herein are the intellectual properties of Columbus Sign Company. No part of the contents of this work may be reproduced or transmitted in any form or by any means, electronic or mechanical (including photocopying, recording, or any information retrieval system), without the written approval of Columbus Sign Company.
/Users/baykoulabdara/Documents/PROJECTS/_023_026_WILCOX

Columbus Sign Co. SINCE 1911

EXTERIOR BUILDING SIGNS FABRICATION DOCUMENT
05/26/2023

Project address:
WILCOX COMMUNITIES
7000 N. HIGH ST.
WORTHINGTON, OH 43085

Project Layout
○ **Approved**
○ **Approved as Noted**

Approval Signature

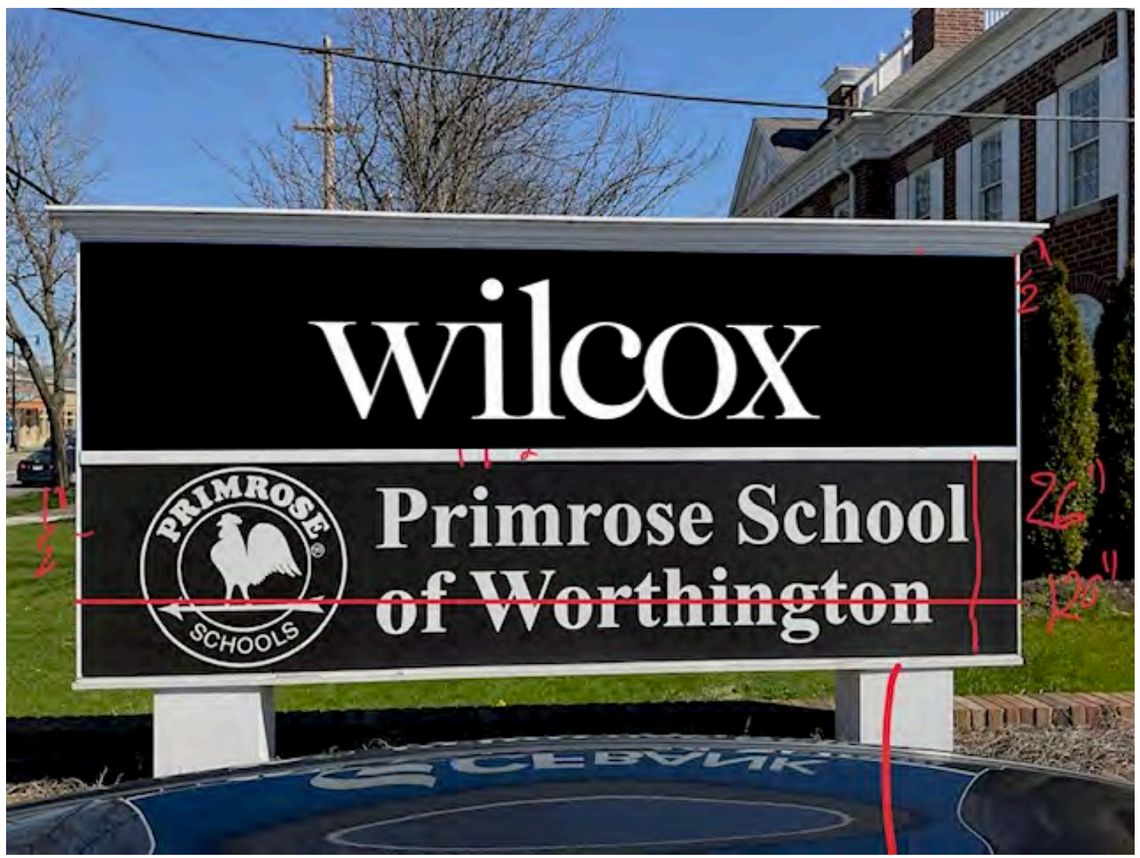
Sales: RS
Design: BAY
Dwg: #23_026

UL:
☐ YES ■ NO
INSTALL PER NEC 600
-GROUNDING
-BONDING

5

MONUMENT GRAPHIC

NEW DIGITAL VINYL PRINT APPLIED TO EXISTING SIGN FACES
QTY: 2 (1 PER EXISTING FACE)



CITY OF WORTHINGTON

DRAWING NO. ARB 0043-2023

DATE 05/26/2023

/Users/baykoulabdara/Documents/PROJECTS/_023_026_WILCOX

© Copyright 2023 Columbus Sign Company
All rights reserved. The designs and means and methods herein are the intellectual properties of Columbus Sign Company. No part of the contents of this work may be reproduced or transmitted in any form or by any means, electronic or mechanical (including photocopying, recording, or any information retrieval system), without the written approval of Columbus Sign Company.

Columbus Sign Co.
SINCE 1911

EXTERIOR BUILDING SIGNS
FABRICATION DOCUMENT
05/26/2023

Project address:
WILCOX COMMUNITIES
7000 N. HIGH ST.
WORTHINGTON, OH 43085

Project Layout
○ **Approved**
○ **Approved as Noted**

Approval Signature

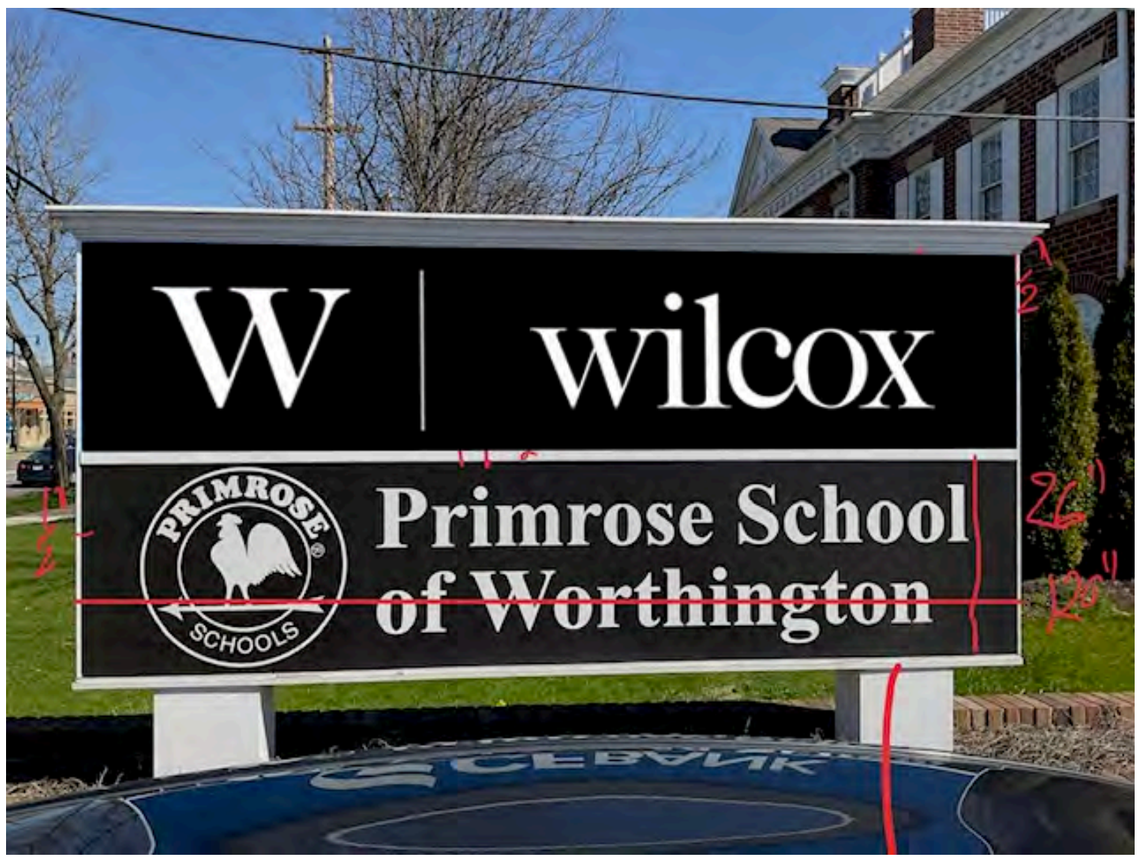
Sales: RS
Design: BAY
Dwg: #23_026

UL:
☐ YES ■ NO
INSTALL PER
NEC 600
-GROUNDING
-BONDING

6

MONUMENT GRAPHIC
OPTION B

NEW DIGITAL VINYL PRINT APPLIED TO EXISTING SIGN FACES
QTY: 2 (1 PER EXISTING FACE)



CITY OF WORTHINGTON

DRAWING NO. ARB 0043-2023

DATE 05/26/2023

/Users/baykoulabdara/Documents/PROJECTS/_023_026_WILCOX

© Copyright 2023 Columbus Sign Company
All rights reserved. The designs and means and methods herein are the intellectual properties of Columbus Sign Company. No part of the contents of this work may be reproduced or transmitted in any form or by any means, electronic or mechanical (including photocopying, recording, or any information retrieval system), without the written approval of Columbus Sign Company.

Columbus Sign Co.
SINCE 1911

EXTERIOR BUILDING SIGNS
FABRICATION DOCUMENT
05/26/2023

Project address:
WILCOX COMMUNITIES
7000 N. HIGH ST.
WORTHINGTON, OH 43085

Project Layout
○ **Approved**
○ **Approved as Noted**

Approval Signature

Sales: RS
Design: BAY
Dwg: #23_026

UL:
☐ YES ■ NO
INSTALL PER
NEC 600
-GROUNDING
-BONDING

6B

COLUMBUS SIGN COMPANY
1515 E. Fifth Ave. Columbus, OH 43219 P: (614)252-3133 F: (614-252-2494) WWW.COLUMBUSSIGN.COM

EAST FACE

WEST FACE

NEW DIGITAL VINYL PRINT APPLIED TO EXISTING SIGN FACES
QTY: 1 OF EACH

CITY OF WORTHINGTON

DRAWING NO. ARB 0043-2023

DATE 05/26/2023

/Users/baykoulabdara/Documents/PROJECTS/_023_026_WILCOX

© Copyright 2023 Columbus Sign Company
All rights reserved. The designs and means and methods herein are the intellectual properties of Columbus Sign Company. No part of the contents of this work may be reproduced or transmitted in any form or by any means, electronic or mechanical (including photocopying, recording, or any information retrieval system), without the written approval of Columbus Sign Company.

Columbus Sign Co.
SINCE 1911

EXTERIOR BUILDING SIGNS FABRICATION DOCUMENT
05/26/2023

Project address:
WILCOX COMMUNITIES
7000 N. HIGH ST.
WORTHINGTON, OH 43085

Project Layout
○ **Approved**
○ **Approved as Noted**

Approval Signature

Sales: RS
Design: BAY
Dwg: #23_026

UL:
☐ YES ■ NO
INSTALL PER
NEC 600
-GROUNDING
-BONDING

COLUMBUS SIGN COMPANY
1515 E. Fifth Ave. Columbus, OH 43219 P: (614)252-3133 F: (614-252-2494) WWW.COLUMBUSSIGN.COM

ARB & MPC APPLICATIONS
ARB 0035-2023 ADP 06-2023
2285 W. Dublin-Granville Rd. Unit 119

Plan Type: Architectural Review Board
Project:
App Date: 05/18/2023
Work Class: Certificate of Appropriateness
District: City of Worthington
Exp Date:
Status: In Review
Completed:
Valuation: $4,978.00
Approval
Expire Date:
Description: Tenant occupies 2 adjoining suites and would like to place a wall sign above each suite. Suite 119 is company name/logo(Eastway) and suite 120 is "Kitchen & Bath Showroom". 1.5" deep formed plastic letters and logo(wave).

Tenant occupies adjacent suites 119 & 120. We would like to put signage on the building above each suite. Logo and business name above 119 and "Kitchen Batch Showroom" above 120. Signs are 1.5" deep formed plastic logo/letter. stud mount flush to building wood facade.

Parcel:	100-006762 Main	**Address:**	2285 W Dublin-Granville Rd Suite: 119 Worthington, OH 43085 Main 2285 W Dublin-Granville Rd Suite: 120 Worthington, OH 43085	**Zone:**	C-2(Community Commercial)

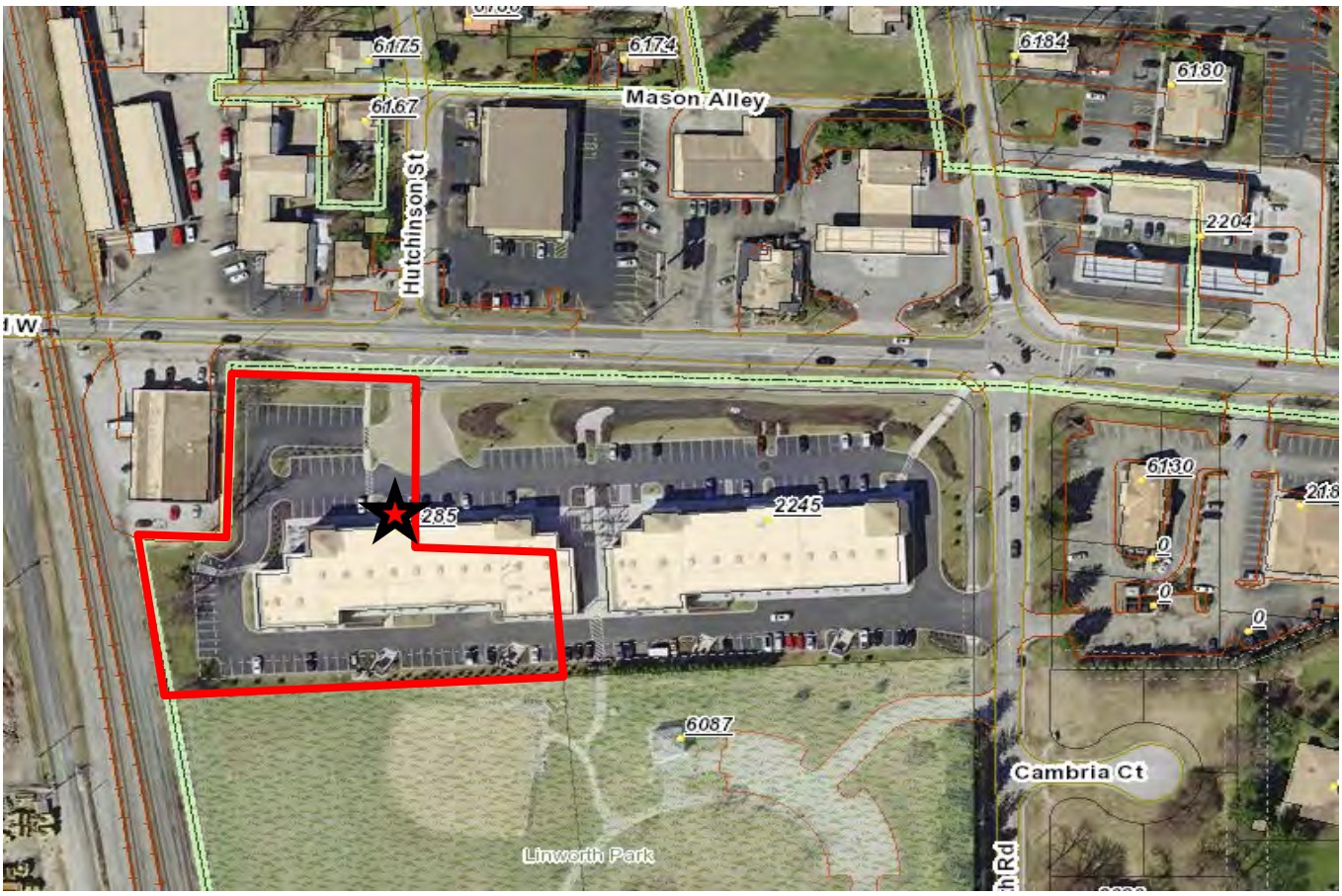
Owner
Linworth Plaza, LLC
16130 Ventura Blvd Suite 590
Encino, CA 61436

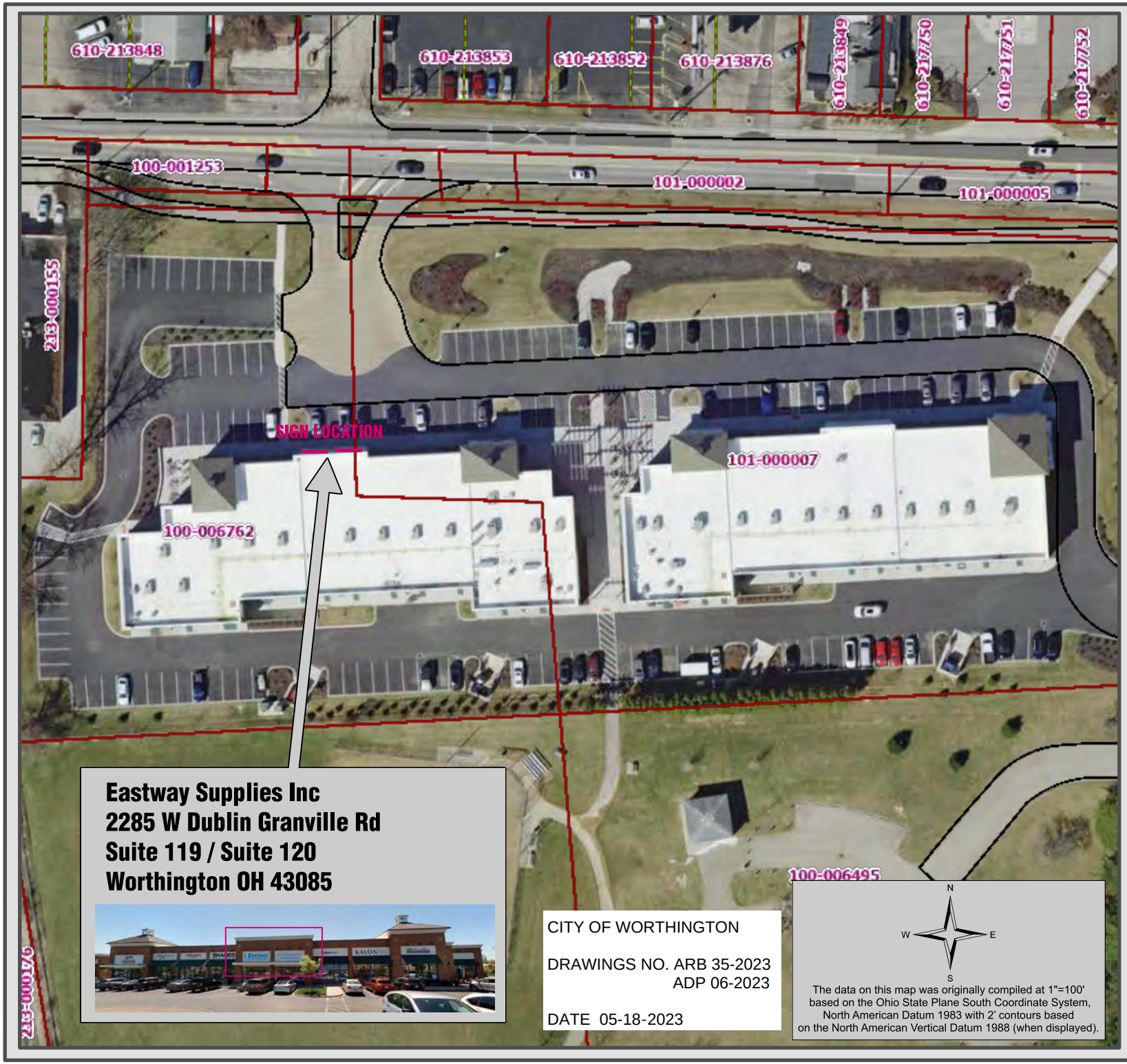
Applicant
Aaron Schlagbaum
6403 Nicholas Dr
Columbus, OH 43235
Business: 6147647446

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003955	Architectural Review Board	$5.00	$5.00
	Total for Invoice INV-00003955	$5.00	$5.00
	Grand Total for Plan	**$5.00**	**$5.00**

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003976	Amendment to Development Plan	$50.00	$50.00
	Total for Invoice INV-00003976	$50.00	$50.00
	Grand Total for Plan	**$50.00**	**$50.00**

2285 W. Dublin-Granville Rd.Unit 119





Franklin County Auditor's Office

Auditor
Michael Stinziano

Map Produced May 18, 2023

Planimetric Legend
Source: 2021 Aerial Photography

- Edge of Pavement
- Roadway Centerlines
- Railroad Centerlines
- Building Footprints
- Building Under Construction
- Creeks, Streams, Ditches
- Rivers & Ponds

Topographic Legend
Source: OSIP - 2019 LiDAR Collection

- Spot Elevation
- Index Contour
- Intermediate Contour

Appraisal Legend
Source: Franklin County Auditor & Engineer

- XXX-XXXXXX Parcel IDs
- 100 Parcel Dimensions
- 100 Lot Numbers
- 123 Main St Site Address
- Parcel Boundary
- Subdivision Boundary
- Condominium Boundary
- County Boundary
- City or Village Boundary
- Tax District Boundary
- School District Boundary
- Zip Code Boundary

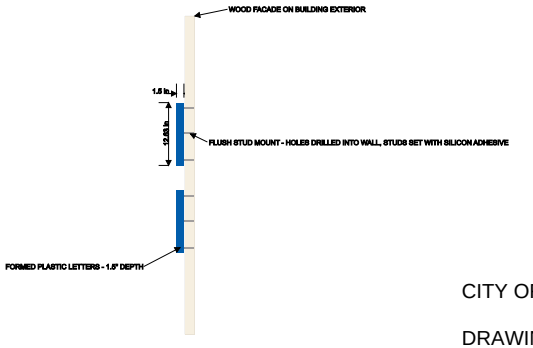
The information on this web site is prepared from the real property inventory maintained by the Franklin County Auditor's Office. Users of this data are notified that the primary information source should be consulted for verification of the information contained on this site. The county and vendors assume no legal responsibilities for the information contained on this site. Please notify the Franklin County Auditor's Real Estate Division of any discrepancies.

For scaled maps, please visit the parcel viewer at https://gis.franklincountyohio.gov/parcelviewer

MICHAEL STINZIANO
Franklin County Auditor
CONNECT. PROTECT. REASSESS.

1.5" deep formed plastic logo / letter, matte blue paint finish on letters, vinyl print detail on logo, flush stud mount with silicon adhesive

EXTERIOR BUILDING WALL PROFILE



CITY OF WORTHINGTON

DRAWINGS NO. ARB 35-2023
ADP 06-2023

DATE 05-18-2023

PROOF & PRODUCTION POLICY: Approval of this proof indicates that all SPELLING, PUNCTUATION, FONTS, COLORS, DIMENSIONS & GRAPHICS are correct and ready for production. Once the proof has been approved, any changes will result in additional fees. PLEASE REVIEW THIS PROOF CAREFULLY BEFORE APPROVING. **PLEASE SIGN and FAX to 614.798.0003 or EMAIL to custservice@nextdaysignscols.com**

This design concept is protected by US copyright law. Prior to sale or paid design fees all visual materials and specifications remain the property of Next Day Signs.

Customer:	Vanessa Glanzman
Company:	Eastway Supplies, Inc
Address:	2285 W Dublin Granville Rd, Suite 119 & 120
City:	Worthington
State/ZIP:	OH 43085
Phone:	614-252-0974
Email:	

Next Day SIGNS
NextDaySignsCols.com
P: 614.764.7446 F: 614.798.0003
6403 Nicholas Dr., Columbus, OH 43235

Salesperson:	Date:	Estimate:
aaron	5/18/2023	$

Customer Signature: *Date:*

Comments:

MPC APPLICATION
CU 02-2023
6121 Olentangy River Rd.

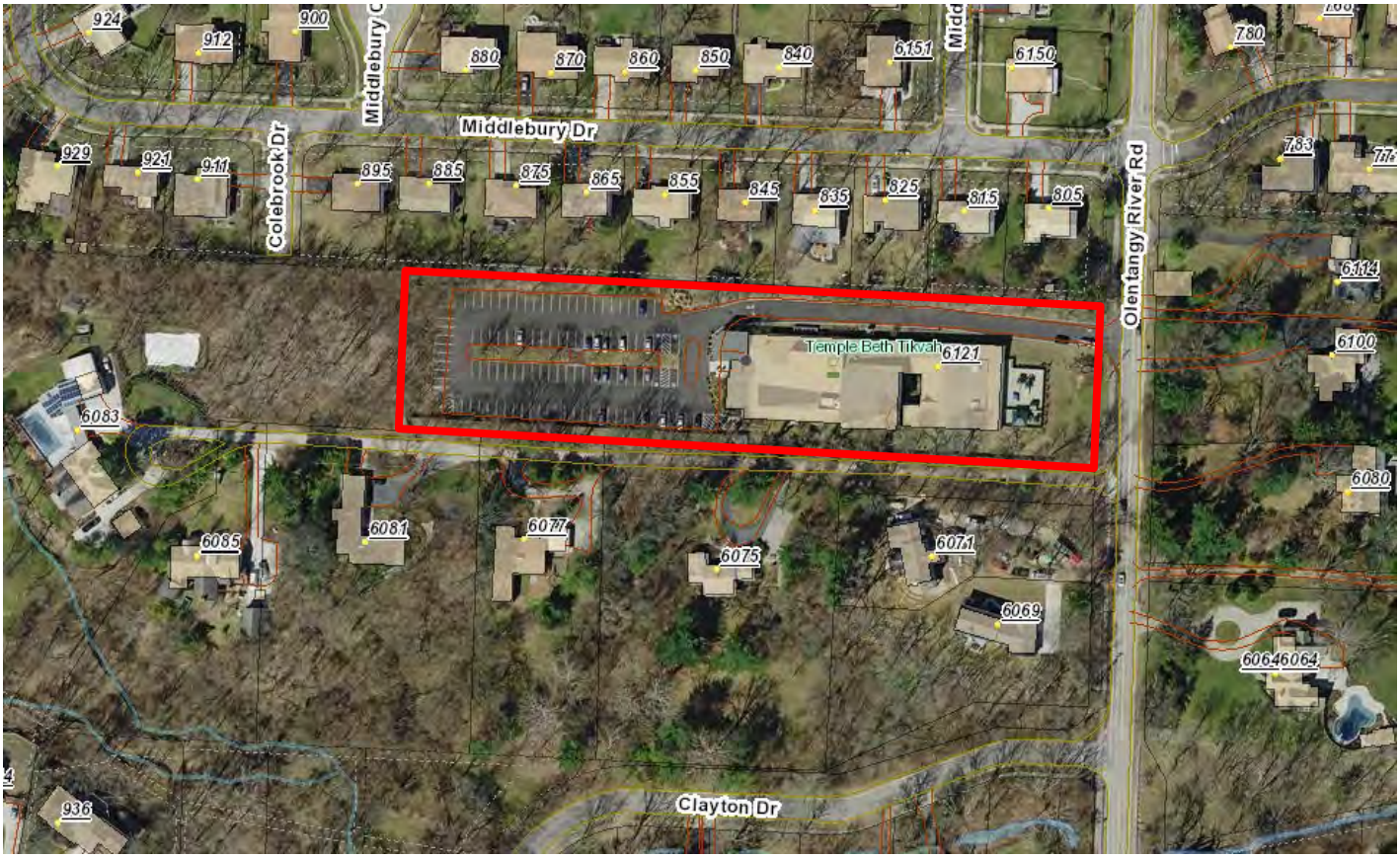
Plan Type:	Conditional Use Permit	**Project:**		**App Date:**	05/16/2023
Work Class:	Conditional Use Permit	**District:**	City of Worthington	**Exp Date:**	
Status:	In Review			**Completed:**	
Valuation:	$0.00			**Approval**	
Description:	Extend/Add fence line to front of the building			**Expire Date:**	

Parcel:	100-003060 Main	**Address:**	6121 Olentangy River Rd Worthington, OH 43085 Main	**Zone:**	R-10(Low Density Residence)

Applicant / Owner	Owner
Andy Shafran	Congregation Beth Tikvah
7128 Bluffstream Ct	6121 OLENTANGY RIVER RD
Columbus, OH 43235	Worthington , OH 43085

Invoice No.	Fee		Fee Amount	Amount Paid
INV-00003910	Conditional Use Permit		$25.00	$25.00
		Total for Invoice INV-00003910	$25.00	$25.00
		Grand Total for Plan	**$25.00**	**$25.00**

6121 Olentangy River Rd.



2023 Beth Tikvah Update

May/June 2023

CITY OF WORTHINGTON

DRAWING NO. CU 02-2023

DATE 05/16/2023

Overview

- Beth Tikvah would like to extend our fence line from the playground to the current fence line on the south side of our building

- Fence extension is part of security `hardening' recommendations made by the Columbus Police Department Homeland Security, Worthington Police, JewishColumbus security staff, and synagogue leadership

- Fence will be built out of cedar and have a gate as one panel. No lighting or other changes to the building.

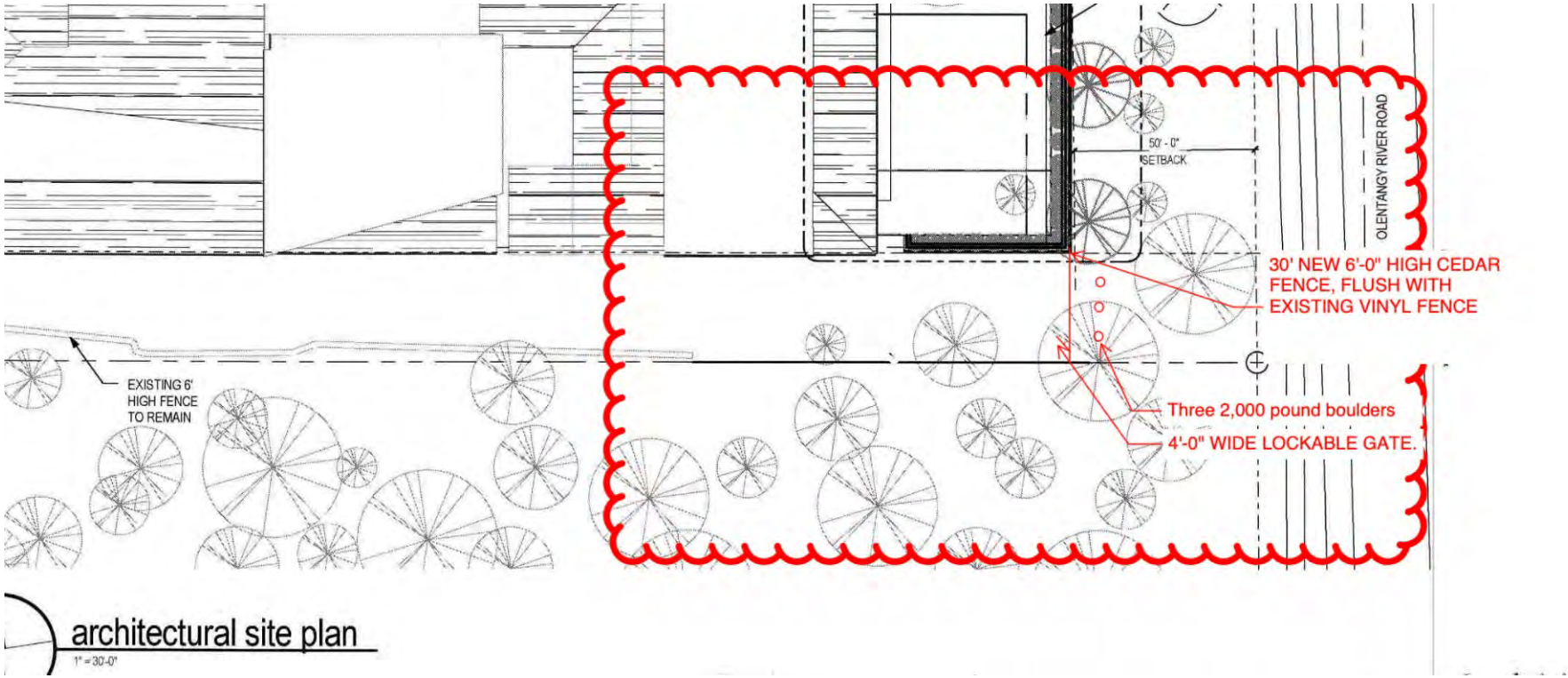
- Three 2000-pound boulders will be installed in front of the fence line

CITY OF WORTHINGTON

DRAWING NO. CU 02-2023

DATE 05/16/2023

Fence Extension



1. New cedar fence extending from Playground area to South side fence
2. 3 security boulders placed in front of fence line

CITY OF WORTHINGTON

DRAWING NO. CU 02-2023

DATE 05/16/2023

Photos

29' of 6' High Western Red Cedar 3-Rail Privacy Fence (6' On Center)
With 3/4" x 6" DE Cedar Boards, 2" x 4" Cedar Rails & 4" x 6" Treated Post
Includes (1) 4' Wide Single Swing Gate with Cedar Frame and Cedar Boards
With 2" Sq. Galvanized Steel Frame and 4" Sq. Galvanized Steel Post

CITY OF WORTHINGTON

DRAWING NO. CU 02-2023

DATE 05/16/2023

MPC APPLICATION
DEMO 01-2023
281 Franklin Ave.

Plan Type:	Demolition	**Project:**		**App Date:**	05/26/2023
Work Class:	Certificate of Demolition	**District:**	City of Worthington	**Exp Date:**	
Status:	In Review	**Square Feet:**	1,256.00	**Completed:**	
Valuation:	$0.00	**Assigned To:**		**Approval**	
Description:	Remove uninhabitable single family home.			**Expire Date:**	

Parcel:	100-000464 Main	**Address:**	281 Franklin Ave Worthington, OH 43085 Main	**Zone:**	R-10(Low Density Residence)

Applicant	Owner	Owner
COMPASS HOMES INC	Steve Kolwicz	Tricia Kolwicz
3763 ATTUCKS DR	281 FRANKLIN AVE	281 FRANKLIN AVE
POWELL, OH 43065	Worthington , OH 43085	Worthington , OH 43085
Business: (614) 885-8300	Mobile: (614) 360-3068	
Mobile: (614) 507-0796		

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003981	Certificate of Demolition	$25.00	$25.00
	Total for Invoice INV-00003981	$25.00	$25.00
	Grand Total for Plan	**$25.00**	**$25.00**

281 Franklin Ave.

DEMO2023.01

100-000464 03/27/2014

281 Franklin Avenue, Worthington, Ohio
Auditor's website link: Franklin County Auditor (see photos, transfers and historical transfer sheet for more information)

Land part of Griswold East Side Addition owned by Jeanette Griswold in April 1920 where auditor's website begins

6/20/1924 Emma Kiner (Summit St.) - Frame Structure on property (value 400)*
10/20/1925 Henrietta Wolfe
10/5/1933 Frank M. & Minnie G. Wolfe
4/5/1946 Minnie G. Shaw et. al. (4)
5/1/1946 Claude & Estelene Taladay - Frame Structure on property (value 210)
PER AUDITOR's Website, HOUSE CONSTRUCTED 1947
9/25/1975 Richard & Karen Altemare
6/16/2000 Franklin Avenue Partners LLC

**Emma Kiner does not appear to be related to the Kiner family in Worthington. She is married to John Kiner, and both are listed in many census records as white.*

It appears there was a house, presumably a different house, at 281 Franklin from 1924-1946 and then a new residence was constructed in 1947 by the Taladays. There are no mentions of this in the Worthington News that can be located. The address shows up in the paper when the Shaws and Taladays lived there, but nothing discusses the dwelling.

Fire Burns Hay At Shaw Home

Fire caused by spontaneous combustion or a cigaret dropped from an airplane burned 4 tons of timothy hay and part of a small building at the home of Frank Shaw, 281 Franklin Avenue, about four o'clock Sunday afternoon.

The loss was estimated at $100 and was not covered by insurance.

The Sharon Township Fire Department was called and extinguished the blaze.

Worthington News 7/19/1934

Thursday, April 23, 1936 THE WORTHING

Improved Uniform International SUNDAY SCHOOL LESSON

By REV. P. B. FITZWATER, D. D., Member of Faculty, Moody Bible Institute of Chicago. © Western Newspaper Union.

Lesson for April 26

Church Notes

ST. JOHNS EPISCOPAL CHURCH (Founded in 1804)

Philip W. Hull, Rector

The 2nd Sunday after Easter.

8:00 Holy Communion.

9:30 Childrens Service and

Classified A

FOR SALE

FOR SALE—Good work horse, 281 Franklin Street, Worthington.

FOR SALE OR TRADE—Modern

Thomas Shaw Dies

Frank Shaw, 281 Franklin Avenue, received a telegraph message from Portland, Oregon, Sunday of the death of his brother, Thomas Shaw. He was 89 years old.

Worthington News, 1/2/1936

CITY OF WORTHINGTON

DRAWING NO. DEMO 01-2023

DATE 05/26/2023

PUBLIC SALE

I will hold a public sale of livestock, farm machinery, chickens and household goods at my residence, 281 Franklin Street,

Saturday, August 16

BEGINNING AT 1:30 P. M.

PROMPTLY

FRANK SHAW

8/7/1941

December 18, 1941 newspaper indicates Shaw moved to Westerville

Obit 2/19/1942 Worthington News

Frank Shaw Dies Sunday At Age Of 85

Was Resident Of Worthington For 21 Years

Frank Marshall Shaw former citizen and widely known throughout Franklin County for his knowledge of horses, died at the home of Charles Armold, a brother-in-law at Westerville, Sunday night, at the age of 85. He had been ill since last December. He was born in 1856 at Alexandria, Ohio, and following his marriage to Miss Minnie Armold of Jersey. Ohio settled on a farm near that place. He later was engaged in farming for several years, near Westerville. and in 1921 Mr. Shaw and family moved to Worthington. He and Mrs. Shaw returned there a few months ago when both were in failing health. He was a lover of animals, especially horses, and was a fine judge of their qualities. He was an attendant at horse races throughout the county and was often called to sit in the judges stand. He was a member of the Worthington Methodist Church, and the Mens Hible Class. He is survived by his wife Minnie; three sons, John L. of Cleveland; Harry A. of Columbus; Clarence C. of Westerville; one daughter, Mrs. Lela Harden of Buckeye Cake; five grandchildren, and several nephews and nieces. Funeral services were held Wednesday afternoon, at two p. m. at the McConagha Funeral Home with Rev. J. O. Young officiating and burial made at Alexandria

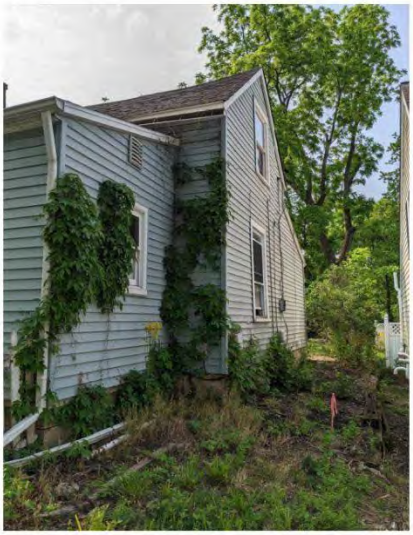
Prepared 4/24/2023 - Kate LaLonde

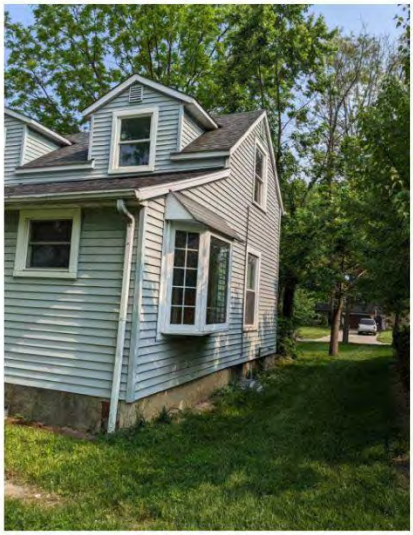
exterior shots 4/2023

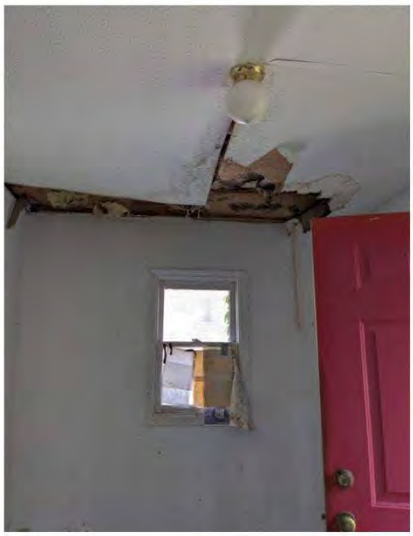
CITY OF WORTHINGTON

DRAWING NO. DEMO 01-2023

DATE 05/26/2023



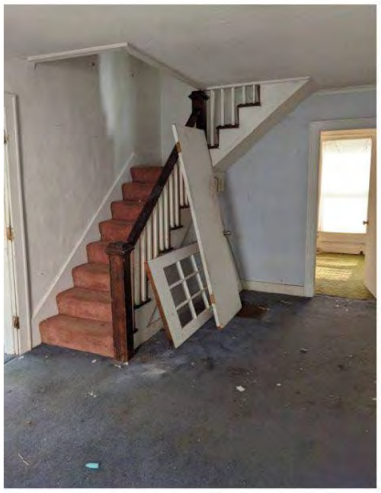




CITY OF WORTHINGTON

DRAWING NO. DEMO 01-2023

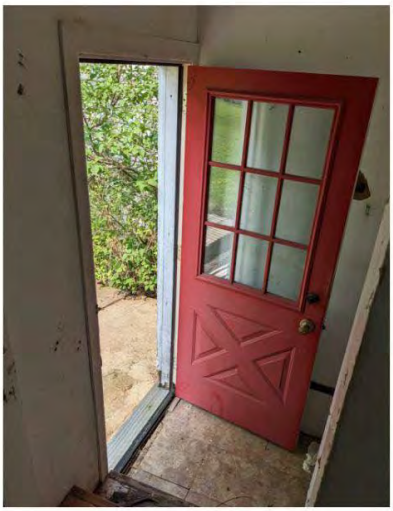
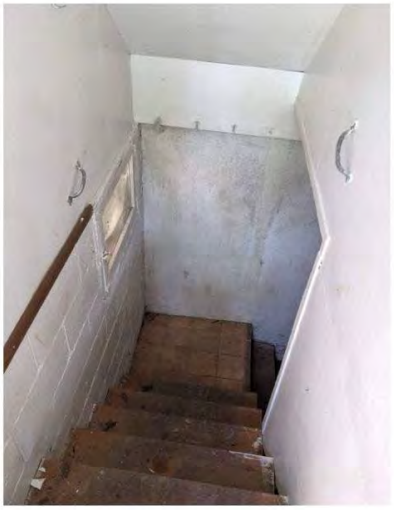
DATE 05/26/2023

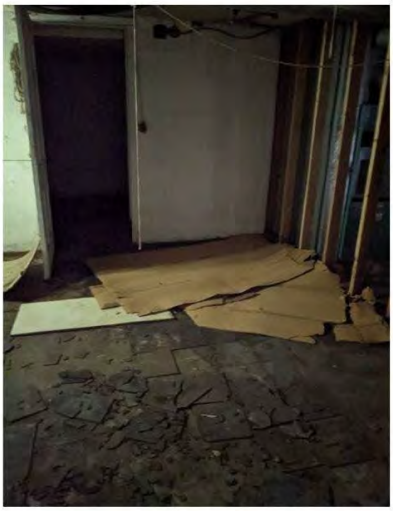


CITY OF WORTHINGTON

DRAWING NO. DEMO 01-2023

DATE 05/26/2023

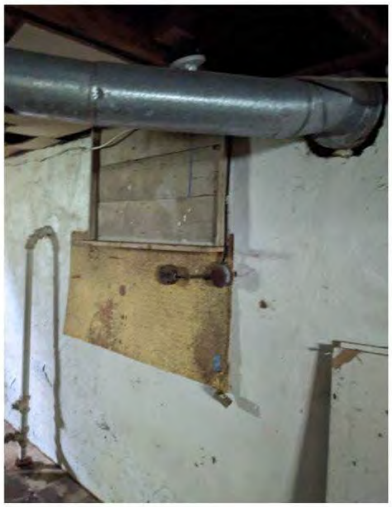



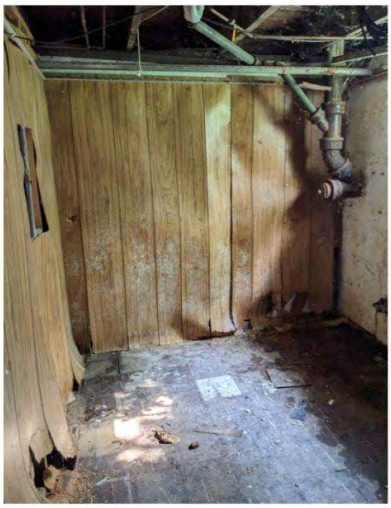


CITY OF WORTHINGTON

DRAWING NO. DEMO 01-2023

DATE 05/26/2023

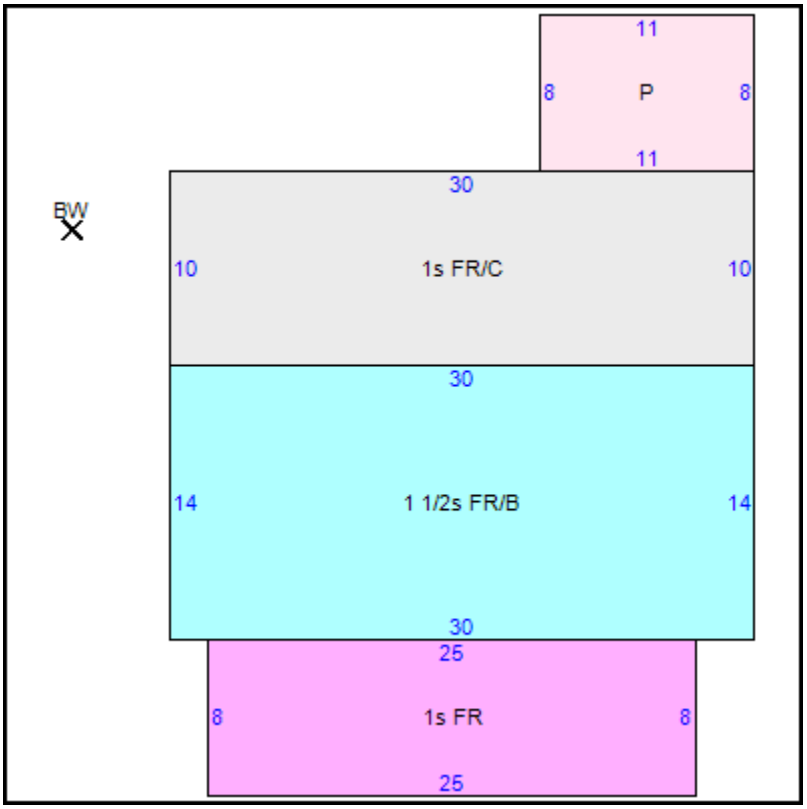




CITY OF WORTHINGTON

DRAWING NO. DEMO 01-2023

DATE 05/26/2023



CITY OF WORTHINGTON

DRAWING NO. DEMO 01-2023

DATE 05/26/2023

compass HOMES

Worthington Municipal Planning Commission
6550 N high St
Worthington, OH 43085

RE: 281 FRANKLIN AVE – DEMOLITION AND REPLACEMENT STRUCTURE

To whom it may concern:

Steve Kolwicz and his family have lived at 293 Franklin Ave for nearly 18 years. Recently he had the opportunity to purchase 281 Franklin Ave, the property immediately west of his residence. Steve intended to construct a new home on the property for his father, Jim Kolwicz.

Compass Homes specializes in infill construction and together, Steve and Jim engaged Compass Homes to demolish the existing structure at 281 Franklin Ave and construct the new home for Jim.

We come before the Commission seeking approval of the demolition application so that we may commence removal of the existing structure. The Franklin County Auditor states that the age of the current structure is 77 years old. Upon inspection I found that the foundation is structurally unsound with bowing, cracking, shifting and decaying masonry block. The interior has many soft areas in multiple floor systems, probable mold, and the modifications and additions over the years have created a "Frankenstein" of a house with no architectural significance or character. Even the vinyl siding is failing.

From both an economical and safety perspective, the best course of action is to demolish this structure and construct a new home.

If approved, we intend to commence demolition within 7 days, and it will be completed within three business days. We have submitted plans to construct a new home on the

CITY OF WORTHINGTON
DRAWING NO. DEMO 01-2023
DATE 05/26/2023

compass HOMES

property and as soon as the building permit is approved, we plan to commence construction on the new home.

Many thanks for your thoughtful consideration of our customer's desire to construct a new home for his father next door to his family's current home.

Sincerely,

Ted Nemeth
Development Manager
Compass Homes, Inc.

3763 Attucks Drive Powell, OH 43065 p: 614.885.8300 **www.compasshomes.com**

CITY OF WORTHINGTON

DRAWING NO. DEMO 01-2023

DATE 05/26/2023

compass HOMES

281 FRANKLIN AVE – PROPOSED DEMOLITION AND CONSTRUCTION SCHEDULE

June 12, 2023 Install silt fence as required

June 14, 2023 Commence mechanical demolition of the structure, secure hazardous areas with construction fence.

June 16, 2023 Complete site restoration

Upon Building Permit Approval Commence construction of new home.

3763 Attucks Drive Powell, OH 43065 p: 614.885.8300 **www.compasshomes.com**

CITY OF WORTHINGTON

DRAWING NO. DEMO 01-2023

DATE 05/26/2023

LANDMARK
LAND SURVEYORS
690 LAKEVIEW PLAZA BLVD. SUITE A
WORTHINGTON OH. 43085
PHONE: (614) 485-9000
WWW.LANDMARKSURVEY.COM

REVISIONS	DESCRIPTION

ORDER NO. COMPAS–JOB44

DATE: 4/13/23

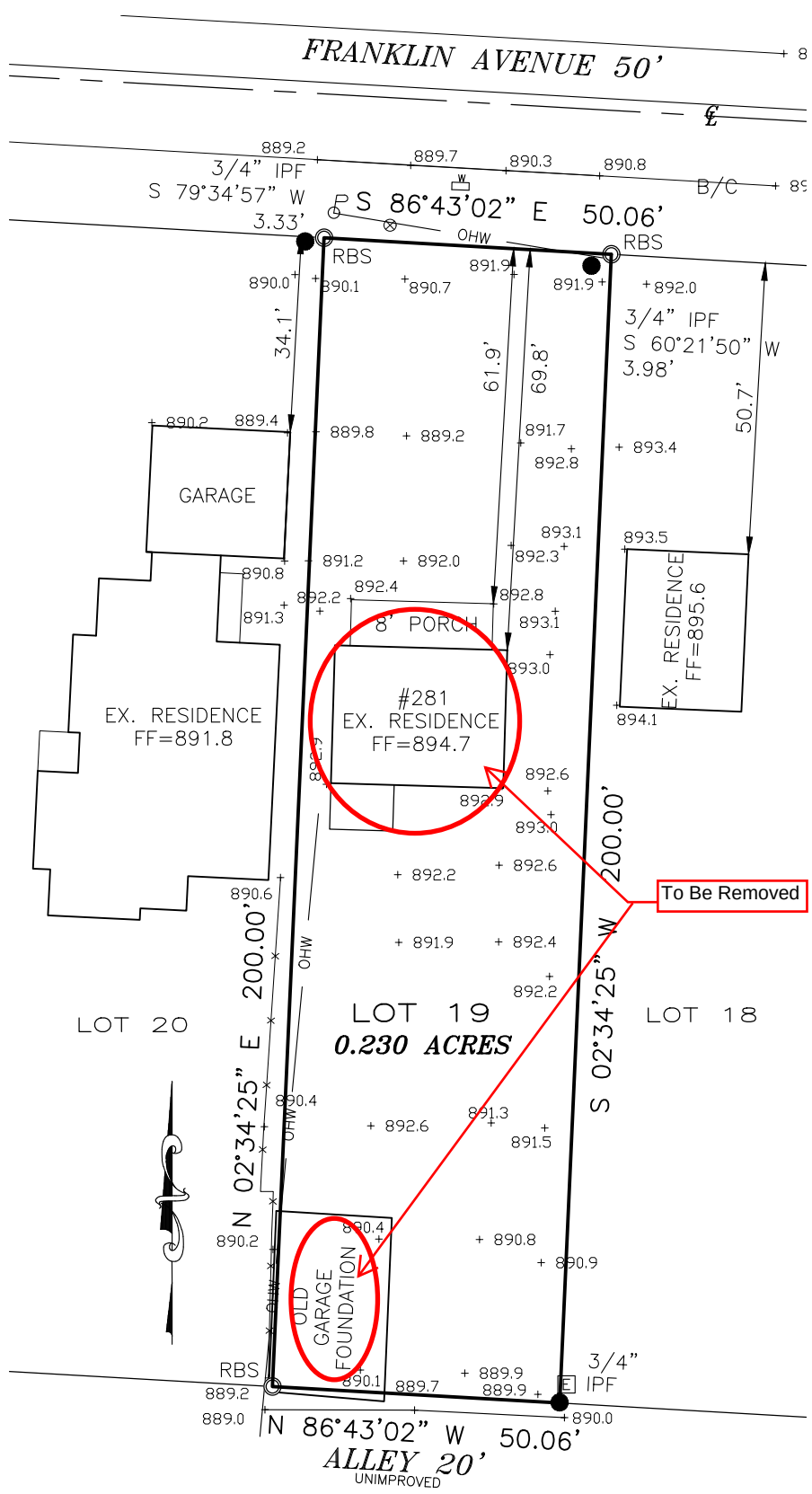
FOR COMPASS HOMES. HOUSE STYLE CUSTOM COUNTY OF FRANKLIN

LOT/SUBDIVISION LOT 19/ THE EAST SIDE ADDITION TO WORTHINGTON CITY/TWP OF WORTHINGTON

ADDRESS 281 FRANKLIN AVE SCALE 1"= 20' DRAWN BY: JI

MINIMUMS: R: 30' S: 6' BK: 5 PG: 390

MAXIMUM BUILDING HEIGHT IS 30' (2.5 STORIES)



LEGEND

- ● IPF IRON PIN FOUND
- RBF REBAR FOUND
- ◆ MNF MAG NAIL FOUND
- ◎ RBS REBAR SET
- ⊗ GAS VALVE
- XXX.X EXISTING SPOT GRADE
- B/C BACK OF CURB

✳ ALL DISTURBED AREAS ARE TO BE SMOOTHED OUT AND SEEDED AND MULCHED AFTER THE HOUSE IS REMOVED.

TBR = TO BE REMOVED

CITY OF WORTHINGTON

DRAWING NO. DEMO 01-2023

DATE 05/26/2023

STATE OF OHIO
SCOTT D. GRUNDEI
S-8047
REGISTERED
PROFESSIONAL SURVEYOR

SITE AND RESTORATION PLAN

WE HEREBY CERTIFY THAT THE FOREGOING SITE AND RESTORATION PLAN WAS PREPARED FROM INFORMATION PROVIDED BY THE CLIENT AND DATA OBTAINED FROM ENGINEERED SUBDIVISION PLANS. THIS PLOT PLAN IS TO BE USED BY THE CLIENT FOR THE SOLE PURPOSE OF OBTAINING A BUILDING PERMIT. THE USE OF THE PLOT PLAN FOR ANY OTHER USE IS STRICTLY PROHIBITED.

Scott D. Grundei 4/13/23

SCOTT D. GRUNDEI, P.S.
REGISTERED SURVEYOR NO. 8047

LANDMARK
LAND SURVEYORS
690 LAKEVIEW PLAZA BLVD. SUITE A
WORTHINGTON OH. 43085
PHONE: (614) 485-9000
WWW.LANDMARKSURVEY.COM

REVISIONS	DESCRIPTION

ORDER NO. COMPAS-JOB44

DATE: 4/13/23

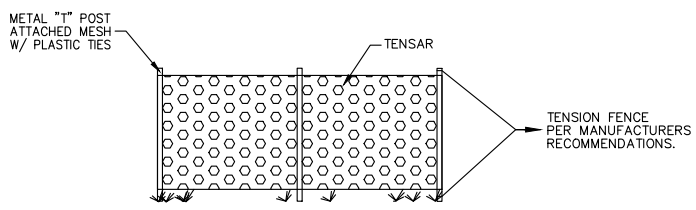
FOR COMPASS HOMES. HOUSE STYLE CUSTOM COUNTY OF FRANKLIN

LOT/SUBDIVISION LOT 19/ THE EAST SIDE ADDITION TO WORTHINGTON CITY/TWP OF WORTHINGTON

ADDRESS 281 FRANKLIN AVE SCALE 1"= 20' DRAWN BY: JI

MINIMUMS: R: 30' S: 6' BK: 5 PG: 390

MAXIMUM BUILDING HEIGHT IS 30' (2.5 STORIES)

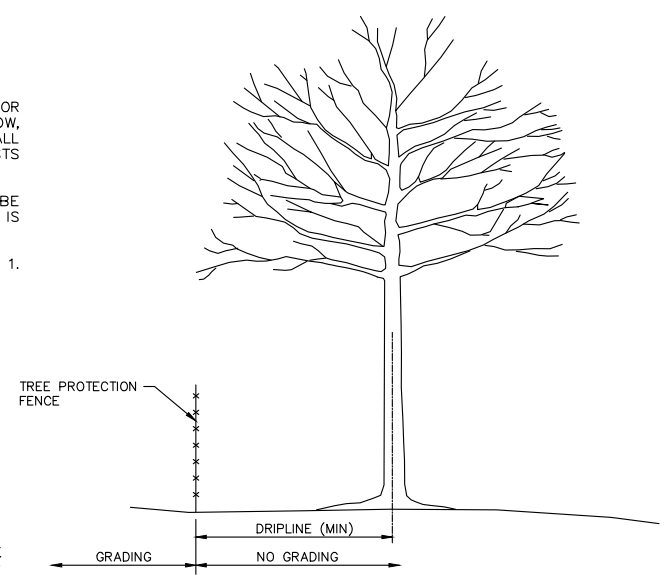


TREE PROTECTION FENCE DETAIL

PROTECTION FENCE SHALL BE 4' HIGH TENSAR "SAFETY GRID", COLOR ORANGE, AS MANUFACTURED BY TENSAR CORPORATION, MORROW, GEORGIA 30260, (800) 942-9448, OR EQUAL. INSTALLATION SHALL BE PER MANUFACTURE'S RECOMMENDATIONS. INTERMEDIATE POSTS SHALL BE SPACED EVERY 10 FEET.

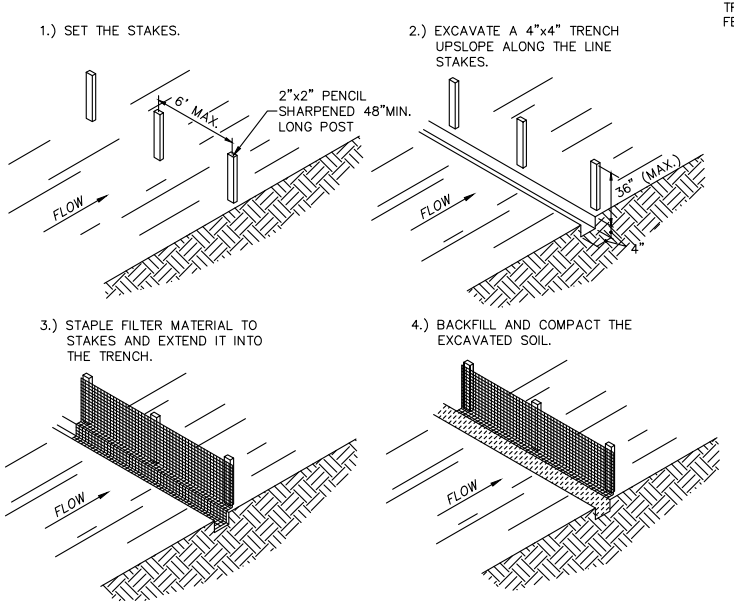
FENCE SHALL BE INSTALLED NO CLOSER TO THE TREES TO BE PROTECTED THAN THE DRIP LINE OF THE TREE OR 10' WHICHEVER IS GREATER.

FOR REQUIRED TREE PROTECTION FENCE LOCATIONS SEE SHEET 1.



TREE PROTECTION DETAIL

-NOT TO SCALE-



SEDIMENT FENCE DETAIL

CONTRACTOR SHALL PLACE SEDIMENT FENCE AS LOCATED ON THIS SHEET PRIOR TO CONSTRUCTION.

THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (HIGHER FENCES MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE TO THE STRUCTURE).

THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST WITH A MINIMUM 6-INCH OVERLAP AND SECURELY SEALED.

POSTS SHALL BE SPACED A MAXIMUM OF 6 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12 INCHES). EXTRA STRENGTH FABRIC SHALL BE USED.

A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.

THE FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE AND 8 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.

THE TRENCH SHALL BE BACKFILLED AND SOIL COMPACTED OVER THE FILTER FABRIC.

IT MAY BECOME NECESSARY TO REMOVE PORTIONS OF THE SEDIMENT FENCE DURING CONSTRUCTION TO FACILITATE THE GRADING OPERATIONS IN CERTAIN AREAS. HOWEVER, THE SEDIMENT FENCE SHALL BE IN PLACE IN THE EVENING OR DURING ANY INCLEMENT WEATHER.

SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY THE FABRIC SHALL BE REPLACE PROMPTLY.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE PREPARED AND SEEDED.

SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

CITY OF WORTHINGTON

DRAWING NO. DEMO 01-2023

DATE 05/26/2023

SITE AND RESTORATION PLAN

LANDMARK
LAND SURVEYORS
690 LAKEVIEW PLAZA BLVD. SUITE A
WORTHINGTON OH. 43085
PHONE: (614) 485-9000
WWW.LANDMARKSURVEY.COM

REVISIONS	DESCRIPTION

ORDER NO. COMPAS–JOB44

DATE: 4/13/23

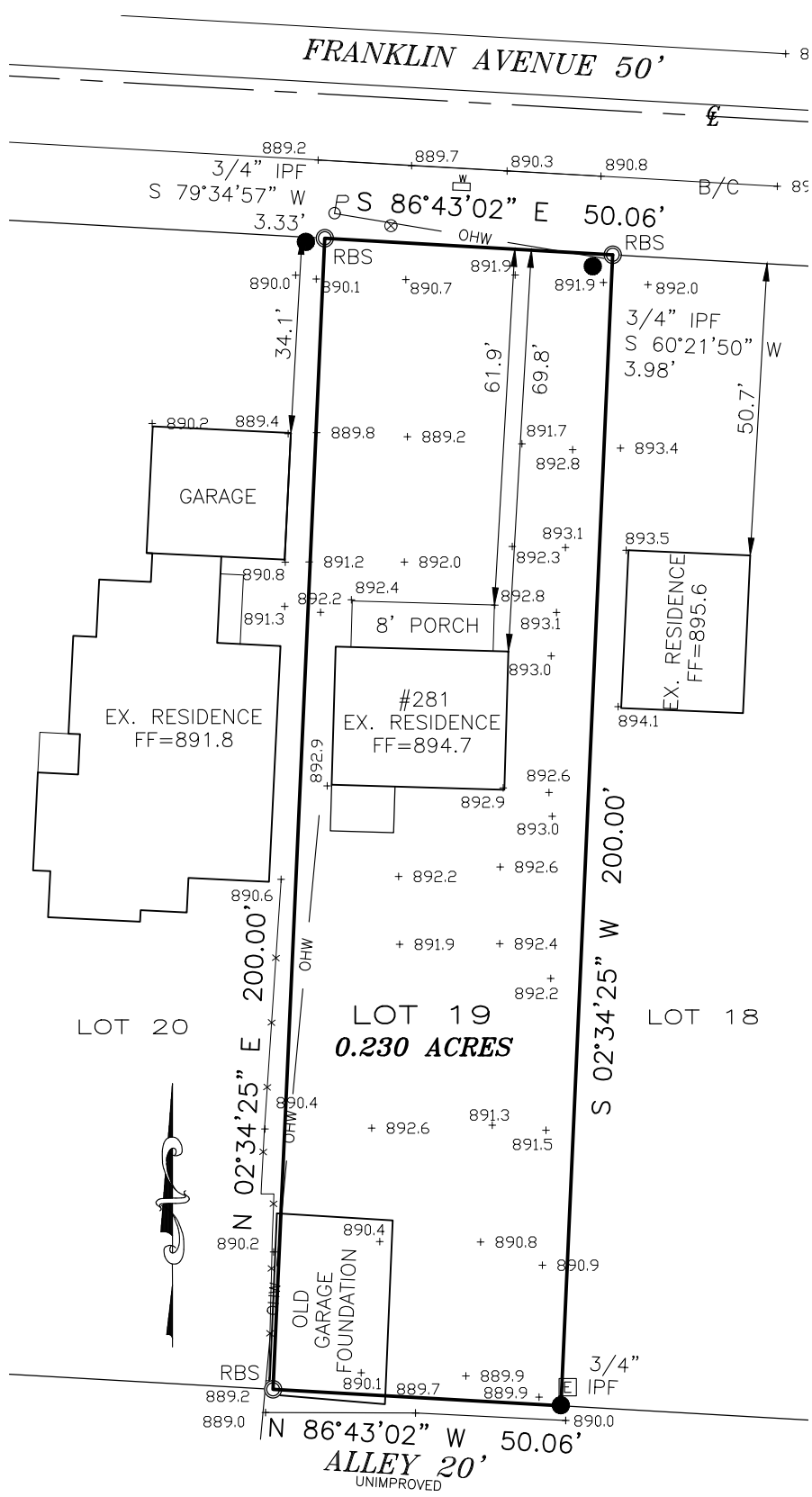
FOR COMPASS HOMES. HOUSE STYLE CUSTOM COUNTY OF FRANKLIN

LOT/SUBDIVISION LOT 19/ THE EAST SIDE ADDITION TO WORTHINGTON CITY/TWP OF WORTHINGTON

ADDRESS 281 FRANKLIN AVE SCALE 1"= 20' DRAWN BY: JI

MINIMUMS: R: 30' S: 6' BK: 5 PG: 390

MAXIMUM BUILDING HEIGHT IS 30' (2.5 STORIES)



LEGEND

- ● IPF IRON PIN FOUND
- RBF REBAR FOUND
- ◆ MNF MAG NAIL FOUND
- ◎ RBS REBAR SET
- ⊗ GAS VALVE
- XXX.X EXISTING SPOT GRADE
- B/C BACK OF CURB

✳ ALL DISTURBED AREAS ARE TO BE SMOOTHED OUT AND SEEDED AND MULCHED AFTER THE HOUSE IS REMOVED.

TBR = TO BE REMOVED

CITY OF WORTHINGTON

DRAWING NO. DEMO 01-2023

DATE 05/26/2023

STATE OF OHIO
SCOTT D. GRUNDEI
S-8047
REGISTERED
PROFESSIONAL SURVEYOR

SITE AND RESTORATION PLAN

WE HEREBY CERTIFY THAT THE FOREGOING SITE AND RESTORATION PLAN WAS PREPARED FROM INFORMATION PROVIDED BY THE CLIENT AND DATA OBTAINED FROM ENGINEERED SUBDIVISION PLANS. THIS PLOT PLAN IS TO BE USED BY THE CLIENT FOR THE SOLE PURPOSE OF OBTAINING A BUILDING PERMIT. THE USE OF THE PLOT PLAN FOR ANY OTHER USE IS STRICTLY PROHIBITED.

Scott D. Grundei 4/13/23

SCOTT D. GRUNDEI, P.S.
REGISTERED SURVEYOR NO. 8047

LANDMARK
LAND SURVEYORS
690 LAKEVIEW PLAZA BLVD. SUITE A
WORTHINGTON OH. 43085
PHONE: (614) 485-9000
WWW.LANDMARKSURVEY.COM

REVISIONS	DESCRIPTION

ORDER NO. COMPAS–JOB44

DATE: 4/13/23

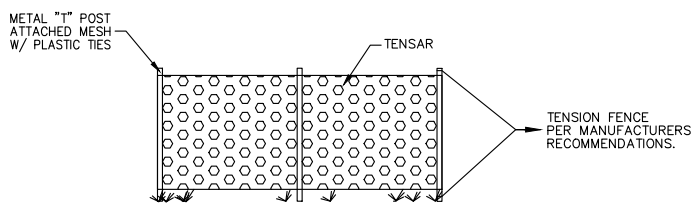
FOR COMPASS HOMES. HOUSE STYLE CUSTOM COUNTY OF FRANKLIN

LOT/SUBDIVISION LOT 19/ THE EAST SIDE ADDITION TO WORTHINGTON CITY/TWP OF WORTHINGTON

ADDRESS 281 FRANKLIN AVE SCALE 1"= 20' DRAWN BY: JI

MINIMUMS: R: 30' S: 6' BK: 5 PG: 390

MAXIMUM BUILDING HEIGHT IS 30' (2.5 STORIES)

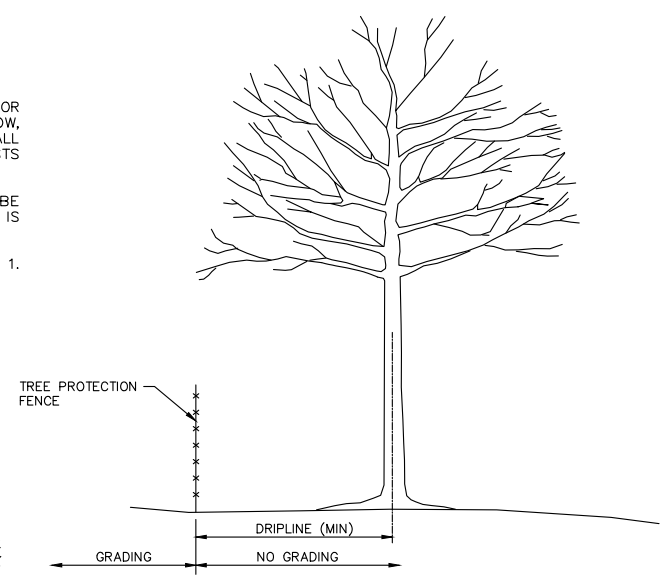


TREE PROTECTION FENCE DETAIL

PROTECTION FENCE SHALL BE 4' HIGH TENSAR "SAFETY GRID", COLOR ORANGE, AS MANUFACTURED BY TENSAR CORPORATION, MORROW, GEORGIA 30260, (800) 942–9448, OR EQUAL. INSTALLATION SHALL BE PER MANUFACTURE'S RECOMMENDATIONS. INTERMEDIATE POSTS SHALL BE SPACED EVERY 10 FEET.

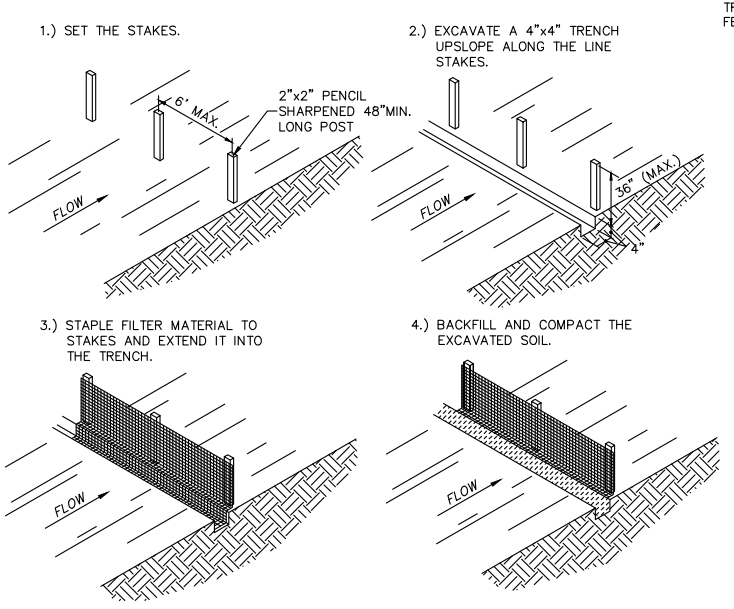
FENCE SHALL BE INSTALLED NO CLOSER TO THE TREES TO BE PROTECTED THAN THE DRIP LINE OF THE TREE OR 10' WHICHEVER IS GREATER.

FOR REQUIRED TREE PROTECTION FENCE LOCATIONS SEE SHEET 1.



TREE PROTECTION DETAIL

–NOT TO SCALE–



SEDIMENT FENCE DETAIL

CONTRACTOR SHALL PLACE SEDIMENT FENCE AS LOCATED ON THIS SHEET PRIOR TO CONSTRUCTION.

THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (HIGHER FENCES MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE TO THE STRUCTURE).

THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST WITH A MINIMUM 6–INCH OVERLAP AND SECURELY SEALED.

POSTS SHALL BE SPACED A MAXIMUM OF 6 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12 INCHES). EXTRA STRENGTH FABRIC SHALL BE USED.

A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.

THE FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE AND 8 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.

THE TRENCH SHALL BE BACKFILLED AND SOIL COMPACTED OVER THE FILTER FABRIC.

IT MAY BECOME NECESSARY TO REMOVE PORTIONS OF THE SEDIMENT FENCE DURING CONSTRUCTION TO FACILITATE THE GRADING OPERATIONS IN CERTAIN AREAS. HOWEVER, THE SEDIMENT FENCE SHALL BE IN PLACE IN THE EVENING OR DURING ANY INCLEMENT WEATHER.

SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY THE FABRIC SHALL BE REPLACE PROMPTLY.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE–HALF THE HEIGHT OF THE BARRIER.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE PREPARED AND SEEDED.

SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

CITY OF WORTHINGTON

DRAWING NO. DEMO 01-2023

DATE 05/26/2023

SITE AND RESTORATION PLAN

GENERAL NOTES

A. GENERAL REQUIREMENTS

1. GENERAL STRUCTURAL AND ARCHITECTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST BETWEEN THE GENERAL STRUCTURAL OR ARCHITECTURAL NOTES AND THE DRAWINGS, THE STRICTEST PROVISION SHALL GOVERN.
2. DO NOT SCALE DRAWINGS. Written dimensions take precedence over scaled dimensions.
   GOVERNING CODE: STRICTEST PROVISIONS AS SET FORTH BY: CURRENT RESIDENTIAL CODE OF OHIO

B. GENERAL STRUCTURAL REQUIREMENTS

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED MPH	SEISMIC DESIGN CAT.	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP	ICE SHIELD UNDER LAYMENT REQD	FLOOD HAZARD	AIR FREEZ INDEX	MEAN ANNUAL TEMP
			Weathering	Frost Line Depth	Termites	Decay					
20	90	B	Severe	See Notes Below	Moderate to Heavy	Slight to Moderate	5	YES	YES	1000-2000	52°

1. STRUCTURAL MEMBERS DESIGN CRITERIA:
   A. 40 P.S.F. LIVE LOAD IN ALL LIVING AREAS
   B. 15 P.S.F. DEAD LOAD IN ALL LIVING AREAS
   C. A. RAFTERS: 25 PSF LIVE LOAD, 15 PSF DEAD LOAD
   B. ROOF TRUSSES: 20 PSF TOP CHORD LIVE LOAD
   10 PSF TOP CHORD DEAD LOAD
   10 PSF BOTTOM CHORD LIVE LOAD
   5 PSF BOTTOM CHORD DEAD LOAD
2. DIMENSIONAL LUMBER JOISTS WITH A DEPTH TO WIDTH RATIO EQUAL TO OR GREATER THAN 6 TO 1 (NOMINALLY) SHALL HAVE BRIDGING INSTALLED BETWEEN JOISTS. (i.e. 2X12 JOISTS OR TALLER).
3. ALL FOOTINGS TO EXTEND BELOW FROST LINE.
   32" MIN. FROM GRADE TYPICAL U.N.O.
   34" MIN. FROM GRADE AT UNION COUNTY.
   38" MIN. FROM GRADE AT DUBLIN CITY & DELAWARE COUNTY
4. WIND SPEED DESIGN LOADS BASED ON 90 MPH (3 SEC. GUST) EXPOSURE C
5. GROUND SNOW LOAD 20 PSF.
6. MIN. BEARING ON WOOD OR METAL TO BE 1 ½", OR 3" ON MASONRY W/ ALL LOADS SOLID BLOCKED FROM ROOF TO FOUNDATION.
7. CONCRETE DRIVEWAYS, CURBS, WALKS, PATIOS, & ANY OTHER EXT. FLATWORK, INCLUDING THE GARAGE SLAB SHALL BE 3500 PSI AIR ENTRAINED.
8. BASEMENT & ALL INTERIOR CONCRETE SLABS SHALL BE 2500 PSI WALLS-3000 PSI, EXT-3500 PSI. FOUNDATION WALLS, GAR. FLOORS AND EXT. CONCRETE AIR ENTRAINED 5-7%
9. STEEL BEAMS ARE DESIGNED BASED ON ASTM-A992 (50 KSI).
10. MASONRY & CONCRETE FOUNDATION WALLS SHALL BE WATERPROOFED BY APPLYING AN ABV. GRADE DAMP PROOFING PRODUCT & BY APPLYING A BITUMINOUS WATER PROOFING PRODUCT WITH A PROTECTIVE INSULATION BOARD BELOW GRADE. A PROPER DRAINAGE SYSTEM SHALL ALSO BE INSTALLED
11. THE GRADE AWAY FROM THE FOUNDATION WALLS SHALL FALL A MIN. OF 6 INCHES WITHIN 10 FEET.

C. CARPENTRY/FRAMING

1. FURNISH ALL LABOR, MATERIALS, & EQUIPMENT NECESSARY TO COMPLETE CARPENTRY WORK AS SHOWN ON THE CONSTRUCTION DOCUMENTS AND/OR SPECIFIED HEREINAFTER AND LISTED BELOW.
2. ALL STRUCTURAL CONNECTORS, INCLUDING BUT NOT LIMITED TO FASTENERS, CONCRETE & MASONRY CONNECTORS, HOLD-DOWNS, TRUSS & RAFTER TIE-DOWNS, CAPS & BASES, HANGERS, ANGLES, & STRAPS SHALL BE BY SIMPSON STRONG-TIE OR APPROVED EQUAL. SAID CONNECTIONS SHALL BE EVALUATED & APPROVED FOR USE BY ALL APPLICABLE CODES.
3. DIMENSIONAL LUMBER FRAMING SHALL PROVIDE THE DESIGN VALUES EQUAL TO OR EXCEEDING THE FOLLOWING:
   JOISTS & BEAMS:
   MODULUS OF ELASTICITY (E): 1,600,000 PSI
   FIBER STRESS IN BENDING (Fb): 1000 PSI
   HORIZONTAL SHEAR (Fv): 145 PSI
   HEADERS:
   MODULUS OF ELASTICITY (E): 1,400,000 PSI
   FIBER STRESS IN BENDING (Fb): 875 PSI
   HORIZONTAL SHEAR (Fv): 135 PSI

   LAMINATED VENEER LUMBER (LVL) SHALL PROVIDE THE DESIGN VALUES EQUAL TO OR EXCEEDING THE FOLLOWING:
   MODULUS OF ELASTICITY (E): 1,900,000 PSI
   FIBER STRESS IN BENDING (Fb): 2650 PSI
   HORIZONTAL SHEAR (Fv): 285 PSI

   PARALLEL STRAND LUMBER (PSL) SHALL PROVIDE THE DESIGN VALUES EQUAL TO OR EXCEEDING THE FOLLOWING:
   MODULUS OF ELASTICITY (E): 2,000,000 PSI
   FIBER STRESS IN BENDING (Fb): 2900 PSI
   HORIZONTAL SHEAR (Fv): 290 PSI
4. ROOF & FLOOR TRUSS SYSTEMS SHALL BE DESIGNED BY THE TRUSS MANUFACTURER & PERFORMED UNDER THE SUPERVISION OF A REGISTERED PROFESSIONAL ENGINEER.
5. WOOD TRUSSES SHALL BE DESIGNED TO SUSTAIN THE LOADS FOR THE SPANS, PROFILES, AND ARRANGEMENTS INDICATED IN THE CONSTRUCTION DOCUMENTS. TRUSS LAYOUTS IS SCHEMATIC ONLY. TRUSS MANUFACTURER AND/OR ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN, INCLUDING SPACING, OF ALL TRUSSES.
6. TRUSS MANUFACTURER SHALL SUBMIT SETS OF SEALED SHOP DRAWINGS TO THE BUILDER & THE BUILDING DEPARTMENT FOR APPROVAL OF TRUSSES & STRUCTURAL BEAMS. QUANTITY PROVIDED T.B.D. BY RECIPIENT.
7. ALL TRUSSES SHALL BE SECURELY BRACED BOTH DURING ERECTION & AFTER PERM. INSTALLATION IN ACCORDANCE W/ COMMENTARY AND RECOMMENDATIONS AS PUBLISHED BY THE TRUSS PLATE INSTITUTE OR AS SHOWN ON SEALED DRAWINGS
8. TRUSS MEMBERS SHALL NOT BE CUT, NOTCHED, DRILLED, SPLICED OR OTHERWISE ALTERED IN ANY WAY WITHOUT THE APPROVAL OF A REGISTERED DESIGN PROFESSIONAL.
9. TRUSSES SHALL BE CONNECTED TO WALL PLATES BY THE USE OF APPROVED CONNECTORS HAVING A RESISTANCE TO UPLIFT OF NOT LESS THAN 175 LBS. AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
10. ALL WOOD PLATES IN CONTACT WITH CONCRETE SHALL BE PRESSURE PRESERVATIVE TREATED WOOD.
11. FLOOR SHEATHING SHALL BE 3/4 INCH TONGUE AND GROOVE OSB, GLUED AND NAILED. PANEL SPAN RATING SHALL BE APA 24/32, EXPOSURE 1 WITH SEALED EDGES. INSTALL PER MANUFACTURERS SPACING AND EDGE REQUIREMENTS.
12. PROVIDE 1/4" UNDER LAYMENT (MINIMUM) UNDER TILE ON WOOD FRAME FLOOR SYSTEMS.
13. ALL VERTICAL JOINTS OF SHEATHING SHALL OCCUR OVER STUDS.
14. NOT LESS THAN 3 STUDS SHALL BE INSTALLED AT EVERY CORNER OF AN EXTERIOR WALL.
15. STUD SPACING FOR ALL EXTERIOR WALLS AND BEARING WALLS SHALL BE SPACED 16" OC UNLESS OTHERWISE NOTED.
16. ALL WALLS GREATER THAN 10'-0 IN STUD HEIGHT SHALL BE 2X6 WOOD STUDS, BALLOON FRAMED TO THE UPPER PLATE LINE.
17. PROVIDE BACKING AS REQUIRED FOR ALL LIGHT FIXTURES, CABINETS, WARDROBES, BRACKETS, HANDLES, GYPSUM BD., ETC.
18. PROVIDE "BOX-OUT" FRAMING BEHIND ALL HEAT SUPPLIES IN WALLS COMMON TO GARAGE SPACE SO AS TO ALLOW A FULL 3 1/2 INCH INSULATION BATT BEHIND THE HEAT SUPPLY DUCT.
19. FIRESTOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE
20. FRAMING UNDER PARALLEL BEARING PARTITIONS SHALL BE OF ADEQUATE SIZE TO SUPPORT THE LOAD. FRAMING THAT IS SEPARATED TO ALLOW FOR THE INSTALLATION OF PIPING OR VENTS SHALL BE FULL DEPTH, SOLID BLOCKED WITH LUMBER NOT LESS THAN 2 INCHES IN NOMINAL THICKNESS, SPACED NOT MORE THAN 4'-0 OC.
21. PROVIDE STUD GUARDS WHERE ANY PIPING IS LESS THAN 1 1/2 INCH FROM STUD FACE.
22. FASTENERS FOR PRESSURE PRESERVATIVE TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER.
23. ALL OPENINGS UP TO 3'-4" WIDE TO HAVE A MIN. OF 1-2x4, STUD GRADE SPF, JACK STUD UNLESS NOTED OTHERWISE.
24. ALL OPENINGS GREATER THAN 3'-4" WIDE TO HAVE A MIN. OF 2-2x4, STUD GRADE SPF, JACK STUD UNLESS NOTED OTHERWISE.
25. PROVIDE FLASHING AND SHEET METAL REQUIRED TO PREVENT THE PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING.
26. GUARDRAILS SHALL HAVE A HEIGHT OF 36 INCHES AT ALL STAIRS AT ALL RAISED SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR AND SPINDLES SHALL BE POSITIONED AS TO NOT ALLOW PASSAGE OF A 4" SPHERE
27. HANDRAILS HAVE MIN AND MAX HEIGHT OF 34" & 38" MEASURED VERTICALLY FROM THE NOSING OF THE TREAD. TREAD NOSING ¾" TO 1 ¼". HANDRAIL ENDS SHALL TERMINATE AT WALL/POST & SHALL NOT HAVE SPACE LESS THEN 1 ½" BETWEEN THE WALL AND HANDRAIL. THE HANDGRIP PORTION SHALL NOT BE MORE THAN 2 ¼" IN CROSS SECTION DIMENSION OR AN APPROPRIATE SHAPE WHICH SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE.

D. SIDING, MASONRY VENEER, AND ROOFING

1. SIDING SHALL BE AS INDICATED ON THE DRAWINGS.
2. PANEL SIDING SHALL BE INSTALLED WITH LONG DIMENSION PARALLEL TO STUDS. VERTICAL JOINTS SHALL OCCUR OVER FRAMING MEMBERS AND SHALL BE SEALED WITH CAULKING OR COVERED WITH BATTENS (PER ELEVATION). HORIZONTAL JOINTS SHALL BE FLASHED WITH 'Z' FLASHING AND BLOCKED WITH SOLID WOOD BLOCKING.
3. WEATHER RESISTANT SHEATHING PAPER, ASPHALT SATURATED FELT OR OTHER WEATHER RESISTANT MATERIAL COMPLYING WITH ASTM D 226 SHALL BE APPLIED OVER WALL SHEATHING AND SHALL RUN CONTINUOUS BEHIND ALL ROOF TO WALL INTERSECTIONS.
4. MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION-RESISTANT METAL TIES
5. VENEER TIES SHALL BE SHEET METAL TIES NOT LESS THAN NO. 22 U.S. GAUGE BY 7/8", CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24" O.C. HORIZONTALLY & VERTICALLY AND SHALL SUPPORT NOT MORE THAN 2 2/3 SQ FEET OF WALL AREA. ADDL TIES AT 36" O.C. AROUND ALL OPENINGS W/IN 12" OF OPENING. THERE SHALL BE A MIN. OF 1" CLEAR SPACE BEHIND VENEER.
6. MASONRY VENEER SHALL NOT SUPPORT ANY VERTICAL LOAD OTHER THAN THE DEAD LOAD OF THE VENEER ABOVE.
7. VENEER ABOVE OPENINGS SHALL BE SUPPORTED ON LINTELS AS SPECIFIED ON PLANS.
8. LENGTH OR BEARING SHALL NOT BE LESS THAN 4 INCHES.
9. MASONRY VENEER SUPPORTED BY WOOD OR COLD FORMED STEEL SHALL HAVE A MOVEMENT JOINT SEPARATING THE VENEER SUPPORTED ON THE WOOD OR COLD FORMED STEEL AND VENEER SUPPORTED BY HOT ROLLED STEEL OR THE FOUNDATION.
10. FLASHING SHALL BE INSTALLED PER SECTION 703.7.5 AND 703.8 OF THE CURRENT RESIDENTIAL CODE OF OHIO.
11. WEEP HOLES WITH BRICK VENEER SHALL BE INSTALLED PER SECTION 703.7.6 OF THE CURRENT RESIDENTIAL CODE OF OHIO. (IF STUCCO VENEER, SECTION 703.6.2.1 GOVERNS).
12. AN ICE BARRIER SHALL BE PLACED FROM THE EAVE EDGE TO A MINIMUM OF 24" FROM INSIDE FACE OF THE EXTERIOR WALL. (ICE BARRIER SHALL BE TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET).
13. ROOF SLOPES FROM 2 UNITS VERTICAL IN 12 UNITS HORIZONTAL UP TO FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL TWO LAYERS OF UNDERLAYMENT SHALL BE INSTALLED PER SECTION R905.2.7 OF THE 2013 RCO. (USE OF SINGLE LAYER OF 30 LB FELT UNDERLAYMENT IS EQUIVALENT TO DOUBLE LAYER OF 15 LB FELT, DIRECT SUBSTITUTION IS ALLOWED.)
14. THE TOTAL NET FREE AREA OF ROOF VENTING SHALL BE NOT LESS THAN 1 TO 150 OF THE AREA OF SPACE TO BE VENTILATED. TOTAL NET FREE AREA IS PERMITTED TO BE REDUCED TO 1 TO 300 PROVIDED AT LEAST 50% AND NOT MORE THAN 80% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED. THE BALANCE OF THE REQUIRED VENTILATING AREA SHALL BE PROVIDED AT THE EAVES.
15. INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1 INCH SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AT THE LOCATION OF THE VENT.
16. AN ATTIC ACCESS HAVING A VERTICAL HEIGHT OF 30 INCHES OR GREATER SHALL BE PROVIDED TO ATTIC AREAS EXCEEDING 30 SF. THE ROUGH FRAMED OPENING OF NOT LESS THAN 22 IN. X 30 IN. SHALL BE LOCATED IN A READILY ACCESSIBLE LOCATION. A 30 INCH UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE SHALL BE PROVIDED AT SOME POINT ABOVE THE ACCESS.
17. ALL GUTTERS TO BE 4 INCH, .027 GAUGE ALUMINUM WITH BAKED ENAMEL FINISH. GUTTER DOWNSPOUTS SHALL BE 4 INCH, .20 GAUGE ALUMINUM WITH BAKED ENAMEL FINISH.

E. ENERGY EFFICIENCY

1. ALL JOINTS, SEAMS, PENETRATIONS, OPENINGS BETWEEN WINDOWS AND DOORS AND THEIR RESPECTIVE FRAMING, AND OTHER SOURCES OF AIR LEAKAGE (INFILTRATION OR EXFILTRATION) THROUGH THE BUILDING ENVELOPE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED, WRAPPED OR OTHERWISE SEALED.
2. INSULATION EXPOSED TO ATTIC, CRAWL SPACE OF DWELLING UNIT SHALL HAVE MAX FLAME SPREAD RATING OF 25 AND MAX. SMOKE DEVELOPMENT FACTOR OF 450, PER CODE SECTION 316
3. ENCLOSED, INSULATED RAFTER SPACES SHALL BE PROVIDED WITH CROSS VENTILATION OR VAPOR BARRIER.
4. COMBUSTIBLE INSULATION SHALL BE SEPARATED BY A MINIMUM DIMENSION OF 3 INCHES FROM RECESSED LIGHTING FIXTURES, FAN MOTORS AND ALL OTHER HEAT PRODUCING DEVICES.
5. INSULATION MATERIALS INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, CRAWL SPACES AND ATTICS SHALL A FLAME SPREAD INDEX NOT TO EXCEED 25 WITH A ACCOMPANYING SMOKE DEVELOPED INDEX NOT EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E84.

F. GYPSUM WALLBOARD

1. THE GARAGE AND RESIDENCE SHALL BE SEPARATED BY A MIN. 1/2" GYPSUM BOARD STANDARD. ALL CEILINGS TO RECEIVE A WATER BASED TEXTURE MATERIAL SHALL HAVE 5/8" GYPSUM BOARD APPLIED. IF HABITABLE SPACE IS LOCATED ABOVE GARAGE, 5/8" TYPE X GYPSUM BOARD IS REQUIRED AT GARAGE CEILING.
2. PROVIDE (1) LAYER OF 1/2 INCH GYPSUM BOARD UNDER ALL STAIRS WITH ENCLOSED ACCESSIBLE SPACE.

G. DOORS & WINDOWS

1. ALL PATIO DOORS SHALL HAVE THE OPERABLE LEAF TO THE INSIDE.
2. PROVIDE TEMPERED GLAZING IN ALL AREAS DEEMED HAZARDOUS BY SECTION 308.4 OF THE CURRENT RES. BUILDING CODE OF OHIO.
3. ALL SASHES, SLIDING GLASS DOORS, ENTRANCE DOORS AND BOTTOM PLATES SHALL BE CAULKED (ALL SIDES OF OPENING) AND ALL WINDOW AND DOOR HEADS SHALL BE FLASHED.
4. EMERGENCY AND ESCAPE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SF. AND SILL IS A 44" AFF MAX.
5. EMERGENCY AND ESCAPE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING HEIGHT OF 24 INCHES AND WIDTH OF 20 INCHES.
6. OPENINGS SEPARATING GARAGE AND RESIDENCE SHALL BE SEPARATED WITH 20 MIN. RATED FIRE DOORS.
7. ANY WINDOW WITHIN 2'-0" OF A DOOR , ALL SIDELITES & SHOWER DOORS TO BE TEMPERED PER CODE SECTION 308.0
8. EXTERIOR DOORS SHALL HAVE A LANDING ON EACH SIDE THAT WILL NOT BE LESS THAN THE DOOR BEING SERVICED W/ A MIN. OF 36" IN EACH DIRECTION PER CURRENT RCO, SECTION 311.3

H. HEATING & VENTILATION

1. ALL CLOTHES DRYER EXHAUSTS TO VENT TO THE OUTSIDE. MANUFACTURER SPECIFICATIONS AND MODEL TYPE GOVERN THE LENGTH OF DRYER EXHAUST RUNS. SPECIFICATIONS TO BE SUBMITTED WITH PERMIT SET. IF MANUFACTURER IS NOT KNOWN, 25'-0" MAXIMUM RUN WITH A 5'-0" DEDUCT FOR EACH 90 DEGREE ELBOW. CONTRACTOR TO VERIFY INSTALLATION LOCATION PRIOR TO INSTALL.
2. PROVIDE PASSIVE RADON MITIGATION SYSTEM PER MUNICIPALITY REQUIREMENTS
3. MECHANICAL APPLIANCES SHALL BE ACCESSIBLE WITHOUT REMOVING PERMANENT CONSTRUCTION. 30 INCHES OF WORKING SPACE SHALL BE PROVIDED IN FRONT OF THE CONTROL SIDE TO SERVICE THE APPLIANCE.
4. EXHAUST DUCTS SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER. MECH. VENTILATION SHALL HAVE GRAVITY DAMPERS THAT CLOSE WHEN SYSTEM IS NOT IN OPERATION.
5. ALL HVAC EQUIPMENT SHALL BE INDIVIDUALLY SWITCHED.
6. ALL INTERIOR EXHAUST FANS SHALL DISCHARGE DIRECTLY TO THE EXTERIOR. DUMPING OF EXHAUSTED AIR INTO ATTIC SPACES IS PROHIBITED.
7. BATHROOM AND POWDER ROOM EXHAUST FANS SHALL BE SIZED IN ACCORDANCE WITH SCHEDULE AND SHALL BE PROVIDED WITH A SUITABLE CAP AND BACK DRAFT DAMPER.
8. PROVIDE INDIVIDUAL GAS SHUTOFF VALVES TO RANGE, WATER HEATER, DRYER AND FURNACE IF APPLICABLE.
9. DUCTS ARE INSULATED WITH AT LEAST R-8 INSULATION WHERE LOCATED OUTSIDE THE THERMAL ENVELOPE.
10. CRAWL SPACE VENTILATION SHALL BE PROVIDED BY MECHANICAL VENTILATION AT A RATE OF 1.0 CFM. FOR EACH 50 SQUARE FEET.
11. ALL MANUF. BUILT FIREPLACES SHALL COMPLY W/ SPECIFICATIONS OF MANUF. AND/OR THE LATEST EDITION OF UL 127.

J. PLUMBING

1. ALL PLUMBING TO COMPLY W/ THE OHIO PLUMBING CODE
2. PROVIDE (2) FROST PROOF HOSE BIBS WITH VACUUM BREAKERS AT EACH BUILDING.
3. PLUMBER SHALL REMOVE ALL SPOILS OCCURRING FROM HIS WORK AND SHALL REPLACE REMOVED SOILS WITH COMPACTED GRAVEL.
4. PLUMBING ROUGH-INS SHALL BE COMPLETE AS TO WASTE, WATER SUPPLY AND VENTING.
5. PLUMBING SYSTEMS AND/ OR PIPES PASSING THROUGH WALLS, CEILINGS, EXITING CONCRETE SLABS, OR PASSING THROUGH CONCRETE WALLS, SHALL BE PROTECTED FROM BREAKAGE AND/ OR CORROSION BY PROTECTIVE SLEEVES AS APPROVED BY OHIO PLUMBING CODE.
6. WHIRLPOOL TUBS ARE TO HAVE AN ACCESS FOR SERVICING THE MOTOR & PUMPS.

the kolwicz residence

281 Franklin Ave.
Worthington, OH

OHBA TABLE 1112.2.1										
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT										
	PENETRATION R-VALUE	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE AND DEPTH	CRAWL SPACE WALL R-VALUE
Compliance Path #2	0.32	0.60	NR	49	19	13/17	30	10/19 (minimum 4' feet)	10 2ft	10/13

Tested Air Leakage is less than 5 ACH when tested with a blower door at a pressure of 50 pascals (0.007 psi). Testing shall occur after rough-in and after installation of penetrations of the building envelope, including penetrations for utilities, plumbing, electrical, ventilation and combustion appliances.

1112.2.4.2.1 Testing
1112.3.2.2 Sealing

Post-Construction test: Post construction duct tightness shall be verified to meet the values prescribed in Table 1112.3.3.2(e) by testing either the "Leakage to Outdoors" or the "Total Leakage" in accordance with the chosen compliance path. Testing shall be conducted at a pressure differential of 0.1 inch w.g. (25 Pa) across the entire system, including the manufacturer's air handler enclosure. All register boots shall be taped or otherwise sealed during the test.

OHBA TABLE 1112.3.3.2(e)		
POST CONSTRUCTION DUCT TIGHTNESS TESTING		
	Leakage to Outdoors (per 100 ft2 (9.29 m2) of conditioned floor area)	Total Leakage (per 100 ft2 (9.29 m2) of conditioned floor area)
Compliance Path #2	<4 cfm (1.89 L/s)	<8 cfm (3.83 L/s)

Rough-in test: Rough-in duct tightness shall be verified to meet the values prescribed in Table 1112.3.3.2(b) by testing the "Total Leakage" in accordance with the chosen compliance path. Testing shall be conducted at a pressure differential of 0.1 inch w.g. (25 Pa) across the roughed-in system, including the manufacturer's air handler enclosure, if installed at the time of the test. All register boots shall be taped or otherwise sealed during the test.

OHBA TABLE 1112.3.3.2(b)		
ROUGH-IN DUCT TIGHTNESS TESTING		
	Total Leakage - with air handler installed (per 100 ft2 (9.29 m2) of conditioned floor area)	Total Leakage - without air handler installed (per 100 ft2 (9.29 m2) of conditioned floor area)
Compliance Path #2	<4 cfm (1.89 L/s)	<3 cfm (1.41 L/s)

Exception: Duct tightness test is not required if the air handler and all ducts are located within conditioned space

*ALL HABITABLE ROOMS MEET BOTH EXCEPTIONS
EXCEPTION #1 THE GLAZED ARES SHALL NOT BE REQUIRED WHEN THE ROOM HAS AN ARTIFICIAL LIGHT SOURCE THAT IS A PERMANENT PART OF THE DWELLING SUCH AS CEILING LIGHTS
EXCEPTION #2a VENTILATION - INSTALL A MINIMUM OF 6 INCH MAKE UP AIR TO THE HVAC SYSTEM

Sheet List Table

Sheet Number	Sheet Title
C.0	Cover Sheet
1.0	Elevation Front & Rear
1.1	Elevation Left & Right
1.A	Elevation Details
2.0	Foundation
2.A	Foundation Details
3.0	First Floor Plan
3.A	First Floor Plan Details
4.0	First Floor Framing
5.0	Roof Plan
M1.0	First Floor MEP

CUSTOMER PLAN REVIEW SIGNATURE

I understand that my new Compass Home will be built in general conformance to the plans, specifications, selections and the purchase agreement (or construction agreement), all of which I have reviewed and approved. If there is any discrepancy between these documents, this set of plans will rule.

I have reviewed all of the room dimensions, ceiling heights, door swings, window locations and mullion (grid) patterns on these plans, and unless noted, I accept them as drawn. I understand that the room dimensions are measured from the rough framing, and that they may vary slightly from the plans.

I have reviewed the plot plan for my house and understand that there may be some field adjustments as to the exact location of the house on the home site. I understand that if I add anything to my property after closing, including, but not limited to, fences, pools, landscaping, trees, etc. that I am responsible for ensuring that whatever I add is within the property boundaries, and meets any zoning codes that apply to the property. I will not rely on the edge of sod installed by Compass Homes, as this will occasionally be placed beyond the lot lines for erosion control purposes.

I further understand that my home will not be built exactly like any other Compass Home, or model and that some minor variations from my plans and specifications may occur since every home that is built has its own set of unique construction challenges that must be dealt with as the home is being build.

CUSTOMER: _____ DATE:_____

CUSTOMER: _____ DATE:_____

REVISIONS

1 ----
2 ----
3 ----
4 ----

Custom

281 Franklin Ave.
Worthington, OH

compass HOMES

3763 Attucks Drive
Powell, Ohio 43065
Ph 614-885-8300

THIS DRAWING IS THE PROPERTY OF COMPASS HOMES. INC. AND CONTAINS PROPRIETARY INFORMATION. USE, DISCLOSURE, OR REPRODUCTIONS OF THIS DRAWING OR ITS CONTENTS, IN WHOLE OR IN PART, WITHOUT THE EXPRESS, WRITTEN PERMISSION OF COMPASS HOMES INC. IS STRICTLY PROHIBITED.
© 2023 COMPASS HOMES INC.
ALL RIGHTS RESERVED.

STATE OF OHIO
JEFFERY A KUBALA
69068
REGISTERED
PROFESSIONAL ENGINEER

Jeffery A. Kubala
3/10/2023

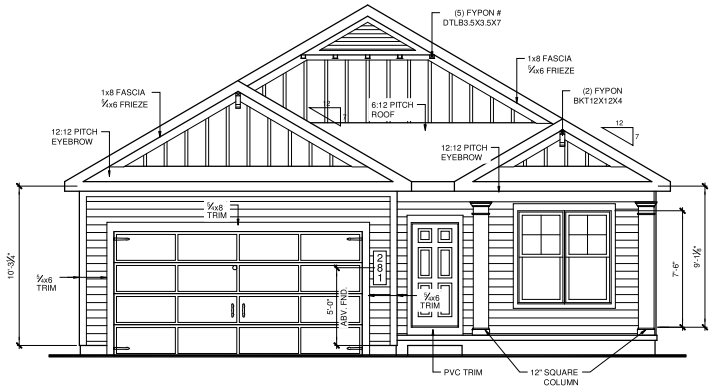
C.0

Issued Date: 4/10/23
LSP By: JWM

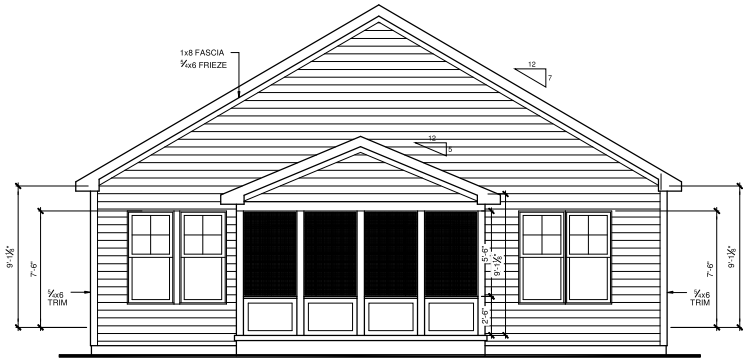
CITY OF WORTHINGTON

DRAWING NO. DEMO 01-2023

DATE 05/26/2023

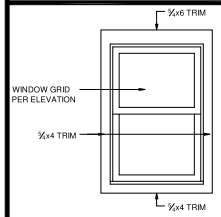


1 FRONT ELEVATION SCALE: ¼"=1'-0"

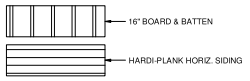


2 REAR ELEVATION SCALE: ¼"=1'-0"

WINDOW TRIM ELEVATION



ELEVATION MATERIAL LEGEND



REVISIONS

1 ----
2 ----
3 ----
4 ----

Custom

281 Franklin Ave.
Worthington, OH

compass HOMES

3763 Attucks Drive
Powell, Ohio 43065
Ph 614-885-8300

THIS DRAWING IS THE PROPERTY OF COMPASS HOMES. INC. AND CONTAINS PROPRIETARY INFORMATION. USE, DISCLOSURE, OR REPRODUCTIONS OF THIS DRAWING OR ITS CONTENTS, IN WHOLE OR IN PART, WITHOUT THE EXPRESS, WRITTEN PERMISSION OF COMPASS HOMES INC. IS STRICTLY PROHIBITED.
© 2023 COMPASS HOMES INC.
ALL RIGHTS RESERVED.

STATE OF OHIO
JEFFERY A. KUBALA
69058
REGISTERED
PROFESSIONAL ENGINEER

Jeffery A. Kubala
3/10/2023
STRUCTURAL TRAINING
MEMBER ONLY

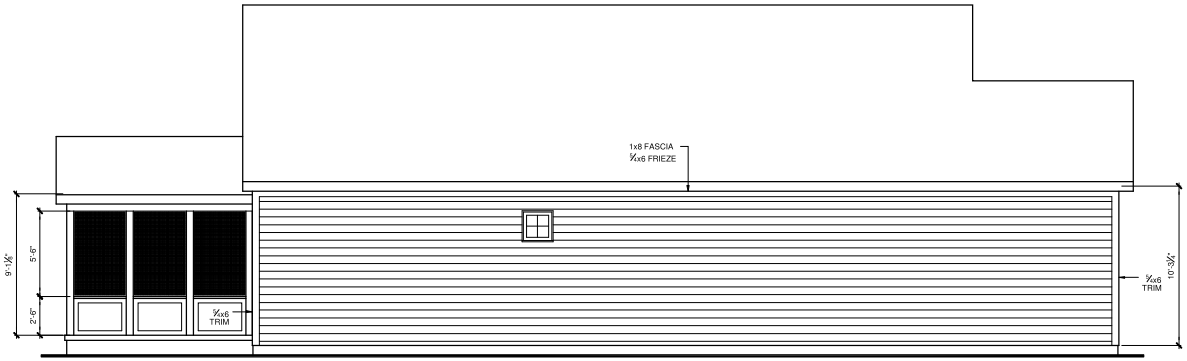
1.0

Issued Date: 4/10/23
LSP By: JWM

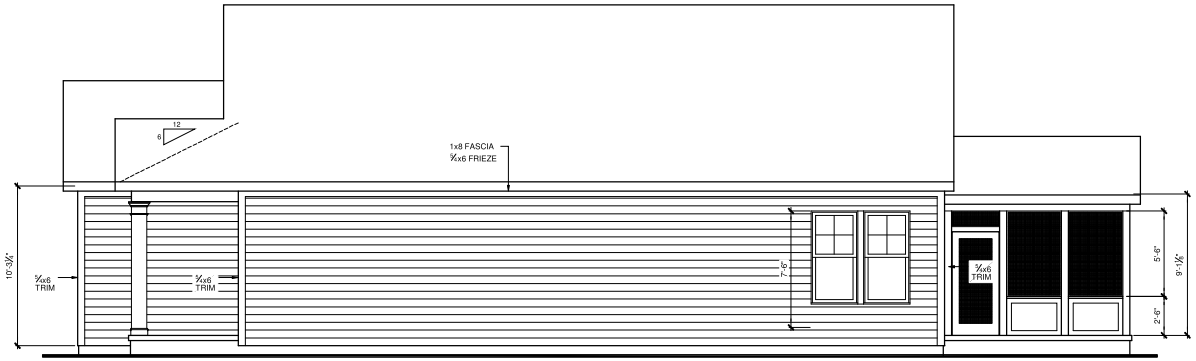
CITY OF WORTHINGTON

DRAWING NO. DEMO 01-2023

DATE 05/26/2023

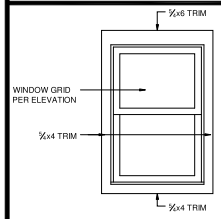


1 LEFT ELEVATION SCALE: ¼"=1'-0"

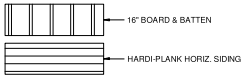


2 RIGHT ELEVATION SCALE: ¼"=1'-0"

WINDOW TRIM ELEVATION



ELEVATION MATERIAL LEGEND



REVISIONS

1 ----
2 ----
3 ----
4 ----

Custom

281 Franklin Ave.
Worthington, OH

compass HOMES
3763 Attucks Drive
Powell, Ohio 43065
Ph 614-885-8300

THIS DRAWING IS THE PROPERTY OF COMPASS HOMES, INC. AND CONTAINS PROPRIETARY INFORMATION. USE, DISCLOSURE, OR REPRODUCTIONS OF THIS DRAWING OR ITS CONTENTS, IN WHOLE OR IN PART, WITHOUT THE EXPRESS, WRITTEN PERMISSION OF COMPASS HOMES INC. IS STRICTLY PROHIBITED.
© 2023 COMPASS HOMES INC.
ALL RIGHTS RESERVED.

STATE OF OHIO
JEFFERY A. KUBALA
69068
REGISTERED
PROFESSIONAL ENGINEER

Jeffery A. Kubala
5/10/2023
STRUCTURAL FRAMING MEMBERS ONLY

1.1

Issued Date: 4/10/23
LSP By: JWM

CITY OF WORTHINGTON

DRAWING NO. DEMO 01-2023

DATE 05/26/2023

MPC APPLICATIONS
DEMO 02-2023 SUB 02-2023
286 W. South St.

Plan Type:	Demolition	**Project:**		**App Date:**	05/26/2023
Work Class:	Certificate of Demolition	**District:**	City of Worthington	**Exp Date:**	
Status:	In Review	**Square Feet:**	2,782.00	**Completed:**	
Valuation:	$400,000.00	**Assigned To:**		**Approval Expire Date:**	

Description: Demolition of a house on South Street that was built in 1944. Worthington Historical Society has already visited and documented the house, and approves the demolition.

Proposed subdivision of a .88 acre parcel into three parcels, which will contain a single family home on each respective parcel.
Applicant requests (i) two lot width variances; (ii) an architectural projection variance and a rear yard variance on one of the houses; and (iii) a rear yard variance on one of the houses.
The three houses are as follows:
House #1 is proposed at 3,460 square feet; 4 bedrooms, 3.5 baths; attached garage (2-car); and a 1st floor master bedroom.
House #2 is proposed at 3,821 square feet; 5 bedrooms, 3.5 baths; and an attached garage (2-car).
House #3 is proposed at 3,726 square feet; 5 bedrooms, 4.5 baths; attached garage (3-car); and a 1st floor master bedroom.

Parcel:	100-006200 Main	**Address:**	286 W South St Worthington, OH 43085 Main	**Zone:**	R-10(Low Density Residence)

Owner	Applicant
Megan Schaffernocker	Eric Kmetz
1149 High Grove Dr	7720 Campus Lane
Columbus, OH 43235	Montgomery, OH 45242
Mobile: (614) 203-1306	Mobile: (859) 307-2026

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003982	Certificate of Demolition	$25.00	$25.00
	Total for Invoice INV-00003982	$25.00	$25.00
	Grand Total for Plan	**$25.00**	**$25.00**

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00003983	(Subdivision)Preliminary Plat	$150.00	$150.00
	Total for Invoice INV-00003983	$150.00	$150.00
	Grand Total for Plan	**$150.00**	**$150.00**

286 W. South St.

100-006200 08/25/2022

286 W. South Street, Worthington, Ohio

CITY OF WORTHINGTON

DRAWINGS NO. DEMO 02-2023
SUB 02-2023

DATE 05-26-2023

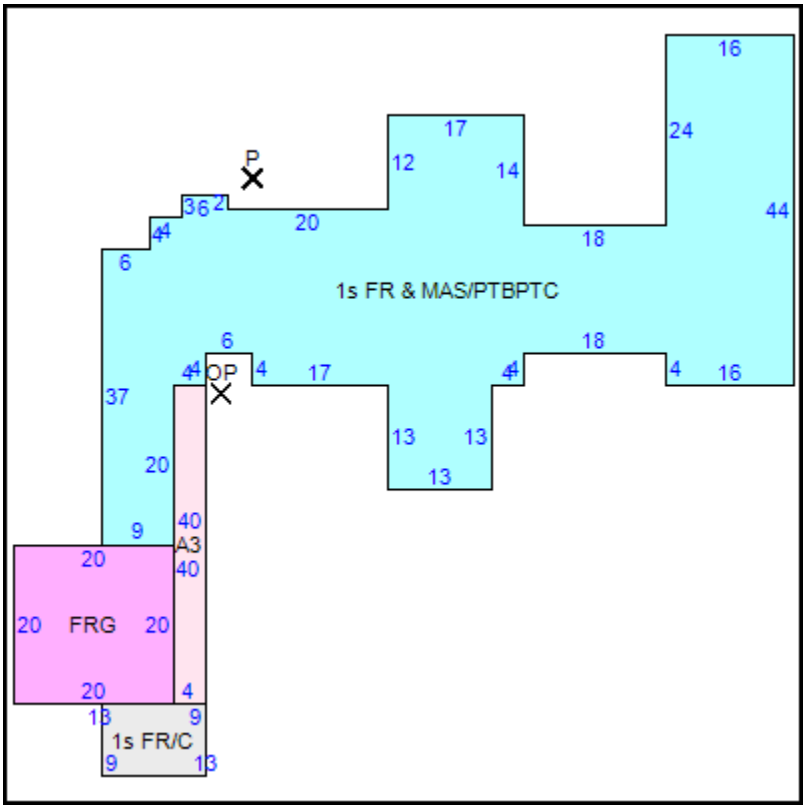
Auditor's website link: Franklin County Auditor (see photos, transfers and historical transfer sheet for more information)

Timeline
-1937 - C. Curtis Inscho bought lots 15 - 30 in Hoyer's subdivision from his parents Charles and Ruth Inscho;
-built 1941 per article profiling Curtis Inscho in 1985 (source unknown)
-built 1944 per auditor's website
-1948 per Worthington News; home of C. Curtis Inscho - who designed the home
1986 transfer to Joseph Rich (auditor)
2023 transfer to SK Homes (auditor)

12/4/1948; Worthington News (from article about Woodrow Guild Holiday Home Tour)
Mr. and Mrs. Curtiss Inscho, 286 West South Street, will do their own decorating for Christmas. In fact, the whole house could be called "individualistic." This charming, rambling, one floor house was designed by Mr. Inscho who is an architect. Inside we will find a Chinese flair. There is a carved walnut chest and bench done by Mr. Inscho and Mrs. Inscho has used antique pictures frames for a coffee table and cabinet doors. The dining room table is L-shaped so that each guest may view and enjoy the fountain outside the window. Even the children's rooms were designed and decorated specially.

C Curtis Inscho - architect at Inscho Brand and Inscho; architect of building on UMCH property in 1952 (see 2/7/1952 Worthington News, page 1)

8/21/1952, Worthington News;
Curtiss Inscho, 286 W. South Street will leave about September 1 for Germany to study postwar reconstruction. Mr. Inscho is a member of the architectural firm of Inscho Brand and Inscho at 60 E. Broad Street. At the request of the West German government, the American Institute of Architects was asked to choose 10 outstanding architects in this country to go to Germany to advise and study the reconstruction program there. Mr. Inscho, who has been designated as adviser on construction of hospitals and public buildings in West Germany will be gone about five weeks.



Community Planning

By Curtiss Inscho
Chairman Zoning and Building
Code Committee

Planning is simply an intelligent effort, by the citizens of a community, to create a better place in which to live.

The right kind of planning will result if an informed group of active citizens will seriously consider the problems, arouse public opinion and help guide those taking an active part in making Worthington a better place for your wife, your children, your neighbors and you.

Here, then, are seven ways in which you as an active citizen of the community can help:

Look about you, don't take noise, congestion, dirt and ugliness for granted. Compare what you see with your own idea of a perfect community. Consider what improvements could be made by you yourself, by groups of individuals or by the Village.

Inquire as to what is being done about health, schools, utilities, traffic, recreation, parks, etc. Contact groups interested or working on these things and give them your ideas. If there is no group functioning, start one.

Join groups interested in community betterment, such as Greater Worthington Civic Association, Parent Teachers Clubs, Churches, Business Men's Clubs, social and recreation groups.

Study and acquaint yourself with the fundamentals of planning. There are many books, magazine articles, and recently radio programs that deal with community development. You will find them very interesting.

Support things you know would make for better living and a more beautiful community. Through demanding better towns we can maintain and improve the democracy for which we are now fighting.

Educate the children through civic classes that careful town planning is essential. Acquaint them with our community and show them how it could and should be improved.

Vote for and support elements of planning program which will require legislative action.

We are all agreed there is "Worth In Worthington". Now, let's get together and make Worthington worthwhile.

CITY OF WORTHINGTON

DRAWINGS NO. DEMO 02-2023
SUB 02-2023

DATE 05-26-2023

Article on right - Worthington News 12/28/1944

CITY OF WORTHINGTON

DRAWINGS NO. DEMO 02-2023
SUB 02-2023

DATE 05-26-2023

Inscho, C.C.
P+F Misc.

3 P+F Misc

CITY OF WORTHINGTON

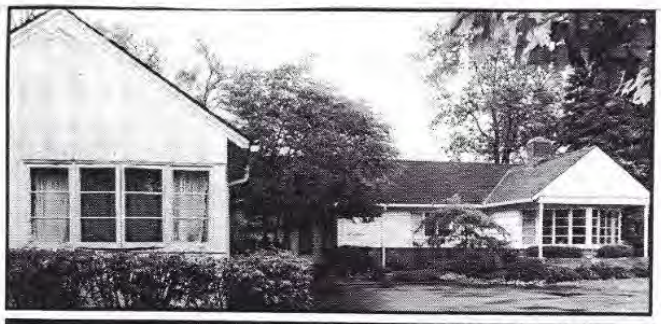
DRAWINGS NO. DEMO 02-2023
SUB 02-2023

DATE 05-26-2023

Worthington Two
The News May 8, 1985

Talent runs in the family for Worthington architect

C. Curtis Inscho (above right): architect, woodcarver, furniture designer, artist and gardener. "The Paperboy," (above) is an oil that Inscho painted. The Worthington home of Inscho and his wife, Margaret, (below) was designed by him back in 1941 when there were only cornfields both north and south of their lot. The house is surrounded by a garden which Inscho planned and planted. Detail (bottom) from one of four doors of a credenza that Inscho designed, carved and built. It sits in the dining room, along with a refectory table that his father carved.



Most small boys draw pictures of cars or trains or boats or animals when they feel creative.

But not C. Curtis Inscho.

He drew floor plans of houses or stores or schools.

Perhaps they were crude, but his father, architect Charles L. Inscho, immediately recognized these lines and angles for what they were. And was delighted.

Few fathers are fortunate enough to have a son who wants to be "just like Dad."

CHILDREN INHERIT the genes of their parents, but sometimes those genes bring forth the worst qualities instead of the best. Not so for this father-son duo.

Curt (who, to eliminate confusion with his father, never used his first name, Charles) not only followed his father's vocation, but also his avocations. In addition to being designers of buildings, both were also wood carvers and furniture designers, artists and gardeners.

Inscho the father, who lived to be 85, designed many of the houses built in the early years of Upper Arlington, as well as schools and churches.

Inscho the son is widely known as an architect who specializes in hospitals, and has built many throughout Ohio.

AT OHIO WESLEYAN University, he designed the library, the drama center (incorporating facilities for a thrust, in-the-round, and standard stage), dormitories and renovations of other

Inscho has been the supervisor of architecture at Columbus Riverside Methodist Hospital since its inception in 1950.

He is also the architect who designed seven major buildings at Ohio State University, including the medical administration building, medical library, medical science building, Independence Hall, Dulles Hall and the complete renovation of the OSU hospitals. At present, he is responsible for the master planning of the long-range development of the OSU hospital complex.

THE SEVENTH OSU building, a challenge that Inscho met that is close to the hearts of early OSU graduates, was the rebuilding of University Hall. His structure is an exact duplicate of this historic building, with the same wide entrance steps and the same tower where the original clock has been reinstalled.

"Dad and I both liked to carve wood and design and build furniture," Inscho said.

"There are two pieces in our dining room: a refectory table that he carved in a pattern of leaves, vines and bunches of grapes; and a large walnut credenza with four doors that I designed and carved.

"A UNIQUE RESULT of our mutual handwork is an 18-foot oak beam in the living room of the house that Dad built as the family home on Abington Road. He marked the middle of the beam and design from each end until we met in the middle."

"Dad painted battles while an artisifer (military officer) in the Spanish-American War," Inscho continued. "He worked in watercolors after he retired, many of which hang on the walls in our home.

"I took some fine arts classes in college and painted in the 20s and the 30s. I too hope to return to this hobby when I retire.

"Both of us liked to garden...plant trees, shrubs, flowers, everything. It is relaxing for me."

INSCHO IS A product of North High School and of Ohio State University, where he was president of the freshman class in 1929. He is a member of Delta Tau Delta Fraternity, and Tau Sigma Delta and Texnokoi honor societies.

He served as president of the Columbus Chapter of the American Institute of Architects in 1945 and president of the Architecture Society of Ohio in 1949.

In 1941 when Curt was ready to design and build his own house, he chose West South Street in Worthington as the site.

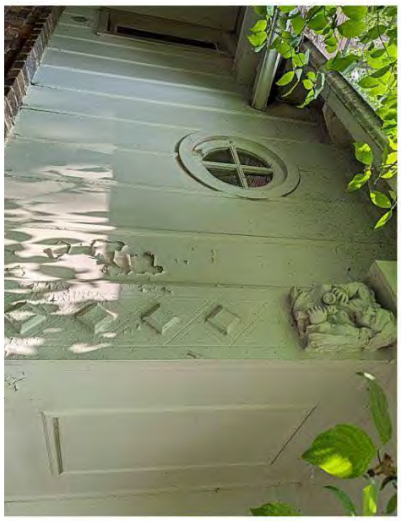
"There was just a gravel road and a few houses when I built," he said, "with 100 acres of cornfields both to the north and south of my lot." He has since added a wing and a swimming pool.

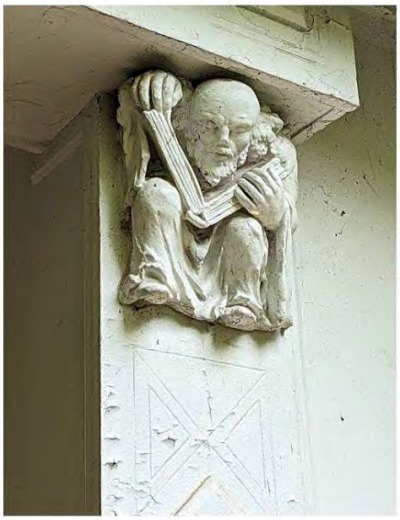
Inscho and his wife, Margaret, who love to travel, have a daughter, Molly, and a son, Scott.

CITY OF WORTHINGTON

DRAWINGS NO. DEMO 02-2023
SUB 02-2023

DATE 05-26-2023





CITY OF WORTHINGTON

DRAWINGS NO. DEMO 02-2023
SUB 02-2023

DATE 05-26-2023

CITY OF WORTHINGTON

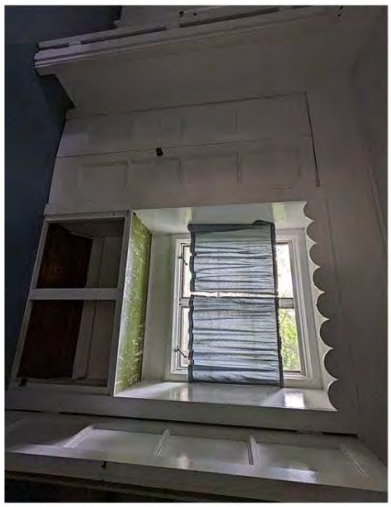
DRAWINGS NO. DEMO 02-2023
SUB 02-2023

DATE 05-26-2023

CITY OF WORTHINGTON

DRAWINGS NO. DEMO 02-2023
SUB 02-2023

DATE 05-26-2023



CITY OF WORTHINGTON

DRAWINGS NO. DEMO 02-2023
SUB 02-2023

DATE 05-26-2023

CITY OF WORTHINGTON

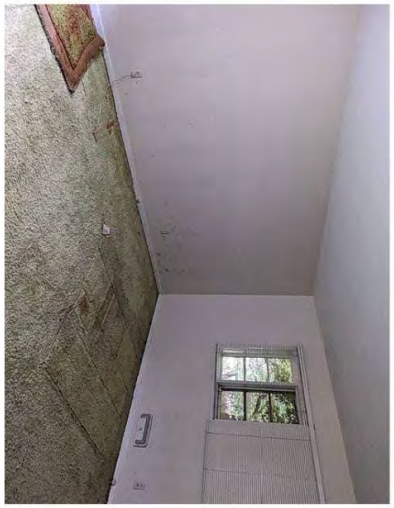
DRAWINGS NO. DEMO 02-2023
SUB 02-2023

DATE 05-26-2023

CITY OF WORTHINGTON

DRAWINGS NO. DEMO 02-2023
SUB 02-2023

DATE 05-26-2023



CITY OF WORTHINGTON

DRAWINGS NO. DEMO 02-2023
SUB 02-2023

DATE 05-26-2023

CITY OF WORTHINGTON

DRAWINGS NO. DEMO 02-2023
SUB 02-2023

DATE 05-26-2023

CITY OF WORTHINGTON

DRAWINGS NO. DEMO 02-2023
SUB 02-2023

DATE 05-26-2023

AUDITOR OFFICE | SEARCH | ONLINE TOOLS | REFERENCE | CONTACT MICHAEL

- Summary
- Land Profile
- Residential
- Commercial
- Improvements
- Permits
- Mapping
- Sketch
- Photo
- StreetSmart
- Aerial Photos
- Transfers
- BOR Status
- CAUV Status
- Tax & Payments
- Tax Distribution
- Tax Calculators
- Value History
- Rental Contact
- Incentive Details
- Quick Links

Parcel ID: 100-006200-00
SK HOMES SOUTH STREET LLC

CITY OF WORTHINGTON

DRAWINGS NO. DEMO 02-2023
SUB 02-2023

DATE 05-26-2023

MORTGAGE LOCATION SURVEY

0220-23

TITLE COMPANY: NORTHWEST SELECT TITLE AGENCY, LLC
LENDER: THE HUNTINGTON NATIONAL BANK
BUYER: MEGAN SCHAFFERNOCKER AND TROY SHAFFERNOCKER
SELLER: JOSEPH WILLIAM RICH
DATE: 02/27/2023
ORDER NO.: 0220-23

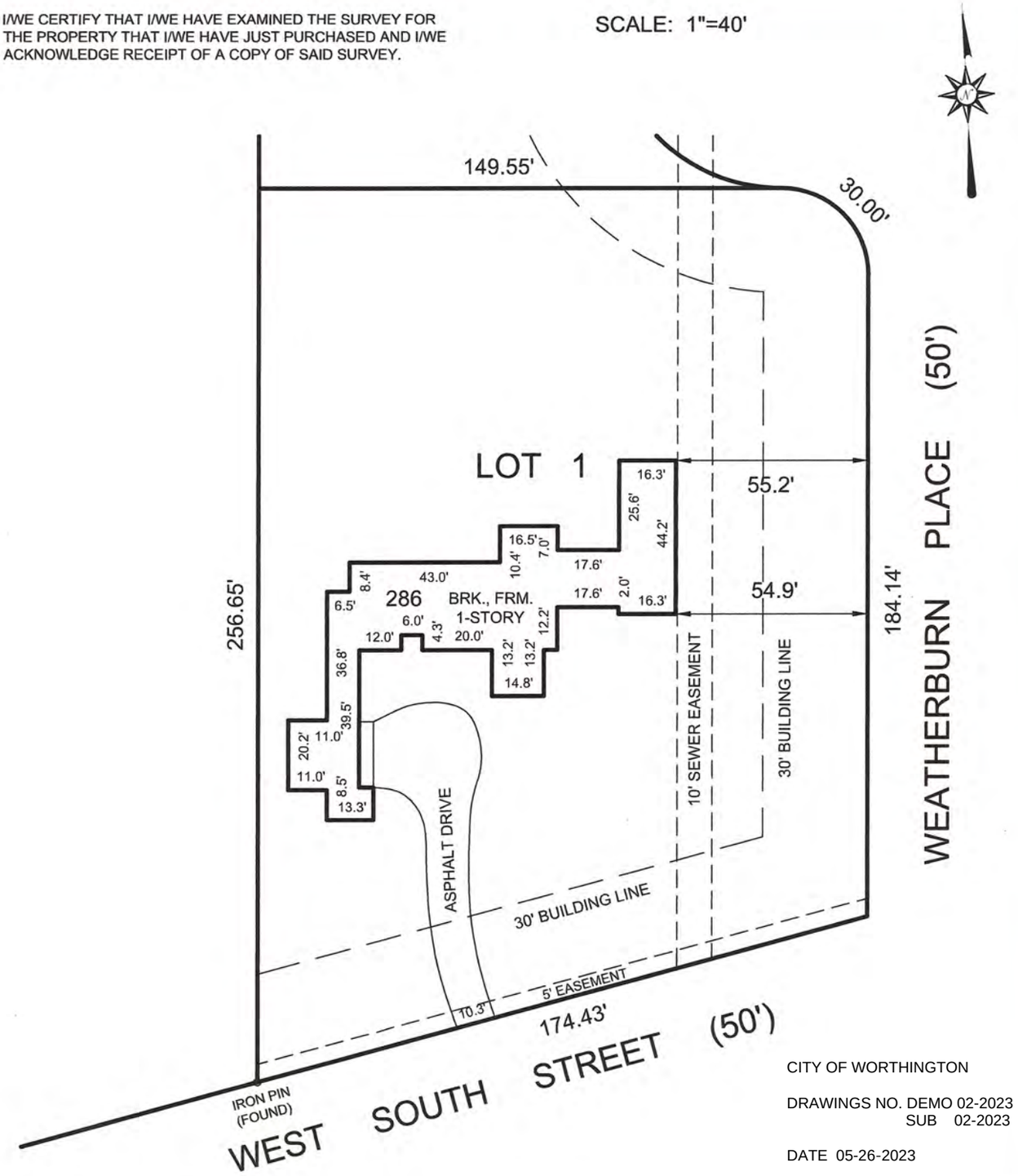
APPARENT ENCROACHMENTS: NONE.

LEGAL DESCRIPTION: BEING LOT NO. 1 OF WEATHERBURN, A RESUBDIVISION OF PART OF HOYER'S SUBDIVISION, OF RECORD IN PLAT BOOK 65, PAGE 91, FRANKLIN COUNTY RECORDER'S OFFICE, CITY OF WORTHINGTON, STATE OF OHIO.

PARCEL NO.: 100-006200-00 TITLE CO. FILE NO.: 12-14812

I/WE CERTIFY THAT I/WE HAVE EXAMINED THE SURVEY FOR THE PROPERTY THAT I/WE HAVE JUST PURCHASED AND I/WE ACKNOWLEDGE RECEIPT OF A COPY OF SAID SURVEY.

SCALE: 1"=40'



CITY OF WORTHINGTON

DRAWINGS NO. DEMO 02-2023
SUB 02-2023

DATE 05-26-2023

COMPASS
SURVEYING
SOLUTIONS

P.O. Box 1902
Westerville, Ohio 43086-1902
Phone: (614)378-9140
CompassSurveying@hotmail.com

We hereby certify that the foregoing MORTGAGE LOCATION SURVEY was prepared in accordance with Chapter 4733-38, Ohio Administrative Code and is not a boundary survey pursuant to Chapter 4733-37 Ohio Administrative Code. This plat is prepared for mortgage loan and title purposes only and does not show the location of fences or landscaping. This plat is not to be used for the construction of any improvements. Liability for this survey limited to actual cost of survey.

By

G. Dean Erlenbach
Ohio Registered Surveyor No. 7272

STATE OF OHIO
G. DEAN ERLENBACH
7272
REGISTERED
PROFESSIONAL SURVEYOR

Supporting Statement

Municipal Planning Commission,

I write on behalf of SK Homes South Street LLC ("SK Homes"), which is the owner of 286 W. South St. (parcel ID: 100-006200) (the "Subject Parcel"), which is zoned R-10 and is one of the largest residential parcels in all of Worthington (0.88 acres). Currently, the home located on the Subject Parcel was built in 1944 and was unable to pass a recent mortgage appraisal due to foundation issues, roof issues, mold, and other issues with the home. For these reasons, SK Homes has developed a plan to demolish the dilapidated house, subdivide the property into three parcels, and build three, new, single-family homes (two with first floor masters) on the newly created parcels. SK Homes has already met with the Worthington Historical Society, who took pictures of the 1944 house and has agreed with SK Homes' plan for demolition.

To accomplish the proposed subdivision and to build its three proposed homes, SK Homes respectfully requests (i) a lot width variance on the lot for the northern-most house ("House 1"), as well as a lot width variance on the lot for the middle house ("House 2"); (ii) an architectural projection variance and a rear yard variance on House 2; and (iii) a rear yard variance on the lot for the southern-most house ("House 3"). The details of each request are discussed below.

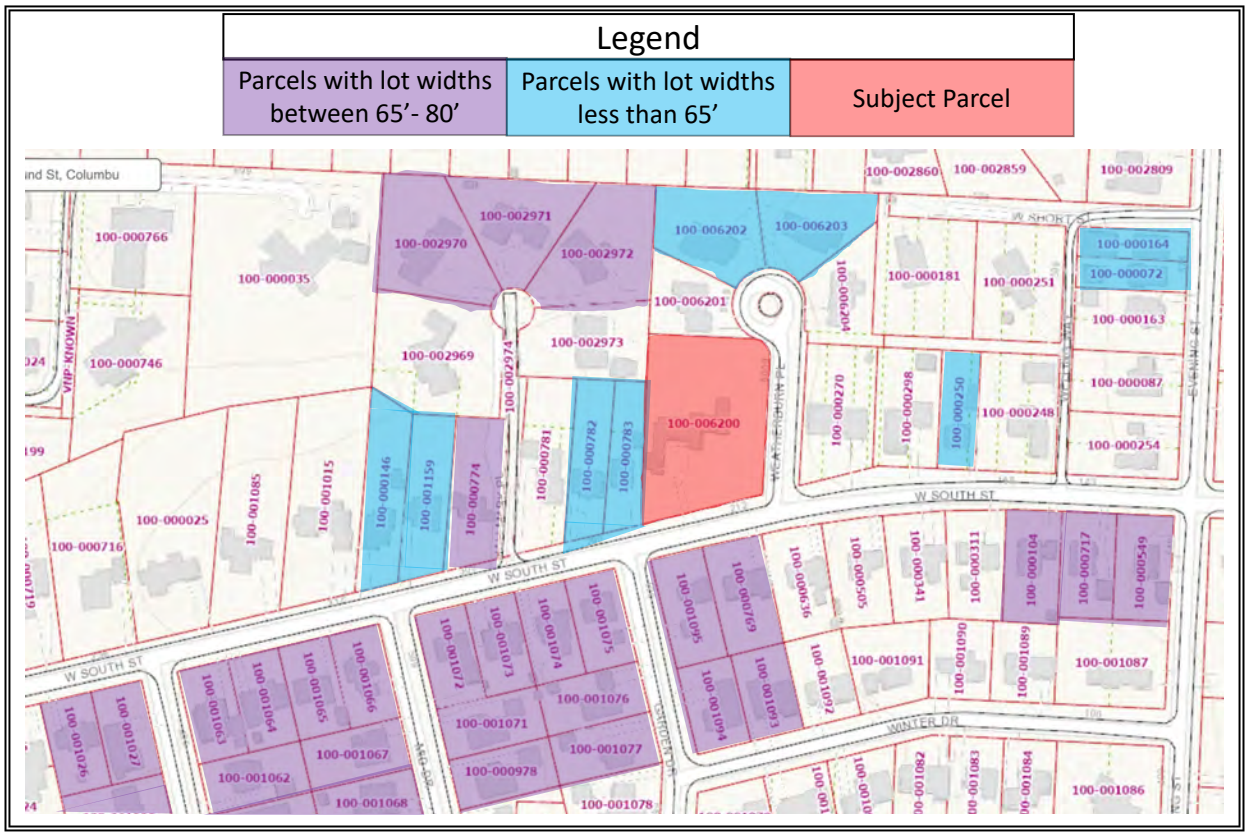
I. Lot Width Variance from Ordinance 1149.01

SK Homes proposes to split the Subject Parcel into three parcels, as shown below (a larger Plat is uploaded with the application materials):

SK Homes' proposed subdivision maintains the natural features of the Subject Parcel, as well as maintains the character of the surrounding neighborhood. However, since the lot width requirement for district R-10 is 80' (see Ordinance 1149.01), the proposed subdivision would require a lot width variance on the parcel for House 1, which is proposed at 66.79', as well as a lot width variance on the parcel for House 2, which is proposed at 65'.

Supporting Statement

The proposed lot width variances are consistent with the lot widths of many parcels in the neighborhood. Indeed, as shown in the figure below, most of the parcels in the neighborhood have lot widths that are less than the Ordinance requirement of 80', with many of these parcels having lot widths that are even less than the applicant's smallest proposed lot width of 65':



SK Homes respectfully requests approval of the lot width variance for the following reasons:

(1) It is necessary to yield a reasonable return since the parcel is one of the largest in Worthington and the parcel is not satisfactory in its current state to build a new home consistent with the character of other houses in Worthington;
(2) The variance is not substantial;
(3) The essential character of the neighborhood would not be altered since many of the neighboring lot widths are much smaller than the lot width being requested;
(4) The variance would not adversely affect the delivery of governmental services;
(5) SK Homes purchased the property with knowledge of the restriction;
(6) SK Homes cannot feasibly split the parcel into three parcels without the variance; and
(7) The spirit and intent behind the lot width requirement would be observed and substantial justice would be done by granting the variance.

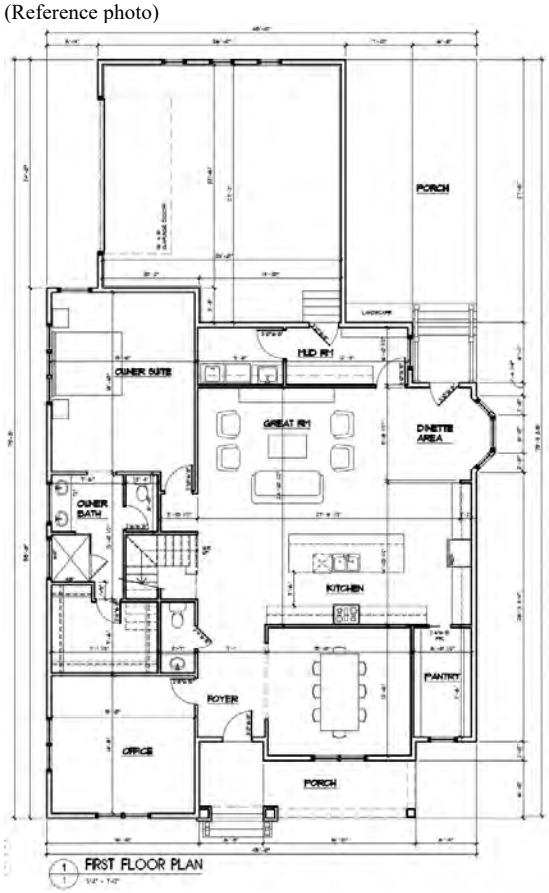
II. Architectural Projection Variance from Ordinance 1149.06(a) and Rear Yard Variance from Ordinance 1149.01

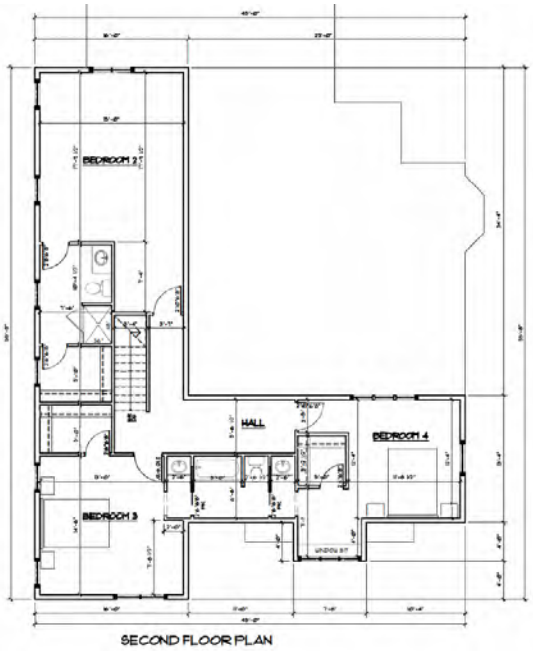
As stated above, SK Homes proposes to build a single family home on each of the three lots. For House 1 – the northern-most house – SK Homes' proposed design and floor plan are as follows:

House 1 (northern-most lot)

Features: 3,460 ft^2; 4 bedroom, 3.5 baths; attached garage (2-car); 1st floor master bedroom

(Reference photo)





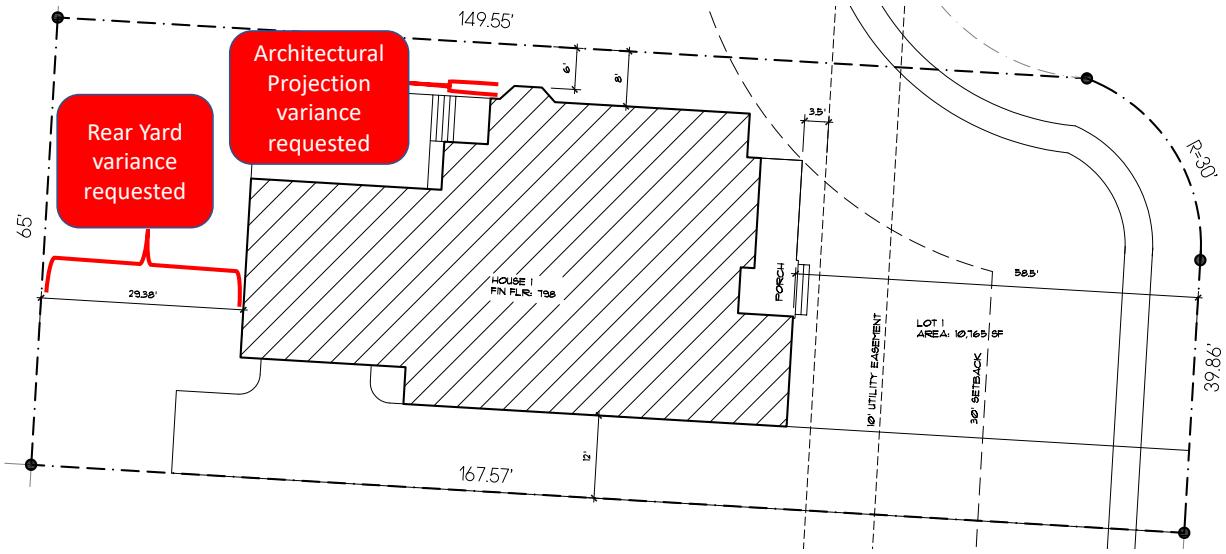
CITY OF WORTHINGTON

DRAWINGS NO. DEMO 02-2023
SUB 02-2023

DATE 05-26-2023

Supporting Statement

To build House 1 according to the proposed layout and site plan above, SK Homes respectfully requests an architectural projection variance from Ordinance 1149.06(a) and a rear yard variance from Ordinance 1149.01, as follows:



An architectural projection variance of 6” is requested to enable the construction of a bay window within the dinette of House 1. Per ordinance 1149.06(a), a bay window “may project into a required front, side or rear yard not more than eighteen inches provided the side yard is not reduced to less than six feet.” SK Homes’ proposed design for House 1 includes a bay window projection of 24”, as opposed to the Ordinance allowance of 18”; thus, a variance of 6” is requested. Even with this variance, the side yard would not be reduced to less than six feet, which is one of the stated criteria in the Ordinance language quoted above.

SK Homes also requests a rear yard variance of approximately 8” on House 1 so that it can be built according to its architecturally prepared plans. Two aspects of this parcel have created this variance request. First, House 1 sits at the entrance curve to a cul-de-sac, and thus, the front yard tracks the curve of the cul-de-sac and goes substantially deep into the property. Two, a utility easement sits about 50’ off the road and cuts perpendicularly through the parcel’s front yard. Respecting both the cul-de-sac curve and the utility easement have forced the front façade of House 1 to sit further back on its property. These factors led to the request for a variance from the required rear yard of 30’ (see Ordinance 1149.01) to a rear yard that is 29.38’.

SK Homes respectfully requests approval of the requested variances for the following reasons:

The architectural projection variance should be granted because:

1. House 1 will not yield as desirable of a return without a full bay window;
2. The requested variance of 6” is not substantial. Furthermore, even with the 6” variance granted, the criteria of having a six foot side yard would still be maintained;
3. The essential character of the neighborhood would not be substantially altered, and adjoining properties would not suffer a substantial detriment;

4. The variance would not adversely affect the delivery of governmental services;
5. SK Homes purchased the property without knowledge of the restriction;
6. SK Homes cannot build the house according to its proposed plans without the variance;
7. The spirit and intent behind the zoning requirement would be observed and substantial justice done by granting the variance.

The rear yard variance should be granted because:

1. House 1 will not yield as desirable of a return if the architecturally prepared plans need to be modified by 8" to shorten the house;
2. The requested variance of 8" is not substantial;
3. The essential character of the neighborhood would not be substantially altered, and adjoining properties would not suffer a substantial detriment as a result of the variance;
4. The variance would not adversely affect the delivery of governmental services;
5. SK Homes purchased the property with knowledge of the restriction;
6. SK Homes cannot build the house according to its proposed plan without the variance;
7. The spirit and intent behind the zoning requirement would be observed and substantial justice done by granting the variance.

III. Rear Yard Variance from Ordinance 1149.01

As stated above, SK Homes proposes to build a single family home on each of the three lots. For House 3 – the southern-most house – SK Homes' proposed design and floor plan are as follows:

House 3 (southern-most lot)
Features: 3,726 ft^2; 5 bedrooms, 4.5 baths; attached garage (3-car); 1st floor master bedroom

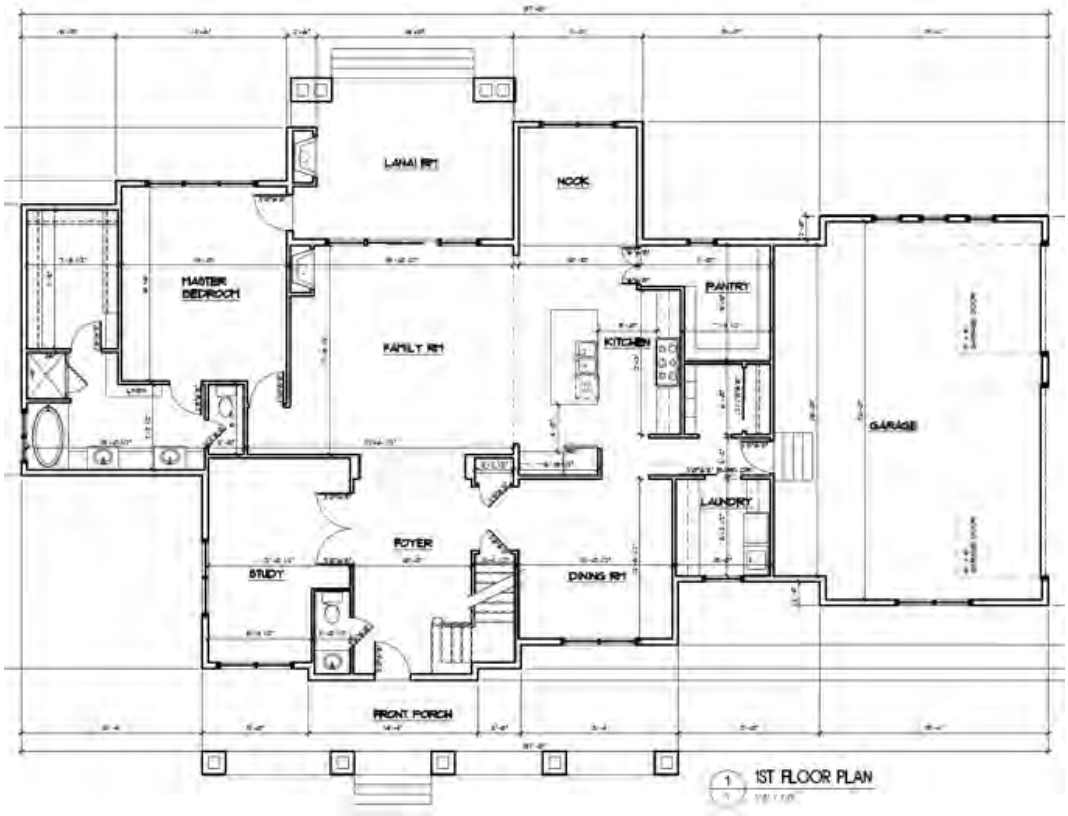
CITY OF WORTHINGTON

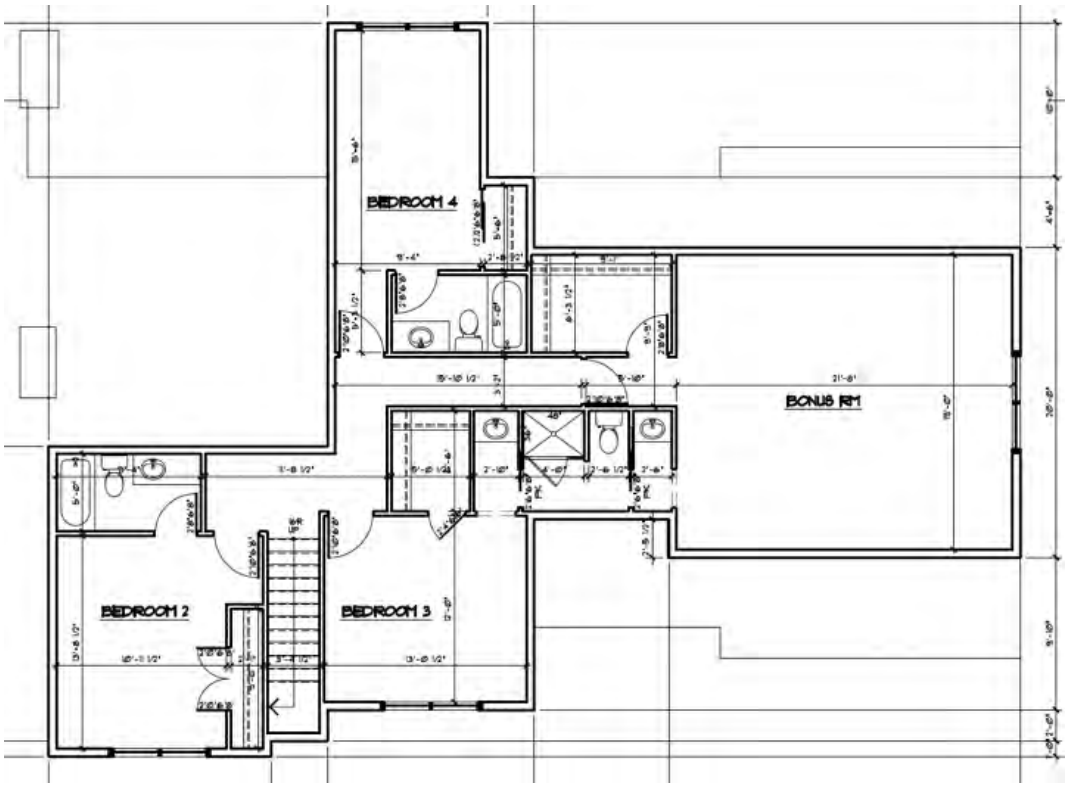
DRAWINGS NO. DEMO 02-2023
SUB 02-2023

DATE 05-26-2023

Supporting Statement

(Reference photo)





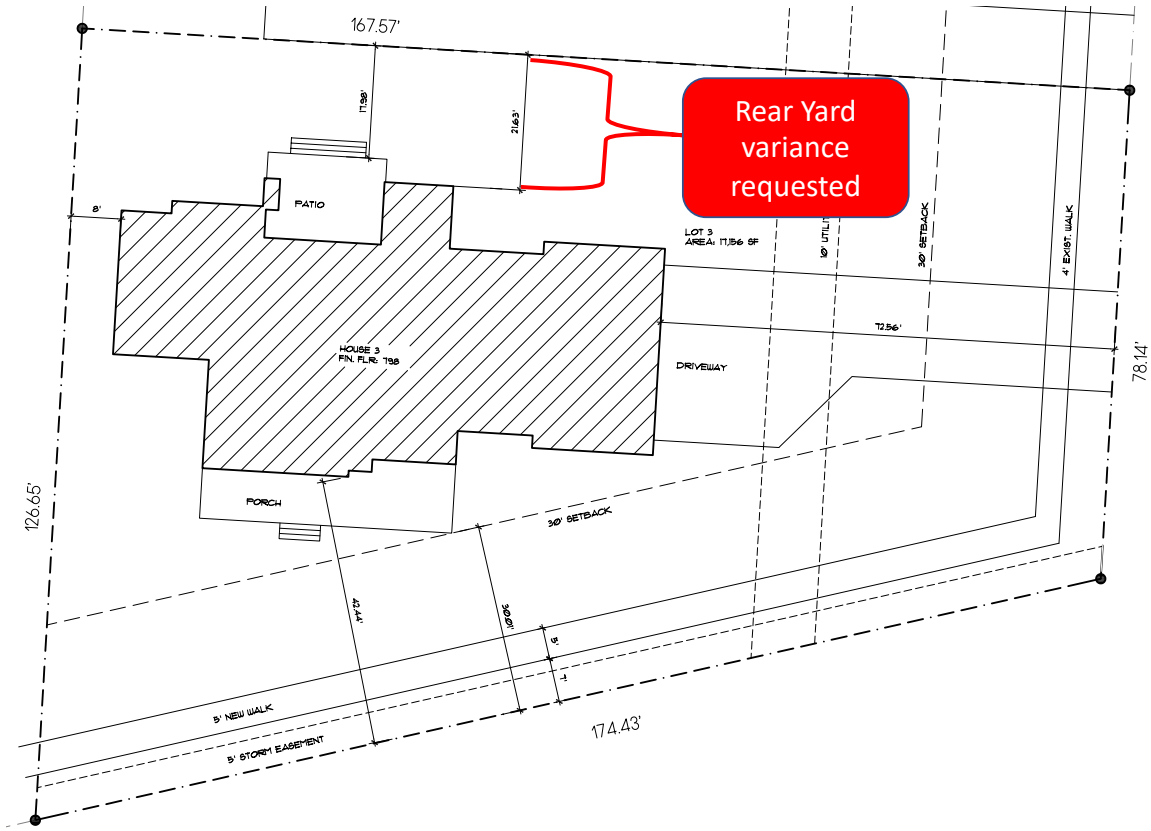
CITY OF WORTHINGTON

DRAWINGS NO. DEMO 02-2023
SUB 02-2023

DATE 05-26-2023

Supporting Statement

To build House 3 according to the proposed layout and site plan above, SK Homes respectfully requests a rear yard variance from Ordinance 1149.01, as follows:



A rear yard variance of approximately 12-15' is requested to allow for the construction of the proposed home according to the architecturally prepared plans. The unique aspect of this parcel that created this variance request are (i) this parcel is a corner lot, and (ii) it has an angled frontage street (South Street) that cuts substantially into the property. These two factors create a very shallow rear yard. Due to the sharp angle of the frontage street, building a house without a rear yard variance would result in a very shallow house that is out-of-character with the neighborhood. In addition, the size of the requested variance is only needed for a very small section of the house, as a vast majority of the rear side of barely crosses into the rear setback.

The rear yard variance should be granted because:

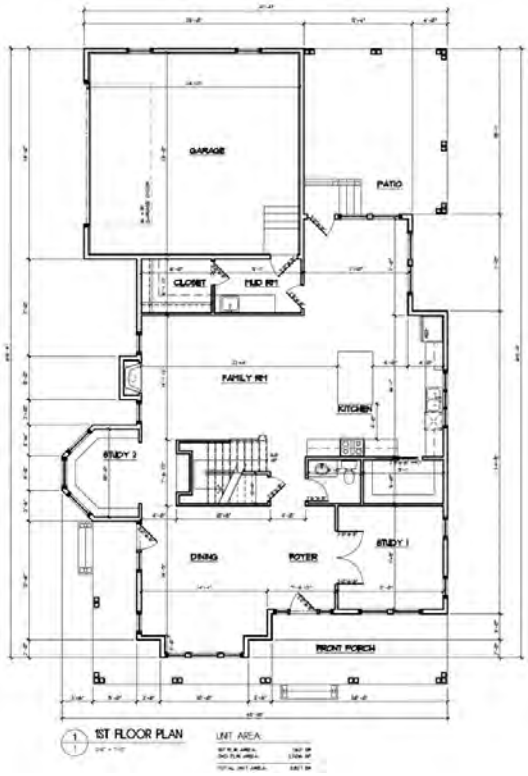
1. House 3 will not yield as desirable of a return if it were a very shallow house;
2. The variance is not substantial and is primarily needed for a small section of the house;
3. The essential character of the neighborhood would not be substantially altered, and adjoining properties would not suffer a substantial detriment as a result of the variance;
4. The variance would not adversely affect the delivery of governmental services;
5. SK Homes purchased the property with knowledge of the restriction;
6. SK Homes cannot build the house according to its proposed plan without the variance;
7. The spirit and intent behind the zoning requirement would be observed and substantial justice done by granting the variance.

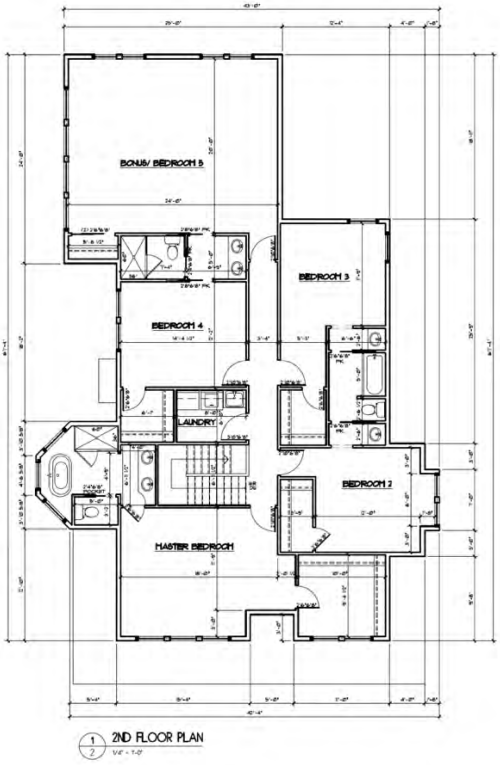
IV. Design and Layout for House 2

SK Homes does not request a variance to build House 2; but the design and layout are as follows:

House 2 (middle lot)
Features: 3,821ft^2; 5 bedrooms, 3.5 bath; attached garage (2-car)

(Reference photo)





V. Conclusion

In conclusion, SK Homes respectfully requests the Municipal Planning Commission to vote and conclude as follows:

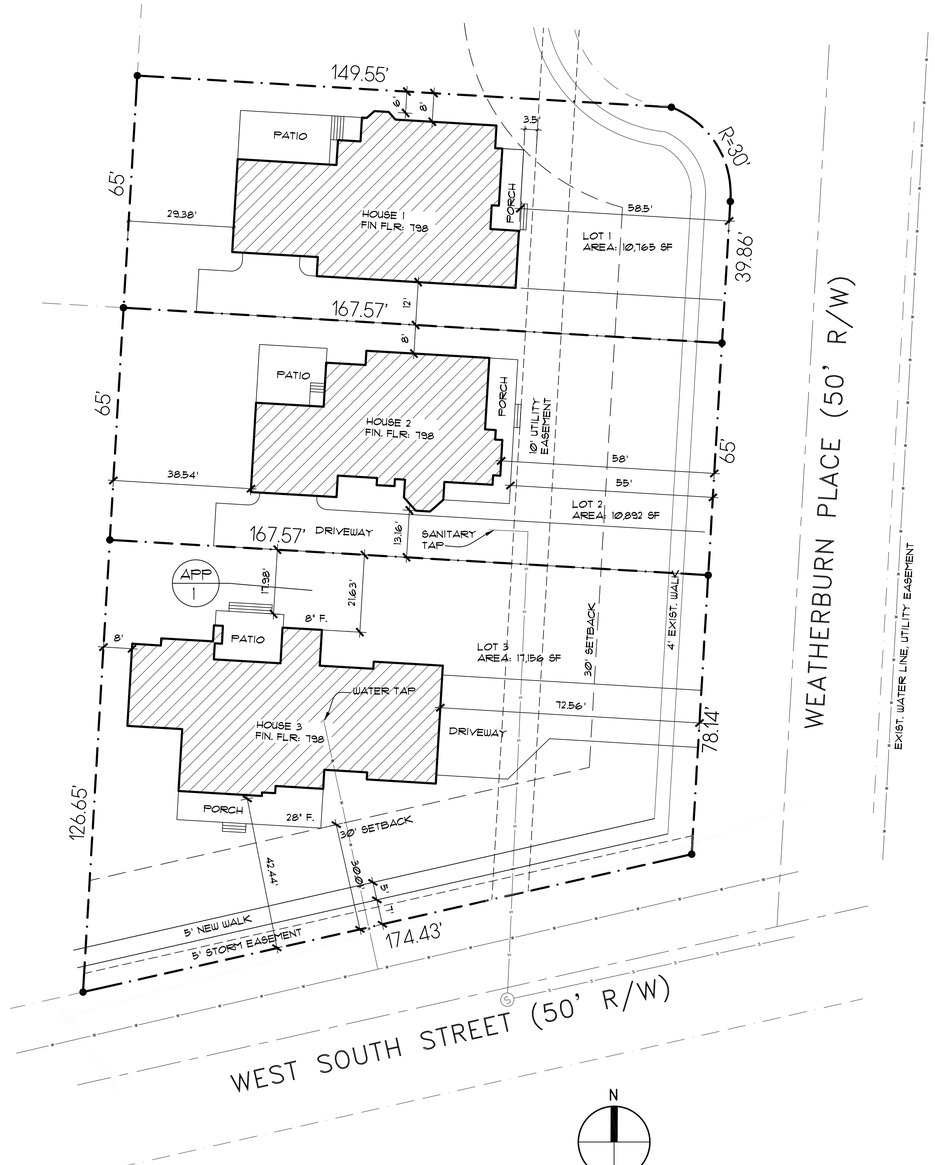
1. Proposed subdivision of parcel # 100-006200 into three parcels – **APPROVED**
2. Lot width variance for parcel containing proposed House 1 – **APPROVED**
3. Lot width variance for parcel containing proposed House 2 – **APPROVED**
4. Architectural projection variance for House 1 – **APPROVED**
5. Rear yard variance for lot containing House 1 – **APPROVED**
6. Rear yard variance for lot containing House 3 – **APPROVED**

Kind regards,

Eric Kmetz
Owner and authorized representative of SK Homes South Street LLC

Demolition Schedule

Demolition will occur within 30 days of approval of Applicant's plan to subdivide the lot.



Architectural Site Plan

OHIO Utilities Protection SERVICE
Click, Call or Tap Before You Dig

UNDERGROUND UTILITIES
CALL TWO WORKING DAYS
BEFORE YOU DIG
800-362-2764 or 8-1-1
www.oups.org
NON-MEMBERS
MUST BE CALLED DIRECTLY

SITE NOTES:

1. PROVIDE POSITIVE SLOPE AWAY FROM THE HOUSE
2. THE BUILDER SHALL PROVIDE EROSION CONTROL & TREE PROTECTION AS REQ'D
3. CONTRACTOR IS RESPONSIBLE FOR REPLACING ALL DAMAGED GRASS, PLANTING & LANDSCAPING DUE TO CONSTRUCTION DAMAGE

CITY OF WORTHINGTON

DRAWINGS NO. DEMO 02-2023
SUB 02-2023

DATE 05-26-2023

CLARKE ARCHITECTS, INC.

475 Village Park Dr.
Powell, Ohio 43065-9178
Office: 614-791-1200
Mobile: 614-271-8420
jclarke@clarkearchitects.com

These Drawings and Specifications prepared by Clarke Architects Inc. are instruments of service for use solely with respect to this Project and, unless otherwise provided, Clarke Architects Inc. shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights, including the copyright. The Architect's Drawings, Specifications or other documents shall not be used by the Owner or others on other projects, for additions to this Project or for completion of this Project by others. No modifications or changes to the drawings shall be permitted.

DATE: MAY, 26 2023

REVISION DATES:

PROJECT:

3 HOUSES
WEATHERBURN PLACE

PROJECT NUMBER: 202316-H1

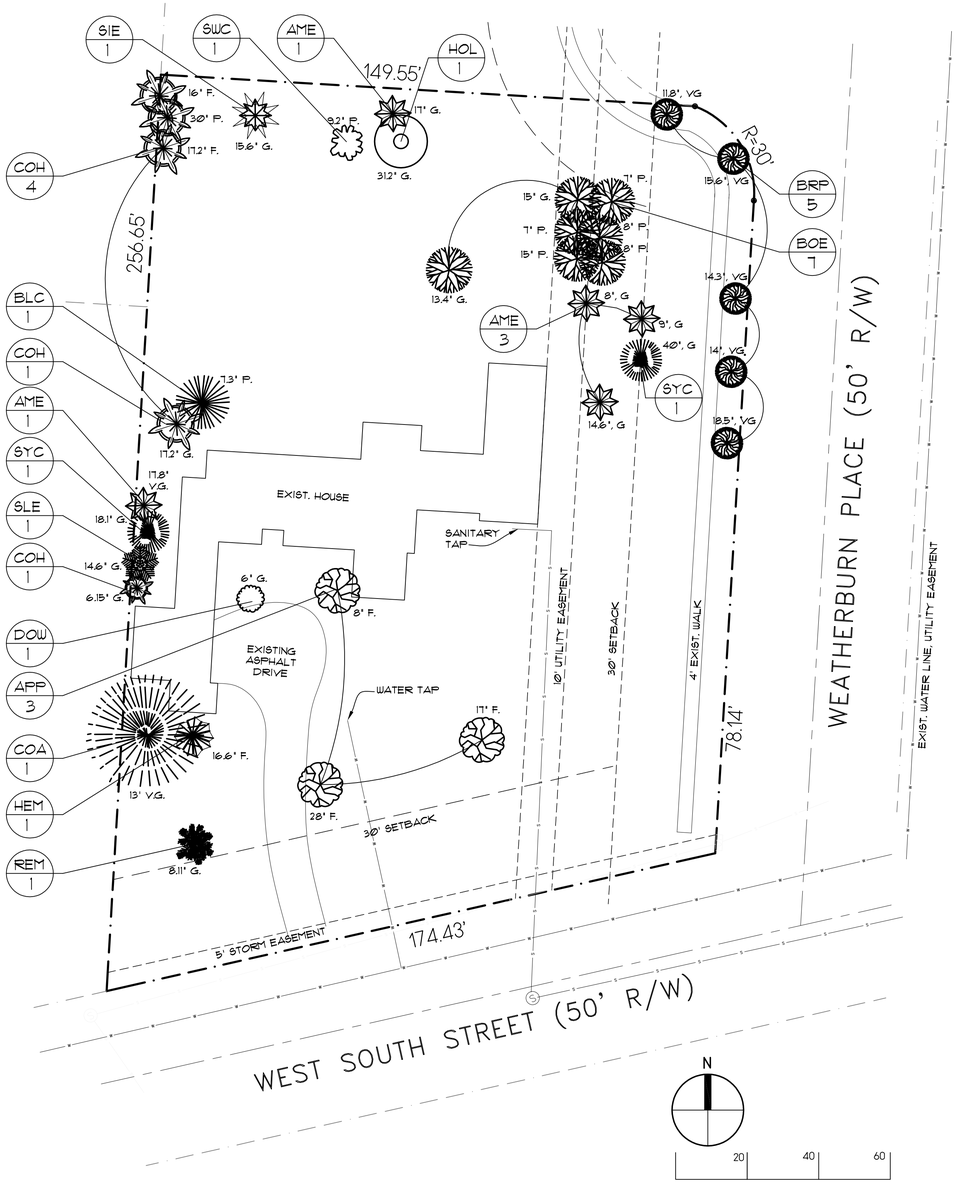
SHEET TITLE:

ARCHITECTURAL SITE PLAN/NOTES

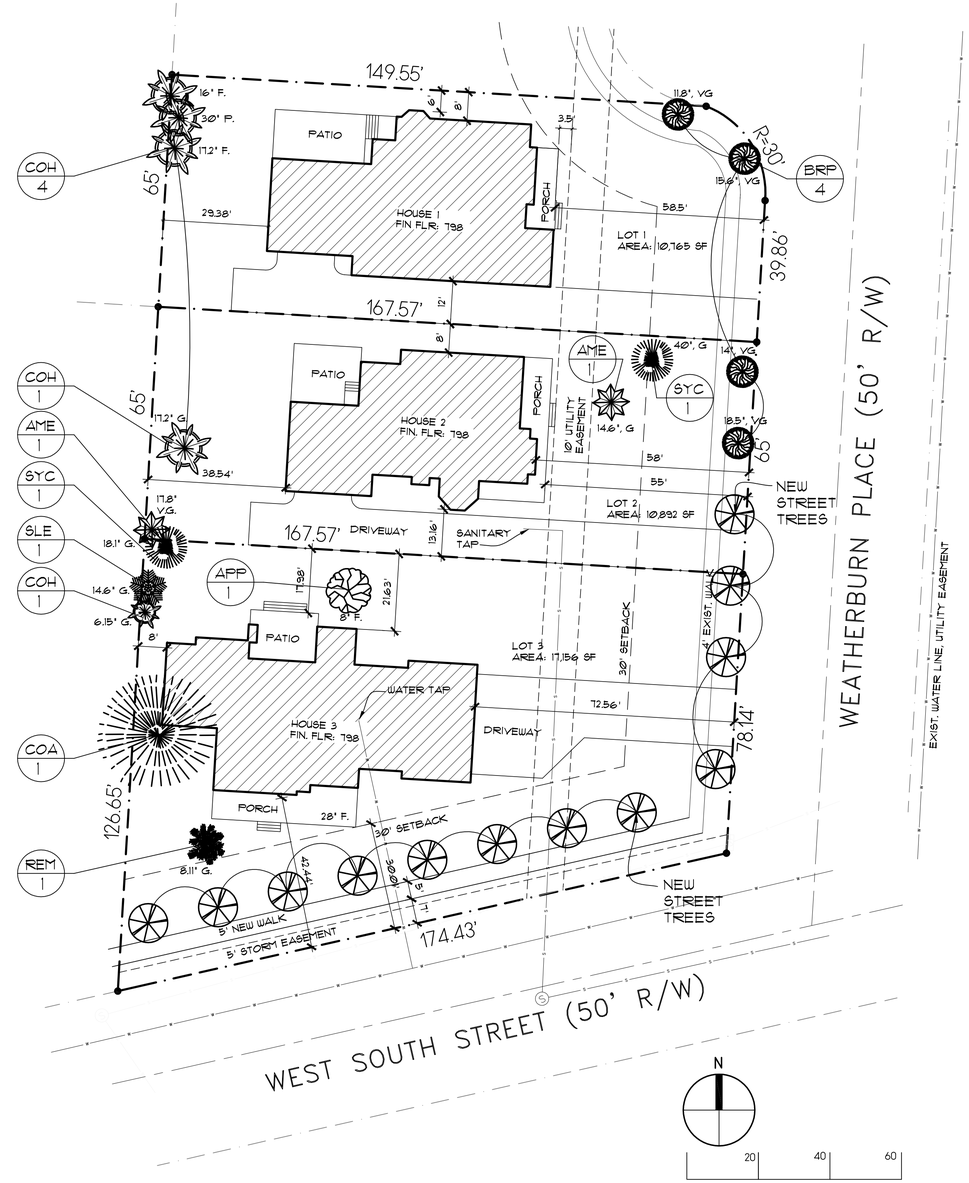
SHEET NUMBER:

S1

NAME: CLARKE C:\USERS\JIM CLARKE\CLARKEARCHITECTS.COM\CLARKE ARCHITECTS TEAM SITE - DOCUMENTS\RESIDENTIAL_SERVER\RESIDENTIAL\YCAI-RESIDENTIAL\NEW\SK HOME MANAGEMENT\3 HOUSES\3HOUSE-STEPLAN\3 HOUSES-STEPLAN.DWG DATE: MAY 26, 2023 TIME: 11:32 AM



Existing Site Plan



New Site Plan

LANDSCAPING SPEC:

SYMBOL	COMMON NAME	QTY	SYMBOL	COMMON NAME	QTY
COH	COMMON HACKBERRY	6	SLE	SLIPPERY ELM	1
BRP	BRADFORD PEAR	5	BLC	BLACK CHERRY	1
BOE	BOX ELDER	7	SIE	SIBERIAN ELM	1
AME	AMERICAN ELM	5	SWC	SWEET CHERRY	1
APP	APPLE	3	HOL	HONEY LOCUST	1
SYC	SYCAMORE	2	BAP	BALSAM POPLAR	1
REM	RED MAPLE	1	HEM	HEMLOCK	1
DOW	DOG WOOD	1	COA	COMMON ASH	1

OHIO Utilities Protection SERVICE
Click, Call or Tap Before You Dig

UNDERGROUND UTILITIES
CALL TWO WORKING DAYS
BEFORE YOU DIG
800-362-2764 or 8-1-1
www.oups.org
NON-MEMBERS
MUST BE CALLED DIRECTLY

SYMBOL	TREE'S CONDITION
V.G.	VERY GOOD
G.	GOOD
F.	FAIR
P.	POOR

NOTE: TREE SIZES ARE X" DIAMETER MEASURED FROM 3' ABOVE THE GROUND

CITY OF WORTHINGTON

DRAWINGS NO. DEMO 02-2023
SUB 02-2023

DATE 05-26-2023

CLARKE ARCHITECTS, INC.

475 Village Park Dr.
Powell, Ohio 43065-9178
Office: 614-791-1200
Mobile: 614-271-8420
jclarke@clarkearchitects.com

These Drawings and Specifications prepared by Clarke Architects Inc. are instruments of service for use solely with respect to this Project and, unless otherwise provided, Clarke Architects Inc. shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights, including the copyright. The Architect's Drawings, Specifications or other documents shall not be used by the Owner or others on other projects, for additions to this Project or for completion of this Project by others. No modifications or changes to the drawings shall be permitted.

DATE: MAY, 26 2023

REVISION DATES:

PROJECT:

3 HOUSES
WEATHERBURN PLACE

PROJECT NUMBER: 202316-H1

SHEET TITLE:

EXISTING/NEW LANDSCAPE PLANS

SHEET NUMBER:

S2

NAME: CLARKE C:\USERS\JIM CLARKE\CLARKEARCHITECTS.COM\CLARKE ARCHITECTS TEAM SITE - DOCUMENTS\RESIDENTIAL_SERVER\RESIDENTIAL\YCAI-RESIDENTIAL\NEW\3K HOME MANAGEMENT\3 HOUSES\3HOUSE-SITEPLAN\3 HOUSES-LANDSCAPEPLAN.DWG DATE: MAY 26, 2023 TIME: 11:27 AM