



**ARCHITECTURAL REVIEW BOARD
MUNICIPAL PLANNING COMMISSION
-AGENDA-
Thursday, October 12, 2023 at 7:00 P.M.**

Louis J.R. Goorey Worthington Municipal Building
The John P. Coleman Council Chamber
6550 North High Street
Worthington, Ohio 43085

Watch online at [worthington.org/live](https://www.worthington.org/live), and comment in person or at [worthington.org/meeting-public-input](https://www.worthington.org/meeting-public-input)

A. Call to Order - 7:00 pm

1. Roll Call
2. Pledge of Allegiance
3. Approval of minutes of the September 28, 2023 meeting
4. Affirmation/swearing in of witnesses.

B. Architectural Review Board – New Business

1. Partial Deck Removal & Addition of Pergola – **907 Oxford St.** (Reinhold Roedig) **ARB 78-2023**
2. New Natatorium – **400 W. Dublin-Granville Rd.** (Schorr Architects, Inc./ TWHS) **ARB 79-2023**
3. Window Style Revision – **100 W. Granville Rd.** (Element One/Turnock) **ARB 80-2023**

C. Municipal Planning Commission – No Business

D. Other

E. Adjournment



MEMORANDUM

TO: Members of the Architectural Review Board
Members of the Municipal Planning Commission

FROM: Lynda Bitar, Planning Coordinator

DATE: October 6, 2023

SUBJECT: Staff Memo for the Meeting of October 12, 2023

B. Architectural Review Board – New Business

1. Partial Deck Removal & Addition of Pergola – **907 Oxford St.** (Reinhold Roedig) **ARB 78-2023**

Findings of fact & Conclusions

Background & Request:

This house was constructed in 1958 and is a Cape Cod style house that is a contributing building in the Worthington Historic District as an example of mid-century modern architecture. The house is essentially as constructed except a sunroom and multi-level deck were added in the late 1990's.

This is a request to remove part of the deck and install a pergola.

Project Details:

1. Two sections of the deck are proposed to be removed – the middle and southern parts. Steps to the sunroom would remain. The portion of the deck being saved is at the north end and has two levels and steps going down to the yard. There is an existing lattice screen along the north side.
2. The proposed pergola would be supported by four 7.5" x 7.5" white columns with Tuscan bases and caps. An 8' high and 13' x 13' Pergolux roof in anthracite is proposed. The roof would have adjustable louvers that could be open or closed to give protection against sun and rain.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Decks and patios should be limited to the rear of buildings. Patios may be constructed of concrete, stone or brick. Consider the style of the house when designing decks and patios, since some styles

and some designs are not compatible. Compatibility of design and materials and exterior details and relationships are standards for review in the Architectural District ordinance.

Recommendation:

Staff is recommending approval of this application as the proposed changes are appropriate for this property.

Motion:

THAT THE REQUEST BY REINHOLD ROEDIG FOR A CERTIFICATE OF APPROPRIATENESS TO REMOVE PART OF THE DECK AND ADD A PERGOLA AT 907 OXFORD ST. AS PER CASE NO. ARB 78-2023, DRAWINGS NO. ARB 78-2023, DATED SEPTEMBER 27, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

2. New Natatorium – **400 W. Dublin-Granville Rd.** (Schorr Architects, Inc./TWHS) **ARB 79-2023**

Findings of Fact & Conclusions

Background & Request:

The natatorium was built in 1973 and was expected to last 30 years. Now that it has been around for about 50 years replacement is needed. The Worthington Schools are proposing demolition and replacement.

Project Details

1. Site Plan:
 - a. While the existing natatorium is adjacent to the Thomas Worthington High School parking lot, the proposed building would be to the south, about 100' from the W. Dublin-Granville Rd. right-of-way.
 - b. A parking area is proposed north of the new building and would include 28 regular parking spaces plus 2 handicap spaces. Two entrance drives would provide access from the main driveway that leads to the high school parking lot. A sidewalk is proposed winding down to and along the east and south sides of the parking lot, across the drive, and along the west side of the building.
 - c. Preservation of 7-8 trees that are in good condition is proposed. Twenty trees would be removed due to location and/or condition. A variety of new trees are proposed in the parking area and at other locations around the site. Sod would be on the slope down from the outdoor pool level to the new parking lot.
 - d. The storm sewer detention system for the site is proposed south and west of the new natatorium.
2. Building:
 - a. The flat-roofed building is proposed to be built partly into the slope so would look like one story on the east side and two stories on the other three sides. The main entrance is shown on the north elevation toward the east end, on the high side. Steps

would head west down to the lower level and the parking lot. An additional one-story structure is shown attached on the west side.

- b. A parapet would be on the south and west sides of the roof, mostly screening the rooftop equipment from those sides.
- c. Most of the building is proposed to be Continental Brick Company – Farmington in standard size.
 - The south elevation would include two towers with arched windows above double doors; arched and rectangular insets with a herringbone pattern; a Flemish bond patterned water table; and other decorative brick and stone patterns.
 - East and west elevations would also be all brick with two over two windows in different sizes; bricked in window sized areas with herringbone insets; arched bricked in areas; and other brick accents.
 - The one-story addition on the west side appears to be finished with Belden modular Dutch Gray Smooth A and a gray standing seam metal roof to match the TWHS roof.
 - On the north side, larger storefront style windows are proposed for the second floor and Belden modular Dutch Gray Smooth A would be on the first floor. Those materials are shown between pilasters made of the red brick.
 - A gray PVC membrane roof is proposed for the main building.
 - Windows and storefronts appear to have dark bronze or black metal frames.

Land Use Plans:

Worthington Design Guidelines

Compatibility of design and materials and exterior details and relationships are standards for review in the Architectural District ordinance.

Staff Comments:

1. Locating the natatorium to the south and adding parking to the north is appropriate. The pedestrian connections also seem fitting. Placement of bicycle racks should be considered.
2. The building is appropriately designed to complement the high school and the community.
3. Spandrel glass should not be used.

Motion:

THAT THE REQUEST BY SCHORR ARCHITECTS ON BEHALF OF THE WORTHINGTON SCHOOLS FOR A CERTIFICATE OF APPROPRIATENESS TO DEMOLISH AND REBUILD THE NATATORIUM AT 400 W. DUBLIN-GRANVILLE RD., AS PER CASE NO. ARB 79-2023, DRAWINGS NO. ARB 79-2023, DATED OCTOBER 2, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

3. Window Style Revision – **100 W. Granville Rd.** (Element One/Turnock) **ARB 80-2023**

Findings of fact & Conclusions

Background & Request:

This house is a two-story colonial revival style that was built originally in 1921 and is a contributing building in the Worthington Historic District. The applicant gained approval to modify the existing house and construct several additions at the last meeting. This application is a request to modify the previous window approval.

Project Details:

1. The motion at the last meeting called for the applicant to “mimic” the window style on the front of the house. Staff thought that meant to copy/match the style of the decorative windows with muntins in the top half that form narrow panes of glass with diamond shapes at the top. The applicant and owner thought using the 4 over 1 pattern without the diamond shapes was the approved design. Clarification from the ARB as to what was approved is needed.
2. With this application, the owner was hoping to have several of the side windows match the front as they are in the same rooms.
3. Proposed windows would be Trimline clad wood windows with simulated divided lights.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Windows: Retention and repair of existing historic windows is always preferable to replacement. Because they usually comprise so much of a building’s exterior surface, windows are a major part of its character. Keeping them is one of the most important ways to protect that character. If historic windows are too deteriorated to repair cost effectively and replacement is justified, the preferred option is an in-kind replacement in the same material and design. This usually means real wood windows with true through-the glass muntins (if appropriate) in dimensions and profiles that duplicate the originals. Window suppliers have become very good at doing such work at reasonable prices, but this still may take some persistence and hunting around.

New windows made of substitute materials such as aluminum, vinyl, or clad wood can be an acceptable second choice if they provide a reasonably good match for the windows being replaced. Number of panes, real muntins, and correct profiles still are important. Avoid enlarging or downsizing window openings to accommodate stock sizes of replacements. Also avoid permanent blocking in of windows; the original window pattern of a house is part of its overall design.

Staff Comments:

1. Replicating or repairing the original windows would still be the preference for this house. The homeowner does not find that option feasible.
2. Staff agrees with the homeowner that the proposed 4 over 1 windows do not seem to go with the house style.
3. Six over 1 double-hung windows as originally proposed may be a more appropriate style for replacement windows.

4. The inclusion of simulated divided light windows is an improvement vs. muntins between the glass panes.

Recommendation:

Staff recommends that if replacement windows are allowed in a different style than the existing, that style should fit with the colonial revival house.

Motion:

THAT THE REQUEST BY ELEMENT ONE ON BEHALF OF THE TURNOCKS TO MODIFY THE PREVIOUS CERTIFICATE OF APPROPRIATENESS BY ALTERING THE PROPOSED REPLACEMENT WINDOWS FOR 100 W. GRANVILLE RD. AS PER CASE NO. ARB 80-2023, DRAWINGS NO. ARB 80-2023, DATED OCTOBER 2, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.



ARB APPLICATION ARB 0078-2023 907 Oxford St.

Plan Type: Architectural Review Board	Project:	App Date: 09/27/2023
Work Class: Certificate of Appropriateness	District: City of Worthington	Exp Date:
Status: In Review		Completed:
Valuation: \$7,000.00		Approval
Description: Partial removal of deck and addition of a pergola on remaining deck		Expire Date:

Parcel: 100-000174	Main	Address: 907 Oxford St Worthington, OH 43085	Main	Zone: R-10(Low Density Residence)
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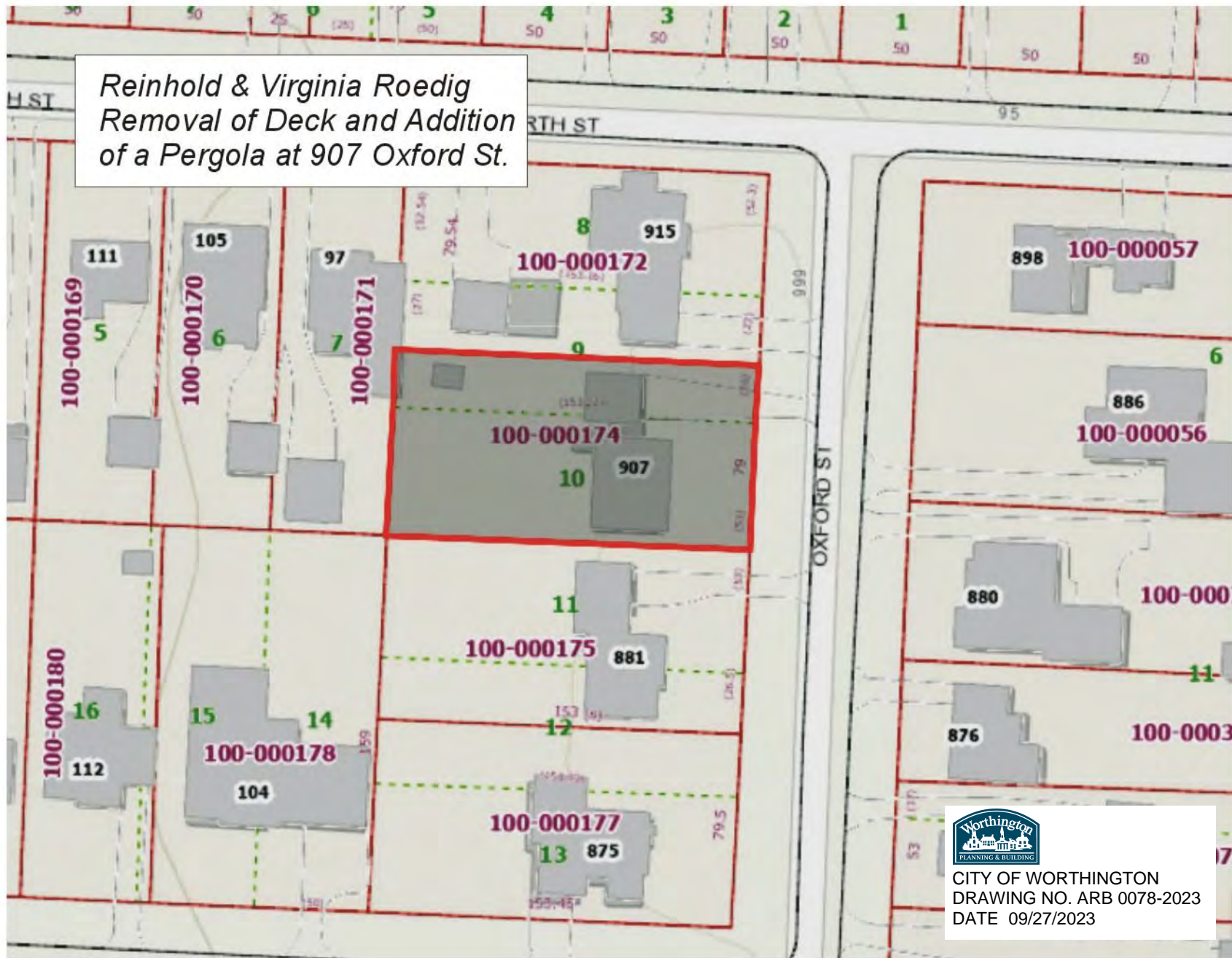
Owner Virginia Roedig 907 OXFORD ST Worthington , OH 43085	Applicant / Owner Reinhold Roedig 907 OXFORD ST Worthington , OH 43085 Home: (440) 257-3281 Business: (440) 257-3281
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Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004678	Architectural Review Board	\$7.00	\$7.00
Total for Invoice INV-00004678		\$7.00	\$7.00
Grand Total for Plan		\$7.00	\$7.00

907 Oxford St.





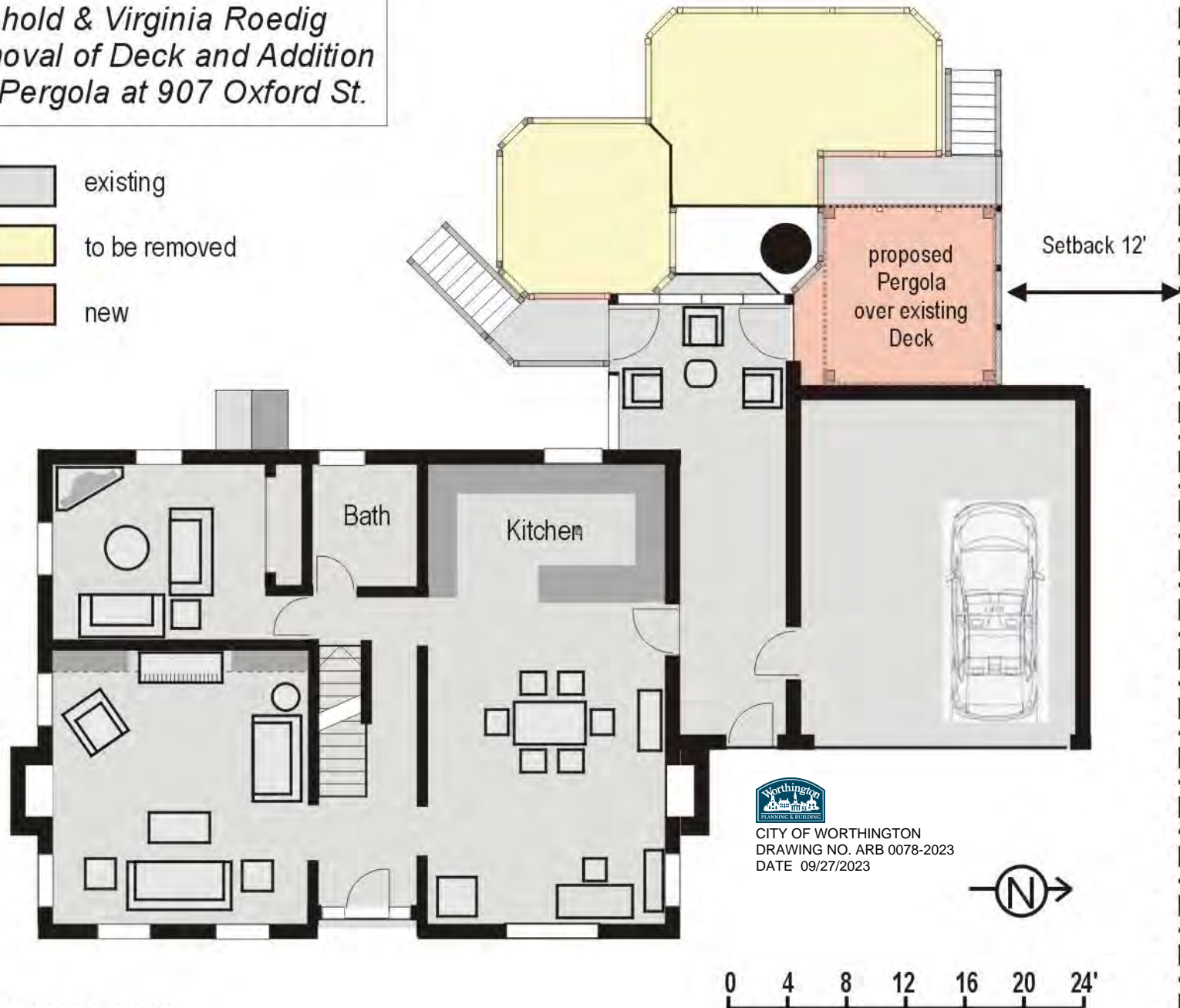
*Reinhold & Virginia Roedig
Removal of Deck and Addition
of a Pergola at 907 Oxford St.*



CITY OF WORTHINGTON
DRAWING NO. ARB 0078-2023
DATE 09/27/2023

*Reinhold & Virginia Roedig
Removal of Deck and Addition
of a Pergola at 907 Oxford St.*

-  existing
-  to be removed
-  new



revised 09/27/2023

*Reinhold & Virginia Roedig
Removal of Deck and Addition
of a Pergola at 907 Oxford St.*



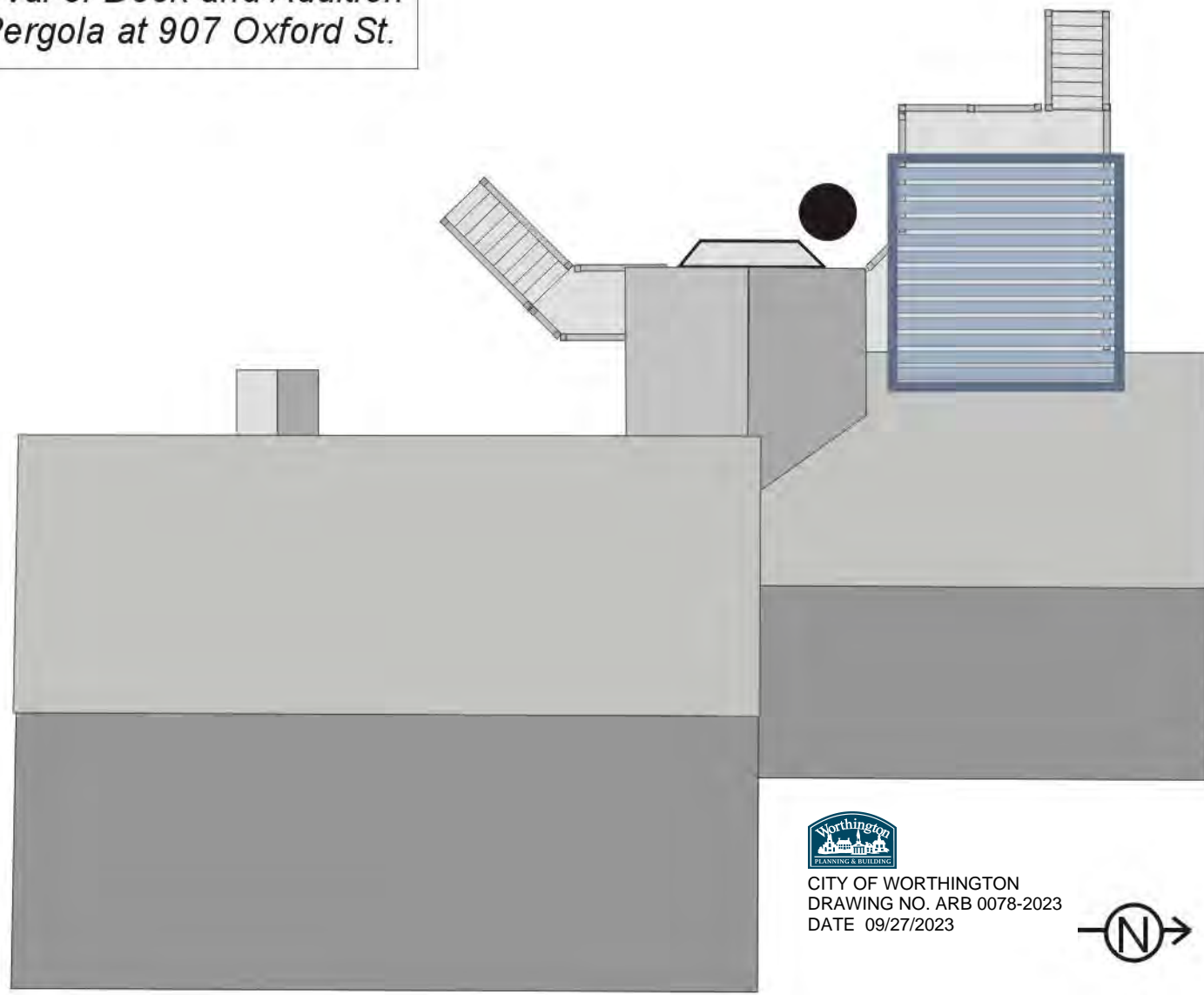
CITY OF WORTHINGTON
DRAWING NO. ARB 0078-2023
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*Reinhold & Virginia Roedig
Removal of Deck and Addition
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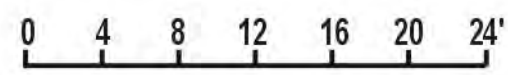


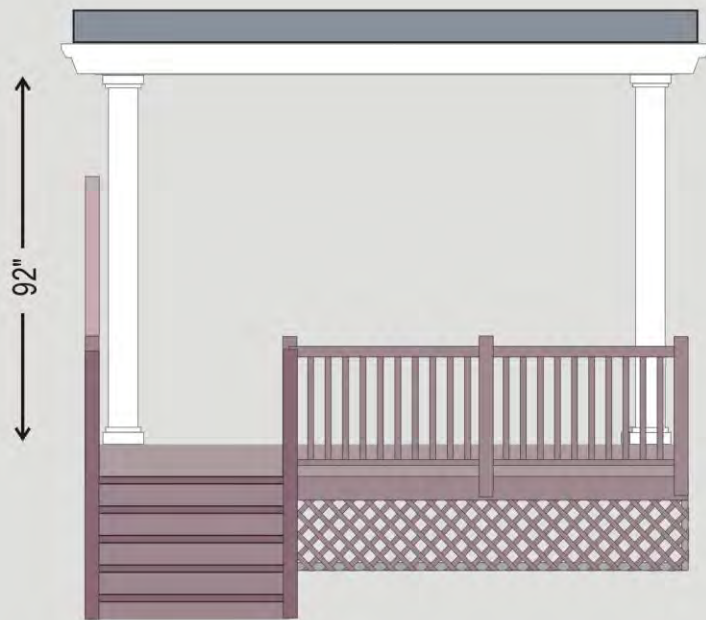
CITY OF WORTHINGTON
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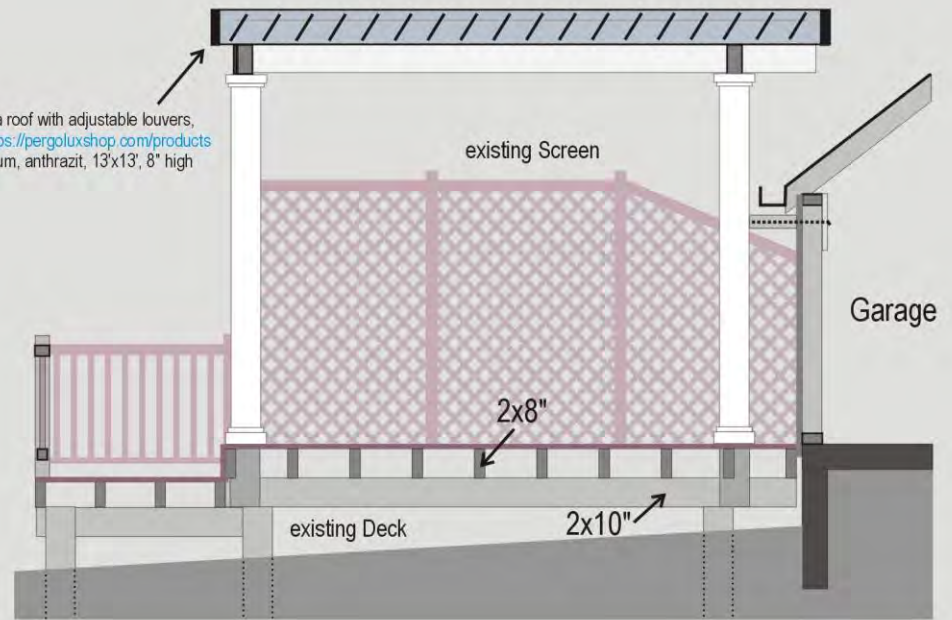


CITY OF WORTHINGTON
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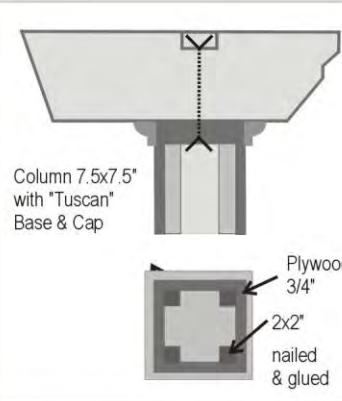
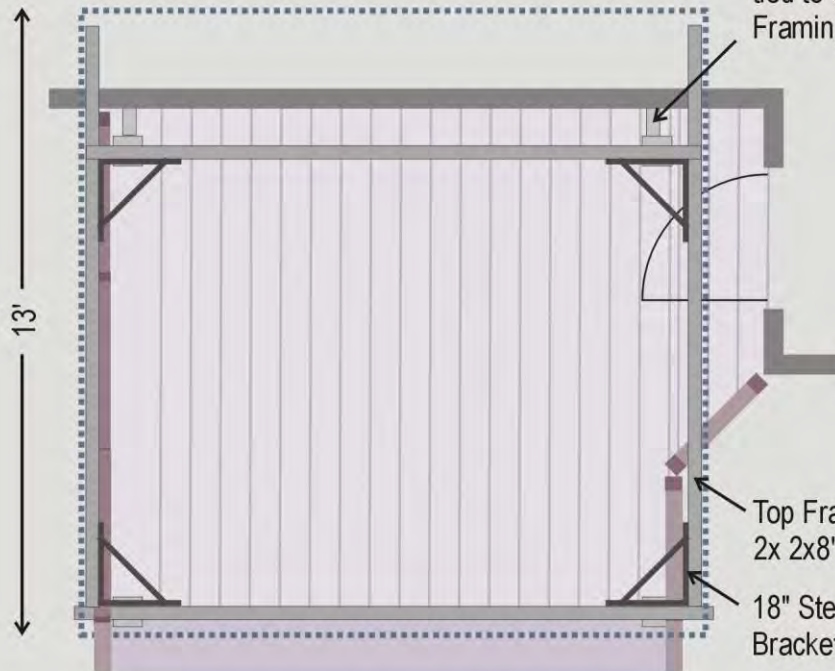


Pergola roof with adjustable louvers, see <https://pergoluxshop.com/products> aluminum, anthrazit, 13'x13', 8" high



13'

Back Columns tied to Garage Framing



Pergolux Roof 13x13'



*Reinhold & Virginia Roedig
Removal of Deck and Addition
of a Pergola at 907 Oxford St.*

revised 09/27/2023

*Reinhold & Virginia Roedig
Removal of Deck and Addition
of a Pergola at 907 Oxford St.*



CITY OF WORTHINGTON
DRAWING NO. ARB 0078-2023
DATE 09/27/2023





ARB APPLICATION

ARB 0079-2023

400 W. Dublin-Granville Rd.

Plan Type: Architectural Review Board	Project:	App Date: 10/02/2023
Work Class: Certificate of Appropriateness	District: City of Worthington	Exp Date:
Status: In Review		Completed:
Valuation: \$11,000,000.00		Approval
Description: This is the first submission for the TWHS Natatorium.		Expire Date:

Parcel: 100-006617	Main	Address: 300 W Dublin-Granville Rd Worthington, OH 43085	Main	Zone: S-1(Special)
		400 W Dublin-Granville Rd Worthington, OH 43085		

Owner Worthington Schools Tim Gehring 200 E WILSON BRIDGE RD Worthington , OH 43085 Business: 6148833000 Mobile: 6143614419	Applicant Schorr Architects, Inc. Nathan Gammella 230 Bradenton Ave. Dublin, OH 43017 Business: 6147982096 Mobile: 4409152422	Owner Jeff Eble Business: (614) 450-6037
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Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004679	Architectural Review Board	\$200.00	\$200.00
Total for Invoice INV-00004679		\$200.00	\$200.00
Grand Total for Plan		\$200.00	\$200.00


Condition	Description	Date Created	Satisfied
No Build Document Must Be Reviewed	A no build document has been recorded for this parcel. Please review this document to ensure the permit cannot be issued.	06/29/2022	No
Building Code Variance On File	There is a building code variance on file that may affect future projects. Please check the parcel record.	07/13/2022	No

Thomas Worthington High School
Natatorium
For 10.12.2023 Hearing



CITY OF WORTHINGTON
DRAWING NO. ARB 0079-2023
DATE 10/02/2023




CITY OF WORTHINGTON
DRAWING NO. ARB 0079-2023
DATE 10/02/2023



**Thomas Worthington High School
Natatorium**

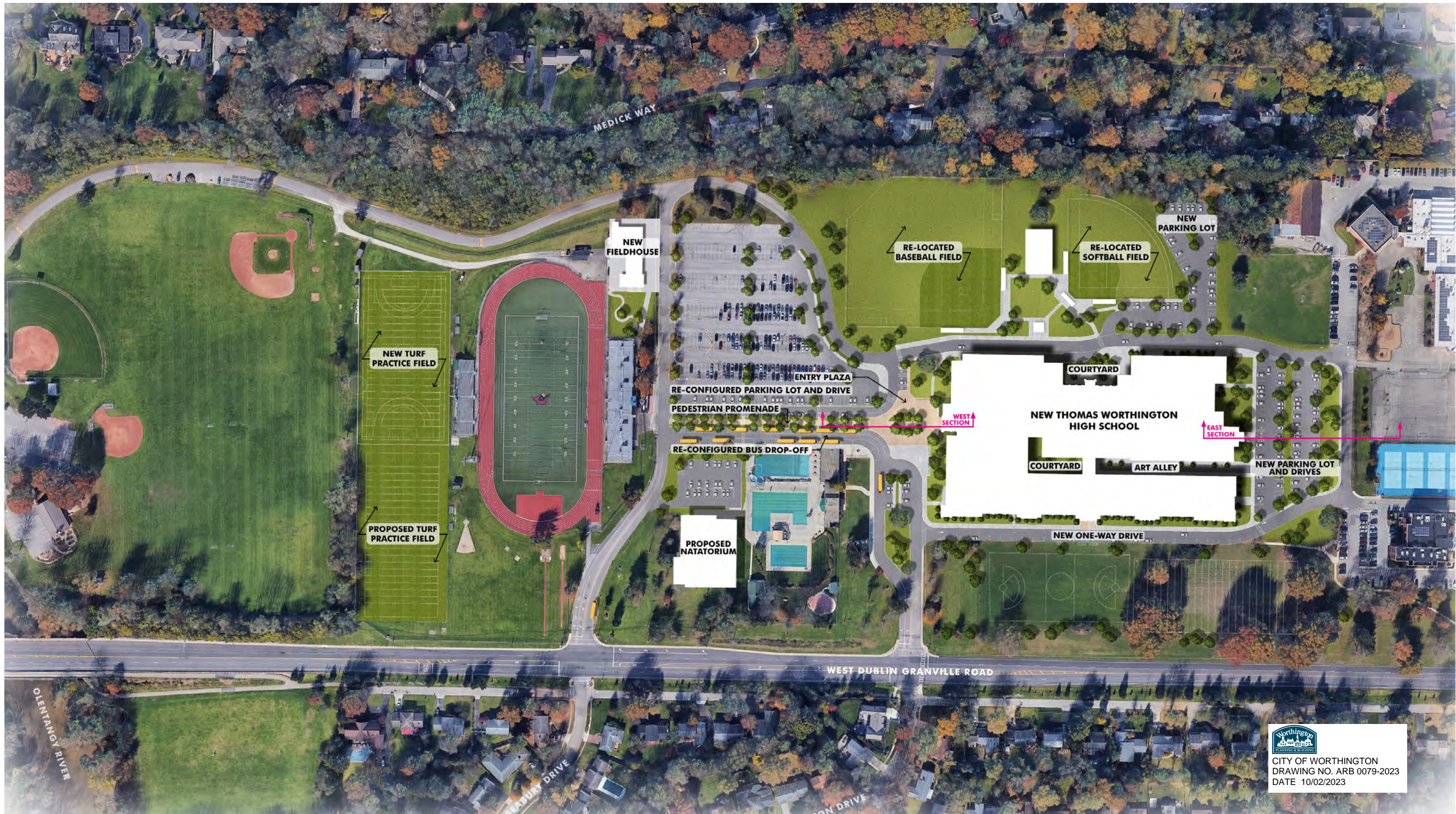
Worthington Pools
400 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085


SITE PLAN - EXISTING AERIAL

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 09/29/2023






 CITY OF WORTHINGTON
 DRAWING NO. ARB 0079-2023
 DATE 10/02/2023



Thomas Worthington High School Natatorium

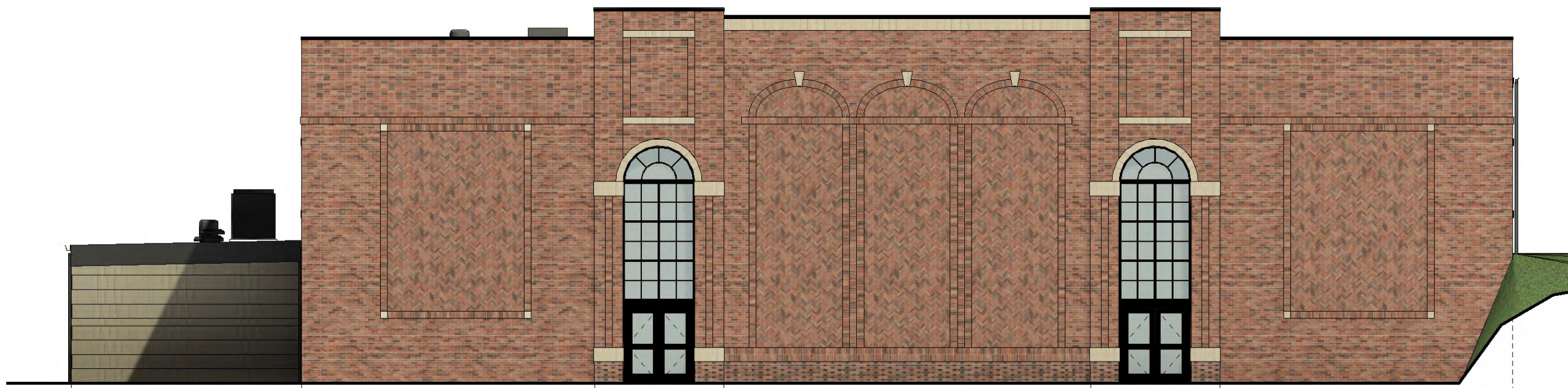
Worthington Pools
 400 WEST DUBLIN GRANVILLE RD.
 WORTHINGTON, OH 43085

SITE PLAN - NEW FOOTPRINT OVER
 EXISTING AERIAL

 CITY OF WORTHINGTON
 ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 09/29/2023





CITY OF WORTHINGTON
DRAWING NO. ARB 0079-2023
DATE 10/02/2023



Thomas Worthington High School Natatorium

Worthington Pools
400 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

ELEVATION - SOUTH ELEVATION

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 09/29/2023





CITY OF WORTHINGTON
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DATE 10/02/2023



**Thomas Worthington High School
Natatorium**

Worthington Pools
400 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

ELEVATION - WEST ELEVATION

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 09/29/2023





CITY OF WORTHINGTON
DRAWING NO. ARB 0079-2023
DATE 10/02/2023



Thomas Worthington High School Natatorium

Worthington Pools
400 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

ELEVATION - NORTH ELEVATION

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 09/29/2023





CITY OF WORTHINGTON
DRAWING NO. ARB 0079-2023
DATE 10/02/2023



Thomas Worthington High School Natatorium

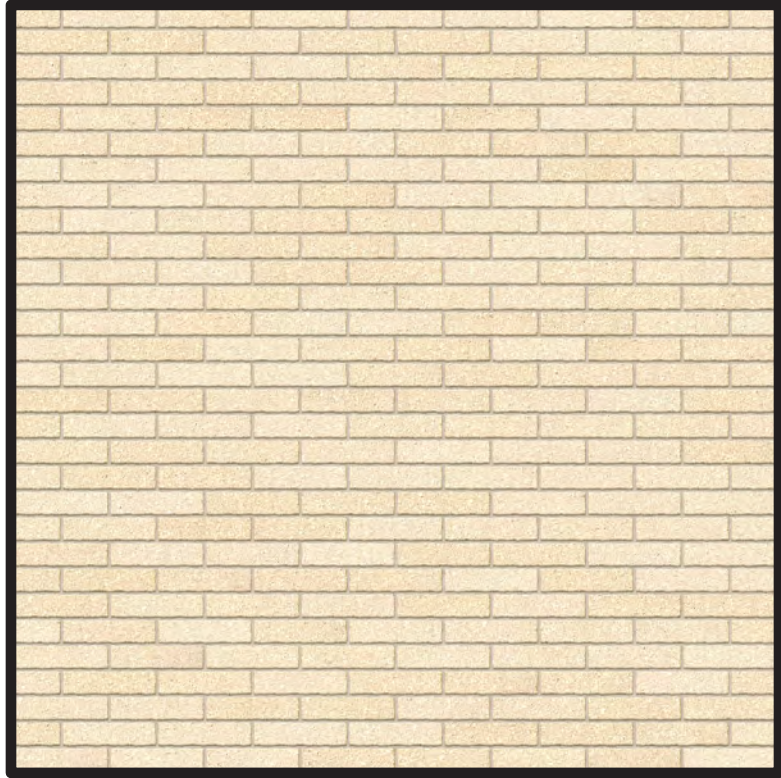
Worthington Pools
400 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

ELEVATION - EAST ELEVATION

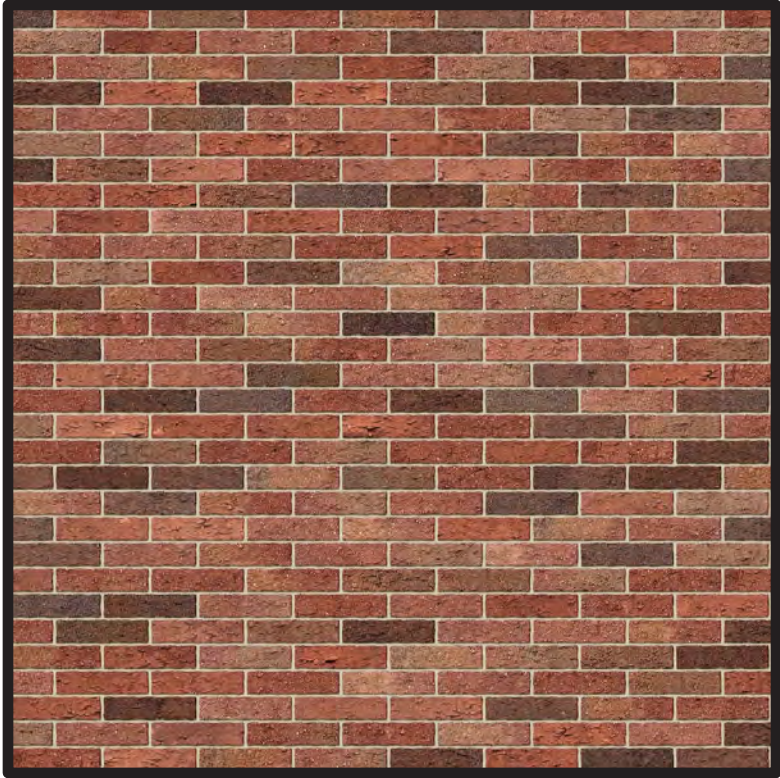
CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 09/29/2023

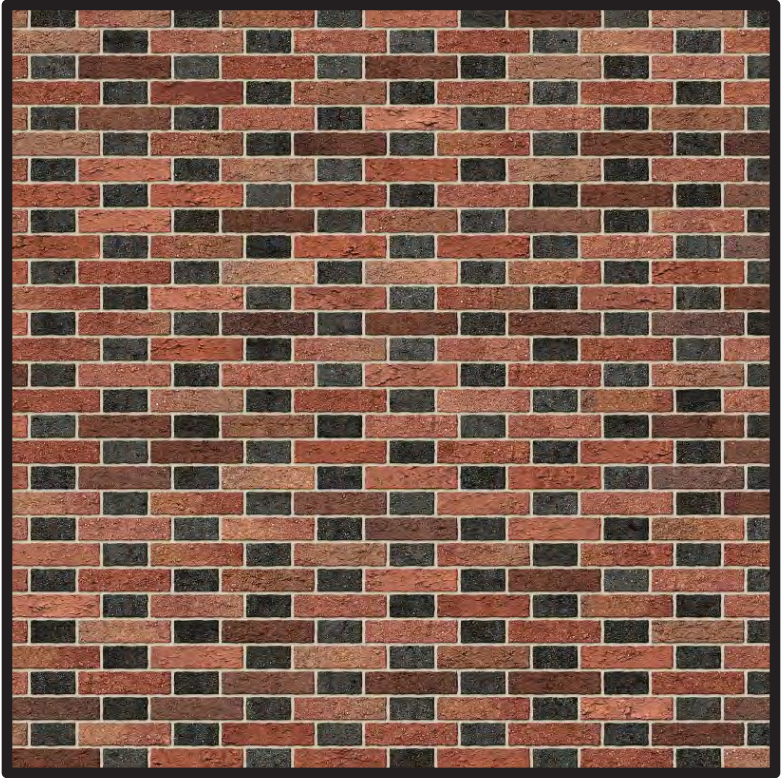




BELDEN
MODULAR DUTCH GRAY SMOOTH A



CONTINENTAL BRICK COMPANY
STD FARMINGTON



CONTINENTAL BRICK COMPANY
MICHIGAN BRICK
STD FARMINGTON & BLACK LAKE BLEND

	MANUFACTURER	DESCRIPTION
STANDING SEAM METAL ROOF COLOR	DMI	BASIS OF DESIGN COLOR: MUSKET GREY (MATCHES TWHS)
PVC MEMBRANE ROOF	CARLISLE	BASIS OF DESIGN COLOR: GRAY



**Thomas Worthington High School
Natatorium**

Worthington Pools
400 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

ELEVATION - ADDITION SOUTH FACADE


CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 09/29/2023



CITY OF WORTHINGTON
DRAWING NO. ARB 0079-2023
DATE 10/02/2023




CITY OF WORTHINGTON
DRAWING NO. ARB 0079-2023
DATE 10/02/2023



**Thomas Worthington High School
Natatorium**

Worthington Pools
400 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

ELEVATION - RENOVATED WEST FACADE

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 09/29/2023






CITY OF WORTHINGTON
DRAWING NO. ARB 0079-2023
DATE 10/02/2023



**Thomas Worthington High School
Natatorium**

Worthington Pools
400 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085


ELEVATION - ADDITION NORTH FACADE

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 09/29/2023






CITY OF WORTHINGTON
DRAWING NO. ARB 0079-2023
DATE 10/02/2023



**Thomas Worthington High School
Natatorium**

Worthington Pools
400 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

ELEVATION - ADDITION EAST FACADE

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 09/29/2023





CITY OF WORTHINGTON
DRAWING NO. ARB 0079-2023
DATE 10/02/2023



**Thomas Worthington High School
Natatorium**

Worthington Pools
400 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

MATERIAL INFORMATION

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 09/29/2023





CITY OF WORTHINGTON
DRAWING NO. ARB 0079-2023
DATE 10/02/2023



**Thomas Worthington High School
Natatorium**

Worthington Pools
400 WEST DUBLIN GRANVILLE RD.
WORTHINGTON, OH 43085

RENDER - VISITOR ENTRY

CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD SUBMISSION

Sub. 09/29/2023



CITY OF WORTHINGTON, OHIO
THOMAS WORTHINGTON HIGH SCHOOL
NATATORIUM
400 W DUBLIN GRANVILLE RD

BENCHMARK REFERENCE

ELEVATIONS DEPICTED ON THIS SURVEY ARE REFERENCED TO THE NAVD88 VERTICAL DATUM BY LEVEL OBSERVATIONS TO THE FRANKLIN COUNTY BENCHMARK NETWORK.

BENCHMARKS

SOURCE BENCHMARK (FRANKLIN COUNTY: F12RSET1995)
ELEVATION = 912.154
BRASS PLUG ON THE WEST END OF THE NORTH ABUTMENT OF THE CSX RAILROAD BRIDGE OVER DUBLIN-GRANVILLE ROAD, 0.85 MILES EAST OF NORTH HIGH STREET, 8.5 FEET WEST OF THE CENTER OF THE WEST TRACK.

TBM 1
ELEVATION = 825.63
MAG NAIL SET ON A CONCRETE LIGHT POLE BASE BEING LOCATED ±117 FEET EAST OF THE SOUTHEAST CORNER OF THE MCCONNELL ARTS CENTER, ALSO BEING LOCATED NEAR THE SOUTHEAST CORNER OF THE MCCONNELL ARTS CENTER PARKING LOT.

TBM 2
ELEVATION = 777.97
MAG NAIL SET ON A CONCRETE LIGHT POLE BASE BEING LOCATED TO THE EAST SIDE OF THE WESTERN MOST ENTRANCE DRIVE FROM WEST DUBLIN GRANVILLE ROAD TO THOMAS WORTHINGTON HIGH SCHOOL, BEING THE SECOND LIGHT POLE TO THE NORTH OF WEST DUBLIN GRANVILLE ROAD.

TBM 3 = 744.27
MAG NAIL SET ON A CONCRETE LIGHT POLE BASE BEING LOCATED ±64 FEET NORTHWEST OF THE NORTHEAST CORNER OF THE 1-STORY BRICK BUILDING LOCATED AT THE SOUTHWEST OF THE PROJECT LIMITS.

UTILITIES

EXISTING UTILITIES: THE INFORMATION SHOWN CONCERNING EXISTING UTILITIES IS APPROXIMATE. THE LOCATION, SIZES, AND OTHER INFORMATION IS ONLY AS ACCURATE AS THE INFORMATION PROVIDED BY THE OWNERS OF THE UTILITY COMPANY. THIS INFORMATION IS NOT REPRESENTED, WARRANTED, OR GUARANTEED TO BE COMPLETE OR ACCURATE.

THE FOLLOWING UTILITY OWNERS WERE CONTACTED AS LISTED BY OURS CONFIRMATION TICKET A007901724-00A:

COLUMBIA GAS OF OHIO	1-614-370-1906
AT&T OHIO	1-740-601-4380
AEP OHIO POWER	1-614-301-4977
BREEZZELINE	1-614-749-2225
CITY OF COLUMBUS (DEPT OF UTILITIES)	1-614-645-8276
CHARTER COMMUNICATIONS	1-866-849-1945
BLACK AND VEATCH	1-913-458-2000
CROWN CASTLE	1-800-788-7011
MCI	1-330-329-5495
EVERSTREAM SOLUTIONS	1-844-387-7876
US SIGNAL COMPANY	1-866-274-4625
CITY OF WORTHINGTON SERVICE & ENGINEERING	1-614-431-2425

*DENOTES THE UTILITY LINE IS DRAWN FROM PLANS

BASIS OF BEARINGS

BEARINGS ARE BASED ON THE OHIO STATE PLANE COORDINATE SYSTEM - OHIO SOUTH ZONE (NAD83) BY GPS OBSERVATION, REFERENCED TO THE ODOT VRS NETWORK.

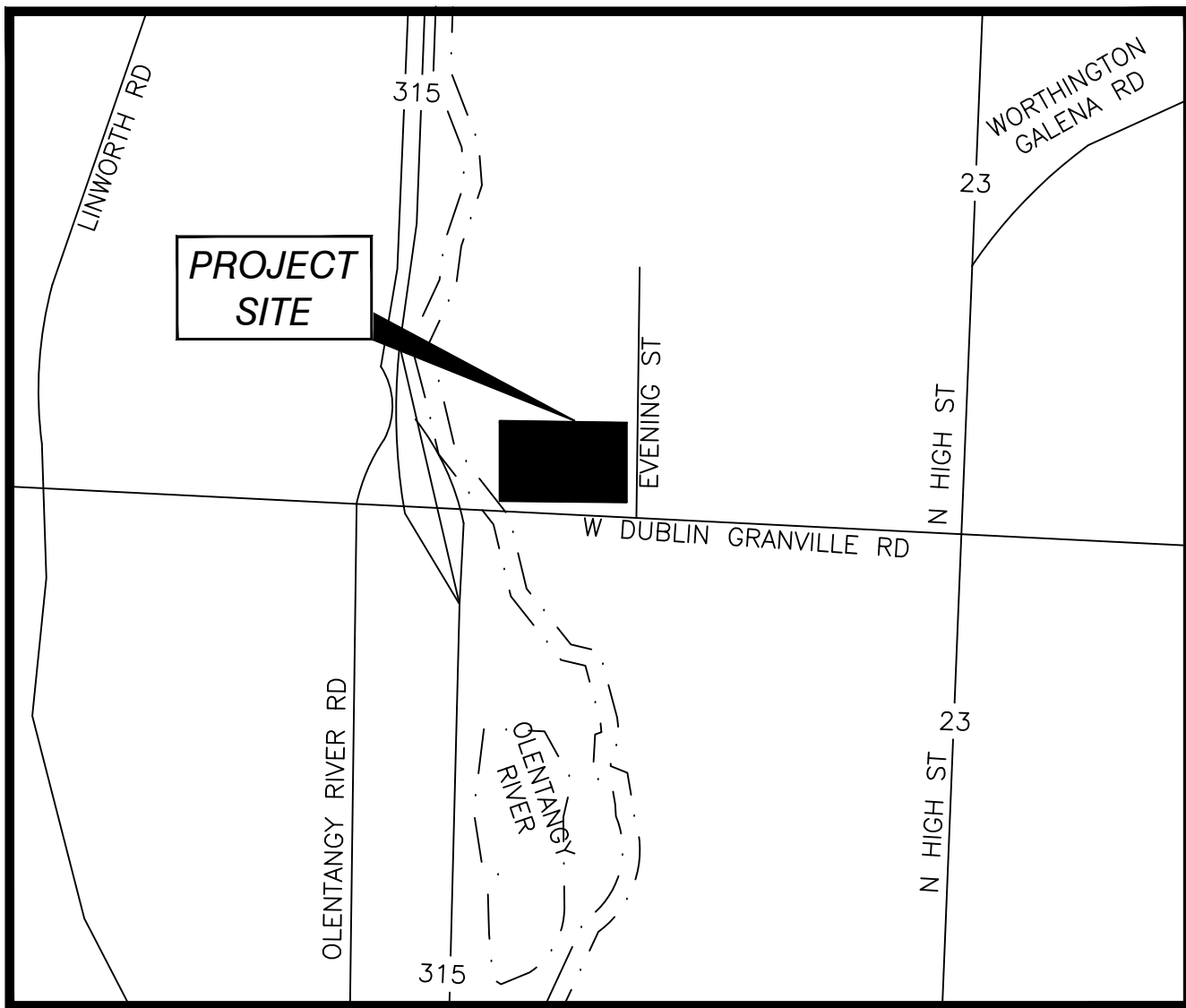
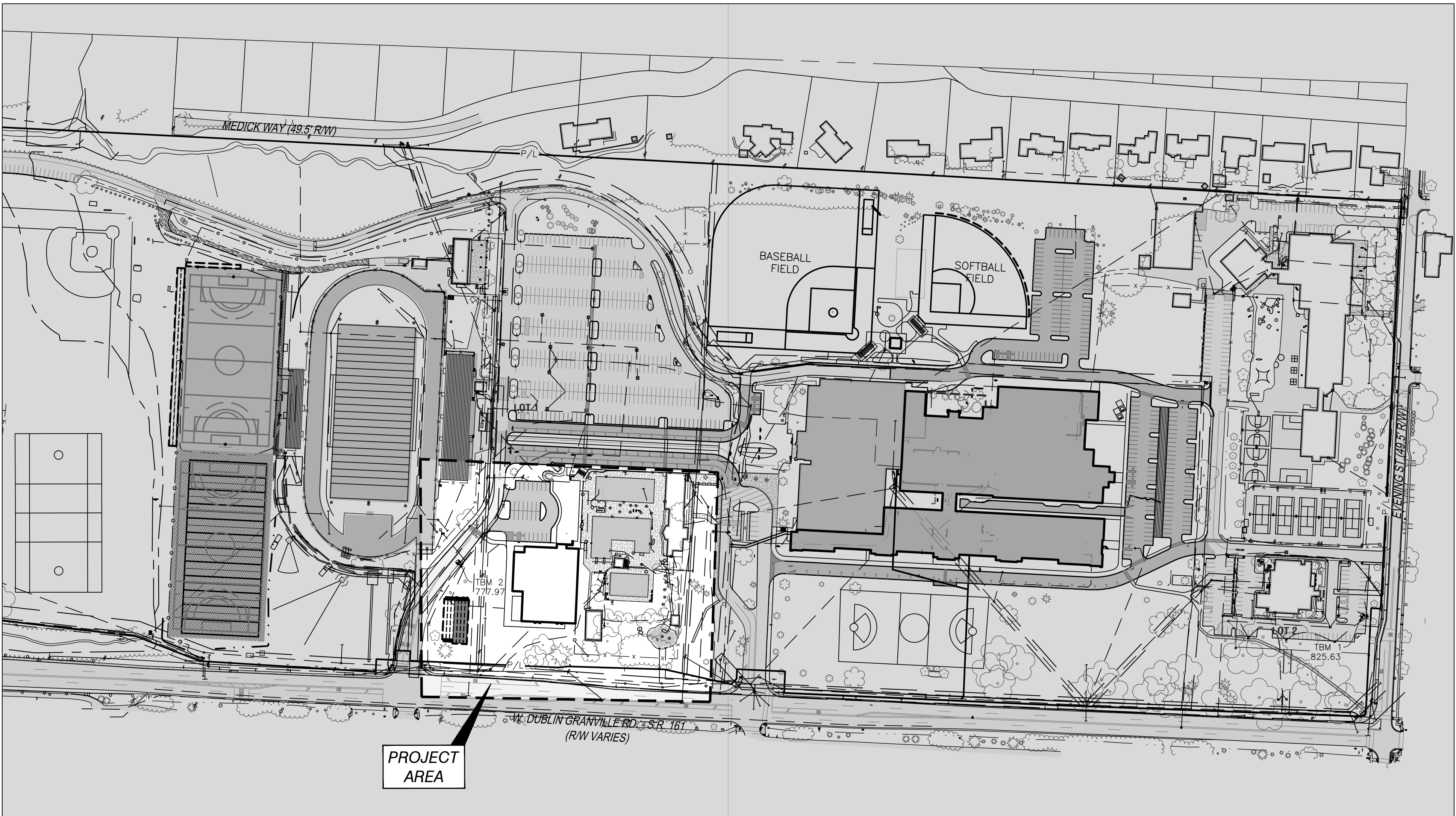
SURVEYOR'S NOTES

- BOUNDARY LINES ARE DEPICTED FROM RECORD LINES FOUND IN REFERENCES HEREON RECORDED AT THE FRANKLIN COUNTY RECORDER'S OFFICE AND DOES NOT REFLECT A BOUNDARY SURVEY PREPARED BY SANDS DECKER.

- NO TITLE WORK WAS PROVIDED FOR THIS PROPERTY.

- PRIVATE UTILITY LOCATION WAS PERFORMED BY UNDERGROUND DETECTIVE IN FEBRUARY, 2020

- FEMA INFORMATION:
FEMA INFORMATION:
EFFECTIVE DATE: JUNE 17, 2008
FLOODWAY AREA IN ZONE A: THE CHANNEL OF A STREAM PLUS AND ADJACENT AREAS THAT MUST BE KEPT FREE OF ENCROACHMENT.
FLOOD ZONE A: NO BASE FLOOD ELEVATIONS DETERMINED.
FLOOD ZONE X: AREAS OF 0.2% ANNUAL CHANCE FLOOD OR AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE.
FLOOD ZONE X: AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.



VICINITY MAP
NOT TO SCALE



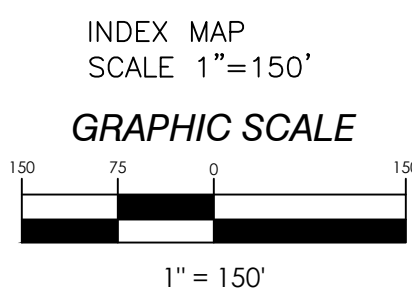
SHEET INDEX

Sheet #	Sheet Name	Sheet Title
1	C1.01	COVER SHEET
2	C1.02	GENERAL NOTES
3	C1.03	MISCELLANEOUS DETAILS
4	C1.05	UTILITY DETAILS
5	C2.01	SITE DEMOLITION PLAN
6	C3.01	SITE DIMENSION PLAN
7	C4.01	SITE GRADING, STORM SEWER AND SEDIMENT & EROSION CONTROL PLAN
8	C5.01	STORM, SANITARY & WATERLINE PROFILES
9	C6.01	STORM WATER POLLUTION PREVENTION PLAN, NOTES & DETAILS

NOT FOR
CONSTRUCTION

ASSOCIATED PLANS:

WATER SERVICE PLAN # 2056B
FIELD HOUSE
TURF PRACTICE FIELDS (PHASE 1 & PHASE 2)
ADDITIONS AND RENOVATIONS (MAIN BUILDING)
NATATORIUM



ENGINEER'S CERTIFICATION

THIS IS TO CERTIFY THAT GOOD ENGINEERING PRACTICES HAVE BEEN USED IN THE DESIGN OF THIS PROJECT. ALL STANDARDS OF THE CITY OF WORTHINGTON, AS WELL AS OTHER RELEVANT MINIMUM STANDARDS HAVE BEEN MET EXCEPT WHERE, IN THE ENGINEER'S OPINION, A STANDARD GREATER THAN MINIMUM IS REQUIRED. ALL CARE HAS BEEN TAKEN TO ASSURE THAT THE CONSTRUCTION AND IMPLEMENTATION OF THIS PROJECT DOES NOT IMPEDE PUBLIC SAFETY OR CONVENIENCE.

REGISTERED ENGINEER REG NO. DATE

CITY OF WORTHINGTON APPROVAL

THE CITY OF WORTHINGTON SIGNATURES BELOW SIGNIFY ONLY CONCURRENCE WITH THE PURPOSE AND GENERAL LOCATION OF THE PROJECT. ALL TECHNICAL DETAILS SHALL REMAIN THE RESPONSIBILITY OF THE ENGINEER PREPARING THE PLANS.

DIRECTOR OF SERVICE AND ENGINEERING DATE

FIRE CHIEF DATE

POLICE CHIEF DATE

CITY MANAGER DATE



CITY OF WORTHINGTON
DRAWING NO. ARB 0079-2023
DATE 10/02/2023



OFFICES

1495 Old Henderson Road
Columbus, Ohio 43220
614-459-6992

422 North Broad Street
Lancaster, Ohio 43130
740-385-2140

507 Main Street
Zanesville, Ohio 43701
740-450-1640

These drawings are instruments of professional service by Sands Decker CPS, LLC for the designated project. Sands Decker CPS, LLC assumes no liability for unauthorized use of these drawings, specifications, and documents.
SD PROJECT NO. 4424

WORTHINGTON NATATORIUM
COVER SHEET

Thomas Worthington High School
Natatorium
400 West Dublin Granville Road
Worthington, OH 43085

PREPARED FOR:
Worthington Schools
200 East Wilson Bridge Road
Worthington, Ohio 43085

DESIGN DEVELOPMENT 09/22/2023

COMM. NO.: 2212

C1.01

SIGNED 09/22/23
DATE

APPROVED PLANS: THE CIVIL/SITE DRAWINGS PREPARED BY SANDS DECKER FOR THIS PROJECT ARE NOT FOR CONSTRUCTION UNLESS AND UNTIL ALL APPLICABLE APPROVALS HAVE BEEN SECURED AND THE DRAWINGS ARE ISSUED FOR CONSTRUCTION. LAYOUT, FABRICATION OF MATERIALS, CONSTRUCTION, OR ANY CONSTRUCTION-RELATED ACTIVITIES ASSOCIATED WITH THESE DRAWINGS IS NOT TO PROCEED UNLESS EACH SHEET INCLUDES THE ISSUED FOR CONSTRUCTION LABEL.

GENERAL: THE CURRENT STATE OF OHIO, DEPARTMENT OF TRANSPORTATION CONSTRUCTION & MATERIAL SPECIFICATIONS (ODOTCMS) TOGETHER WITH THE REQUIREMENTS OF THE CITY OF WORTHINGTON AND THE CITY OF COLUMBUS, INCLUDING ALL SUPPLEMENTS THERETO, IN FORCE ON THE DATE OF CONTRACT, SHALL GOVERN ALL MATERIALS & WORKMANSHIP INVOLVED IN THE IMPROVEMENTS SHOWN ON THESE PLANS. WHEN THERE IS OR APPEARS TO BE A CONFLICT BETWEEN THE ABOVE REFERENCED SPECIFICATIONS & THESE PLANS, THE MOST STRINGENT REQUIREMENT SHALL GOVERN. UNLESS OTHERWISE SPECIFIED, ALL ITEM NUMBERS REFER TO ODOTCMS.

PROJECT LIMITS: THE CONTRACTOR SHALL CONFINE THEIR ACTIVITIES TO THE PROJECT SITE UNDER DEVELOPMENT, THE EXISTING RIGHTS-OF-WAY, CONSTRUCTION EASEMENTS & PERMANENT EASEMENTS, & SHALL NOT TRESPASS UPON PRIVATE PROPERTY WITHOUT WRITTEN CONSENT OF THE PROPERTY OWNER.

PROTECTION OF SURVEY MONUMENTS: THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, PROPERTY CORNERS, REFERENCE POINTS, & ANY OTHER SURVEY MONUMENTS OR MARKERS. IF THE ACTIONS OF THE CONTRACTOR, THEIR EMPLOYEES, OR THEIR SUB-CONTRACTORS RESULT IN DESTRUCTION OF OR DAMAGE TO ANY OF THE ABOVE ITEMS, THOSE ITEMS SHALL BE ACCURATELY RESTORED, AT THE CONTRACTOR'S EXPENSE, BY A LICENSED SURVEYOR REGISTERED IN THE STATE OF OHIO.

MISCELLANEOUS WORK: ALL ITEMS OF WORK INDICATED ON THE PLANS FOR WHICH NO SPECIFIC PAY ITEM IS INDICATED SHALL BE PERFORMED BY THE CONTRACTOR & THE COST OF THAT WORK SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS RELATED ITEMS.

PERMITS: THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS UNLESS OTHERWISE INDICATED IN THESE DOCUMENTS.

TRAFFIC CONTROL: THE CONTRACTOR SHALL USE ADEQUATE LIGHTS, SIGNS, FLAGGERS, & BARRICADES AS REQUIRED IN ITEM 614 TO SAFEGUARD THE TRAVELING PUBLIC AT ALL TIMES. ALL TRENCHES SHALL BE BACKFILLED OR SECURELY PLATED DURING NON-WORKING HOURS. WHERE IT IS ANTICIPATED THAT WORK WILL CLOSE A ROAD OR STREET, THE CONTRACTOR SHALL INFORM THE RESIDENTS TO BE AFFECTED, THE LOCAL LAW ENFORCEMENT AGENCY, THE LOCAL FIRE DEPARTMENT, & THE ENGINEER AS TO THE EXTENT, NATURE, & THE TIME OF THE ANTICIPATED WORK. THE CONTRACTOR SHALL SUBMIT A PLAN & SCHEDULE FOR DETOURING TRAFFIC 10 DAYS PRIOR TO THE CLOSING OF ANY ROAD OR STREET TO THE ENGINEER & ROAD OWNER. DURING A CLOSING OF A ROAD OR STREET, THE CONTRACTOR SHALL PROVIDE ACCESS TO THE TRENCHES FOR EMERGENCY VEHICLES & THE PROPERTY OWNERS. NO ROAD OR STREET SHALL BE CLOSED UNTIL THE SCHEDULE IS APPROVED BY THE AGENCY HAVING CONTROL OF THE ROAD.

SAFETY OF CONSTRUCTION: THE CONTRACTOR SHALL COMPLY WITH THE FEDERAL OCCUPATIONAL SAFETY & HEALTH ACT OF 1970 (OSHA) & ALL OTHER APPLICABLE FEDERAL, STATE, & LOCAL LAWS, REGULATIONS, FINDINGS & ORDERS RELATING TO SAFETY & HEALTH CONDITIONS ON THE WORK SITE. CONSTRUCTION METHODS FOR COMPLETING THE WORK DESCRIBED IN THESE CONTRACT DOCUMENTS SHALL BE CONSISTENT WITH THE OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION (OSHA) AMENDED CONSTRUCTION STANDARDS FOR EXCAVATIONS, 29 CFR PART 1926, SUB-PART F, EFFECTIVE MARCH 5, 1990.

EROSION & SEDIMENT CONTROL: PROJECTS DISTURBING ONE ACRE OR MORE (OR PROJECTS DISTURBING LESS THAN ONE ACRE BUT PART OF A LARGER COMMON PLAN OF DEVELOPMENT) ARE REQUIRED TO SUBMIT A NOTICE OF INTENT (NOI) TO THE OHIO EPA FOR COVERAGE UNDER THEIR GENERAL CONSTRUCTION STORM WATER PERMIT & ARE REQUIRED TO MAINTAIN AN APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWP3) ON SITE AT ALL TIMES. ALL PROJECT CONTRACTORS & SUBCONTRACTORS INVOLVED IN ACTIVITIES RELATED TO THE SWP3 OR OTHER STORM WATER PERMIT CONDITIONS ARE REQUIRED TO SUBMIT INDIVIDUAL CO-PERMITTEE NOT APPLICATIONS. ALL LAND DISTURBING ACTIVITIES SHALL COMPLY WITH THE CONDITIONS OF THE GENERAL PERMIT & THE DETAILS DESCRIBED IN THE SWP3.

BORROW MATERIAL & SURPLUS EXCAVATION: THE SITE SHALL BE CONSTRUCTED TO THE FINAL GRADES SHOWN ON THE PLANS. WHERE NECESSARY, THE CONTRACTOR SHALL OBTAIN SUITABLE BORROW MATERIAL ON-SITE OR OFF-SITE AS NEEDED TO COMPLETE THE SITE CONSTRUCTION AS DESCRIBED HEREIN. THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION ON SITE &, IF NECESSARY, SHALL HAUL SURPLUS EXCAVATED MATERIAL AWAY FROM THE SITE & DISPOSE OF PROPERLY.

EXISTING UTILITIES: THE INFORMATION SHOWN CONCERNING EXISTING UTILITIES IS APPROXIMATE. THE LOCATION, SIZES, & OTHER INFORMATION SHOWN IS ONLY AS ACCURATE AS THAT PROVIDED BY THE OWNERS OF THE UTILITY. THIS INFORMATION IS NOT REPRESENTED, WARRANTED OR GUARANTEED TO BE COMPLETE OR ACCURATE. THE ENGINEER DOES NOT INDEPENDENTLY VERIFY NOR FIELD LOCATE UTILITIES. THE CONTRACTOR IS RESPONSIBLE TO PHYSICALLY LOCATE & VERIFY, IN THE FIELD, THE HORIZONTAL & VERTICAL LOCATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. PRIOR TO THE BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL SUPPORT, PROTECT & RESTORE ALL EXISTING UTILITIES & THEIR ASSOCIATED ITEMS. THE CONTRACTOR SHALL ADHERE TO ALL APPLICABLE SECTIONS OF THE OHIO REVISED CODE INCLUDING SECTIONS 153.64 & 3781.28. THE CONTRACTOR SHALL NOTIFY THE REGISTERED UTILITY PROTECTION SERVICE (RUPS) OF ANY UTILITIES DETECTED BY IN THE CONSTRUCTION AREA WHO ARE NOT MEMBERS OF A REGISTERED UNDERGROUND UTILITY PROTECTION SERVICE. THE CONTRACTOR SHALL GIVE NOTIFICATION AS REQUIRED BY OHIO REVISED CODE, AT LEAST TWO (2) & NOT MORE THAN TEN (10) WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION OPERATIONS. EXCLUDING SUNDAYS, SUNDAYS, & LEGAL HOLIDAYS, & SHALL COORDINATE THEIR WORK WITH THE UTILITY OWNERS UNTIL THEIR WORK IS COMPLETED. THE CONTRACTOR SHALL KEEP THE UTILITY OWNERS APPRISED OF THEIR SCHEDULE & REQUIREMENTS & SHALL PROVIDE THE PROJECT OWNER WITH EVIDENCE OF HAVING NOTIFIED THE UTILITIES & PROVIDED THEM WITH THEIR WORK SCHEDULE PRIOR TO BEGINNING ANY WORK.

THE CONTRACTOR MAY REVIEW THE INFORMATION PROVIDED TO THE ENGINEER BY THE UTILITY OWNERS AT THE ENGINEER'S OFFICE PRIOR TO SUBMITTING A BID. CONTRACTORS REQUIRING MORE INFORMATION REGARDING EXISTING UTILITIES SHOULD CONDUCT THEIR OWN FIELD INVESTIGATIONS OR OTHERWISE LOCATE THE UTILITIES PRIOR TO SUBMITTING A BID FOR THE CONSTRUCTION. SEE EXISTING SITE SURVEY FOR A LISTING OF UTILITIES THAT MAY HAVE UNDERGROUND FACILITIES IN THE PROJECT AREA.

DRAINAGE TILE: ALL FARM DRAINS, ROADWAY DRAINS, & OTHER DRAINAGE TILE WHICH ARE ENCOUNTERED WITHIN THE CONSTRUCTION LIMITS DURING CONSTRUCTION SHALL BE PROVIDED WITH AN UNOBSTRUCTED OUTLET. EXISTING COLLECTOR TILES WHICH ARE LOCATED BELOW THE PROPOSED FINISHED ELEVATION & WHICH CROSS THE TRENCH SHALL BE REPLACED WITHIN THE TRENCH LIMITS BY ITEM 611 CONDUIT. THE LOCATION, TYPE, SIZE, & GRADE OF THE REQUIRED REPLACEMENT SHALL BE DETERMINED BY THE PROJECT ENGINEER OR THEIR SITE REPRESENTATIVE. DURING CONSTRUCTION, NECESSARY BENDS OR FITTINGS, COMPACTED GRANULAR BACKFILL, & ASSOCIATED ITEMS SHALL BE INCLUDED IN THE BID PRICE.

TEMPORARY PAVEMENT: TEMPORARY PAVEMENT REPLACEMENT SHALL BE PROVIDED ON PERMANENT PAVEMENT DAMAGED OR REMOVED BY THE CONTRACTOR IN THE PERFORMANCE OF THE WORK. AS SOON AS THE TRENCH HAS BEEN BACKFILLED, TEMPORARY PAVEMENT SHALL BE INSTALLED. THE ENGINEER MAY REQUIRE THAT ALL MATERIALS & EQUIPMENT INCIDENTAL TO PROVIDING THE TEMPORARY PAVEMENT BE ON THE JOB SITE PRIOR TO REMOVING THE EXISTING PAVEMENT. TEMPORARY PAVEMENT SHALL CONSIST OF 2" OF BITUMINOUS COLD MIX PLACED UPON 6" OF COMPACTED ITEM 304 AGGREGATE BASE. TEMPORARY PAVEMENT SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL PERMANENT PAVEMENT IS INSTALLED.

PERMANENT PAVEMENT: WHERE DAMAGED OR REMOVED, THE PAVEMENT SHALL BE REPLACED BY FIRST REMOVING TEMPORARY PAVEMENT DOWN TO CLEAN GRANULAR MATERIAL & REMOVING EXISTING PAVEMENT FOR AT LEAST 12" BEYOND THE TRENCH LIMITS ON EACH SIDE. PAVEMENT TO BE REMOVED SHALL BE NEATLY SAWED NOT MORE THAN 72 HOURS PRIOR TO THE PLACING OF PERMANENT PAVEMENT MATERIALS. PERMANENT PAVEMENT REPLACEMENT MATERIALS & WORKMANSHIP SHALL BE AS SHOWN ON THE CONSTRUCTION DRAWINGS. ITEM 407, TACK COAT, SHALL BE APPLIED TO THE EXPOSED EXISTING PAVEMENT EDGES WHEN EITHER THE EXISTING OR NEW PAVEMENT IS BITUMINOUS MATERIAL. WHEN THE PERMANENT PAVEMENT IS BITUMINOUS MATERIAL, ITEM 407, TACK COAT SHALL BE APPLIED TO BITUMINOUS OR CONCRETE BASE MATERIAL PRIOR TO THE PLACING OF THE PERMANENT PAVEMENT.

NEW PAVEMENT DESIGN: PAVEMENT DETAILS SHOWN HEREIN ARE BASED ON THE DESIGN RECOMMENDATIONS FOUND IN THE SITE GEOTECHNICAL REPORT DATED OCTOBER 18, 2022 AS PREPARED BY GEOTECHNICAL CONSULTANTS INC.. SANDS DECKER CPS, LLC PROVIDES NO GUARANTEE AND ASSUMES NO LIABILITY FOR THE USEFUL LIFE AND/OR PERFORMANCE OF S/D DESIGN RECOMMENDATIONS.

INSTALLATION IN EMBANKMENT: WHERE UTILITIES ARE TO BE INSTALLED IN EMBANKMENT AREAS, THE EMBANKMENT SHALL BE PLACED & COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS, A MINIMUM OF 2' ABOVE THE PIPE BUT SUFFICIENTLY ABOVE THE PIPE TO PROTECT THE PIPE FROM DAMAGE DUE TO FURTHER CONSTRUCTION ACTIVITIES PRIOR TO THE INSTALLATION OF THE UTILITY.

CONFLICTS IN GRADE: IN ALL CONFLICTS IN GRADE BETWEEN THE WATER LINES OR WATER SERVICES & OTHER EXISTING UTILITIES, THE WATER LINE/SERVICE LINE SHALL BE LOWERED DURING CONSTRUCTION. A MINIMUM 18" VERTICAL & 10' HORIZONTAL CLEARANCE SHALL BE MAINTAINED BETWEEN THE WATER LINE & ANY SANITARY OR

STORM SEWER; 12" MINIMUM VERTICAL CLEARANCE FOR OTHER UTILITIES. THE CONTRACTOR SHALL VERIFY LOCATIONS OF EXISTING UTILITIES AHEAD OF THE WATER LINE CONSTRUCTION OPERATIONS TO ALLOW FOR ADJUSTMENTS IN GRADE TO THE WATER LINE THAT MAY BE REQUIRED AS A RESULT OF IDENTIFICATION OF EXISTING UTILITIES OR OTHER UTILITY. NO ADDITIONAL COMPENSATION WILL BE MADE TO THE CONTRACTOR FOR LOWERING THE WATER LINE TO AVOID CONFLICTS WITH EXISTING UTILITIES.

EXISTING DITCHES: WHERE IT BECOMES NECESSARY TO LOCATE A MAIN LINE VALVE, FIRE HYDRANT OR MANHOLE IN AN EXISTING DITCH, THE CONTRACTOR SHALL RELOCATE THE DITCH BEHIND THE PROPOSED VALVE, HYDRANT OR MANHOLE.

MANHOLE TOPS: WHERE MANHOLES ARE LOCATED WITHIN PUBLIC OR PRIVATE PAVEMENT, SIDEWALK, CONCRETE PAD OR PAVED SHOULDER, THE TOPS SHALL BE BUILT TO EXISTING PAVEMENT ELEVATIONS. ELSEWHERE MANHOLES SHALL BE BUILT OR SUBSEQUENTLY ADJUSTED TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE MANHOLE. THE COST OF ADJUSTMENT IS TO BE INCLUDED IN THE PRICE BID FOR THE MANHOLE.

FINAL GRADING & CLEAN-UP: THE CONTRACTOR SHALL CLEAN UP ALL DEBRIS & MATERIALS RESULTING FROM THEIR OPERATION & RESTORE ALL SURFACES, STRUCTURES, DITCHES, SIGNS, MAILBOXES, FENCES, GUARDRAILS, OR OTHER PHYSICAL FEATURES OR PROPERTY DISTURBED OR DAMAGED DURING WORK UNDER THIS CONTRACT TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE ENGINEER. THE COST OF ALL SUCH WORK SHALL BE INCLUDED WITH THE VARIOUS RELATED ITEMS.

SEEDING & MULCHING: ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION & ELEVATION OR TO THE PROPOSED ELEVATIONS SHOWN ON THE DRAWINGS, & PROPER DRAINAGE SHALL BE PROVIDED. AFTER FINAL GRADING, THE SEED BED SHALL BE RAKED & ALL STONES, CLODS, LUMPS & OTHER FOREIGN MATERIAL GREATER THAN 1" IN DIAMETER SHALL BE REMOVED PRIOR TO SEEDING & MULCHING. ALL AREAS SHALL BE SEED PER ITEM 650.09, CLASS 1 FOR RESIDENTIAL AREAS OR CLASS 2 FOR RURAL/ROADSIDE AREAS, UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL WATER, RE-SEED & MULCH AS NECESSARY UNTIL AN ACCEPTABLE STAND OF GRASS IS ACHIEVED.

STORM SEWER & CULVERT CONSTRUCTION: UNLESS SHOWN OTHERWISE ON THESE PLANS, STORM SEWER & CULVERT CONSTRUCTION SHALL CONFORM TO ODOT SPECIFICATIONS. PIPE SHALL BE CORRUGATED POLYETHYLENE SMOOTH LINED PIPE, ITEM 707.33, OR REINFORCED CONCRETE CIRCULAR PIPE, ITEM 708.02.

BEDDING & BACKFILL: STORM SEWERS UNDER EXISTING OR PROPOSED PAVEMENT LIMITS & DRIVES SHALL BE INSTALLED AS REQUIRED FOR TYPE B OR TYPE D CONDUIT, ITEM 611.02. BACKFILL SHALL BE ITEM 703.11, TYPE 1, UP TO THE PAVEMENT SUBGRADE OR WITHIN 6" OF FINISHED GRADE. THE PAVEMENT LIMITS SHALL BE 5' BEYOND THE EDGE OF PAVEMENT, PAVED SHOULDER OR BACK OF CURB. STORM SEWER OUTSIDE PAVEMENT LIMITS SHALL BE INSTALLED AS REQUIRED FOR TYPE C CONDUIT, ITEM 611.02, USING NATURAL BACKFILL. BEDDING FOR TYPE B, C OR D CONDUIT SHALL CONSIST OF NOS. 57, 6, 67, 7, 78, OR 8, ITEM 703, AS REQUIRED BY THE PIPE MANUFACTURER. ANY SETTLEMENT WHICH OCCURS DURING THE GUARANTEE PERIOD SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.

WATER LINE CONSTRUCTION: ALL PIPE, FITTINGS & METHODS OF CONSTRUCTION & WORKMANSHIP FOR WATER LINES & APPURTENANCES SHOWN ON THESE PLANS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF WORTHINGTON AND THE CITY OF COLUMBUS, IN FORCE ON THE DATE OF CONTRACT, UNLESS SUCH REQUIREMENTS ARE UPGRADED BY THE FOLLOWING SPECIFICATIONS OR BY THE CONSTRUCTION DETAILS SET FORTH HEREIN.

MATERIAL: ALL PIPE, FITTINGS, VALVES & METHODS OF CONSTRUCTION SHALL BE SUPPLIED WITH MATERIAL CONFORMING TO THE LATEST SPECIFICATIONS FOR THE FOLLOWING:

- (1) DUCTILE IRON, CLASS 53 FOR SIZES 3" TO 10" & CLASS 54 FOR SIZES 12" & ABOVE, MANUFACTURED IN ACCORDANCE WITH AWWA C151, HAVING A BITUMINOUS COATED GEMENT LINING COMPLYING WITH AWWA C104 & AN OUTSIDE COATING OF BITUMASTIC ENAMEL OR APPROVED EQUIVALENT. ALL JOINTS SHALL CONFORM TO AWWA C111.
- (2) POLYVINYL CHLORIDE PIPE, AWWA C905 DR18 FOR SIZES 14" & ABOVE, AWWA C900 DR18 FOR SIZES 4" TO 12".
- (3) WATER LINE PIPE & FITTINGS SHALL BE AWWA C153, CEMENT LINED PER AWWA C104.
- (4) VALVES SHALL HAVE A NON-RISING STEM, LEFT-HAND OPEN (COUNTER-CLOCKWISE) WITH DOUBLE O-RING STEM SEALS. VALVES SHALL HAVE END JOINTS CONFORMING TO AWWA C111. VALVES SHALL PASS A SEAT TEST @ 200 PSI WITHOUT LEAKAGE. THE VALVE SHIEL SHALL PASS A SHELL TEST WITH THE VALVE IN THE OPEN POSITION AT 400 PSI WITHOUT LEAKAGE THROUGH METAL, FLANGED JOINTS OR STEM SEALS. ADDITIONALLY, THE VALVES SHALL CONFORM TO THE FOLLOWING:

AWWA C515 HAVING A SEALING MECHANISM THAT PROVIDES ZERO LEAKAGE AT THE WATER WORKING PRESSURE AGAINST LINE FLOW FROM EITHER DIRECTION. NO EXPOSED METAL SEAMS, EDGES, SCREWS, ETC. SHALL BE WITHIN THE WATERWAY IN THE CLOSED POSITION (ALL SURFACES SHALL BE RUBBER COVERED). THE RUBBER COVERED GATE SHALL NOT BE WEDGED IN POCKET NOR SLIDE ACROSS THE SEATING SURFACE TO OBTAIN TIGHT CLOSURE. ALL INTERNAL & EXTERNAL FERRUS SURFACES, INCLUDING THE INTERIOR OF THE GATE, BOLT HOLES & FLANGE FACES, SHALL BE COATED, PRIOR TO ASSEMBLY OF THE VALVE, WITH EPOXY HAVING A MINIMUM THICKNESS OF 8 MILS. THERE SHALL BE AN O-RING SEAL ABOVE THE STORM COLLAR & AN O-RING SEAL BELOW THE STEM COLLAR WITH THE AREA BETWEEN THE O-RING SEALS FILLED WITH LUBRICANT. THERE SHALL BE ANTI-FRICTION WASHERS AT THE STEM COLLAR.
- (5) SERVICE LINES SHALL BE:
 - (A) COPPER PIPE, TYPE K
 - (B) DRISCOPIPE 5100, ULTRA-LINE, ULTRA HIGH MOLECULAR WEIGHT POLYETHYLENE, AWWA C901, COPPER TUBE SIZE OD ASTM D-2737 SDR 9 (PE3408)
 - (C) WATER LINE PIPE MATERIAL
- (6) CORPORATION STOPS SHALL BE EQUIVALENT TO MUELLER H-1 5000.
- (7) CURB STOPS SHALL BE EQUIVALENT TO MUELLER H-15200 WITH A BOX EQUIVALENT TO MUELLER H-1 0350, SIZE 94E.
- (8) TAPPING SLEEVES SHALL BE A MECHANICAL JOINT SLEEVE & SHALL PROVIDE FULL SUPPORT AROUND THE CIRCUMFERENCE OF THE PIPE, WITH SUFFICIENT WIDTH & BEARING TO NOT DISTORT THE PIPE WHEN TIGHTENED. LUGS OR RIDGES WHICH MAY SCRAPE OR CUT INTO PIPE ARE NOT ACCEPTABLE.
- (9) TAPPING SADDLES SHALL BE EQUIVALENT TO FORD STYLE FS 101 FOR 3/4" & 1" SERVICES, & FORD STYLE FS202 FOR 1-1/4" THROUGH 2-1/2" SERVICES.
- (10) ALL JOINTS, FITTING, VALVES & APPURTENANCES SHALL BE FURNISHED WITH ALL ACCESSORIES.

CONNECTING WATER LINES: THE CONNECTION OF EXISTING WATER LINES & SERVICES TO PROPOSED WATER LINES SHALL BE DONE IN A MANNER THAT WILL CAUSE MINIMUM INCONVENIENCE TO THOSE WITH AFFECTED SERVICE. WORK CONCERNING THE DISCONNECTION & RECONNECTION OF EXISTING WATER LINES SHALL BE DONE BETWEEN THE HOURS OF 10:00 P.M. & 5:00 A.M., OR AS DIRECTED BY THE ENGINEER. NO SUCH WORK SHALL BEGIN UNTIL THE ENGINEER, THE LOCAL FIRE DEPARTMENT & THE AFFECTED CUSTOMERS ARE NOTIFIED OF THE EXTENT, NATURE & TIME OF THE ANTICIPATED WORK, & THE METHOD & SCHEDULE OF SUCH WORK HAS BEEN APPROVED BY THE LOCAL WATER COMPANY.

TAPS: A TAP PERMIT FOR EACH WATER SERVICE MUST BE OBTAINED FROM THE APPROPRIATE ENTITIES PRIOR TO CONNECTING ANY CUSTOMERS TO THE WATER LINE.

DEAD END LINES: ON DEAD END LINES, 2 ~ 3/4" TAPS SHALL BE INSTALLED WITHIN 2' OF THE END OF THE MAIN.

PLUG POLES: A 2" X 2" HARDWOOD POLE SHALL BE PLACED AT ALL END-OF-LINE STUBS AT THE THRUST BLOCK. EACH POLE SHALL HAVE A 1" MINIMUM LENGTH OF RE-BAR ATTACHED TO ITS TOP END. THE TOP OF THE POLE SHALL BE BURIED APPROXIMATELY 3" BELOW THE FINISHED GRADE.

MINIMUM DEPTH: WATER LINES SHALL BE LAID WITH A MINIMUM OF 4' FROM TOP OF PROPOSED OR FINISHED GRADE (OR TOP OF CURB) TO THE TOP OF THE WATER LINE.

LINE CROSSINGS: AT ALL POINTS OF CROSSING BETWEEN WATER MAINS & SEWERS, THE BACKFILL SHALL BE GRANULAR MATERIAL BETWEEN THE DEEPER & SHALLOWER PIPE, AS DIRECTED BY THE ENGINEER.

BACKFILLING WATER LINE TRENCHES: TRENCHES UNDER EXISTING OR PROPOSED PAVED AREAS OR DRIVES SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL.

FROM THE BOTTOM OF THE TRENCH TO THE PAVEMENT SUB-GRADE OR TO A PLANE 6" BELOW THE TOP OF THE GROUND, BETWEEN THE LIMITS OF 5' BEYOND THE EDGE OF PAVEMENT, PAVED SHOULDER OR BACK OF CURB. TRENCHES OUTSIDE PAVEMENT LIMITS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AS DEFINED IN THE INSTALLATION DETAILS.

DISINFECTION: ALL WATER MAINS SHALL BE DISINFECTED BY THE CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL WATER COMPANY & THE APPLICABLE SECTIONS OF AWWA C651 (WATER MAINS), C652 (STORAGE FACILITIES), C653 (WATER PLANTS), & C654 (WELLS). ALL LABOR, MATERIAL & EQUIPMENT INCLUDING DISINFECTION TAPS & BLOW-OFF TAPS WILL BE FURNISHED & PAID FOR BY THE CONTRACTOR, INCLUDING TAPPING VALVES, SUFFICIENT TUBING OR PIPE TO EXTEND OUTSIDE THE TRENCH & AN OPERABLE VALVE ABOVE GROUND. BLOW-OFFS SHALL BE INSTALLED WHERE SHOWN ON THE CONSTRUCTION DRAWINGS OR AS DIRECTED IN THE FIELD. THE TIME & SECTION OF LINE (OR FACILITY) TO BE DISINFECTED SHALL BE APPROVED BY THE ENGINEER. SPECIAL ATTENTION IS DIRECTED TO APPLICABLE SECTIONS OF AWWA C651, PARTICULARLY FOR FLUSHING & FOR DISINFECTING VALVES & FIRE HYDRANTS. ALL LABORATORY TESTS ASSOCIATED WITH VERIFYING PROPER DISINFECTION SHALL BE PAID FOR BY THE CONTRACTOR.

PRESSURE TESTING: A HYDROSTATIC TEST AS REQUIRED IN APPLICABLE SECTIONS OF AWWA C600 SHALL BE APPLIED TO THE WATER MAIN. IF THERE ARE INDICATIONS OF LEAKS UNDER THIS PRESSURE TEST, THE CONTRACTOR SHALL LOCATE & REPAIR THEM AT THEIR COST UNTIL THE LEAKAGE IS WITHIN THE SPECIFIED ALLOWANCE. ALL BENDS, JOINT DEFLECTIONS & HYDRANTS SHALL HAVE APPROPRIATE THRUST BLOCKING.

WORKING PRESSURE: THIS PROJECT HAS BEEN DESIGNED SO THAT NORMAL WORKING PRESSURE WILL NOT BE LESS THAN 35 PSI. INDIVIDUAL BOOSTER PUMPS ARE PROHIBITED.

VALVE EXTENSIONS: IF THE TOP OF THE OPERATING NUT IS MORE THAN 36" BELOW FINISHED GRADE, AN EXTENSION STEM SHALL BE FURNISHED TO BRING THE TOP OF THE OPERATING NUT TO WITHIN 24" OF FINISHED GRADE.

SANITARY SEWER CONSTRUCTION: ALL PIPE, MANHOLES, FITTINGS & METHODS OF CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF WORTHINGTON AND THE CITY OF COLUMBUS, IN FORCE ON THE DATE OF CONTRACT, UNLESS SUCH REQUIREMENTS ARE UPGRADED BY THE FOLLOWING SPECIFICATIONS OR BY THE CONSTRUCTION DETAILS SET FORTH HEREIN.

MATERIAL: UNLESS OTHERWISE INDICATED ON THE PLANS, SEWERS & SERVICES SHALL BE SUPPLIED WITH MATERIAL CONFORMING TO THE LATEST SPECIFICATIONS FOR THE FOLLOWING:

GRAVITY SEWER PIPE:

- (1) EXTRA STRENGTH CLAY PIPE, ASTM C700 WITH COMPRESSION JOINTS, ASTM C425;
- (2) POLYVINYL CHLORIDE PIPE, ASTM D 3034, SDR 35, UP TO 15" IN DIAMETER, WITH JOINTS CONFORMING TO ASTM D 3212.

MANHOLES: MANHOLES SHALL BE PRE-CAST CONCRETE IN ACCORDANCE WITH ASTM C478.

SEWER TESTING: THE CONTRACTOR SHALL FURNISH ALL LABOR, EQUIPMENT & MATERIALS REQUIRED TO TEST THE SECTIONS OF SANITARY SEWER CONDUIT FOR TIGHTNESS. EITHER THE INFILTRATION TEST OR EXFILTRATION TEST WILL BE PERFORMED & ALL TESTS SHALL BE CONDUCTED UNDER SUPERVISION OF THE ENGINEER. TESTS FOR LEAKAGE SHALL INCLUDE ALL PORTIONS OF THE SANITARY SEWER SYSTEM INCLUDING SERVICE LINES THAT ARE INSTALLED BY THE CONTRACTOR. THE SEWER SHALL BE TESTED IN SECTIONS, EACH SECTION EXTENDING BETWEEN TWO CONSECUTIVE MANHOLES OR FROM THE END OF THE SEWER TO THE NEAREST MANHOLE. THE ALLOWABLE LEAKAGE SHALL NOT EXCEED 100 GALLONS PER DAY PER MILE OF PIPE PER INCH OF PIPE DIAMETER TESTED, OR THE COMPUTED EQUIVALENT FOR SHORTER PERIODS OF TIME. IN LIEU OF A HYDROSTATIC TEST, THE CONTRACTOR MAY USE AN AIR TEST. THE AIR TEST SHALL, AS A MINIMUM, CONFORM TO THE TEST PROCEDURE DESCRIBED IN ASTM C-828 FOR CLAY PIPE, ASTM C-924 FOR CONCRETE PIPE, ASTM F-1417 FOR PLASTIC PIPE, & FOR OTHER MATERIALS TEST PROCEDURES APPROVED BY THE REGULATORY AGENCY. IF THE SEWERS ARE TESTED UTILIZING AN AIR TEST, MANHOLES SHALL BE TESTED BY VACUUM.

WYE POLES: THE CONTRACTOR SHALL FURNISH & PLACE, AS DIRECTED, APPROVED WYE POLES MADE OF 2" X 2" LUMBER AT ALL WYE LOCATIONS, ENDS OF EXTENDED SERVICES OR AT THE END OF EACH RISER WHERE RISERS ARE REQUIRED. THE COST OF THESE POLES SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS SEWER ITEMS.

SERVICE CONNECTIONS: SERVICES OR HOUSE CONNECTIONS SHALL NOT BE CONNECTED TO THE LATERAL OR MAIN LINE SEWERS SINCE HEREON UNTIL FULL APPROVAL OF SAID LATERAL OR MAIN LINE SEWER HAS BEEN RECEIVED.

STORM WATER CONNECTIONS: NO FOUNDATION DRAIN, ROOF DRAIN OR OTHER STORM WATER DRAIN OF ANY KIND WILL BE ALLOWED TO CONNECT INTO THE SANITARY SEWER.

BEDDING & BACKFILL: SANITARY SEWERS UNDER EXISTING OR PROPOSED PAVEMENT LIMITS & DRIVES SHALL BE INSTALLED AS REQUIRED FOR TYPE B CONDUIT, ITEM 611.02. BACKFILL SHALL BE ITEM 703.11, TYPE 1, UP TO THE PAVEMENT SUBGRADE OR WITHIN 6" OF FINISHED GRADE. THE PAVEMENT LIMITS SHALL BE 5' BEYOND THE EDGE OF PAVEMENT, PAVED SHOULDER OR BACK OF CURB. SANITARY SEWER OUTSIDE PAVEMENT LIMITS SHALL BE INSTALLED AS REQUIRED FOR TYPE C CONDUIT, ITEM 611.02, USING NATURAL BACKFILL. BEDDING FOR TYPE B OR C CONDUIT SHALL CONSIST OF NOS. 57, 6, 67, 7, 78, OR 8, ITEM 703, AS REQUIRED BY THE PIPE MANUFACTURER. ANY SETTLEMENT WHICH OCCURS DURING THE GUARANTEE PERIOD SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.



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WORTHINGTON NATATORIUM GENERAL NOTES

Thomas Worthington High School
Natatorium
400 West Dublin Granville Road
Worthington, OH 43085

PREPARED FOR:
Worthington Schools
200 East Wilson Bridge Road
Worthington, Ohio 43085



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C1.02

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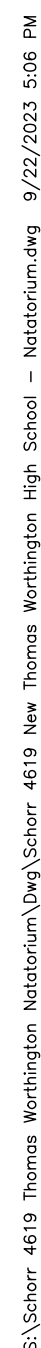
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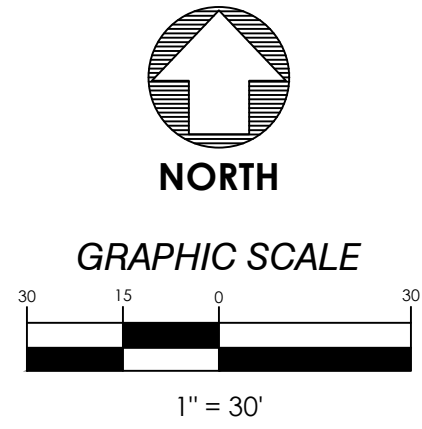
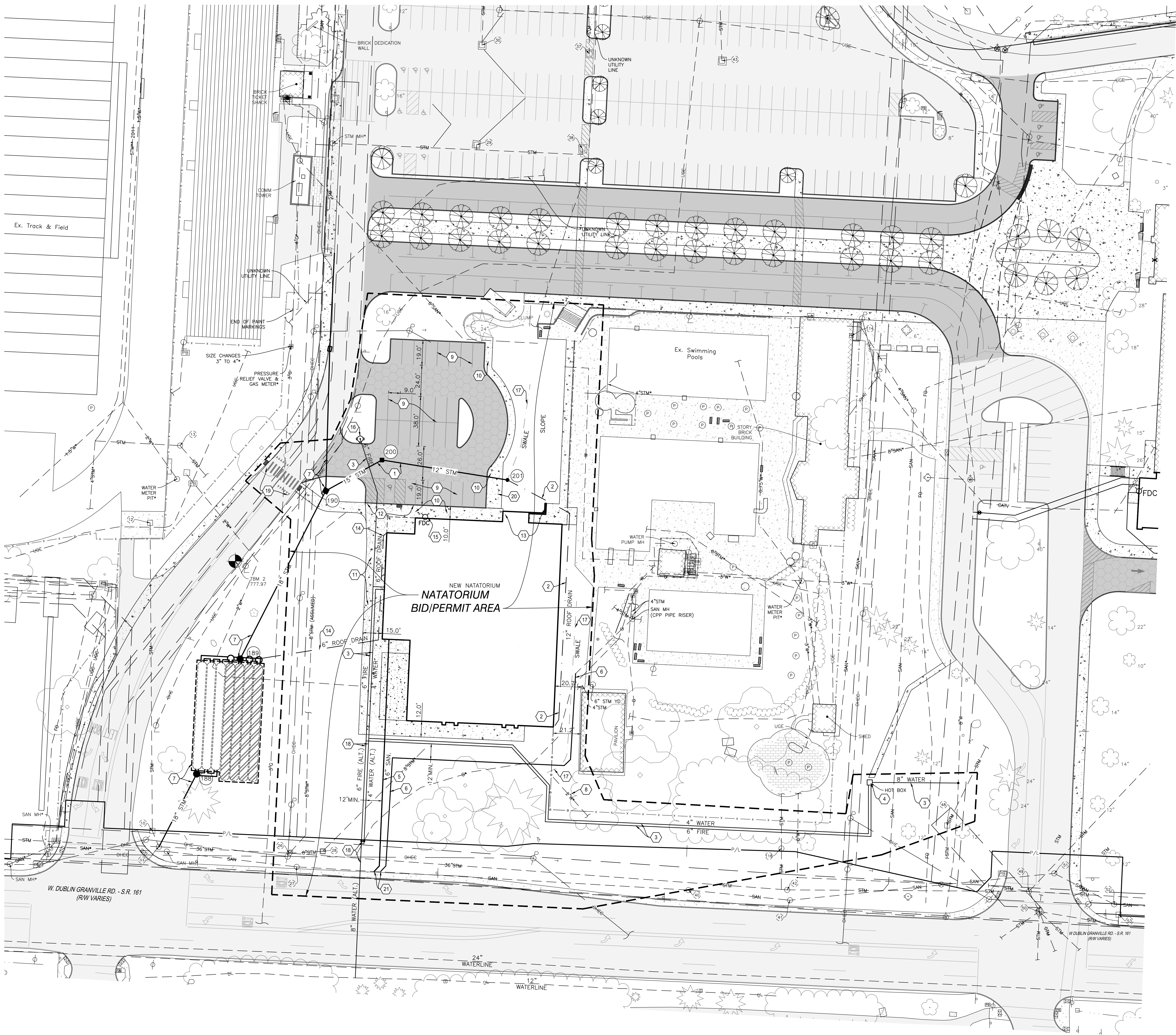


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SD PROJECT NO. 4424

<p>WORTHINGTON NATATORIUM MISCELLANEOUS DETAILS</p>	
<p>Thomas Worthington High School Natorium 400 West Dublin Granville Road Worthington, OH 43085</p> <p>PREPARED FOR: Worthington Schools 200 East Wilson Bridge Road Worthington, Ohio 43085</p>	
<div style="height: 200px;"></div>	
DESIGN DEVELOPMENT	09.22.2023
COMM. NO.: 2212	
<div style="font-size: 48px; font-weight: bold; margin-top: 100px;">C1.03</div>	
	<div style="display: flex; justify-content: space-between; margin-top: 10px;"> SIGNED _____ DATE 09/22/23 </div>





- 1 SITE KEYNOTES**
1. PROVIDE STORM SEWER, SEE PROFILES.
 2. PROVIDE 12" ROOF DRAIN COLLECTOR LINE (0.007 707.33 @ 0.50% MIN. SLOPE), SEE PROFILES WHERE APPLICABLE. PROVIDE CLEANOUTS EVERY 150' MAX. AT ENDS, AND BENDS 45° AND LARGER. COORDINATE DOWNSPOUTS WITH ARCHITECTURAL PLANS. COORDINATE ROOF DRAIN CONNECTIONS WITH MEP PLANS.
 3. PROVIDE WATER LINES, SEE PLAN FOR SIZE, SEE PROFILES.
 4. PROVIDE HEATED ENCLOSURE WITH ELECTRIC POWER SUPPLY, SEE SITE UTILITY PLANS BY OTHERS.
 5. PROVIDE BUILDING SANITARY SEWER SERVICE, SEE PROFILES.
 6. PROVIDE, RELOCATED, OUTDOOR POOL SANITARY SEWER SERVICE, SEE PROFILES. INSTALL EARLY IN PROJECT TO REDUCE SERVICE OUTAGE, COORDINATE WITH OWNER AND OCCUPANT.
 7. STORM SEWER AND DETENTION SYSTEM FROM "MAIN BUILDING" HIGH SCHOOL SET, FOR REFERENCE ONLY (NOT INCLUDED IN BID).
 8. PROVIDE BLACK VINYL COATED CHAIN LINK FENCE W/ KNUCKLED SELVAGE, 6' HIGH, SEE DETAIL.
 9. PROVIDE PAVEMENT MARKINGS PER ITEMS 641 & 642, INCLUDING PARKING SPACES (WHITE FOR CARS, BLUE FOR BUSES), TRANSVERSE LINES, DIRECTIONAL ARROWS & ADA SYMBOLS TO BE PLACED AS SHOWN.
 10. INTERNAL CURB & SIDEWALK, SEE DETAIL.
 11. PROVIDE HEAVY-DUTY CONCRETE FOR EMERGENCY ACCESS LANE, SEE DETAIL.
 12. "FLUSH" CURB/OT CURB ALONG ACCESS LANE AND ADA PARKING.
 13. PROPOSED STAIRWAY & RAILING, SEE ARCHITECTURAL PLANS.
 14. PROVIDE 6" ROOF DRAIN COLLECTOR LINE, SLOPE AT 1.10% MIN. PROVIDE CLEANOUTS EVERY 150' MAX., AT ENDS, AND BENDS 45° AND LARGER.
 15. PROPOSED BUILDING MOUNTED FDC, SEE MEP PLAN.
 16. PROVIDE FIRE HYDRANT ASSEMBLY, VALVE, AND HEAVY DUTY VALVE BOX ACCORDING TO CITY OF WORTHINGTON STANDARDS. PAINT PER CITY STANDARDS.
 17. SWALE, PROVIDE POSITIVE DRAINAGE, SEE GRADING PLAN.
 18. ALTERNATE: PROVIDE 8" WATERLINE, BORE UNDER S.R.161 TO 12" MAIN, TEE TO 8" AND 4" WATERLINES AS SHOWN. PROVIDE 6" AND 4" VALVES AND VALVE BOXES 1' INSIDE RIGHT-OF-WAY LINE.
 19. PROVIDE PAVEMENT MARKINGS FOR PEDESTRIAN CROSSING PER ITEMS 641 & 642, SEE DETAIL.
 20. RELOCATE EXISTING BIKE RACKS.
 21. SANITARY TAP PER CITY OF WORTHINGTON STANDARDS. CONTRACTOR TO OBTAIN SEPARATE SANITARY TAP PERMIT AND INSPECTIONS.

- MISC. NOTES**
- ALL ITEM NUMBERS REFER TO THE STATE OF OHIO DEPT. OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS, LATEST EDITION, UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS ARE MEASURED TO FACE OF CURB WHERE APPLICABLE UNLESS NOTED OTHERWISE.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE GROUND & REPORT ANY LAYOUT DISCREPANCIES IMMEDIATELY TO THE A/E.
 - REFER TO THE ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL BUILDING CORNER LOCATIONS IN THE FIELD.
 - DO NOT SCALE FROM THIS DRAWING. ALL WRITTEN DIMENSIONS SHALL GOVERN. ANY DISCREPANCIES SHALL IMMEDIATELY BE REPORTED TO THE A/E.
 - CONTRACTOR SHALL PROVIDE EXPANSION JOINTS EVERY 20' L.F. OF CONCRETE SIDEWALK.

- LEGEND**
- STANDARD DUTY ASPHALT PAVEMENT (SEE DETAIL)
 - HEAVY DUTY ASPHALT PAVEMENT (SEE DETAIL)
 - HEAVY DUTY CONCRETE PAVEMENT (SEE DETAIL)
 - STRAIGHT CURB (SEE DETAIL) PROVIDE FOR ALL EDGES EXCEPT WHERE THERE IS INTEGRAL SIDEWALK.
 - EX. ASPHALT PAVEMENT
 - CONCRETE WALK (SEE DETAIL). PROVIDE INTEGRAL SIDEWALK WHERE ADJACENT TO PAVEMENT.
 - EX. CONCRETE WALK

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**WORTHINGTON NATATORIUM
SITE DIMENSION PLAN**

Thomas Worthington High School
Natatorium
400 West Dublin Granville Road
Worthington, OH 43085
PREPARED FOR:
Worthington Schools
200 East Wilson Bridge Road
Worthington, Ohio 43085

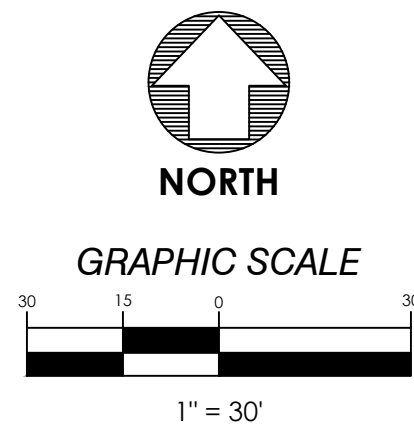
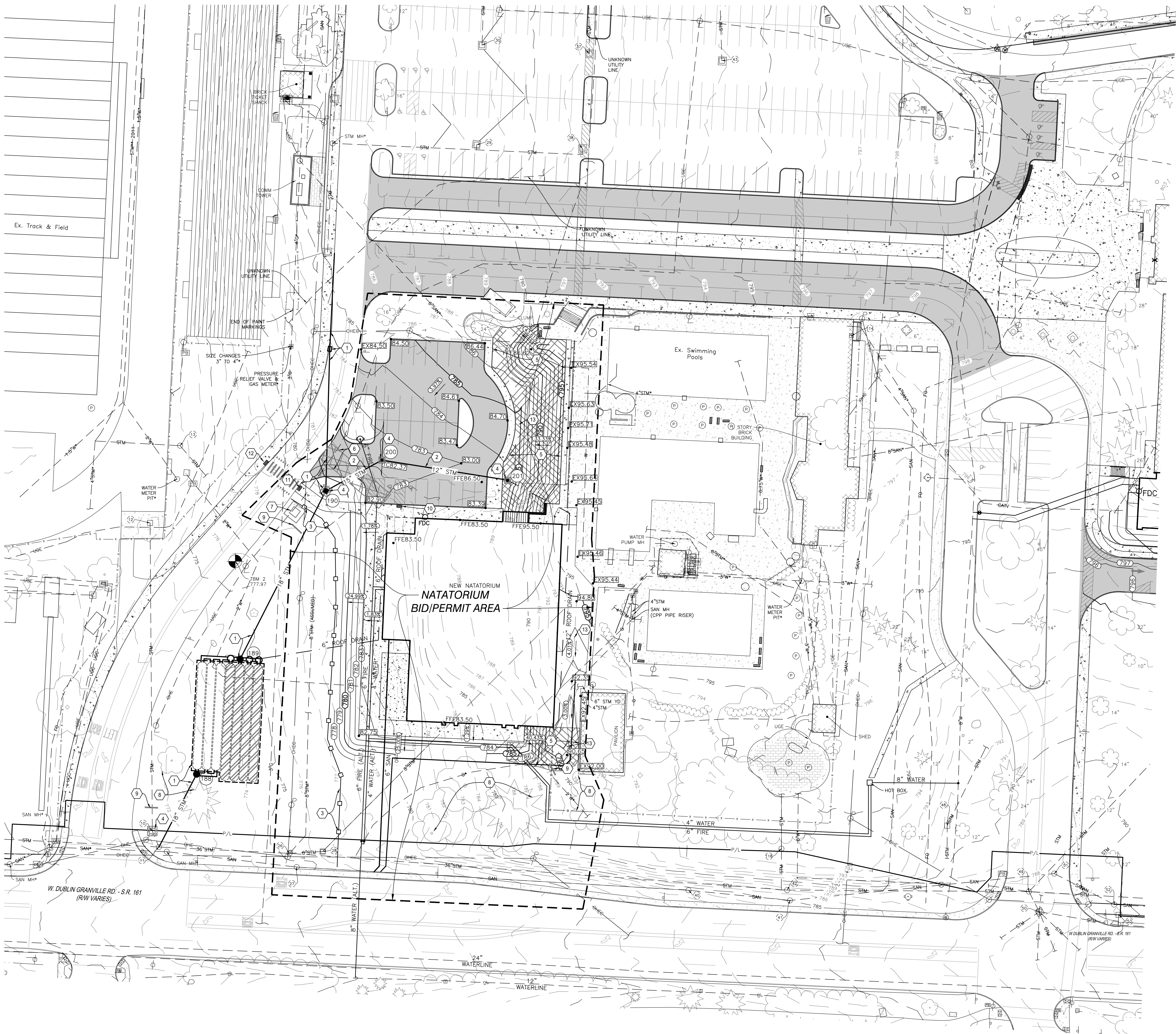
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COMM. NO.: 2212

SKETCH PROPOSED SITE

C3.01

SIGNED DATE 09/22/23



- SITE GRADING KEYNOTES**
1. STORM SEWER FROM "MAIN BUILDING" HIGH SCHOOL SET, FOR REFERENCE ONLY (NOT INCLUDED IN BID).
 2. PROVIDE STORM LINE, TYPICAL, SEE STORM SEWER PROFILES.
 3. PROVIDE PERIMETER GEOTEXTILE FILTER FABRIC FENCE PER ODOT STD DM-4.4 OR 12" DIA. MIN. FILTER SOCK, SEE DETAIL.
 4. PROVIDE INLET PROTECTION, TYPICAL FOR ALL PROPOSED INLETS AND EXISTING INLETS, SEE DETAILS.
 5. PROVIDE ODOT ITEM 671, TEMPORARY EROSION CONTROL MATTING, TYPE C, INSTALLED AND SECURED ACCORDING TO ODOT STD. DWG. DM-4.2 OR MANUFACTURER'S RECOMMENDATIONS.
 6. PROVIDE STABILIZED CONSTRUCTION ENTRANCE, SEE DETAIL, SHEET C8.01.
 7. PROVIDE CONCRETE WASHOUT PER DETAIL SHEET C. OR WITH PORTABLE UNIT(S). FINAL LOCATION(S) DETERMINED IN THE FIELD.
 8. TREE PROTECTION PER LANDSCAPE PLAN.
 9. PROVIDE ROCK CHECK DAM INSTALLED AND SECURED ACCORDING TO ODOT STD DM-4.4.
 10. PROVIDE ADA CURB RAMP, TYPE A1 AS PER ODOT STD DWG. BP-7.1.
 11. PROVIDE ADA CURB RAMP, TYPE A2 AS PER ODOT STD DWG. BP-7.1.
 12. PROPOSED ADA CURB RAMP, FROM "MAIN BUILDING" HIGH SCHOOL SET, FOR REFERENCE ONLY (NOT INCLUDED IN BID).
 13. SWALE, PROVIDE POSITIVE DRAINAGE, SEE SPOT GRADES.

- MISC. NOTES**
- ALL GRADES SHOWN ARE PAVEMENT ELEVATIONS AT FACE OF CURB, WHERE APPLICABLE UNLESS OTHERWISE NOTED. EX = EXISTING, TO = TOP OF CASTING, BC = TOP/BACK OF CURB.
 - GRADE BOXES HAVE BEEN TRUNCATED FOR LEGIBILITY. ADD 700 TO ALL SPOT ELEVATIONS UNLESS OTHERWISE IDENTIFIED.
 - ALL DISTURBED AREAS LEFT UNPAVED SHALL BE SEEDED & MULCHED.
 - ALL EXISTING AND PROPOSED STORM SEWER INLETS SHALL BE FITTED WITH EROSION CONTROL DEVICES DURING CONSTRUCTION.
 - ANY EXISTING MANHOLES, WATER VALVES, OR OTHER UTILITY STRUCTURES SHALL BE ADJUSTED TO GRADE ACCORDING TO THE UTILITY OWNER'S REQUIREMENTS.
 - CONTRACTOR SHALL CONSTRUCT AND MAINTAIN A TEMPORARY CONSTRUCTION ENTRANCE TO MITIGATE TRACKING OF DIRT AND DEBRIS ONTO PUBLIC STREETS.
 - CONTRACTOR SHALL UTILIZE APPROVED CONCRETE WASHOUT AREAS. LOCATIONS TO BE DETERMINED IN THE FIELD.
 - ALL SLOPE 3:1 AND STEEPER SHALL REQUIRE ODOT ITEM 671, TEMPORARY EROSION CONTROL MATTING, TYPE C, INSTALLED AND SECURED ACCORDING TO ODOT STD. DWG. DM-4.2 OR MANUFACTURER'S RECOMMENDATIONS.

- LEGEND**
- 888 — PROPOSED CONTOUR & LABEL
 - 888 - EXISTING CONTOUR & LABEL
 - 98.38 ● SPOT GRADE MARKER
 - BC98.38 ● SPOT GRADE - TOP OF CURB
 - EX98.38 ● SPOT GRADE - MATCH EXISTING
 - TC98.38 ● SPOT GRADE - TOP OF CASTING
 - ▲ SLOPE ARROW AND GRADE
 - INLET PROTECTION SEE SHEET C8.01 FOR DETAIL
 - MAJOR FLOOD ROUTING (OVERLAND FLOW)
 - MAJOR FLOOD ROUTING (PIPE CONVEYANCE)
 - SEEDMENT FENCE SEE SHEET C8.01 FOR DETAIL
 - ODOT ITEM 671, TEMPORARY EROSION CONTROL MATTING, TYPE C
 - CONCRETE WASHOUT AREA SEE SHEET C8.01 FOR DETAIL
 - STABILIZED CONSTRUCTION ENTRANCE SEE SHEET C8.01 FOR DETAIL

CITY OF WORTHINGTON
DRAWING NO. ARB 0079-2023
DATE 10/02/2023

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CONSTRUCTION**

**WORTHINGTON NATATORIUM
SITE GRADING, STORM SEWER AND
SEDIMENT & EROSION CONTROL PLAN**

Thomas Worthington High School
Natatorium
400 West Dublin Granville Road
Worthington, OH 43085
PREPARED FOR:
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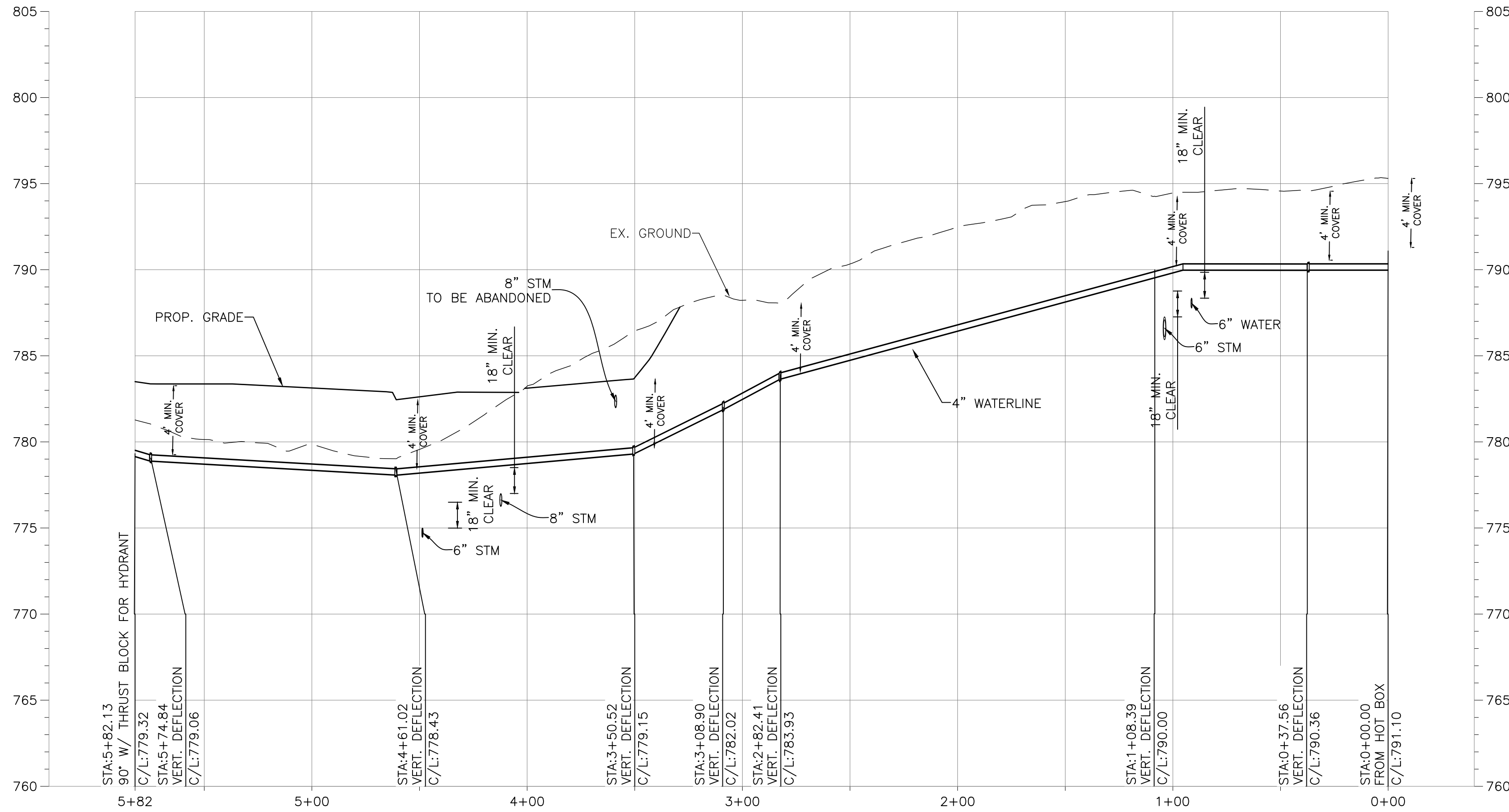
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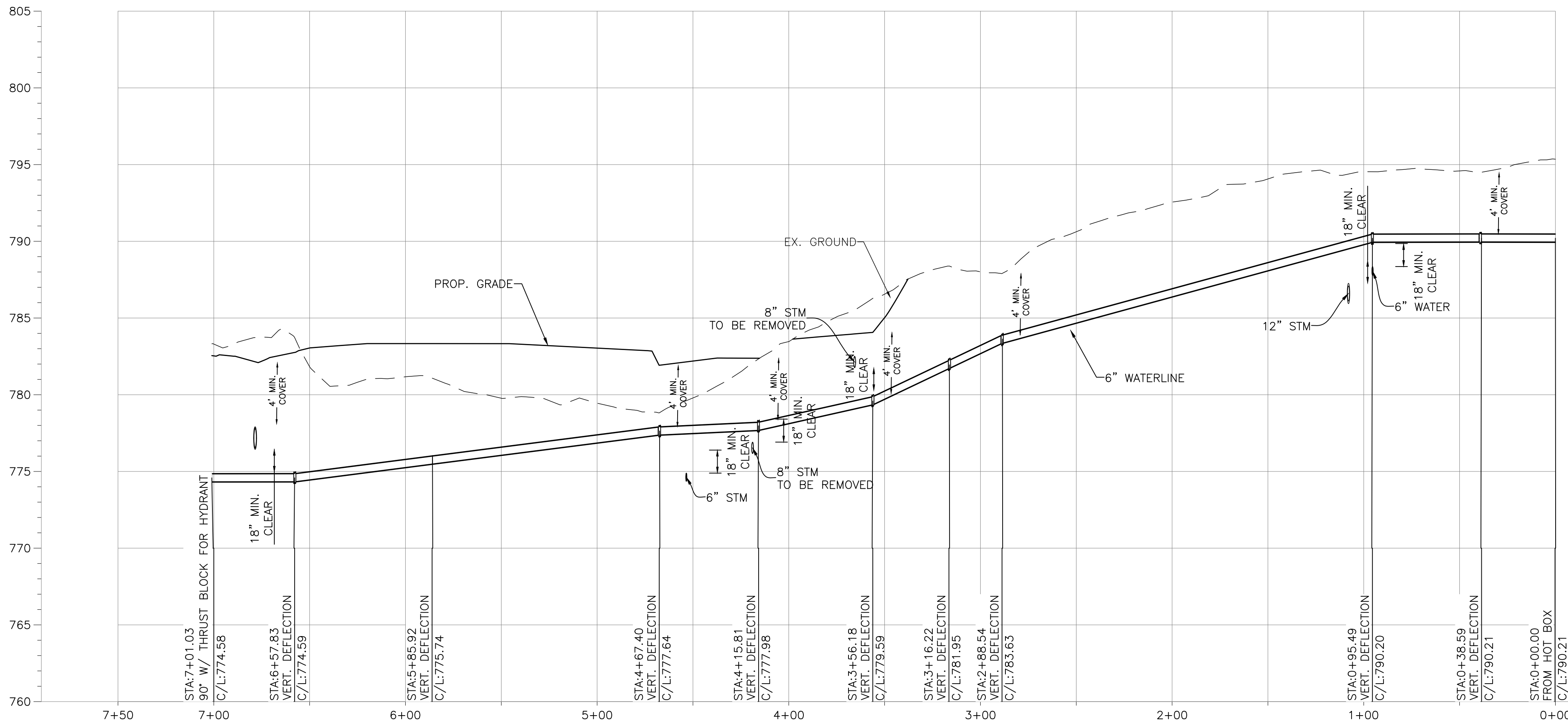
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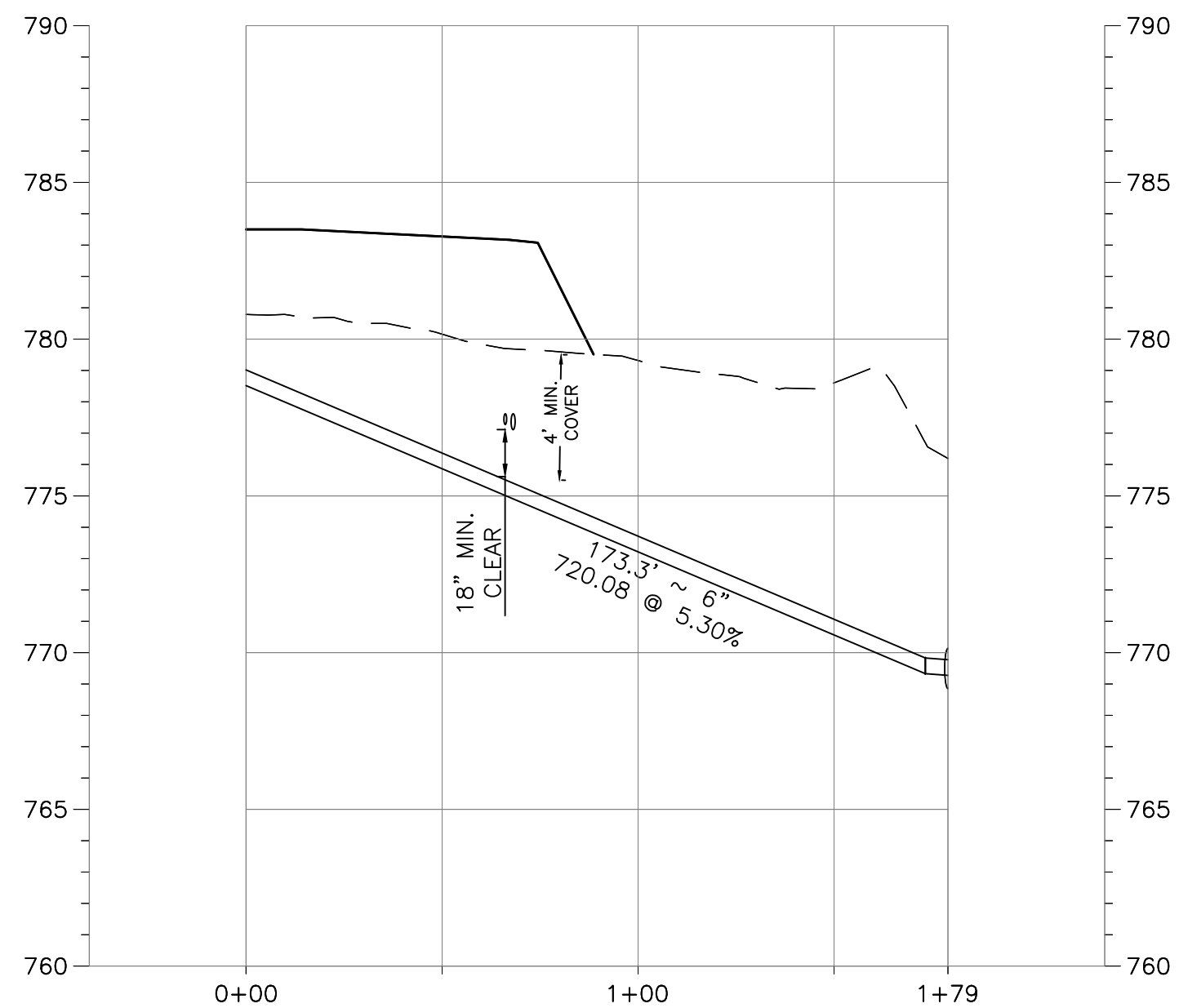
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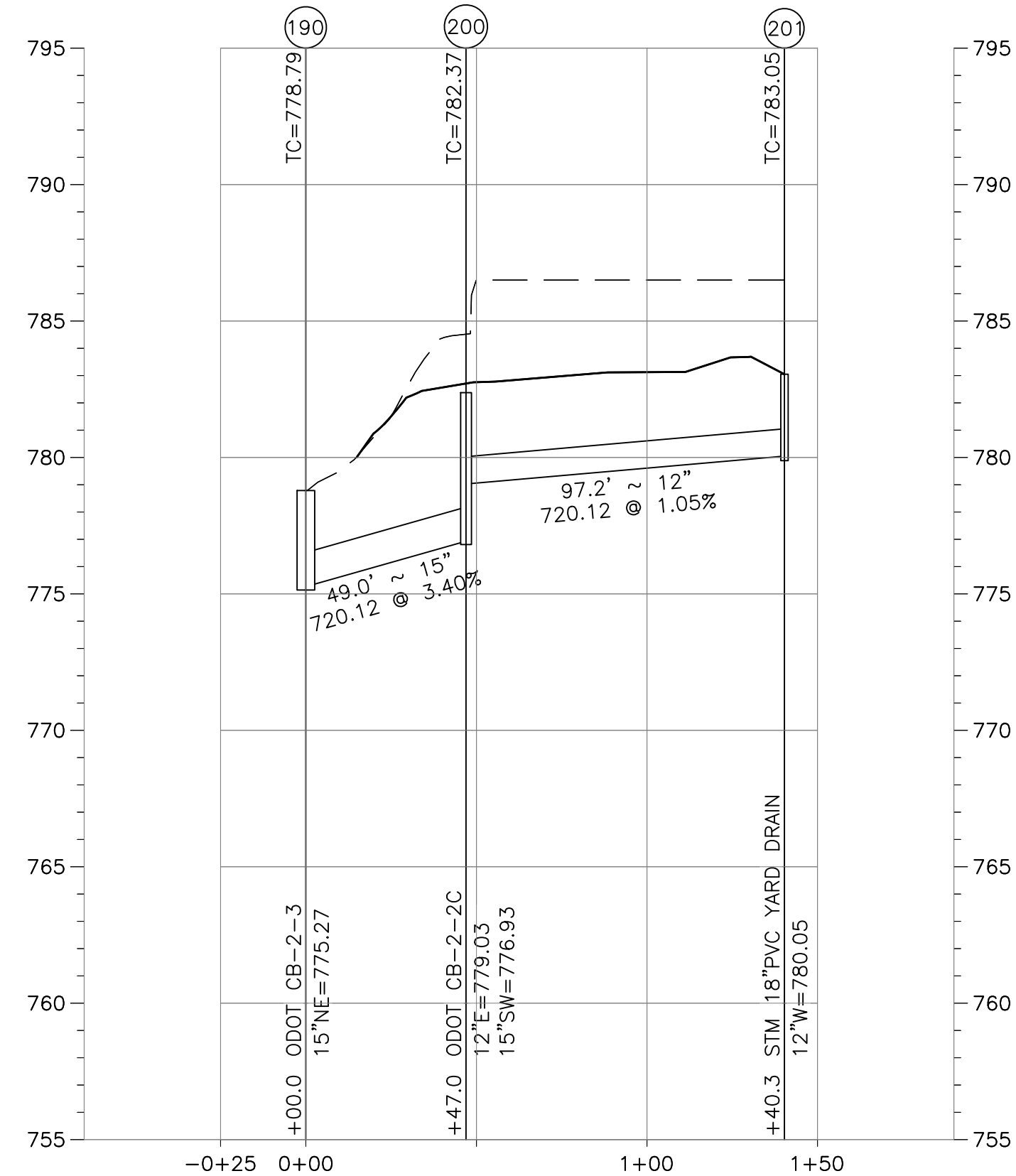
4" WATERLINE
SCALE: H1"=40' V1"=5'



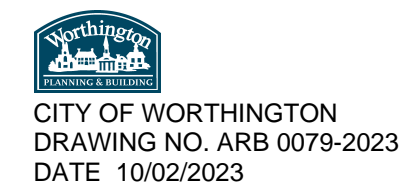
6" WATERLINE
SCALE: H1"=40' V1"=5'



CO TO SANITARY MAIN
SCALE: H1"=40' V1"=5'



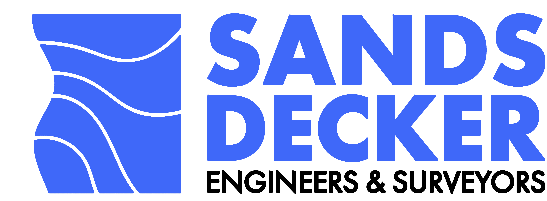
MH 190 TO YD 201
SCALE: H1"=40' V1"=5'



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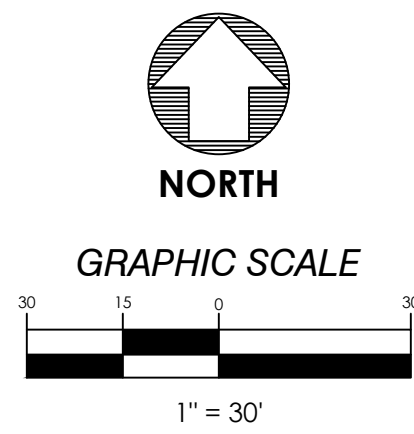
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WORTHINGTON NATATORIUM STORM, SANITARY & WATERLINE PROFILES

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TIMING OF SEDIMENT-TRAPPING PRACTICES: SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL THROUGHOUT ANY SITE DEMOLITION &/OR EARTH-DISTURBING ACTIVITY.

PERIMETER CONTROLS & OTHER PRACTICES INTENDED TO TRAP SEDIMENT SHALL BE IMPLEMENTED WITHIN 7 DAYS FROM THE START OF GRUBBING. THEY SHALL CONTINUE TO FUNCTION UNTIL THE UPSLOPE DEVELOPMENT AREA IS RESTABILIZED.

FOR DISTURBED AREAS THAT WILL LIE DORMANT FOR 1 YEAR OR MORE, PERMANENT EROSION CONTROLS SHALL BE APPLIED WITHIN 7 DAYS OF MOST RECENT DISTURBANCE.

FOR DISTURBED AREAS WITHIN 50 FEET OF A SURFACE WATER OF THE STATE & AT FINAL GRADE, PERMANENT EROSION CONTROLS SHALL BE APPLIED WITHIN 2 DAYS OF REACHING FINAL GRADE.

FOR ANY OTHER DISTURBED AREAS AT FINAL GRADE, PERMANENT EROSION CONTROLS SHALL BE APPLIED WITHIN 7 DAYS OF REACHING FINAL GRADE WITHIN THAT AREA.

FOR DISTURBED AREAS WITHIN 50 FEET OF A SURFACE WATER OF THE STATE & NOT AT FINAL GRADE, TEMPORARY EROSION CONTROLS SHALL BE APPLIED WITHIN 2 DAYS OF THE MOST RECENT DISTURBANCE IF THE AREA WILL REMAIN IDLE FOR MORE THAN 14 DAYS.

FOR ALL CONSTRUCTION ACTIVITIES, ANY DISTURBED AREAS THAT WILL BE DORMANT FOR MORE THAN 14 DAYS BUT LESS THAN 1 YEAR, & NOT WITHIN 50 FEET OF A SURFACE WATER OF THE STATE, TEMPORARY EROSION CONTROLS SHALL BE APPLIED WITHIN 7 DAYS OF THE MOST RECENT DISTURBANCE WITHIN THE AREA. FOR RESIDENTIAL SUBDIVISIONS, DISTURBED AREAS MUST BE STABILIZED AT LEAST 7 DAYS PRIOR TO TRANSFER OF PERMIT COVERAGE FOR THE INDIVIDUAL LOT(S).

FOR DISTURBED AREAS THAT WILL BE LEFT IDLE OVER WINTER, TEMPORARY EROSION CONTROLS SHALL BE APPLIED PRIOR TO ONSET OF WINTER WEATHER.

SEDIMENT CONTROL DEVICES SHALL BE IMPLEMENTED FOR ALL AREAS REMAINING DISTURBED FOR OVER 14 DAYS.

SEDIMENT BARRIERS: SHEET FLOW RUNOFF FROM DENUDED AREAS SHALL BE FILTERED OR DIVERTED TO A SETTLING FACILITY.

SEDIMENT BARRIERS SUCH AS SEDIMENT FENCE OR DIVERSIONS TO SETTLING FACILITIES SHALL PROTECT ADJACENT PROPERTIES & WATER RESOURCES FROM SEDIMENT TRANSPORTED BY SHEET FLOW.

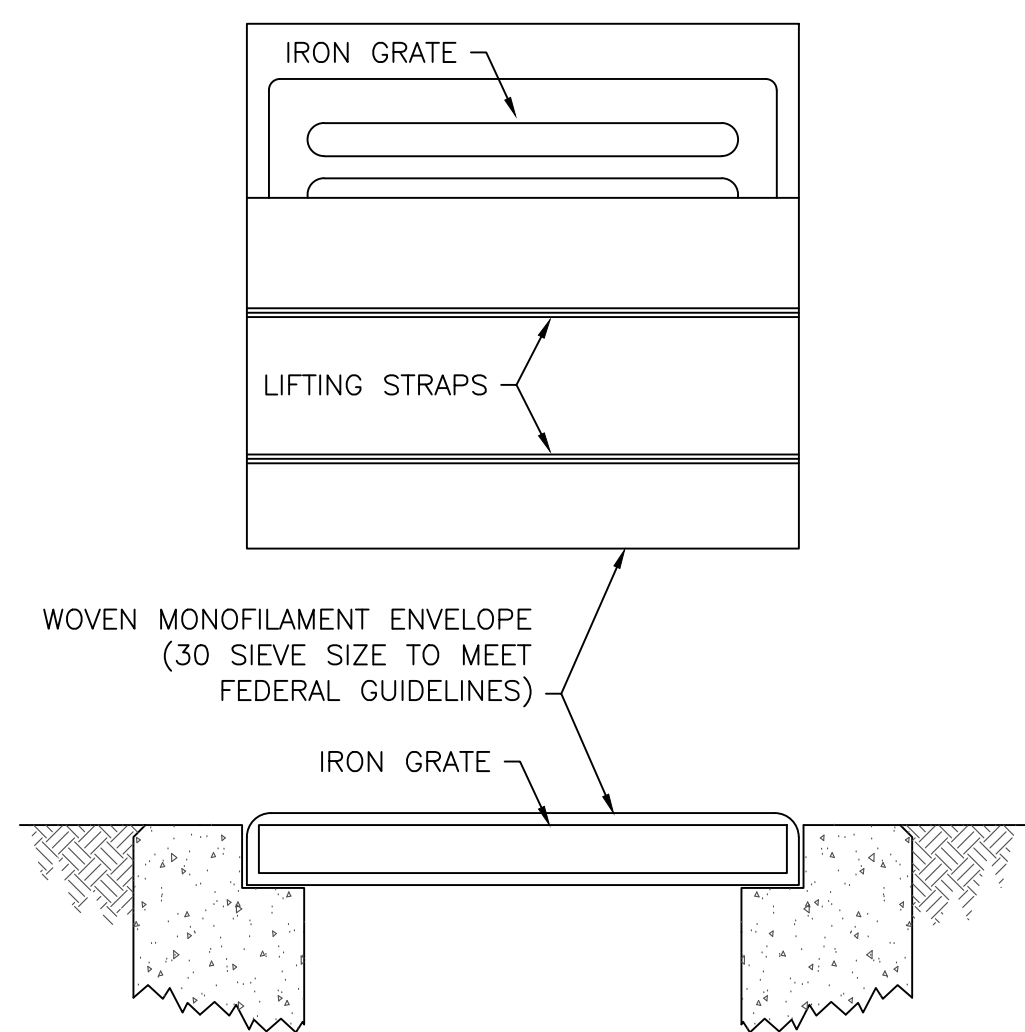
TEMPORARY EROSION CONTROL FEATURES SHALL BE ACCEPTABLY MAINTAINED & SHALL BE REMOVED OR REPLACED WHEN DIRECTED BY THE ENGINEER AT NO COST TO THE OWNER. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS.

ALL CONCENTRATED WATER SOURCES SHALL DISCHARGE INTO A VIALBE SEDIMENT BASIN.

SEDIMENT BASINS SHALL BE CLEANED OUT ANY TIME ACCUMULATED STORAGE REACHES THE SEDIMENT VOLUME ELEVATION AS INDICTED IN THE SEDIMENT BASIN CHART.

ALL WATER SOURCES SHALL DISCHARGE IN A NON-EROSIVE MANNER.

ALL SOIL STOCKPILES SHALL BE PROTECTED FROM EROSION BY PERIMETER CONTROL DEVICES SUCH AS STRAW BALE DIKES OR SILT FENCES. THESE PERIMETER CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.



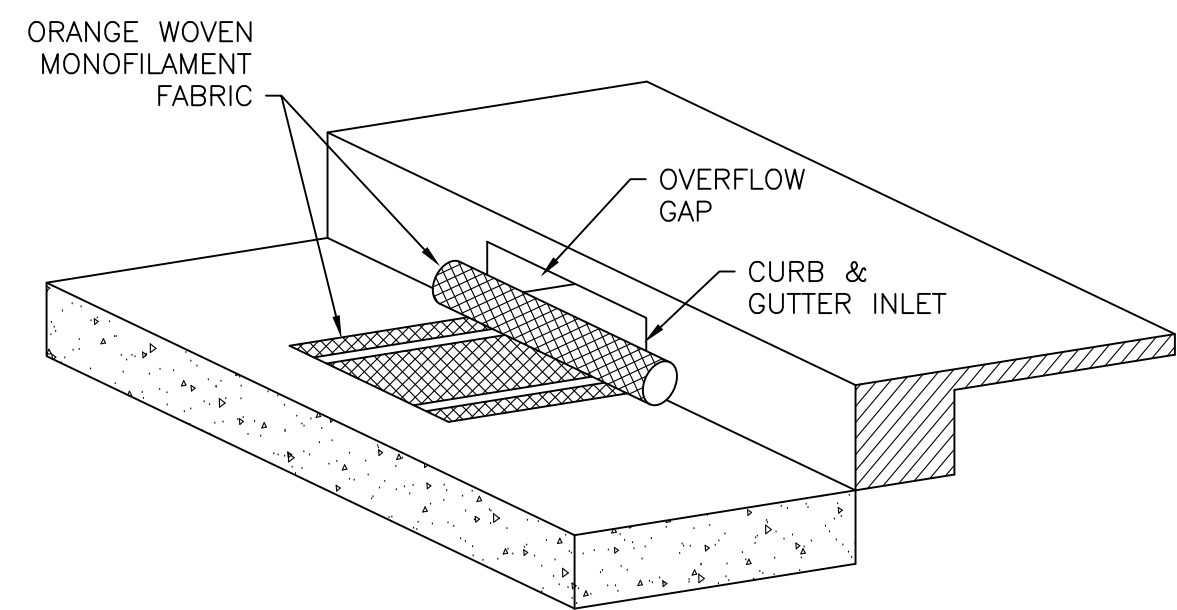
TO INSPECT CATCH BASIN: REMOVE UNIT WITH GRATE INSIDE, INSPECT BASIN AND REPLACE UNIT.

MAINTENANCE: REMOVE DRIED SEDIMENT FROM SURFACE OF UNIT AS NEEDED WITH STIFF BROOM OR SQUARE SHOVEL. REMOVE FINE MATERIAL FROM INSIDE ENVELOPE AS NEEDED.

INLET PROTECTION (PAVEMENT AREAS) 1

INSTALLATION: THE EMPTY INLET PROTECTION UNIT SHOULD BE PLACED OVER THE GRATE AS THE GRATE STANDS ON END. IF USING OPTIONAL OIL ABSORBENTS; PLACE ABSORBENT PILLOW ON POUCH, ON THE BOTTOM (BELOW-GRATE SIDE) OF THE UNIT. ATTACH ABSORBENT PILLOW TO TETHER LOOP. TUCK THE ENCLOSURE FLAP INSIDE TO COMPLETELY ENCLOSE THE GRATE. HOLDING THE LIFTING DEVICES (DO NOT RELY ON LIFTING DEVICES TO SUPPORT THE ENTIRE WEIGHT OF THE GRATE), PLACE THE GRATE INTO ITS FRAME (STREET SIDE FIRST), THEN LOWER BACK EDGE WITH DAM INTO PLACE. THE UNIT SHOULD BE PARTIALLY BLOCKING THE CURB HOOD WHEN INSTALLED PROPERLY.

MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT & DEBRIS FROM SURFACE & VICINITY OF UNIT AFTER EACH STORM EVENT. REMOVE SEDIMENT THAT HAS ACCUMULATED WITHIN THE CONTAINMENT AREA OF THE UNIT AS NEEDED. IF USING OPTIONAL OIL ABSORBENTS, REMOVE & REPLACE ABSORBENT PILLOW WHEN NEAR SATURATION.



INLET PROTECTION (CURB & GUTTER INLETS) 2

PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL GROUND COVER IS ACHIEVED WHICH, IN THE OPINION OF THE ENGINEER, PROVIDES ADEQUATE COVER & IS MATURE ENOUGH TO CONTROL SOIL EROSION SATISFACTORILY & TO SURVIVE ADVERSE WEATHER CONDITIONS.

INSPECTION SCHEDULE: 1. DIVERSION SWALE & STRUCTURAL PROTECTION - INSPECT EVERY 15 DAYS OR AFTER EACH RAINSTORM PRODUCING RUNOFF. REPAIR AS REQUIRED.

2. INLET PROTECTION - INSPECT FOR SEDIMENT ACCUMULATION AFTER EACH RAINFALL & DAILY DURING CONTINUED RAINFALL. REPAIR OR REPLACE WHEN WATER FLOW IS RESTRICTED BY SEDIMENT.

3. VEGETATIVE PLANTING - INSPECT AFTER SPROUTING OCCURS & REPLANT BARE AREAS. INSPECT ESTABLISHED COVER EVERY 15 DAYS FOR DAMAGE. REPLANT AS REQUIRED. MAINTAIN ESTABLISHED COVER AT MAXIMUM 6" HEIGHT. IRRIGATE AS REQUIRED DURING DRY PERIODS TO MAINTAIN LIVE VEGETATION.

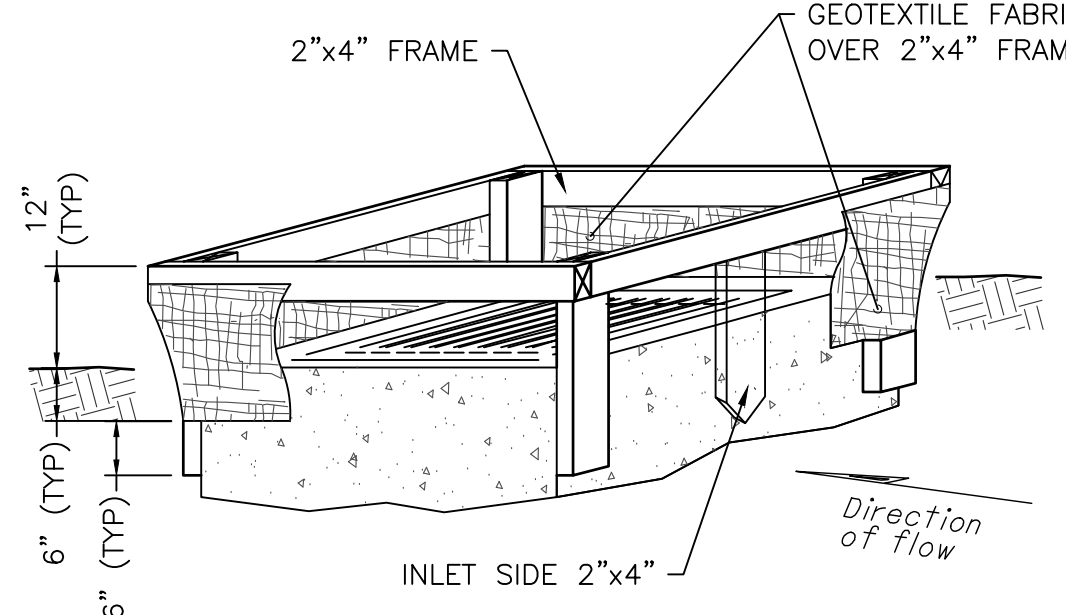
NON-SEDIMENT POLLUTANT CONTROLS: HAZARDOUS/TOXIC WASTES SHALL NOT BE DISPOSED OF ON-SITE OR DUMPED INTO SEWERS, DRAINS OR CATCH BASINS. ANY HAZARDOUS/TOXIC WASTE SHALL BE DISPOSED OF OFF-SITE AT AN APPROVED LOCATION &/OR TAKEN TO AN APPROVED RECYCLING CENTER.

CONSTRUCTION SEQUENCE:

1. THE CONTRACTOR SHALL ESTABLISH A STABILIZED CONSTRUCTION ENTRANCE.
2. THE CONTRACTOR SHALL PLACE THE REQUIRED SEDIMENT FENCE & OTHER CONTROLS PRIOR TO DENUDING.
3. THE CONTRACTOR SHALL PERFORM SITE EARTHWORK OPERATIONS IN ACCORDANCE WITH THE PLAN DETAILS & NOTES.
4. THE CONTRACTOR SHALL APPLY WATER OR DUST PALLIATIVE ON DISTURBED AREAS DURING CONSTRUCTION TO ALLEVIATE OR PREVENT DUST NUISANCE PER ITEM 616. DUST PALLIATIVE SHALL CONSIST OF CALCIUM CHLORIDE MEETING THE REQUIREMENTS OF SECTION 712.02. THE WATER OR CALCIUM CHLORIDE SHALL BE SPREAD UNIFORMLY OVER THE SURFACE OF THE DISTURBED AREAS.
5. EXPOSED SLOPES SHALL BE STABILIZED AS SOON AS THEY ARE CONSTRUCTED.
6. THE CONTRACTOR SHALL PLACE SEEDING & MULCHING AS NECESSARY TO STABILIZE ALL DENUDED AREAS. ALL DENUDED AREAS SHALL HAVE SOIL STABILIZATION, EITHER TEMPORARY OR PERMANENT, ACCORDING TO THE GENERAL PERMIT & THE NOTES ON THIS SHEET.
7. THE CONTRACTOR SHALL REMOVE & DISPOSE OF THE EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE ESTABLISHED VEGETATIVE COVER.
8. AFTER REMOVAL OF EROSION CONTROL DEVICES, THE CONTRACTOR SHALL CLEAN INLETS & STORM PIPES OF ANY/ALL SEDIMENT INCURRED DURING CONSTRUCTION.

THE CONTRACTOR OR HIS/HER AGENT SHALL MAKE REGULAR INSPECTIONS OF ALL CONTROL MEASURES IN ACCORDANCE WITH THE INSPECTION SCHEDULE OUTLINED ON THE APPROVED EROSION & SEDIMENT CONTROL PLAN(S). THE PURPOSE OF SUCH INSPECTIONS WILL BE TO DETERMINE THE OVERALL EFFECTIVENESS OF THE CONTROL PLAN & THE NEED FOR ADDITIONAL CONTROL MEASURES. ALL INSPECTIONS SHALL BE DOCUMENTED IN WRITTEN FORM.

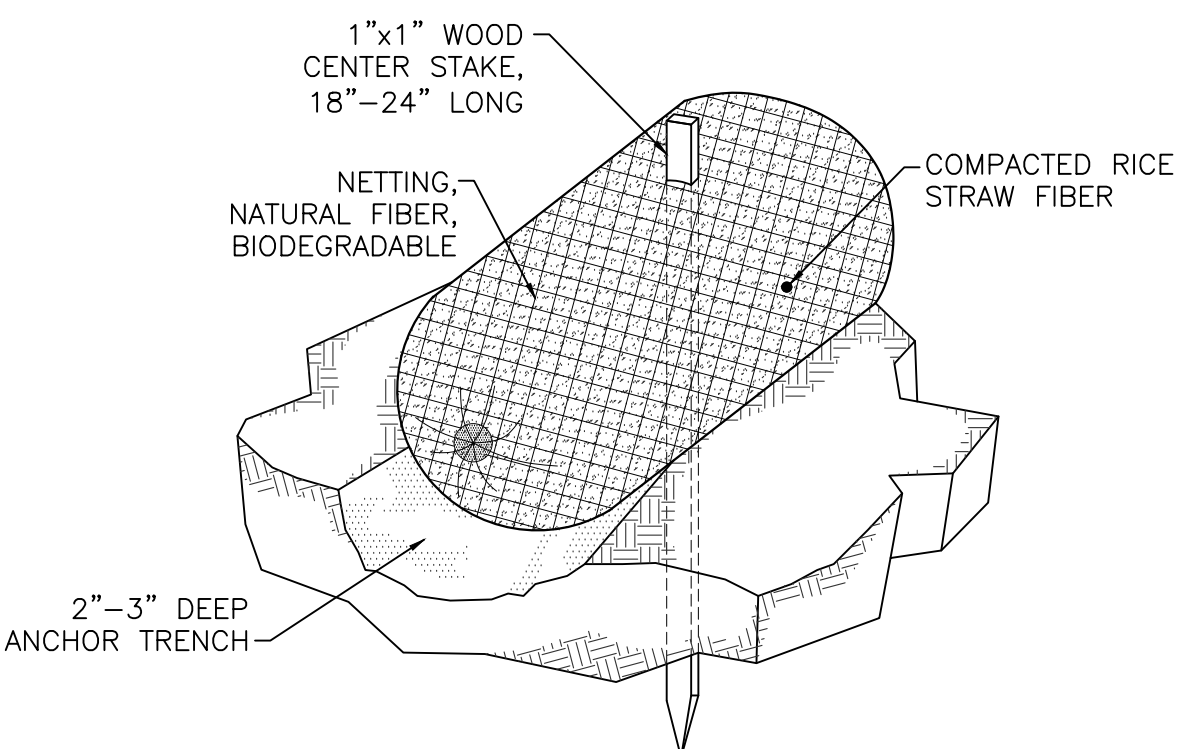
ALL CONSTRUCTION & DEMOLITION DEBRIS WASTE SHALL BE RECYCLED OR DISPOSED OF IN AN OHIO EPA APPROVED CONSTRUCTION & DEMOLITION DEBRIS LANDFILL AS REQUIRED BY OHIO REVISED CODE 3714.



SEE ODOT SCD DM-4.4 FOR ADDITIONAL DETAILS.

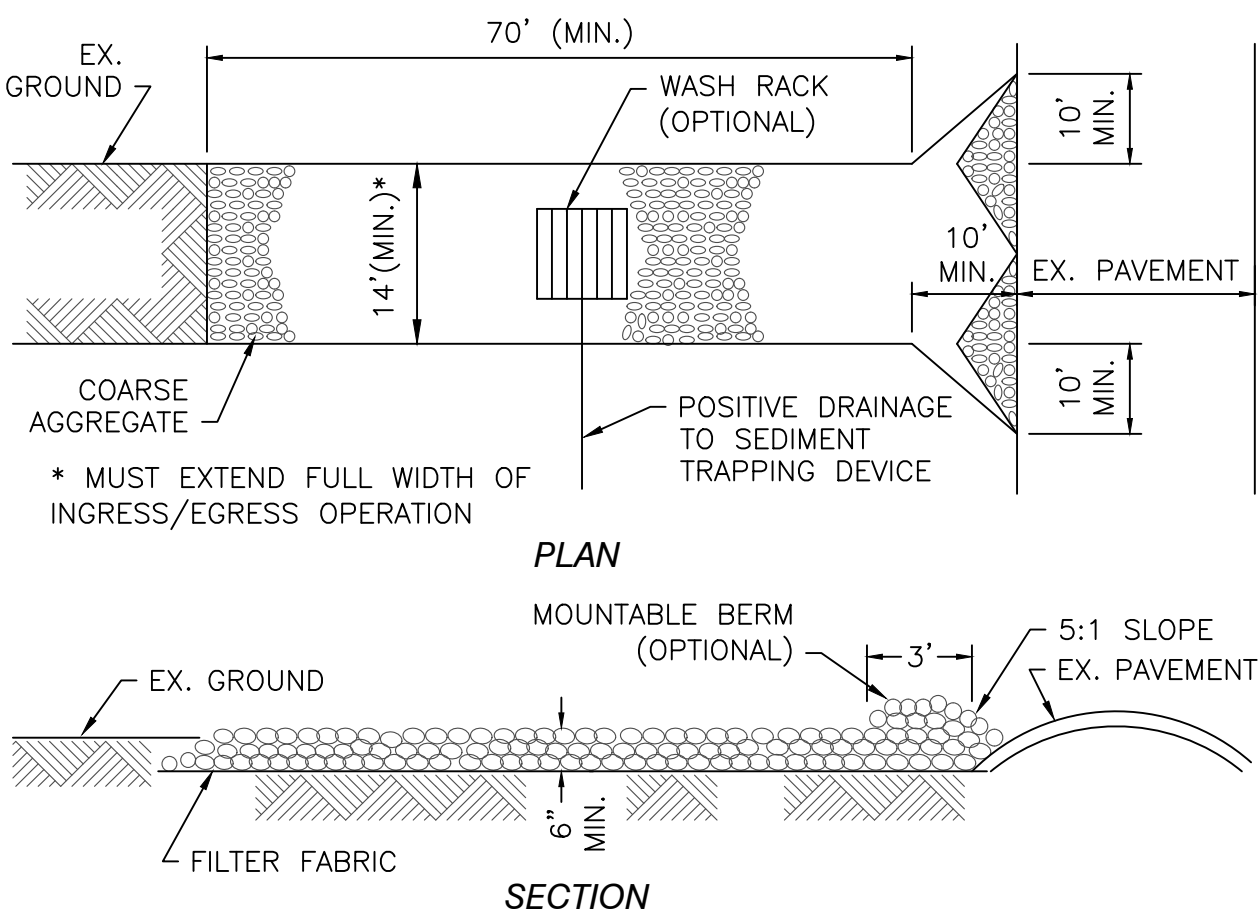
MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT & DEBRIS FROM PANELS, SURFACE & VICINITY OF UNIT AFTER EACH RAIN EVENT. REMOVE SEDIMENT THAT HAS ACCUMULATED WITHIN CONTAINMENT AREA OF UNIT AS NEEDED.

INLET PROTECTION (LAWN AREAS) 3



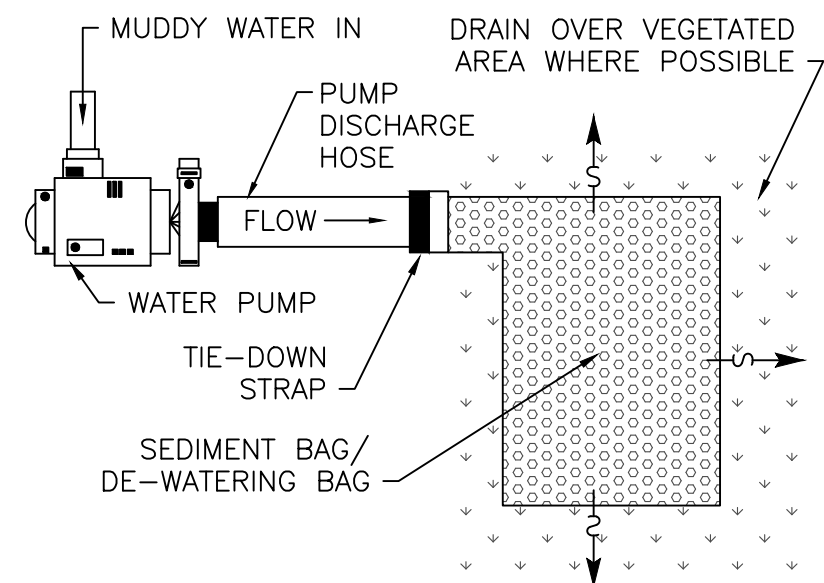
- INSTALLATION:
1. EXCAVATE 2"-3" DEEP x 9" WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UP-SLOPE FROM THE ANCHOR TRENCH.
 2. PLACE WATTLE IN TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM EXCAVATED TRENCH AGAINST THE WATTLE ON THE UPHILL SIDE. ADJACENT WATTLES SHOULD TIGHTLY ABUT.
 3. SECURE WATTLE WITH 18"-24" LONG WOOD STAKES EVERY 3'-4" WITH A STAKE ON EACH END. STAKES SHALL BE DRIVEN THROUGH THE MIDDLE OF WATTLE LEAVING 2"-3" OF STAKE EXPOSED ABOVE WATTLE. STAKES SHALL BE DRIVEN PERPENDICULAR TO SLOPE FACE.

STRAW WATTLE (SEDIMENT FENCE ALTERNATIVE) 4



- CONSTRUCTION SPECIFICATIONS:
1. STONE SIZE - 2" STONE OR RECLAIMED/RECYCLED CONCRETE EQUIVALENT.
 2. LENGTH - 70' MIN (30' FOR INDIVIDUAL LOTS).
 3. THICKNESS - NOT LESS THAN 6".
 4. WIDTH - 14' MIN, BUT NOT LESS THAN FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 5. FILTER CLOTH - ODOT 712.09, TYPE D, TO BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES IS PERMITTED.
 7. MAINTENANCE - ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND & REPAIR &/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
 8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE.
 9. PERIODIC INSPECTION & NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE 5



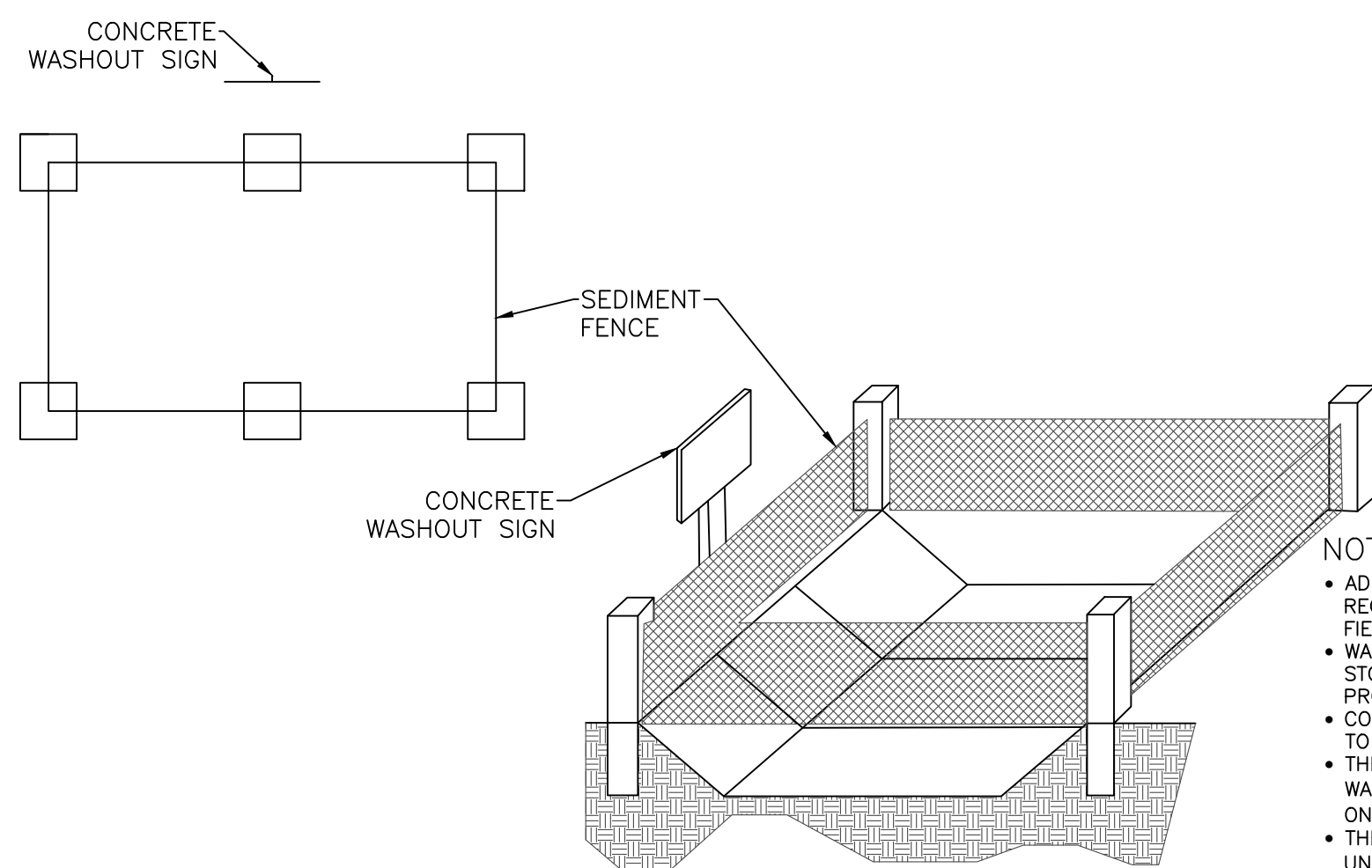
NOTICE

THE PUMPING OR DIRECT DISCHARGE OF SEDIMENT-LADEN (MUDDY) WATER TO THE CITY'S SEWER SYSTEM OR A RECEIVING STREAM IS A VIOLATION OF OHIO EPA AND CITY REGULATIONS.

ALL INLETS RECEIVING FLOW FROM RUNOFF, PUMPING ACTIVITIES, OR OTHER DIRECT DISCHARGE SHALL BE FITTED WITH AN INLET PROTECTION DEVICE THAT IS PROPERLY SIZED AND SECURED TO REDUCE THE DISCHARGE OF SEDIMENT INTO THE STORM SEWER SYSTEM AND RECEIVING STREAM. INLET PROTECTION IS REQUIRED ON ALL INLETS RECEIVING DISCHARGE REGARDLESS OF WHETHER OR NOT THE INLET IS TRIBUTARY TO ANY DOWNSTREAM EROSION AND SEDIMENT CONTROLS.

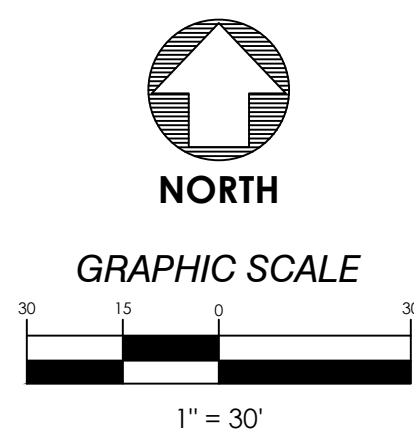
DISCHARGE HOSES USED DURING PUMPING ACTIVITIES SHALL BE FITTED WITH SEDIMENT BAGS THAT ARE PROPERLY SIZED PER MANUFACTURER'S RECOMMENDATIONS REGARDLESS OF WHAT OTHER SEDIMENT CONTROLS ARE IN PLACE FURTHER DOWNSTREAM. SEDIMENT BAGS MUST BE PROPERLY SECURED TO THE DISCHARGE HOSE AND PLACED OVER VEGETATED AREAS, WHERE FEASIBLE, DURING DISCHARGE. SEE DETAIL BELOW OF A TYPICAL SEDIMENT BAG INSTALLATION.

SUGGESTED DISCHARGE SET-UP FOR PUMPING MUDDY WATER 6



- NOTES:
- ADDITIONAL WASHOUT LOCATION(S) MAYBE BE REQUIRED AND SHALL BE DETERMINED IN THE FIELD.
 - WASHOUT LOCATIONS SHALL BE AWAY FROM STORMWATER SURFACE DRAINAGE PATHS AND PROTECTED FROM POTENTIAL DAMAGE.
 - CONTRACTOR SHALL PROVIDE ADEQUATE SIGNAGE TO IDENTIFY WASHOUT AREA.
 - THE EXACT LOCATION OF THE CONCRETE WASHOUT(S) MAY BE FIELD LOCATED BY THE ON-SITE PROJECT ENGINEER/CONTACT.
 - THE USE OF PORTABLE CONCRETE WASHOUT UNITS ARE APPROVED (AND ENCOURAGED) FOR ALL CONSTRUCTION AREAS.

CONCRETE WASHOUT AREA 7

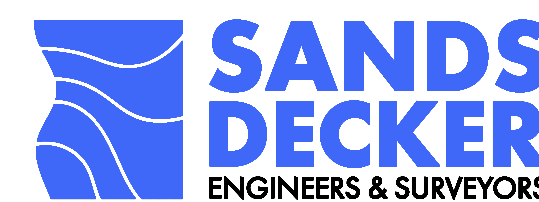


NOT FOR CONSTRUCTION

WORTHINGTON NATATORIUM STORM WATER POLLUTION PREVENTION PLAN, NOTES & DETAILS

Thomas Worthington High School Natatorium
400 West Dublin Granville Road
Worthington, OH 43085

PREPARED FOR:
Worthington Schools
200 East Wilson Bridge Road
Worthington, Ohio 43085



OFFICES

1495 Old Henderson Road
Columbus, Ohio 43220
614-459-6992

422 North Broad Street
Lancaster, Ohio 43130
740-385-2140

507 Main Street
Zanesville, Ohio 43701
740-450-1640

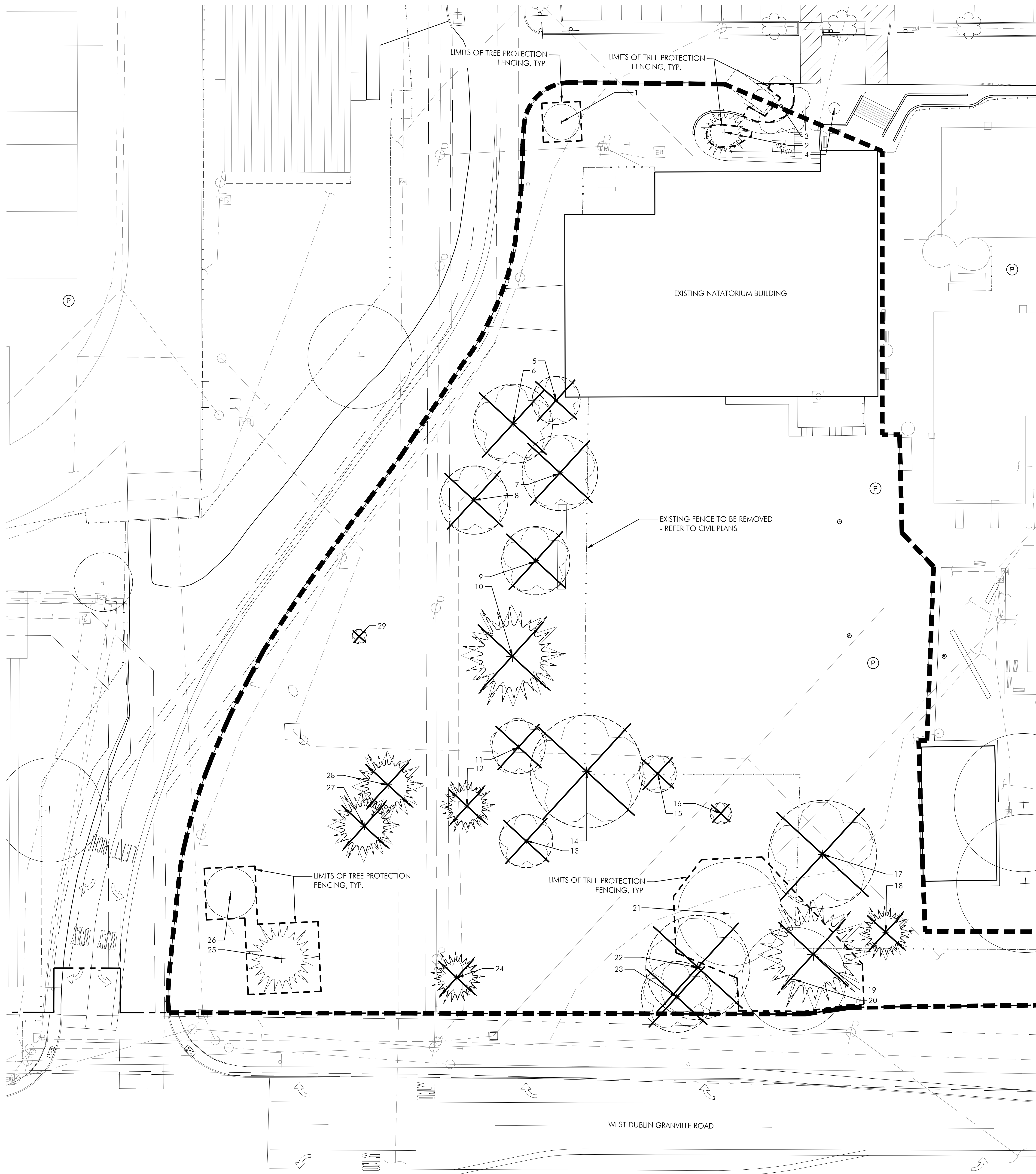


CITY OF WORTHINGTON
DRAWING NO. ARB 0079-2023
DATE 10/02/2023

These drawings are instruments of professional service by Sands Decker CPS, LLC for the designated project. Sands Decker CPS, LLC assumes no liability for unauthorized use of these drawings, specifications, and documents.
SD PROJECT NO. 4424

C6.01

SIGNED 09/22/23
DATE



Tree Removal And Preservation Plan
SCALE: 1" = 20'-0"

TREE REMOVAL LIST

ID #	DBH	SPECIES	CONDITION	PRESERVE/REMOVE
1	1'-5"	SWEETGUM	GOOD	PRESERVE
2	0'-11"	BALD CYPRESS	GOOD	PRESERVE
3	0'-10", 0'-9", 1'-1"	RIVER BIRCH	GOOD, MULTI-STEM	PRESERVE
4	0'-5"	WEeping BEECH	FAIR	PRESERVE
5	0'-6"	WHITE ASH	POOR	REMOVE
6	1'-4"	LINDEN	GOOD	REMOVE
7	0'-9", 1'-2", 0'-9"	REDBUD	POOR, MULTI-STEM	REMOVE
8	0'-10"	CRABAPPLE	POOR	REMOVE
9	1'-4"	FREEMAN MAPLE	GOOD	REMOVE
10	2'-2"	SCOTS PINE	GOOD	REMOVE
11	1'-2"	SILVER MAPLE	GOOD	REMOVE
12	1'-1"	RED PINE	POOR	REMOVE
13	1'-1"	RED OAK	GOOD	REMOVE
14	3'-1"	BOX ELDER	POOR	REMOVE
15	CLUMP	MULBERRY	POOR	REMOVE
16	0'-6"	MAGNOLIA	POOR	REMOVE
17	1'-10"	WHITE MULBERRY	POOR	REMOVE
18	1'-8"	PINE	POOR	REMOVE
19	2'-3"	PINE	FAIR	REMOVE
20	1'-11"	HACKBERRY	GOOD	PRESERVE
21	1'-9"	WHITE MULBERRY	FAIR	TBD
22	1'-3", 1'-3"	WHITE MULBERRY	POOR, MULTI-STEM	REMOVE
23	1'-5", 1'-5"	BOX ELDER	POOR, MULTI-STEM	REMOVE
24	1'-6"	NORWAY SPRUCE	POOR	REMOVE
25	1'-10"	NORWAY SPRUCE	GOOD	PRESERVE
26	1'-3"	GINKO	GOOD	PRESERVE
27	1'-10"	RED PINE	FAIR	REMOVE
28	1'-7"	RED PINE	FAIR	REMOVE
29	0'-4"	RED MAPLE	GOOD	REMOVE

NOTE:
FINAL TREE HEALTH, SPECIES, AND OVERALL CONDITION TO BE FURTHER EVALUATED BY
CERTIFIED ARBORIST.

TREE REMOVAL & REPLACEMENT CALCULATIONS

21 TREES TO BE REMOVED
(385 TOTAL CALIPER INCHES)

±12 TREES TO BE REMOVED DUE TO POOR, DEAD, INVASIVE, OR EXEMPT
(228 TOTAL CALIPER INCHES)

±9 TREES TO BE REMOVED ARE IN FAIR TO GOOD CONDITION.
(157 TOTAL CALIPER INCHES)

TOTAL TREES PROPOSED: 19
TOTAL CALIPER INCHES PROPOSED: ±48 (ASSUMES AVERAGE OF 2.5' CALIPER INCHES PER TREE)

TREE PRESERVATION, REMOVAL, & REPLACEMENT NOTES

- ALL TREES IN THE CONSTRUCTION AREA NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PRESERVED. ALL TREE REMOVAL AND PRESERVATION WORK SHALL BE SUPERVISED WITH THE INPUT OF A CERTIFIED ARBORIST.
- FENCING SHALL BE INSTALLED AROUND ALL TREES TO BE PRESERVED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE FENCING MUST REMAIN IN PLACE DURING ALL PHASES OF CONSTRUCTION. ANY CHANGES IN THE PROTECTIVE FENCING MUST BE APPROVED BY THE LANDSCAPE ARCHITECT & ARBORIST. CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION, ERECTION, AND MAINTENANCE OF PROTECTION FENCING; REFER TO TREE PRESERVATION DETAIL.
- PRESERVED TREES REMAINING ARE TO BE FERTILIZED AND PRUNED (IF NEEDED) TWO YEARS AFTER CONSTRUCTION.
- CONTRACTOR SHALL MONITOR HEALTH AND VIGOR OF EXISTING TREES THROUGHOUT THE COURSE OF CONSTRUCTION OF THIS PROJECT. CONTRACTOR TO NOTIFY A CERTIFIED ARBORIST IF ANY DECLINE IN HEALTHY TREES IS APPARENT. THE ARBORIST SHALL DETERMINE THE REMEDIAL ACTION, IF ANY, TO BE TAKEN.
- ALL EXISTING TREES NOTED AS FAIR TO POOR HEALTH SHALL BE FERTILIZED YEARLY IN THE SPRING USING A HORTICULTURALLY APPROVED METHOD FOR A PERIOD OF THREE YEARS. AFTER THREE YEARS, THE HEALTH OF THE TREE SHOULD BE EVALUATED BY A CERTIFIED ARBORIST AND CONTINUING MAINTENANCE RECOMMENDATIONS SHALL BE MADE.
- ANY TREES REMOVED OR DAMAGED IN TREE PRESERVATION WILL HAVE TO BE REPLACED PER CODE.
- FAILURE TO ABIDE BY THESE TERMS OF THE TREE PRESERVATION, REMOVAL, AND REPLACEMENT SHALL BE UNLAWFUL.

LEGEND

- LIMITS OF WORK
- PROPERTY LINE
- EXISTING TREE TO REMAIN AND BE PROTECTED WITH HIGH VISIBILITY MEDIUM WEIGHT CONSTRUCTION BARRIER FENCING, SEE DETAIL 3, SHEET SD1.0
- EXISTING TREE TO REMAIN AND BE PROTECTED IN PLACE (TREE PROTECTION FENCING NOT REQUIRED)
- EXISTING TREE AND STUMP TO BE REMOVED

Tree Removal And Preservation Plan

Worthington Natatorium

400 West Dublin Granville Road
Worthington, OH 43085

PREPARED FOR:
Worthington Schools
200 East Wilson Bridge Road
Worthington, Ohio 43085

PREPARED BY:

POD design

Columbus
100 Northwoods Blvd, Ste A
Columbus, Ohio 43235
p 614.255.3399

PODdesign.net

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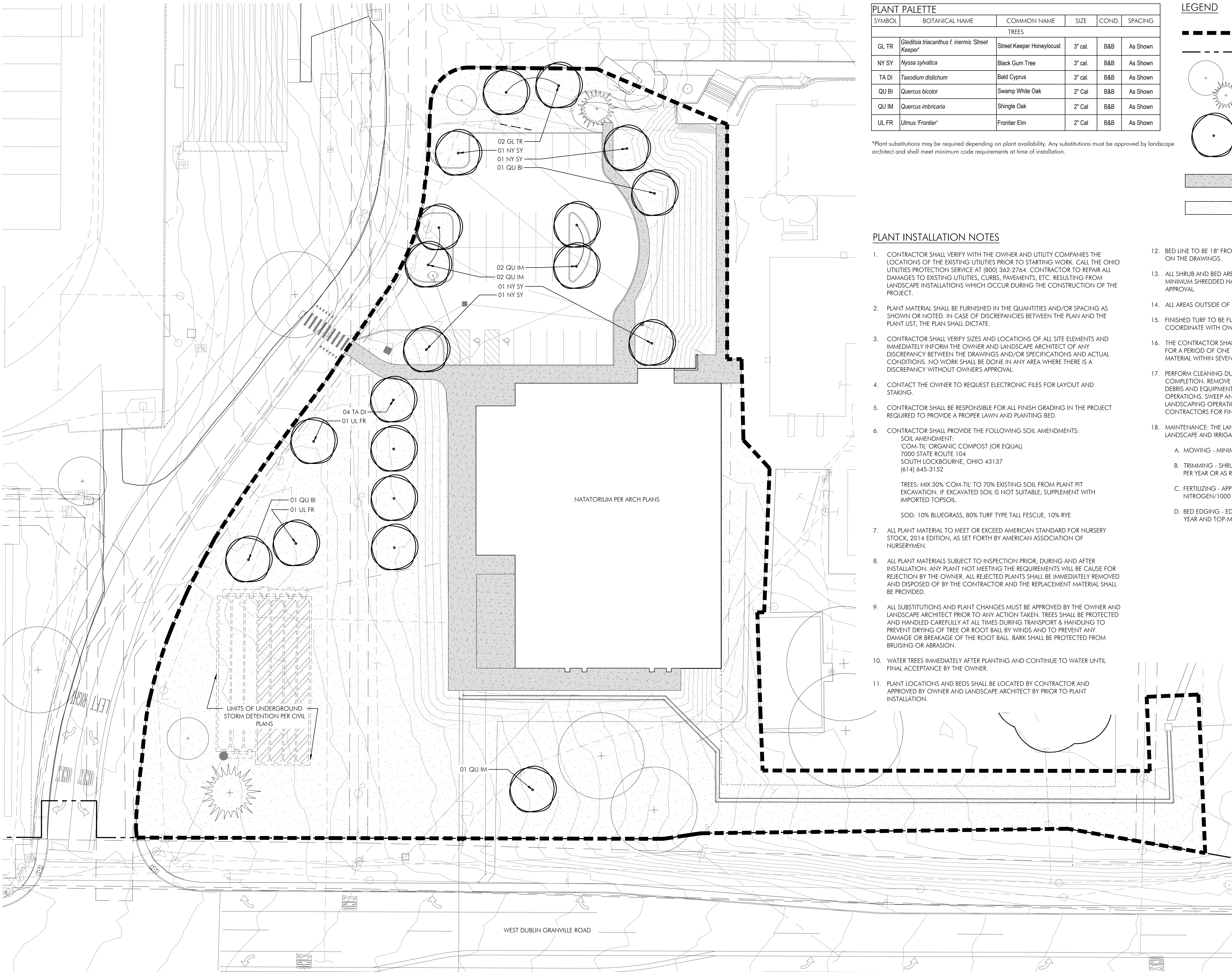
DESIGN DEVELOPMENT 9/22/2023

COMM. NO.: 2214

L1.0

SIGNED DATE

CITY OF WORTHINGTON
DRAWING NO. ARB 0079-2023
DATE 10/02/2023



PLANT PALETTE					
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	COND.	SPACING
TREES					
GL TR	<i>Gleditsia triacanthus f. inermis</i> 'Street Keeper'	Street Keeper Honeylocust	3" cal.	B&B	As Shown
NY SY	<i>Nyssa sylvatica</i>	Black Gum Tree	3" cal.	B&B	As Shown
TA DI	<i>Taxodium distichum</i>	Bald Cypress	3" cal.	B&B	As Shown
QU BI	<i>Quercus bicolor</i>	Swamp White Oak	2" Cal	B&B	As Shown
QU IM	<i>Quercus imbricaria</i>	Shingle Oak	2" Cal	B&B	As Shown
UL FR	<i>Ulmus 'Frontier'</i>	Frontier Elm	2" Cal	B&B	As Shown

*Plant substitutions may be required depending on plant availability. Any substitutions must be approved by landscape architect and shall meet minimum code requirements at time of installation.

LEGEND

LIMITS OF WORK

PROPERTY LINE

EXISTING TREE TO REMAIN
AND BE PROTECTED IN PLACE
SEE SHEET L1.0

PROPOSED DECIDUOUS TREE

CONCRETE PAVING PER CIVIL PLANS

SOD

PLANT INSTALLATION NOTES

- CONTRACTOR SHALL VERIFY WITH THE OWNER AND UTILITY COMPANIES THE LOCATIONS OF THE EXISTING UTILITIES PRIOR TO STARTING WORK. CALL THE OHIO UTILITIES PROTECTION SERVICE AT (800) 362-2764. CONTRACTOR TO REPAIR ALL DAMAGES TO EXISTING UTILITIES, CURBS, PAVEMENTS, ETC. RESULTING FROM LANDSCAPE INSTALLATIONS WHICH OCCUR DURING THE CONSTRUCTION OF THE PROJECT.
- PLANT MATERIAL SHALL BE FURNISHED IN THE QUANTITIES AND/OR SPACING AS SHOWN OR NOTED. IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.
- CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL SITE ELEMENTS AND IMMEDIATELY INFORM THE OWNER AND LANDSCAPE ARCHITECT OF ANY DISCREPANCY BETWEEN THE DRAWINGS AND/OR SPECIFICATIONS AND ACTUAL CONDITIONS. NO WORK SHALL BE DONE IN ANY AREA WHERE THERE IS A DISCREPANCY WITHOUT OWNER'S APPROVAL.
- CONTACT THE OWNER TO REQUEST ELECTRONIC FILES FOR LAYOUT AND STAKING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINISH GRADING IN THE PROJECT REQUIRED TO PROVIDE A PROPER LAWN AND PLANTING BED.
- CONTRACTOR SHALL PROVIDE THE FOLLOWING SOIL AMENDMENTS:
SOIL AMENDMENT:
'COM-TIL' ORGANIC COMPOST (OR EQUAL)
7000 STATE ROUTE 104
SOUTH LOCKBOURNE, OHIO 43137
(614) 645-3152

TREES: MIX 30% 'COM-TIL' TO 70% EXISTING SOIL FROM PLANT PIT EXCAVATION. IF EXCAVATED SOIL IS NOT SUITABLE, SUPPLEMENT WITH IMPORTED TOPSOIL.

SOD: 10% BLUEGRASS, 80% TURF TYPE TALL FESCUE, 10% RYE
- ALL PLANT MATERIAL TO MEET OR EXCEED AMERICAN STANDARD FOR NURSERY STOCK, 2014 EDITION, AS SET FORTH BY AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIALS SUBJECT TO INSPECTION PRIOR, DURING AND AFTER INSTALLATION. ANY PLANT NOT MEETING THE REQUIREMENTS WILL BE CAUSE FOR REJECTION BY THE OWNER. ALL REJECTED PLANTS SHALL BE IMMEDIATELY REMOVED AND DISPOSED OF BY THE CONTRACTOR AND THE REPLACEMENT MATERIAL SHALL BE PROVIDED.
- ALL SUBSTITUTIONS AND PLANT CHANGES MUST BE APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT PRIOR TO ANY ACTION TAKEN. TREES SHALL BE PROTECTED AND HANDLED CAREFULLY AT ALL TIMES DURING TRANSPORT & HANDLING TO PREVENT DRYING OF TREE OR ROOT BALL BY WINDS AND TO PREVENT ANY DAMAGE OR BREAKAGE OF THE ROOT BALL. BARK SHALL BE PROTECTED FROM BRUISING OR ABRASION.
- WATER TREES IMMEDIATELY AFTER PLANTING AND CONTINUE TO WATER UNTIL FINAL ACCEPTANCE BY THE OWNER.
- PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY OWNER AND LANDSCAPE ARCHITECT BY PRIOR TO PLANT INSTALLATION.
- BED LINE TO BE 18" FROM BASE OF PLANT MATERIAL UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- ALL SHRUB AND BED AREAS TO BE MULCHED WITH TWO INCHES (2") DEPTH MINIMUM SHREDDED HARDWOOD MULCH. SUBMIT SAMPLE TO OWNER FOR APPROVAL.
- ALL AREAS OUTSIDE OF PLANTING BEDS SHALL BE SEEDED AS SHOWN AND NOTED.
- FINISHED TURF TO BE FLUSH WITH TOP OF ADJACENT CURB OR WALK. COORDINATE WITH OWNER IN FIELD AS REQUIRED.
- THE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS AND GROUND COVERS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE. REPLACE MATERIAL WITHIN SEVEN (7) DAYS OF NOTIFICATION OF THE OWNER.
- PERFORM CLEANING DURING INSTALLATION OF LANDSCAPE WORK AND UPON COMPLETION. REMOVE FROM SITE ALL EXCESS LANDSCAPE RELATED MATERIAL, SOIL DEBRIS AND EQUIPMENT. REPAIR DAMAGE RESULTING FROM LANDSCAPING OPERATIONS. SWEEP AND HOSE DOWN PAVED SURFACES AFFECTED BY LANDSCAPING OPERATIONS. COORDINATE WITH OWNER AND OTHER CONTRACTORS FOR FINAL CLEANUP PRIOR TO CLEANING.
- MAINTENANCE: THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE COMPLETED LANDSCAPE AND IRRIGATION SYSTEMS UNTIL THE DATE OF FINAL ACCEPTANCE.
 - MOWING - MINIMUM ONCE PER WEEK.
 - TRIMMING - SHRUBS, TREES, AND GROUND COVERS MINIMUM TWO TIMES PER YEAR OR AS REQUIRED.
 - FERTILIZING - APPLY FERTILIZER AT A RATE EQUAL TO 1 LB. OF ACTUAL NITROGEN/1000 S.F. IN THE SPRING AND FALL TO ALL TURF AND PLANTINGS.
 - BED EDGING - EDGE ALL BEDS BY HAND, SPADE AT LEAST TWO TIMES PER YEAR AND TOP-MULCH WITH DRESS WOOD MULCH IN FALL AND SPRING.

Site Planting Plan

Worthington Natatorium

400 West Dublin Granville Road
Worthington, OH 43085

PREPARED FOR:

Worthington Schools
200 East Wilson Bridge Road
Worthington, Ohio 43085

PREPARED BY:

Columbus
100 Northwoods Blvd, Ste A
Columbus, Ohio 43235
p 614.255.3399

PODdesign.net

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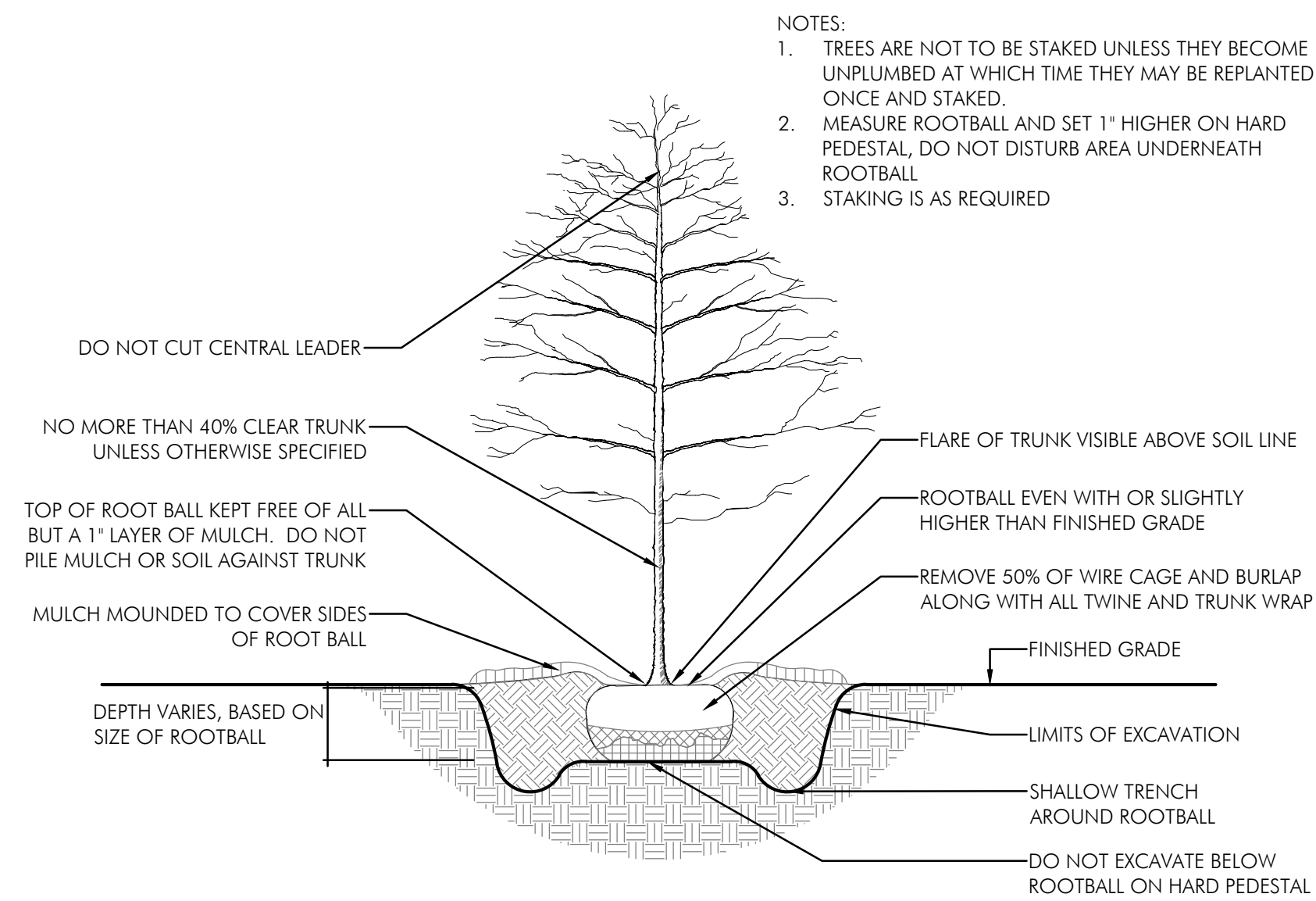
DESIGN DEVELOPMENT	9/22/2023
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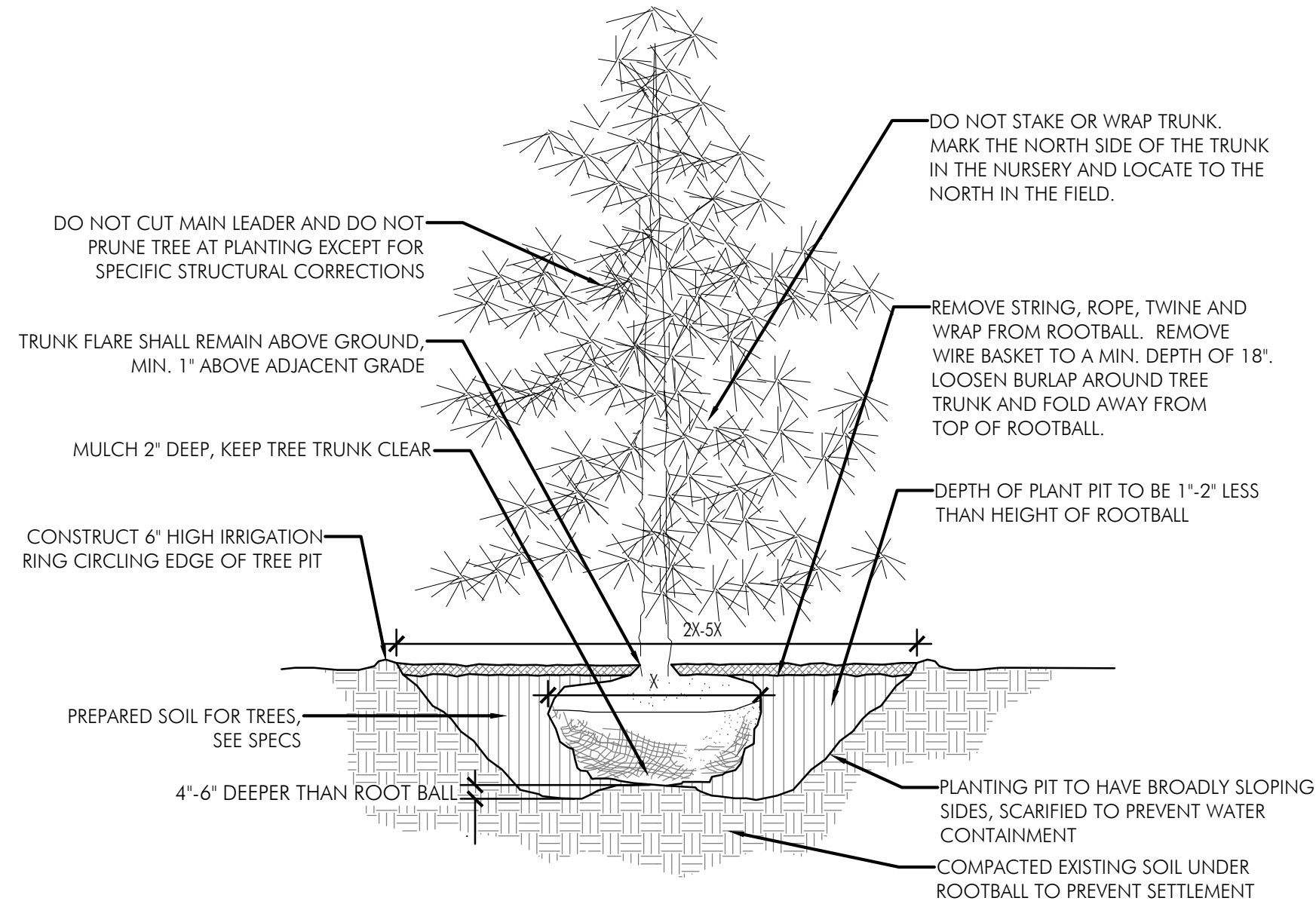
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SIGNED _____ DATE _____

1 Tree Planting
N.T.S.



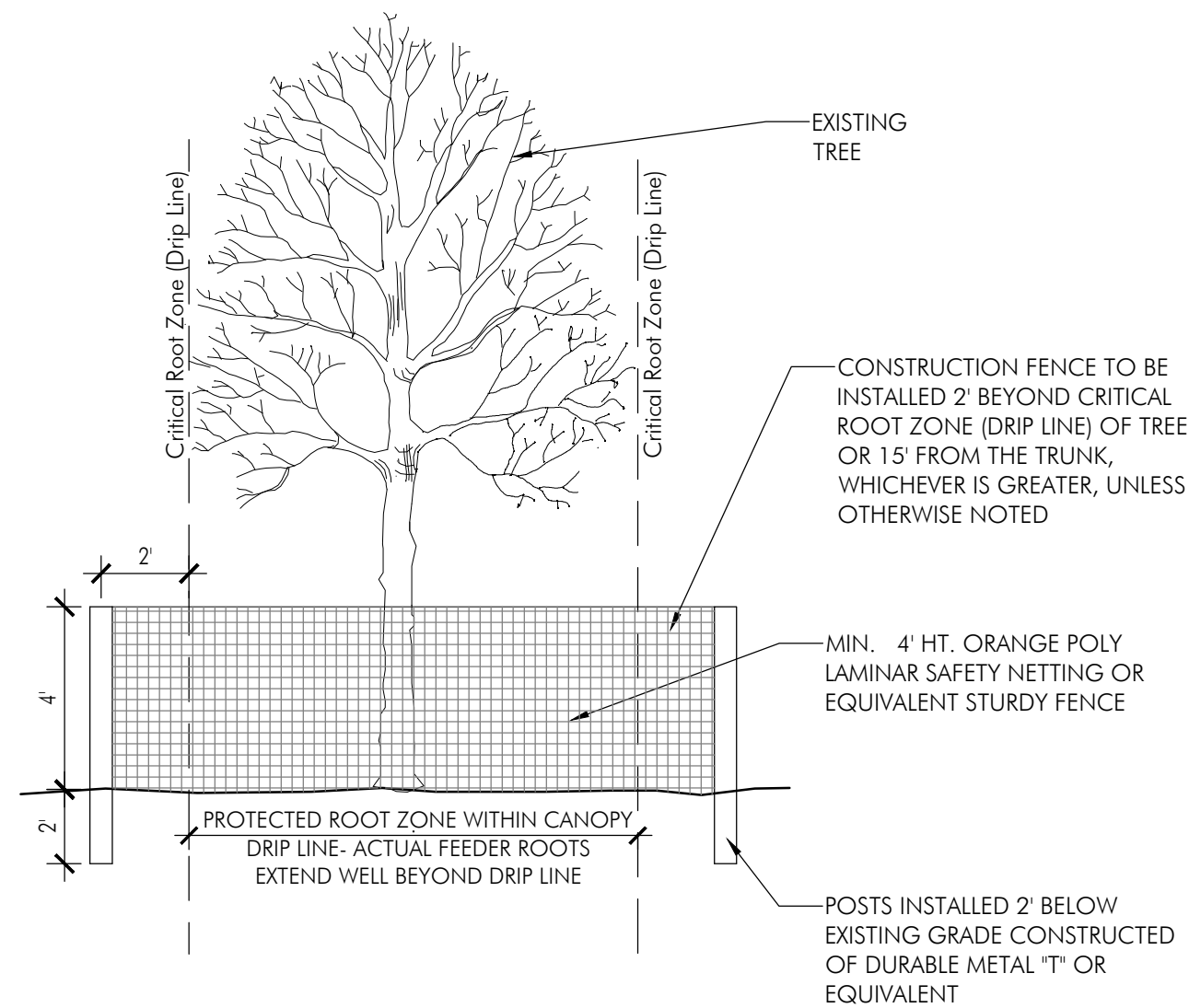
2 Evergreen Tree Planting
1"=1'-0"



3 Tree Protection
N.T.S.

NOTES: (REFER TO SPECIFICATIONS)

1. FENCING TO BE INSTALLED PRIOR TO CONSTRUCTION.
2. NO CONSTRUCTION SHALL OCCUR WITHIN FENCE LIMITS. WHEELED MACHINERY, STORED MATERIALS OR EQUIPMENT ARE NOT PERMITTED WITHIN PROTECTION ZONE.
3. AERATION OF ROOTS VIA SOIL INJECTION OF FERTILIZER TO BE PERFORMED PRIOR TO AND AFTER CONSTRUCTION.
4. CONTRACTOR SHALL PREVENT ANY TREE ROOT COMPACTION AND DAMAGE. REQUIRED EXCAVATION BY HAND, AIR SPADE OR TUNNELING BELOW ROOTS. DO NOT REMOVE ROOTS OVER 1" DIAMETER OR BRANCHES WITHOUT CONTACTING BOTH THE OWNER (WESTERVILLE PARKS DEPARTMENT) AND DESIGN CONSULTANT.



Site Details

Worthington Natatorium

400 West Dublin Granville Road
Worthington, OH 43085

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200 East Wilson Bridge Road
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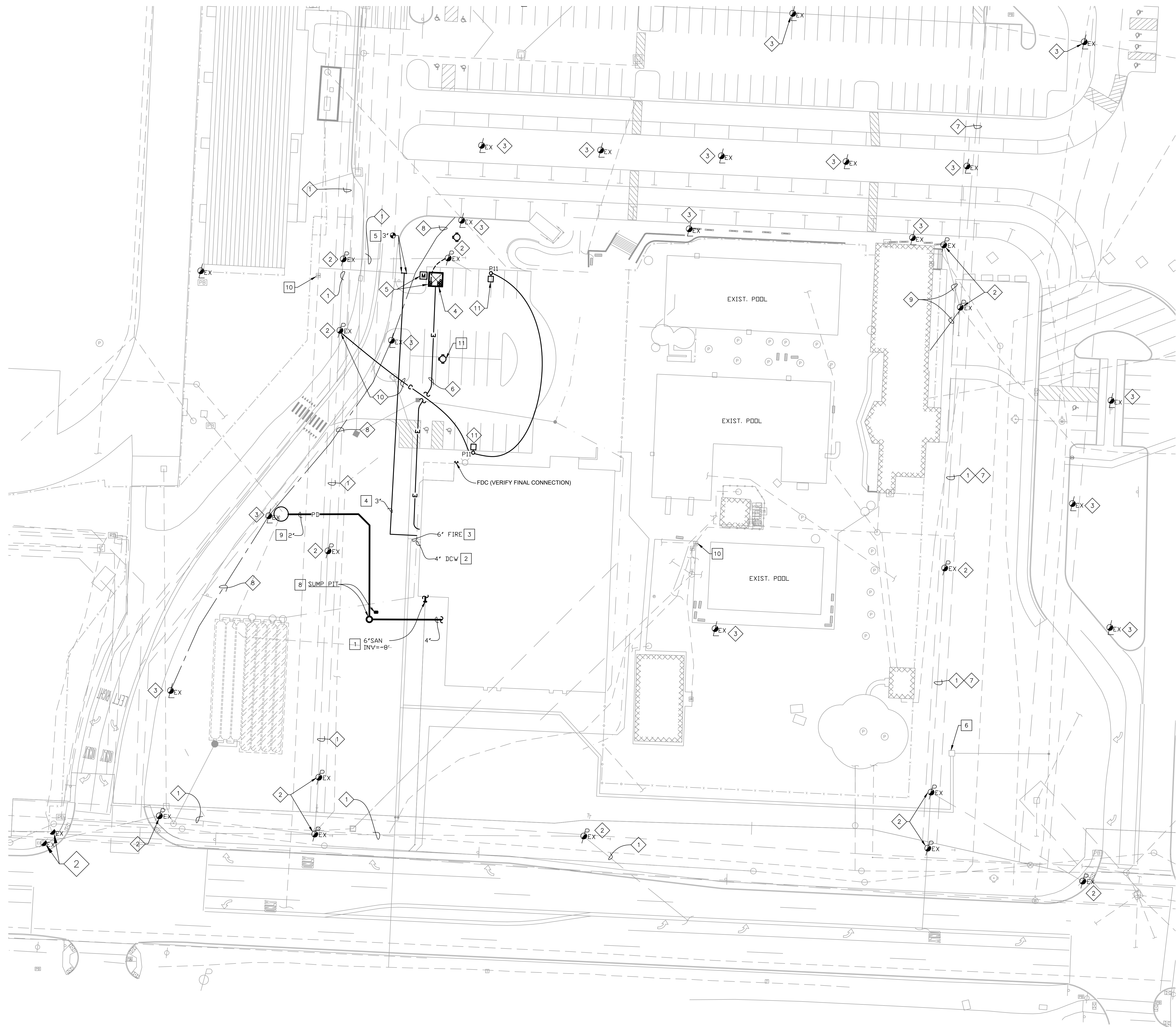
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DESIGN DEVELOPMENT	9/22/2023
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COMM. NO.: 2214

SD1.0

SIGNED _____ DATE _____



- ELECTRICAL CODED NOTES - SHEET SU1.0**
- EXISTING OVERHEAD THREE PHASE PRIMARY ELECTRIC TO REMAIN.
 - EXISTING UTILITY POLE TO REMAIN.
 - EXISTING POLE-MOUNTED LIGHT TO REMAIN.
 - PROVIDE 10'-0" x 10'-0" CONCRETE PAD FOR POWER CO. TRANSFORMER PER POWER CO. REQUIREMENTS. CTS SHALL BE LOCATED WITHIN TRANSFORMER.
 - PROVIDE POWER CO. METER BASE ON PIPE STANCHION PER POWER CO. REQUIREMENTS.
 - PROVIDE 3 SETS (4-#600MCM, 4" C) AND (1) 4" SPARE CONDUIT ENCASED IN 3" CONCRETE ENVELOPE. REFER TO POWER FIRST FLOOR PLAN ON SHEET E1.21 FOR CONTINUATION.
 - EXISTING OVERHEAD COMMUNICATIONS CABLE TO REMAIN.
 - EXISTING UNDERGROUND SITE LIGHTING WIRING TO REMAIN.
 - EXISTING OVERHEAD SECONDARY ELECTRIC SERVICE TO REMAIN.
 - PROVIDE (1) 4" PVC CONDUIT WITH 4" 3-CELL FABRIC INNERDUCT FOR COMMUNICATIONS CABLE. STUB UP 1'-0" ABOVE GRADE AT EXISTING UTILITY POLE.
 - PROVIDE SITE LIGHTING POLE TYPE P11.
- PLUMBING CODED NOTES - SHEET SU1.0**
- SEE PLUMBING FLOOR PLAN FOR SANITARY PIPING CONTINUATION. COORDINATE FINAL INVERT AND LOCATION WITH CIVIL CONTRACTOR.
 - COORDINATE RISERS IN WATER ROOM WITH CIVIL ENGINEER. DOMESTIC WATER BPP/METER ARE IN "HOT BOX" AT WATER TAP. SEE CIVIL DRAWINGS.
 - COORDINATE FIRE SPRINKLER PIPING WITH CIVIL ENGINEER. BACKFLOW PREVENTER IS IN A SITE "HOT BOX". SEE CIVIL DRAWINGS.
 - EXTEND NEW GAS MAIN TO NEW BUILDING.
 - TAP EXISTING GAS MAIN AT THIS LOCATION, DOWNSTREAM OF OWNER'S SITE METER ASSEMBLY. NOTE THAT EXISTING BUILDING IS TO REMAIN IN OPERATION UNTIL NEW BUILDING IS OCCUPIED. CAREFULLY COORDINATE TAP TO MAINTAIN SERVICE TO EXISTING BUILDING.
 - APPROXIMATE LOCATION OF "HOT BOX" AND BACKFLOW/METER EQUIPMENT. SEE CIVIL DRAWINGS.
 - PLUMBING CONTRACTOR TO CONNECT TO BUILDING FOUNDATION DRAINAGE SYSTEM AND EXTEND PIPING TO SIGHT MONITORING WELL. SUMP PUMP SYSTEM.
 - 20 FT DEEP SUMP PIT WITH TWO SUMP PUMPS AND CONTROL SYSTEM MOUNTED ON UNISTRUT SUPPORT FRAME.
 - EXTEND PUMPED DISCHARGE TO NEAREST STORM MANHOLE. ROUTE PIPING A MINIMUM OF FIVE FT BELOW FINISHED GRADE.
 - EXISTING GAS METERS TO REMAIN SEE CIVIL DRAWINGS. PROTECT ALL EXISTING PIPING.
 - PRIVATE FIRE HYDRANT. SEE CIVIL DRAWINGS.

SITE UTILITY PLAN

WORTHINGTON NATATORIUM
354 W. Dublin Granville Rd,
Worthington, OH 43085
PREPARED FOR:
Worthington City Schools
200 E. Wilson Bridge Rd.
Worthington, OH 43085

schorr architects inc.

CDA COMMUNITY DESIGN ALLIANCE

DESIGN DEVELOPMENT 09.22.23

COMM. NO.: 2214

SU2.0

SIGNED 09.22.23
DATE

CITY OF WORTHINGTON
DRAWING NO. ARB 0079-2023
DATE 10/02/2023

ROGER D. FIELDS ASSOCIATES, INC.
4888 Kenny Road
Columbus, Ohio 43220
(614) 451-2248
www.rdfa.com
Project #: 22020
Designer: JBK





ARB APPLICATION
ARB 0080-2023
100 W. Granville Rd.

Plan Type: Architectural Review Board	Project:	App Date: 10/02/2023
Work Class: Certificate of Appropriateness	District: City of Worthington	Exp Date:
Status: In Review		Completed:
Valuation: \$0.00		Approval
Description: Window Revision		Expire Date:

Parcel: 100-000062	Main	Address: 100 W Dublin-Granville Rd Worthington, OH 43085	Main	Zone: R-10(Low Density Residence)
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Applicant Element One Courtney Bowe 4443 N. High St. Columbus, OH 43214 Mobile: 6146684144	Owner Erin Turnock 100 W DUBLIN-GRANVILLE RD Worthington , OH 43085	Applicant Bryce Jacob 4443 N High St Columbus, OH 43214 Business: (614) 296-9534	Owner Kolby Turnock 100 W DUBLIN-GRANVILLE RD Worthington , OH 43085
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Invoice No.	Fee	Fee Amount	Amount Paid
INV-00004680	Architectural Review Board	\$2.00	\$2.00
Total for Invoice INV-00004680		\$2.00	\$2.00
Grand Total for Plan		\$2.00	\$2.00

100 W. Granville Rd.





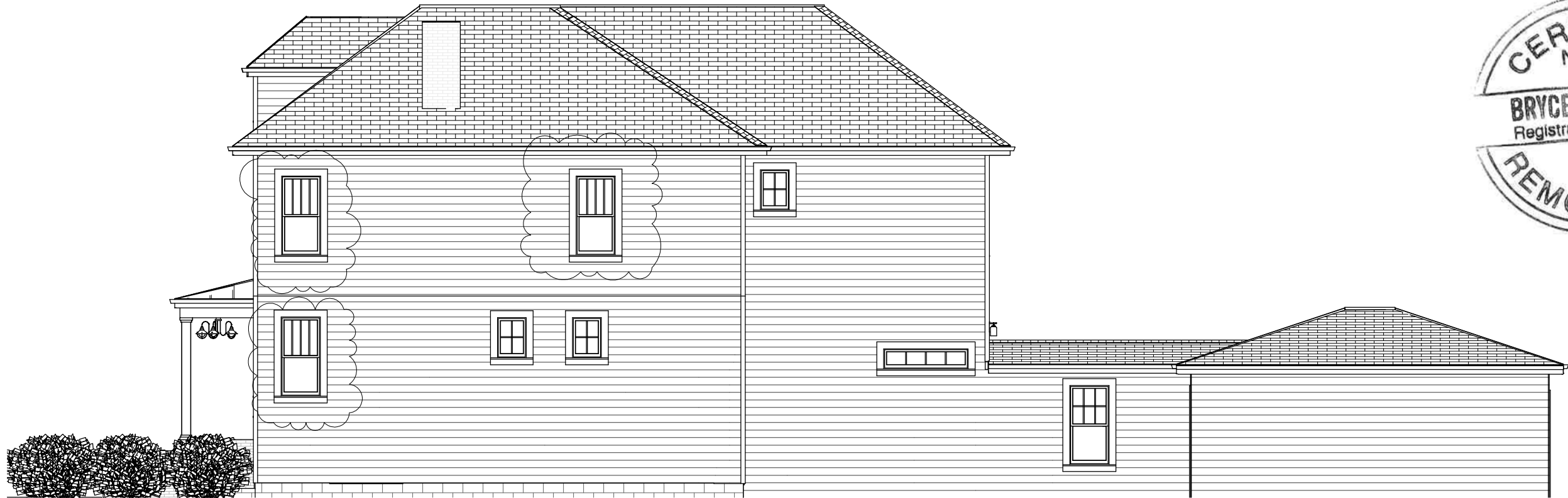
SOUTH ELEVATION $\frac{1}{8"} = 1'-0"$



NORTH ELEVATION $\frac{1}{8"} = 1'-0"$



CITY OF WORTHINGTON
DRAWING NO. ARB 0080-2023
DATE 10/02/2023



EAST ELEVATION 1/8" = 1'-0"




CITY OF WORTHINGTON
DRAWING NO. ARB 0080-2023
DATE 10/02/2023



WEST ELEVATION 1/8" = 1'-0"



SOUTH ELEVATION 1/8" = 1'-0"


CITY OF WORTHINGTON
DRAWING NO. ARB 0069-2023
DATE 08/28/2023

Windows on front elevation shall mimic the existing Hardi siding to be 7 1/4" unless original siding size can be matched.
Deck - French White Oak
Black metal railings for front porch

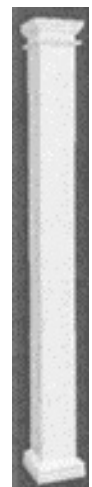


PERSPECTIVE No Scale

Porch surface and steps. Beldin Brick - Belcrest 760



Perma-Cast Fiberglass Front Porch Posts (4)



Hyannis Wall Lanterns

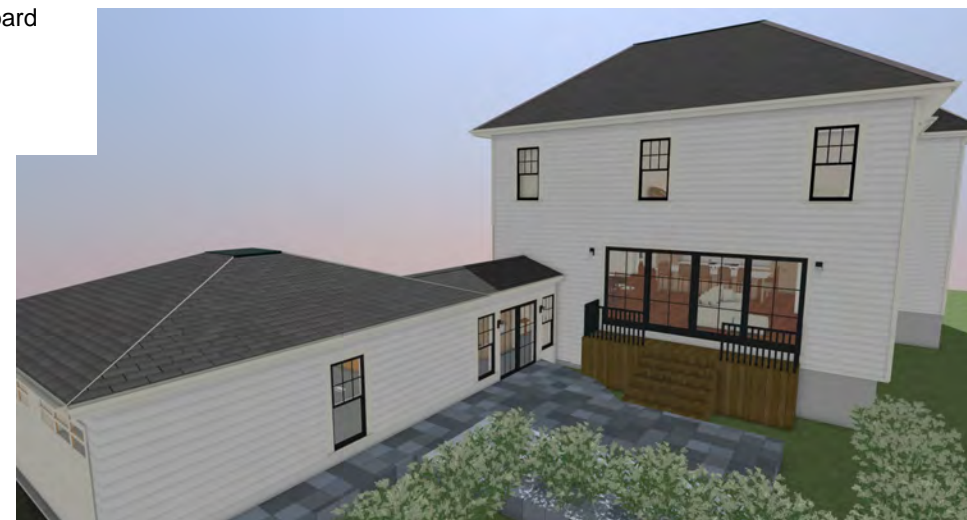



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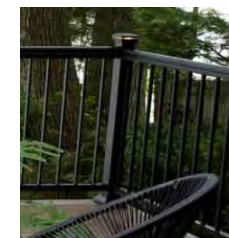
NORTH ELEVATION 1/8" = 1'-0"


Approved
Architectural Review Board
City of Worthington
Date 09/14/2023
Lynda Bitar
Clerk



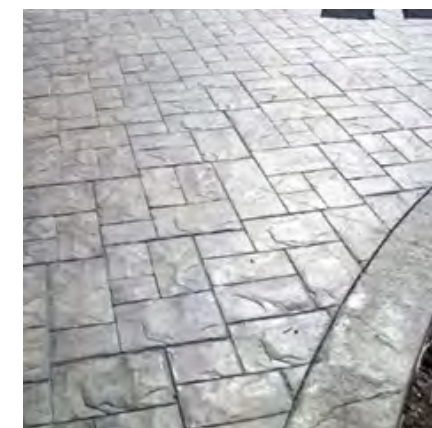
PERSPECTIVE No Scale

Rear Deck Surface, Rail, Balusters



Trimline Double-Hung Windows and doors
Black on rear of home only

Stamped Concrete Patio Pattern



ELEMENT
One
DESIGN + BUILD STUDIO

Kolby and Erin Turnock
100 W. Dublin-Granville Rd. North, Ohio 43085
ARB SET

Date: 8-21-23

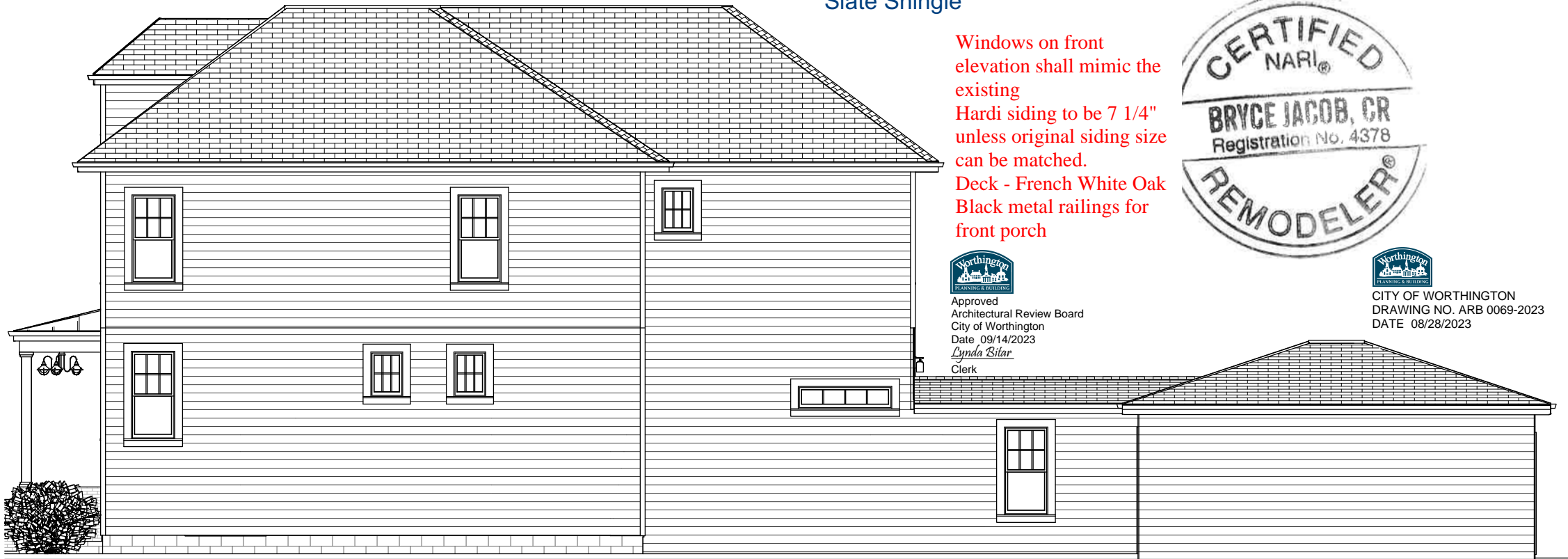
Revisions:

Approval:

Page:
7

Existing Slate Roof

New Colonial
Slate Shingle



Windows on front elevation shall mimic the existing
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Worthington
PLANNING & BUILDING
Approved
Architectural Review Board
City of Worthington
Date 09/14/2023
Lynda Bilar
Clerk

Worthington
PLANNING & BUILDING
CITY OF WORTHINGTON
DRAWING NO. ARB 0069-2023
DATE 08/28/2023

EAST ELEVATION 1/8" = 1'-0"

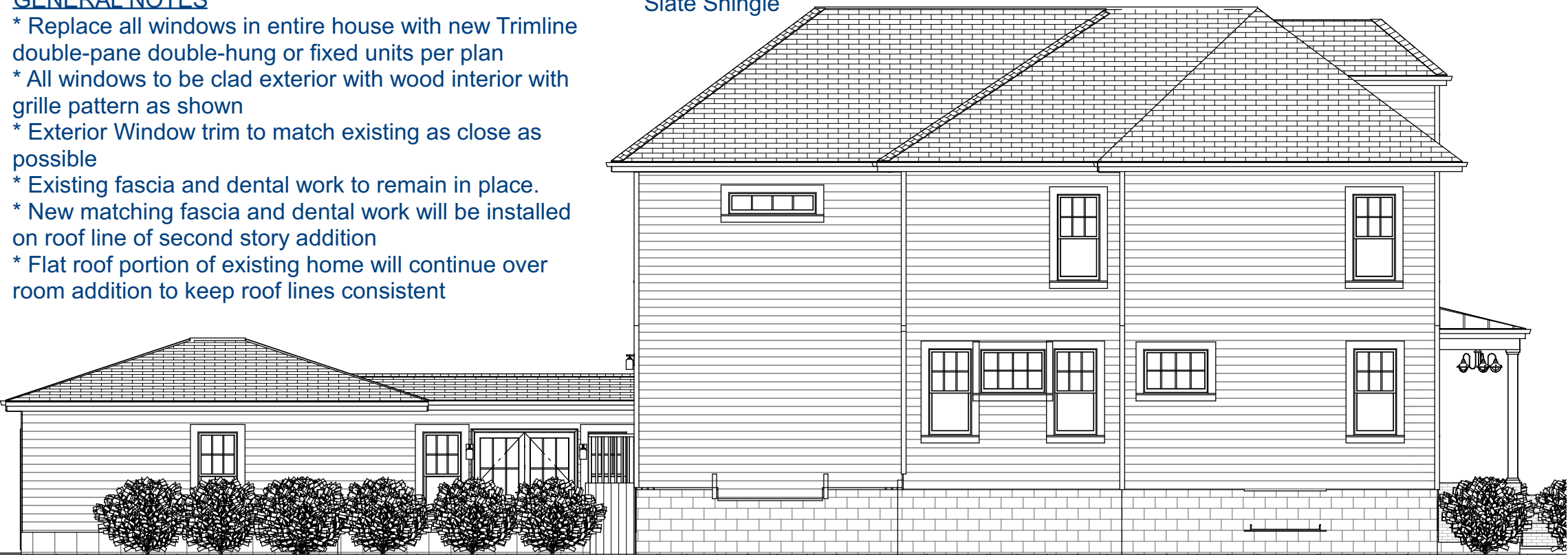
Worthington
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GENERAL NOTES

- * Replace all windows in entire house with new Trimline double-pane double-hung or fixed units per plan
- * All windows to be clad exterior with wood interior with grille pattern as shown
- * Exterior Window trim to match existing as close as possible
- * Existing fascia and dental work to remain in place.
- * New matching fascia and dental work will be installed on roof line of second story addition
- * Flat roof portion of existing home will continue over room addition to keep roof lines consistent

New Colonial
Slate Shingle

Existing Slate Roof



WEST ELEVATION 1/8" = 1'-0"

James Hardi Horizontal Siding -
White



Trimline
Double-Hung
Windows
White on all
but rear
elevations



CertainTeed Landmark Pro - Colonial Slate



Standing Seam on Porch Classic Bronze



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One
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Page:
8