



**ARCHITECTURAL REVIEW BOARD  
MUNICIPAL PLANNING COMMISSION  
-AGENDA-  
Thursday, February 22, 2024 at 7:00 P.M.**

Louis J.R. Goorey Worthington Municipal Building  
The John P. Coleman Council Chamber  
6550 North High Street  
Worthington, Ohio 43085

Watch online at [worthington.org/live](https://www.worthington.org/live), and comment in person or at [worthington.org/meeting-public-input](https://www.worthington.org/meeting-public-input)

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**A. Call to Order - 7:00 pm**

1. Roll Call
2. Pledge of Allegiance
3. Approval of minutes of the February 8, 2024 meeting
4. Affirmation/swearing in of witnesses

**B. Architectural Review Board – Consent Agenda**

There will be no separate discussion of Consent Agenda items as they are considered to be routine by the Board and Commission and will be adopted by one motion. If a member of the Board & Commission, staff, or public requests discussion on a particular item, that item will be removed from the Consent Agenda and considered separately on the agenda. Approval of Consent Agenda items includes conditions as listed in the staff memo.

1. Rear Steps, Windows, Roof – **689 Hartford St.** (Owens Construction/Mutti) **ARB 99-2024**
2. EV Charging Stations – **700 E. Granville Rd.** (Scott Lidle/Mark Wahlberg Chevrolet) **ARB 10-2024**

**C. Architectural Review Board – Unfinished Business**

1. New Signage – **5601 N. High St.** (Saharalux Entertainment) **ARB 01-2024**

**D. Architectural Review Board – New Business**

1. Outdoor Seating – **657 High St.** (Robin Myers/Joya's) **ARB 92-2023**

**E. Municipal Planning Commission**

**1. Conditional Use Permit**

- a. Outdoor Restaurant Seating in C-5 – **657 High St.** (Robin Myers/Joya's) **CU 05-2023**

**F. Other**

**G. Adjournment**



## MEMORANDUM

TO: Members of the Architectural Review Board  
Members of the Municipal Planning Commission

FROM: R. Lee Brown, Director  
Lynda Bitar, Planning Coordinator

DATE: February 16, 2024

SUBJECT: Staff Memo for the Meeting of February 22, 2024

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### **B. Architectural Review Board – Consent Agenda**

There will be no separate discussion of Consent Agenda items as they are considered to be routine by the Board and Commission and will be adopted by one motion. If a member of the Board & Commission, staff, or public requests discussion on a particular item, that item will be removed from the Consent Agenda and considered separately on the agenda. Approval of Consent Agenda items includes conditions as listed in the staff memo.

1. Rear Steps, Windows, Roof – **689 Hartford St.** (Owens Construction/Mutti) **ARB 99-2024**

### **Findings of fact & Conclusions**

#### **Background & Request:**

This farmhouse was originally constructed in 1878 and is a contributing building in the Worthington Historic District. The existing house is two stories and 1558 square feet in area with 2 bedrooms and 2 bathrooms. The rear of the 0.21 acre property is adjacent to the parking lot at St. John's Episcopal Church.

The project approved in March of 2023 involved removal of a single-story addition and deck, and construction of a 2 story rear addition, a four-season room and a patio. In January of 2024 approval was granted to modify second story windows on the north side of the existing house.

The current request involves the rear porch and steps, window placement in the addition, and new roofing.

#### **Project Details:**

1. The rear landing and steps were originally proposed to be wood. The applicant is now planning to use stone.

2. The first-floor windows on the north side of the addition are now planned to be closer together to accommodate the kitchen.
3. Replacement of the entire roof with Landmark Pro Moire Black dimensional shingles is proposed.

**Land Use Plans:**Worthington Design Guidelines and Architectural District Ordinance

Residential additions are recommended to maintain similar roof forms; be constructed as far to the rear and sides of the existing residence as possible; be subordinate; and have walls set back from the corners of the main house. Design and materials should be traditional, and compatible with the existing structure.

**Recommendation:**

Staff is recommending approval of this application as the proposed changes are appropriate for this property.

**Motion:**

**THAT THE REQUEST BY OWENS CONSTRUCTION ON BEHALF OF DONALD MUTTI FOR A CERTIFICATE OF APPROPRIATENESS TO MODIFY THE PREVIOUS APPROVAL FOR 689 HARTFORD ST. AS PER CASE NO. ARB 09-2024, DRAWINGS NO. ARB 09-2024, DATED JANUARY 30, 2024, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

2. EV Charging Stations – **700 E. Granville Rd.** (Scott Lidle/Mark Wahlberg Chevrolet) **ARB 10-2024**

**Findings of Fact & Conclusions****Background & Request:**

Mark Wahlberg Chevrolet has been operating at this site for several years and has modified the signage and made minor alterations to the buildings and site. At the last meeting a new body shop was approved at the northwest corner of the site.

This is a request to locate EV charging stations with associated bollards and signs on the site.

**Project Details:**

1. The new charging stations are proposed west of the main building, between the new car parking at the south end of the lot and the proposed body shop to the north. A new transformer and electrical equipment rack are planned to be adjacent to the building, protected by a bollard.
2. A bank of chargers is proposed that would include three Level 3 chargers, two Level 2 chargers, and foundations and conduits for additional chargers in the future.
3. Four bollards with 4” and 6” diameters would protect each charger.



4. Pavement markings are planned for each parking space, and ten 1'8" high x 12" wide parking signs are proposed. The signs would be mounted on 5 steel pipes.

**Land Use Plans:**

Worthington Design Guidelines and Architectural District Ordinance

Design and materials should be compatible with the existing structures.

**Recommendation:**

Staff is recommending approval of this application as the proposed changes are appropriate for this property. The bollards should blend in with the rest of the site.

**Motion:**

**THAT THE REQUEST BY SCOTT N. LIDLE ON BEHALF OF MARK WAHLBERG CHEVROLET FOR A CERTIFICATE OF APPROPRIATENESS TO CONSTRUCT A BODY SHOP AT 700 E. GRANVILLE RD. AS PER CASE NO. ARB 07-2024, DRAWINGS NO. ARB 07-2024, DATED JANUARY 24, 2024, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

**C. Architectural Review Board – Unfinished Business**

1. New Signage – **5601 N. High St. (Saharalux Entertainment) ARB 01-2024**

**Findings of Fact & Conclusions**

**Background & Request:**

This space was most recently occupied by Natalie's Coal Fired Pizza and Live Music which closed in 2022. The new tenant, Saharalux Restaurant and Lounge is requesting approval to install new signage.

**Project Details:**

1. One panel each is proposed for both sides of the existing freestanding sign. The panels would be 6' wide x 19.5" high with a black opaque background and white lettering. The panel would read "SAHARA LUX" and "RESTAURANT AND LOUNGE" in smaller letters below.
2. For the wall sign, individual letters would be mounted to a backer panel that is placed in the "sided" area above the main storefront windows. The area is 17' wide by 4' high; the 1.5" thick black wood backer panel is proposed to be 12.25' wide by 3.06' high (37.5 square feet); and the lettering area would be 11.25' wide by 2.07' high (23.3 square feet). Gold face lit letters would read "SAHARA LUX" and "RESTAURANT AND LOUNGE" would be below in smaller letters.

**Land Use Plans:****Worthington Design Guidelines and Architectural District Ordinance**

Signs: While the regulations permit a certain maximum square footage of signs for a business, try to minimize the size and number of signs. Place only basic names and graphics on signs along the street so that drive-by traffic is not bombarded with too much information. Free-standing signs should be of the “monument” type (standing vertically, mounted on a ground-level base and not on a pole); they should be as low as possible. Such signs should have an appropriate base such as a brick planting area with appropriate landscaping or no lighting. Colors for signs should be chosen for compatibility with the age, architecture and colors of the buildings they serve, whether placed on the ground or mounted on the building.

**Recommendation:**

Staff is recommending approval of the proposed signage. The freestanding panels would match, and the character and size of the wall sign should be appropriate for the building.

**Motion:**

**THAT THE REQUEST BY SAHARALUX ENTERTAINMENT FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL SIGNAGE AT 5601 N. HIGH ST. AS PER CASE NO. ARB 01-2024, DRAWINGS NO. ARB 01-2024, DATED JANUARY 2, 2024, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

**D. Architectural Review Board – New Business**

1. Outdoor Seating – **657 High St.** (Robin Myers/Joya’s) **ARB 92-2023**

**&**

**E. Municipal Planning Commission****1. Conditional Use Permit**

- a. Outdoor Restaurant Seating in C-5 – **657 High St.** (Robin Myers/Joya’s) **CU 05-2023**

**Findings of Fact & Conclusions****Background & Request:**

This building was originally constructed in 1875 and remodeled in the late 1900’s, mostly housing Worthington Hardware for many years. In 2015 and 2016 the space was redeveloped with Grid Furnishings, Igloo Letterpress (now AR Workshop), Vernacular, Snap Fitness, Bubbles Tea and Juice Co., and COhatch as tenants. The space at the south end of the building was not part of the hardware store but was used as office space in the 1970’s and 1980’s; a retail shop (American Traditions) in the late 80’s and early 90’s; Fine Lines (custom invitations and fine stationary) in 1994; Blue Frost Cupcake in 2010; and Sassafras Bakery from 2013 until 2021. Joya’s Café opened at this location in 2022.

The applicant is requesting to add outdoor seating and amend their Conditional Use Permit.

ARB-MPC Staff Memo

Meeting February 22, 2024

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**Project Details:**

1. Joya's Café would like permission to keep a picnic table that was added in 2023 and add a cart for a water station and receptacle for trash/recycling/compost during business hours.
  - a. Final approval of what the receptacle looks like can be approved by City staff.
2. In coordination with City staff, the picnic table will be moved to the open area in front of Grid Furnishings and AR Workshop.
3. The outdoor patio seating is open seating, and you must go inside to place your order for carry-out and there is limited inhouse dining available.
4. Additional outdoor seating has been referenced as a possibility in the future.
  - a. The applicant will need to amend their Conditional Use and get Board approval for any outdoor seating or changes to what has been approved by the Board and Commission prior to adding seating. Any additional changes will need to be approved by the Board and Commission.

**Conditional Use Permit Basic Standards and Review Elements:** The following general elements are to be considered when hearing applications for Conditional Use Permits:

1. Effect on traffic pattern – Foot traffic has increased in the area as part of this use. Parking is on High St. or in the municipal parking lots as is typical for other businesses in the Central Business District.
2. Effect on public facilities – There has been an increase in the amount of waste/trash associated with the restaurant since opening. The City has added an additional waste & recycling receptacle and moved the location of the other receptacles to address the increase in waste from Joya's and Kitties. The increase in waste in the Central Business District (CBD) has been noticed even without the Worthington Farmers Market taking place in the winter months in the CBD.
3. Effect on sewerage and drainage facilities – The effect would be minimal.
4. Utilities required – No new utilities would be required.
5. Safety and health considerations – None have been identified.
6. Noise, odors and other noxious elements, including hazardous substances and other environmental hazards – There has been an increase in the amount of waste/trash in the CBD since opening.
7. Employees – 13 team members
8. Occupancy – 25 inside occupancy
9. Hours of use – Tuesday 9:00 AM to 2:00 PM and Wednesday to Sunday 8:00 AM to 2:00 PM. Evenings for special events.
10. Shielding or screening considerations for neighbors – Not applicable.
11. Appearance and compatibility with the general neighborhood – The business is unique in Old Worthington and appears to be compatible with the other uses found in the CBD.

**Land Use Plans:****Worthington Design Guidelines and Architectural District Ordinance**

Using the excellent precedents of Worthington's many historic structures, carefully design the pattern of window openings; window sizes and proportions; and trim around the windows. True wood windows are always the first preference. Aluminum- or vinyl-clad windows can be appropriate, but primarily on secondary facades and less conspicuous locations. All-aluminum or

vinyl windows are not prohibited but are not encouraged. Design and materials should be compatible with the existing structure.

#### Worthington Conditional Use Permit Regulations

The following basic standards apply to conditional uses in any “C” or “T” District: the location, size, nature and intensity of the use, operations involved in or conducted in connection with it, its site layout and its relation to streets giving access to it, shall be such that both pedestrian and vehicular traffic to and from it will not be hazardous, both at the time and as the same may be expected to increase with increasing development of the Municipality. The provisions for parking, screening, setback, lighting, loading and service areas and sign location and area shall also be specified by the applicant and considered by the Commission.

#### Worthington Comprehensive Plan

A good mix of restaurant and niche retail shops are appropriate for Old Worthington. Market to desired retail users that are targeting the authentic town center with pedestrian-oriented store plans and products.

#### **Staff Analysis**

- City staff suggested moving the picnic table to the area in front of Grid Furnishings and AR Workshop. Due to the size and location of the current table it creates a pinch point for visitors utilizing the sidewalk in the area directly in front of Joya’s.
  - The proposed picnic table relocation area will alleviate this issue.
- The City has budgeted money in the 2024-2028 Capital Improvement Plan to install new seating and tables throughout the Central Business District (CBD).
  - Removal of the temporary blue bistro tables and chairs are planned for later in 2024 as part of this project.
  - This improvement would not replace the exiting patio furniture related to the restaurant related uses found throughout the CBD.
- The City will also be evaluating the existing landscaping throughout the CBD that needs to be trimmed or replaced.
- The applicant will need to come back to the Board and Commission to amend their Conditional Use and get Board approval for any additional outdoor patio furniture in the future.
- City staff is requesting that a receptacle for trash/recycling/compost be placed near the business that will be monitored and emptied by the applicant during regular business hours. The nature of this restaurant is primarily carryout and has created an issue with the amount of trash that is being placed in the City’s trash and recycling containers in the CBD.
  - This was required of Graeter’s Ice Cream and Dairy Queen since the nature of their businesses are primarily carry-out.
- The City has added an additional receptacle for trash and recycling in the CBD and moved the existing receptacles to different locations in an attempt to address the additional waste/trash that is being produced.

#### **Recommendation:**

Staff is recommending **conditional approval** of these applications with the following conditions:

- The applicant will be responsible for the installation of a trash/recycling/compost receptacle that will be monitored and emptied by the applicant during business hours.
- Final approval of the receptacle can be approved by City staff.

**ARB Motion:**

**THAT THE REQUEST BY ROBIN MYERS ON BEHALF OF JOYA'S CAFE FOR A CERTIFICATE OF APPROPRIATENESS TO ADD OUTDOOR SEATING AT 657 HIGH ST., AS PER CASE NO. ARB 92-2023, DRAWINGS NO. ARB 92-2023, DATED NOVEMBER 8, 2023, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING WITH THE FOLLOWING CONDITIONS:**

- 1. THE APPLICANT WILL BE RESPONSIBLE FOR THE INSTALLATION OF A TRASH/RECYCLING/COMPOST RECEPTACLE THAT WILL BE MONITORED AND EMPTIED BY THE APPLICANT DURING BUSINESS HOURS.**
- 2. FINAL APPROVAL OF THE RECEPTACLE CAN BE APPROVED BY CITY STAFF.**

**MPC Motion:**

**THAT THE REQUEST BY ROBIN MYERS ON BEHALF OF JOYA'S CAFE FOR A CONDITIONAL USE PERMIT TO OPERATE A RESTAURANT IN THE C-5 ZONING DISTRICT AT 657 HIGH ST., AS PER CASE NO. CU 05-2023, DRAWINGS NO. CU 05-2023, DATED NOVEMBER 8, 2023, BE APPROVED BASED ON THE PLANNING GOALS OF THE CITY, AS REFERENCED IN THE LAND USE PLANS AND ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING WITH THE FOLLOWING CONDITIONS:**

- 1. THE APPLICANT WILL BE RESPONSIBLE FOR THE INSTALLATION OF A TRASH/RECYCLING/COMPOST RECEPTACLE THAT WILL BE MONITORED AND EMPTIED BY THE APPLICANT DURING BUSINESS HOURS.**
- 2. FINAL APPROVAL OF THE RECEPTACLE CAN BE APPROVED BY CITY STAFF.**



**ARB APPLICATION**  
**ARB 0009-2024**  
**689 Hartford St.**

**Plan Type:** Architectural Review Board      **Project:**      **App Date:** 01/30/2024  
**Work Class:** Certificate of Appropriateness      **District:** City of Worthington  
**Status:** In Review  
**Valuation:** \$477,000.00

**Description:** This project/plan was previously approved. Since approval, we have made a few design changes.  
1. Changed the back porch from framed deck to hardscape porch/stairs down to hardscape patio  
2. Adjust window locations on 1st floor North elevation to accomodate an updated kitchen plan.  
3. The homeowner would like to replace the entire roof when the addition goes on and would like to use Landmark Pro Moire Black dimensional shingles

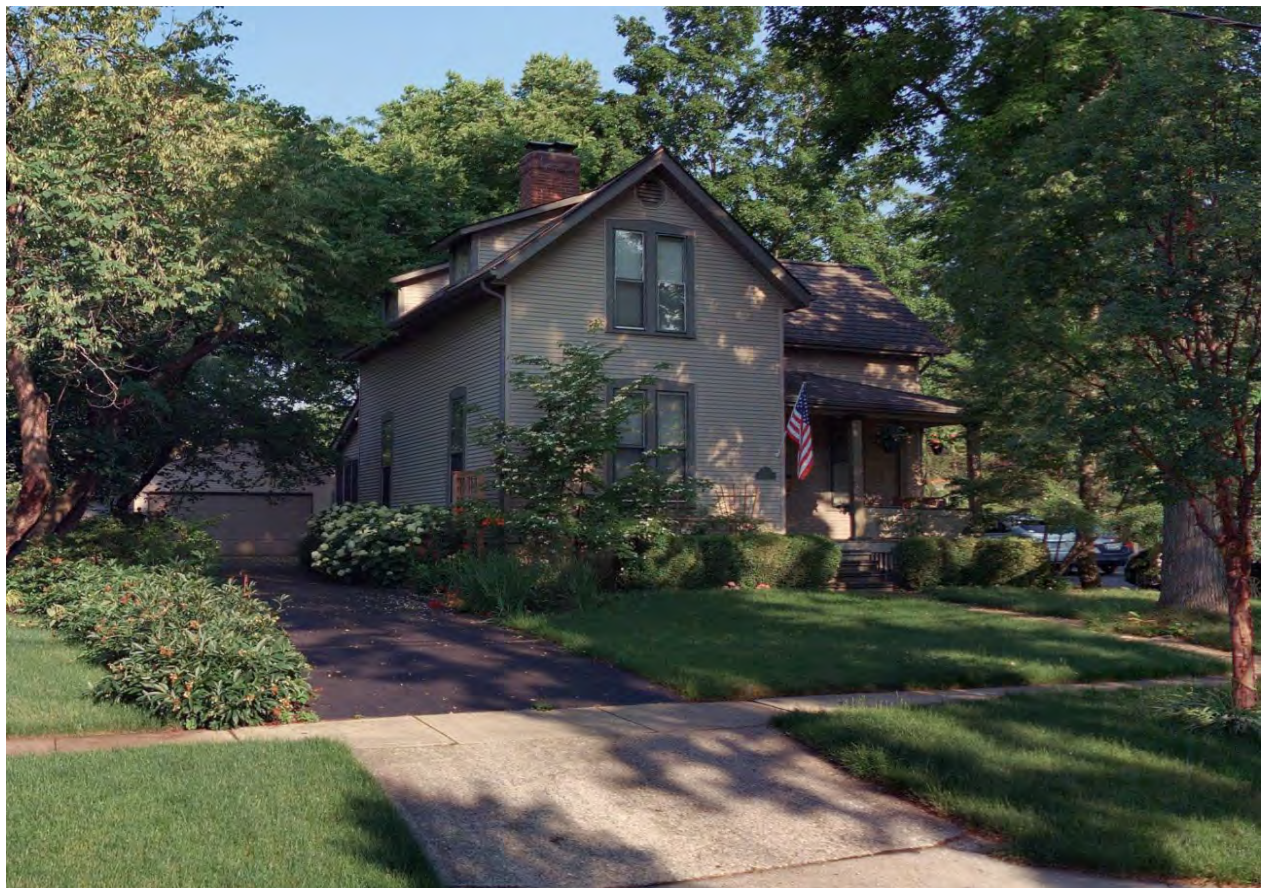
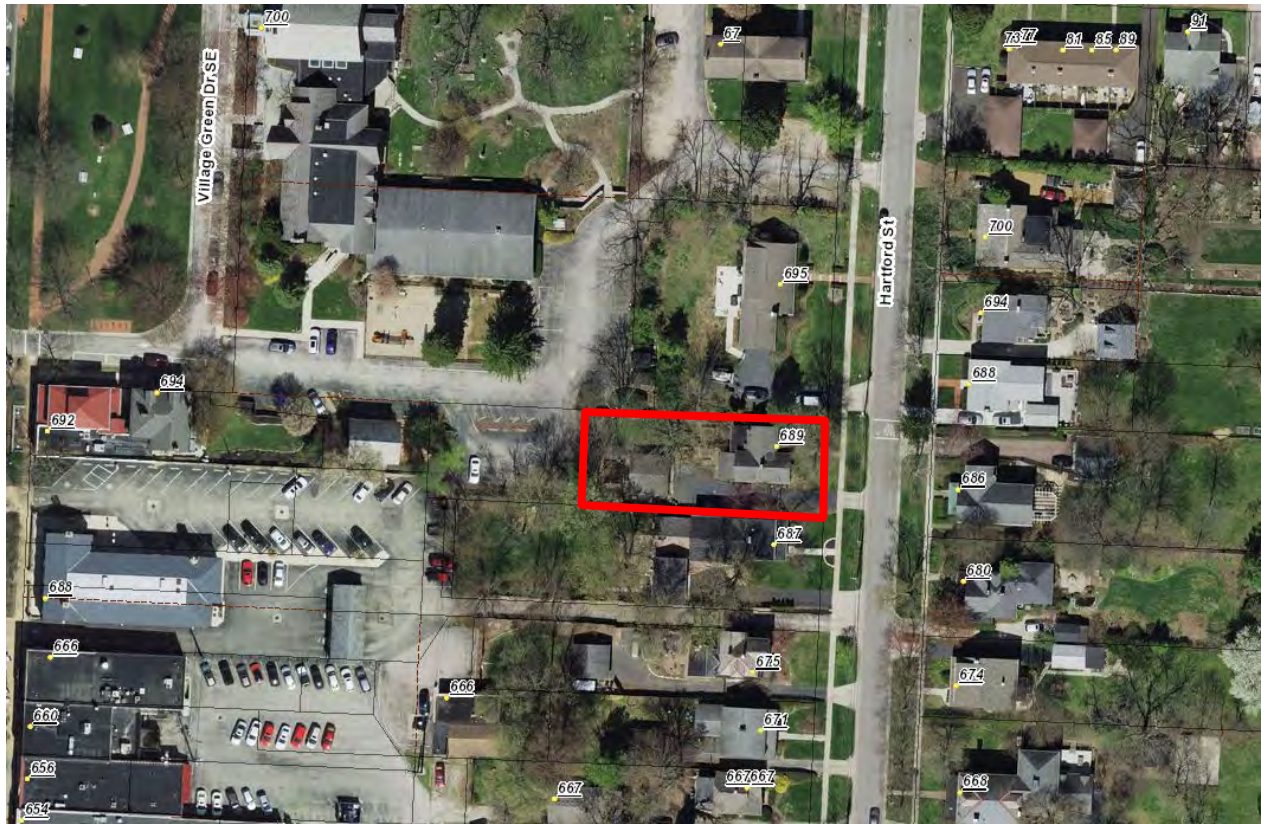
<b>Parcel:</b> 100-000195	Main	<b>Address:</b> 689 Hartford St Worthington, OH 43085	Main	<b>Zone:</b> R-10
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Applicant	Applicant	Owner
Owens Construction	Owens Construction	Donald Mutti
Contracting Company	Contracting Company	689 HARTFORD ST
Pam Shisler	Pam Shisler	Worthington , OH 43085
705 LAKEVIEW PLAZA BLVD	705 LAKEVIEW PLAZA BLVD	Home: (614) 352-6374
UNIT E	UNIT E	Business: (614) 247-7057
Worthington , OH 43085	Worthington , OH 43085	
Business: 61484611492	Business: 61484611492	

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00005129	Architectural Review Board	\$2.00	\$2.00
Total for Invoice INV-00005129		\$2.00	\$2.00
Grand Total for Plan		\$2.00	\$2.00

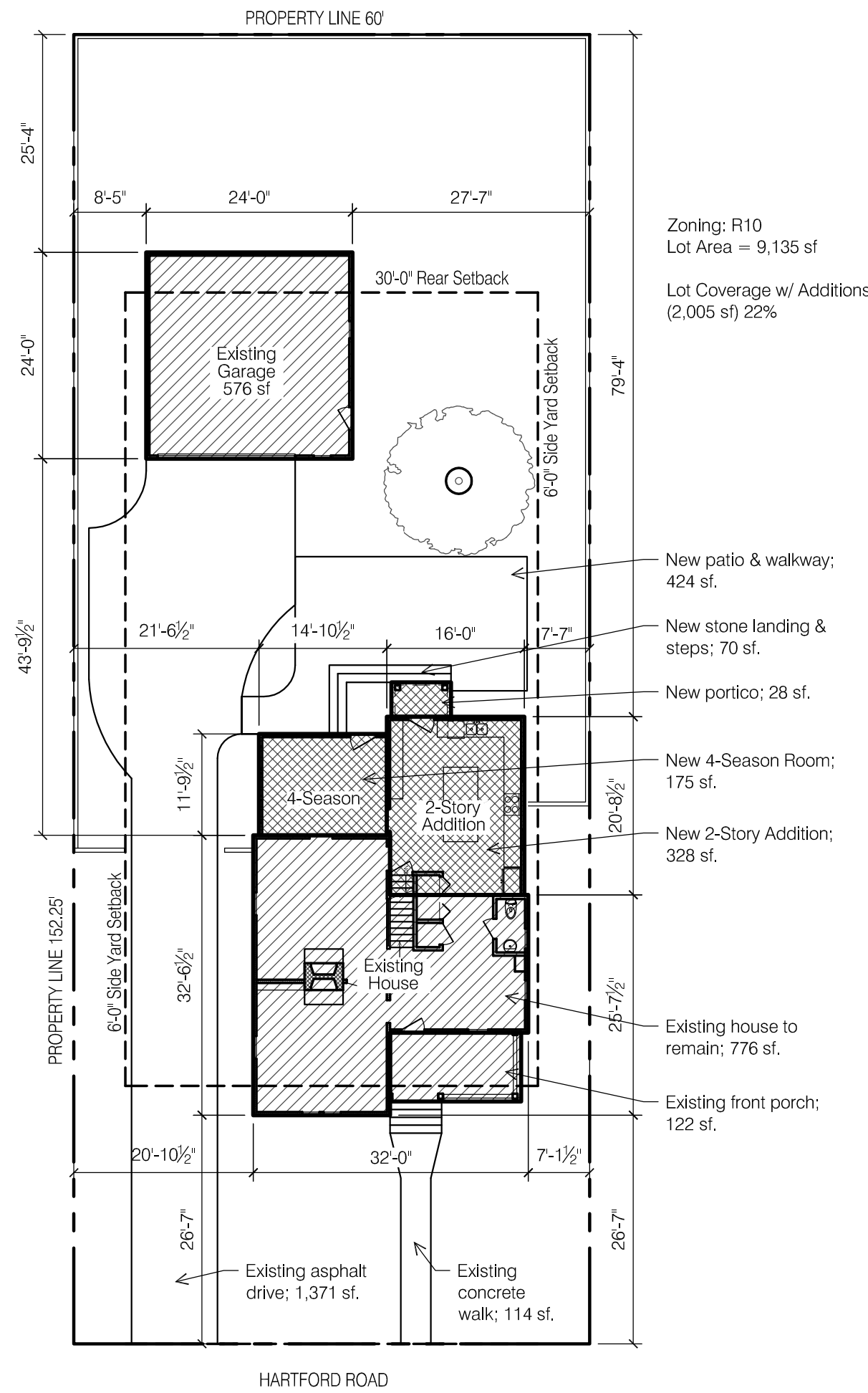
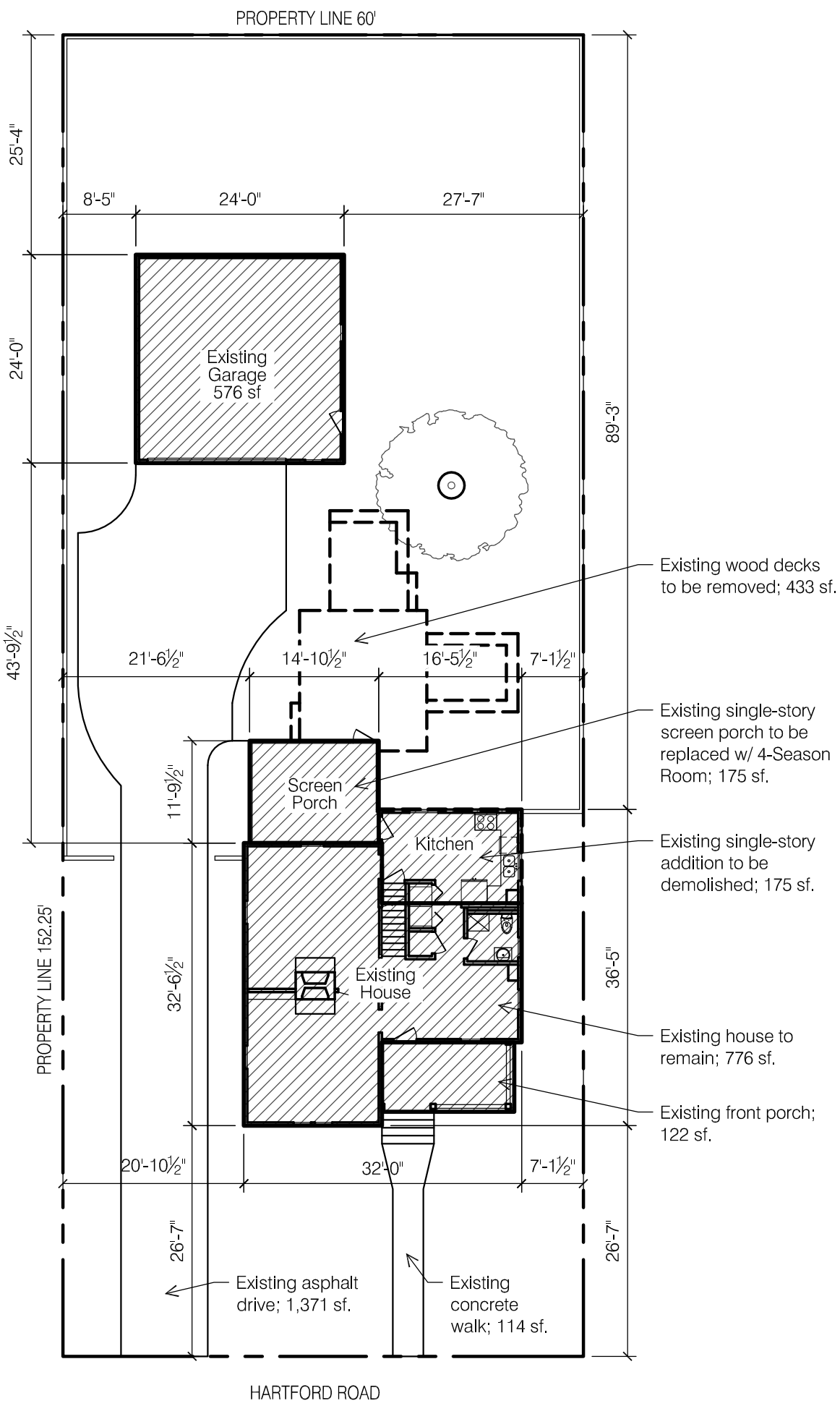


# 689 Hartford St.





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## GENERAL INFORMATION

Address: 789 Hartford Street  
Worthington, Ohio 43085  
Parcel: 100-000195-00

- Scope of Project: The project consists of the following:
- Removal of the existing screen porch at the rear of the house.
  - Removal of the existing kitchen addition at the rear of the house.
  - Construction of a new two-story addition at the rear of the house with a kitchen at the first floor and a primary suite at the second floor.
  - Construction of a new single-story addition at the rear of the house for a new 4-Season room.
  - New rear portico with landing & steps.
  - Partial renovation at first floor and second floor to support additions.

Existing First Floor SF: 776 sf  
First Floor Kitchen Addition SF: 328 sf  
First Floor 4-Season Addition SF: 175 sf  
Total First Floor SF: 1,279 sf

Existing Second Floor SF: 776 sf  
Second Floor Addition SF: 328 sf  
Total Second Floor SF: 1,104 sf

Total House SF: 2,383 sf

Zoning: R10  
Lot Area = 9,135 sf  
Lot Coverage w/ Additions  
(2,005 sf) 22%

## ZONING: R-10 Low Density Residence

Minimum Lot Size	Actual	Zoning Req't
Lot Size:	9,135 sf	10,400 sf Meets Zoning
Minimum Lot Width	Actual	Zoning Req't
Lot Width:	60'	80' Meets Zoning
Setbacks	Actual	Zoning Req't
Side South:	21'-6"	6'-0"
Side North:	7'-7"	6'-0"
Side Yard Sum:	29'-1"	12'-0"
Front Yard:	26'-7"	30'-0"
Rear Yard:	79'-4"	30'-0"
Number of Floors	Actual	Zoning Req't
Existing:	2 (22'-8" height)	2.5 floors (30')
Proposed:	2 (22'-8" height)	Meets Zoning

## SHEET INDEX

A1.0 Site Plan & General Info	A4.1 Overall Sections
A2.0 Basement Plans	A5.1 Wall Sections & Details
A2.1 First Floor Plans	A5.2 Wall Sections & Details
A2.2 Second Floor Plans	A6.1 First Floor Finish Plans
A2.3 Roof Plans	A6.2 Second Floor Finish Plans
A3.1 Exterior Elevations	A7.1 Interior Elevations
A3.2 Exterior Elevations	A7.2 Interior Elevations
A3.3 Exterior Elevations	MEP.0 Basement MEP Plans
	MEP.1 First Floor MEP Plans
	MEP.2 Second Floor MEP Plans

## DESIGN CRITERIA

Design Criteria:  
Wind Speed = 115 mph  
Seismic Category = A  
Weathering = Severe  
Frost Line Depth = 32"  
Termite = Moderate to Heavy  
Ice Barrier Underlayment = Yes, Required.  
Floor Live Load = 40 psf  
Snow Load Roof = 20 psf  
Foundation Concrete Compressive Strength = 2,500  
Slab Concrete Compressive Strength = 3,000; air-entrained 5%-7%

689 Hartford Street  
Worthington, Ohio 43085

Owner:  
Donald Mutti  
689 Hartford Street  
Worthington, Ohio 43085

Architect:  
Brenda Parker  
The Columbus Architectural Studio  
405 N Front Street  
Columbus, Ohio 43215  
t: 614.586.5514  
brenda.parker@cbusarch.com

seal/signature



rev. date description

key plan



CITY OF WORTHINGTON  
DRAWING NO. ARB 09-2024  
DATE 1/30/2024

Issue date January 27, 2024

phase

Issued for Permit Set

project number 689 HS

sheet title

SITE PLAN &  
GNRL INFO

sheet number

A1.0



Owner:  
Donald Muttl  
689 Hartford Street  
Worthington, Ohio 43085

Architect:  
Brenda Parker  
The Columbus Architectural Studio  
405 N Front Street  
Columbus, Ohio 43215  
t: 614.586.5514  
brenda.parker@cbusarch.com

seal/signature



rev. date description

key plan



CITY OF WORTHINGTON  
DRAWING NO. ARB 09-2024  
DATE 1/30/2024

issue date January 27, 2024

phase

issued for Permit Set

project number 689 HS

sheet title

BASEMENT  
PLANS

sheet number

A2.0

WALL LEGEND:

--- Demo existing wall or component as noted.

Existing masonry wall.

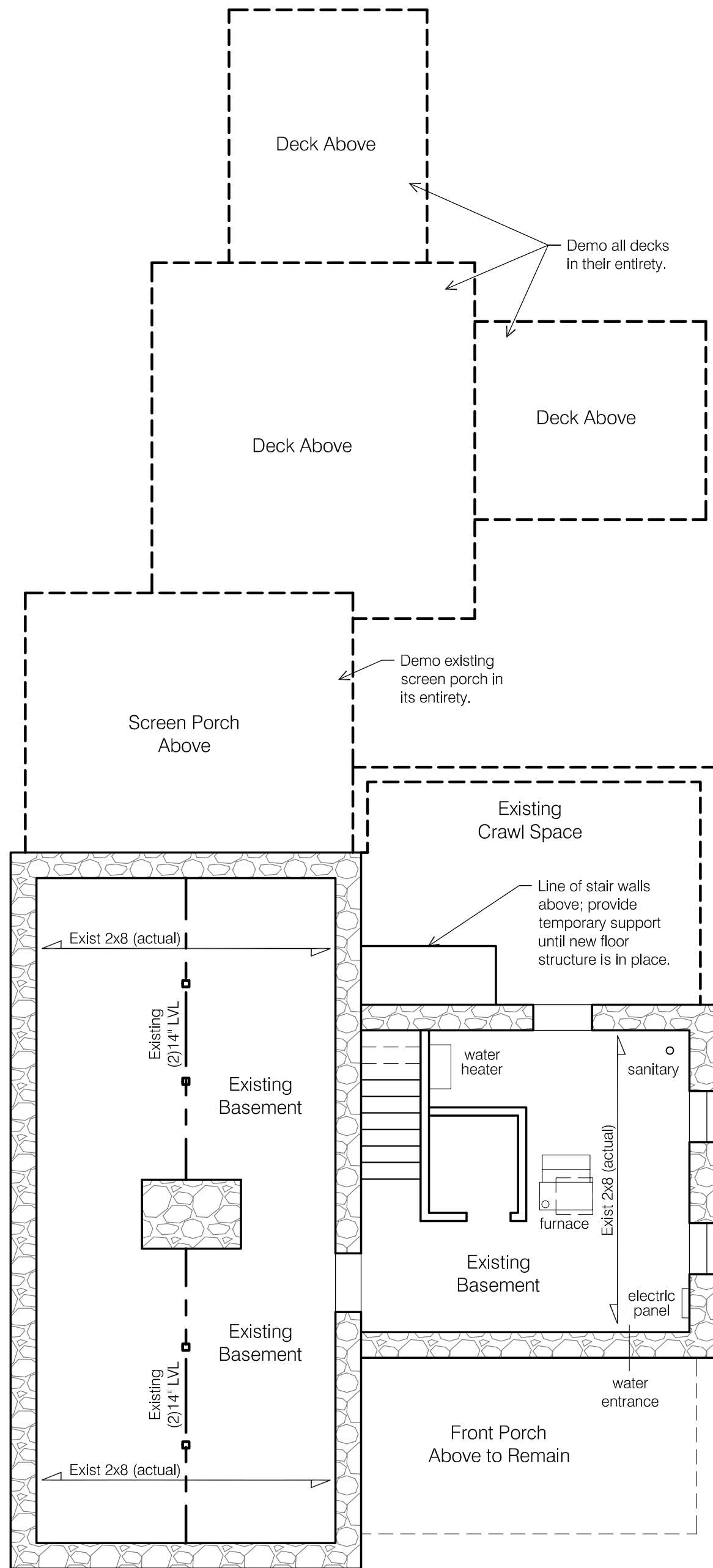
Existing stone masonry wall.

New 8" CMU foundation wall.

Existing 2x4 wood stud wall @ 16" o.c.

New Exterior walls: 2x6 wood stud @ 16" o.c.;  
fill cavity with R19 kraft-faced fiberglass  
insulation; 1/2" gypsum wallboard at interior.

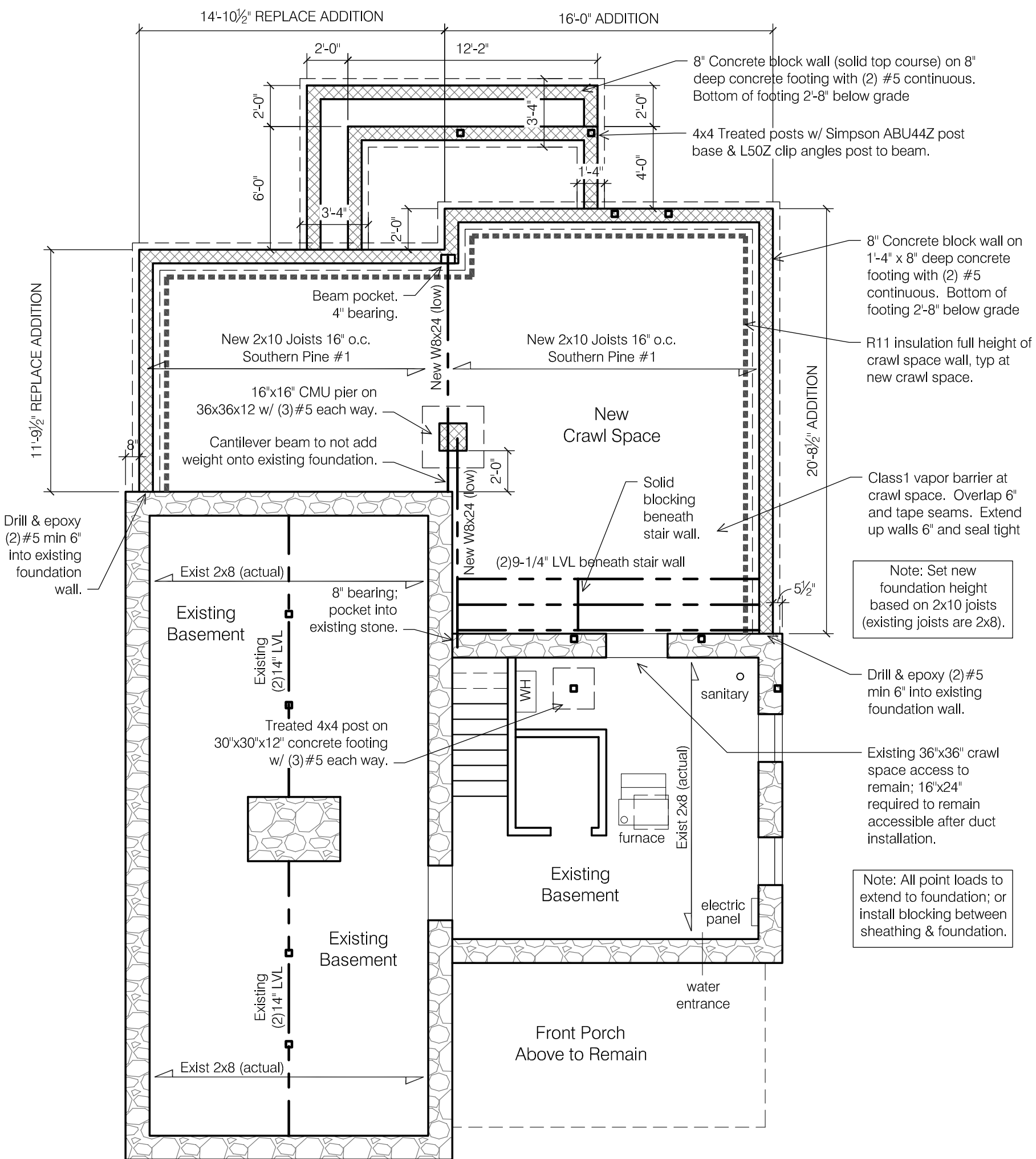
New Interior walls: 2x4 wood studs @ 16" o.c.  
1/2" GWB at interior (1/2" cement board at  
shower walls).



A2

BASEMENT DEMO PLAN

SCALE: 3/16" = 1'-0"



A7

BASEMENT NEW WORK PLAN

SCALE: 3/16" = 1'-0"



Owner:  
Donald Muttl  
689 Hartford Street  
Worthington, Ohio 43085

Architect:  
Brenda Parker  
The Columbus Architectural Studio  
405 N Front Street  
Columbus, Ohio 43215  
t: 614.586.5514  
brenda.parker@cbsarch.com

seal/signature



rev. date description

key plan



CITY OF WORTHINGTON  
DRAWING NO. ARB 09-2024  
DATE 1/30/2024

issue date January 27, 2024

phase

Issued for Permit Set

project number 689 HS

sheet title

FIRST FLOOR  
PLANS

sheet number

A2.1

WALL LEGEND:

--- Demo existing wall or component as noted.

Existing masonry wall.

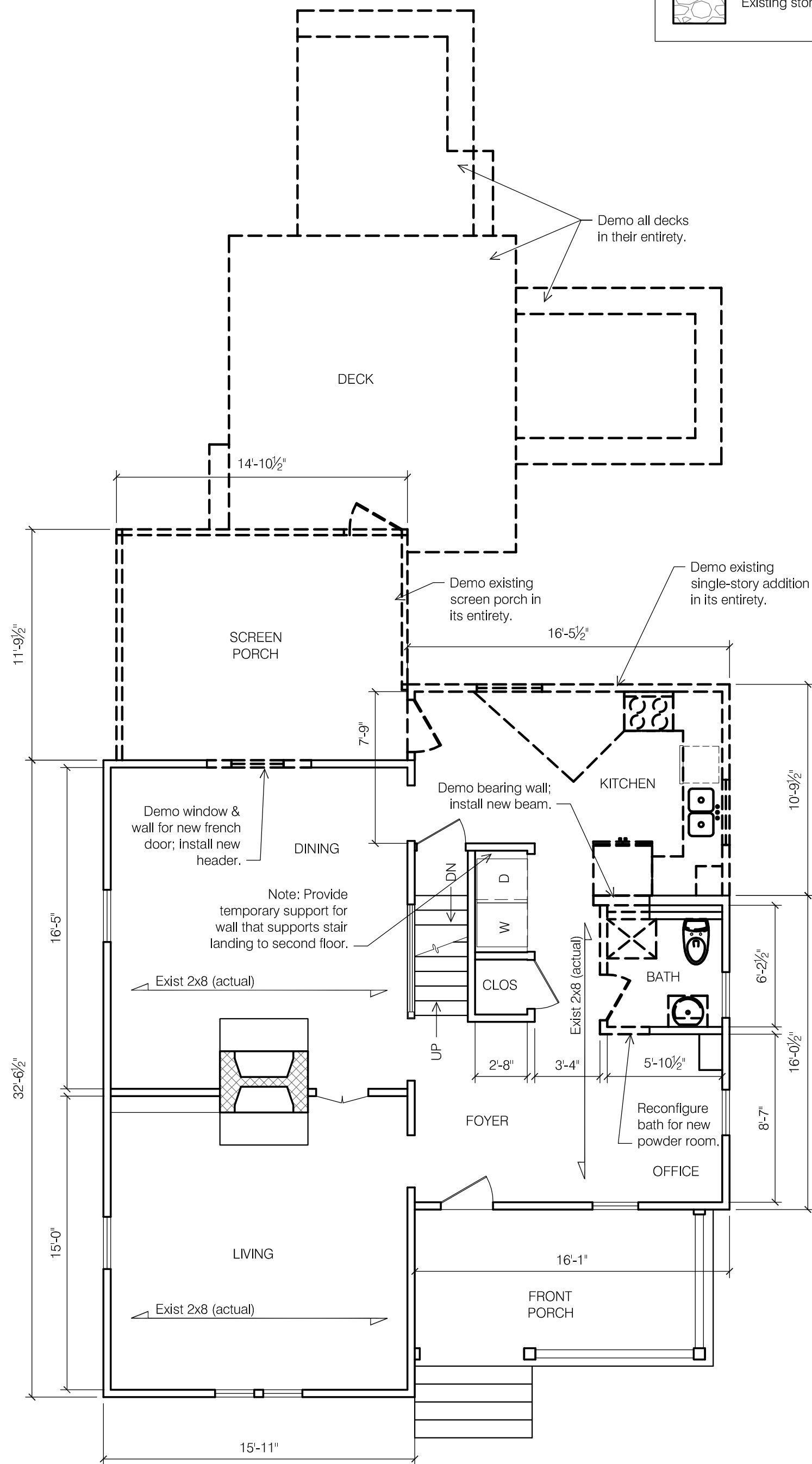
Existing stone masonry wall.

New 8" CMU foundation wall.

Existing 2x4 wood stud wall @ 16" o.c.

New Exterior walls: 2x6 wood stud @ 16" o.c.;  
fill cavity with R19 kraft-faced fiberglass  
insulation; 1/2" gypsum wallboard at interior.

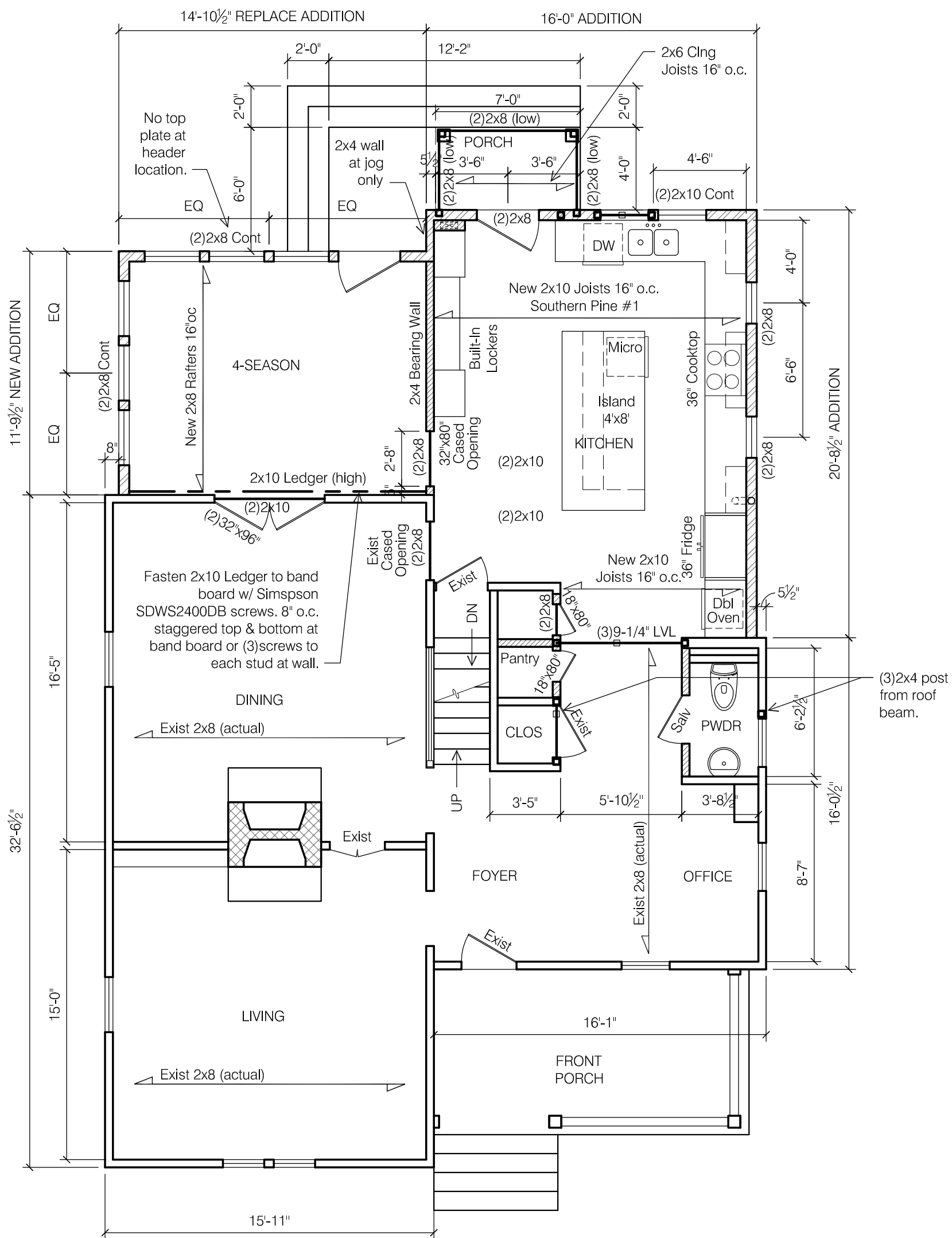
New Interior walls: 2x4 wood studs @ 16" o.c.  
1/2" GWB at interior (1/2" cement board at  
shower walls).



A2

FIRST FLOOR DEMO PLAN

SCALE: 3/16" = 1'-0"



A7

FIRST FLOOR NEW WORK PLAN

SCALE: 3/16" = 1'-0"



Owner:  
Donald Muttl  
689 Hartford Street  
Worthington, Ohio 43085

Architect:  
Brenda Parker  
The Columbus Architectural Studio  
405 N Front Street  
Columbus, Ohio 43215  
t: 614.586.5514  
brenda.parker@cbsarch.com

seal/signature



rev. date description

key plan



CITY OF WORTHINGTON  
DRAWING NO. ARB 09-2024  
DATE 1/30/2024

issue date January 27, 2024

phase

Issued for Permit Set

project number 689 HS

sheet title

SECOND FLOOR  
PLANS

sheet number

A2.2

WALL LEGEND:

--- Demo existing wall or component as noted.

Existing masonry wall.

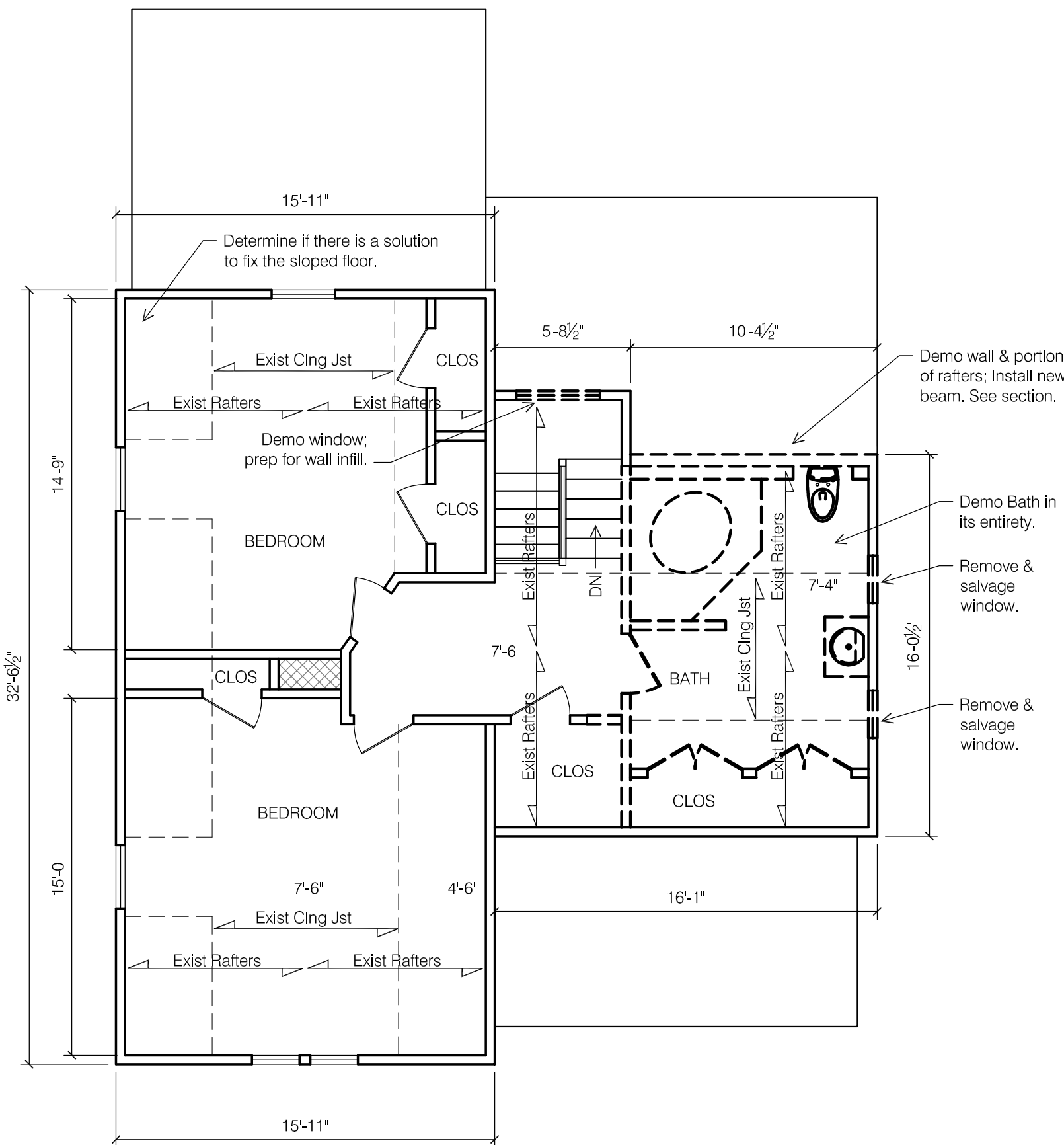
Existing stone masonry wall.

New 8" CMU foundation wall.

Existing 2x4 wood stud @ 16" o.c.

New Exterior walls: 2x6 wood stud @ 16" o.c.;  
fill cavity with R19 kraft-faced fiberglass  
insulation; 1/2" gypsum wallboard at interior.

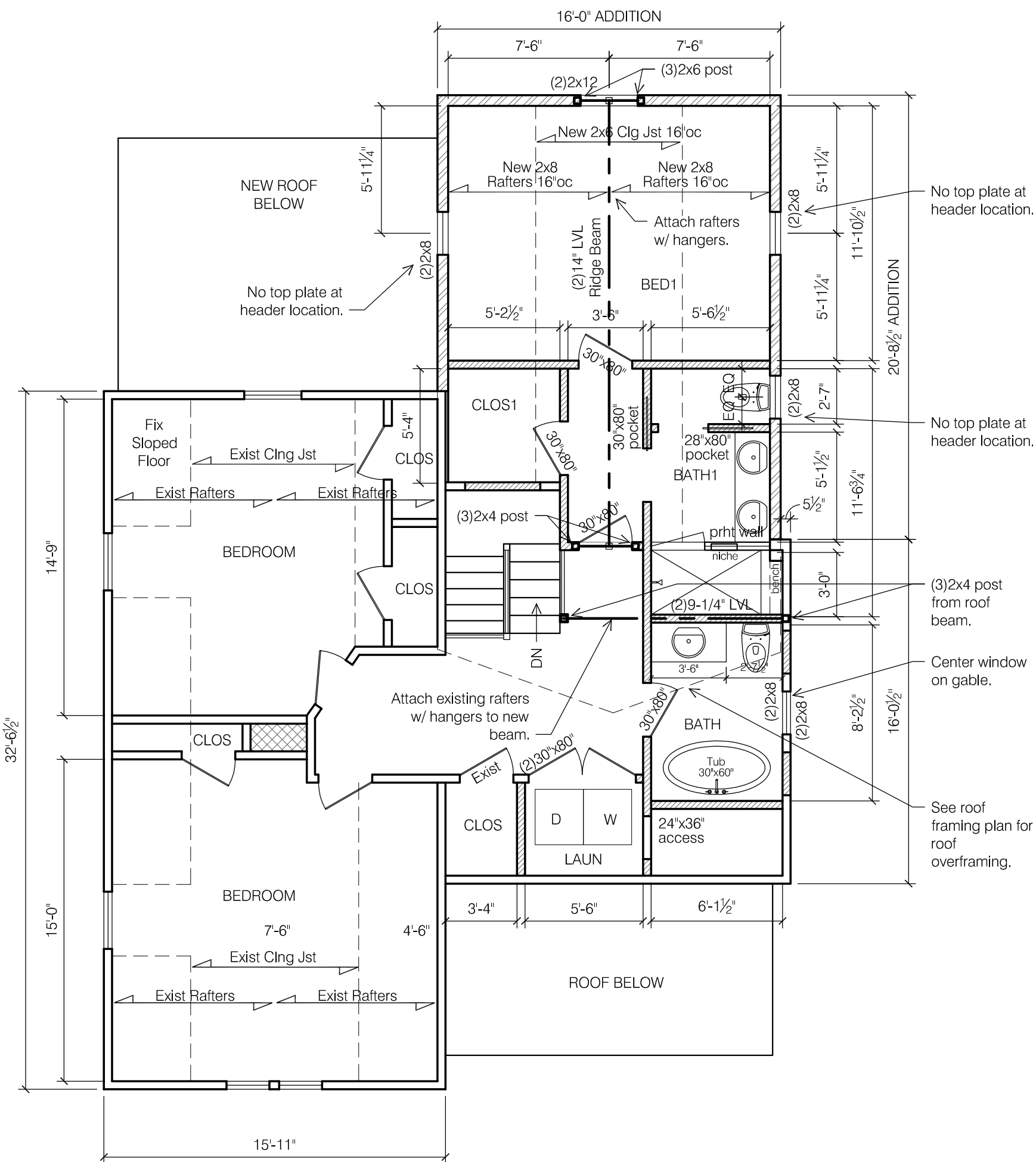
New Interior walls: 2x4 wood studs @ 16" o.c.  
1/2" GWB at interior (1/2" cement board at  
shower walls).



A2

SECOND FLOOR DEMO PLAN

SCALE: 3/16" = 1'-0"



A7

SECOND FLOOR NEW WORK PLAN

SCALE: 3/16" = 1'-0"





Owner:  
Donald Mutti  
689 Hartford Street  
Worthington, Ohio 43085

al/signature



iv.	date	description
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key plan



CITY OF WORTHINGTON  
DRAWING NO. ARB 09-2024  
DATE 1/30/2024

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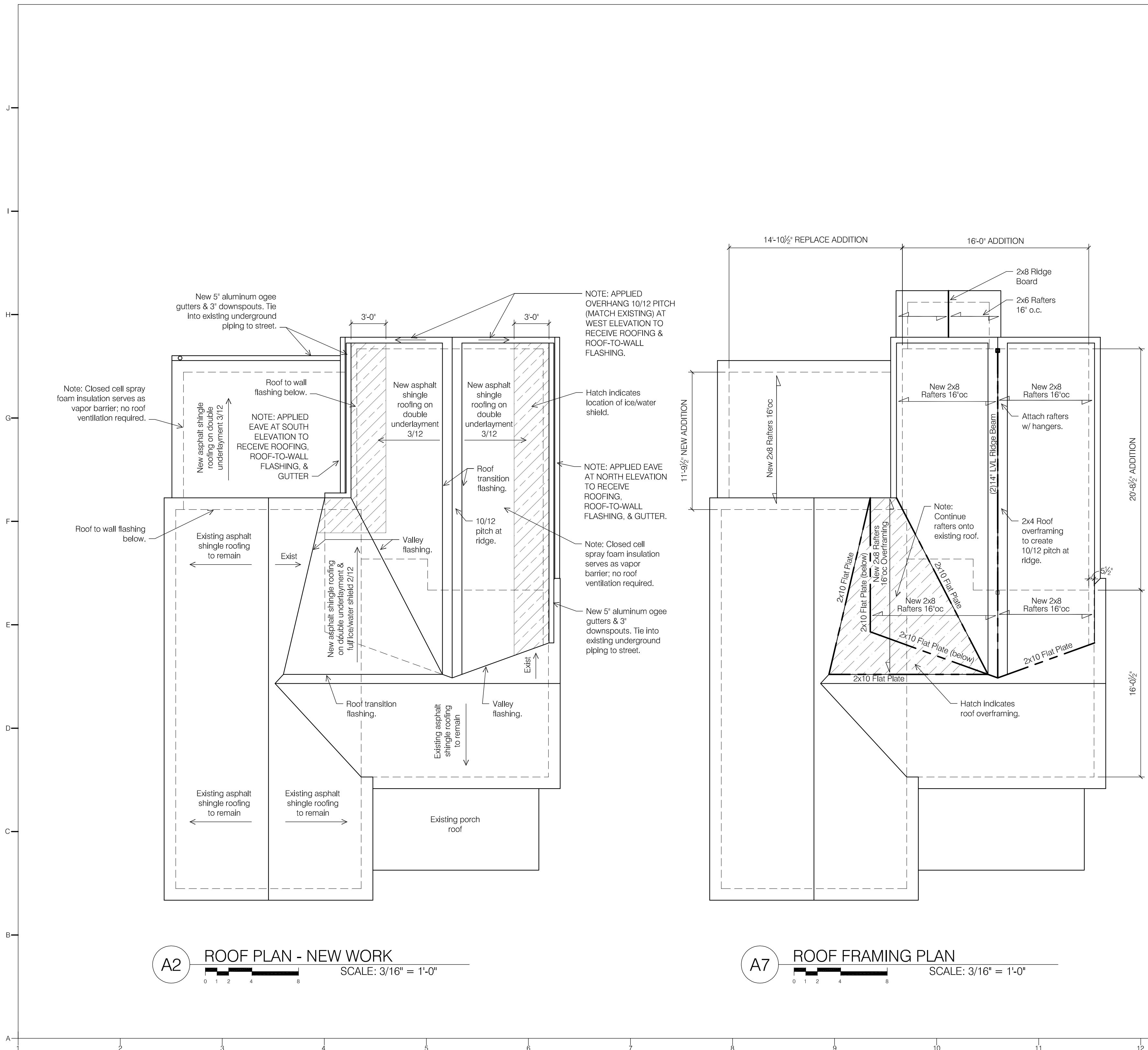
Project number

Sheet title

## ROOF PLANS

Sheet number

## A2.3



WINDOW & DOOR SCHEDULE	#	NOMENCLATURE	OPERATION	NOTES
689 HARTFORD STREET	01	Single (Frame Size 2'-4"w x 4'-8"h)	DOUBLE HUNG	Kitchen - (2)locations
New Construction Windows to be Marvin Elevate (wood interior & fiberglass exterior).	02	Single (Frame Size 2'-4"w x 4'-8"h)	DOUBLE HUNG	Bath1 & Bed1 - (3)locations
New Construction Doors to be ThermaTru.	03	Single (Frame Size 2'-8" x 5'-2")	CASEMENT	Bed1 - (1)location - include check rail to mimic dbl hung
Exterior & Interior Color: owner selected.	04	Single (Frame Size 2'-8" x 4'-8")	DOUBLE HUNG	Meet egress - 5.7 sf Tempered labeled glass
Glass: LoE-272 with Argon.	05	Single (Frame Size 2'-8" x 4'-8")	DOUBLE HUNG	4-Season - (1)location Tempered labeled glass
Hardware Finish: Standard.	06	Single (Frame Size 2'-0"w x 4'-8"h)	DOUBLE HUNG	4-Season - (5)locations
Jamb Extension: Provide jamb extension for 6" wood stud at new construction walls.	11	Swing Door (3'-0" x 6'-8")	Swing Door	Kitchen door - 3/4-light Tempered labeled glass
Verify all sizes in field prior to placing order.	12	Swing Door (3'-0" x 6'-8")	Swing Door	4-Season room door - 3/4-light Tempered labeled glass

ADDITION EXTERIOR MATERIALS		
Body:	HardiLap or LP Lap siding, smooth w/ 4" exposure. Paint in field to match existing siding.	Roof: Asphalt shingle roofing; Slateline to match existing.
Trim: (LP)	Corner Trim 5/4 x 5-1/2" smooth. Casing 5/4 x 7-1/4" tapered at head, 5/4 x 3-1/2 jambos, historic sill, Fascia 5/4 x 7-1/4, smooth.	Gutter: 5" aluminum ogee gutter & 3" downspouts.
Soffit:	Aluminum soffit system, smooth w/ hidden venting.	Window: New construction windows to be Marvin Elevate double hung (fiberglass exterior, wood interior).
		Landing: Landing and steps at addition rear door to be stone treads & risers. Guardrail to be Timbertech Radiance Rail; 36" height.
	Doors: ThermaTru Smooth-Star S2100 (1/2-light door w/ 1-panel below). Paint in field.	Column: 6x6 treated post wrapped with 3/4 x 7-1/4" LP Smartside trim. 4/4 x 9-1/4" base trim w/ chamfered top edge, 4/4 x 3-1/2 top trim.
		Foundation: Split-face concrete masonry units above grade; buff color.



E3 EAST ELEVATION - EXISTING  
SCALE: 3/16" = 1'-0"



E8 WEST ELEVATION - EXISTING  
SCALE: 3/16" = 1'-0"



A3 EAST ELEVATION - NEW WORK  
SCALE: 3/16" = 1'-0"



A8 WEST ELEVATION - NEW WORK  
SCALE: 3/16" = 1'-0"

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sheet title

EXTERIOR  
ELEVATIONS

sheet number

A3.1

WINDOW & DOOR SCHEDULE	#	NOMENCLATURE	OPERATION	NOTES
689 HARTFORD STREET	01	Single (Frame Size 2'-4"w x 4'-8"h)	DOUBLE HUNG	Kitchen - (2)locations
New Construction Windows to be Marvin Elevate (wood interior & fiberglass exterior). New Construction Doors to be ThermaTru. Exterior & Interior Color: owner selected. Glass: LoE-272 with Argon. Hardware Finish: Standard. Jamb Extension: Provide jamb extension for 6" wood stud at new construction walls. Verify all sizes in field prior to placing order.	02	Single (Frame Size 2'-4"w x 4'-8"h)	DOUBLE HUNG	Bath1 & Bed1 - (3)locations
	03	Single (Frame Size 2'-8" x 5'-2")	CASEMENT	Bed1 - (1)location - include check rail to mimic dbl hung Meet egress - 5.7 sf Tempered labeled glass
	04	Single (Frame Size 2'-8" x 4'-8")	DOUBLE HUNG	4-Season - (1)location Tempered labeled glass
	05	Single (Frame Size 2'-8" x 4'-8")	DOUBLE HUNG	4-Season - (5)locations
	06	Single (Frame Size 2'-0"w x 4'-8"h)	DOUBLE HUNG	Kitchen - (2)locations
	11	Swing Door (3'-0" x 6'-8")	Swing Door	Kitchen door - 3/4-light Tempered labeled glass
	12	Swing Door (3'-0" x 6'-8")	Swing Door	4-Season room door - 3/4-light Tempered labeled glass

ADDITION EXTERIOR MATERIALS		
Body:	HardiLap or LP Lap siding, smooth w/ 4" exposure. Paint in field to match existing siding.	Roof: Asphalt shingle roofing; Slateline to match existing.
Trim: (LP)	Corner Trim 5/4 x 5-1/2" smooth. Casing 5/4 x 7-1/4" tapered at head, 5/4 x 3-1/2 jambos, historic sill, Fascia 5/4 x 7-1/4, smooth.	Gutter: 5" aluminum ogee gutter & 3" downspouts.
Soffit:	Aluminum soffit system, smooth w/ hidden venting.	Window: New construction windows to be Marvin Elevate double hung (fiberglass exterior, wood interior).
		Door: ThermaTru Smooth-Star S2100 (1/2-light door w/ 1-panel below). Paint in field.
		Foundation: Split-face concrete masonry units above grade; buff color.
		Landing: Landing and steps at addition rear door to be stone treads & risers. Guardrail to be Timbertech Radiance Rail; 36" height.
		Column: 6x6 treated post wrapped with 3/4 x 7-1/4" LP Smartside trim. 4/4 x 9-1/4" base trim w/ chamfered top edge, 4/4 x 3-1/2 top trim.



E5 NORTH ELEVATION - EXISTING  
SCALE: 3/16" = 1'-0"



A5 NORTH ELEVATION - NEW WORK  
SCALE: 3/16" = 1'-0"

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EXTERIOR  
ELEVATIONS

sheet number

A3.2

WINDOW & DOOR SCHEDULE	#	NOMENCLATURE	OPERATION	NOTES
689 HARTFORD STREET	01	Single (Frame Size 2'-4"w x 4'-8"h)	DOUBLE HUNG	Kitchen - (2)locations
New Construction Windows to be Marvin Elevate (wood interior & fiberglass exterior).	02	Single (Frame Size 2'-4"w x 4'-8"h)	DOUBLE HUNG	Bath1 & Bed1 - (3)locations
New Construction Doors to be ThermaTru.	03	Single (Frame Size 2'-8" x 5'-2")	CASEMENT	Bed1 - (1)location - include check rail to mimic dbl hung
Exterior & Interior Color: owner selected.	04	Single (Frame Size 2'-8" x 4'-8")	DOUBLE HUNG	Meet egress - 5.7 sf    Tempered labeled glass
Glass: LoE-272 with Argon.	05	Single (Frame Size 2'-8" x 4'-8")	DOUBLE HUNG	4-Season - (1)location    Tempered labeled glass
Hardware Finish: Standard.	06	Single (Frame Size 2'-0"w x 4'-8"h)	DOUBLE HUNG	4-Season - (5)locations
Jamb Extension: Provide jamb extension for 6" wood stud at new construction walls.	11	Swing Door (3'-0" x 6'-8")	Swing Door	Kitchen door - 3/4-light
Verify all sizes in field prior to placing order.	12	Swing Door (3'-0" x 6'-8")	Swing Door	Tempered labeled glass
				4-Season room door - 3/4-light
				Tempered labeled glass

ADDITION EXTERIOR MATERIALS			
Body:	HardiLap or LP Lap siding, smooth w/ 4" exposure. Paint in field to match existing siding.	Roof:	Asphalt shingle roofing; Slateline to match existing.
Trim: (LP)	Corner Trim 5/4 x 5-1/2" smooth. Casing 5/4 x 7-1/4" tapered at head, 5/4 x 3-1/2 jamb, historic sill, Fascia 5/4 x 7-1/4, smooth.	Gutter:	5" aluminum ogee gutter & 3" downspouts.
Soffit:	Aluminum soffit system, smooth w/ hidden venting.	Window:	New construction windows to be Marvin Elevate double hung (fiberglass exterior, wood interior).
		Doors:	ThermaTru Smooth-Star S2100 (1/2-light door w/ 1-panel below). Paint in field.
		Foundation:	Split-face concrete masonry units above grade; buff color.
		Landing:	Landing and steps at addition rear door to be stone treads & risers. Guardrail to be Timbertech Radiance Rail; 36" height.
		Column:	6x6 treated post wrapped with 3/4 x 7-1/4" LP Smartside trim. 4/4 x 9-1/4" base trim w/ chamfered top edge, 4/4 x 3-1/2 top trim.



E5 SOUTH ELEVATION - EXISTING  
SCALE: 3/16" = 1'-0"



A5 SOUTH ELEVATION - NEW WORK  
SCALE: 3/16" = 1'-0"

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project number 689 HS

sheet title

EXTERIOR  
ELEVATIONS

sheet number

A3.3



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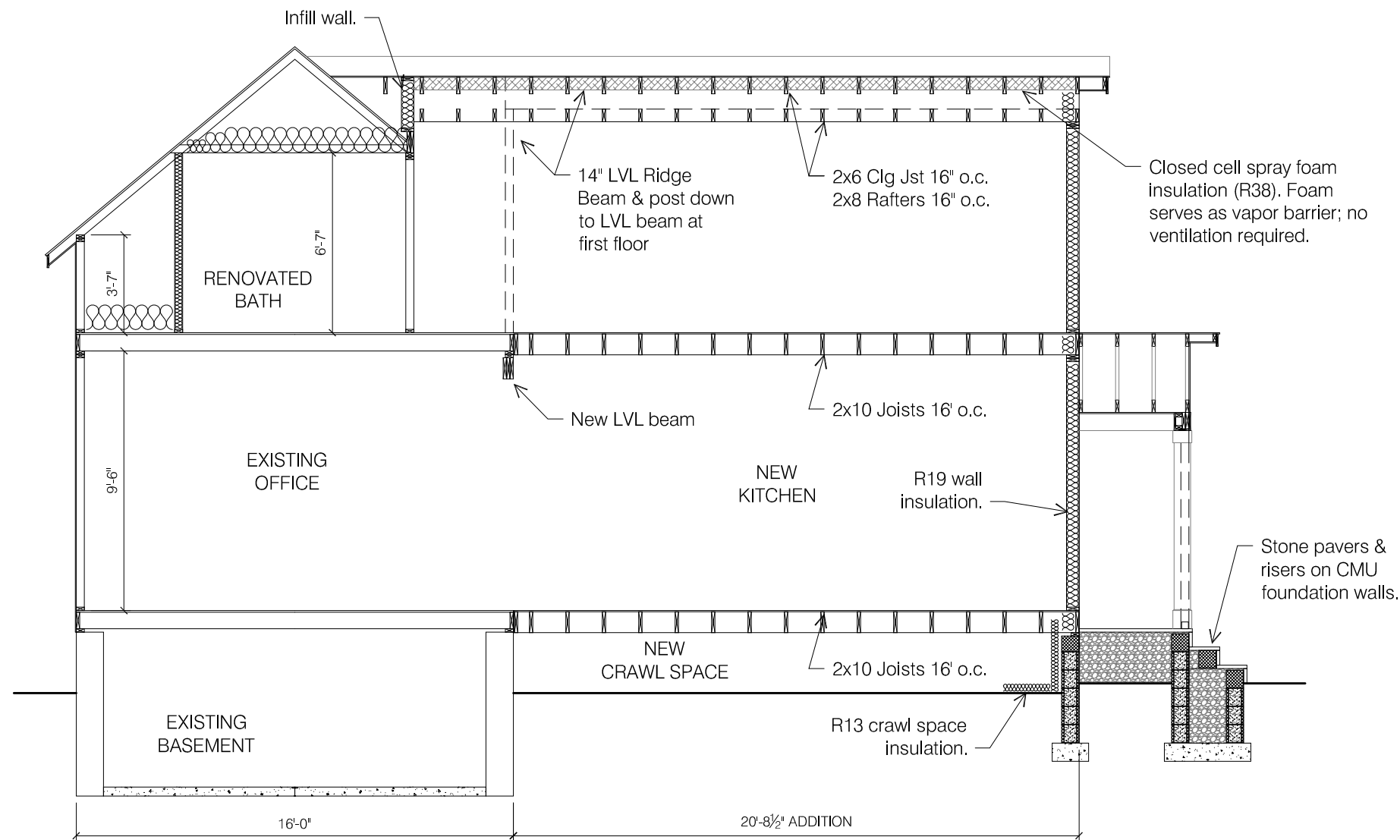
Fireblocking shall be provided in wood frame construction in the following locations:

1. In concealed spaces of stud walls and partitions, including furred spaces and parallel rows of studs or staggered studs, as follows:
  - 1.1. Vertically at the ceiling and floor levels.
  - 1.2. Horizontal at intervals not exceeding 10 feet.
2. At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings, and cove ceilings.
3. In concealed spaces between stair stringers at the top and bottom of the run. Enclosed spaces under stairs shall comply with Section 302.7.
4. At openings around vents, pipes, ducts, cables, and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion. The material filling this annular space shall not be required to meet the ASTM E136 requirements.
5. For the fireblocking of chimneys and fireplaces, see Section 1003.19.
6. In buildings or structures with more than one dwelling, fireblocking of cornices is required at the line of dwelling unit separation.

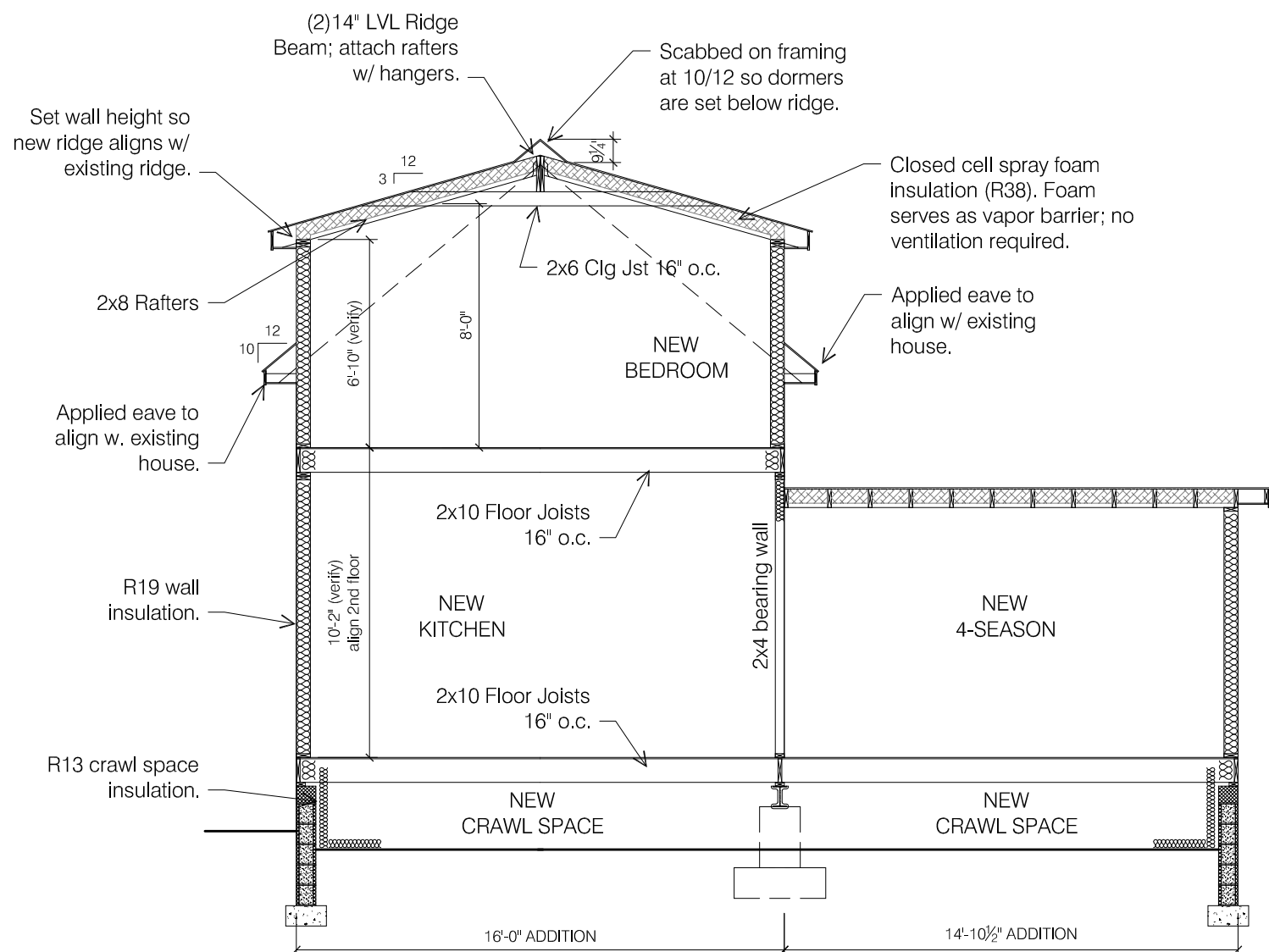
Fire blocking materials:

1. Two-inch nominal lumber.
2. Two thicknesses of 1-inch nominal lumber with broken lap joints.
3. One thickness of 23/32-inch wood structural panels with joints backed by 23/32-inch wood structural panels.
4. One thickness of 1/4-inch particleboard with joints backed by 1/4-inch particleboard.
5. One-half-inch gypsum board.

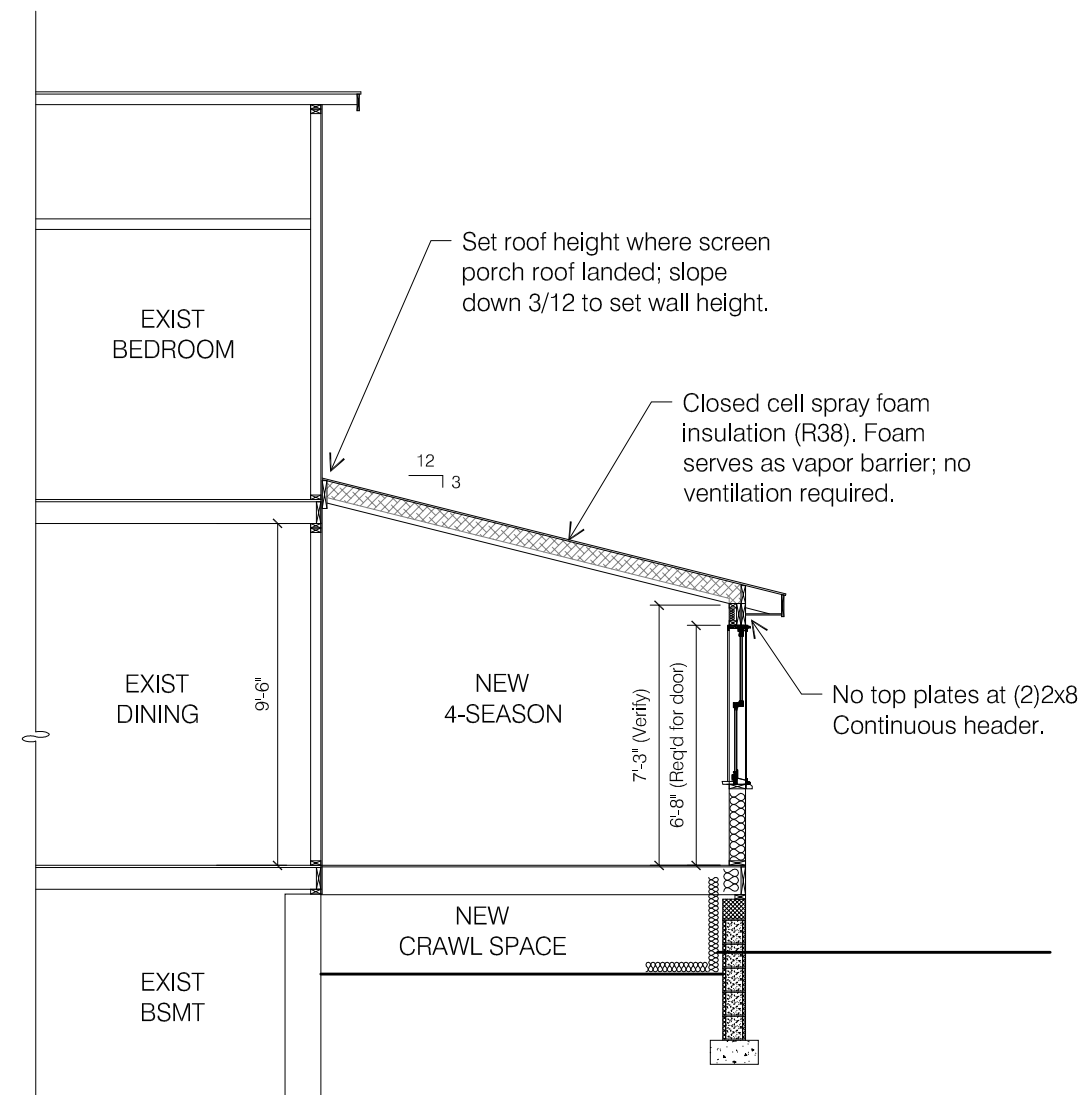
## A FIREBLOCKING REQUIREMENTS NOT TO SCALE



## 1 LONGITUDINAL SECTION SCALE: 3/16" = 1'-0"



## 2 CROSS SECTION SCALE: 3/16" = 1'-0"



## 3 SECTION AT 4-SEASON SCALE: 3/16" = 1'-0"

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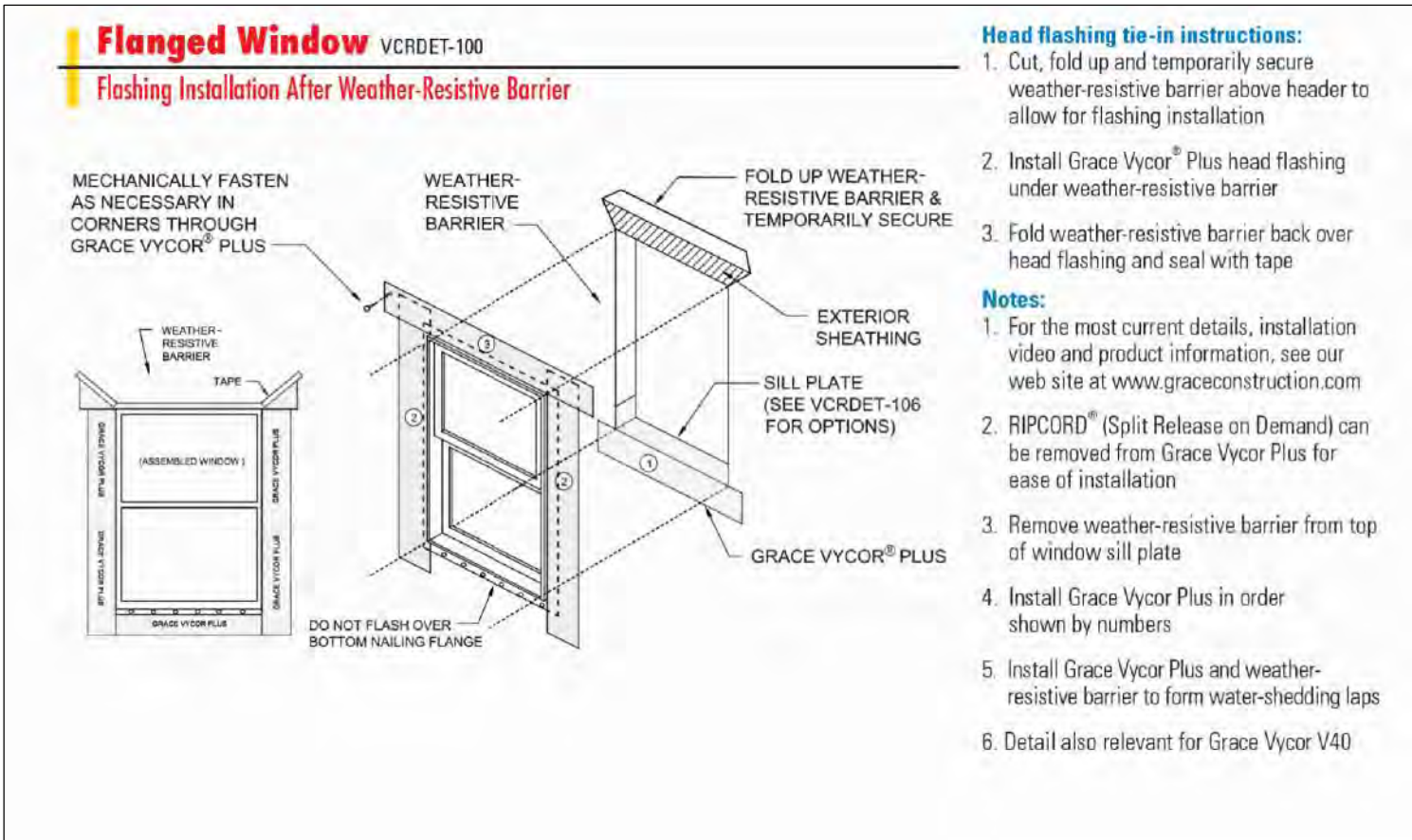
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# OVERALL SECTIONS

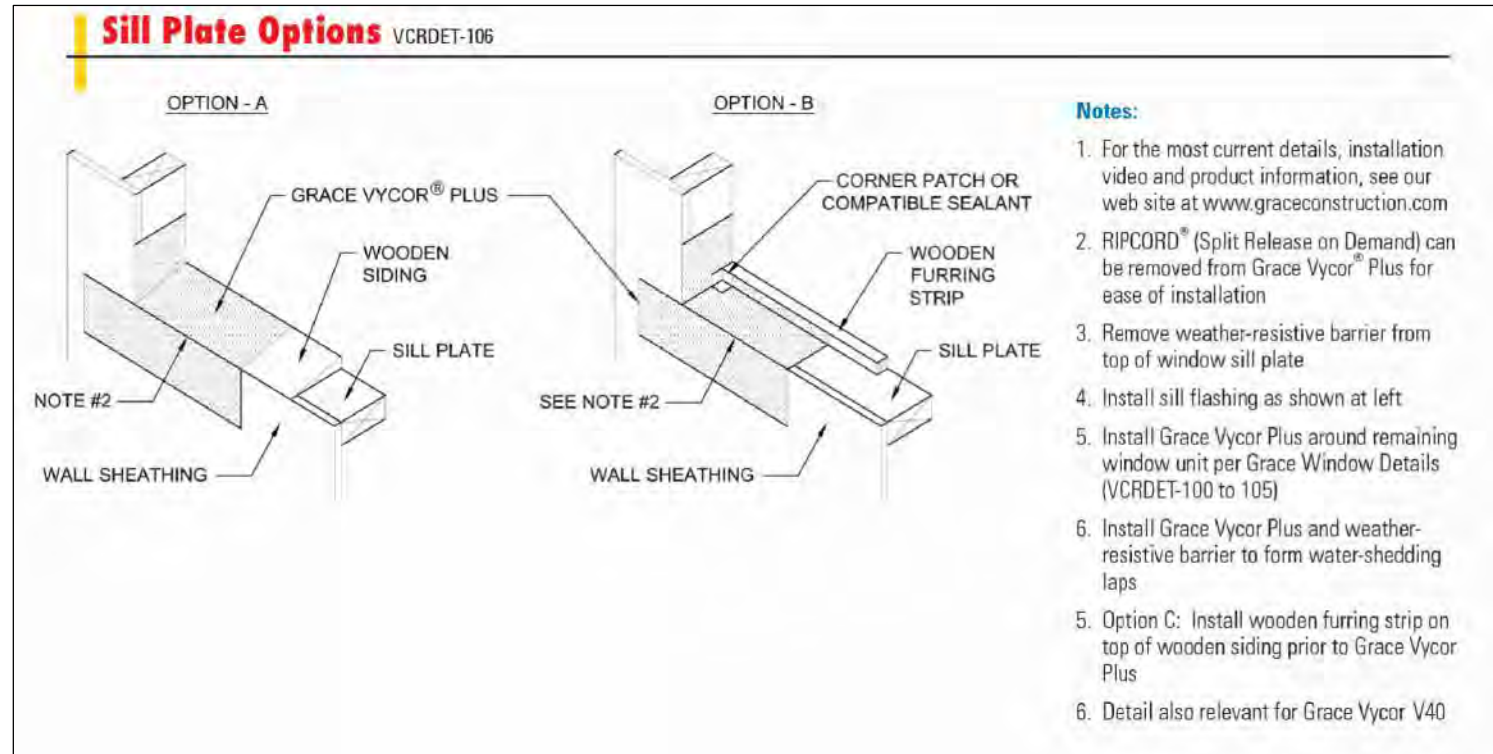
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# A4.1

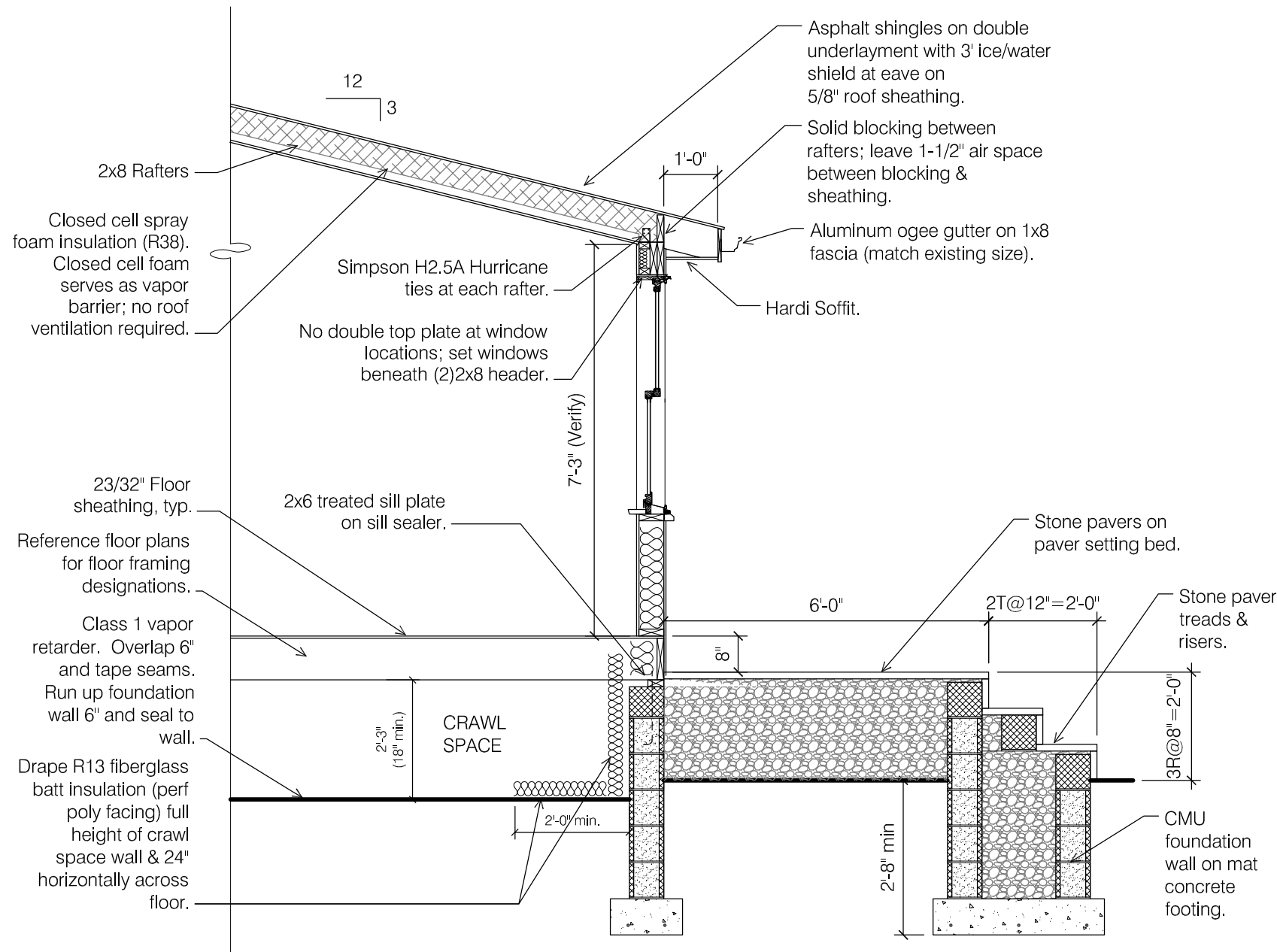




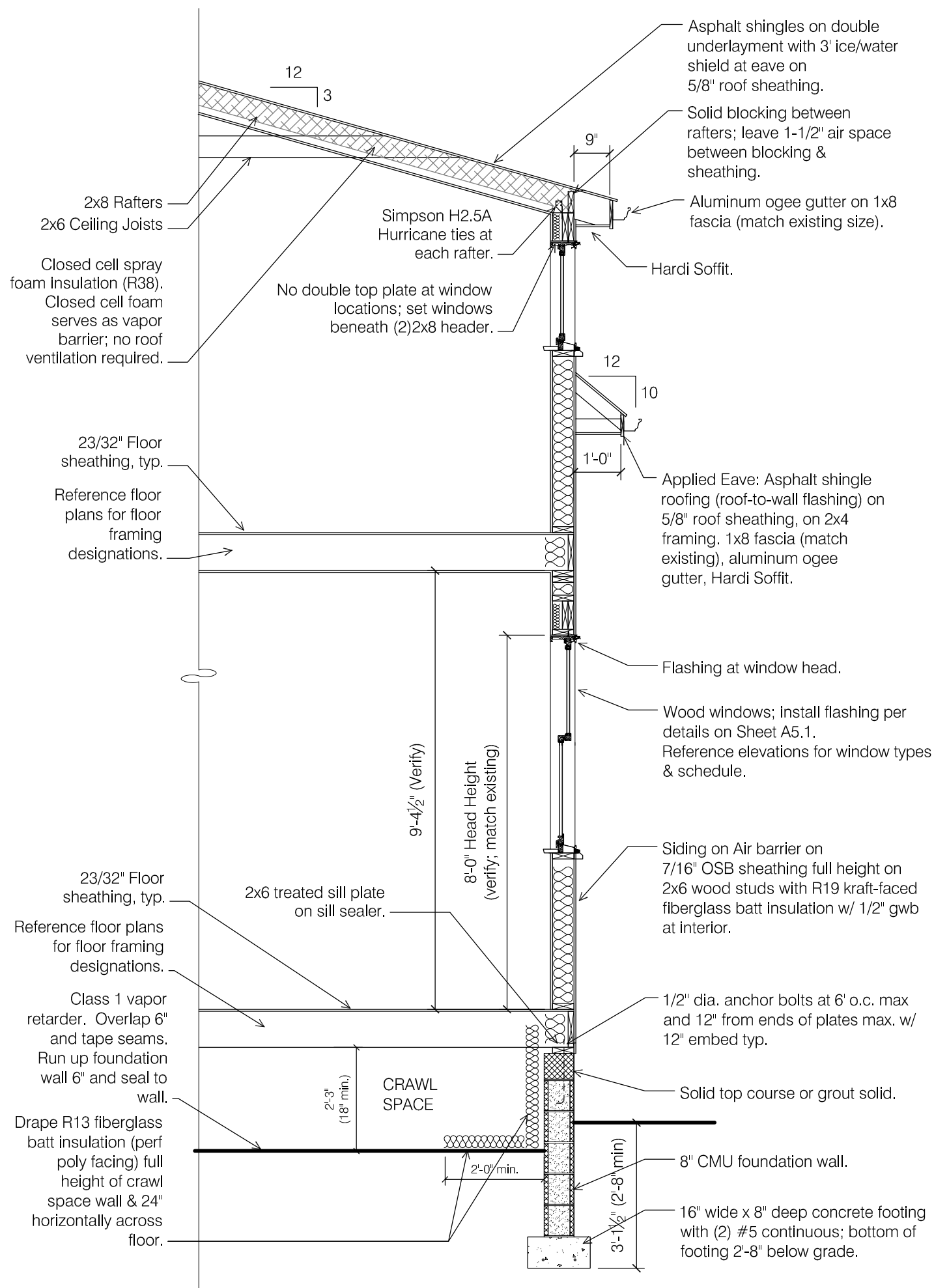
**A** STANDARD WINDOW FLASHING DETAIL  
NOT TO SCALE



**B** STANDARD SILL FLASHING DETAIL  
NOT TO SCALE



**1** WALL SECTION AT 4-SEASON  
SCALE: 3/8" = 1'-0"



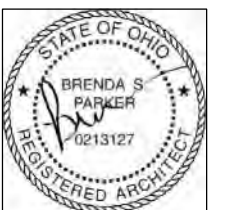
**2** WALL SECTION AT ADDITION  
SCALE: 3/8" = 1'-0"

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project number 689 HS

sheet title

**WALL  
SECTIONS**

sheet number

**A5.1**



TYPICAL FINISH NOTES

Coded Notes:

- ① New single rod & shelf.  
② New double rod & shelf.  
③ Painted wood shelves (18" dp) 18" o.c.

Paint:

All walls to be primed & painted, latex eggshell.  
All trim to be primed & painted, alkyd, satin.  
All doors to be painted, alkyd, satin.  
All windows to be painted, alkyd, satin.

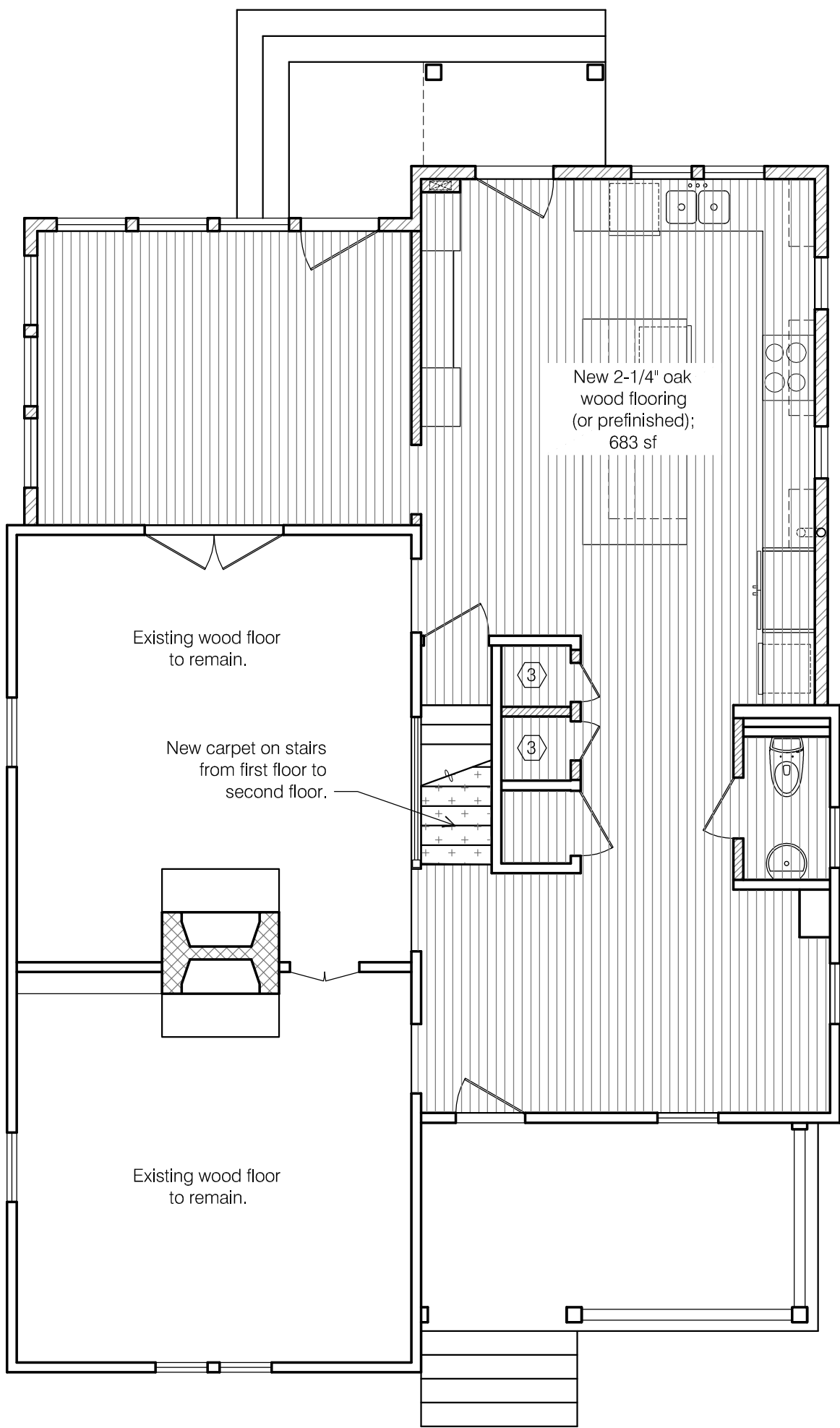
Millwork:

Doors: Solid core, four-panel vertical; paint finish; oil-rubbed bronze hinges; oil-rubbed bronze knobs.  
Base: Single-piece finger-jointed poplar; 8.5" overall height (match existing; have knife made if necessary).  
Casing: Finger-jointed poplar; 5" jambs, 5" head with 5" corner blocks (match existing; have knife made if necessary). Sill & apron at windows.

CEILING LEGEND

- Hatch indicates new 1/2" GWB ceiling, smooth finish, paint latex flat.  
Hatch indicates new Paulownia bead board ceiling; stained.  
Dashed line indicates location of 2-piece crown moulding; similar to dining room.

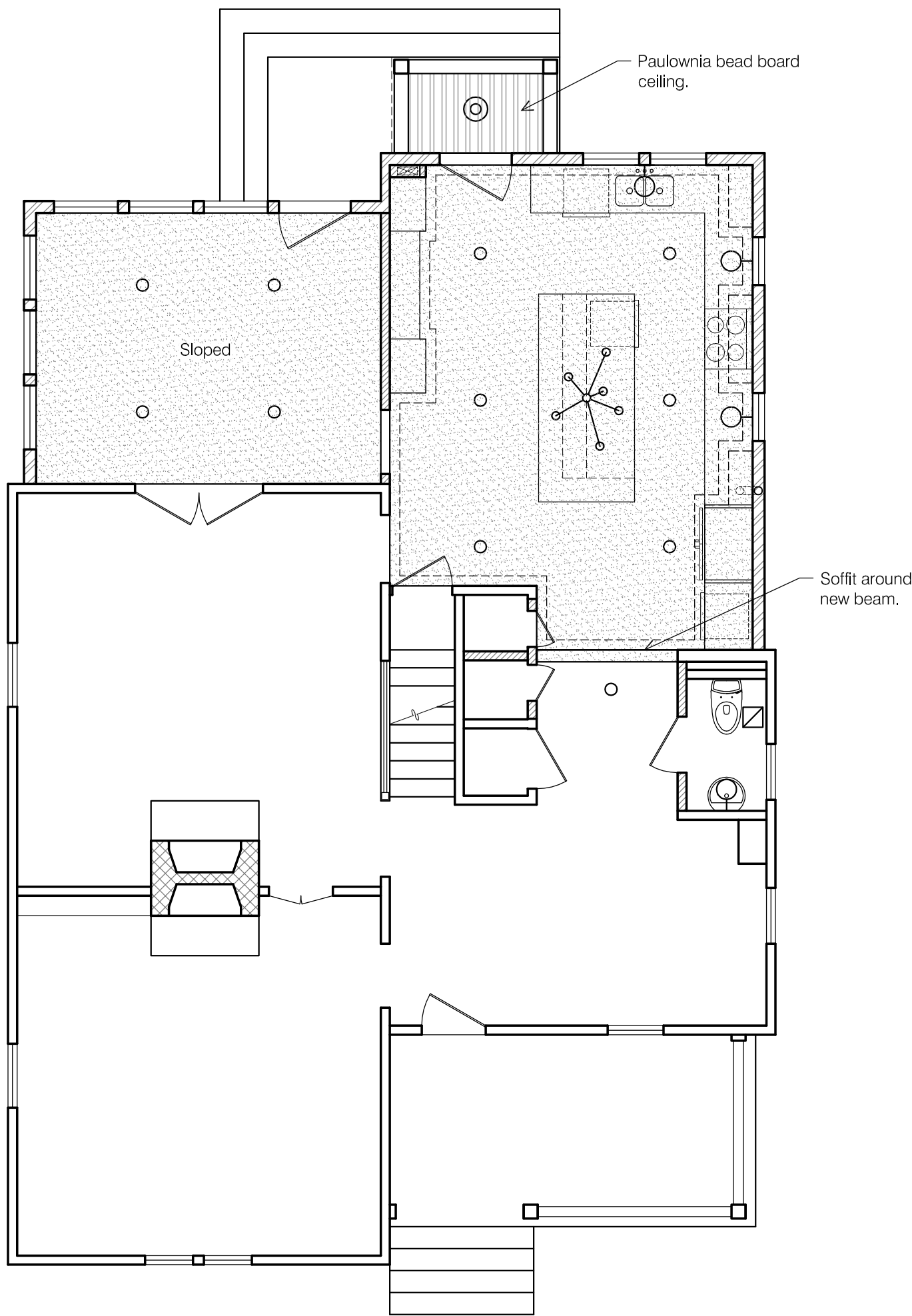
- Sconce light.  
○ 6" LED recessed light.  
⊙ Decorative pendant.  
⊠ Exhaust fan.



A2

FIRST FLOOR FINISH PLAN

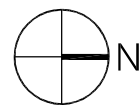
SCALE: 3/16" = 1'-0"



A8

FIRST FLOOR CEILING PLAN

SCALE: 3/16" = 1'-0"



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Project number 689 HS  
Sheet title

FIRST FLOOR  
FINISH PLANS

sheet number

A6.1

Owner:  
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TYPICAL FINISH NOTES

Coded Notes:

- ① New single rod & shelf.  
② New double rod & shelf.  
③ Painted wood shelves (18" dp) 18" o.c.

Paint:

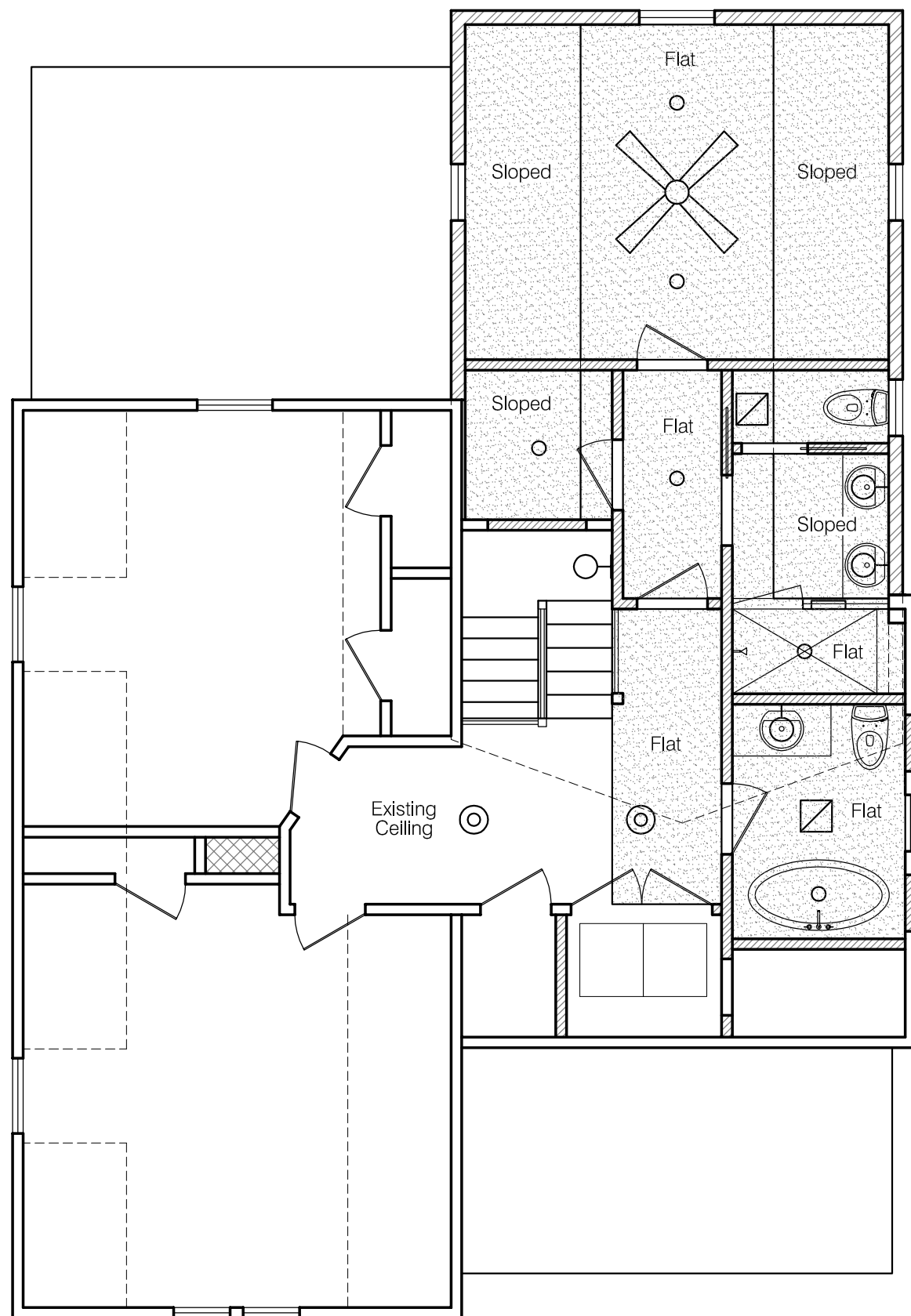
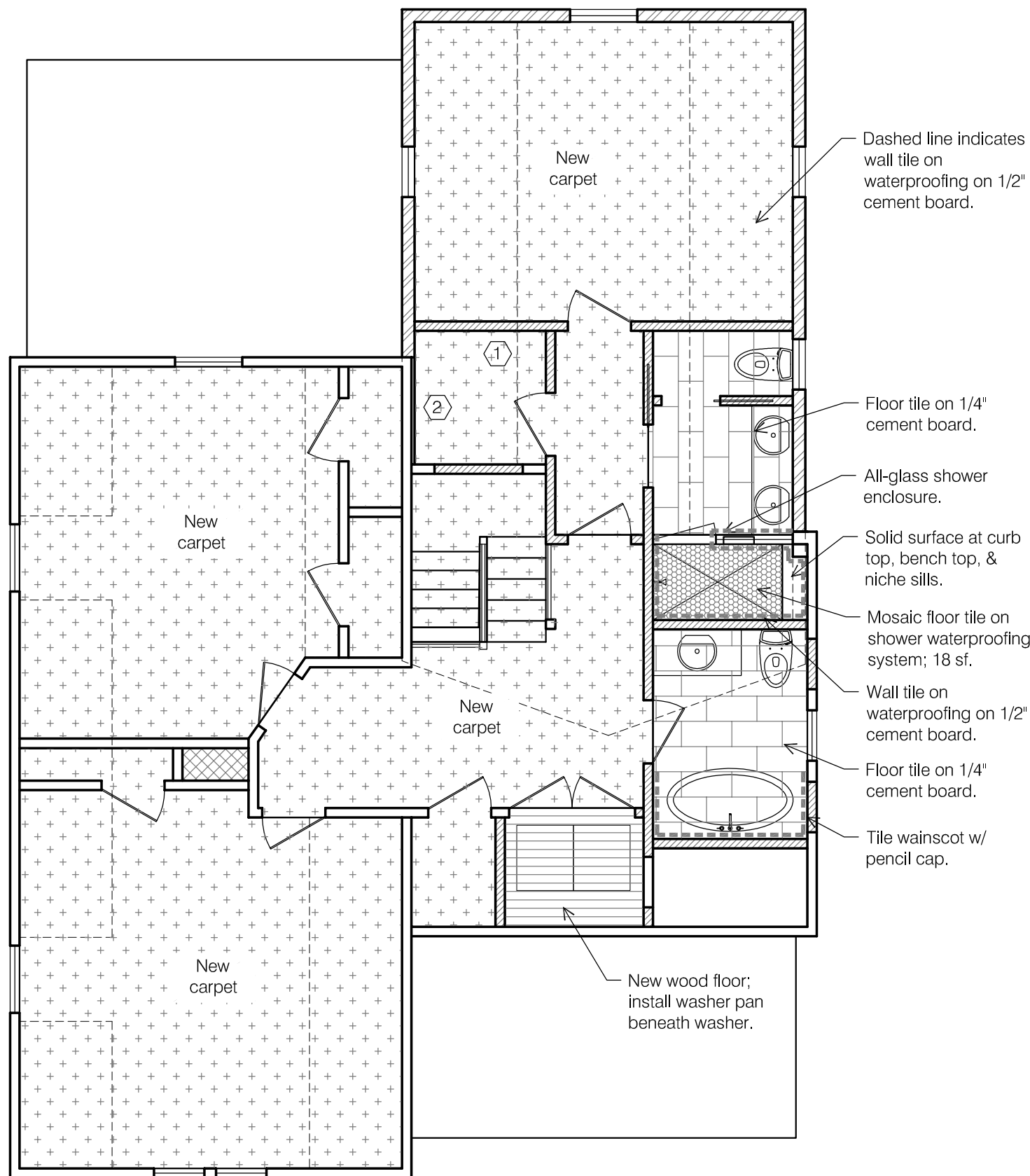
All walls to be primed & painted, latex eggshell.  
All trim to be primed & painted, alkyd, satin.  
All doors to be painted, alkyd, satin.  
All windows to be painted, alkyd, satin.

Millwork:

Doors: Solid core, four-panel vertical; paint finish;  
oil-rubbed bronze hinges; oil-rubbed bronze knobs.  
Base: Single-piece finger-jointed poplar; 8.5" overall  
height (match existing; have knife made if necessary).  
Casing: Finger-jointed poplar; 5" jambs, 5" head with  
5" corner blocks (match existing; have knife made if  
necessary). Sill & apron at windows.

CEILING LEGEND

- Hatch indicates new 1/2" GWB ceiling, smooth finish, paint latex flat.  
Hatch indicates new Paulownia bead board ceiling; stained.  
Dashed line indicates location of 2-piece crown moulding; similar to dining room.  
Sconce light.  
6" LED recessed light.  
Decorative pendant.  
Exhaust fan.



A2 SECOND FLOOR FINISH PLAN  
SCALE: 3/16" = 1'-0"

A8 SECOND FLOOR CEILING PLAN  
SCALE: 3/16" = 1'-0"



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Project number 689 HS  
Sheet title

SECOND FLOOR  
FINISH PLANS

sheet number

A6.2

Owner:  
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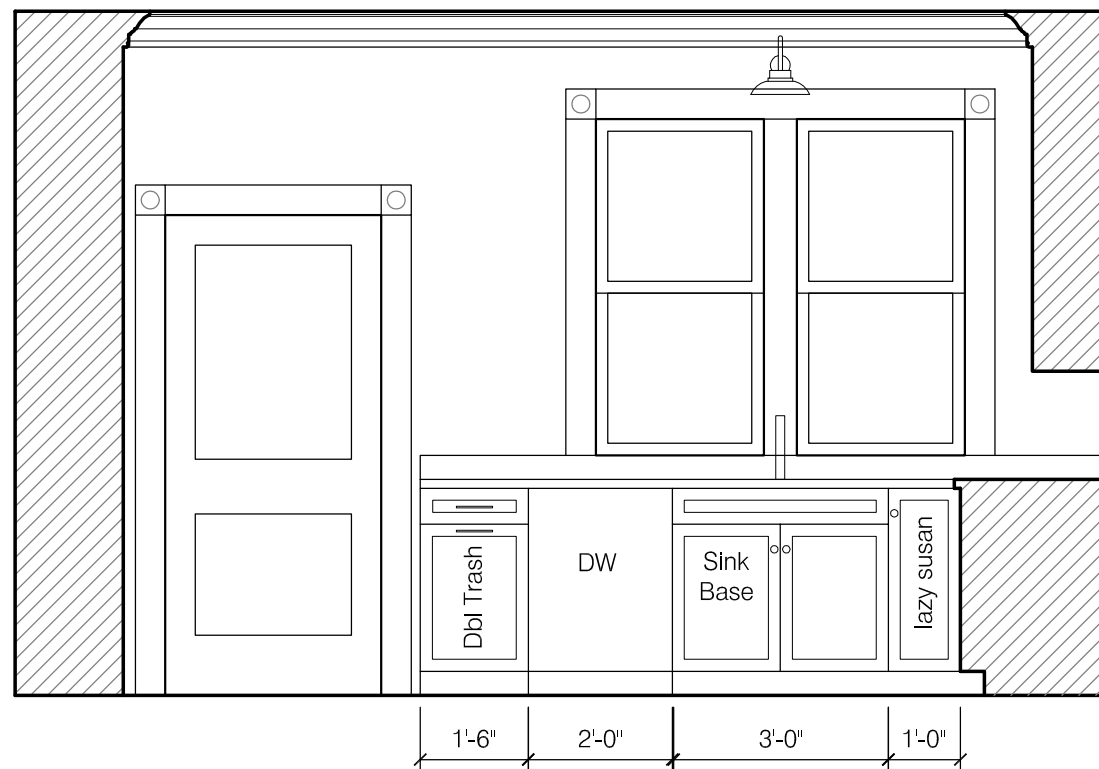
689 HS

Sheet title

INTERIOR  
ELEVATIONS

sheet number

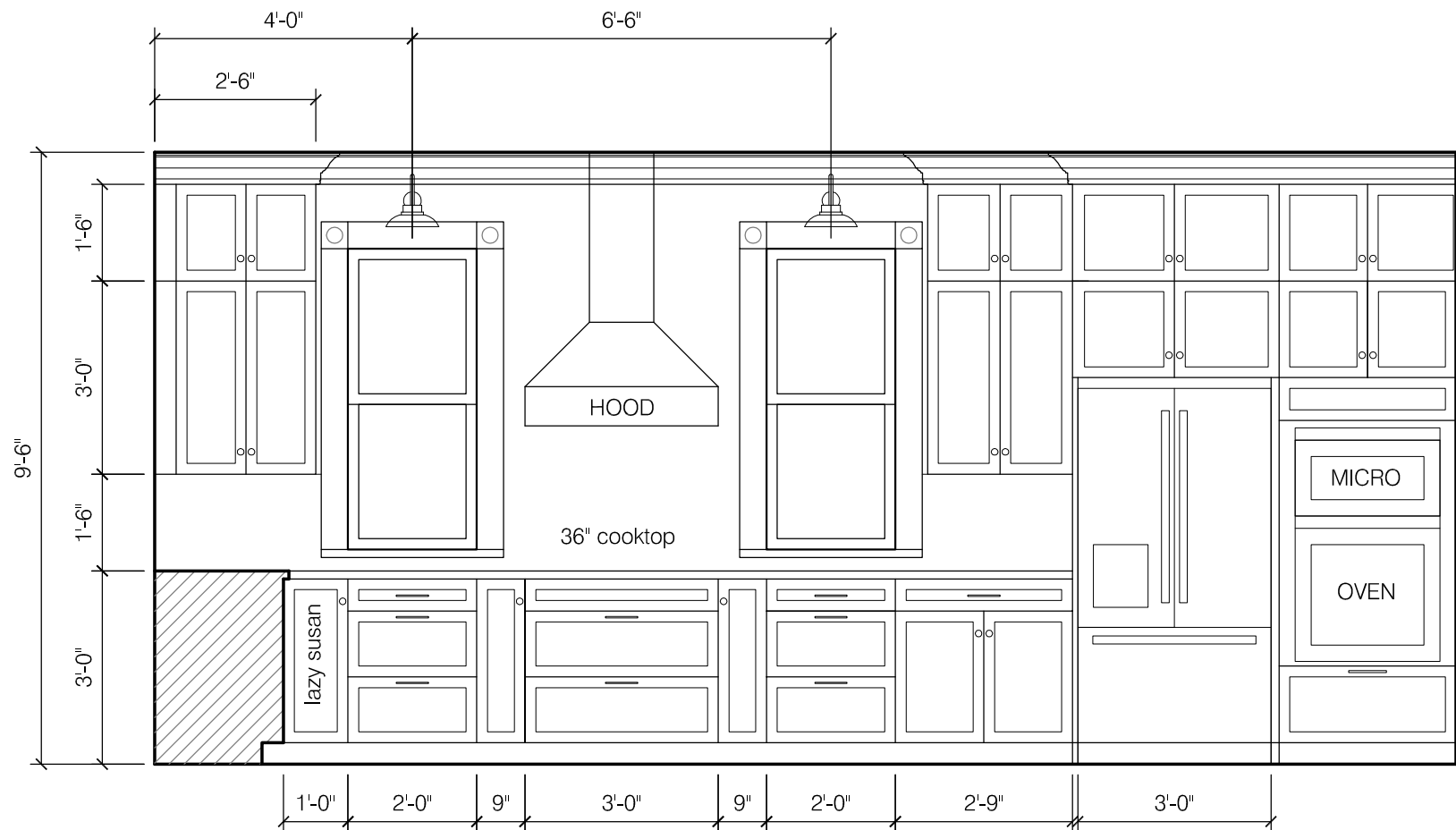
A7.1



1

KITCHEN WEST ELEVATION

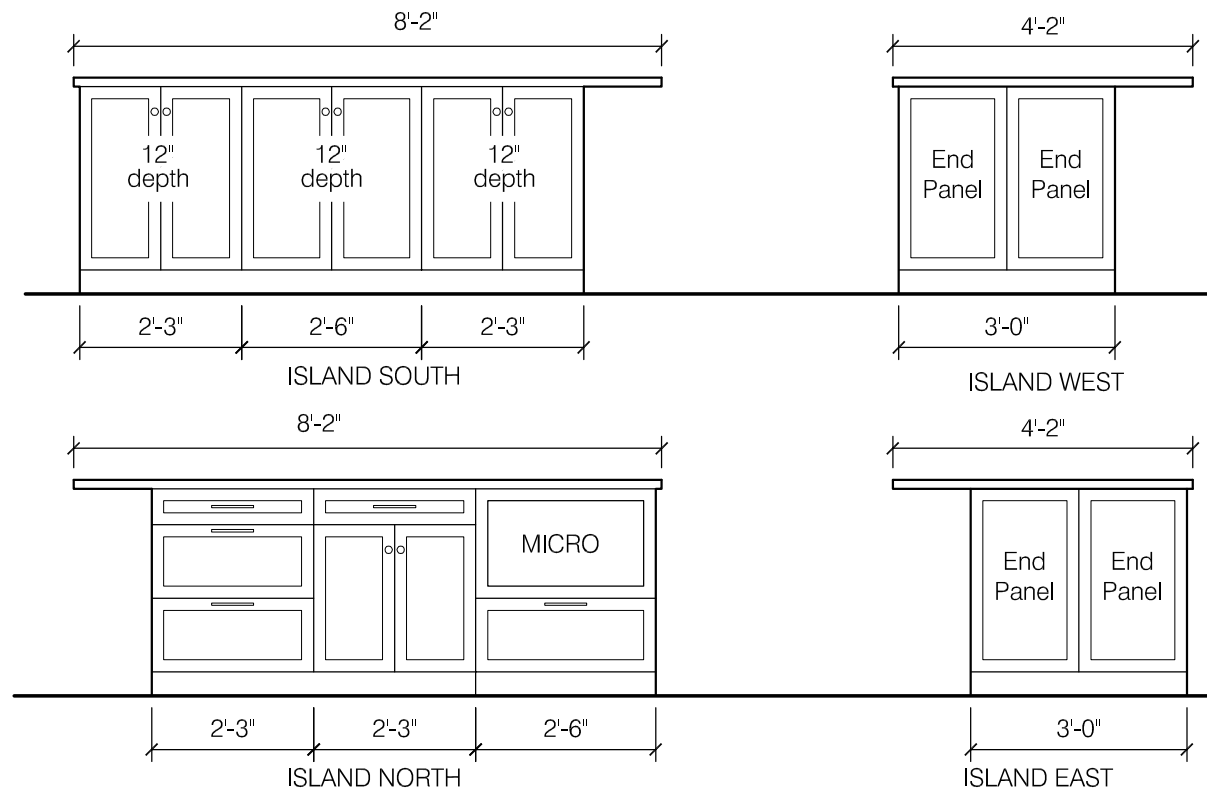
SCALE: 3/8" = 1'-0"



2

KITCHEN NORTH ELEVATION

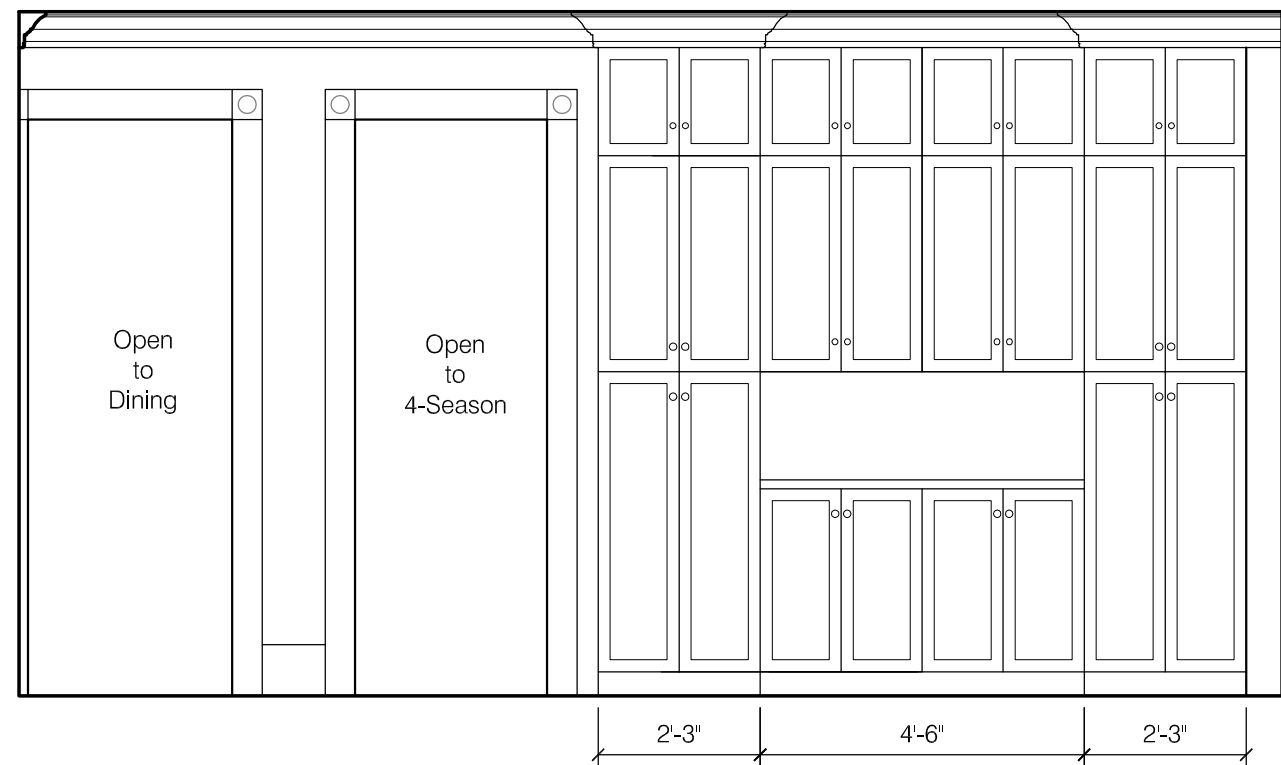
SCALE: 3/8" = 1'-0"



3

KITCHEN ISLAND ELEVATIONS

SCALE: 3/8" = 1'-0"



4

KITCHEN SOUTH ELEVATION

SCALE: 3/8" = 1'-0"



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project number  
sheet title

BASEMENT  
MEP PLANS

sheet number

MEP.0

ELECTRIC LEGEND



Carbon monoxide detector.  
Dual sensing photoelectric and ionization smoke detector. Hard-wired with battery backup. All detectors to be interconnected.



Electric switch.



Electric switch with dimmer.



Electric outlet; height as indicated.



Electric outlet with ground fault circuit interrupter; height as indicated.



Wall sconce light.



LED recessed light.



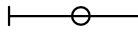
Pendant light.



Exhaust fan.



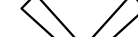
Exhaust fan w/ light.



LED utility light.



Undercabinet light.



Ceiling fan.

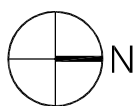
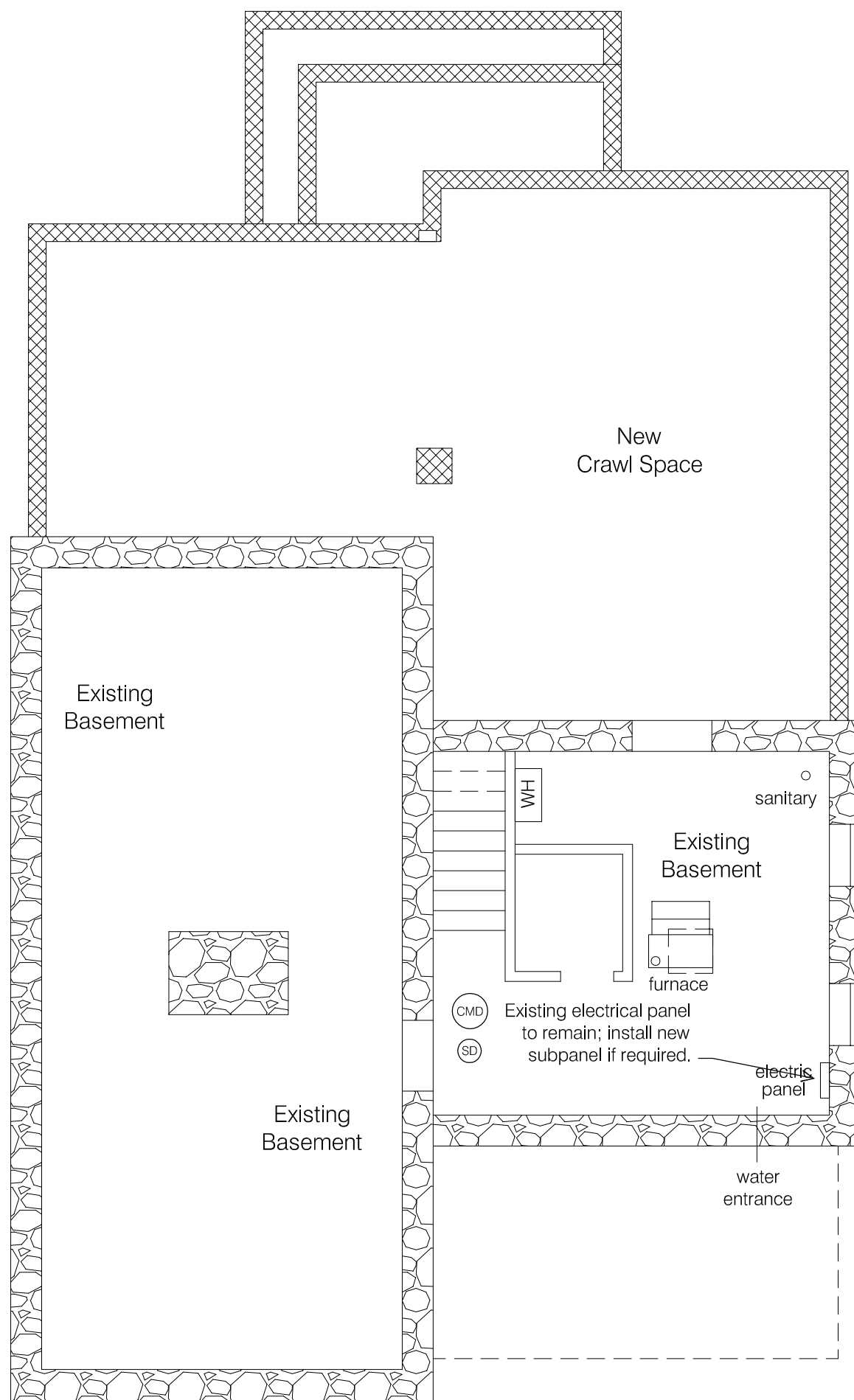
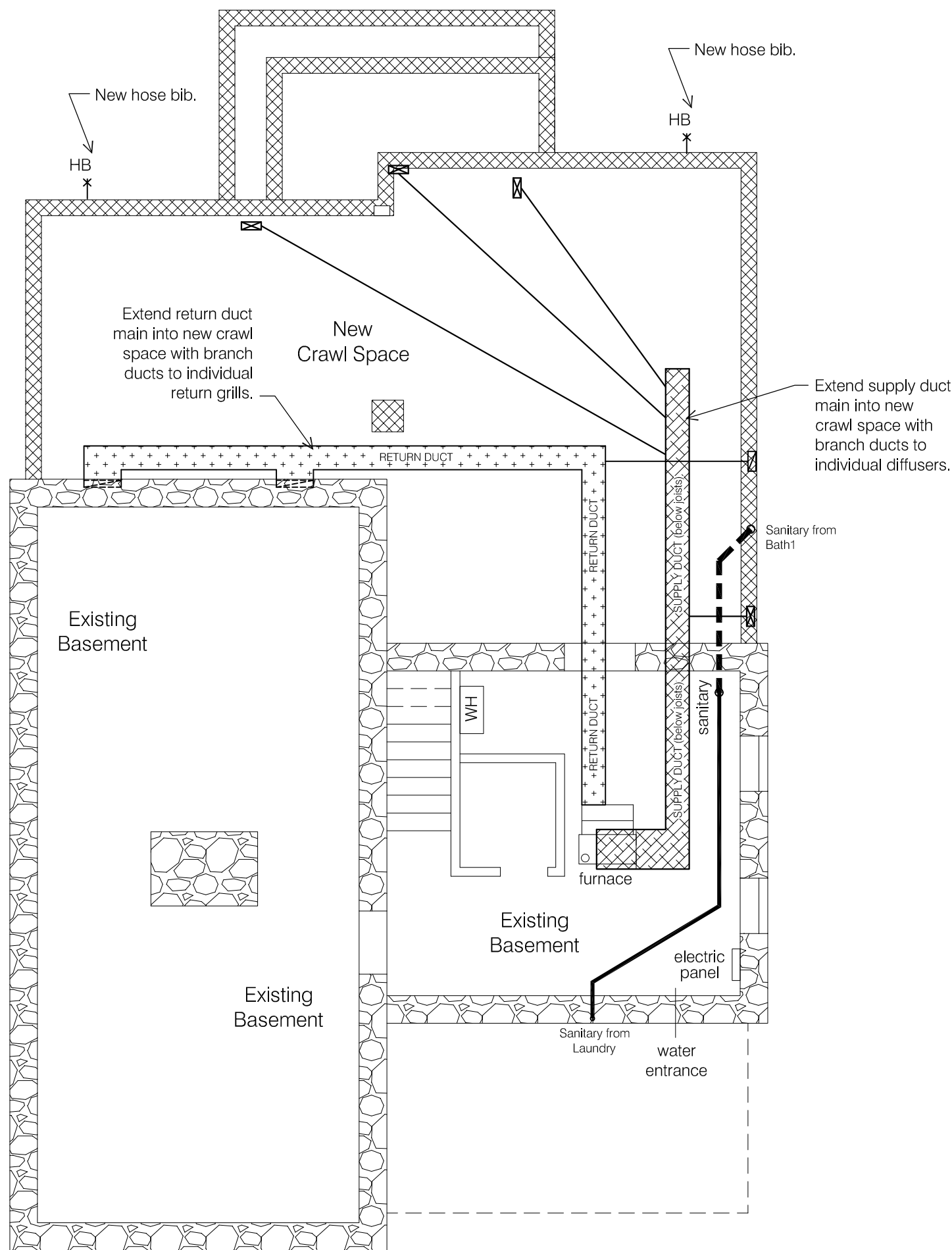


Pendant light.

Note: Electric installation to comply with current version of NEC.

Note: 120 volt AFCI Protected Receptacle Outlets are required at the following locations: Bedrooms, Living Rooms, Dining Rooms, Rec Rooms, Hallways, Kitchens, Laundry Rooms.

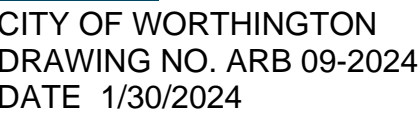
Note: Electrical contractor to determine best method for re-configuring power & lighting. Information shown on the drawings indicates the desired end solution.



Worthington, Ohio 43085

Architect:  
Brenda Parker  
The Columbus Architectural Studio  
405 N Front Street  
Columbus, Ohio 43215  
t: 614.586.5514  
brenda.parker@cbusarch.com

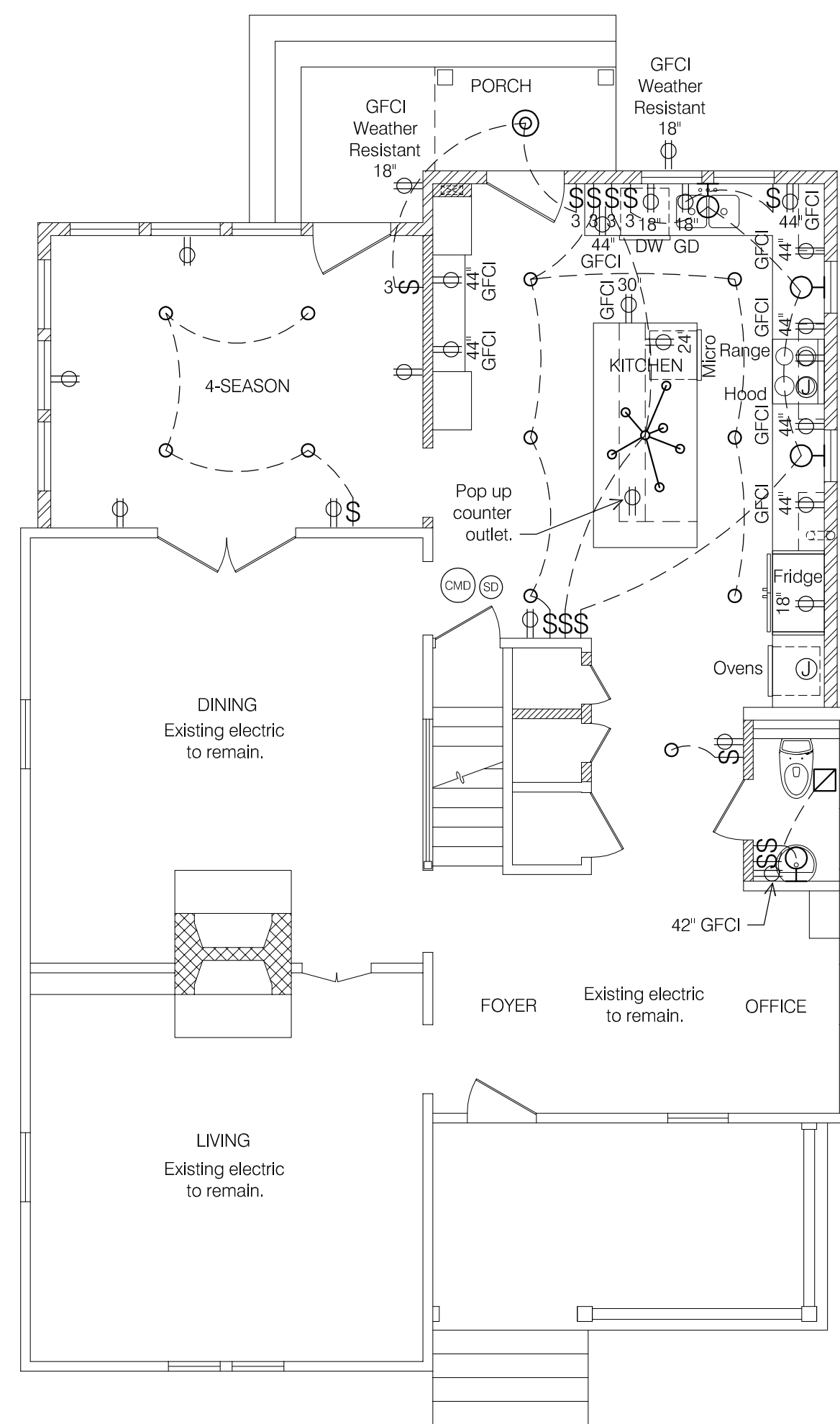
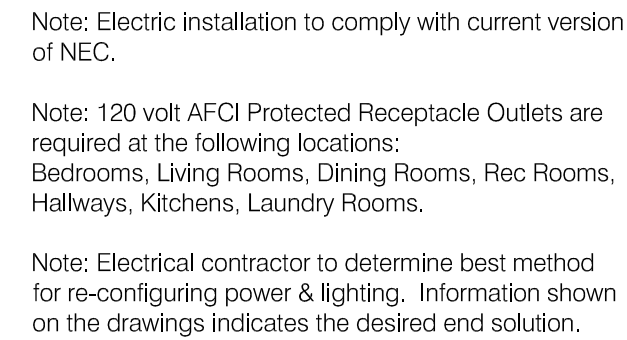
key plan



sheet title

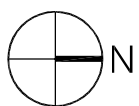
# FIRST FLOOR MEP PLANS

# MEP.1



**FIRST FLOOR ELECTRIC PLAN**

SCALE: 3/16" = 1'-0"



Owner:  
Donald Mutti  
689 Hartford Street  
Worthington, Ohio 43085

Architect:  
Brenda Parker  
The Columbus Architectural Studio  
405 N Front Street  
Columbus, Ohio 43215  
t: 614.586.5514  
brenda.parker@cbusarch.com

seal/signature



rev. date description

key plan



CITY OF WORTHINGTON  
DRAWING NO. ARB 09-2024  
DATE 1/30/2024

issue date January 27, 2024  
phase  
issued for Permit Set  
project number 689 HS  
sheet title

SECOND FLOOR  
MEP PLANS

sheet number

MEP.2

ELECTRIC LEGEND



Carbon monoxide detector.



Dual sensing photoelectric and ionization smoke detector.  
Hard-wired with battery backup.  
All detectors to be interconnected.



Electric switch.



Electric switch with dimmer.



Electric outlet; height as indicated.



Electric outlet with ground fault circuit interrupter; height as indicated.



Wall sconce light.



LED recessed light.



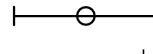
Pendant light.



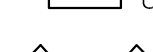
Exhaust fan.



Exhaust fan w/ light.



LED utility light.



Undercabinet light.



Ceiling fan.

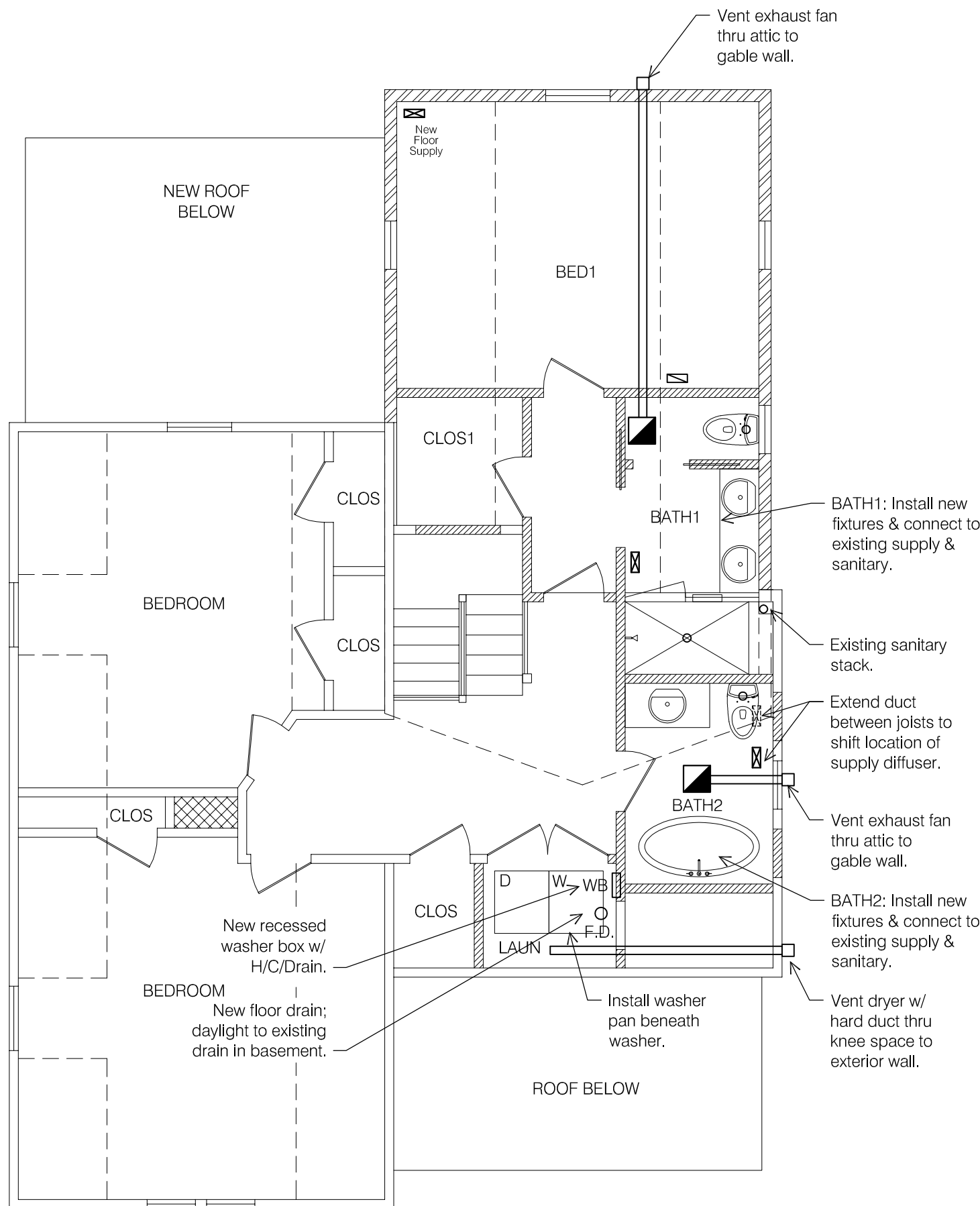


Pendant light.

Note: Electric installation to comply with current version of NEC.

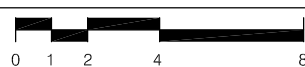
Note: 120 volt AFCI Protected Receptacle Outlets are required at the following locations:  
Bedrooms, Living Rooms, Dining Rooms, Rec Rooms, Hallways, Kitchens, Laundry Rooms.

Note: Electrical contractor to determine best method for re-configuring power & lighting. Information shown on the drawings indicates the desired end solution.

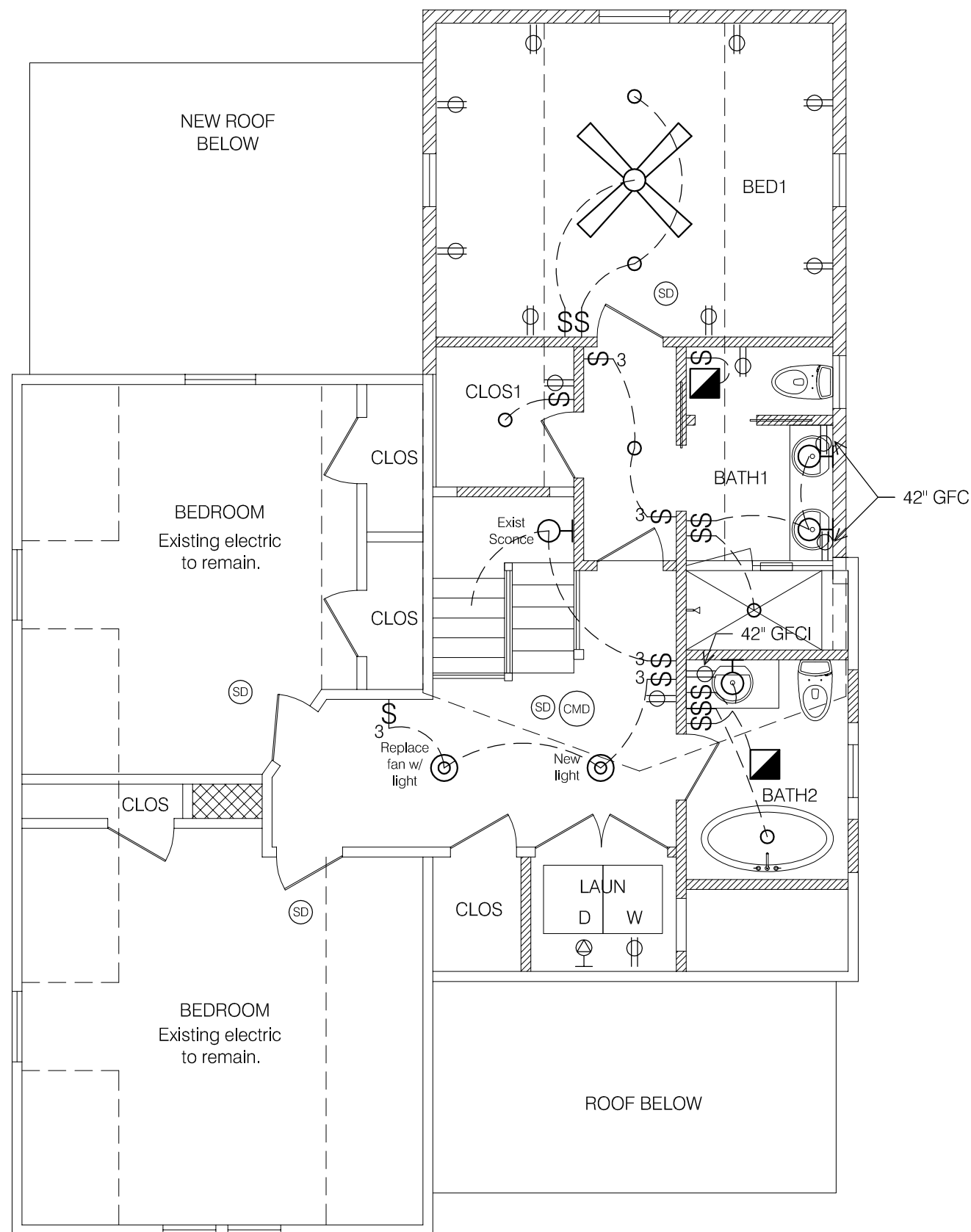


A2

SECOND FLOOR HVAC/PLUMBING PLAN

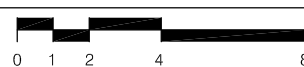


SCALE: 3/16" = 1'-0"

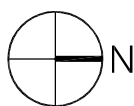


A7

SECOND FLOOR ELECTRIC PLAN



SCALE: 3/16" = 1'-0"





**ARB APPLICATION**  
**ARB 10-2024**  
**700 E. Granville Rd.**

**Plan Type:** Architectural Review Board      **Project:**      **App Date:** 02/07/2024  
**Work Class:** Certificate of Appropriateness      **District:** City of Worthington  
**Status:** In Review  
**Valuation:** \$179,000.00  
**Description:** New Electrical Service for EV Charging Stations

<b>Parcel:</b> 100-002127	Main	<b>Address:</b> 700 E Dublin-Granville Rd	Main	<b>Zone:</b>
		Worthington, OH 43229		

Owner	Applicant
Steven SALTZ	Scott N Lidle
Home: (614) 321-7255	7099 Huntley Road
Business: (614) 321-7255	Worthington, OH 43229
Mobile: (248) 298-9280	Business: 4403826027

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00005157	Architectural Review Board	\$179.00	\$179.00
Total for Invoice INV-00005157		\$179.00	\$179.00
Grand Total for Plan		\$179.00	\$179.00



# 700 E. Granville Rd.



10/16/2023 10:23 AM

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## LIST OF DRAWINGS

### SHEET NO. SHEET TITLE

#### GENERAL

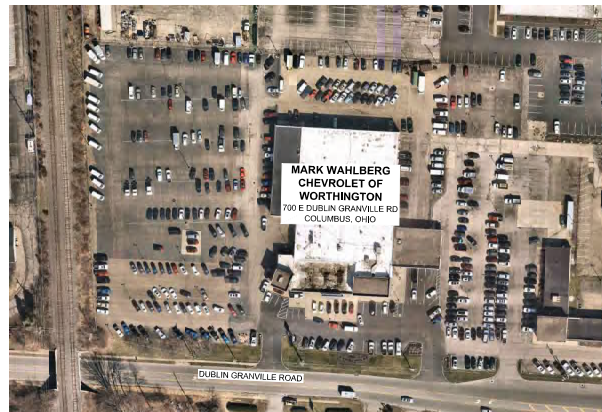
COVER	COVER SHEET, LOCATION PLAN
G-1	GENERAL NOTES, SPECIFICATIONS, AND LEGEND
G-2	CIVIL CONSTRUCTION NOTES

#### CIVIL SHEETS

CS-1	PROPOSED OVERALL SITE PLAN
C-1	EXISTING SITE PLAN
C-2	SITE DEMOLITION PLAN
C-3	PROPOSED SITE PLAN
C-4	DETAILS
C-5	DETAILS

#### ELECTRICAL SHEETS

E-1	ELECTRICAL ONE-LINE DIAGRAM
E-2	ELECTRICAL SCHEDULES AND LOAD CALCULATIONS
E-3	ELECTRICAL SITE PLAN AND PHOTOS
E-4	ELECTRICAL EQUIPMENT CUTSHEETS
E-5	ELECTRICAL DETAILS
E-6	TRANSFORMER PAD DETAILS
E-7	UTILITY CONSTRUCTION DRAWING



LOCATION MAP  
NOT TO SCALE



Michael Roskelley  
Digitally signed by Michael Roskelley  
DN: c=US,  
E=roskelley@hrcengr.com,  
O=Hubbell, Roth & Clark, Inc., CN=Michael Roskelley  
Date: 2023.10.16 11:26:15-0400



HUBBELL, ROTH & CLARK, INC.  
JOB NO. 20230394  
PREPARED UNDER THE SUPERVISION OF:  
MICHAEL J. ROSKELLEY, P.E.,  
REGISTERED ENGINEER

# CHEVROLET DEALERSHIP ELECTRIC VEHICLE SUPPLY EQUIPMENT MARK WAHLBERG CHEVROLET OF WORTHINGTON

700 E. DUBLIN GRANVILLE ROAD,  
COLUMBUS, OHIO 43229



BID SET  
OCTOBER 16, 2023

PREPARED BY:



555 HULET DRIVE P.O. BOX 824  
BLOOMFIELD HILLS, MI. 48303 - 0824

PHONE: (248) 454-6300  
FAX (1st Floor): (248) 454-6312  
FAX (2nd Floor): (248) 454-6359  
WEB SITE: [http:// www.hrcengr.com](http://www.hrcengr.com)



HRC JOB NO. 20230394  
CI JOB NO. 23-00202

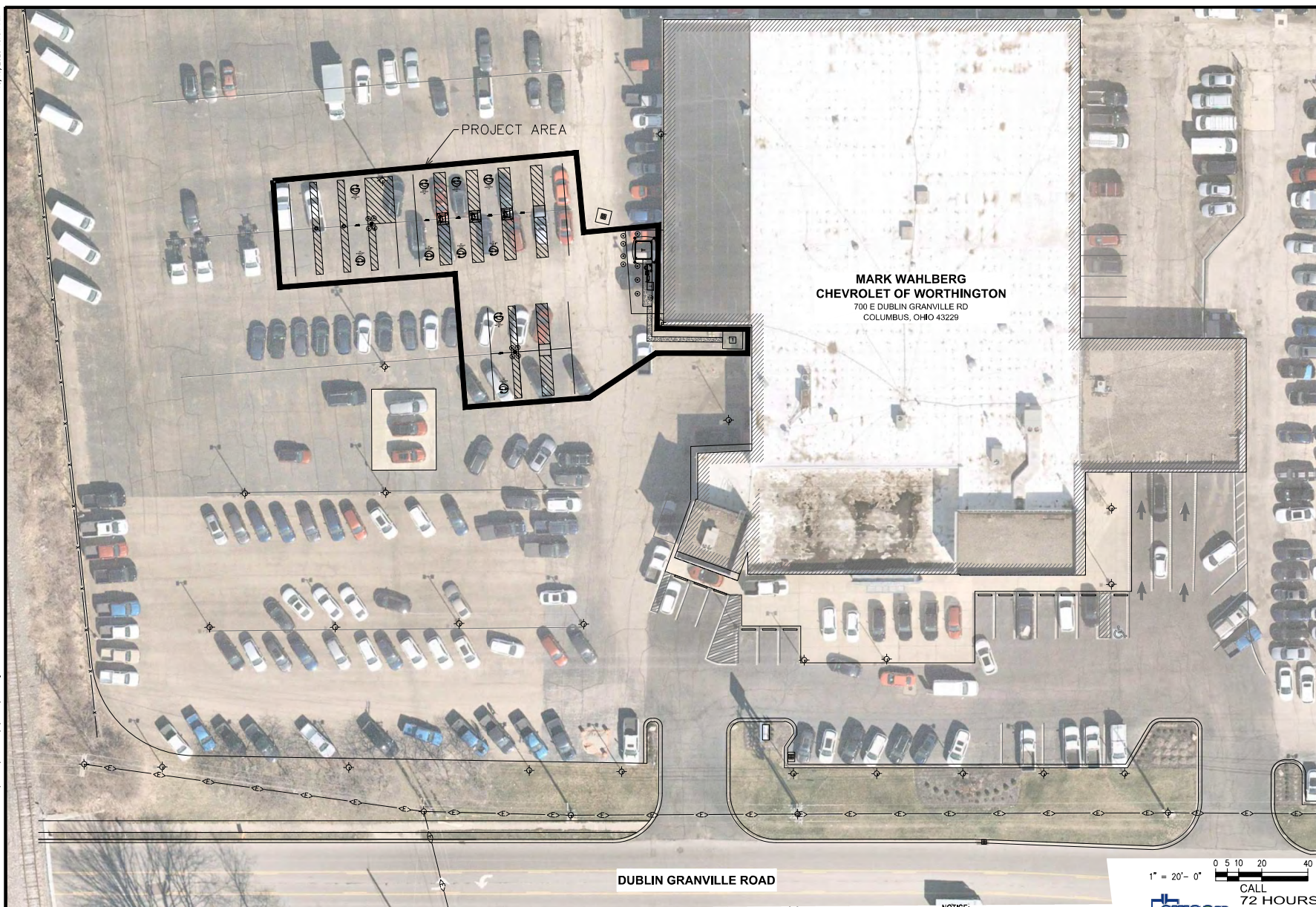
ORIGINAL PLOT SIZE: AHS FULL BLEED D (34.00 X 22.00 INCHES)

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CITY OF WORTHINGTON  
DRAWING NO. ARB 10-2024  
DATE 02/07/2024





**PROPOSED OVERALL SITE PLAN**  
SCALE: 1" = 20'

**NOTICE:**  
PORTIONS OF EXISTING SITE TOPOGRAPHY, INCLUDING EXISTING UTILITY INFORMATION, SHOWN ON THIS DRAINAGE HAVE BEEN TAKEN FROM AERIAL IMAGERY AND RECORD DRAWINGS WHERE AVAILABLE. NO GUARANTEE IS MADE, OR SHOULD BE ASSUMED, AS TO THE COMPLETENESS OR ACCURACY OF THE EXISTING SITE CONDITIONS SHOWN ON THIS DRAINAGE. PARTIES UTILIZING THIS INFORMATION SHALL FIELD VERIFY THE ACCURACY AND COMPLETENESS PRIOR TO CONSTRUCTION.



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ORIGINAL PLOT SIZE: ANSI FULL BLEED D (34.00 X 22.00) INCHES



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**CONSULTING ENGINEERS SINCE 1919**  
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48303 - 0082  
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FAX (1st Floor): (248) 454-6312  
FAX (2nd Floor): (248) 454-6359  
WEB SITE: [www.hrcenr.com](http://www.hrcenr.com)

[illegible]

**CHEVY DEALERSHIP  
ELECTRIC VEHICLE  
SUPPLY EQUIPMENT  
MARK WAHLBERG  
CHEVROLET OF  
WORTHINGTON**

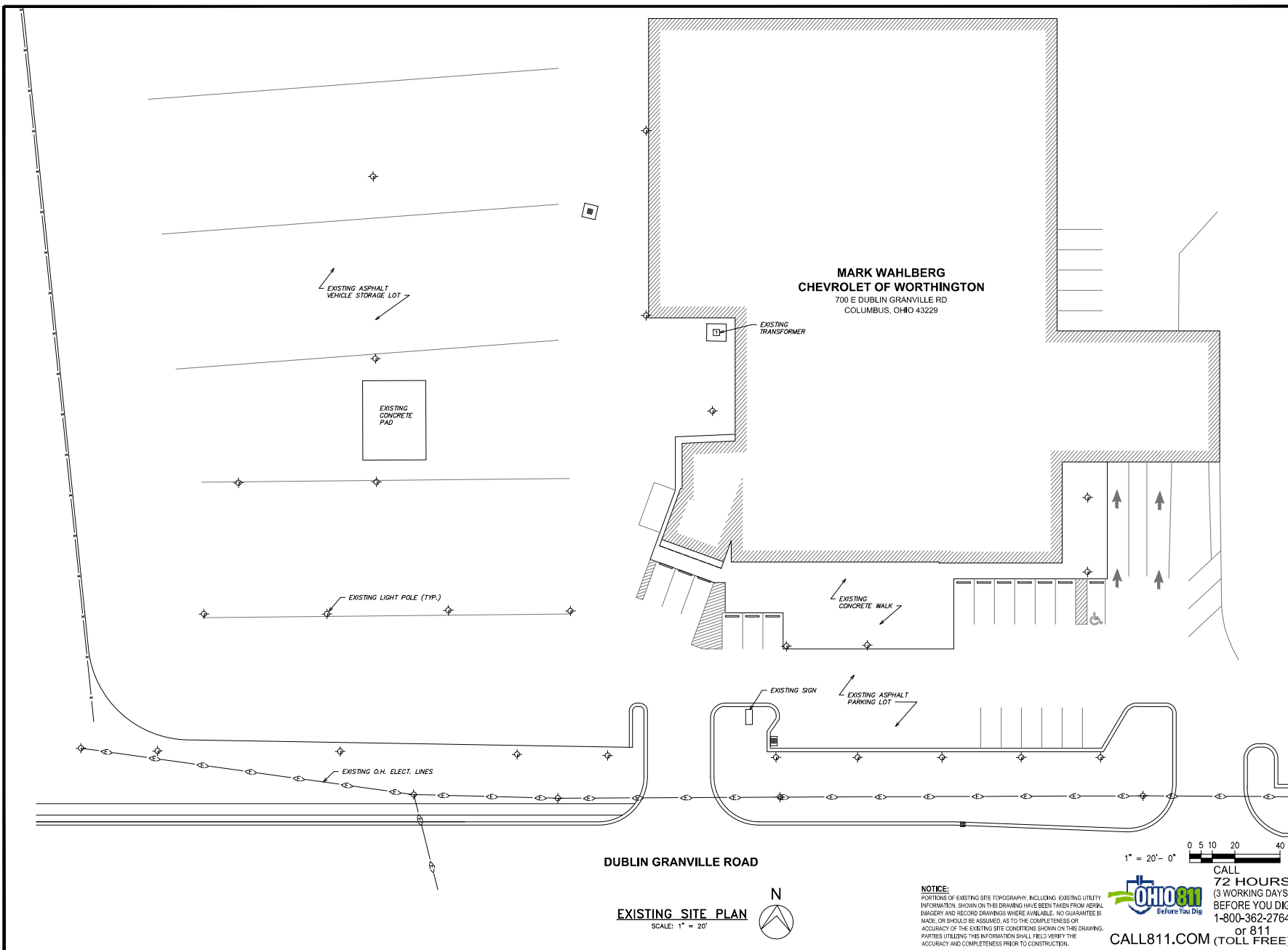
**700 E DUBLIN GRANVILLE RD.  
COLUMBUS, OH 43229**

PROPOSED OVERALL SITE PLAN

HRC JOB NO. 20230394	SCALE 1" = 20'
CI JOB NO. 23-00202	SHEET NO. CS-1



CITY OF WORTHINGTON  
DRAWING NO. ARB 10-2024  
DATE 02/07/2024



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8-23-23	FINAL REVIEW
7-5-23	PRELIMINARY REVIEW
DATE	ADDITIONS AND/OR REVISIONS
DRAWN	R.P.M.
CHECKED	E.S.W./M.J.R.
APPROVED	R.N.A.

**CHEVY DEALERSHIP  
ELECTRIC VEHICLE  
SUPPLY EQUIPMENT  
MARK WAHLBERG  
CHEVROLET OF  
WORTHINGTON**

**700 E DUBLIN GRANVILLE RD.  
COLUMBUS, OH 43229**

EXISTING SITE PLAN

HRC JOB NO. 20230394	SCALE 1" = 20'
CI JOB NO. 23-00202	SHEET NO. C-1



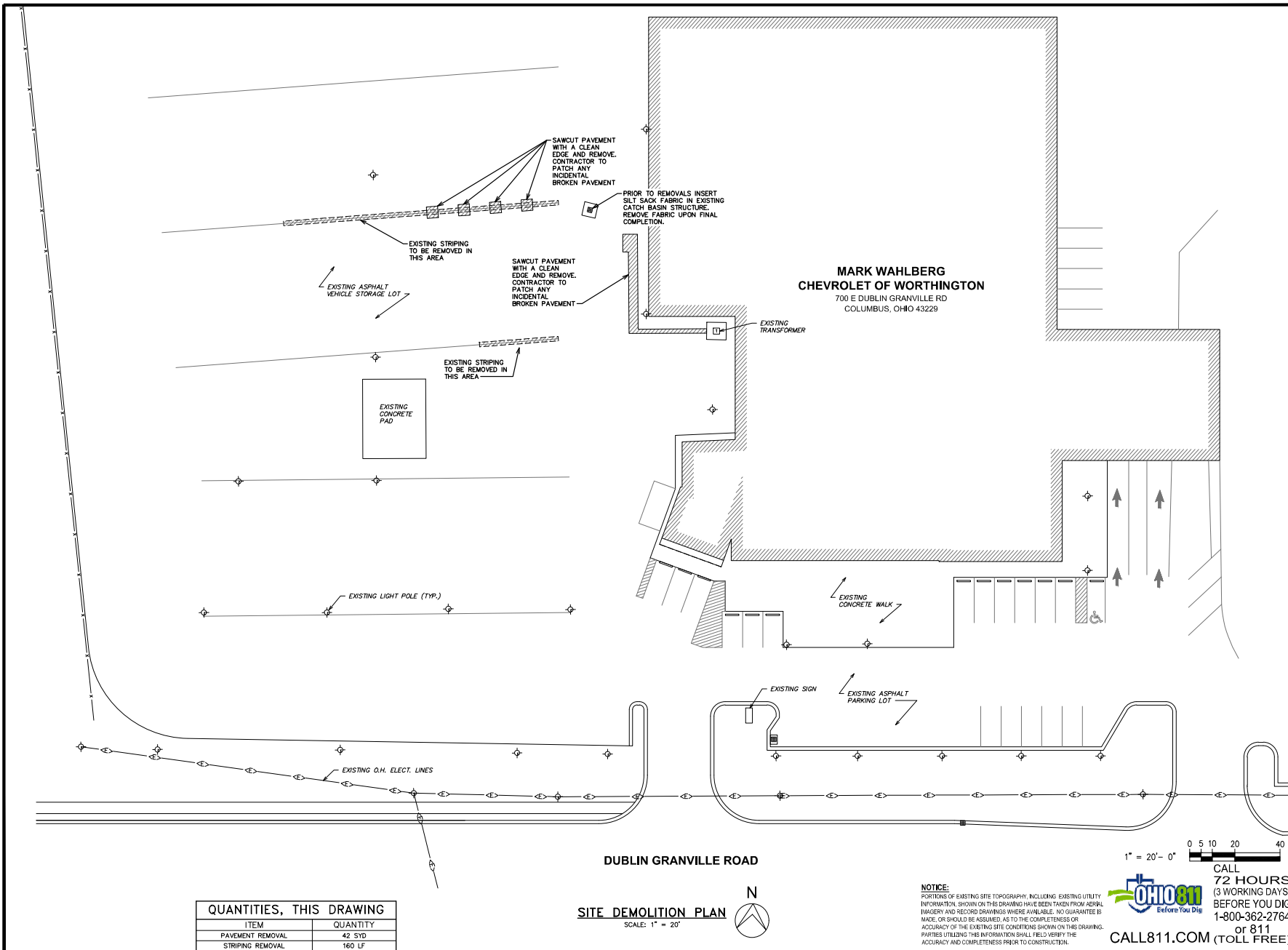
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PLANNING & BUILDING

CITY OF WORTHINGTON  
DRAWING NO. ARB 10-2024  
DATE 02/07/2024

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QUANTITIES, THIS DRAWING	
ITEM	QUANTITY
PAVEMENT REMOVAL	42 STD
STRIPING REMOVAL	160 LF

**SITE DEMOLITION PLAN**  
SCALE: 1" = 20'

**NOTICE:**  
PORTIONS OF EXISTING SITE TOPOGRAPHY, INCLUDING EXISTING UTILITY INFORMATION, SHOWN ON THIS DRAWING HAVE BEEN TAKEN FROM AERIAL IMAGERY AND RECORD DRAWINGS WHERE AVAILABLE. NO GUARANTEE IS MADE, OR SHOULD BE ASSUMED, AS TO THE COMPLETENESS OR ACCURACY OF THE EXISTING SITE CONDITIONS SHOWN ON THIS DRAWING. PARTIES UTILIZING THIS INFORMATION SHALL FIELD VERIFY THE ACCURACY AND COMPLETENESS PRIOR TO CONSTRUCTION.

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BEFORE YOU DIG

1" = 20'-0"  
0 5 10 20 40

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DATE	ADDITIONS AND/OR REVISIONS
DESIGNED	R.P.M.
DRAWN	R.P.M.
CHECKED	E.S.M./M.J.R.
APPROVED	R.N.A.

**CHEVY DEALERSHIP  
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SUPPLY EQUIPMENT  
MARK WAHLBERG  
CHEVROLET OF  
WORTHINGTON**  
700 E DUBLIN GRANVILLE RD.  
COLUMBUS, OH 43229

SITE DEMOLITION PLAN

HRC JOB NO.	20230394	SCALE	1" = 20'
CJOB NO.	23-00202	SHEET NO.	C-2

ORIGINAL PLOT SIZE: AHS FULL BLEED D (34.00 X 22.00 INCHES)

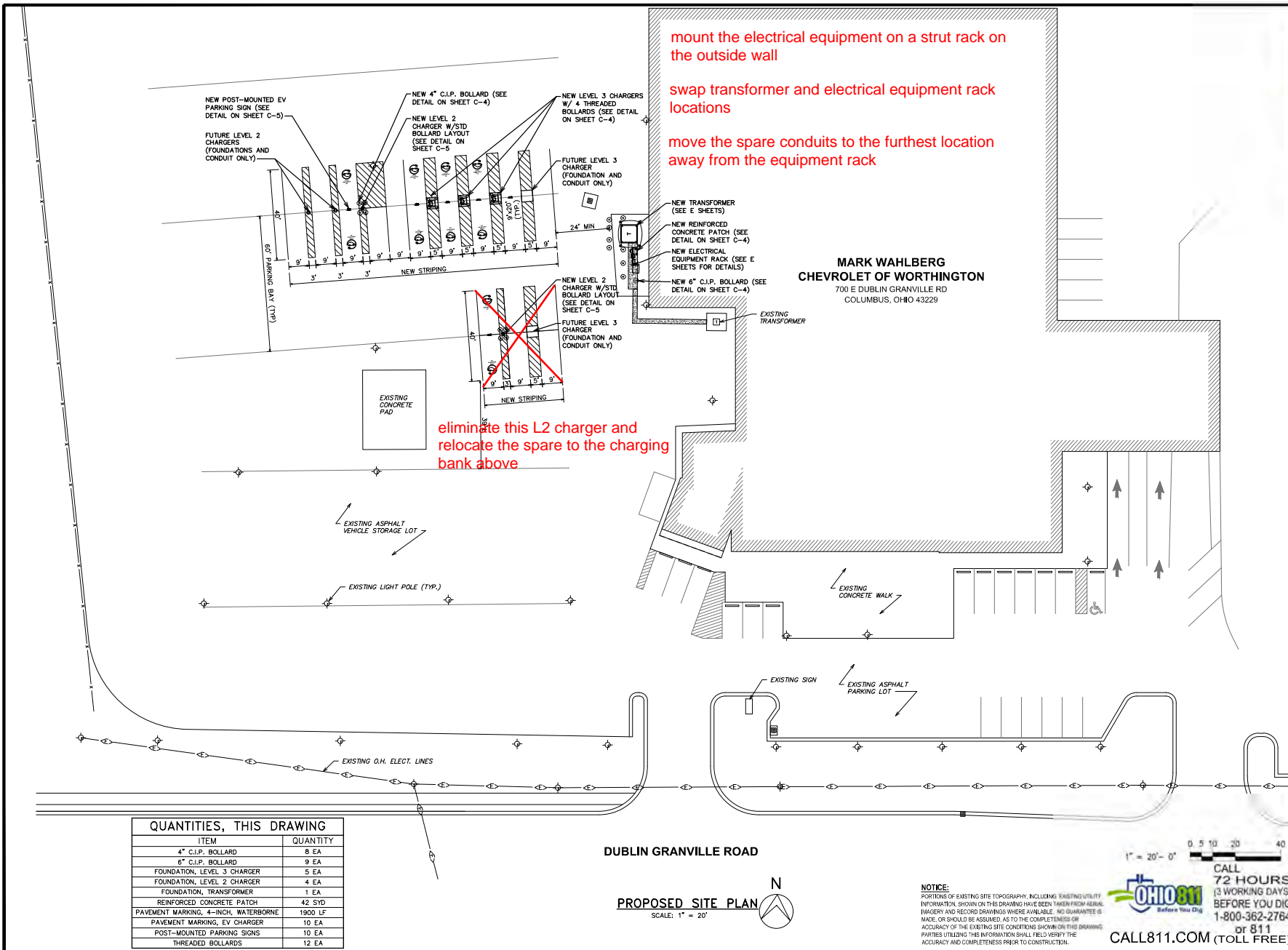
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DATE 02/07/2024



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QUANTITIES, THIS DRAWING	
ITEM	QUANTITY
4" C.I.P. BOLLARD	8 EA
6" C.I.P. BOLLARD	9 EA
FOUNDATION, LEVEL 3 CHARGER	5 EA
FOUNDATION, LEVEL 2 CHARGER	4 EA
FOUNDATION, TRANSFORMER	1 EA
REINFORCED CONCRETE PATCH	42 SYD
PAVEMENT MARKING, 4-INCH, WATERBORNE	1900 LF
PAVEMENT MARKING, EV CHARGER	10 EA
POST-MOUNTED PARKING SIGNS	10 EA
THREADED BOLLARDS	12 EA

DUBLIN GRANVILLE ROAD

PROPOSED SITE PLAN

SCALE: 1" = 20'



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1" = 20' - 0"  
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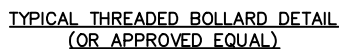
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DESIGNED	R.P.M.
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APPROVED	R.N.A.

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MARK WAHLBERG  
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WORTHINGTON**  
700 E DUBLIN GRANVILLE RD.  
COLUMBUS, OH 43229

**PROPOSED SITE PLAN**

PROJECT NO.	23-00202
SCALE	1" = 20'
SHEET NO.	C-3

**Worthington**  
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CITY OF WORTHINGTON  
DRAWING NO. ARB 10-2024  
DATE 02/07/2024

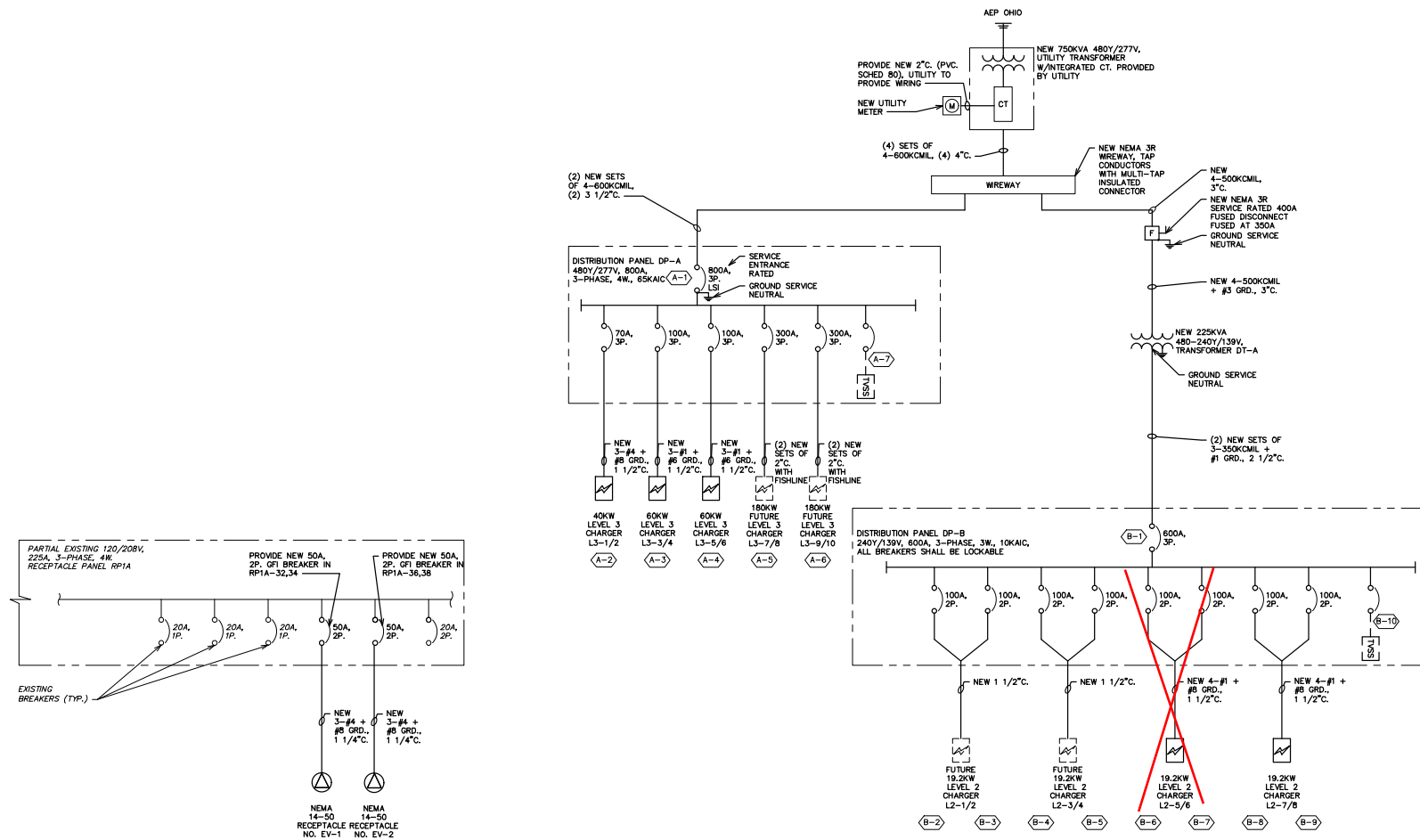


- ### LEVEL 3 CHARGER FOUNDATION DETAIL & SECTIONS

SCALE: 1/2"=1'-0"







ELECTRICAL ONE-LINE DIAGRAM

## NOTICE:

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ORIGINAL PLOT SIZE: ANSI FULL BLEED 1 (3420 X 2220 INCHES)



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6-20-23	CONCEPTUAL SUBMITTAL
DATE	ADDITONS AND/OR REVISIONS
DESIGNED	E.S.M.
DRAWN	E.S.M.
CHECKED	M.J.R.
APPROVED	R.N.A.

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CHEVROLET OF  
WORTHINGTON**  
700 E DUBLIN GRANVILLE RD.  
COLUMBUS, OH 43229

ELECTRICAL  
ONE-LINE DIAGRAM

PRD JOB NO. 20230394	SCALE NO SCALE
CI JOB NO. 23-00202	SHEET NO. E-1



CITY OF WORTHINGTON  
DRAWING NO. ARB 10-2024  
DATE 02/07/2024

## NEW DISTRIBUTION PANEL 'DP-A' SCHEDULE

480Y/277V, 3PH, 4 W, 800 AMP, 65KVA WITH GROUND BUS AND NEUTRAL BUS									
POS. No.	DESCRIPTION	CONN. LOAD	CONN. AMPS	DEMAND FACTOR	DEMAND LOAD	OVERCURRENT PROTECTION BRKR. TRIP POLES	WIRE AND CONDUIT		REMARKS
(A-1)	MAIN BREAKER					400A	3		
(A-2)	EV CHARGER L3-1/2	42KVA	50A	125%	63A/50KVA	75A	3	0-#4 + #6 GRD., 1 1/2"C.	40KW
(A-3)	EV CHARGER L3-3/4	69KVA	77A	125%	96A/86KVA	100A	3	3-#1 + #6 GRD., 1 1/2"C.	60KW
(A-4)	EV CHARGER L3-5/6	69KVA	77A	125%	96A/86KVA	100A	3	3-#1 + #6 GRD., 1 1/2"C.	60KW
(A-5)	FUTURE EV CHARGER L3-7/8	-	-			300A	3	(2) SETS OF 2"C. WITH FISHLINE	CONDUIT SIZED FOR FUTURE 180KW DFC
(A-6)	FUTURE EV CHARGER L3-9/10	-	-			300A	3	(2) SETS OF 2"C. WITH FISHLINE	CONDUIT SIZED FOR FUTURE 180KW DFC
(A-7)	TVSS							INTERNAL CONNECTION	BREAKER SIZED BY MFR.
TOTALS		180KVA	217A		271A/229KVA				

## NEW DISTRIBUTION PANEL 'DP-B' SCHEDULE

240Y/139V, 3PH, 4 W, 600 AMP, 10KVA WITH GROUND BUS AND NEUTRAL BUS									
POS. No.	DESCRIPTION	CONN. LOAD	CONN. AMPS	DEMAND FACTOR	DEMAND LOAD	OVERCURRENT PROTECTION BRKR. TRIP POLES	WIRE AND CONDUIT		REMARKS
(B-1)	MAIN BREAKER					600A	3		
(B-2)	FUTURE EV CHARGER L2-1	-	-			100A	2	1 1/2"C. ONLY	
(B-3)	FUTURE EV CHARGER L2-2	-	-			100A	2		
(B-4)	FUTURE EV CHARGER L2-3					100A	2	1 1/2"C. ONLY	
(B-5)	FUTURE EV CHARGER L2-4					100A	2		
(B-6)	EV CHARGER L2-5	19.2KVA	80A	125%	100A/24KVA	100A	2	4-#1 + #6 GRD., 1 1/2"C.	
(B-7)	EV CHARGER L2-6	19.2KVA	80A	125%	100A/24KVA	100A	2		
(B-8)	EV CHARGER L2-7	19.2KVA	80A	125%	100A/24KVA	100A	2	4-#1 + #6 GRD., 1 1/2"C.	
(B-9)	EV CHARGER L2-8	19.2KVA	80A	125%	100A/24KVA	100A	2		
(B-10)	TVSS							INTERNAL CONNECTION	BREAKER SIZED BY MFR.
TOTALS		76.8KVA	185A		231A/96KVA				

## VOLTAGE DROP CALCULATIONS

LOAD LOCATION	LOAD AMPS	VOLTAGE /PHASE	LENGTH OF RUN (FT)	WIRE SIZE	VOLTAGE DROP (V)	VOLTAGE DROP %
NEMA 14-50 RECEPT. EV-1	40	208/1	260	#4	5.5	2.6%
NEMA 14-50 RECEPT. EV-2	40	208/1	250	#4	5.3	2.5%
EV CHARGER L2-5	80	240/1	170	#1	3.6	1.5%
EV CHARGER L2-6	80	240/1	170	#1	3.6	1.5%
EV CHARGER L2-7	80	240/1	105	#1	2.2	0.9%
EV CHARGER L2-8	80	240/1	105	#1	2.2	0.9%
EV CHARGER L3-1/2	50	480/3	135	#4	3.1	0.6%
EV CHARGER L3-3/4	77	480/3	120	#1	2.1	0.4%
EV CHARGER L3-5/6	77	480/3	110	#1	1.9	0.4%

NOTE: ALL BRANCH CIRCUIT CONDUCTORS SHALL BE SIZED TO PREVENT A VOLTAGE DROP FROM EXCEEDING 3% AS OUTLINED BY NEC 210.19(A)

INFORMATIONAL NOTE NO. 4

## NOTICE:

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CALL  
72 HOURS  
(3 WORKING DAYS)  
BEFORE YOU DIG  
1-800-362-2764  
or 811

**CHEVY DEALERSHIP  
ELECTRIC VEHICLE  
SUPPLY EQUIPMENT  
MARK WAHLBERG  
CHEVROLET OF  
WORTHINGTON**

700 E DUBLIN GRANVILLE RD.  
COLUMBUS, OH 43229

ELECTRICAL SCHEDULES  
AND LOAD CALCULATIONS

PRC JOB NO. 20230394	SCALE NO SCALE
CI JOB NO. 23-00202	SHEET NO. E-2 OF

ORIGINAL PLOT SIZE: ANSI FULL BLEED 11 (3420 X 2230 INCHES)

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CITY OF WORTHINGTON  
DRAWING NO. ARB 10-2024  
DATE 02/07/2024

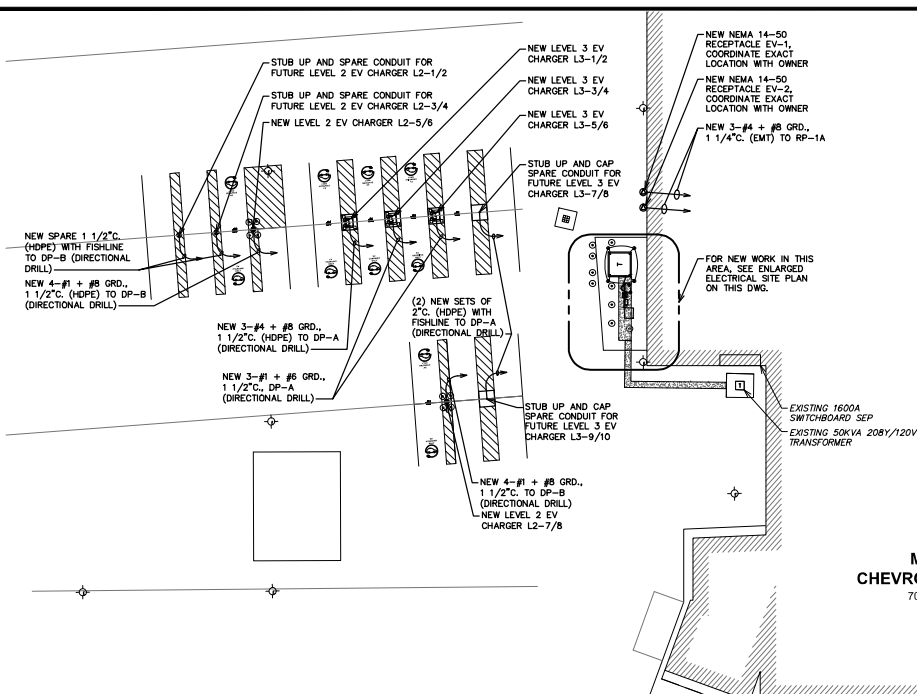
**CHARGE**  
INFRASTRUCTURE  
A CHARGE ENTERPRISES COMPANY

**HRC**  
HUBBELL, ROTH & CLARK, INC.  
CONSULTING ENGINEERS SINCE 1915  
555 NILEY DRIVE  
BLOOMFIELD HILLS, MI 48301-0824

PHONE: (248) 454-6300  
FAX (1st, 2nd): (248) 454-6312  
FAX (2nd, 3rd): (248) 454-6305  
WEB SITE: www.hrceng.com



10-16-23	BID SET
9-29-23	PERMIT SET
8-23-23	FINAL REVIEW
7-5-23	PRELIMINARY REVIEW
DATE	ADDITONS AND/OR REVISIONS
DESIGNED	E.S.M.
DRAWN	R.D.D.
CHECKED	M.J.R.
APPROVED	R.N.A.



**MARK WAHLBERG**  
**CHEVROLET OF WORTHINGTON**  
700 E DUBLIN GRANVILLE RD  
COLUMBUS, OHIO 43229

QUANTITIES, THIS		DRAWING
ITEM	QUANTITY	
LEVEL 2 DUAL EV CHARGER	3 EA	
LEVEL 3 EV CHARGER	2 EA	
WIREWAY	1 EA	
SURGE PROTECTIVE DEVICE	1 EA	
—GT-CABINET—	—1 EA—	
UTILITY METER	1 EA	
DISTRIBUTION PANEL	2 EA	
40A FUSED DISCONNECT	2 EA	
40A FUSED DISCONNECT	1 EA	
100KVA UTILITY TRANSFORMER	BY UTILITY	
5/8" X 8" GROUND ROD	6 EA	
#8 COPPER WIRE	1020 LF	
#6 COPPER WIRE	260 LF	
#4 COPPER WIRE	2690 LF	
#3 COPPER WIRE	760 LF	
#1 COPPER WIRE	2000 LF	
4/0 COPPER WIRE	110 LF	
600KCMIL COPPER WIRE	150 LF	
1 1/4" EMT CONDUIT	570 LF	
1 1/2" HDPE CONDUIT	1530 LF	
ΔT PVC, SCHD, 40, CONDIT	50 LF	



**CHARGE**  
INFRASTRUCTURE  
A CHARGE ENTERPRISES COMPANY



**HRC**  
HUBBELL, ROTH & CLARK, INC.  
CONSULTING ENGINEERS SINCE 1911

PHONE: (248) 454-6300  
FAX (1st Floor): (248) 454-6312  
FAX (2nd Floor): (248) 454-6359

WEB SITE: [www.hrcengr.com](http://www.hrcengr.com)



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WORTHINGTON**

700 E DUBLIN GRANVILLE RD.  
COLUMBUS, OH 43229

ELECTRICAL SITE PLAN  
AND PHOTOS

HRC JOB NO. 20230394	SCALE AS NOTED
CI JOB NO. 23-00202	SHEET NO. E-3

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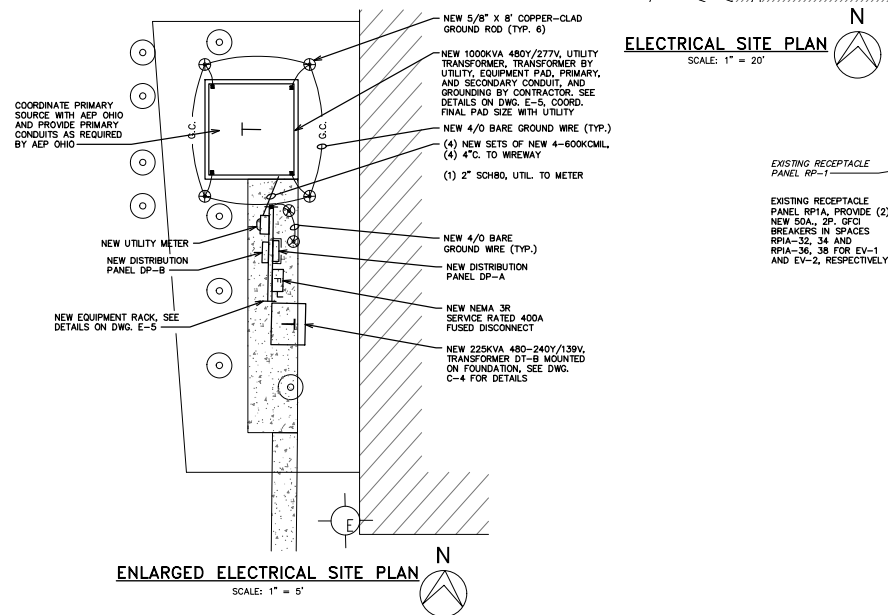


PHOTO-1



PHOTO-2

1" = 5' - 0"

0 2.5 5 1

1" = 20' - 0"

0 5 10 20 4



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**NOTICE:**  
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ACCURACY AND COMPLETENESS PRIOR TO CONSTRUCTION.

ORIGINAL PLOT SIZE: ANSI FULL BLEED D (34.00 X 22.00 INCHES)



CITY OF WORTHINGTON  
DRAWING NO. ARB 10-2024  
DATE 02/07/2024



## 1.755.0150 W

INSTALL M16 X 150  
EXPANSION BOLTS  
(TYP. 4)

### LEVEL 3 ADVANCES

**TABLE 1**

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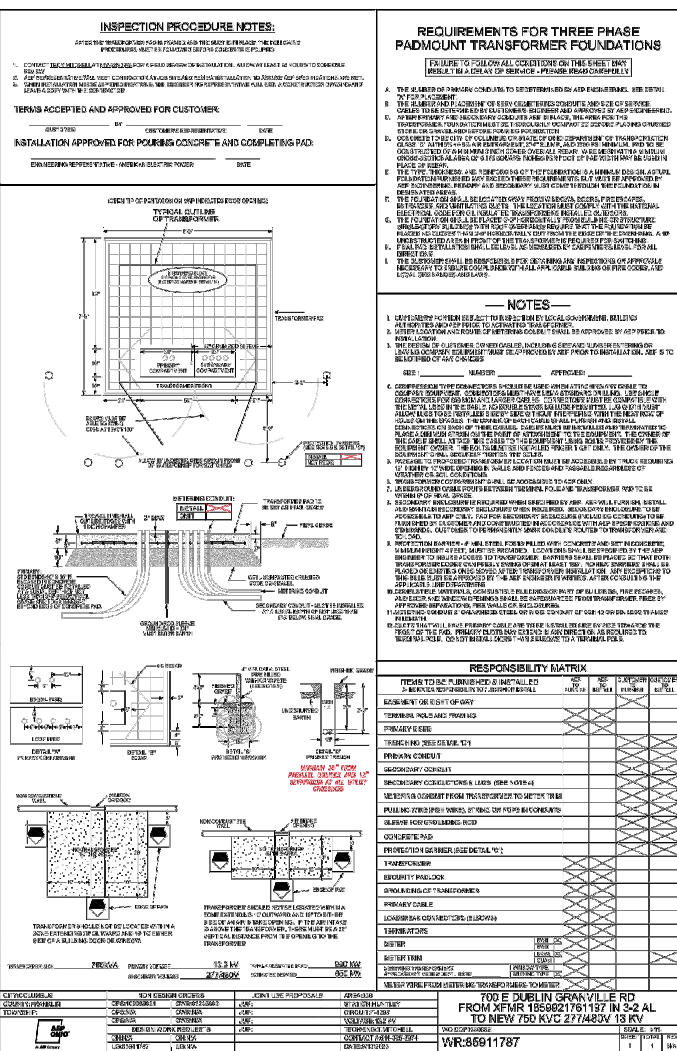
## 23

TYPICAL LEVEL 3 CHARGER BASE DETAIL



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1. INSTALL ALL CONDUIT AND TRANSFORMER PAD AS DEFINED ON THE CONSTRUCTION DRAWING PROVIDED BY THE UTILITY COMPANY.
2. METER BASE SHALL BE INSTALLED ON A UNISTRUT STRUCTURE NEXT TO TRANSFORMER. LOCATION SHALL BE COORDINATED IN THE FIELD WITH PROJECT ENGINEER AND/OR OWNER.

HRC JOB NO. 20230394	SCALE NO SCALE
CI JOB NO. 23-00202	SHEET NO. E-7



## ARB APPLICATION ARB 01-2024 5601 N. High St.

<b>Plan Type:</b>	Architectural Review Board	<b>Project:</b>		<b>App Date:</b>	01/02/2024
<b>Work Class:</b>	Certificate of Appropriateness	<b>District:</b>	City of Worthington	<b>Tabled:</b>	01/25/2024
<b>Status:</b>	In Review	<b>Resubmittal:</b>			02/09/2024
<b>Valuation:</b>	\$3,800.00				

**Description:** The main sign on the building will be 3-D acrylic front - lit and the 2nd sign (standing road sign) will be box lit (the same as the previous sign).

<b>Parcel:</b>	100-003064	Main	<b>Address:</b>	5601 N High St Worthington, OH 43085	Main	<b>Zone:</b>	
----------------	------------	------	-----------------	---	------	--------------	--

Applicant	Owner	Applicant
Divine Ndungana	Saharalux Entertainment	Saharalux Entertainment
Home: (614) 592-0322	5601 N High St	5601 N High St
Mobile: (614) 592-0322	Worthington, OH 43085	Worthington, OH 43085
	Home: (763) 777-0642	Home: (763) 777-0642
	Business: (763) 777-0642	Business: (763) 777-0642

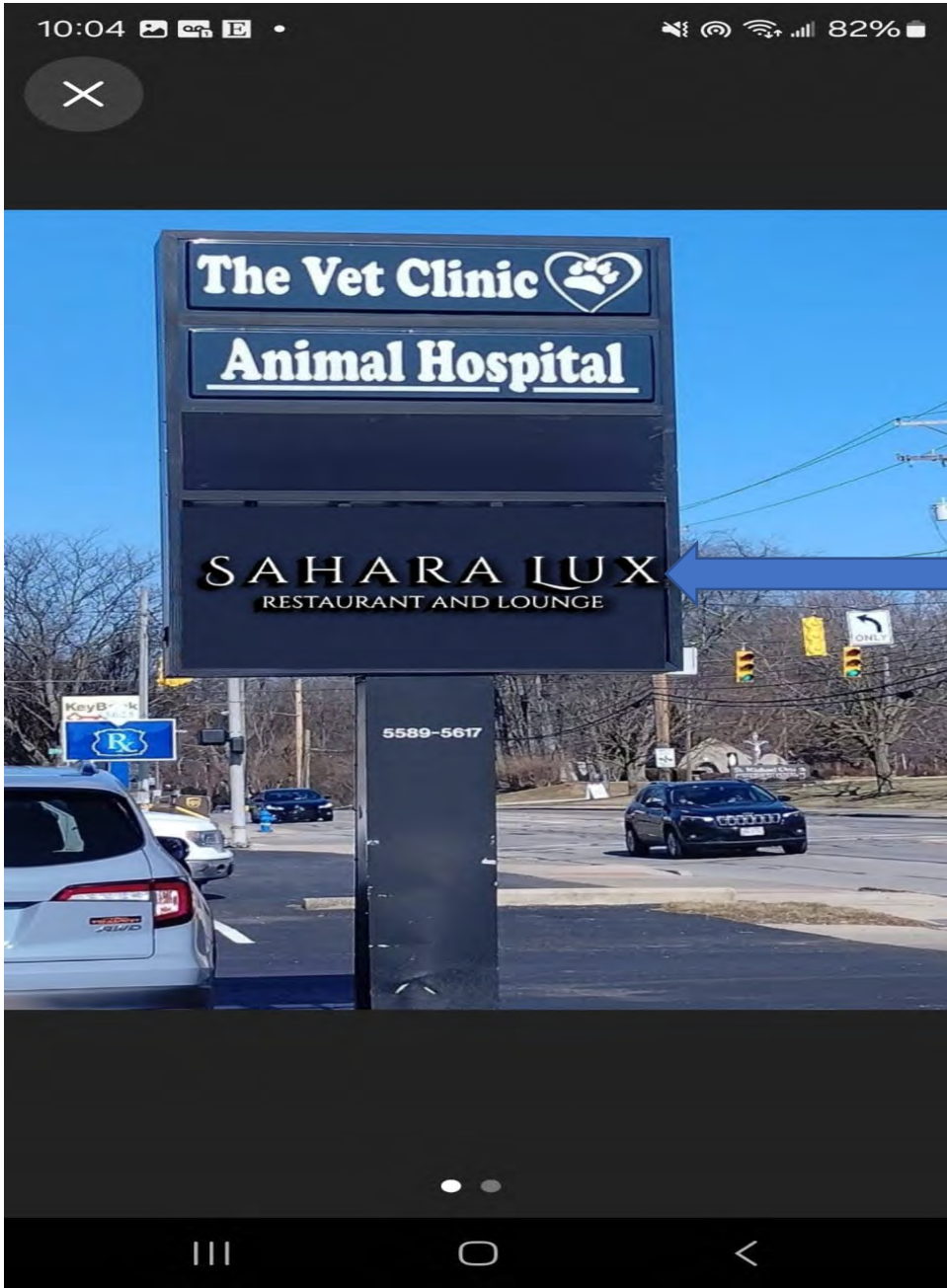
Invoice No.	Fee	Fee Amount	Amount Paid
INV-00005049	Architectural Review Board	\$4.00	\$4.00
		<b>Total for Invoice INV-00005049</b>	<b>\$4.00</b>
		<b>Grand Total for Plan</b>	<b>\$4.00</b>



# 5601 N. High St.



## Road sign Logo Mockup



Main logo sign with a black background and a white outside font view.





Wall sign

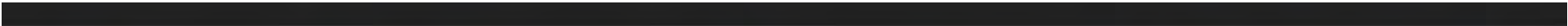


4ft

17 ft



Measurements



3D Front lit sample letter





#### **Background panel information**

**Material – 1.5 inches thick outdoor wood painted black with oil paint**

#### **Measurements**

- **Width = 147 inches (12.25 ft)**
- **Height = 36.82 inches (3.06 ft)**



**CITY OF WORTHINGTON**  
**DRAWING NO. ARB 01-2024**  
**DATE 02/09/2024**



## ARB & AD7 APPLICATIONS ARB 92-2023 & CU 05-2023 657 High St.

**Plan Type:** Architectural Review Board      **Project:**      **App Date:** 11/08/2023  
**Work Class:** Certificate of Appropriateness      **District:** City of Worthington  
**Status:** In Review  
**Valuation:** \$8,000.00

**Description:** Picnic Table / Public Seating  
No effect on traffic pattern  
No effect on public facilities  
No effect on sewerage and drainage facilities  
No utilities required  
No safety and health considerations- 75" clearance between table and building allows for 2-way ADA compliant pedestrian traffic.  
No noise, odors or other noxious elements  
Hours of use:  
Business hours Tues 9am-2pm, Wed-Sun 8am-2pm  
Public use: continuous  
No shielding or screening considerations for neighbors  
Furniture is of new fabrication, sturdy, clean and well built. Some of the blue tables and chairs provided in this section of public right-of-way are unsafe and unstable, especially considering the state of disrepair to the sidewalk bricks in the right-of-way directly in front of Joya's

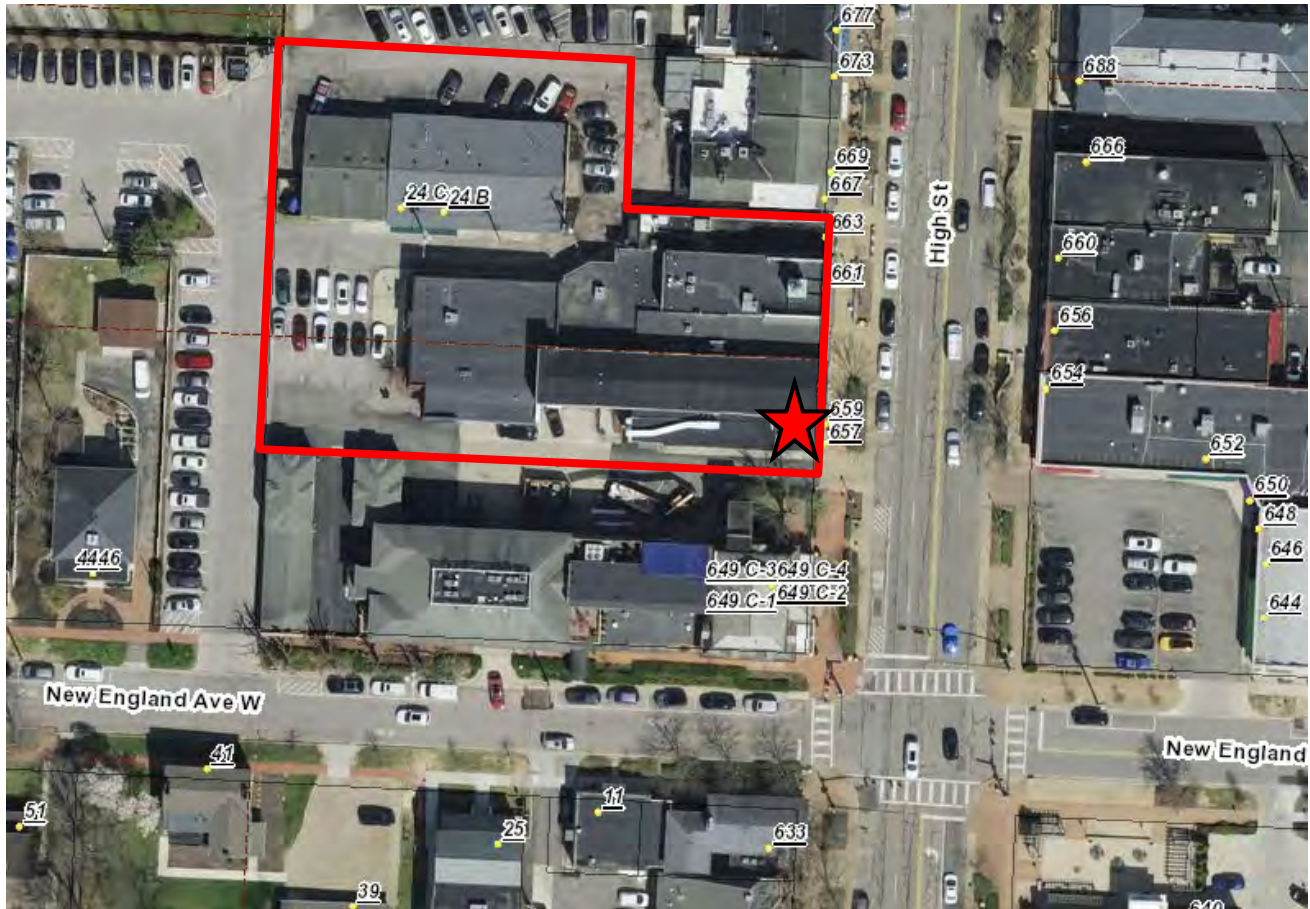
<b>Parcel:</b> 100-006227      Main	<b>Address:</b> 657 High St      Main Worthington, OH 43085	<b>Zone:</b>
-------------------------------------	--	--------------

Applicant Joya's Avishar Barua 657 High St Worthington, OH 43085 Business: 6144681232	Owner Elizabeth Buchenroth Home: (614) 354-7707	Applicant Robin Myers Business: (614) 468-1232 Mobile: (614) 209-8317
--	---	--

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00005161	Architectural Review Board	\$8.00	\$0.00
Total for Invoice INV-00005161		\$8.00	\$0.00
Grand Total for Plan		\$8.00	\$0.00



# 657 High St.

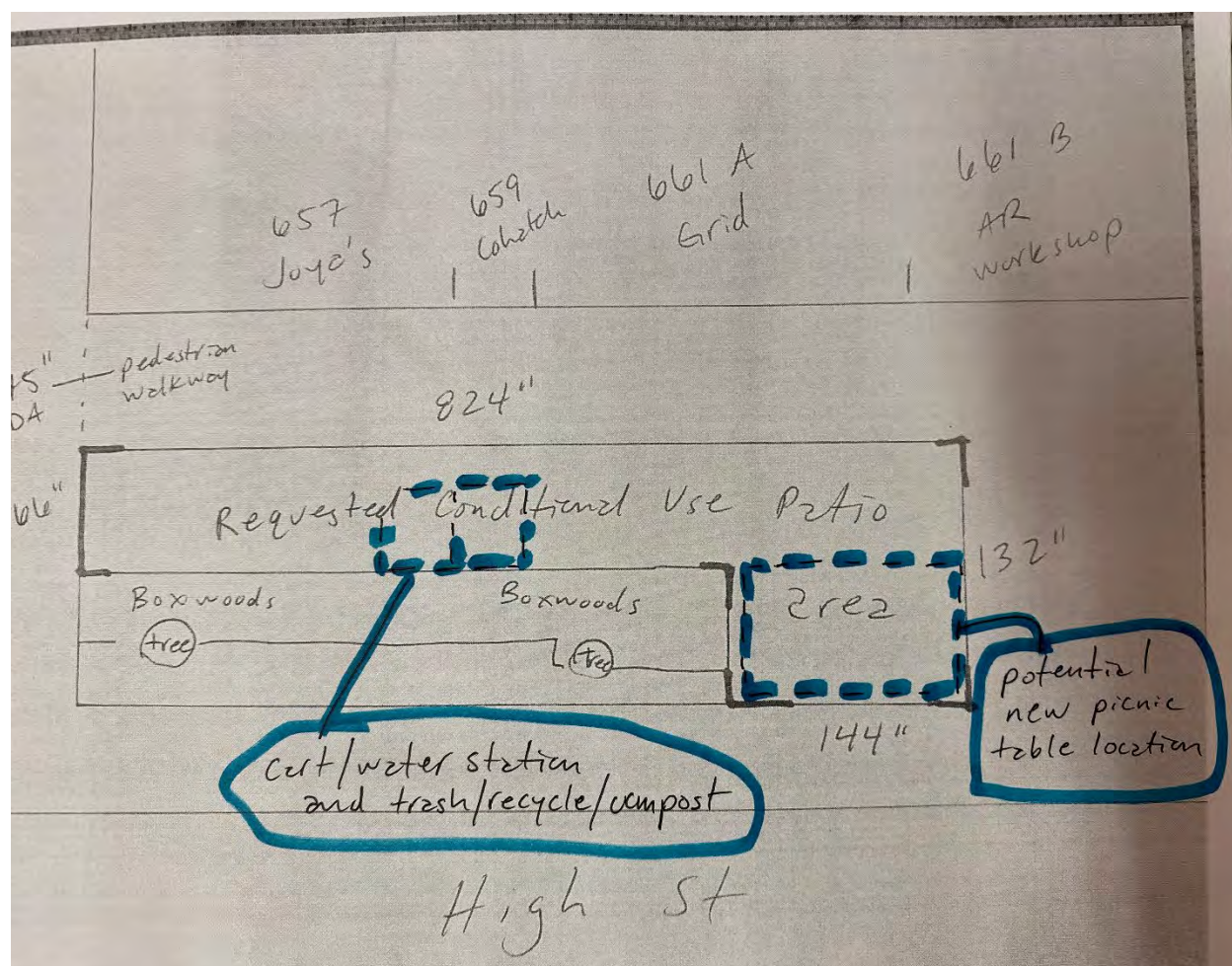






Information:

- The conditional Use is for the entire building and patio area, so I will need to know the total number of tables/chairs inside and outside. 24 is our inside occupancy. If I were to guest on chairs to be added in the spring/summer outside, I'd say we're talking additionally another 12 seats at max.
- Number of employees. We have 13 total team members
- Hours of operation are as follows: Tues 9am-2pm, Wed-Sun 8am-2pm
- Trashcan and cart locations. Pictured below. Potentially somewhere in the middle of our CU patio area.
- Anything else in the right-of-way needs to be approved by the Board and Commission.



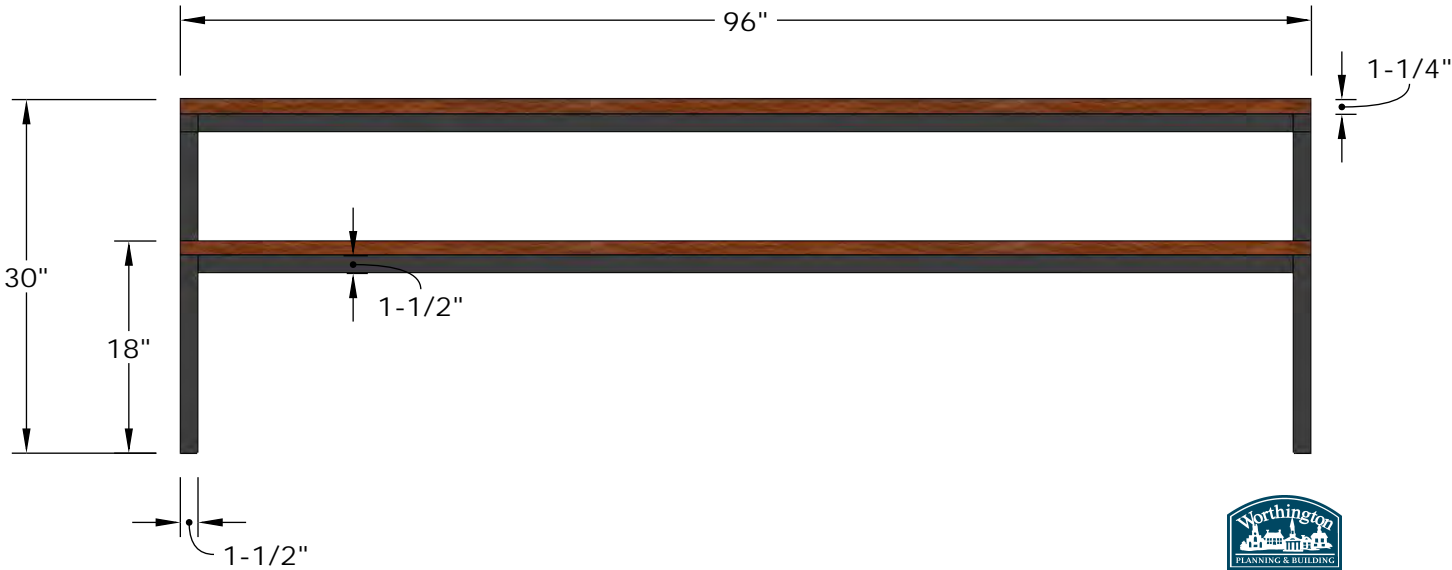
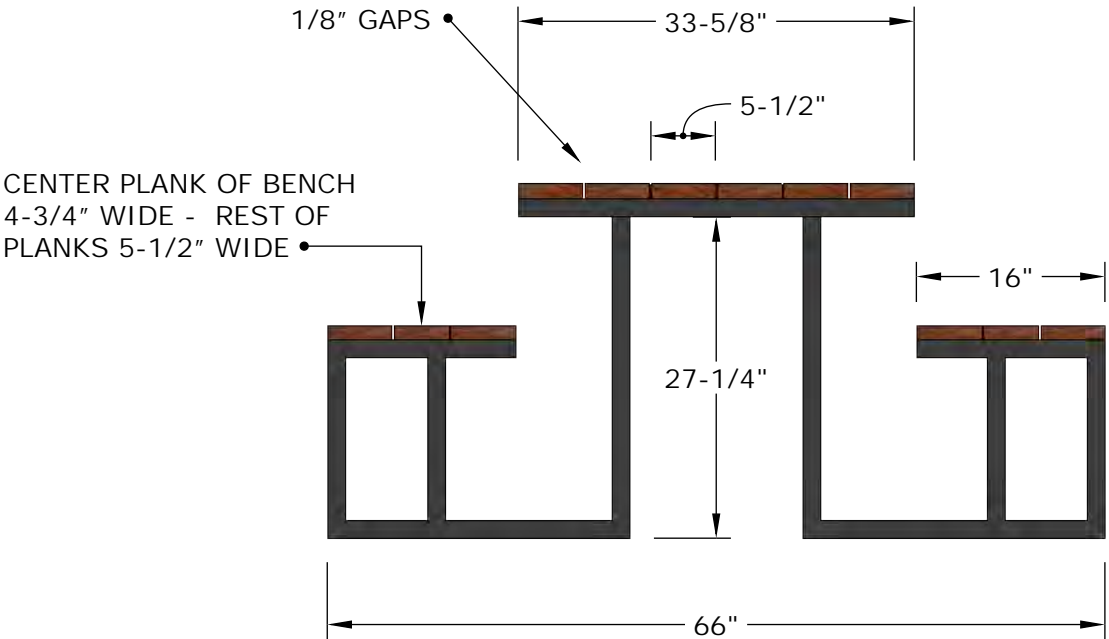




CITY OF WORTHINGTON  
DRAWING NO. ARB 92-2023  
CU 05-2023  
DATE 11/08/2023

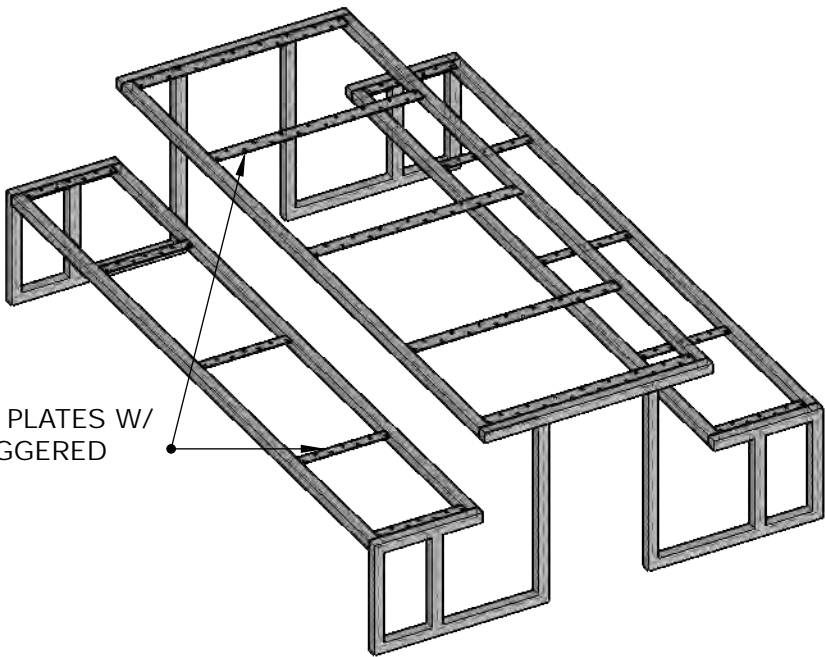
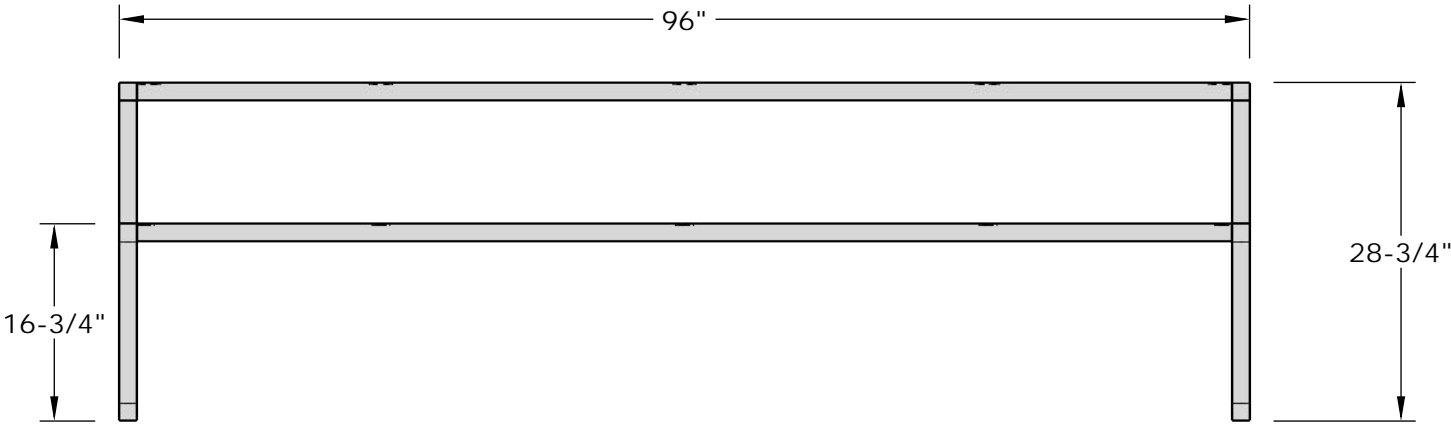
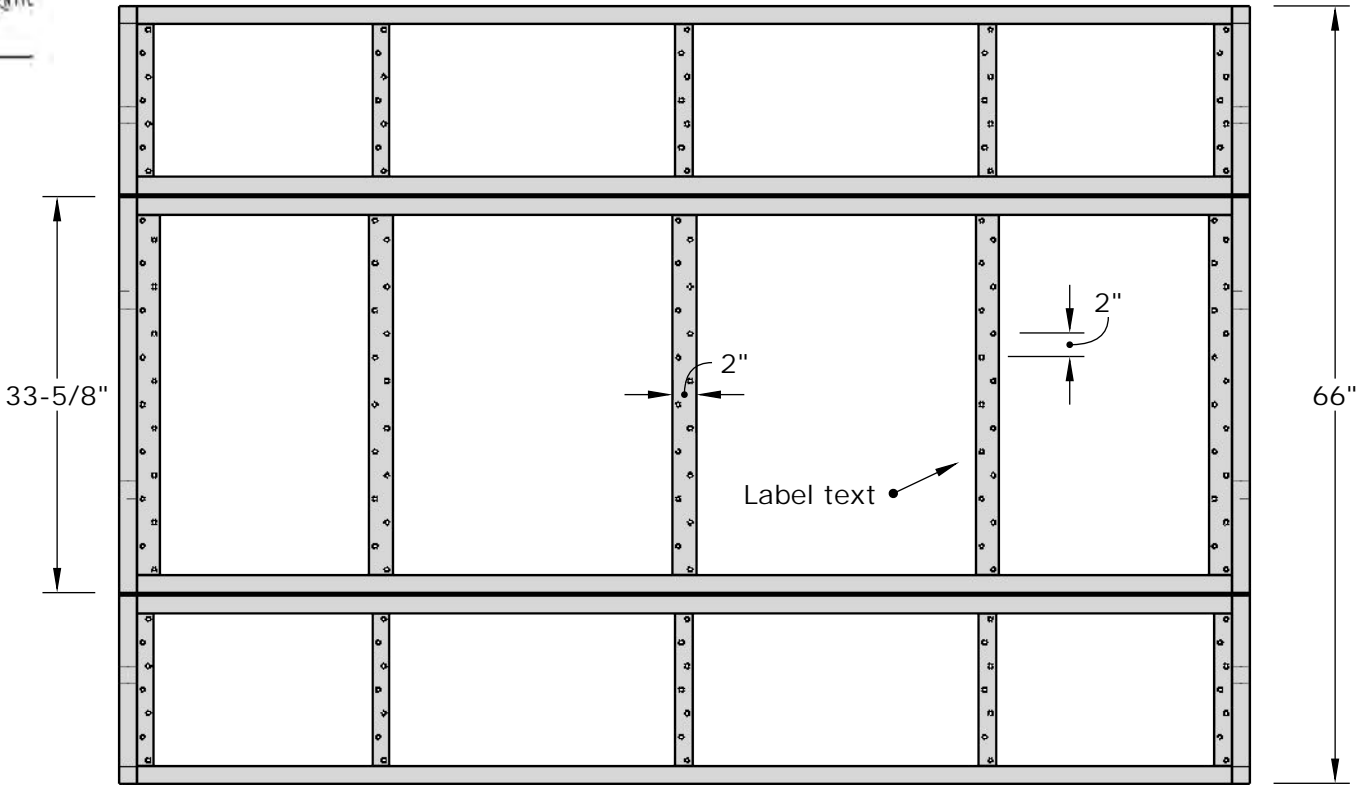
PROJECT NAME:	DIMENSIONS:	MATERIAL(S):	FINISH:
AGNI - Picnic Table	Overall: 66" x 96" x 30"H	Top: Cumaru, Base: 1-1/2" sq. Steel tubing	Top: Clear Catalyzed varnish (Armor Var) Base: 848 black tex (black powder coat)
DATE REVISED: 7/7/22	ADDITIONAL DETAILS:		QUANTITY: 2



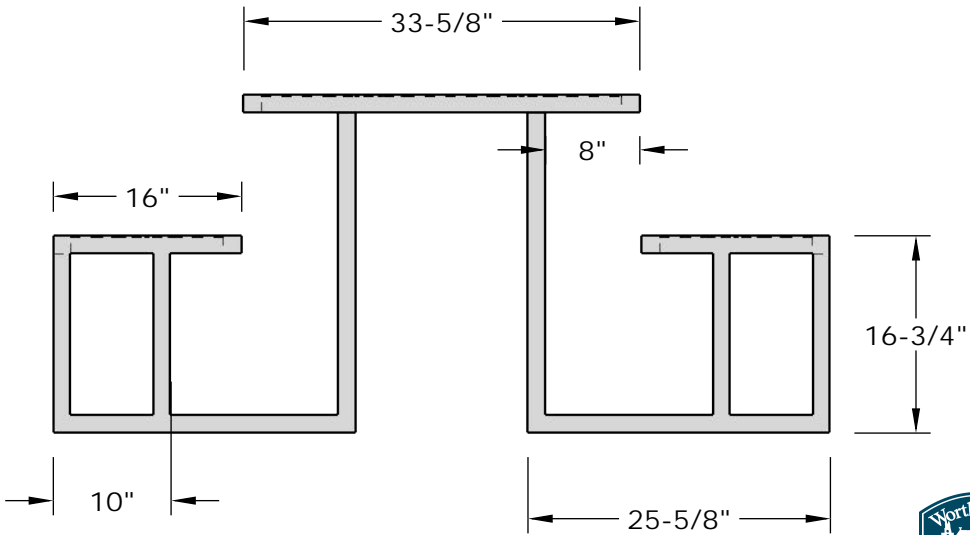


CITY OF WORTHINGTON  
DRAWING NO. ARB 92-2023  
CU 05-2023  
DATE 11/08/2023

PROJECT NAME:	DIMENSIONS:	MATERIAL(S):	FINISH:
AGNI - Picnic Table	Overall: 66" x 96" x 30"H	Top: Cumaru, Base: 1-1/2" sq. Steel tubing	Top: Clear Catalyzed varnish (Armor Var) Base: 848 black tex (black powder coat)
DATE REVISED: 7/7/22	ADDITIONAL DETAILS:		QUANTITY: 2



FLAT MOUNTING PLATES W/  
3/8" HOLES STAGGERED  
EVERY 2"



CITY OF WORTHINGTON  
DRAWING NO. ARB 92-2023  
CU 05-2023  
DATE 11/08/2023

PROJECT NAME:	DIMENSIONS:	MATERIAL(S):	FINISH:
AGNI - Picnic Table Frame	Overall: 66" x 96" x 28-3/4"H	1-1/2" sq. Steel tubing	848 black tex
DATE REVISED: 7/7/22	ADDITIONAL DETAILS:		QUANTITY: 2

