



**ARCHITECTURAL REVIEW BOARD
MUNICIPAL PLANNING COMMISSION
-AGENDA-
Thursday, June 11, 2020 at 7:00 P.M.**

**This will be a virtual meeting that will be streamed on the internet:
worthington.org/live**

A. Call to Order - 7:00 pm

1. Roll Call
2. Pledge of Allegiance
3. Approval of minutes of the May 28, 2020 meeting

B. Architecture Review Board

1. Addition & Garage – **159 E. Dublin-Granville Rd.** (Sean Kocheran/Rekos) **AR 27-2020**
2. Sign – **7140 N. High St.** (Tracey Diehl/Park National Bank) **AR 29-2020**
3. Fence – **590 Hartford St.** (Marlene and Warren Orloff) **AR 31-2020**
4. Garage & Condensing Unit – **570 Evening St.** (Todd Bradham) **AR 32-2020** (Extension & Amendment to AR 27-2016)
5. Condensing Unit – **6555 Worthington Galena Rd.** (Michael Anderson/Worthington Police Headquarters) **AR 33-2020**
6. Hot Tub – **817 Oxford St.** (Todd and Jessica Boucher) **AR 34-2020**
7. Modifications to Previous Approval – **569 Oxford St.** (Michael Siroskey) **AR 35-2020** (Amendment to AR 25-19)

C. Municipal Planning Commission

D. Other

E. Adjournment



MEMORANDUM

TO: Members of the Architectural Review Board
Members of the Municipal Planning Commission

FROM: Lynda Bitar, Planning Coordinator

DATE: June 5, 2020

SUBJECT: Staff Memo for the Meeting of June 11, 2020

B. Architecture Review Board

1. Addition & Garage – **159 E. Dublin-Granville Rd.** (Sean Kocheran/Rekos) **AR 27-2020**

Findings of Fact & Conclusions

Background & Request:

This brick Prairie style duplex was built in 1921 and is in the R-10 Zoning District. Because the structure houses two dwelling units it is non-conforming and would therefore need approval from the Board of Zoning Appeals to extend the use by constructing an addition. The property is reportedly in contract to transfer to new owners and the applicant is requesting approval to construct an addition and new garage, and modify the existing garage.

Project Details:

1. The proposed ~34' wide by 18' deep two-story addition would be attached at the rear of the house in place of existing covered rear porches. Exterior basement steps would also be removed as part of this plan. The walls are proposed to be set in approximately 1.5' from the walls of the existing house. New stairs would lead to doors on both sides of the addition. Because the landings and steps extend beyond the existing house walls, proximity of the east side stairs to the property line would need to be at least 8'. That dimension is needed.
2. A gable roof with a 4:12 pitch is proposed to extend to the rear from the existing gable on the house. The peak would be lower than the main house gable. Asphalt shingles are proposed for the roof that would probably match the roofing on the existing house. A catalogue cut or description is needed. White aluminum gutters and downspouts are proposed.
3. The new walls would be finished with white 7" wide horizontal lap LP siding. The foundation is shown as concrete block but a description and cut sheet are not included.

Brick to match the existing house would face the new steps and landings, and limestone caps are proposed for the treads and landings.

4. Four over one white Pella clad wood windows with simulated divided lights are proposed on the sides and rear of the house to compliment the windows on the existing house. The windows on the rear are shown in four sets of two windows each. On both sides toward the rear, horizontally oriented windows with vertical lights are proposed that are similar to existing side windows. All windows would be trimmed in a white LP material.
5. The side doors would have windows in the top half and 2 raised panels at the bottom. A coach lamp is proposed beside each door. Catalogue cuts are needed.
6. There is an existing 19'3 1/2" x 21'3" garage to the rear of the house. With the addition the structure would be about 15' from the rear of the house. The garage door faces east on the brick structure and there is a man door and window on the north side. The applicant is proposing to replace the roof; added gutters and downspouts; install LP siding over the existing brick; install a new man door that is wider than the existing; install a new double garage door; and install three new coach lamps. Information regarding proposed materials is needed.
7. A second garage is proposed south and east of the existing garage. The new structure would be 19'4" wide by 21'4" deep with a double garage door on the north side. A man door and window are proposed on the west side. LP siding is proposed for this structure and the other details would be as proposed for the existing garage. As with the other structures, more detail of the materials is needed.

Land Use Plan:

Worthington Design Guidelines and Architectural District Ordinance

Residential additions are recommended to maintain similar roof forms; be constructed as far to the rear and sides of the existing residence as possible; be subordinate; and have walls set back from the corners of the main house. Be sure that window designs are appropriate for the style or time period of the house. Avoid use of inappropriate window designs. Design and materials should be traditional, and compatible with the existing structure.

The Guidelines call for outbuildings to be compatible in appearance to the house they accompany.

Recommendation:

The placement and massing of the addition mostly meets the Design Guidelines. The new stairs and landings would extend out further than the house but be partially blocked by bay windows in the front of the house. Although it is a shame to lose the character of the rear of the house, the proposed simplifications for the addition seem to be acceptable. Please review the following considerations:

- Materials should be verified and suitable.
- The brick garage should not be covered with siding.
- Garage doors should be appropriate.
- Although not shown in the proposal, the applicant has expressed some interest in painting the brick. Per the Design Guidelines unpainted masonry should not be painted.

Motion:

THAT THE REQUEST BY SEAN KOCHERAN ON BEHALF OF GREG & JEN REKOS AND THE ESTATE OF CECELIA WEISENBERGER FOR A CERTIFICATE OF APPROPRIATENESS TO CONSTRUCT A REAR ADDITION AND GARAGE AT 159-161 E. GRANVILLE RD. AS PER CASE NO. AR 27-2020, DRAWINGS NO. AR 27-2020, DATED MAY 15, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

2. Sign – 7140 N. High St. (Tracey Diehl/Park National Bank) AR 29-2020**Findings of Fact & Conclusions****Background & Request:**

This two-story brick building was constructed in 2005 for Park National Bank and was designed in the Federal/Adam styles. Initial signage approval included a freestanding sign and 3 directional signs. Shortly after installation of the freestanding sign the owners submitted a new application for a sign that was larger and they felt more complimentary to the building and area. A variance was granted for the new sign to be 8' high x 6' wide with a 2' high x 8' wide base and is the externally illuminated sign that is still in place. This request is to modify all the signage to reflect new branding.

Project Details:

1. The proposed freestanding sign would be in the same location about 10' from the right-of-way line and use the same stone base. The new sign would be a 9' high x 4'3" wide (38.25 square feet in area per side) aluminum cabinet with internally illuminated push through acrylic letters and logo. The depth of the rectangular sign box would be 2'. A dark blue is proposed for the background of the sign; illuminated light blue stripes are proposed on both sides; the bottom ~2.4' feet would be two shades of gray; lettering is shown as white; and the dimensional looking "P" logo would be two shades of blue and a yellow-green color. A variance would be needed for this sign as shown due to having more than 4 colors.
2. Page 7 of the application shows vinyl signage for the glass door that would not need ARB approval or a variance if applied to the inside of the door.
3. There is a small stone sign to the right of the door. This proposal includes a 7.5" high x 1'4" wide vinyl covering for the stone.
4. The three freestanding directional signs are proposed for replacement in the same locations with post and panel type signs. The panels would be 30" high x 15" wide x 3 3/16" deep aluminum boxes in dark blue with a light blue stripe down the sides and mounted on gray poles. The bottom of the signs would be 18" above the ground. Each sign is shown divided into three sections with light blue and yellow-green stripes, and would have text in white vinyl stick-on graphics.
 - Sign at N. High St. Entrance: Top – Enter; Middle – Parking; and bottom Drive-thru and all with arrows. Shown as double sided although there are no left turns allowed when heading south on N. High St. so the north side of the sign could only say exit.
 - The other two signs are located at the E. Wilson Bridge Rd. drive and currently say

enter to the west and exit to the east. The replacement east sign would say exit at the top. (Mocked up photo incorrectly places the sign on N. High St.) The entrance sign is proposed with the name and logo at the top and enter in the middle panel.

Variances would be needed for the size and height of all three signs, and too many colors on the entrance sign with the logo.

5. Additional directional signs were added at some point to the fence and dumpster enclosure. Both 1.5 square foot signs are proposed for replacement using the light blue and dark blue color scheme with white letters. A directional sign was also added to the north side of the building pointing to the drive-thru and lobby that would be replaced. A handicapped parking sign is proposed near the front entrance in the same colors. There are also existing illuminated directional signs on the drive-thru canopy for the lanes which would stay, and a sign is proposed in the same color for the clearance height. A variance would be necessary for total directional sign area of 27.25 square feet.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

The Worthington Design Guidelines and Architectural District Ordinance recommend signs be efficient and compatible with the age and architecture of the building. Use of traditional sign materials such as painted wood, or material that looks like painted wood, is the most appropriate material for projecting and wall signs. While the regulations permit a certain maximum square footage of signs for a business, try to minimize the size and number of signs. Place only basic names and graphics on signs along the street so that drive-by traffic is not bombarded with too much information. Signs must be distinctive enough to be readily visible but avoid incompatible modern colors such as “fluorescent orange” and similar colors. Bright color shades generally are discouraged in favor more subtle and toned-down shades.

The Architectural District Ordinance calls for design and materials to be compatible.

Recommendations:

- The proposed freestanding sign is not in character with the classic looking architecture of the building. Although the colors are not totally objectionable, the shape of the sign and the illuminated side panels are not appropriate.
- The stone wall sign should not be covered.
- All vinyl cling door signage should be mounted on the interior.
- The freestanding directional signs are larger and taller than is needed. Also, the applicant must clarify the messaging. Some dimensional lettering rather than stick on flat vinyl would be preferable.
- Building and fence mounted directional signs were added without approval but at least did not stand out due to the colors used. With the proposed colors the signs would be more noticeable. Because the bank has now been at this location for 15 years and is on a relatively compact site, customers should not need these additional directional signs. The exceptions might be the sign on the dumpster indicating access to travel south on N. High St. and the handicapped parking sign. Fine information is required to be included with the parking sign.

Staff recommends tabling the application after discussion to allow modifications to the proposal.

Motion:

THAT THE REQUEST BY TRACEY DIEHL ON BEHALF OF PARK NATIONAL BANK FOR A CERTIFICATE OF APPROPRIATENESS TO REPLACE THE SIGNS AT 7140 N. HIGH ST., AS PER CASE NO. AR 29-2020, DRAWINGS NO. AR 29-2020, DATED MAY 14, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

3. Fence – **590 Hartford St.** (Marlene and Warren Orloff) **AR 31-2020**

Findings of Fact & Conclusions**Background & Request:**

This property is 51.85' wide and 240.12' deep with a two-story vernacular house constructed in 1910 which is a contributing building in the Worthington Historic District. Fencing is proposed at the rear of the property.

Project Details:

1. The property owners are proposing a 6' high solid Cedar fence along the rear 60' of the north property line and along the full width of the rear property line.
2. There is a sanitary sewer approximately 3' from the rear property line in a 25' easement, 12.5' of which is on this property. Placement of a fence would be allowed but should access be needed to the sewer, removal and replacement of the fence would be at the property owners expense.

Land Use Plans:**Worthington Design Guidelines and Architectural District Ordinance**

Fences have long been used to mark property boundaries, to restrict access to properties by people and animals and for decorative purposes. They serve these traditional purposes in Worthington and can add to the character of a neighborhood when they are well executed and properly cared for. Fencing should be open in style; constructed with traditional materials; 3' to 4' in height; in the back yard; and of simple design, appropriate for the house style.

Consider using natural plant materials instead of fences. Various bushes and shrubs can be used to mark property lines or to set off private areas such as rear patios. Some of these may be evergreens; some may lose their leaves in the fall. Get good advice from a nursery or professional arborist about plant size, shape, rate of growth and care before choosing a natural fencing material.

Whether natural or man-made, all fencing materials require maintenance. Do not let plants get overgrown or full of litter; keep wood fences painted or coated with opaque stain; keep metal fences from rusting; and watch for mortar loss and other deterioration in masonry walls.

Recommendation:

Staff is recommending denial of this application as presented, as the proposed fence does not meet the recommendations found in the Design Guidelines. Any fence should be no higher than 4' and open in style.

Motion:

THAT THE REQUEST BY MARLENE AND WARREN ORLOFF FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL FENCING AT 590 HARTFORD ST. AS PER CASE NO. AR 31-2020, DRAWINGS NO. AR 31-2020, DATED MAY 21, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

4. Garage & Condensing Unit – **570 Evening St.** (Todd Bradham) **AR 32-2020** (Extension & Amendment to AR 27-2016)

Findings of Fact & Conclusions**Background & Request:**

This house is a 1940 Colonial Revival style with a one-car attached garage on an 88' wide lot. The house is a contributing building in the Worthington Historic District. The homeowner was approved to add a detached two-car garage to the south of the house in 2016. Now the owner would like to extend the previous approval with minor modifications and add a condensing unit.

Project Details:

1. The proposed garage is 24' wide x 28' deep, and would be located 8' east of the front of the house; 4' south of the house; and 8' from the south property line. Construction of a new drive and entrance is proposed. Previously the garage was reduced to 21' in width to fit it in with existing trees.
2. The proposed garage would be 1 ½ stories with two single carriage style doors with arched windows at the top. With the last approval the ARB also allowed the use of a double door as an option. A catalogue cut of the garage door is needed. Proposed is lap siding, either wood or fiber cement, painted to match the house, and asphalt shingles to match the house. Trim elements would be complementary to the trim on the house. On the front gable, cedar or fiber cement shakes were previously proposed but not approved.
3. A variance for total accessory building area will be needed due to usable space on the second floor of the new garage, and the presence of a shed.
4. A new condensing unit is proposed on the south side of the house in the middle. The drawing indicates the unit would be screened with vegetation. It is not clear how the spacing between the house and garage would be impacted with placement of the unit and its screening. An accurate site plan is needed.

Land Use Plans:Worthington Design Guidelines and Architectural District Ordinance

The Guidelines call for outbuildings to be compatible in appearance to the house they accompany. Keep functional items such as trash containers and mechanical equipment well screened with fences or plantings.

Recommendation:

Staff is recommending approval of this application if all details are presented and acceptable.

Motion:

THAT THE REQUEST BY TODD BRADHAM TO EXTEND AND AMEND CERTIFICATE OF APPROPRIATENESS NO. 27-2016 TO CONSTRUCT A NEW GARAGE AND FOR APPROVAL TO INSTALL A CONDENSING UNIT AT 570 EVENING ST., AS PER CASE NO. AR 32-2020, DRAWINGS NO. AR 32-2020, DATED MAY 22, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

5. Condensing Unit – **6555 Worthington Galena Rd.** (Michael Anderson/Worthington Police Headquarters) **AR 33-2020**

Findings of Fact & Conclusions**Background & Request:**

The police building was originally constructed in 1979 but was purchased for use as Police Headquarters in 2001. At that time, the parcel was combined with the City Hall and Division of Fire parcels and became part of the Architectural Review District. This project involves remodeling the building lobby to create a separate vestibule and secure entrance. The only visible change to the outside would be placement of a condensing unit.

Project Details:

1. A condensing unit is proposed to the right of the entrance.
2. The unit would be partially screened with existing shrubs, a boulder and a yew.
3. A black bollard is proposed in the middle of the sidewalk in front of the door.

Land Use Plans:Worthington Design Guidelines and Architectural District Ordinance

Keep functional items such as trash containers and mechanical equipment well screened with fences or plantings.

Recommendation:

Staff is recommending approval of this application, as placement of the condensing unit would be acceptable with the proposed screening.

Motion:

THAT THE REQUEST BY MICHAEL ANDERSON ON BEHALF OF THE CITY OF WORTHINGTON FOR A CERTIFICATE OF APPROPRIATENESS TO ADD A CONDENSING UNIT 6555 WORTHINGTON-GALENA RD., AS PER CASE NO. AR 33-2020, DRAWINGS NO. AR 33-2020, DATED MAY 29, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

6. Hot Tub – 817 Oxford St. (Todd and Jessica Boucher) AR 34-2020

Findings of Fact & Conclusions

Background & Request:

This house is the second house south of W. Stafford Ave. on west side of Oxford St. Constructed in 1928, the house is of Colonial Revival Influence and is a contributing building in the Worthington Historic District. The property is 80' wide and 153.64' deep and drops off quickly to the west with a walkout lower level and decking above. This is a proposal to add a hot tub.

Project Details:

1. The 7' x 7' x 3' high hot tub is proposed below the rear deck on the north side.
2. The Nordic Encore SE would have a mahogany exterior and brown cover.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Compatibility of design and materials, exterior details and relationships are standards of review in the Architectural District ordinance.

Recommendations:

Staff is recommending approval of the application as the hot tub appears it would be an attractive addition to rear yard.

Motion:

THAT THE REQUEST BY TODD AND JESSICA BOUCHER FOR A CERTIFICATE OF APPROPRIATENESS TO ADD A HOT TUB AT 817 OXFORD ST. AS PER CASE NO. AR 34-2020, DRAWINGS NO. AR 34-2020, DATED JUNE 11, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

7. Modifications to Previous Approval – **569 Oxford St.** (Michael Siroskey) **AR 35-2020**
(Amendment to AR 25-19)

Findings of Fact & Conclusions

Background & Request:

The house at 569 Oxford St. is an American Foursquare that was built in 1915 and is a contributing building in the Worthington Historic District. A rear addition was constructed in the early 1980's. The owner gained approval in 2019 to renovate the house, modifying the windows and rear door, and add skylights. Now the owner is proposing a couple of changes to the previous approval.

Project Details:

1. The original plan was to match the aluminum siding on the original part of the house, but the same siding is not available. The applicant is instead proposing to use Hardi plank painted medium to dark blue with cream color trim for the rear addition and reuse the removed rear siding to patch around window changes for the original house. The house would then be painted to match the addition sometime in the next year.
2. An additional window is proposed for the north side of the original house. It would be the same style as the others that were approved - Reliabl 460 Double Hung Vinyl Window in Almond Color 29 1/2" W x 35 1/2" H.
3. Movement of a rear second floor window is proposed.
4. Two slider windows on the south side of the house are proposed for replacement with Reliabl 755 Awning Windows in Almond.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Using the excellent precedents of Worthington's many historic structures, carefully design the pattern of window openings; window sizes and proportions (they must be appropriate for the size and proportions of the wall in which they are placed); pattern of window panes and muntins; and trim around the windows. Design and materials should be traditional, and compatible with the existing structure.

Recommendation:

Staff is recommending approval of the application as the modifications would not change the character of the house.

Motion:

THAT THE REQUEST BY MICHAEL SIROSKEY FOR A CERTIFICATE OF APPROPRIATENESS TO MODIFY THE PREVIOUS APPROVAL AT 569 OXFORD ST., AS PER CASE NO. AR 35-2020, DRAWINGS NO. AR 35-2020, DATED MAY 29, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.



City of Worthington
ARCHITECTURAL REVIEW BOARD
Certificate of Appropriateness
Application

Case # AR 27-7020
Date Received 05/15/2020
Fee \$200.00 PD
Meeting Date 05-28-2020
Filing Deadline _____
Receipt # 68473

1. Property Location 159 E. Dublin - GRANVILLE Rd.
2. Present/Proposed Use currently a double. Convert as two condos
3. Zoning District _____
4. Applicant Sean Keheran
Address 351 W. South St. Worthington, OH 43085
Phone Number(s) 614-679-3863
Email _____
5. Property Owner Careg: JEN REKOS (in contract to purchase)
Address ~~9396 Concord Rd. Powell, OH 43065~~ 9396 Concord Rd. Powell, OH 43065
Phone Number(s) 614-202-9331
Email _____
6. Project Description ~~detached garage and two story addition~~
~~for either a single or a two story addition~~
7. Project Details:
- a) Design ~~single or two story addition~~ stepped in on the side of the existing home
- b) Color WHITE
- c) Size 20x20 detached garage ~~single or two story addition 18'~~
deep across the back of the house
- d) Approximate Cost TBD Expected Completion Date Fall of 2020

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

[Signature]
Applicant (Signature)

5/15/20
Date

[Signature]
Property Owner (Signature)

5/15/20
Date

ABUTTING PROPERTY OWNERS
FOR
159 E. Dublin-Granville Rd.

Eugene Wells		151 E. Granville Rd.	Worthington, OH 43085
Sandra Masters		152 E. Granville Rd.	Worthington, OH 43085
James Masters	Carol Masters	160 E. Granville Rd.	Worthington, OH 43085
Chase Home Finance LLC		172 E. Granville Rd.	Worthington, OH 43085
Corelogic		171 E. Granville Rd.	Worthington, OH 43085
Diane Breedlove		174 E. New England Ave.	Worthington, OH 43085
Tenant		140 E. New England Ave.	Worthington, OH 43085
Martha Sprout		175 E. New England Ave.	Worthington, OH 43085



R.A.S. Construction
351 W. South St.
Worthington, OH 43085
614-679-3863 | sean@designbuildras.com

Supporting Statement

159 E. Dublin Granville Rd.

**RAS Construction, Inc.
351 W. South St. Worthington, OH. 43085
614-679-3863**

5/15/20

To whom it may concern,

We are asking for ARB approval to construct a second two car garage and an addition to the rear of the house. The new garage will be constructed with the same hip roof detail so to match the shape and size of the existing garage which will have a garage door added to it. We are asking for ARB approval for ~~both a single story and a two story addition option. Both versions are~~ respectful of the existing home and step in on the sides and stays below the existing main roof peak. The windows will be Pella clad with simulated divided light to look like the existing windows. In close, the project will be a nice compliment to the existing home and give much needed space to the home.

Respectfully Submitted,
Sean Kocheran

CITY OF WORTHINGTON

DRAWING NO. AR 27-2020

DATE 05-15-2020

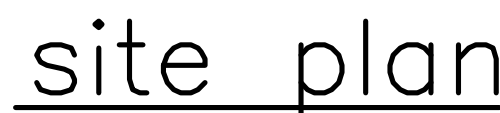
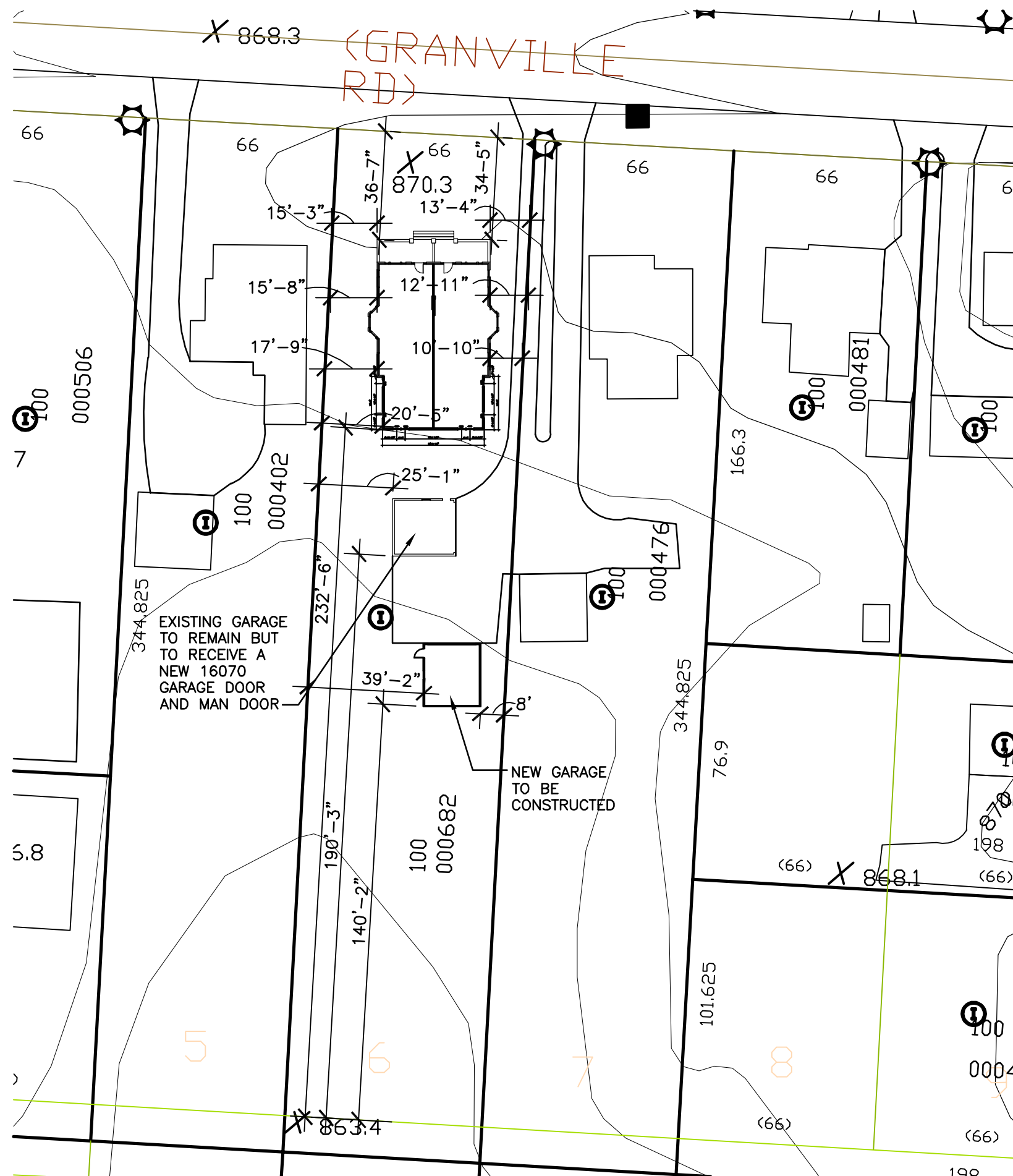
159-161 E. Dublin-Granville Rd.



PROPOSED ADDITION FOR THE RESIDENCE AT
1559 / 161 E. GRANVILLE RD WORTHINGTON, OHIO 43085

A1

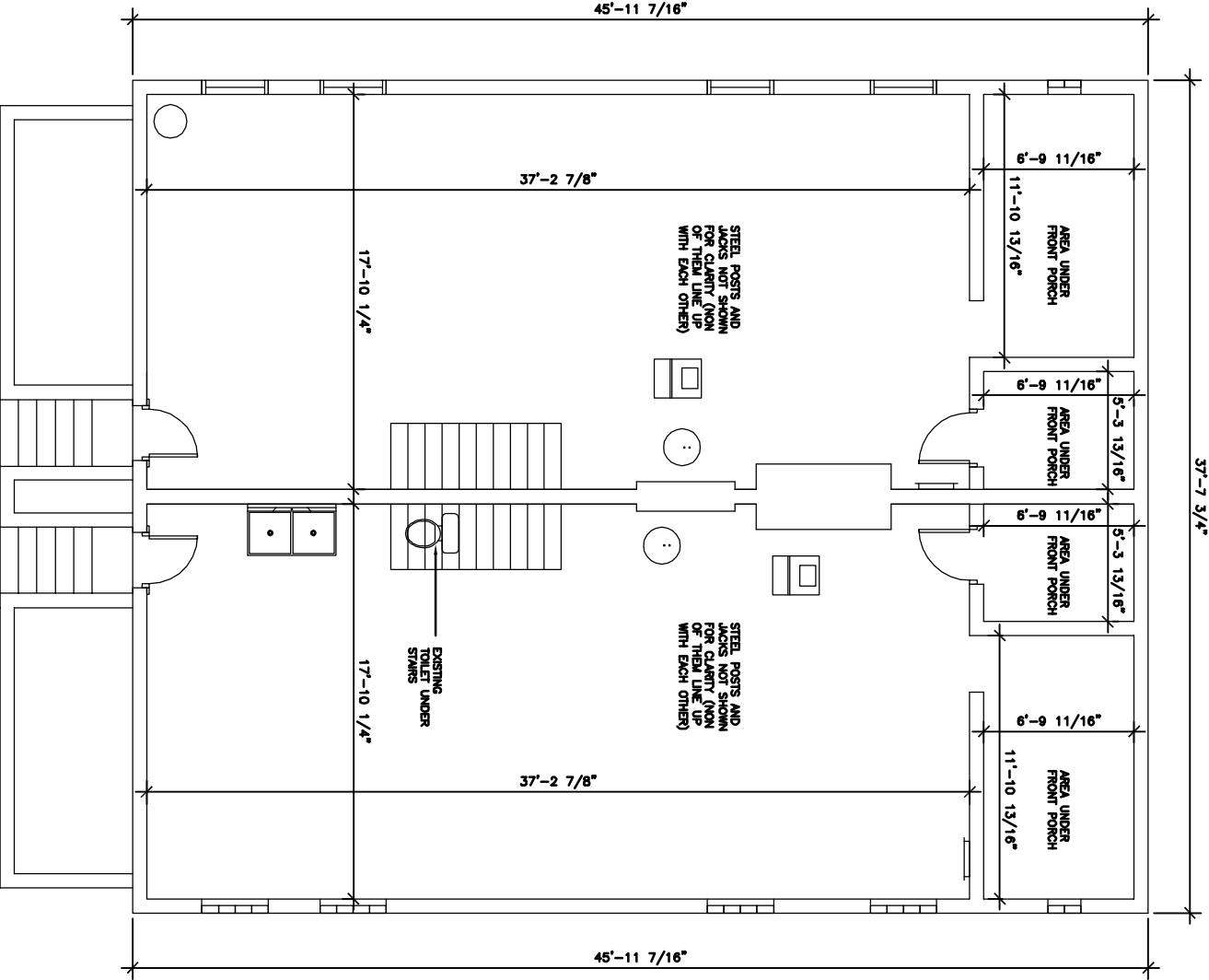
DATE 05-15-2020


$$1'' = 40'-0''$$


THESE DRAWINGS HAVE BEEN
PREPARED BY JOHN YOUNG
(YOUNGS' CAD SERVICE) 7952
TRELLAGE CT. POWELL, OHIO
43065 (614) 507-9678 FOR
RAS CONSTRUCTION.

NOA PROPOSED ADDITION FOR THE RESIDENCE AT
159 / 161 E. GRANVILLE RD WORTHINGTON, OHIO 43085

DATE: 6/1/2020 SET:
ARCHITECTURAL REVIEW SET



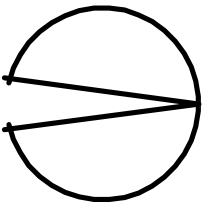
CITY OF WORTHINGTON

DRAWING NO. AR 27-2020

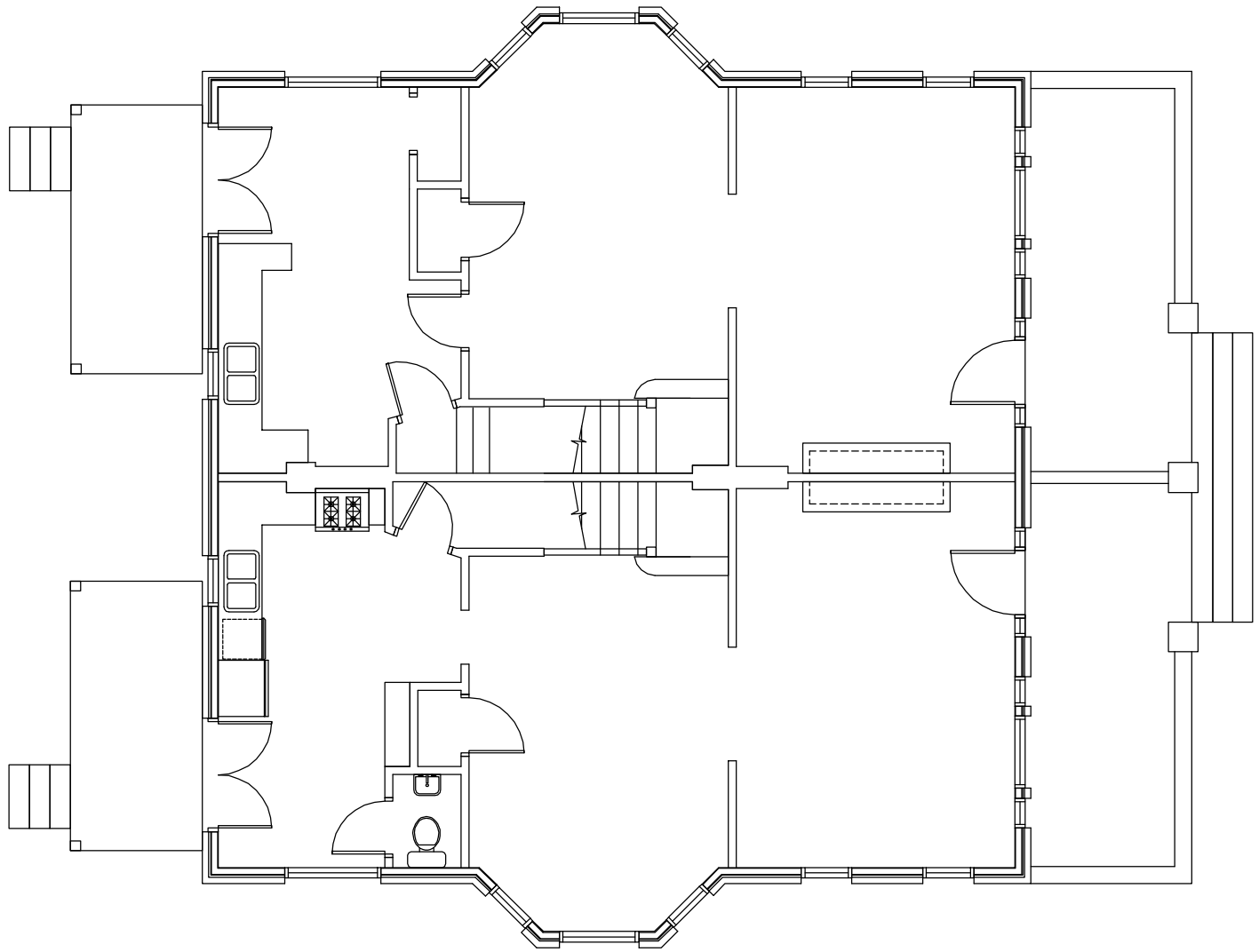
DATE 05-15-2020

existing basement floor plan

1/8" = 1'-0"



THESE DRAWINGS HAVE BEEN
PREPARED BY JOHN YOUNG
(YOUNGS' CAD SERVICE) 7952
TRELLAGE CT. POWELL, OHIO
43065 (614) 507-9678 FOR
RAS CONSTRUCTION.



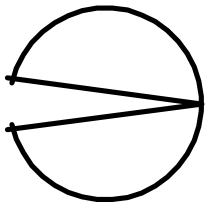
CITY OF WORTHINGTON

DRAWING NO. AR 27-2020

DATE 05-15-2020

existing first floor plan

1/8" = 1'-0"



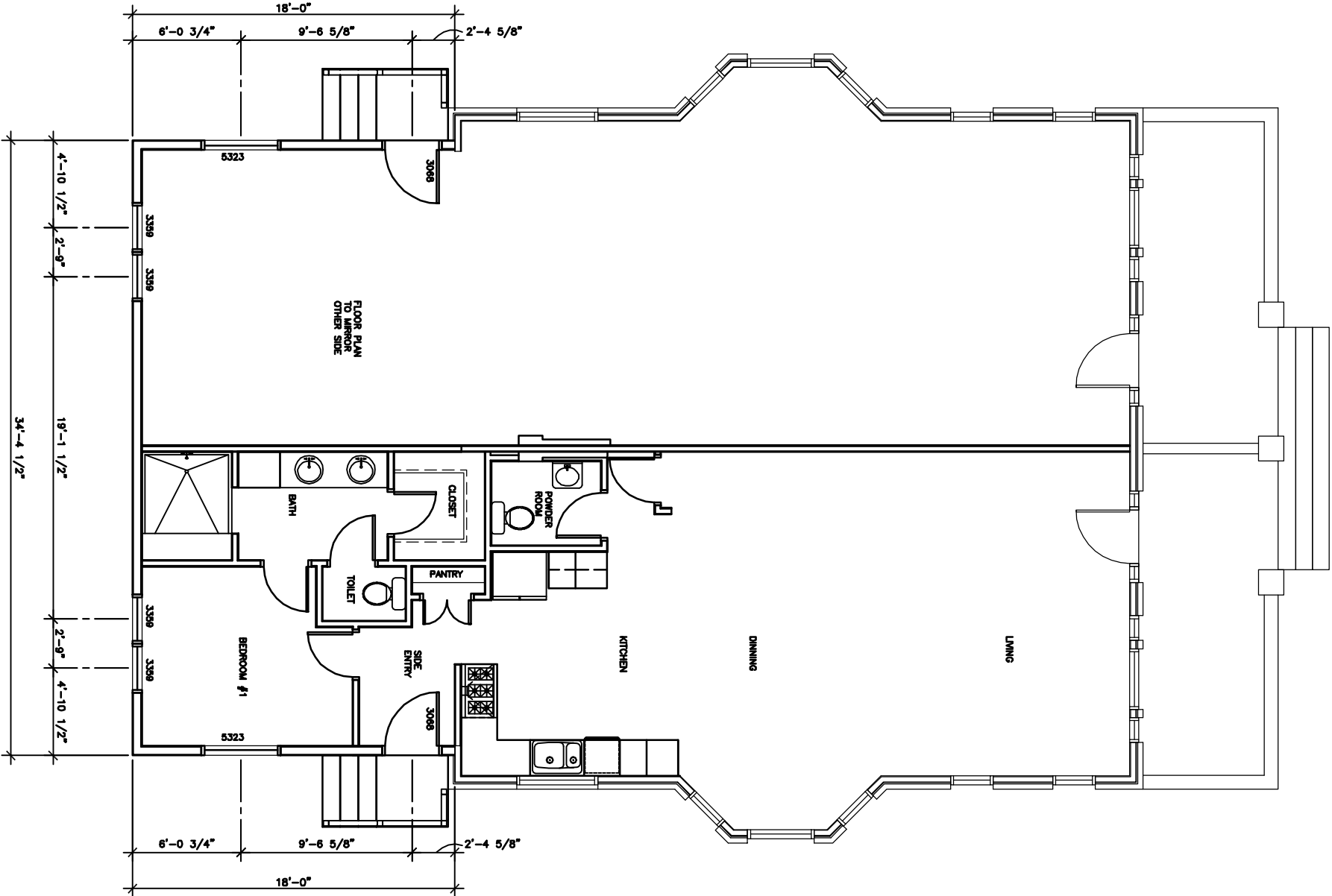
W PROPOSED ADDITION FOR THE RESIDENCE AT
159 / 161 E. GRANVILLE RD WORTHINGTON, OHIO 43085

DATE: 6/1/2020 SET:
ARCHITECTURAL REVIEW SET

THESE DRAWINGS HAVE BEEN
PREPARED BY JOHN YOUNG
(YOUNGS' CAD SERVICE) 7952
TRELLAGE CT. POWELL, OHIO
43065 (614) 507-9678 FOR
RAS CONSTRUCTION.

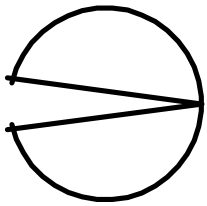
4A PROPOSED ADDITION FOR THE RESIDENCE AT
159 / 161 E. GRANVILLE RD WORTHINGTON, OHIO 43085

DATE: 6/1/2020 SET:
ARCHITECTURAL REVIEW SET



proposed first floor plan

1/8" = 1'-0"

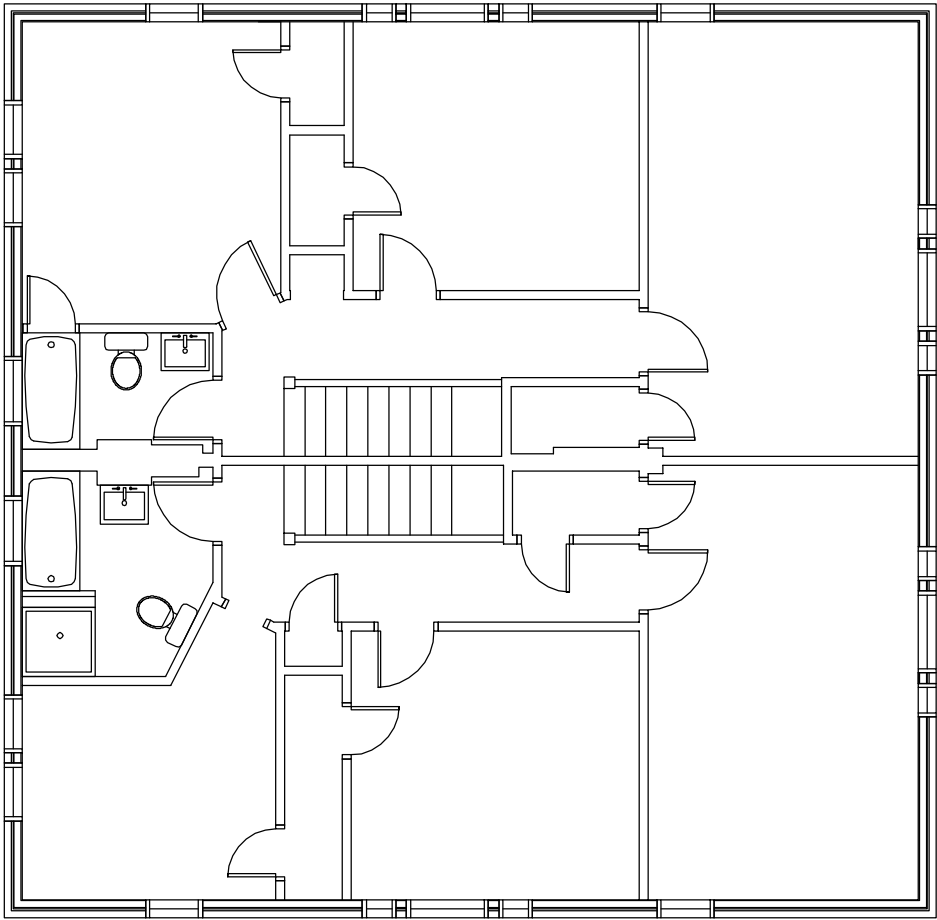


CITY OF WORTHINGTON

DRAWING NO. AR 27-2020

DATE 05-15-2020

THESE DRAWINGS HAVE BEEN
PREPARED BY JOHN YOUNG
(YOUNGS' CAD SERVICE) 7952
TRELLAGE CT. POWELL, OHIO
43065 (614) 507-9678 FOR
RAS CONSTRUCTION.



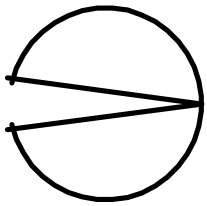
CITY OF WORTHINGTON

DRAWING NO. AR 27-2020

DATE 05-15-2020

existing second floor plan

1/8" = 1'-0"



UIA PROPOSED ADDITION FOR THE RESIDENCE AT
159 / 161 E. GRANVILLE RD WORTHINGTON, OHIO 43085

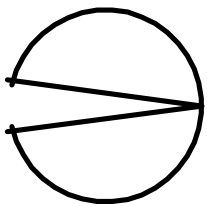
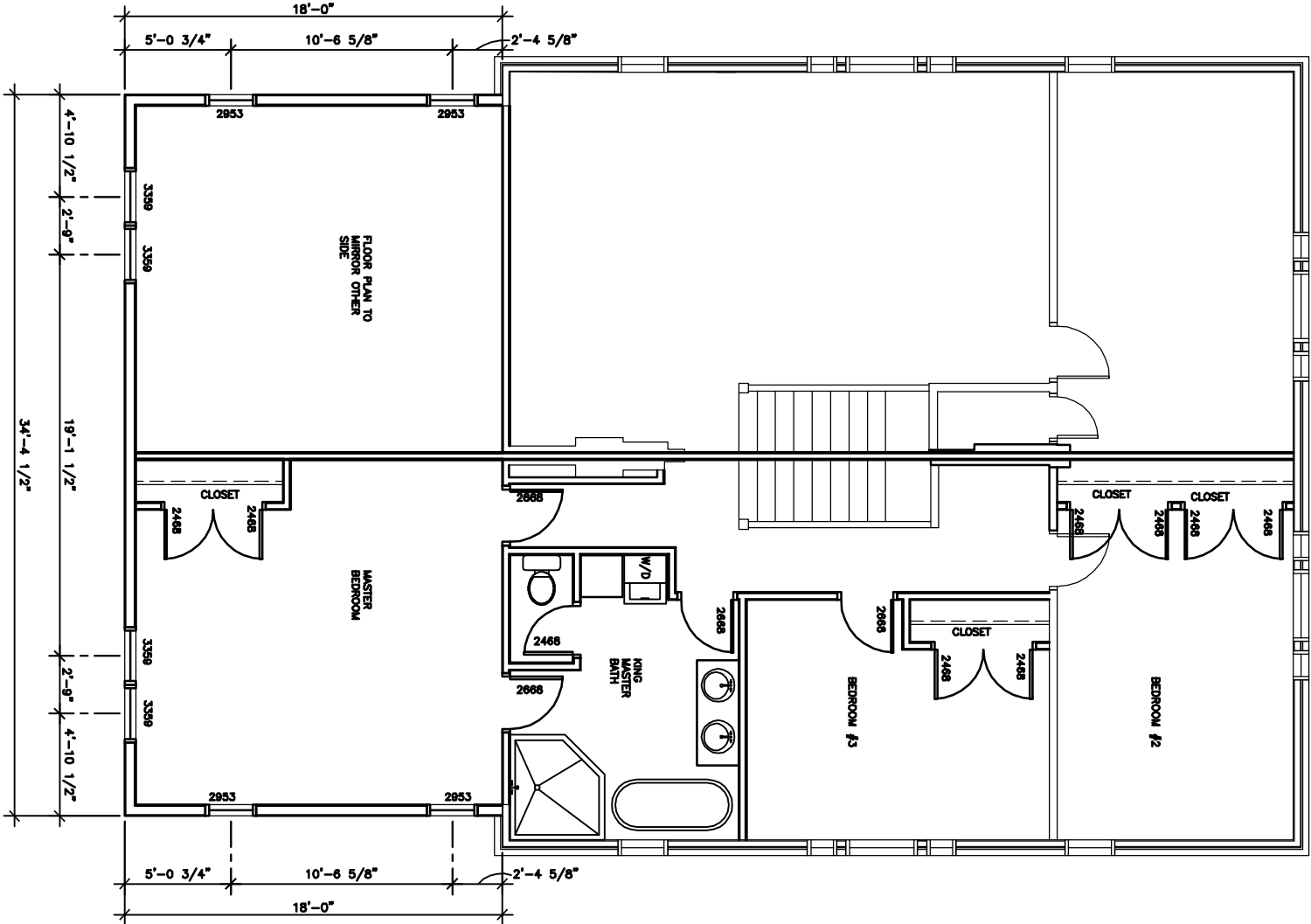
DATE: 6/1/2020 SET:
ARCHITECTURAL REVIEW SET

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(YOUNGS' CAD SERVICE) 7952
TRELLAGE CT. POWELL, OHIO
43065 (614) 507-9678 FOR
RAS CONSTRUCTION.

PROPOSED ADDITION FOR THE RESIDENCE AT
159 / 161 E. GRANVILLE RD WORTHINGTON, OHIO 43085



DATE: 6/1/2020 SET:
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proposed second floor plan

1/8" = 1'-0"

CITY OF WORTHINGTON
DRAWING NO. AR 27-2020
DATE 05-15-2020

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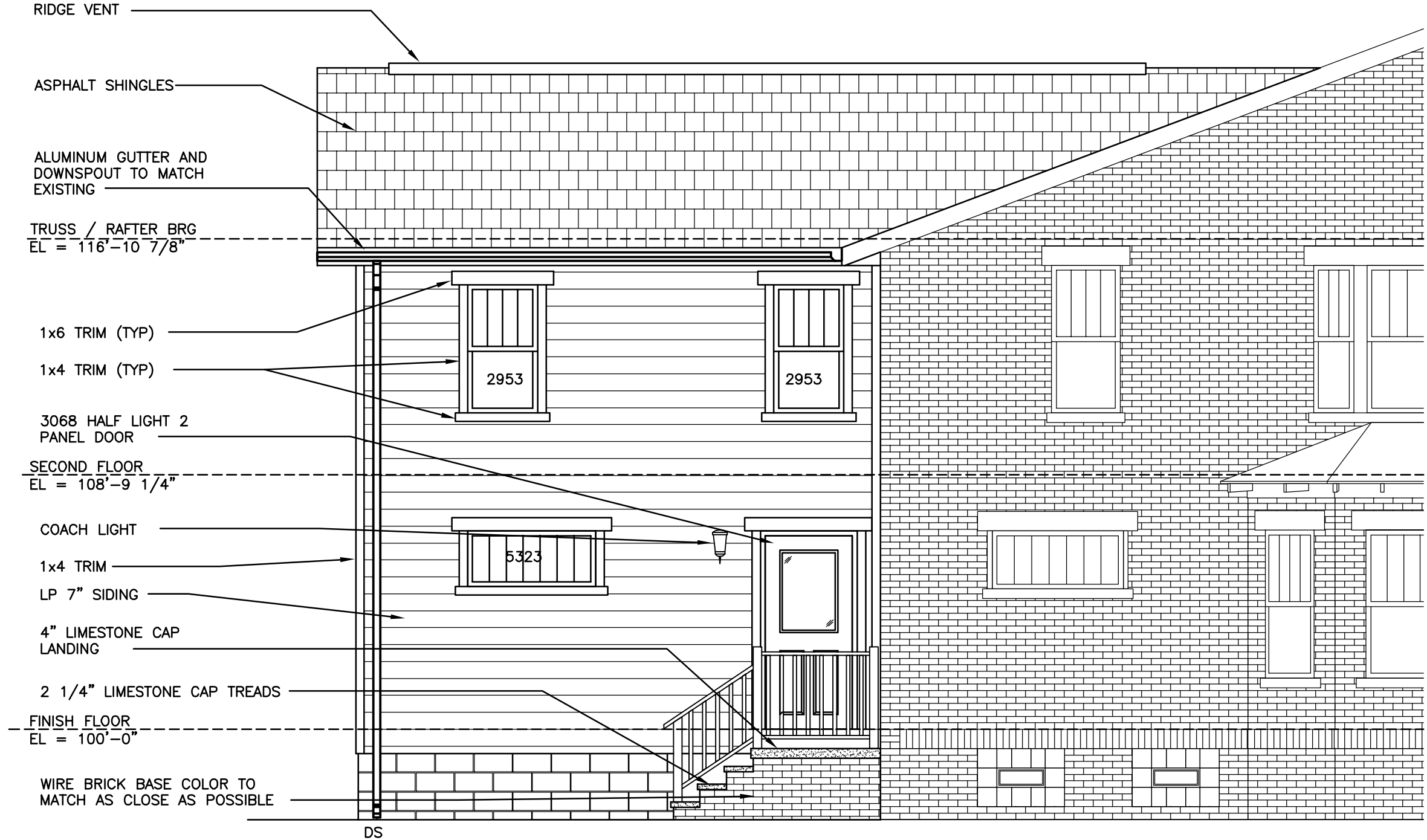
partial east elevation

1/4" = 1'-0"

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proposed east elevation

1/4" = 1'-0"

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DRAWING NO. AR 27-2020

DATE 05-15-2020

existing south elevation

1/4" = 1'-0"

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PROPOSED ADDITION FOR THE RESIDENCE AT
159 / 161 E. GRANVILLE RD WORTHINGTON, OHIO 43085



CITY OF WORTHINGTON

DRAWING NO. AR 27-2020

DATE 05-15-2020

proposed south elevation

1/4" = 1'-0"

10A

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partial west elevation

1/4" = 1'-0"

CITY OF WORTHINGTON

DRAWING NO. AR 27-2020

DATE 05-15-2020

PROPOSED ADDITION FOR THE RESIDENCE AT
159 / 161 E. GRANVILLE RD WORTHINGTON, OHIO 43085

11A

DATE: 6/1/2020 SET:
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PROPOSED ADDITION FOR THE RESIDENCE AT
159 / 161 E. GRANVILLE RD WORTHINGTON, OHIO 43085

10A

DATE: 6/1/2020 SET:
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proposed partial west elevation

1/4" = 1'-0"

CITY OF WORTHINGTON

DRAWING NO. AR 27-2020

DATE 05-15-2020



photo #1

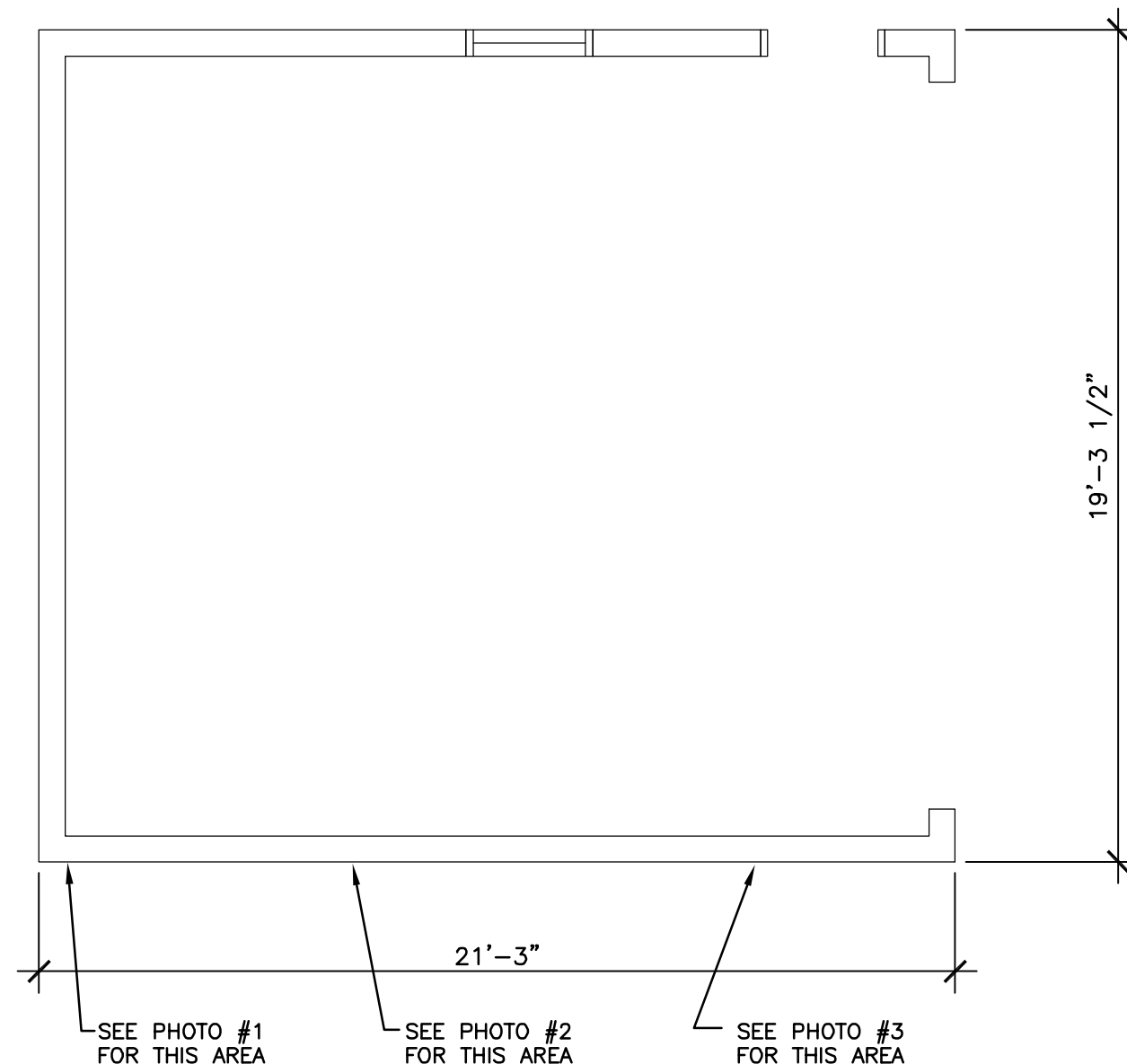


photo #2



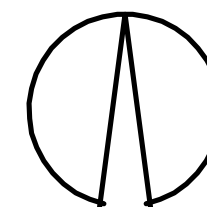
photo #3

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existing floor plan garage #1

1/4" = 1'-0"



CITY OF WORTHINGTON

DRAWING NO. AR 27-2020

DATE 05-15-2020

13A
PROPOSED ADDITION FOR THE RESIDENCE AT
159 / 161 E. GRANVILLE RD WORTHINGTON, OHIO 43085

DATE: 6/1/2020 SET:
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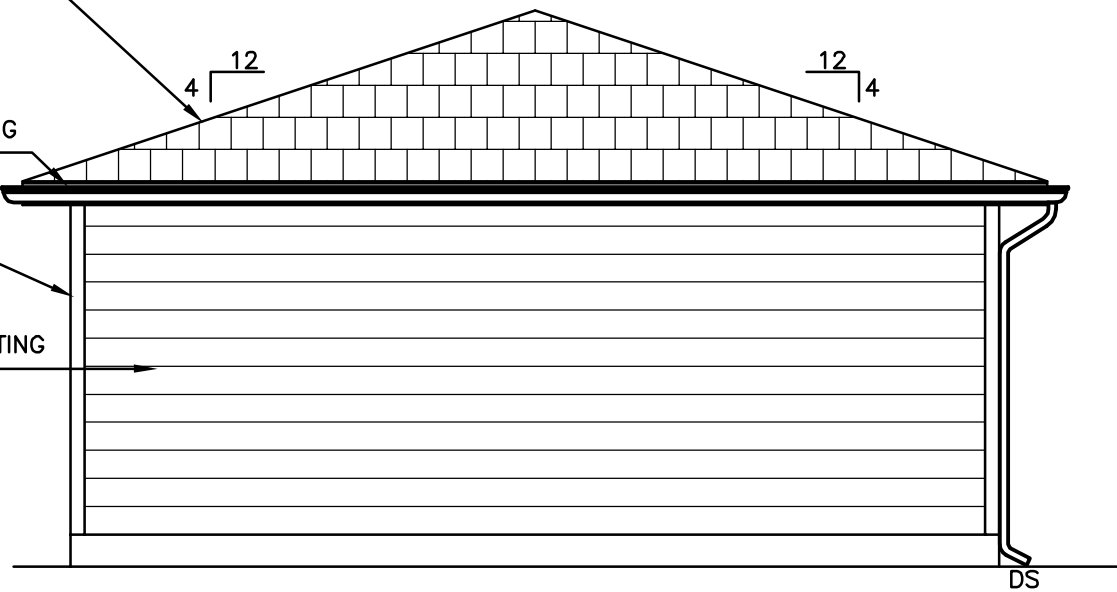
THESE DRAWINGS HAVE BEEN
PREPARED BY JOHN YOUNG
(YOUNGS' CAD SERVICE) 7952
TRELLAGE CT. POWELL, OHIO
43065 (614) 507-9678 FOR
RAS CONSTRUCTION.

REMOVE EXISTING DETERIORATED ROOF
STRUCTURE AND REPLACE WITH NEW HIP
ROOF WITH ASPHALT SHINGLES OVER #30
FELTS ON 7/16" OSB SHEATHING ON HIP
STYLE PRE-ENGINEERED WOOD TRUSSES @
24" O.C.

PRE-FINISHED
ALUMINUM GUTTER
TO MATCH EXISTING
HOUSE

1x4 TRIM

OVER LAY LP 7"
SIDING OVER EXISTING
BRICK STRUCTURE



west elevation

1/4" = 1'-0"

REMOVE EXISTING DETERIORATED ROOF
STRUCTURE AND REPLACE WITH NEW HIP
ROOF WITH ASPHALT SHINGLES OVER #30
FELTS ON 7/16" OSB SHEATHING ON HIP
STYLE PRE-ENGINEERED WOOD TRUSSES @
24" O.C.

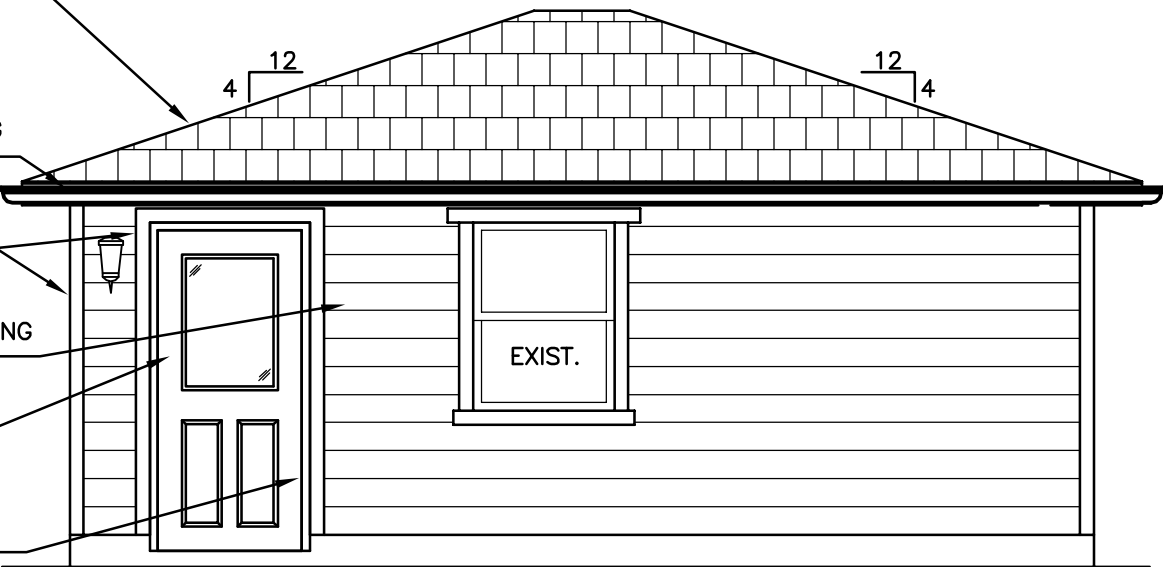
PRE-FINISHED
ALUMINUM GUTTER
TO MATCH EXISTING
HOUSE

1x4 TRIM

OVER LAY LP 7"
SIDING OVER EXISTING
BRICK STRUCTURE

3068 HALF LIGHT
2 PANEL DOOR

WIDEN EXISTING
OPENING TO
ACCOMMODATE
3068 MAN DOOR



north elevation

1/4" = 1'-0"

CITY OF WORTHINGTON

DRAWING NO. AR 27-2020

DATE 05-15-2020

PROPOSED ADDITION FOR THE RESIDENCE AT
159 / 161 E. GRANVILLE RD WORTHINGTON, OHIO 43085

14A

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STRUCTURE AND REPLACE WITH NEW HIP
ROOF WITH ASPHALT SHINGLES OVER #30
FELTS ON 7/16" OSB SHEATHING ON HIP
STYLE PRE-ENGINEERED WOOD TRUSSES @
24" O.C.

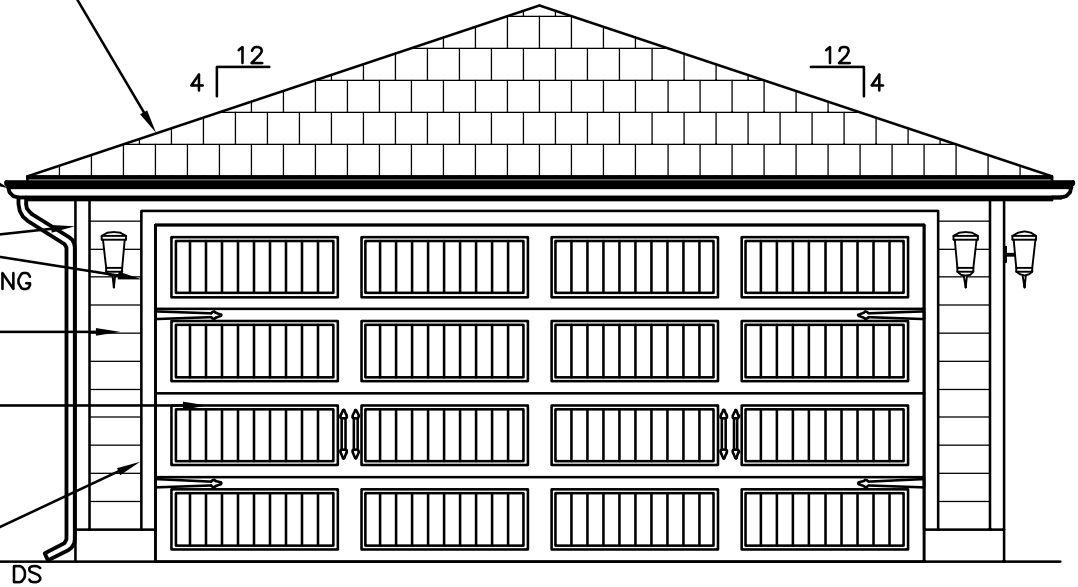
PRE-FINISHED
ALUMINUM GUTTER
TO MATCH EXISTING
HOUSE

1x4 TRIM

OVER LAY LP 7" SIDING
OVER EXISTING BRICK
STRUCTURE

16070 GARAGE
DOOR

INFILL FRAME BOTH
SIDES AS NEEDED
TO INSTALL NEW
16070 GARAGE
DOOR



east elevation

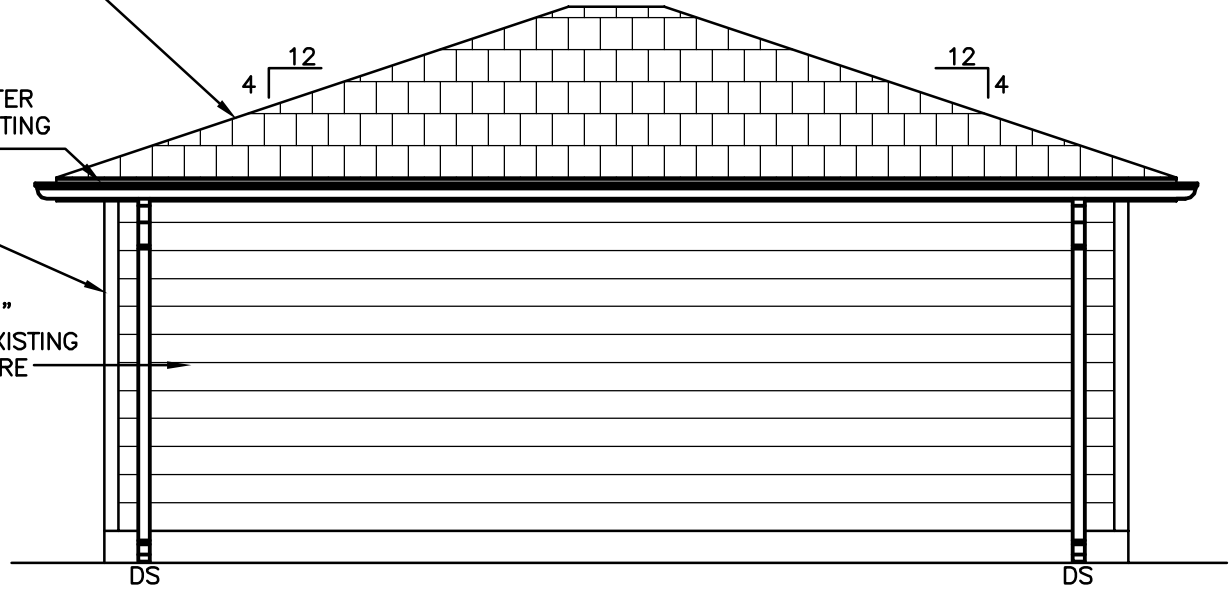
1/4" = 1'-0"

REMOVE EXISTING DETERIORATED ROOF
STRUCTURE AND REPLACE WITH NEW HIP
ROOF WITH ASPHALT SHINGLES OVER #30
FELTS ON 7/16" OSB SHEATHING ON HIP
STYLE PRE-ENGINEERED WOOD TRUSSES @
24" O.C.

PRE-FINISHED
ALUMINUM GUTTER
TO MATCH EXISTING
HOUSE

1x4 TRIM

OVER LAY LP 7"
SIDING OVER EXISTING
BRICK STRUCTURE



south elevation

1/4" = 1'-0"

CITY OF WORTHINGTON

DRAWING NO. AR 27-2020

DATE 05-15-2020

PROPOSED ADDITION FOR THE RESIDENCE AT
159 / 161 E. GRANVILLE RD WORTHINGTON, OHIO 43085

15A
151

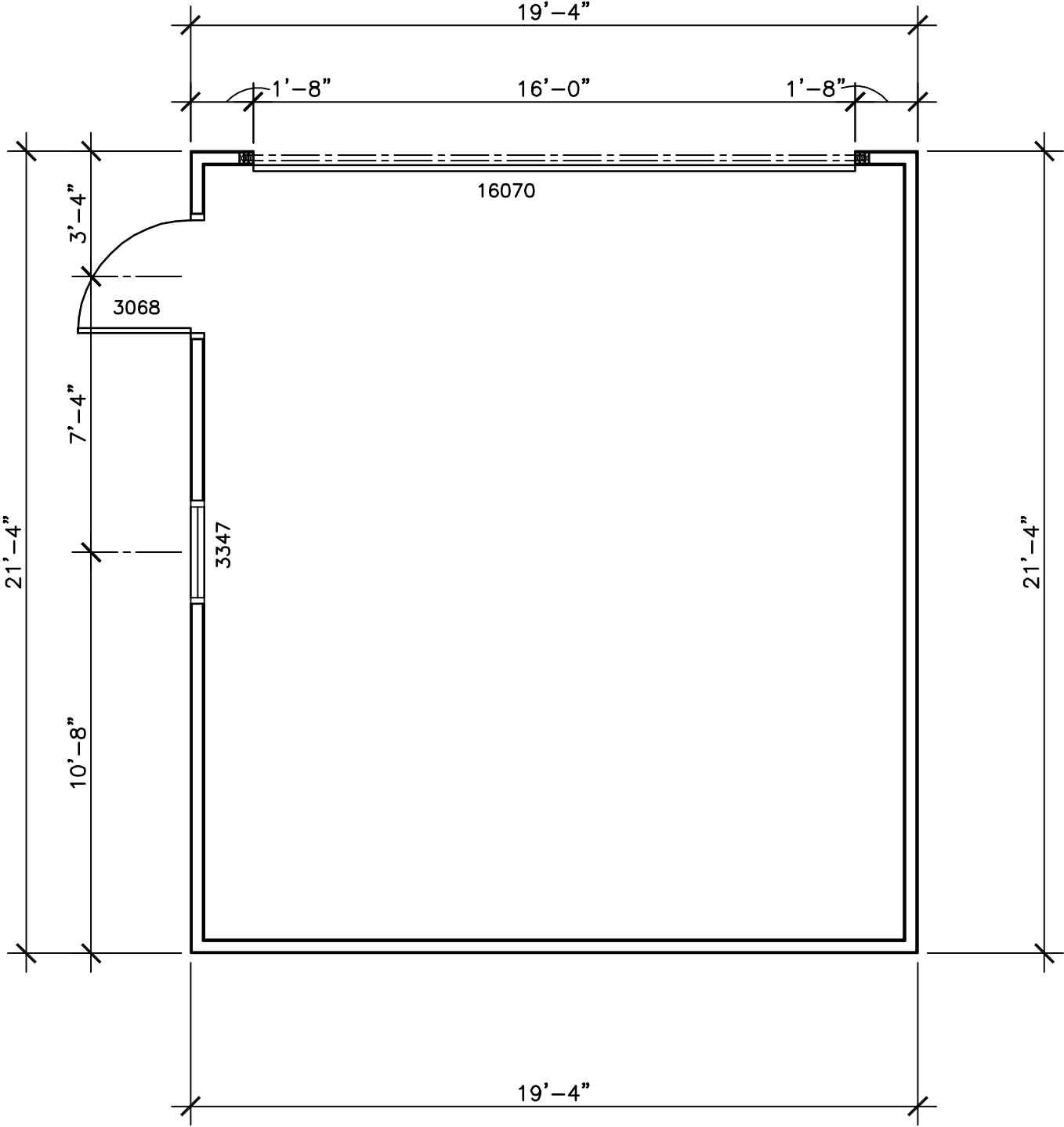
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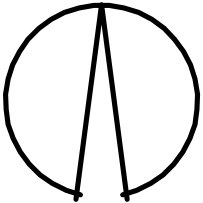
10A

DATE: 6/1/2020 SET:
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floor plan garage #2

1/4" = 1'-0"



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ASPHALT SHINGLES OVER
#30 FELTS ON 7/16"
OSB SHEATHING ON HIP
STYLE PRE-ENGINEERED
WOOD TRUSSES @ 24"
O.C.

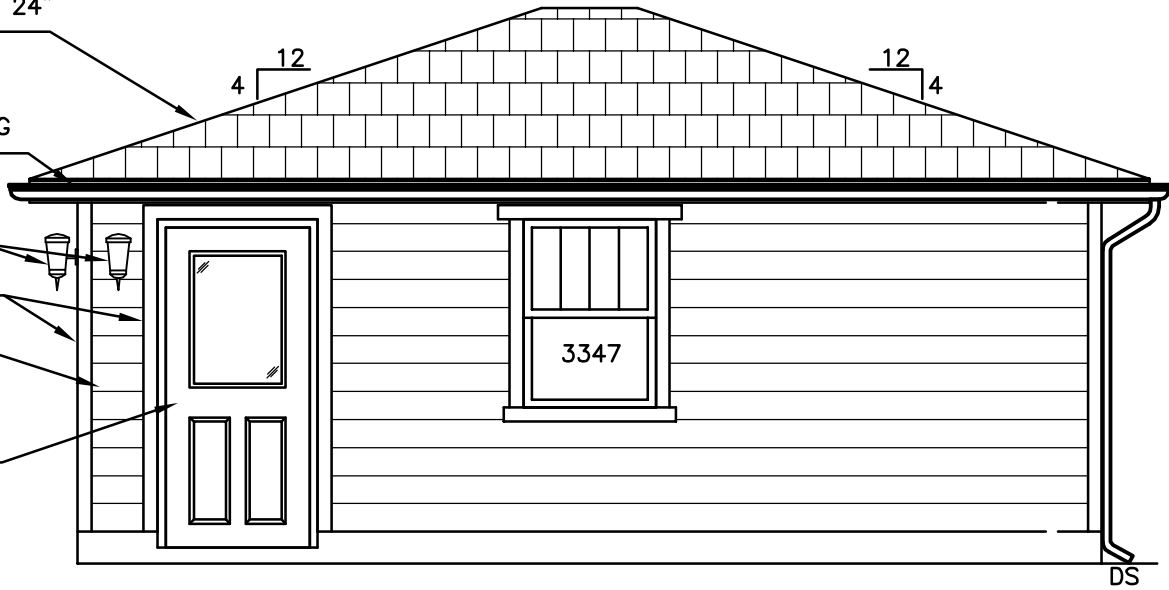
PRE-FINISHED
ALUMINUM GUTTER
TO MATCH EXISTING
HOUSE

COACH LIGHT

1x4 TRIM

LP 7" SIDING

3068 HALF
LIGHT 2 PANEL
DOOR



west elevation

1/4" = 1'-0"

ASPHALT SHINGLES OVER
#30 FELTS ON 7/16"
OSB SHEATHING ON HIP
STYLE PRE-ENGINEERED
WOOD TRUSSES @ 24"
O.C.

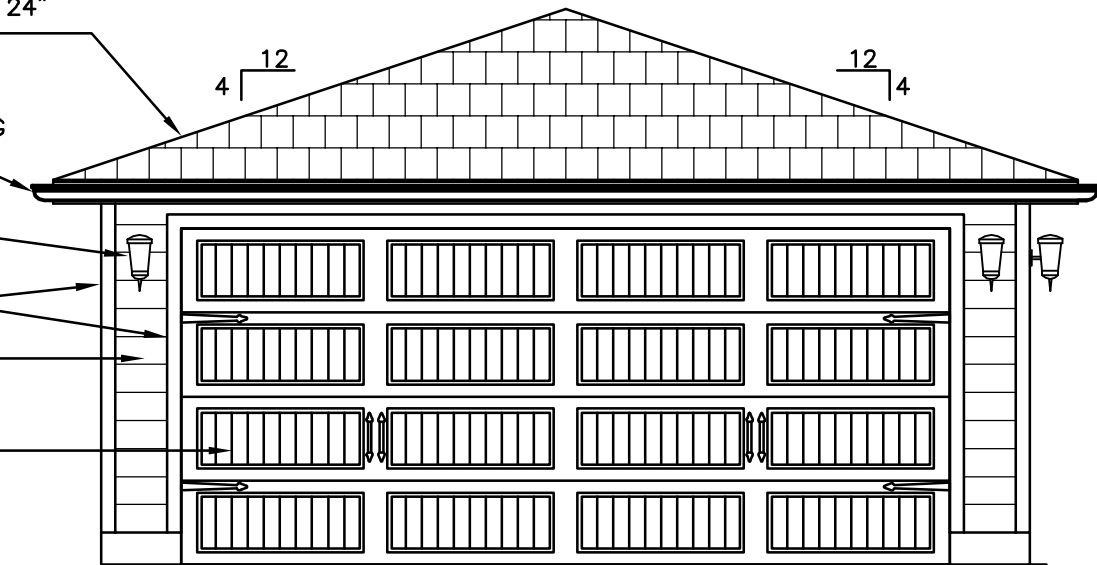
PRE-FINISHED
ALUMINUM GUTTER
TO MATCH EXISTING
HOUSE

COACH LIGHT

1x4 TRIM

LP 7" SIDING

16070 GARAGE
DOOR



north elevation

1/4" = 1'-0"

CITY OF WORTHINGTON

DRAWING NO. AR 27-2020

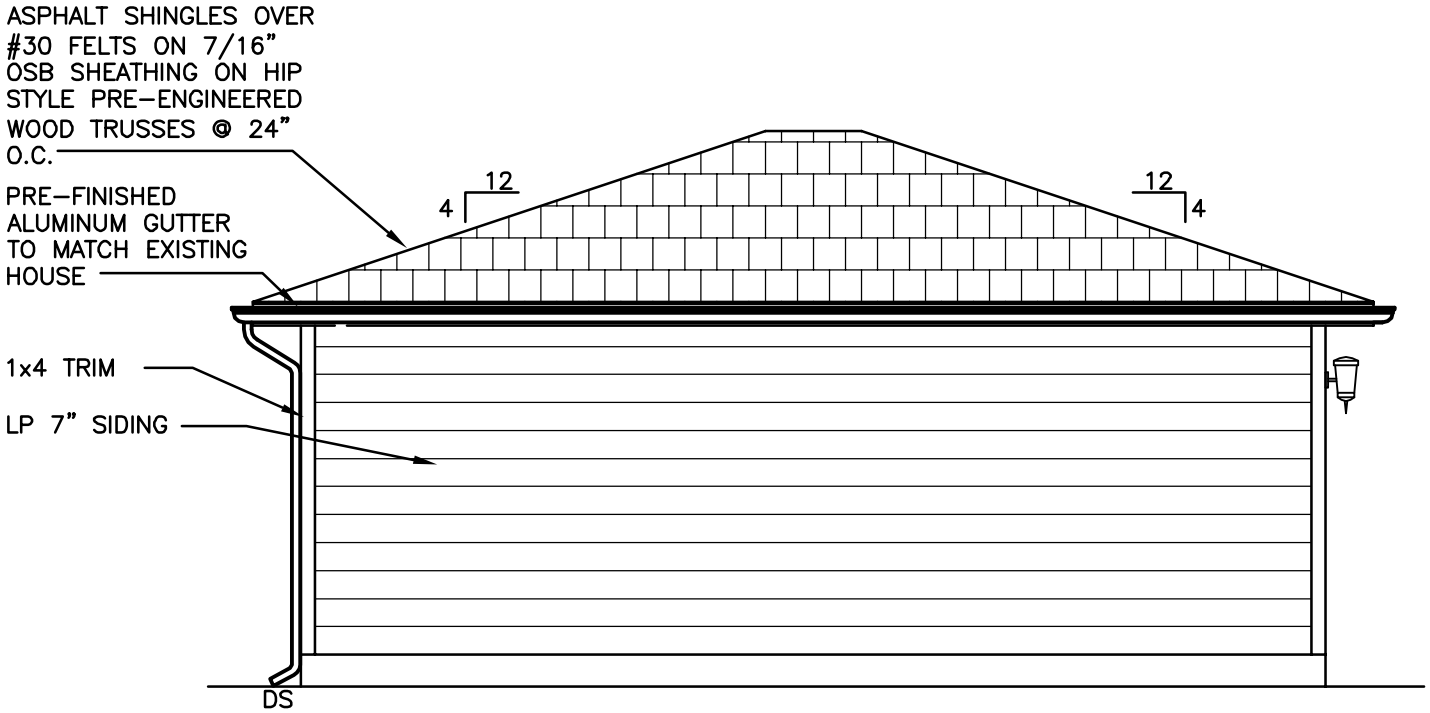
DATE 05-15-2020

PROPOSED ADDITION FOR THE RESIDENCE AT
159 / 161 E. GRANVILLE RD WORTHINGTON, OHIO 43085

17A

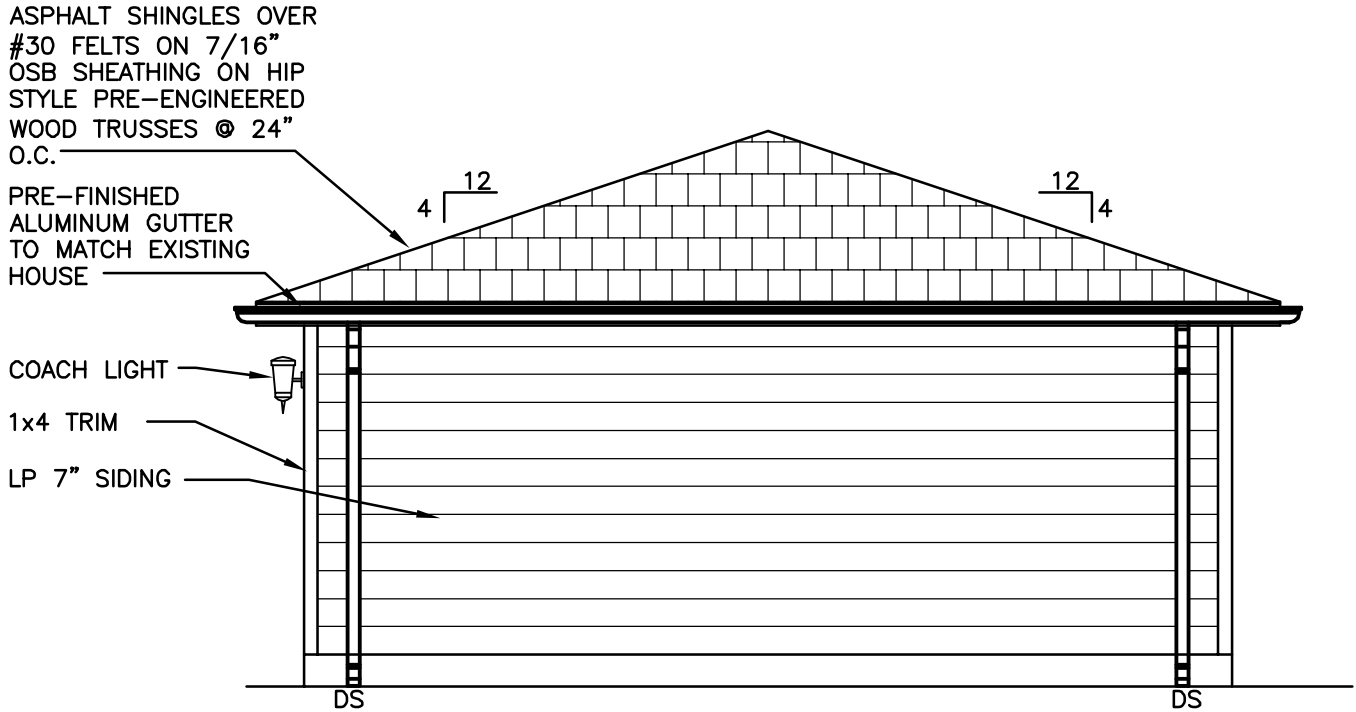
DATE: 6/1/2020 SET:
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TRELLAGE CT. POWELL, OHIO
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east elevation

1/4" = 1'-0"



south elevation

1/4" = 1'-0"

PROPOSED ADDITION FOR THE RESIDENCE AT
159 / 161 E. GRANVILLE RD WORTHINGTON, OHIO 43085

18A

DATE: 6/1/2020 SET:
ARCHITECTURAL REVIEW SET

CITY OF WORTHINGTON

DRAWING NO. AR 27-2020

DATE 05-15-2020



CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD
 Certificate of Appropriateness
 Application

Date Received 5/14/2020
 Fee _____
 Meeting Date _____
 Filing Deadline _____
 Receipt # _____

1. Property Location 7140 High St
2. Present/Proposed Use Bank
3. Zoning District C3
4. Applicant Tracey Diehl
 Address 6487 Hilliard Dr, Canal Winchester OH 43110
 Phone Number(s) 614 828 8215
 Email _____
5. Property Owner Park National Bank
 Address 7100 N High St Worthington OH
 Phone Number(s) 614-841-0123
 Email _____
6. Project Description Remove & Replace Signs
Plans attached outline detailed changes
7. Project Details: Remove & Replace Bank Signs
 - a) Design _____
 - b) Color Blue, Green, white / includes
 - c) Size 6'7" x 4'3" Monument / all signage
 - d) Approximate Cost 7500 Expected Completion Date ASAP

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Tracey Diehl
 Applicant (Signature)

5/14/2020
 Date

ABUTTING PROPERTY OWNERS
FOR
7140 N. High St.

Foxwoods Investments	37 E. Wilson Bridge Rd.	Worthington, OH 43085
Middleton Place LTD	7100 N. High St.	Worthington, OH 43085
Rensko Properties LLC	8333 N. High St.	Columbus, OH 43235
Park National Bank	7140 N. High St.	Worthington, OH 43085
Worthington Duchess LLC	447 James Pkwy.	Newark, OH 43056
BP	7141 N. High St.	Worthington, OH 43085
He Hari, Inc.	600 Enterprise Dr.	Lewis Center, OH 43035
Chase	50 W. Wilson Bridge Rd.	Worthington, OH 43085

Park National Bank has changed their logo and they are currently changing the names at all of their sister branches to match the standard Park National Bank logo. The location before you today is located at 7140 High Street.



The proposal is to replace the monument sign with a new monument sign shown on page 6 of the drawings. This sign is double faced internally illuminated. The background is navy blue and the logo is blue and green. The letters are white. The letters are push thru clear acrylic. The sign measures 9' in height and the sign face is 29.7 sq. ft. This is a reduction in size from the existing sign.

Page 7 of the drawings shows the replacement vinyl details for the door .

Page 8 illustrates the door plaque that identifies Park National Bank on a flat aluminum panel to the right of the door.

The directional sign is shown on page 9 of the drawings we would remove the existing directional and replace the directional sign. This sign is double faced and non illuminated. It is 3.1 sq. ft. in sign area and 48" in height.

The directional sign is shown on page 10 of the drawings we would remove the existing directional and replace the directional sign. This sign is double faced and non illuminated. It is 3.1 sq. ft. in sign area and 48" in height.

The directional sign is shown on page 11 of the drawings we would remove the existing directional and replace the directional sign. This sign is double faced and non illuminated. It is 3.1 sq. ft. in sign area and 48" in height.

The "Drive Thru" sign on page 12 will be replaced with a drive thru flat aluminum panel sign that is 1.5 sq. ft.

The Exit sign on page 13 will be replaced with a smaller sign that is 1.5 sq. ft. as shown in blue and white.

Page 14 shows the handicapped regulatory parking sign

Another directional sign on the end of the building would be replaced with the new drive thru sign on page 15.

Page 17 shows a sign that would be added to the "Clearance" of the drive thru lanes.

Door vinyl is shown on pages 18 and 19.

CITY OF WORTHINGTON

DRAWING NO. AR 29-2020

DATE 05-14-2020

7140 N. High St.





24th February 2020

Reference Property:

**Park National Bank
7140 High Street
Worthington, OH 43085**

Dear Property Manager or Owner,

Attached for your review and approval please see the attached “brand book” art package with all proposed exterior signs for the above referenced location. This art specifies all signs that Icon Identity Solutions & Adrenaline, LLC will be changing on the property.

Icon and Adrenaline, on behalf of Park National Bank, will secure all necessary permits and regulatory approvals, along with ensuring that all elements are manufactured and installed to applicable codes and restrictions.

We look forward to hearing from you soon.

Thank you,

Icon Identity Solutions & Adrenaline, LLC

As Owner of the above referenced property, I hereby authorize the companies referenced herein and their subcontractors—to obtain the necessary permits for signage at the above referenced property.

Approved By
(Print Name): Timothy Lehman

Authorized

Owner Signature:

Date: 2/24/2020

CITY OF WORTHINGTON

DRAWING NO. AR 29-2020

DATE 05-14-2020



Loc#: 530

7140 High Street
Worthington, OH 43085

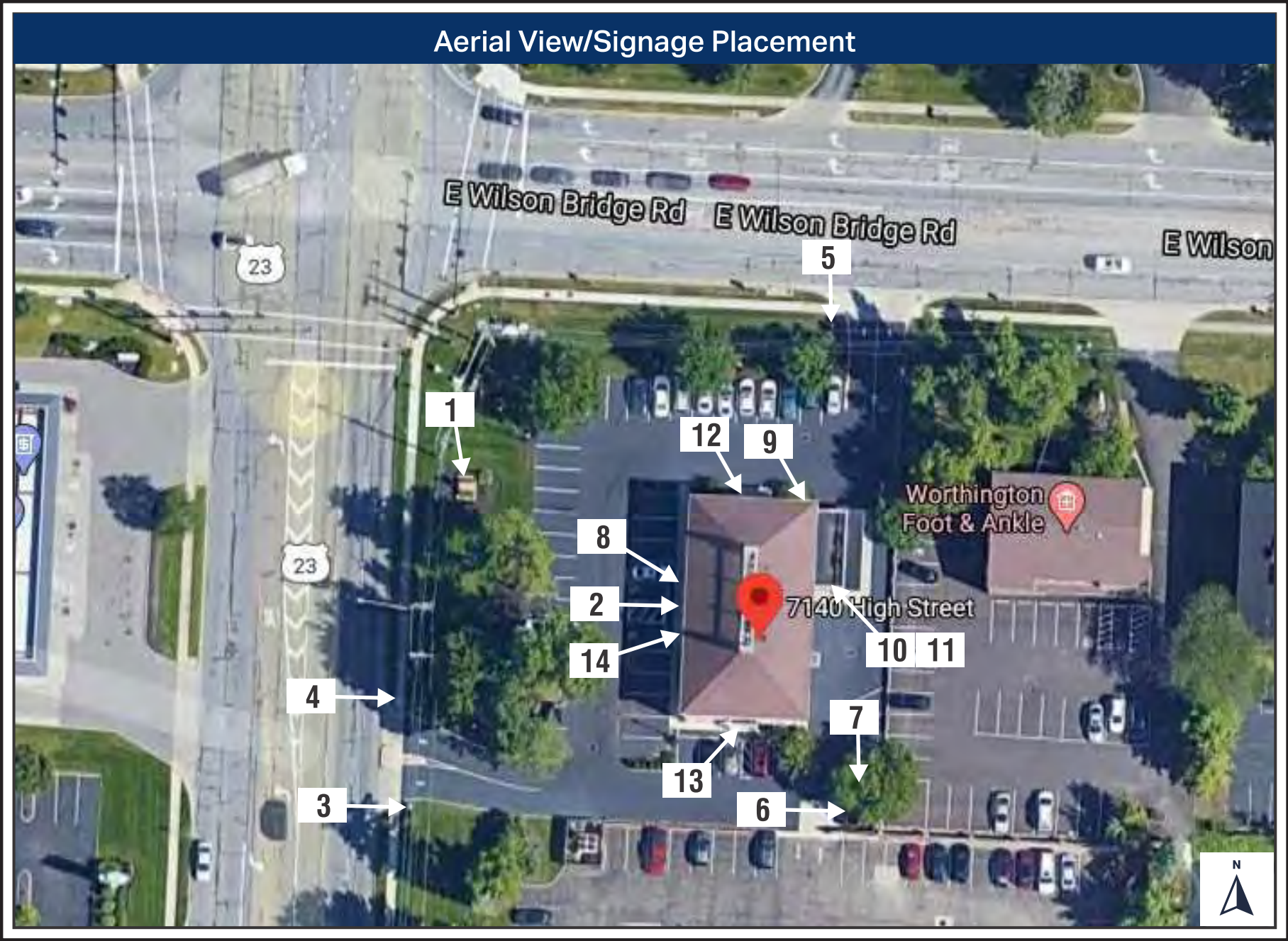


CITY OF WORTHINGTON

DRAWING NO. AR 29-2020

DATE 05-14-2020

Existing Signage & Proposal Key				
Sign #	Existing Signage	Sq. Ft.	Proposed Signage	Sq. Ft.
1	Pylon Sign	40	VM-9 Vertical Monument	29.7
2a	Door Hours Vinyl	N/A	DVH Vinyl Hours	N/A
2b	Existing Plaque	N/A	Custom Plaque	N/A
3	Directional Sign	3	DIR-3 Small Directional	3.1
4	Directional Sign	3	DIR-3 Small Directional	3.1
5	Directional Sign	3	DIR-3 Small Directional	3.1
6	Regulatory Sign	N/A	RGS Regulatory without pole	N/A
7	Regulatory Sign	N/A	RGS Regulatory without pole	N/A
8	Regulatory Sign	N/A	RGS Regulatory without pole	N/A
9	Regulatory Sign	N/A	RGS Regulatory without pole	N/A
10	Lane Open Indicators (Qty 2)	N/A	Remain As Is	N/A
11	Clearance Panel	N/A	DUC: Drive-Thru Canopy	N/A
12	Door Vinyl	N/A	Custom Vinyl Grpx	N/A
13	Door Vinyl	N/A	Custom Vinyl Grpx	N/A
14	Etched Stone Panel	N/A	N/A	N/A



CITY OF WORTHINGTON

DRAWING NO. AR 29-2020

DATE 05-14-2020

Drawing prepared by:

Location:

7140 High Street
Worthington, OH 43085

File Path:

K:\ART\ACCOUNTS\PI\Park National Bank\LOCATIONS\2020\OH\530_Worthington\530_Worthington R2.cdr

Proj #:

5218

Loc #:

530

Order #:

1141659

SITE PLAN

Drawing prepared for:

Rev.#:	Req. #:	Date:	Artist:
Original	324494	03/24/20	KW
Rev 1	325912	04/27/20	KW
Rev 2	000000	00/00/00	XXX
Rev 3	000000	00/00/00	XXX

Rev.#:	Req. #:	Date:	Artist:
Rev 4	000000	00/00/00	XXX
Rev 5	000000	00/00/00	XXX
Rev 6	000000	00/00/00	XXX
Rev 7	000000	00/00/00	XXX

Rev.#:	Req. #:	Date:	Artist:
Rev 8	000000	00/00/00	XXX
Rev 9	000000	00/00/00	XXX
Rev 10	000000	00/00/00	XXX
Rev 11	000000	00/00/00	XXX

Code Check Form

Customer Name: Park National Bank

Store #: PNB

Address: 7140 High Street

City: Worthington

Master Sign Program (MSP): Yes ☐ No ☒

Is this location in a shopping center? Yes ☐ No ☒

Does landlord have any additional criteria? Yes ☐ No ☒

Landlord criteria:

Zoning: C-3 Integrated Institutional, Office

Junsdiction: City of Worthington

Zoning Contact Name: Melissa Cohan

Phone: (614) 431-2424

Fax:

E-Mail: Melissa.Cohan@worthington.org

Code Check Completed by:

Dates landlord was called:

Is there an aggregate sign allotment for the entire property/center? Yes ☒ No ☐

If yes, Aggregate Allowance is: 1.5 sf per LF of bldg width, NTE 100 sf per bldg

Wall Signs

Permit Required? Yes ☒ No ☐

Are wall signs allowed? Yes ☒ No ☐

Number of signs allowed: 1

Maximum SF allowed: Per formula

Formula for area calculation: Aggregate for all signage: 1.5 sf per LF of bldg width, NTE 100 sf per business

Method of measurement: By totaling all display areas of a sign, including sign faces, molding and framing

Square footage based on: Street Frontage ☐ Building Frontage ☒ % of wall area ☐

Maximum Projection: 12 in

For all or per sign: For all permanent signs

What elevation are allowed to have signs: Main

End cap locations - How many elevations can have signs? Main

Maximum Height: Below roofline

Max. Letter Height: Not stipulated

Max. Logo Height: Not stipulated

Max. Sign Width: Not stipulated

Can sign project above roofline? Yes ☐ No ☒

If yes, how much?

Lighting restrictions: See Notes: this section

Is area transferable to another elevation? Yes ☐ No ☒

Are raceways allowed? Yes ☒ No ☐

Are raceways required? Yes ☐ No ☒

Can sign be flush mounted? Yes ☒ No ☐

Permits Required For: Remodel/Repaint Signage Yes ☒ No ☐

Do we need a permit to replace existing sign for a like for like? Yes ☒ No ☐

Non-Illuminated Wall Signs Yes ☒ No ☐

Can grandfathered status remain if faces are replaced? Yes ☒ No ☐

Notes:

Internally illuminated signs shall be constructed so as to allow the illumination of only letters, numbers or other identifying symbols on the display surface. No light shall pass through the background. There shall be not more than three sizes of all such lettering, including a logo. Not more than four colors, including black and white, shall be used on any sign.

Ground Signs - Pylon (Pole) & Monument

Permit Required? Yes ☒ No ☐

Are ground signs allowed? Yes ☒ No ☐

Minimum frontage to qualify: Not stipulated; submit for review

Pole ☒ Monument ☐ Post and Panel ☒

Distance to adjacent ground signs: Not stipulated; submit for review

Number of signs allowed: 1 or 2 per parcel in this zone, maximum total area of 60%

Based on: Aggregate allowance

Maximum SF allowed: NTE 60% of aggregate allowance

Based on: Aggregate allowance

How many faces count toward sign area? 1

Visibility Triangle: Not stipulated; submit for review

Minimum setback: See Notes: this section

From:

Wind Load: 120 mph

Maximum Overall Height: 15 ft

Minimum Ground Clearance: Not stipulated; submit for review

Lighting Restrictions: See Notes: this section

Do decorative elements count towards sign area? Yes ☐ No ☒

Can grandfathered status remain if faces are replaced? Yes ☐ No ☒

Notes:

Internally illuminated signs shall be constructed so as to allow the illumination of only letters, numbers or other identifying symbols on the display surface. No light shall pass through the background. There shall be not more than three sizes of all such lettering, including a logo. Not more than four colors, including black and white, shall be used on any sign. Planters or other decorative supporting structures shall be excluded in the computation of sign area unless the structure exceeds two feet in height or eight feet in length, in which case the entire structure shall be included in the computation of sign area. Freestanding signs shall be located not closer than 10 ft to a public right of way or 35 ft to an adjoining property line.

Ground Signs - Post and Panel

Permit Required? Yes ☒ No ☐

Would a permanent Post and Panel sign be allowed? Yes ☒ No ☐

Would it be allowed if there is a multi-tenant Sign? Yes ☐ No ☒

Would it count as another F/S sign? Yes ☒ No ☐

What would it be classified as? Freestanding Sign

How many SF can it be? NTE 60% of aggregate allowance

Would it come out of the F/S sign allotment? Yes ☒ No ☐

What are the illumination restrictions? See Notes: this section

Notes:

Internally illuminated signs shall be constructed so as to allow the illumination of only letters, numbers or other identifying symbols on the display surface. No light shall pass through the background. There shall be not more than three sizes of all such lettering, including a logo. Not more than four colors, including black and white, shall be used on any sign.

Awnings & Canopies

Permit Required? Yes ☒ No ☐

Are awnings or canopies allowed? Yes ☐ No ☐

Are under-canopy signs allowed? Yes ☐ No ☐

Max under-canopySF? See Notes: this section

Are awnings allowed above 1st story? Yes ☐ No ☐

Do awnings count as wall signs? Yes ☐ No ☐

Graphics Allowed? Yes ☐ No ☐

Do under-canopy signs count toward wall sign square footage? Yes ☐ No ☐

Copy / Logo allowed? Yes ☐ No ☐

Max awning SF? See Notes: this section

Valence only? Yes ☐ No ☐

Maximum Projection? See Notes: this section

Illumination allowed? Yes ☐ No ☐

Clearance from grade required? See Notes: this section

Notes:

Awnings/Canopies are not addressed in sign ordinance; submit for review; Internally illuminated signs shall be constructed so as to allow the illumination of only letters, numbers or other identifying symbols on the display surface. No light shall pass through the background. There shall be not more than three sizes of all such lettering, including a logo. Not more than four colors, including black and white, shall be used on any sign.

Window Signs

Permit Required? Yes ☒ No ☐

Are interior window signs allowed? Yes ☒ No ☐

Does vinyl count toward SF?

1st Surface? Yes ☒ No ☐

Permit Required? Yes ☒ No ☐

2nd Surface? Yes ☒ No ☐

Permit Required? Yes ☒ No ☐

Formula for maximum SF allowed is: 25% of window area

Max Window area allowed? 25% of window area

Permit required for illuminated window signs: Yes ☐ No ☐

Quantity allowed: Not stipulated

Do all vinyl count against signage SF (ie. store hours): Yes ☒ No ☐

Window location restrictions: None stipulated

Directionals / Regulatory

Permit Required? Yes ☒ No ☐

Are directionals allowed? Yes ☒ No ☐

Number of signs allowed? See Notes: this section

Maximum SF allowed: 4 sf

Maximum Overall Height: 3 ft

Directionals count towards allowed SF? Yes ☐ No ☒

Are locations restricted? Not stipulated; submit for review

Notes:

The total area for all such signage shall be no more than 20 square feet per parcel. Directional signs are excluded in the computation of sign area.

Name / Logos allowed? Yes ☒ No ☐

Size restrictions on Name / Logos? 50%

EMCs

Permit Required? Yes ☐ No ☐

Are EMCs allowed? Yes ☐ No ☒

Can EMCs be wall mounted? Yes ☐ No ☐

Can EMCs be free standing? Yes ☐ No ☐

Maximum SF allowed:

Color restrictions:

Change rate restrictions:

Do EMCs need to be static? Yes ☐ No ☐

Is changing an MRB to an EMC permitted? Yes ☐ No ☐

Are LED gas price signs allowed? Yes ☒ No ☐

Notes:

Temporary Banners

Permit Required? Yes ☒ No ☐

Temporary Banners allowed? Yes ☐ No ☒

Quantity Allowed:

Maximum SF allowed:

Maximum timeframe:

Notes:

*****Temporary Banners are not allowed in this District; box won't uncheck*****

ADRENALINE

ICON

Drawing prepared by:

Location:
7140 High Street
Worthington, OH 43085

File Path:
K:\ART\ACCOUNTS\PI\Park National Bank\LOCATIONS\2020\OH\530_Worthington\530_Worthington R2.cdr

Proj #: 5218
Loc #: 530
Order #: 1141659

CODE INFORMATION

Park

NATIONAL BANK

Drawing prepared by:

Rev.#:	Req. #:	Date:	Artist:	Rev.#:	Req. #:	Date:	Artist:	Rev.#:	Req. #:	Date:	Artist:
Original	324494	03/24/20	KW	Rev 4	000000	00/00/00	XXX	Rev 8	000000	00/00/00	XXX
Rev 1	325912	04/27/20	KW	Rev 5	000000	00/00/00	XXX	Rev 9	000000	00/00/00	XXX
Rev 2	000000	00/00/00	XXX	Rev 6	000000	00/00/00	XXX	Rev 10	000000	00/00/00	XXX
Rev 3	000000	00/00/00	XXX	Rev 7	000000	00/00/00	XXX	Rev 11	000000	00/00/00	XXX

Drawings are the exclusive property of ICON,. Any unauthorized use or duplication is not permitted.

3

Permit Requirements

Where can I get a copyof these applications:

Mail

Online

In Person

Fax

Permits can be applied via:

Mail

Online

In Person

Permits can be obtained via:

Mail

Email

In Person

Persons who can applyfor permits:

Contractor

Authorized Agent

Registered Expediter

Signature required on application by

Owner

Contractor

Agent

Landlord

Documents Required:

Site Plan

Elevations

Sign Details

Sealed Engineering

Additional Professional Seals

Number of Document Copies:

1

1

1

What authorization letters or additional forms required?

None stipulated

Original Signature

Scan

Notary

Do drawings need to be to scale?

Yes

No

Document Size:

>11"x17", submit 2 copies of ea drawing.

Are SED's required for wall signs:

Yes

No

Are SED's required for re-facing signs:

Yes

No

Are SED's required for free standing signs:

Yes

No

If SED's are required for wall signs, can one copycount for all signs that are the same size:

Yes

No

Are SED's required for the actual product (sign) or for the installation method only

What municipalities/agencies require permits?

City

County

DOT

Other

What permits are required to put up a sign:

Sign Permit

Is a separate application needed for each permit tpe?

Yes

No

Are permits required for face replacements:

Yes

No

Are there anyfees due upon submittal, if so how much?

Fees are due at time of pick up

Cost of Sign Permit: Based on sf; min \$20, max \$100/sign

Other permit costs / fees:

Who physicallyreviews permits?

Zoning Inspector

Length of time to secure permit:

30 days

How long are permits good for after theyare obtained:

6 months

Can theybe extended:

Yes

No

For how long?

Case-by-case basis

Are disconnect switches required?

Yes

No

Does a licensed electrician have to make the fial connect?

Yes

No

If electrical permit is required for ONLY the hook up of the sign is a licensed electrician required to come in person?

Yes

No

Are anyother review processes required prior to submitting for actual permits?

None stipulated

(ie. Design Review or Third Partyreviewing etc)

If so please describe process?

Is fial inspection required?

Yes

No

Are permits required to be closed out?

Yes

No

How long does it take?

30 days

Can permits be expedited?

No

Expected Procurement time:

30 days

Notes:

Persons who can apply for permits: & Signature required on application by: Applicant

Variance Procedures

Are variances allowed?

Yes

No

Per planner opinion Likelihood of a variance being approved:

Good

50%

Low

Variance can be applied for by

Mail

Authorized Agent

Business

Contractors

Signature required on application:

Owner

Agent

Lawgr

Must attend variance hearing:

Owner

Agent

Lawgr

Documents required:

Site Plan

Elevations

Sign Details

Sealed Engineering

Additional Professional Seals

QuantityRequired:

1 to scale

1

x

Document color:

Color

B/W

Document Size:

Color not stipulated; If >11 x 17, 8 copies needed

Length of time to secure variance:

60-90 days

Cost of variance:

\$50

Notes:

Variance can be applied for by: Applicant and/or Owner

CITY OF WORTHINGTON

DRAWING NO. AR 29-2020

DATE 05-14-2020

ADRENALINE

ICON

Drawing prepared by:

Location:

7140 High Street
Worthington, OH 43085

File Path:

K:\ART\ACCOUNTS\PI\Park National Bank\LOCATIONS\2020\OH\530_Worthington\530_Worthington R2.cdr

Proj #:

5218

Loc #:

530

Order #:

1141659

CODE INFORMATION

Drawing prepared for:

Park

NATIONAL BANK

Rev.#:

Original

Rev 1

Rev 2

Rev 3

Req. #:

324494

325912

000000

000000

Date:

03/24/20

04/27/20

00/00/00

00/00/00

Artist:

KW

KW

XXX

XXX

Rev.#:

Rev 4

Rev 5

Rev 6

Rev 7

Req. #:

000000

000000

000000

000000

Date:

00/00/00

00/00/00

00/00/00

00/00/00

Artist:

XXX

XXX

XXX

XXX

Rev.#:

Rev 8

Rev 9

Rev 10

Rev 11

Req. #:

000000

000000

000000

000000

Date:

00/00/00

00/00/00

00/00/00

00/00/00

Artist:

XXX

XXX

XXX

XXX

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4



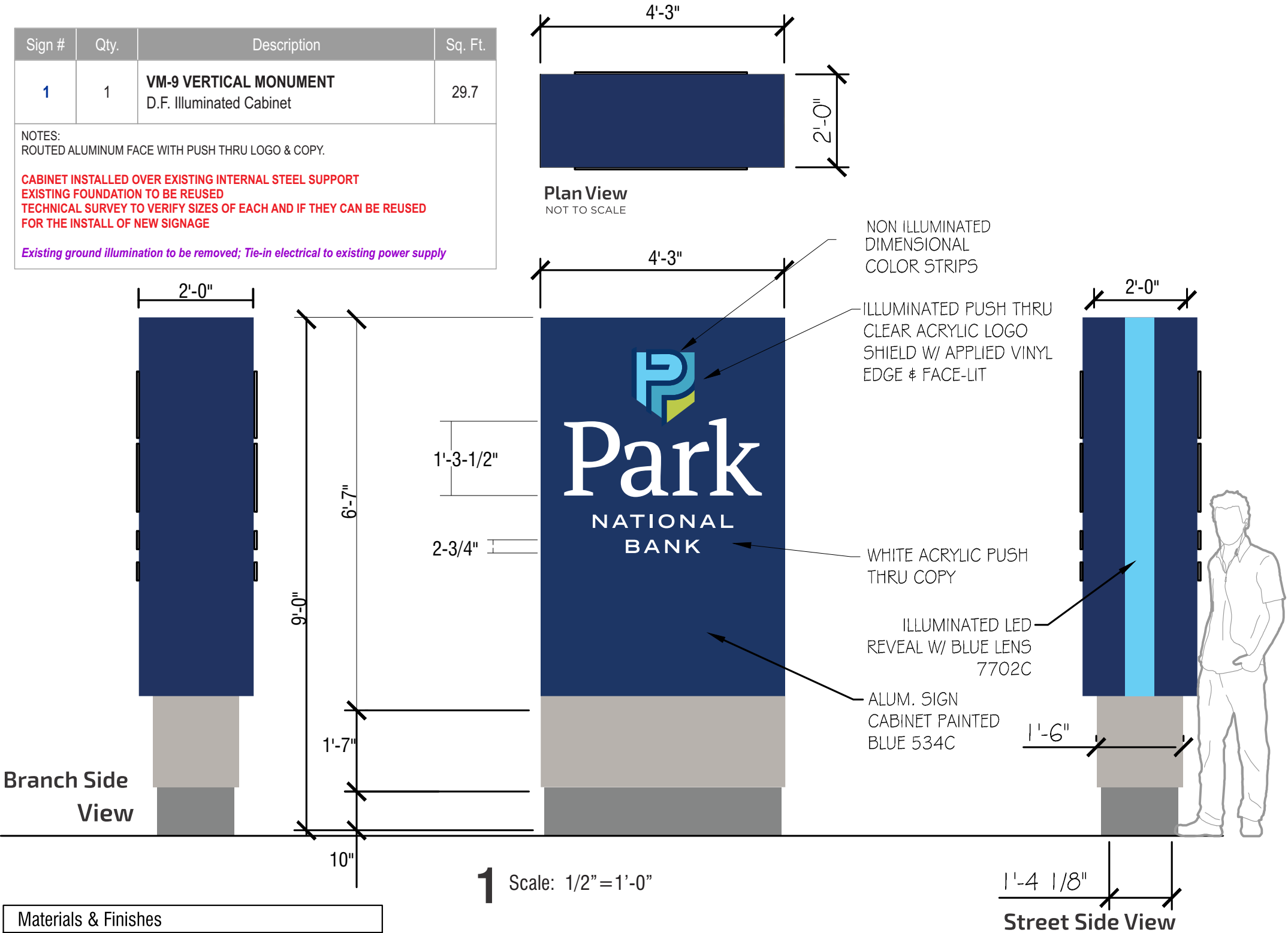
CITY OF WORTHINGTON
DRAWING NO. AR 29-2020
DATE 05-14-2020

Sign #	Qty.	Description	Sq. Ft.
1	1	VM-9 VERTICAL MONUMENT D.F. Illuminated Cabinet	29.7


NOTES:
ROUTED ALUMINUM FACE WITH PUSH THRU LOGO & COPY.


CABINET INSTALLED OVER EXISTING INTERNAL STEEL SUPPORT
EXISTING FOUNDATION TO BE REUSED
TECHNICAL SURVEY TO VERIFY SIZES OF EACH AND IF THEY CAN BE REUSED
FOR THE INSTALL OF NEW SIGNAGE


Existing ground illumination to be removed; Tie-in electrical to existing power supply





Materials & Finishes

 PMS 534C

 PMS 297C

 PMS 7702C

 PMS 583C

 WHITE

Translucent Vinyls:

digitally printed to match colors shown

1 Scale: 1/2" = 1'-0"

CITY OF WORTHINGTON

DRAWING NO. AR 29-2020

DATE 05-14-2020



Existing 5'-0" x 8'-0" Pylon Sign 40 Sq.Ft.



Proposed Scale: 1/4" = 1'-0" 29.7 Sq.Ft.

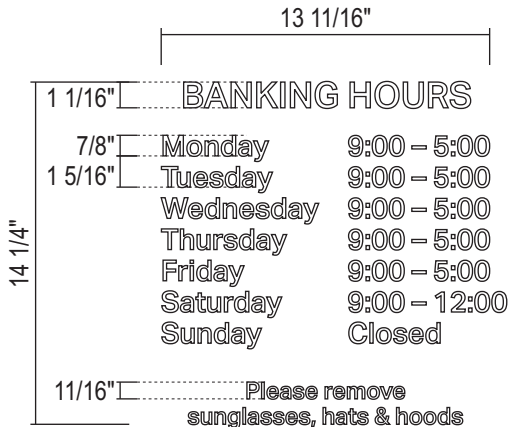
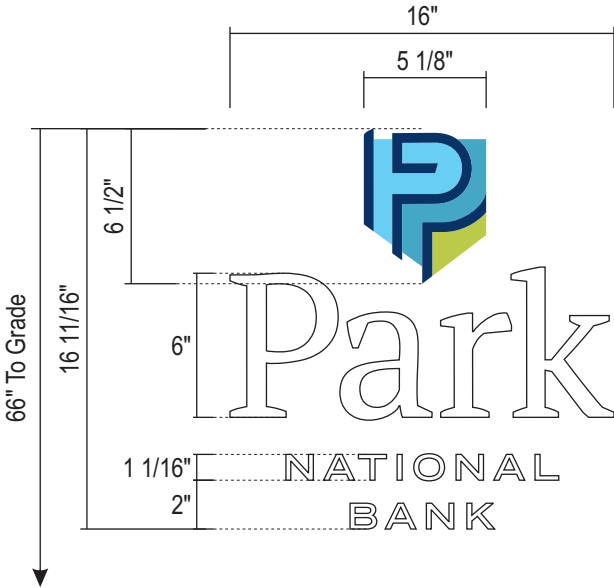
Sign #	Qty.	Description	Sq. Ft.
2a	1	DVH-3 Door Vinyl Hours	N/A
NOTES: REMOVE EXISTING DECALS, FLIERS, AND VINYL APPLICATIONS. HC ACCESSIBLE DECALS TO REMAIN.			



Existing



Proposed



SCALE:1 1/2"=1'-0"



DVH DoorVinyl Hours

SCALE: 3/4"=1'-0"

CITY OF WORTHINGTON

DRAWING NO. AR 29-2020

DATE 05-14-2020

Materials & Finishes

PMS 534C	PMS 297C	PMS 7702C	PMS 583C	3M 7725-10 Opaque White

DIGITALLY PRINTED TO MATCH COLORS SHOWN IN THE COLOR PALETTE

Drawing prepared by:

Location:

7140 High Street
Worthington, OH 43085

File Path:

K:\ART\ACCOUNTS\IPark National Bank\LOCATIONS\2020\OH\530_Worthington\530_Worthington R2.cdr

Proj #:

5218

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Order #:

1141659

RECOMMENDATION

Drawing prepared for:



Rev.#: Req. #: Date: Artist:

Original	324494	03/24/20	KW
Rev 1	325912	04/27/20	KW
Rev 2	000000	00/00/00	XXX
Rev 3	000000	00/00/00	XXX

Rev.#: Req. #: Date: Artist:

Rev 4	000000	00/00/00	XXX
Rev 5	000000	00/00/00	XXX
Rev 6	000000	00/00/00	XXX
Rev 7	000000	00/00/00	XXX

Rev.#: Req. #: Date: Artist:

Rev 8	000000	00/00/00	XXX
Rev 9	000000	00/00/00	XXX
Rev 10	000000	00/00/00	XXX
Rev 11	000000	00/00/00	XXX

Sign #	Qty.	Description	Sq. Ft.
2b	1	Custom Plaque S/F Alum. Plaque w/ Graphics	N/A
NOTES: REMOVE EXISTING PLAQUE AND REPLACE WITH NEW			

SCALE:1 1/2"=1'-0"



- PANEL:** .125" flat alum. panel
- GRAPHICS:** Surface applied digitally printed vinyl overlay
- INSTALL:** Studs welded to backside of panel, and stud mounted flush to brick wall; All penetrations to be sealed with silicone as required

Materials & Finishes

PMS 534C

PMS 297C

PMS 7702C

PMS 583C

3M 7725-10
Opaque White

DIGITALLY PRINTED TO MATCH COLORS SHOWN IN THE COLOR PALETTE

CITY OF WORTHINGTON

DRAWING NO. AR 29-2020

DATE 05-14-2020



Existing

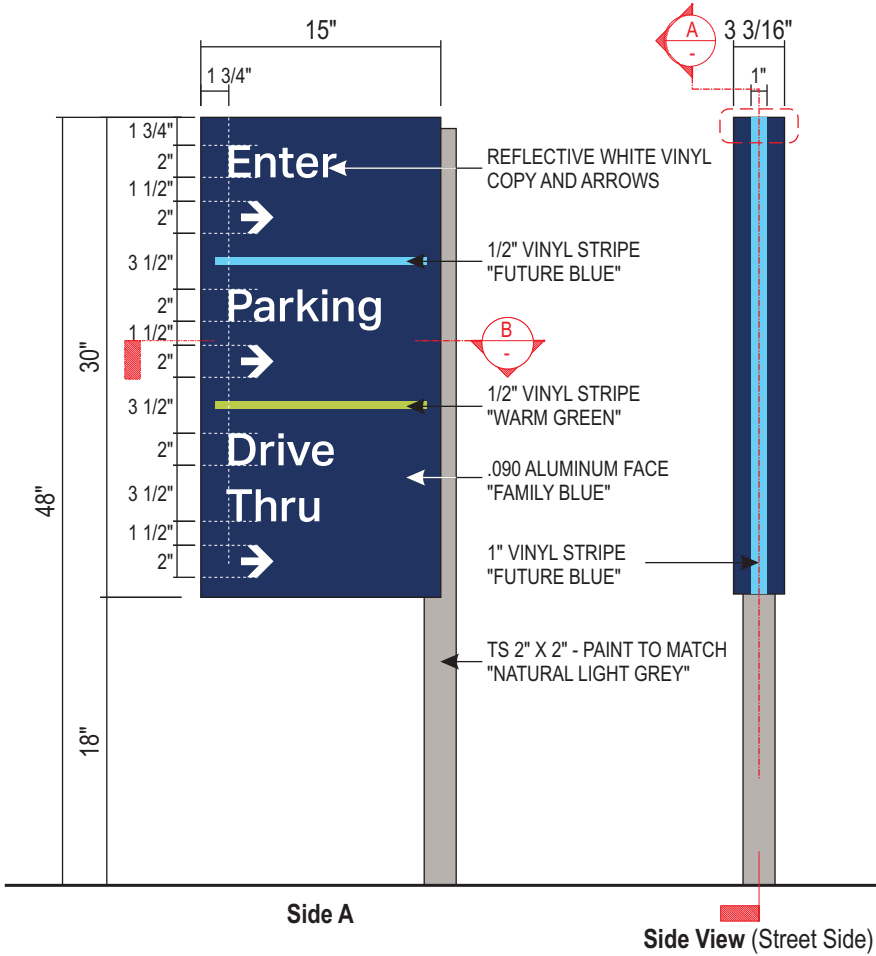


Proposed

Rev.#:	Req. #:	Date:	Artist:	Rev.#:	Req. #:	Date:	Artist:	Rev.#:	Req. #:	Date:	Artist:
Original	324494	03/24/20	KW	Rev 4	000000	00/00/00	XXX	Rev 8	000000	00/00/00	XXX
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Rev 2	000000	00/00/00	XXX	Rev 6	000000	00/00/00	XXX	Rev 10	000000	00/00/00	XXX
Rev 3	000000	00/00/00	XXX	Rev 7	000000	00/00/00	XXX	Rev 11	000000	00/00/00	XXX

Sign #	Qty.	Description	Sq. Ft.
3	1	DIR-3 S.F. Non-Illuminated Directional	3.1
NOTES: ALUMINUM FACE WITH REFLECTIVE WHITE VINYL COPY & ARROWS			

SCALE: 1"=1'-0"



BILL OF MATERIALS			
No.	QTY.	DESCRIPTION	SPEC.
1	1	2" X 2" X 1/8" ALUMINUM TUBE	6061-T6
2	AS REQ'D	3" X 1" ALUMINUM C-CHANNEL	ALUM.
10	AS REQ'D	.090" ALUMINUM SHEET	3003
70	AS REQ'D	SHEET METAL SCREW, HEX HEAD, #12 x 3/4", PHILLIPS @ 10" C/C	-
90	AS REQ'D	CHEM WELD	-
91	.1 cu.yd.	DIRECT-BURRY CONCRETE FOUNDATION	-

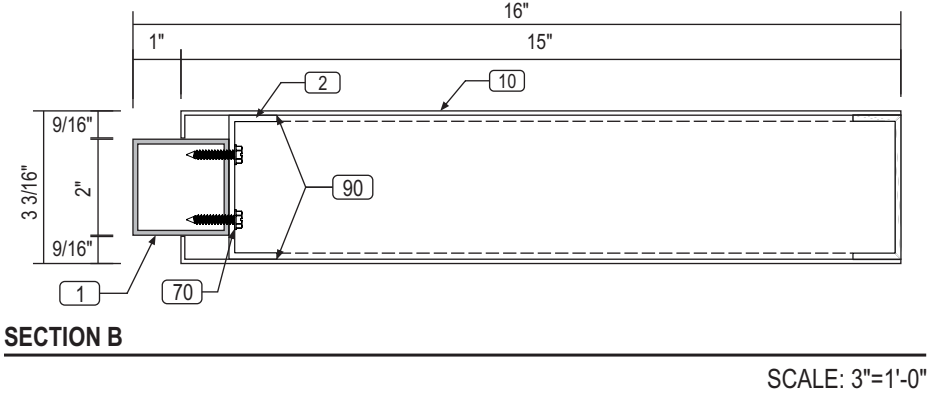
AUGERED FOUNDATION:
1'-0"Ø X 3'-0" DEEP

CONCRETE FOOTING:
CONCRETE SHALL ATTAIN A 28 DAY STRENGTH f_c = 3000 PSI
CONCRETE REQUIRED: .1 cu.yd.

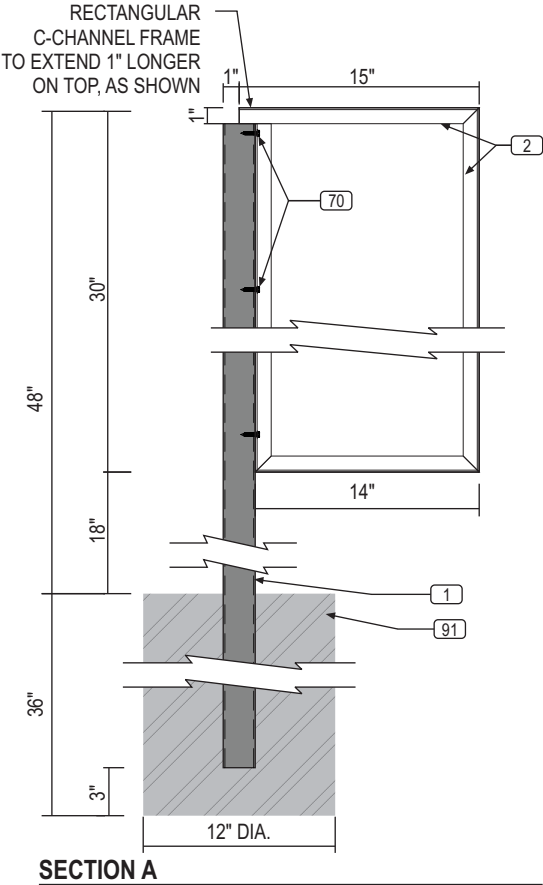
DESIGN LOADS:
115 MPH WIND LOAD
RISK CATEGORY II, EXPOSURE C.
2015 INTERNATIONAL BUILDING CODE
SECTION 16 WIND LOAD
ASCE 7-10

Materials & Finishes				
PMS 534C	PMS 297C	PMS 7702C	PMS 583C	WHITE
Digitally printed vinyl to match colors shown				

AREA/WEIGHT	
SIGN SQUARE FOOTAGE	3.1 SQ. FT.
ESTIMATED SIGN WEIGHT	27 LBS.



SCALE: 3"=1'-0"



SCALE: 1"=1'-0"



Existing 1'-6" x 2'-0" Directional Sign

6 Sq.Ft.



Proposed

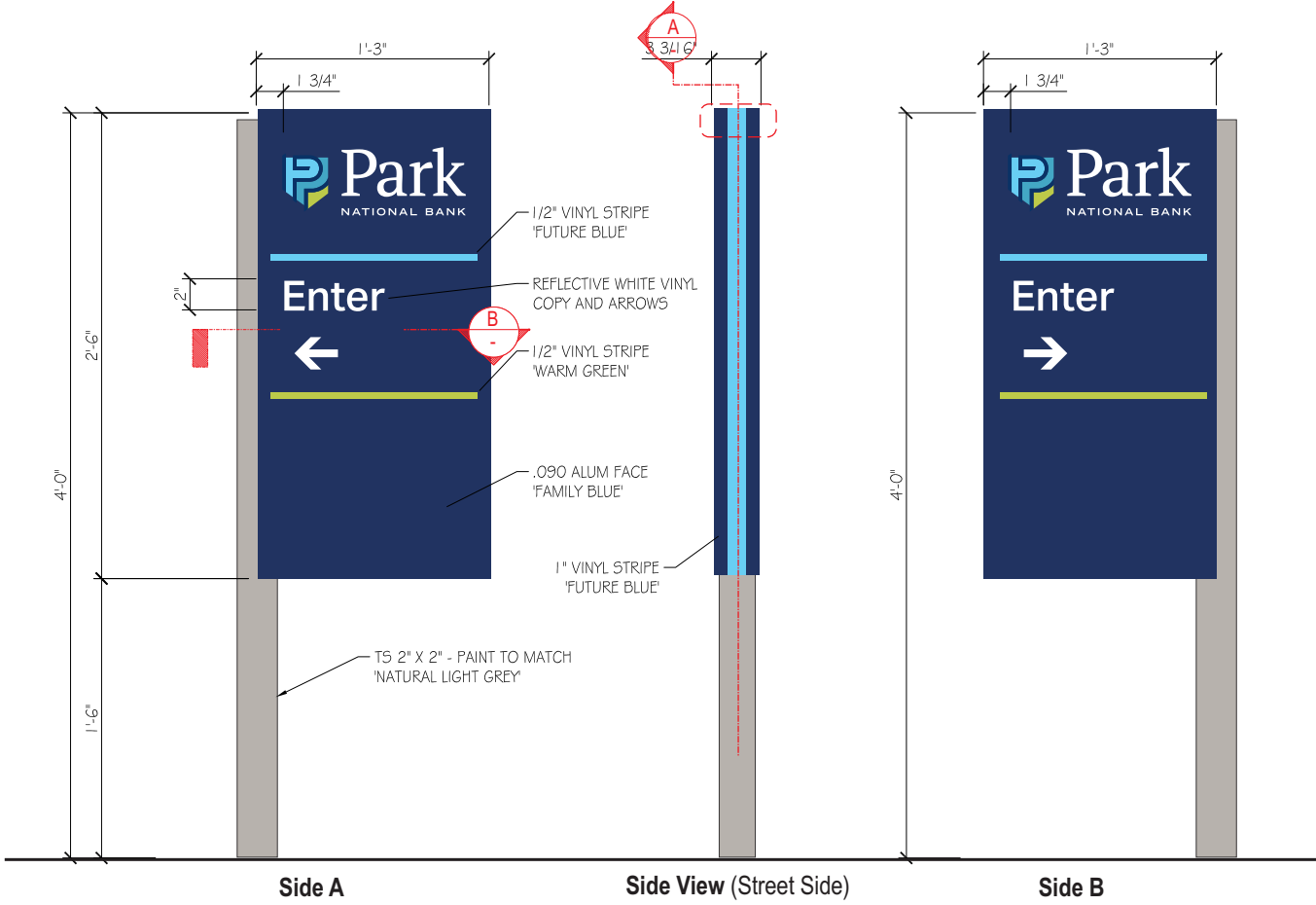
SIDE A

3.1 Sq.Ft.

Rev.#	Req. #	Date	Artist	Rev.#	Req. #	Date	Artist	Rev.#	Req. #	Date	Artist
Original	324494	03/24/20	KW	Rev 4	000000	00/00/00	XXX	Rev 8	000000	00/00/00	XXX
Rev 1	325912	04/27/20	KW	Rev 5	000000	00/00/00	XXX	Rev 9	000000	00/00/00	XXX
Rev 2	000000	00/00/00	XXX	Rev 6	000000	00/00/00	XXX	Rev 10	000000	00/00/00	XXX
Rev 3	000000	00/00/00	XXX	Rev 7	000000	00/00/00	XXX	Rev 11	000000	00/00/00	XXX

Sign #	Qty.	Description	Sq. Ft.
5	1	DIR-3 S.F. Non-Illuminated Directional	3.1
NOTES: ALUMINUM FACE WITH REFLECTIVE WHITE VINYL COPY & ARROWS			

SCALE: 1"=1'-0"



BILL OF MATERIALS			
No.	QTY.	DESCRIPTION	SPEC.
1	1	2" X 2" X 1/8" ALUMINUM TUBE	6061-T6
2	AS REQ'D	3" X 1" ALUMINUM C-CHANNEL	ALUM.
10	AS REQ'D	.090" ALUMINUM SHEET	3003
70	AS REQ'D	SHEET METAL SCREW, HEX HEAD, #12 x 3/4", PHILLIPS @ 10" C/C	-
90	AS REQ'D	CHEM WELD	-
91	.1 cu.yd.	DIRECT-BURRY CONCRETE FOUNDATION	-

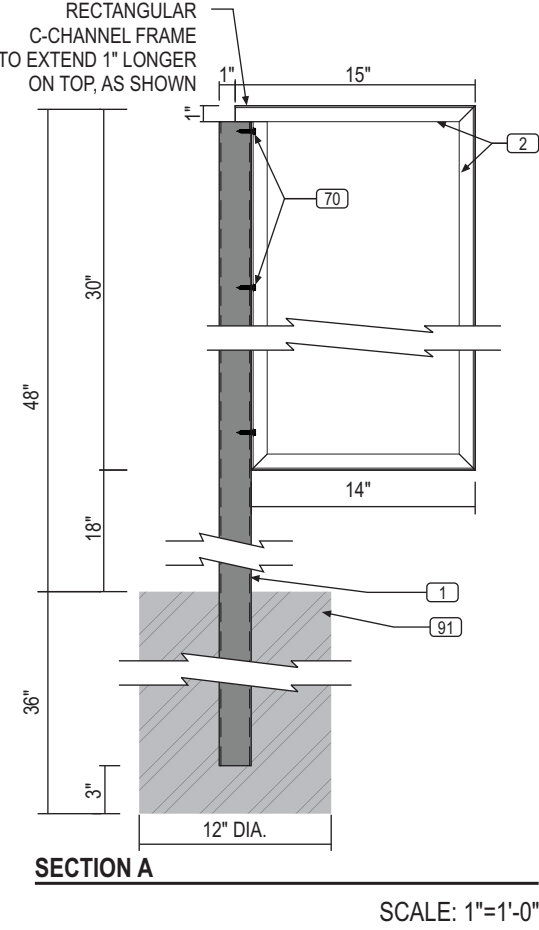
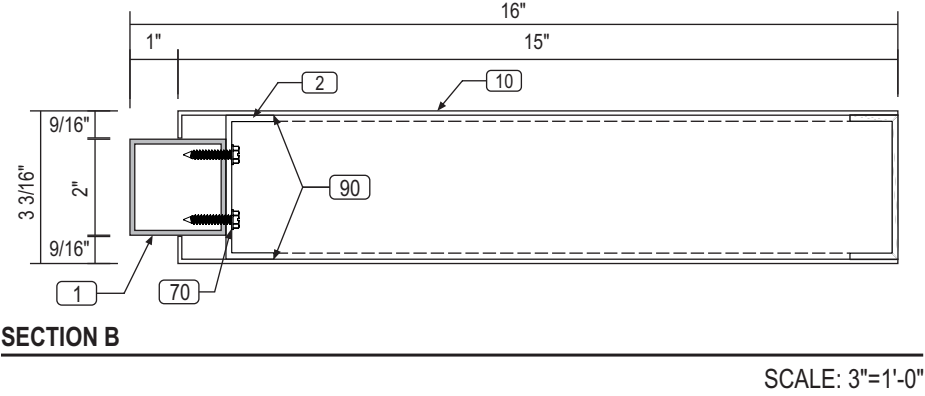
AUGERED FOUNDATION:
1'-0"Ø X 3'-0" DEEP

CONCRETE FOOTING:
CONCRETE SHALL ATTAIN A 28 DAY STRENGTH f_c = 3000 PSI
CONCRETE REQUIRED: .1 cu.yd.

DESIGN LOADS:
115 MPH WIND LOAD
RISK CATEGORY II, EXPOSURE C.
2015 INTERNATIONAL BUILDING CODE
SECTION 16 WIND LOAD
ASCE 7-10

Materials & Finishes				
PMS 534C	PMS 297C	PMS 7702C	PMS 583C	WHITE
Digitally printed vinyl to match colors shown				

AREA/WEIGHT	
SIGN SQUARE FOOTAGE	3.1 SQ. FT.
ESTIMATED SIGN WEIGHT	27 LBS.



Existing 1'-6" x 2'-0" Directional Sign 6 Sq.Ft.



Proposed SIDE A 3.1 Sq.Ft.


Sign #	Qty.	Description	Sq. Ft.
6	1	Wall Mounted Regulatory Signage S/F Alum. Panel	1.5
NOTES:			


Scale: 3"=1'-0"





CITY OF WORTHINGTON
DRAWING NO. AR 29-2020
DATE 05-14-2020


Materials & Finishes

PMS 534C

PMS 297C

PMS 7702C

PMS 583C

3M 7725-10
Opaque White

DIGITALLY PRINTED TO MATCH COLORS SHOWN IN THE COLOR PALETTE

PANEL: .080 flat alum. panel w/ 3/4" radius corners
GRAPHICS: Digitally printed graphics
INSTALL: Secured to fence using fasteners to suit, in same position as existing
QTY: (1) One required



Existing2'-0" x 1'-6" Regulatory Sign



Proposed1.5 Sq.Ft.


Sign #	Qty.	Description	Sq. Ft.
7	1	Wall Mounted Regulatory Signage S/F Alum. Panel	1.5
NOTES:			


Scale: 3"=1'-0"





CITY OF WORTHINGTON
DRAWING NO. AR 29-2020
DATE 05-14-2020


Materials & Finishes

PMS 534C

PMS 297C

PMS 7702C

PMS 583C

3M 7725-10
Opaque White

DIGITALLY PRINTED TO MATCH COLORS SHOWN IN THE COLOR PALETTE

PANEL: .080 flat alum. panel w/ 3/4" radius corners
GRAPHICS: Digitally printed graphics
INSTALL: Secured to fence using fasteners to suit, in same position as existing
QTY: (1) One required



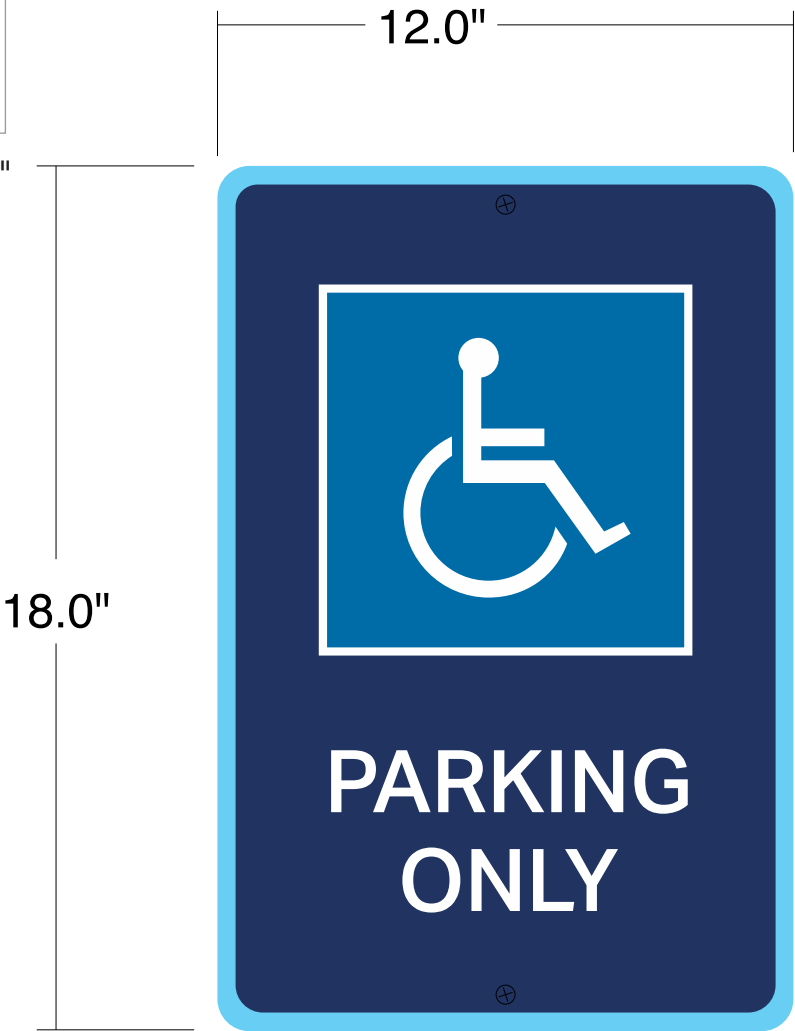
Existing2'-0" x 1'-6" Regulatory Sign



Proposed1.5 Sq.Ft.

Sign #	Qty.	Description	Sq. Ft.
8	2	Wall Mounted Regulatory Signage S/F Alum. Panel	1.5
NOTES:			

Scale: 3"=1'-0"



CITY OF WORTHINGTON

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DATE 05-14-2020

Materials & Finishes

PMS 534C

PMS 297C

PMS 7702C

PMS 583C

3M 7725-10
Opaque White

DIGITALLY PRINTED TO MATCH COLORS SHOWN IN THE COLOR PALETTE

PANEL: .080 flat alum. panel w/ 3/4" radius corners

GRAPHICS: Digitally printed graphics

INSTALL: Secured to brick wall using fasteners to suit, in same position as existing

QTY: (2) Two required



Existing

1'-0" x 1'-6" Regulatory Sign



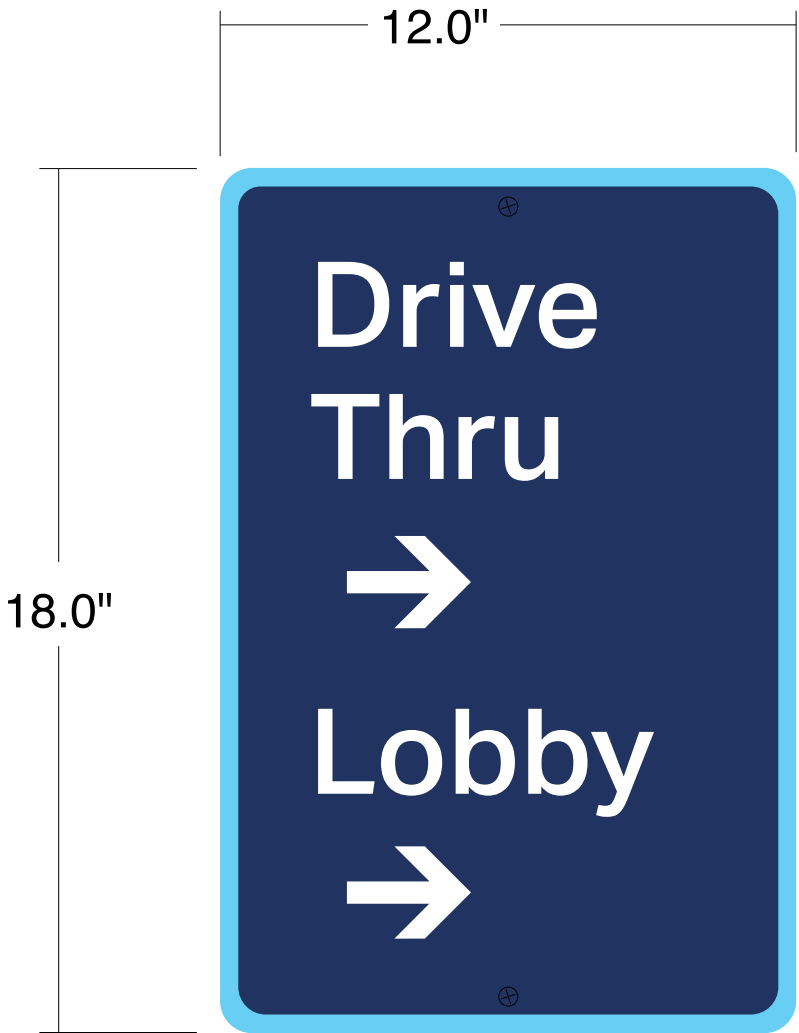
Proposed

1.5 Sq.Ft.

Rev.#:	Req. #:	Date:	Artist:	Rev.#:	Req. #:	Date:	Artist:	Rev.#:	Req. #:	Date:	Artist:
Original	324494	03/24/20	KW	Rev 4	000000	00/00/00	XXX	Rev 8	000000	00/00/00	XXX
Rev 1	325912	04/27/20	KW	Rev 5	000000	00/00/00	XXX	Rev 9	000000	00/00/00	XXX
Rev 2	000000	00/00/00	XXX	Rev 6	000000	00/00/00	XXX	Rev 10	000000	00/00/00	XXX
Rev 3	000000	00/00/00	XXX	Rev 7	000000	00/00/00	XXX	Rev 11	000000	00/00/00	XXX

Sign #	Qty.	Description	Sq. Ft.
9	1	Wall Mounted Regulatory Signage S/F Alum. Panel	1.5
NOTES:			

Scale: 3"=1'-0"





CITY OF WORTHINGTON


DRAWING NO. AR 29-2020


DATE 05-14-2020


Materials & Finishes

PMS 534C

PMS 297C

PMS 7702C

PMS 583C

3M 7725-10
Opaque White

DIGITALLY PRINTED TO MATCH COLORS SHOWN IN THE COLOR PALETTE

PANEL: .080 flat alum. panel w/ 3/4" radius corners

GRAPHICS: Digitally printed graphics

INSTALL: Secured to brick wall using fasteners to suit, in same position as existing

QTY: (1) One required



Existing

1'-0" x 1'-6" Regulatory Sign



Proposed

1.5 Sq.Ft.

Drawing prepared by:

Location:

7140 High Street
Worthington, OH 43085

File Path:

K:\ART\ACCOUNTS\PI\Park National Bank\LOCATIONS\2020\OH\530_Worthington\530_Worthington R2.cdr

Proj #:

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530

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1141659

RECOMMENDATION

Drawing prepared for:

Rev.#:	Req. #:	Date:	Artist:	Rev.#:	Req. #:	Date:	Artist:	Rev.#:	Req. #:	Date:	Artist:
Original	324494	03/24/20	KW	Rev 4	000000	00/00/00	XXX	Rev 8	000000	00/00/00	XXX
Rev 1	325912	04/27/20	KW	Rev 5	000000	00/00/00	XXX	Rev 9	000000	00/00/00	XXX
Rev 2	000000	00/00/00	XXX	Rev 6	000000	00/00/00	XXX	Rev 10	000000	00/00/00	XXX
Rev 3	000000	00/00/00	XXX	Rev 7	000000	00/00/00	XXX	Rev 11	000000	00/00/00	XXX

Sign #	Qty.	Description	Sq. Ft.
10	2	Lane Open Indicators	n/a
NOTES: Lane Open Indicator Signs			



Existing Signs to Remain As Is (Qty 2)

CITY OF WORTHINGTON

DRAWING NO. AR 29-2020

DATE 05-14-2020

Drawing prepared by:

Location:

7140 High Street
Worthington, OH 43085

File Path:

K:\ART\ACCOUNTS\PIPark National Bank\LOCATIONS\2020\OH\530_Worthington\530_Worthington R2.cdr

Proj #:

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Loc #:

530

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RECOMMENDATION

Drawing prepared for:



Rev.#: Req. #: Date: Artist:

Original	324494	03/24/20	KW
Rev 1	325912	04/27/20	KW
Rev 2	000000	00/00/00	XXX
Rev 3	000000	00/00/00	XXX

Rev.#: Req. #: Date: Artist:

Rev 4	000000	00/00/00	XXX
Rev 5	000000	00/00/00	XXX
Rev 6	000000	00/00/00	XXX
Rev 7	000000	00/00/00	XXX

Rev.#: Req. #: Date: Artist:

Rev 8	000000	00/00/00	XXX
Rev 9	000000	00/00/00	XXX
Rev 10	000000	00/00/00	XXX
Rev 11	000000	00/00/00	XXX

Sign #	Qty.	Description	Sq. Ft.
11	1	DU CANOPY SIGN S/F ALUM. PANEL	2.5
NOTES: S/F ALUM. PANEL WITH GRAPHICS			

SCALE: 1-1/2"=1'-0"



- New 1/8” Aluminum finished to match PMS 534C
- Applied Vinyl As Noted
- Face-screwed to existing building or canopy

Materials & Finishes		
		White Reflective Opaque Vinyl
PMS 534C	PMS 297C	

CITY OF WORTHINGTON

DRAWING NO. AR 29-2020

DATE 05-14-2020



Existing



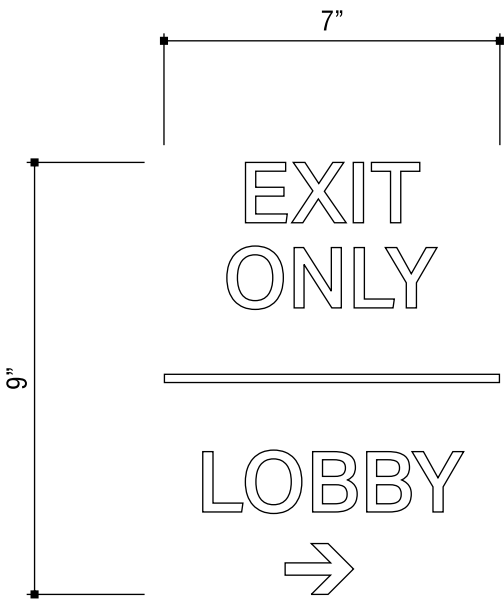
Proposed


2.5 Sq.Ft.

Rev.#:	Req. #:	Date:	Artist:	Rev.#:	Req. #:	Date:	Artist:	Rev.#:	Req. #:	Date:	Artist:
Original	324494	03/24/20	KW	Rev 4	000000	00/00/00	XXX	Rev 8	000000	00/00/00	XXX
Rev 1	325912	04/27/20	KW	Rev 5	000000	00/00/00	XXX	Rev 9	000000	00/00/00	XXX
Rev 2	000000	00/00/00	XXX	Rev 6	000000	00/00/00	XXX	Rev 10	000000	00/00/00	XXX
Rev 3	000000	00/00/00	XXX	Rev 7	000000	00/00/00	XXX	Rev 11	000000	00/00/00	XXX

Sign #	Qty.	Description	Sq. Ft.
12	1	CUSTOM VINYL APPLICATION	n/a
NOTES: First Surface applied die cut opaque white vinyl graphics			

SCALE: 3"=1'-0"



Materials & Finishes	
	WHITE 7725-10 OPAQUE VINYL



Existing



Proposed

CITY OF WORTHINGTON
DRAWING NO. AR 29-2020
DATE 05-14-2020

RECOMMENDATION

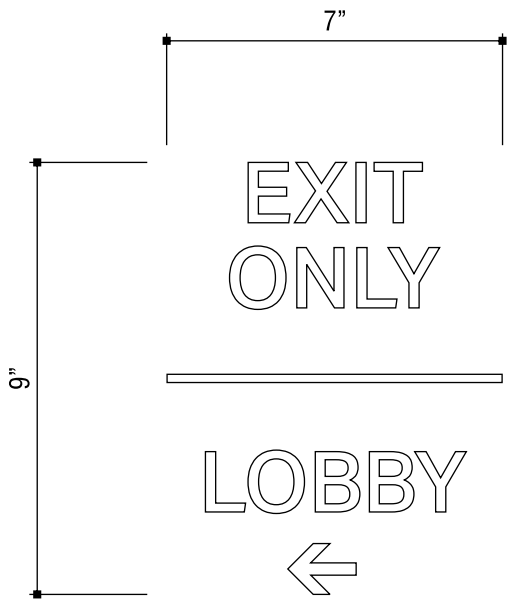
K:\ART\ACCOUNTS\IPark National Bank\LOCATIONS\2020\OH\530_Worthington\530_Worthington R2.cdr


Drawings are the exclusive property of ICON,. Any unauthorized use or duplication is not permitted.

18

Sign #	Qty.	Description	Sq. Ft.
13	1	CUSTOM VINYL APPLICATION	n/a
NOTES: First Surface applied die cut opaque white vinyl graphics			

SCALE: 3"=1'-0"



Materials & Finishes	
	WHITE 7725-10 OPAQUE VINYL

CITY OF WORTHINGTON

DRAWING NO. AR 29-2020

DATE 05-14-2020



Existing



Proposed

Rev.#:	Req. #:	Date:	Artist:	Rev.#:	Req. #:	Date:	Artist:	Rev.#:	Req. #:	Date:	Artist:
Original	324494	03/24/20	KW	Rev 4	000000	00/00/00	XXX	Rev 8	000000	00/00/00	XXX
Rev 1	325912	04/27/20	KW	Rev 5	000000	00/00/00	XXX	Rev 9	000000	00/00/00	XXX
Rev 2	000000	00/00/00	XXX	Rev 6	000000	00/00/00	XXX	Rev 10	000000	00/00/00	XXX
Rev 3	000000	00/00/00	XXX	Rev 7	000000	00/00/00	XXX	Rev 11	000000	00/00/00	XXX



City of Worthington
ARCHITECTURAL REVIEW BOARD
Certificate of Appropriateness
Application

Case # AR 31-20
Date Received 05-21-2020
Fee \$4.00
Meeting Date 06-11-2020
Filing Deadline _____
Receipt # 68494

1. Property Location 590 Hartford Street
2. Present/Proposed Use Fence
3. Zoning District _____
4. Applicant Marlene + Warren Orloff
Address 590 Hartford Street
Phone Number(s) 1-614-537-4590 (cell)
Email _____
5. Property Owner Marlene + Warren Orloff
Address _____
Phone Number(s) _____
Email _____
6. Project Description Fence in backyard —
6 foot fence
7. Project Details:
- a) Design 6 ft. Cedar Fence
- b) Color Wood
- c) Size 6 ft.
- d) Approximate Cost @ \$4000.00 Expected Completion Date _____

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Applicant (Signature)

Date

Property Owner (Signature)

Date

ABUTTING PROPERTY OWNERS
FOR
590 Hartford St.

David and Giannalisa Schumer	580 Hartford St.	Worthington, OH 43085
Robert and Tera Huffman	594 Hartford St.	Worthington, OH 43085
Worthington United Methodist Church	600 High St.	Worthington, OH 43085
Brent Watson	Catherine Craine 583 Hartford St	Worthington, OH 43085
Timothy and Brenda Tilton	595 Hartford St.	Worthington, OH 43085
Barbara Mason	587 Morning St.	Worthington, OH 43085
John and Jennifer Schaffner	601 Morning St.	Worthington, OH 43085



East side



North side

Page 2 of 6

We are proposing a fence line on both the east + north edges of our property. It is a six-foot privacy fence. Our neighbors to the north are in agreement with our proposal.

CITY OF WORTHINGTON

DRAWING NO. AR 31-2020

DATE 05-21-2020

590 Hartford St.





CITY OF WORTHINGTON

DRAWING NO. AR 31-2020

DATE 05-21-2020



CITY OF WORTHINGTON

DRAWING NO. AR 31-2020

DATE 05-21-2020



CITY OF WORTHINGTON

DRAWING NO. AR 31-2020

DATE 05-21-2020

MORTGAGE LOCATION SURVEY

052410

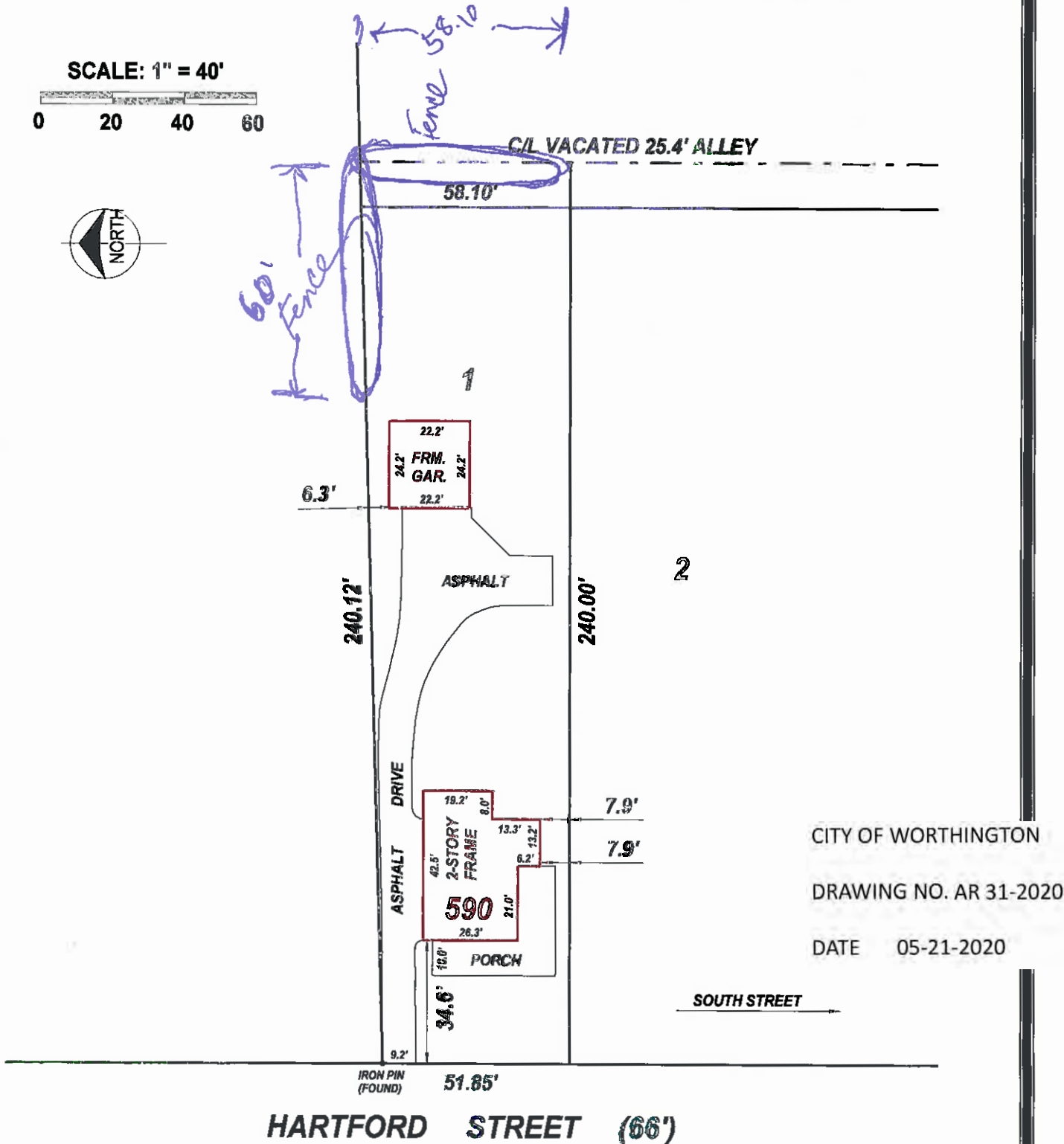
TITLE COMPANY: NORTHWEST SELECT TITLE AGENCY
LENDER: NPB MORTGAGE, LLC
BUYER: WARREN AND MARLENE ORLOFF
SELLER: RICHARD W. AND RACHEL B. RANCK
DATE: 11/19/10
ORDER NO.: 0524-10

LEGAL DESCRIPTION: BEING LOT NO. 1 AND PART OF VACATED ALLEY
IN HANNON BROTHERS SUBDIVISION, OF RECORD IN PLAT BOOK 10,
PAGES 224 AND 225, FRANKLIN COUNTY RECORDER'S OFFICE, CITY OF
WORTHINGTON, STATE OF OHIO.

PARCEL NO. 100-000121-00 TITLE CO. FILE NO. NWS-2676



APPARENT ENCROACHMENTS: NONE.




CITY OF WORTHINGTON
DRAWING NO. AR 31-2020
DATE 05-21-2020



COMPASS
SURVEYING
SOLUTIONS

P.O. Box 1902
Westerville, Ohio 43086-1902
Phone: (614)378-9140
Fax: (614)891-5889
CompassSurveying@yahoo.com

We hereby certify that the foregoing MORTGAGE LOCATION SURVEY was prepared in accordance with Chapter 4733-38, Ohio Administrative Code and is not a boundary survey pursuant to Chapter 4733-37 Ohio Administrative Code. This plat is prepared for mortgage loan and title purposes only and does not show the location of fences or landscaping. This plat is not to be used for the construction of any improvements.

By 
G. Dean Erlenbach
Ohio Registered Surveyor No. 7272





City of Worthington
ARCHITECTURAL REVIEW BOARD
Certificate of Appropriateness
Application

Case # AR 32-20
Date Received 05/22/2020
Fee \$50.00
Meeting Date 06-11-2020
Filing Deadline _____
Receipt # 68501

1. Property Location 570 Evening St.
2. Present/Proposed Use Side yard / Garage
3. Zoning District _____
4. Applicant Todd Bradham
Address 570 Evening St.
Phone Number(s) 614-507-5905
Email _____
5. Property Owner same ✓
Address _____
Phone Number(s) _____
Email Add Condensing Unit
6. Project Description NEW Garage build south side of house.
New Driveway leading to garage. Place windows in original
Garage doors.
7. Project Details:
- a) Design Will match house
- b) Color _____
- c) Size _____
- d) Approximate Cost \$50,000 Expected Completion Date 6-2-2021

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Todd Bradham
Applicant (Signature)

5-14-2020
Date

ABUTTING PROPERTY OWNERS
FOR
570 Evening St.

Barbara McFarland	578 Evening St.	Worthington, OH 43085
Samuel and Mary Musgrove	562 Evening St.	Worthington, OH 43085
Romano and Juliet Klepec	565 Evening St.	Worthington, OH 43085
Spencer Budros and Kathryn Britton	571 Evening St.	Worthington, OH 43085
Jo Odegaard	575 Evening St.	Worthington, OH 43085
Robert Holub	581 Oxford St.	Worthington, OH 43085
Don and Lori Overmyer	573 Oxford St.	Worthington, OH 43085

Statement for Todd Bradham 570 Evening st. Worthington Ohio 43085

The garage being submitted are the same plans as previously approved by the Board. Dimensions of 24 ft by 28 ft garage on South side of the house. We are reducing the space between the garage and the house to 4 feet and with the garage being 24 ft wide that leaves plenty of space between us and the neighboring property line. Also instead of the garage being 5ft back from the front of the house we decided on 8 feet back.

A new condensing unit is proposed on the south side of the house in the middle.

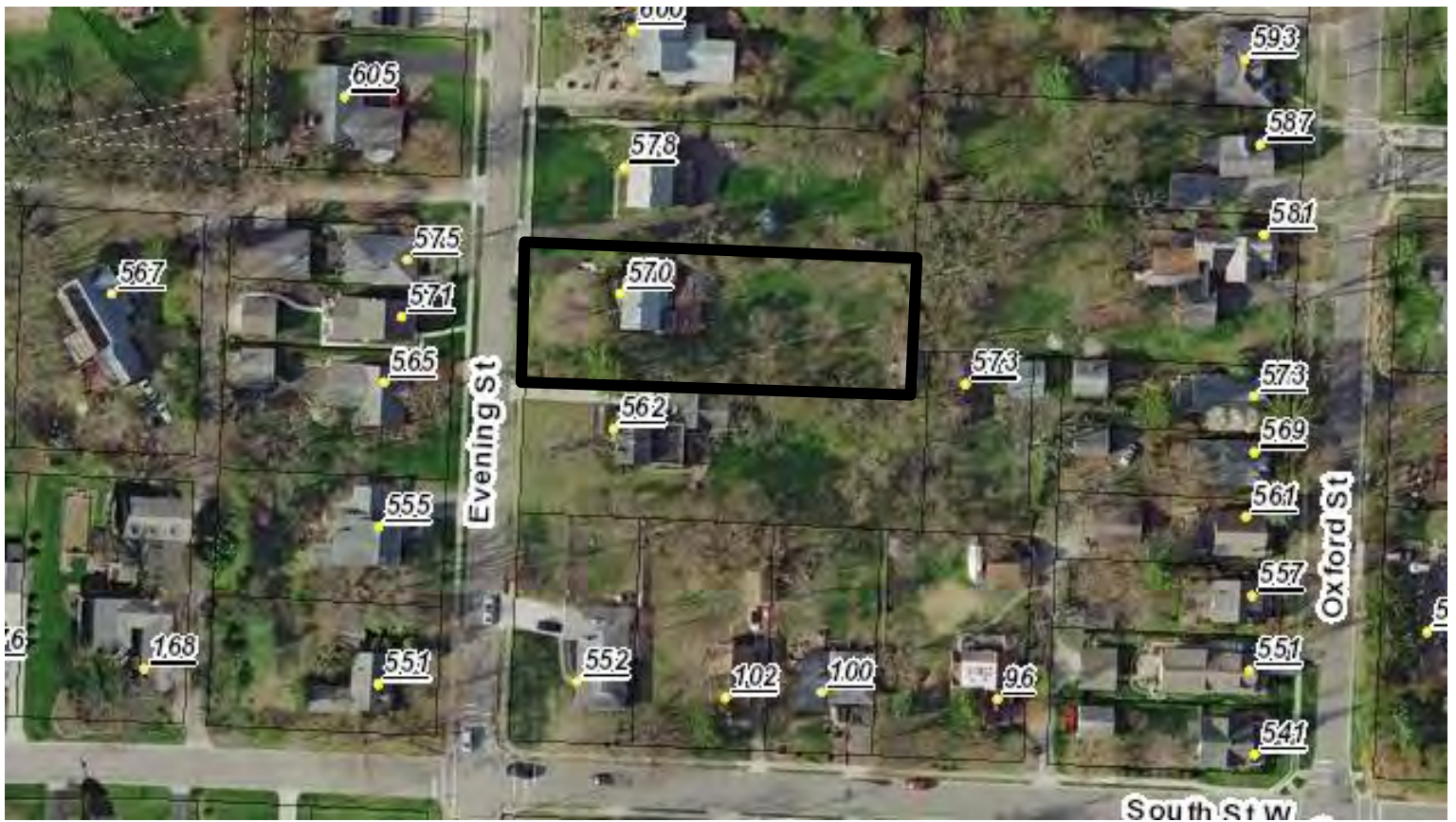
Todd Bradham

CITY OF WORTHINGTON

DRAWING NO. AR 32-2020

DATE 05-22-2020

570 Evening St.



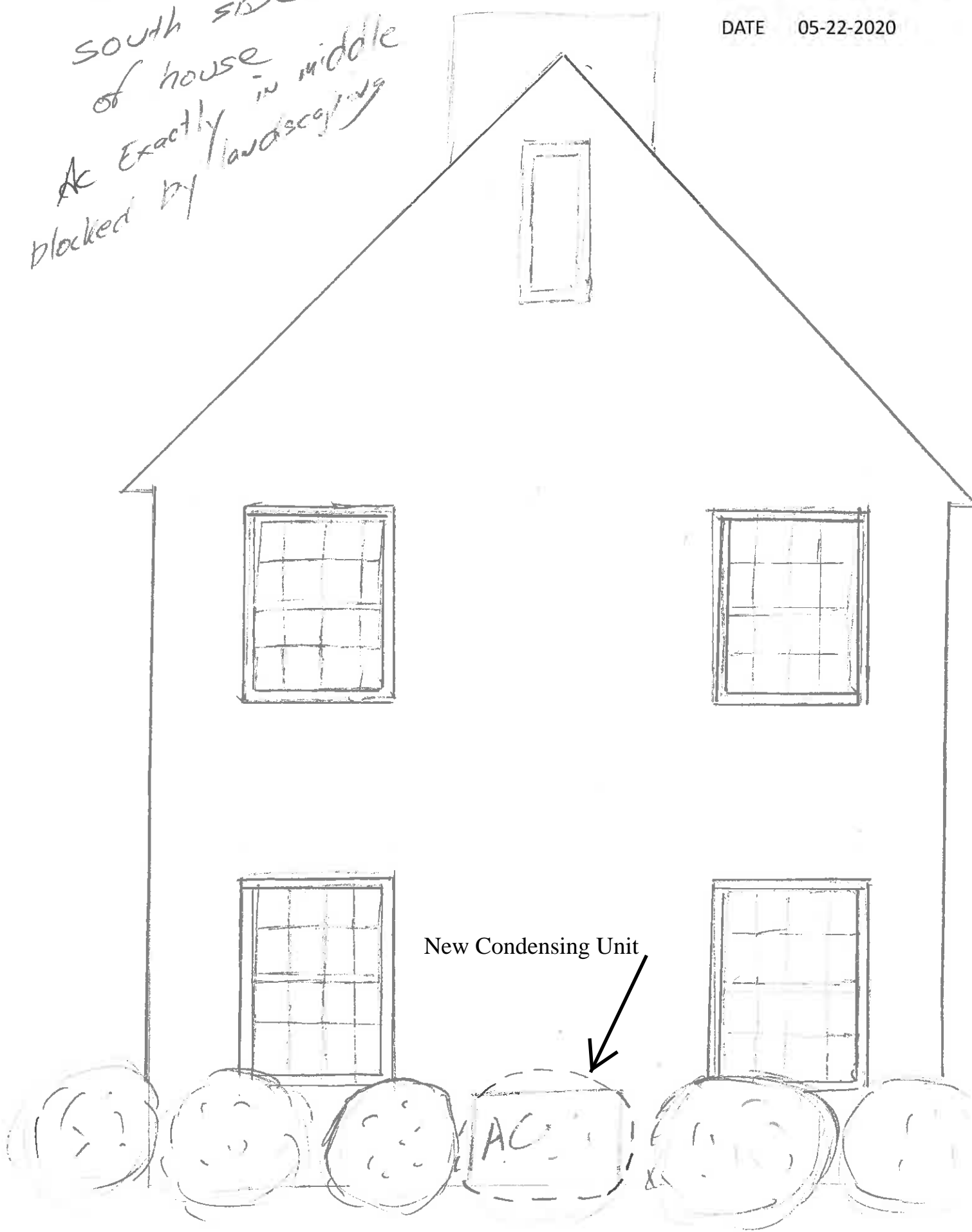
Todd Bradham
570 Evening St

CITY OF WORTHINGTON

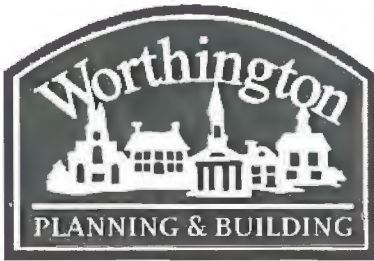
DRAWING NO. AR 32-2020

DATE 05-22-2020

South side
of house
AC exactly in middle
blocked by landscaping



New Condensing Unit



City of Worthington
ARCHITECTURAL REVIEW BOARD
Certificate of Appropriateness
Application

Case #	AR 27-16
Date Received	2-12-16
Fee	\$15
Meeting Date	2-25-16
Filing Deadline	
Receipt #	66617

1. Property Location 570 Evening st.

2. Present/Proposed Use _____

3. Zoning District _____

4. Applicant Todd Bradshaw

Address 570 Evening st.

Phone Number(s) 614 507-5905

5. Property Owner same

Address _____

Phone Number(s) _____

6. Project Description New GARAGE Build south
side of house & Driveway. Convert existing
garage into living space

7. Project Details:

a) Design will match house

b) Color same

c) Size _____

d) Approximate Cost 25,000.00 Expected Completion Date 2-10-17

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Todd Bradshaw
Applicant (Signature)

Property Owner (Signature)

Date

Date

APPROVED
ARCHITECTURAL REVIEW BOARD,

CITY OF WORTHINGTON

DATE 2/25/16

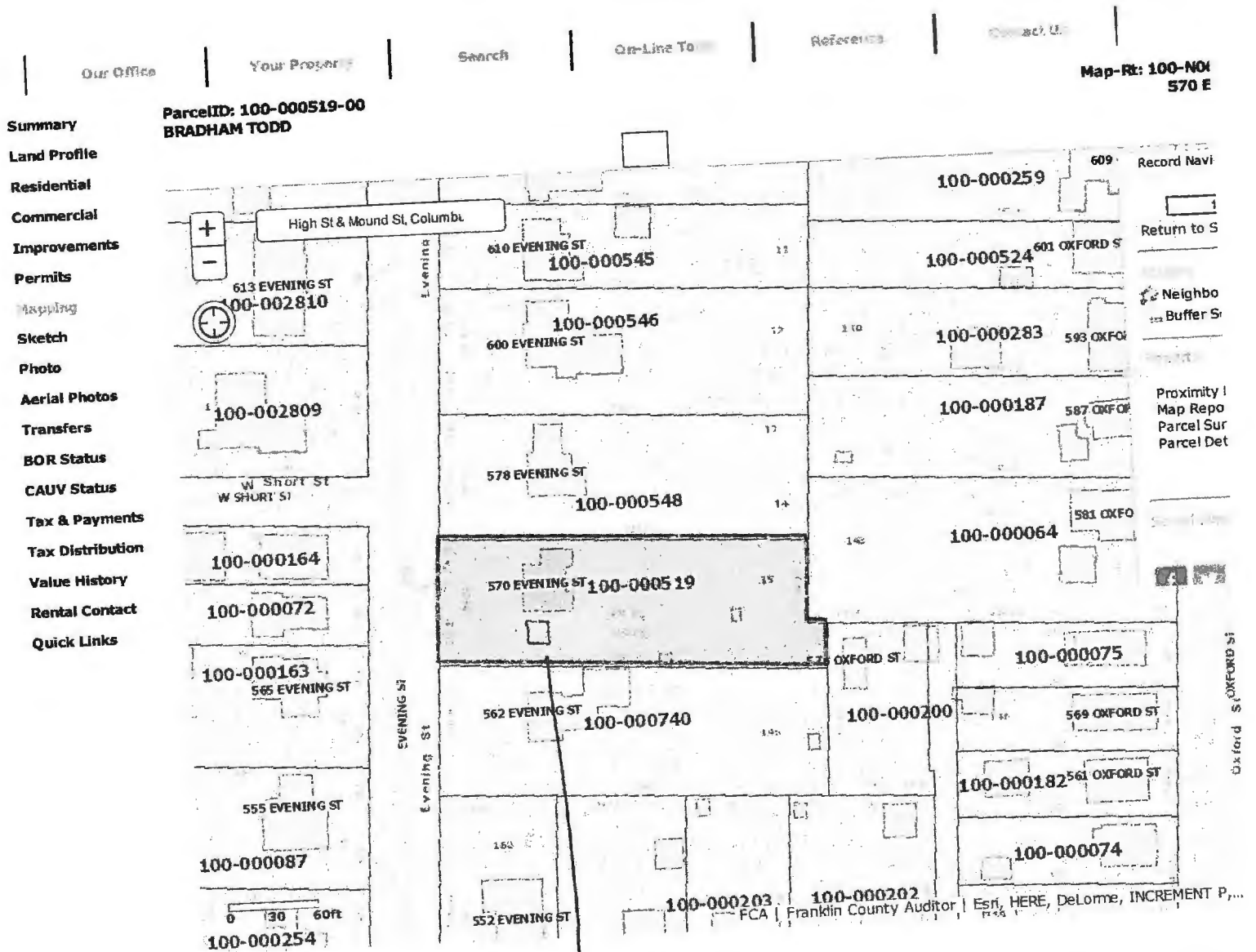
CLERK

CITY OF WORTHINGTON

DRAWING NO. AR 27-16

DATE 2-12-16

2/12/2016



CITY OF WORTHINGTON

DRAWING NO. AR 32-2020

DATE 05-22-2020

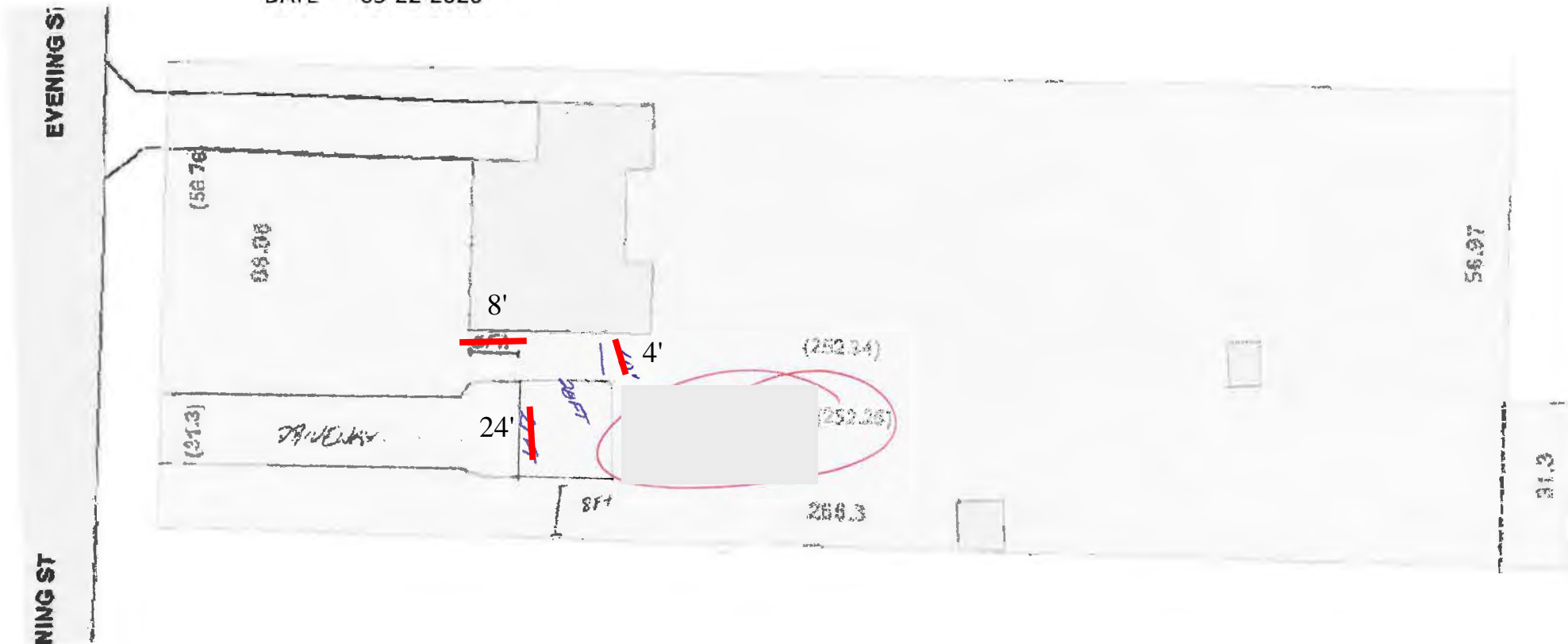
APPROVED
ARCHITECTURAL REVIEW BOARD
CITY OF WORTHINGTON
DATE 2/25/16
R Lee Brown
CLERK

CITY OF WORTHINGTON
DRAWING NO. AR 27-16
DATE 2-12-16

CITY OF WORTHINGTON

DRAWING NO. AR 32-2020

DATE 05-22-2020



1ST ST.

DATE

2/12/16

DRAWING NO. 1

CITY OF WORTHINGTON

APPROVED
ARCHITECTURAL REVIEW BOARD
CITY OF WORTHINGTON
DATE 2/25/16
CLERK R. Lee Brown

CITY OF WORTHINGTON

DRAWING NO. AR 32-2020

DATE 05-22-2020

- No cedar shakes

- Windows to match
house with grids

- garage can
have a single
door or
2 doors

(CED. SHAKES
or Imitation)

Decorative
Trim

8" Dressed

WOOD 12" x 6" x 5"

5' Dressed

5' Dressed

4'6" min

APPROVED
ARCHITECTURAL REVIEW BOARD
CITY OF WORTHINGTON

DATE 2-15-16
R. Lee Brown

CLERK

CITY OF WORTHINGTON
AR 27-16
DRAWING NO.

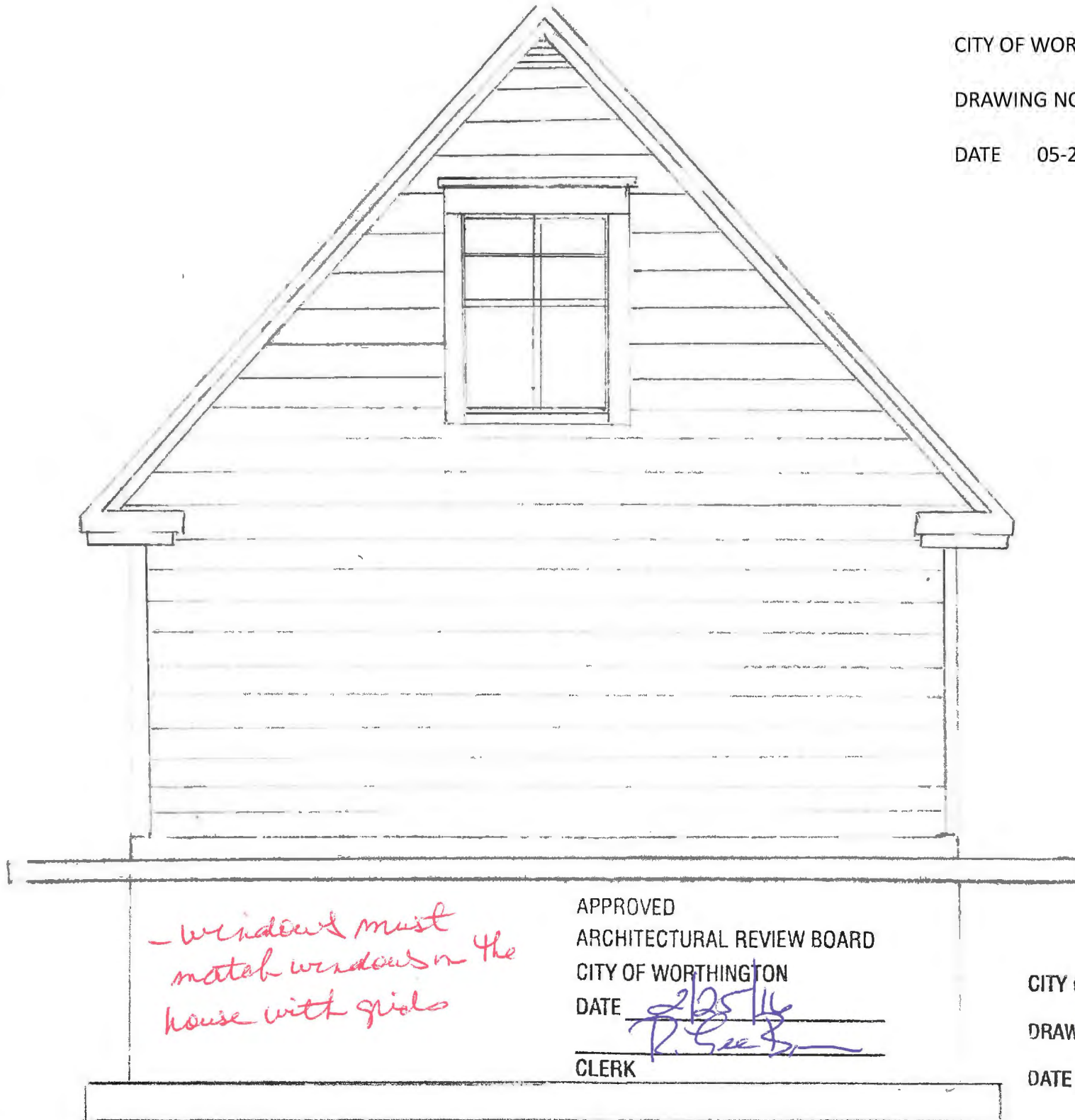
DATE 2-12-16

Peak of
Garage

CITY OF WORTHINGTON

DRAWING NO. AR 32-2020

DATE 05-22-2020

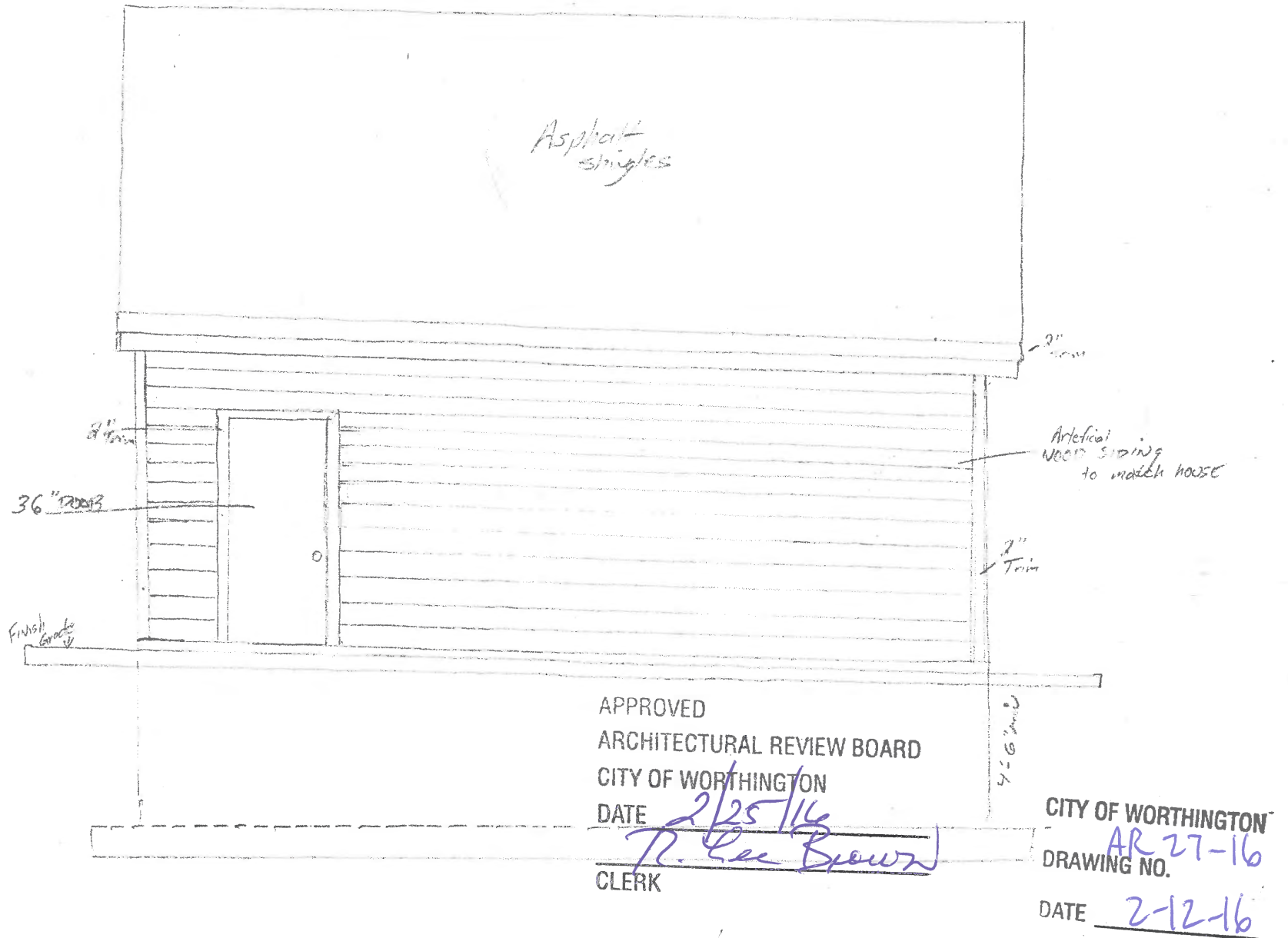


CITY OF WORTHINGTON

DRAWING NO. AR 32-2020

DATE 05-22-2020

NORTH SIDE



TOP PLATE

Asphalt shingles

South
side

SECOND
FLOOR

Top Plate

Top of foundation
↓

Finish grade
↑

Top of footing
↓

CITY OF WORTHINGTON

DRAWING NO. AR 32-2020

DATE 05-22-2020

APPROVED

ARCHITECTURAL REVIEW BOARD

CITY OF WORTHINGTON

DATE

CLERK

CITY OF WORTHINGTON

AR 27-16
DRAWING NO.

DATE 2-12-16

24'

5'-0"

28'-0"

28'-0"

CITY OF WORTHINGTON

DRAWING NO. AR 32-2020

DATE 05-22-2020

- ~~Dimensions changed to 21' x 28'~~
- OK to have 1 garage door in 2 as shown
- windows must match house & have grids
- No cedar shakes

APPROVED
 ARCHITECTURAL REVIEW BOARD
 CITY OF WORTHINGTON

DATE 2/25/16
P. Lee Brown

CLERK

CITY OF WORTHINGTON

AR 27-16
DRAWING NO.

DATE 2-12-16



GARAGE DOOR
 9'-0"

1:5"

GARAGE DOOR
 9'-0"

Floor



City of Worthington
ARCHITECTURAL REVIEW BOARD
Certificate of Appropriateness
Application

Case # AR 33-2020
Date Received 5-29-2020
Fee \$20
Meeting Date 6-11-2020
Filing Deadline 5-29-2020
Receipt # _____

1. Property Location 6555 Worthington-Galena Road
2. Present/Proposed Use B-Business / B-Business
3. Zoning District _____
4. Applicant Michael Anderson
Address 4420 Cooper Road Suite 200, Cincinnati, OH 45242
Phone Number(s) 859.866.7605
Email _____
5. Property Owner City of Worthington
Address 380 Highland Ave.
Phone Number(s) 614.796.5684
Email _____
6. Project Description New security entry doors - new vestibule - Interior, New A/C Condenser - Exterior
7. Project Details:
 - a) Design _____
 - b) Color _____
 - c) Size _____
 - d) Approximate Cost \$20,000 Expected Completion Date 9.1.2020

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Applicant (Signature)

5/28/2020

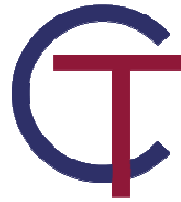
Date

Property Owner (Signature)

Date

Abutting Property Owners List for
6555 Worthington Galena Rd.

FC Bank	6600 N. High St.	Worthington, OH 43085
6565 Worthington LLC	642 Eagle Ridge Ct.	Powell, OH 43065
Worthington Baptist Church	6530 Worthington Galena Rd.	Worthington, OH 43085
Jersey Baptist Church	13260 Morse Rd SW	Pataskala, OH 43062
Worthington Condominium Assoc. c/o Becky Lineberger, President	74 Glen Dr.	Worthington, OH 43085
Laurel Realty Properties	8181 Worthington Rd.	Westerville, OH 43082
Tenant	6540 Worthington Galena Rd	Worthington, OH 43085
West Ohio Conference of the United Methodist Church	32 Wesley Blvd.	Worthington, OH 43085



**WORTHINGTON POLICE STATION – ENTRY VESTIBULE
CITY OF WORTHINGTON, OHIO**

GENERAL PROJECT DESCRIPTION

- The project consists of interior work consisting of adding a new ballistics-grade secure automatic bipart slide glass partition door to create a vestibule at the main building entry. The new vestibule will have an Emergency Lockdown feature that is activated by entry pushbutton callstation control and remotely enabled in the event a resident would understand to be physically unsafe and in harm's way requesting to be protected by Worthington Police until such a time the Police can respond. Related building elements to be modified are new HVAC systems provided in the existing vestibule space and unisex Public Restroom to have new electronic access controlled door hardware installed. Exterior work includes new site vehicular security landscaping, including bollard(s) should also be included in this scope. Proposed construction and finishes shall match the existing facility.
- Other interior elements of the project consists of adding a new piece of equipment - City Transaction Kiosk aka. JACK Bill Pay Machine at the building entry corridor. A new Quiet Room space will be added to the existing Communications Room space. Continuous vertical shaftwall will be added in this scope of work from third floor to basement level for new HVAC fresh air return for future HVAC project.



CITY OF WORTHINGTON

DRAWING NO. AR 33-2020

DATE 05-29-2020

Tri-Family-Decorative-Plastic-Bollard-Covers

Entry Security Bollard Basis of Design

6555 Worthington Galena Rd.





Inverter Compressor

Up to 42.0 SEER

Up to 15.0 HSPF

Sizes: 09 / 12 / 18 / 24

All Systems are ENERGY STAR® qualified



OUTDOOR FEATURES

- 100% heating capacity at 0°F (-17°C)
- 100% cooling capacity at -22°F (-30°C) without additional kit
- Up to 75% of heating capacity at -22°F (-30°C)
- Available in 208/230V
- Built-in basepan heater
- Auto-restart function
- Refrigerant leakage detection
- Quiet outdoor operation, as low as 55 dB(A)
- Aluminum Golden Hydrophilic pre-coated fins
- Piping length 98 ft (30 m)
- Cooling operating range -22° ~ 122°F (-30° ~ 50°C)
- Heating operating range -22° ~ 86°F (-25° ~ 30°C)

COMPATIBLE WITH

- 619PHA High Wall

If maximum performance and efficiency are key, look no further than our Evolution® System heat pump. This ENERGY STAR® qualified ductless system comes with a 42 SEER rating when paired with the 619PHA High Wall – there's nothing more efficient¹! Even when temps drop to as low as -22° F outside, your interior environment stays cozy (when properly sized and matched with specific indoor units). Powerful yet quiet, our best ductless outdoor solution delivers results.



619PHA
Size: 09 / 12



619PHA
Size: 18 / 24

CITY OF WORTHINGTON

DRAWING NO. AR 34-2020

DATE 05-28-2020

¹ According to system ratings maintained by AHRI as of January 22, 2018, in accordance with the AHRI Unitary Small Equipment Operations Manual. The 9,000 Btu/h single zone ductless has a 42 SEER Rating.

38MPRA Outdoor Unit

SPECIFICATIONS

Heat Pump					
System					
Size		9	12	18	24
Outdoor Model		38MPRAQ09AA3	38MPRAQ12AA3	38MPRAQ18AA3	38MPRAQ24AA3
Electrical					
Voltage-Phase-Cycle	V-Ph-Hz	208/230-1-60	208/230-1-60	208/230-1-60	208/230-1-60
MCA	A.	13	15	18	20
MOCP - Fuse Rating	A.	15	20	30	30
Operating Range					
Cooling Outdoor DB Min - Max	°F (°C)	-22~122 (-30~50)	-22~122 (-30~50)	-22~122 (-30~50)	-22~122 (-30~50)
Heating Outdoor DB Min - Max	°F (°C)	-22~86 (-30~30)	-22~86 (-30~30)	-22~86 (-30~30)	-22~86 (-30~30)
Piping					
Total Piping Length	ft (m)	98 (30)	98 (30)	98 (30)	98 (30)
Piping Lift*	ft (m)	49 (15)	49 (15)	65 (20)	65 (20)
Pipe Connection Size - Liquid	in (mm)	1/4 (6.35)	1/4 (6.35)	3/8 (9.52)	3/8 (9.52)
Pipe Connection Size - Suction	in (mm)	3/8 (9.52)	1/2 (12.7)	5/8 (15.9)	5/8 (15.9)
Refrigerant					
Type		R410A	R410A	R410A	R410A
Charge	lbs (kg)	3.5 (1.58)	3.5 (1.58)	5.7 (2.6)	6.5 (2.95)
Compressor					
Type		Rotary Inverter	Rotary Inverter	Rotary Inverter	Rotary Inverter
Outdoor					
Unit Width	in (mm)	33.27 (845)	33.27 (845)	37.24 (946)	37.24 (946)
Unit Height	in (mm)	27.64 (702)	27.64 (702)	31.89 (810)	31.89 (810)
Unit Depth	in (mm)	14.29 (363)	14.29 (363)	16.14 (410)	16.14 (410)
Net Weight	lbs (kg)	107.59 (48.8)	108.47(49.2)	135.4(61.4)	145.1(65.8)
Airflow (lowest to highest)	CFM	1,380	1,380	2,236	2,236
Sound Pressure (lowest to highest)	dB(A)	55.5	56.0	61.5	62.0

*Condensing unit above or below indoor unit.

COMPATIBILITY

Indoor Unit		Outdoor Unit			
		38MPRAQ09AA3	38MPRAQ12AA3	38MPRAQ18AA3	38MPRAQ24AA3
High Wall	619PHAQ09XA3	•			
	619PHAQ12XA3		•		
	619PHAQ18XA3			•	
	619PHAQ24XA3				•

PERFORMANCE

High Wall					
Indoor Model		619PHAQ09XA3	619PHAQ12XA3	619PHAQ18XA3	619PHAQ24XA3
ENERGY STAR® Qualified		YES	YES	YES	YES
Cooling System Tons		0.75	1.0	1.5	1.8
Cooling Rated Capacity	Btu/h	9,000	12,000	18,000	22,000
Cooling Cap. Range Min - Max	Btu/h	5,000~17,000	5,800~19,000	6,888~30,511	7,445~32,644
SEER		42.0	32.0	28.2	23.5
EER		15.0	13.5	14.5	13.65
Heating Rated Capacity (47°F)	Btu/h	10,000	12,000	18,000	24,000
Heating Maximum Capacity (5°F)	Btu/h	13,000	13,800	18,000	24,000
Heating Cap. Range Min - Max	Btu/h	3,100~19,100	3,500~21,310	10,835~29,414	12,050~32,270
HSPF		15.0	14.0	14.0	12.0
COP (47°F)	W/W	4.00	4.24	4.12	3.89
COP (5°F)	W/W	2.00	2.00	2.00	2.00



Manufacturer reserves the right to discontinue, or change at any time, specification or designs without notice or incurring obligations.

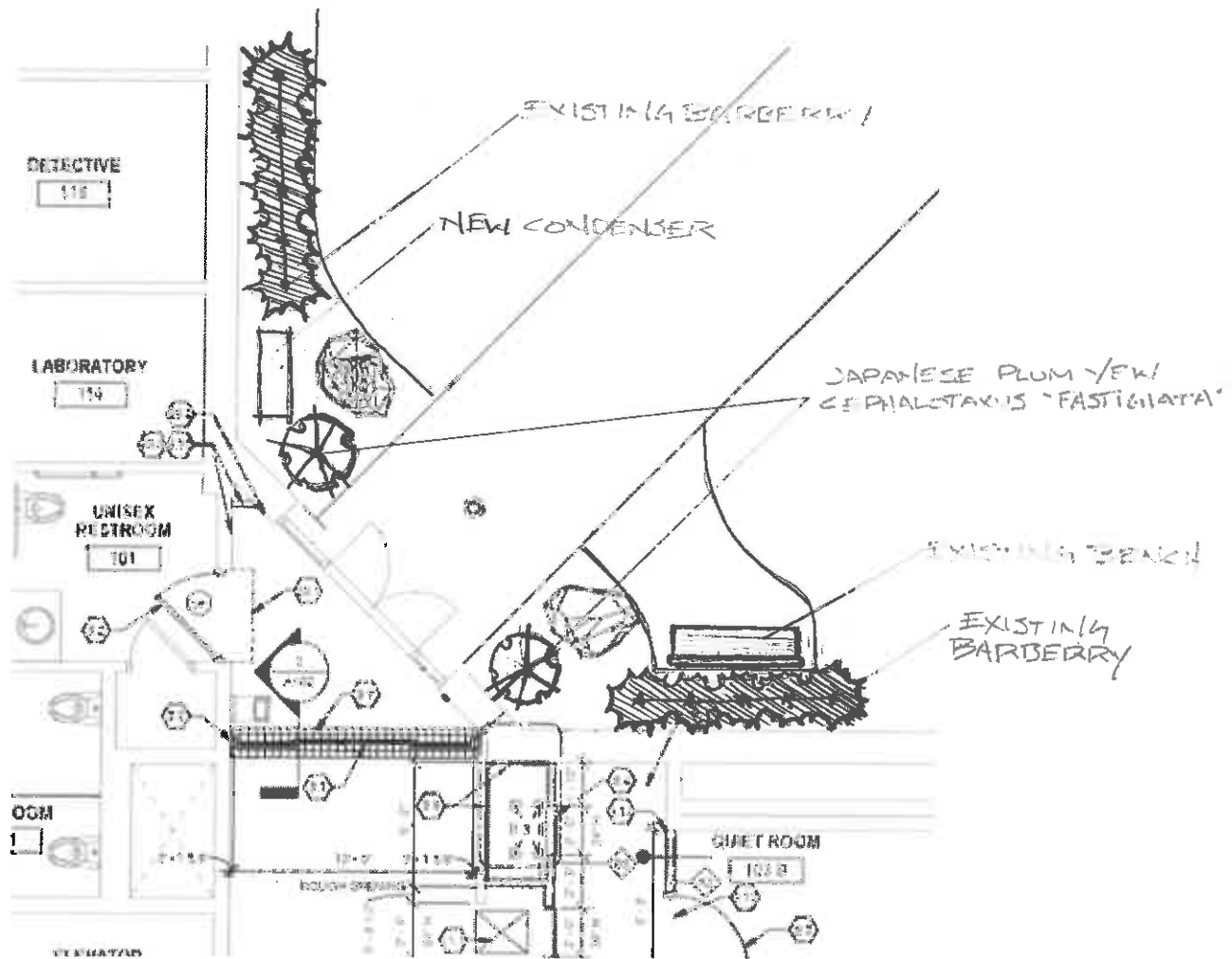
Visit our website at BryantDuctless.com

3300 Riverwood Parkway SE, Suite 900, Atlanta, GA 30339

CITY OF WORTHINGTON

DRAWING NO. AR 34-2020

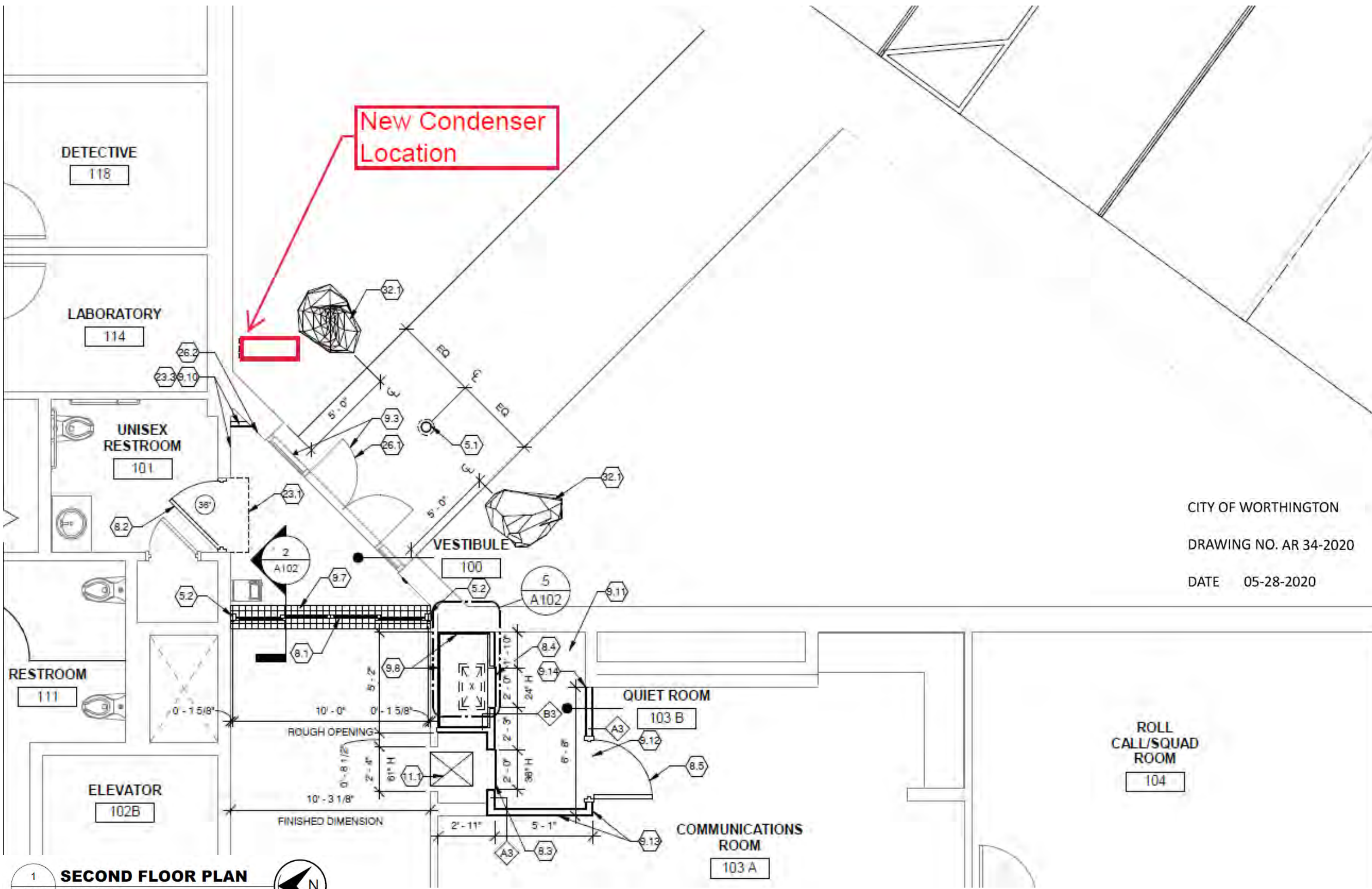
DATE 05-28-2020



CITY OF WORTHINGTON

DRAWING NO. AR 33-2020

DATE 05-29-2020



New Condenser Location

CITY OF WORTHINGTON
DRAWING NO. AR 34-2020
DATE 05-28-2020

NEW SECURITY DOOR AND VESTIBULE
IMPROVEMENTS
THE CITY OF WORTHINGTON POLICE DEPARTMENT
6555 WORTHINGTON-GALENA ROAD WORTHINGTON, OH 43085



City of Worthington
ARCHITECTURAL REVIEW BOARD
Certificate of Appropriateness
Application

Case # AR 34-2020
Date Received 5/28/2020
Fee \$6
Meeting Date 6/11/2020
Filing Deadline 5/29/2020
Receipt # _____

1. **Property Location** 817 Oxford St
2. **Present/Proposed Use** Leisure
3. **Zoning District** _____
4. **Applicant** Todd and Jessica Boucher
Address 817 Oxford St
Phone Number(s) 614.783.0295
Email _____
5. **Property Owner** Jessica Boucher
Address 817 Oxford St
Phone Number(s) 614.301.3288
Email _____
6. **Project Description** Hot Tub Installation

7. **Project Details:**
- a) **Design** Nordic Encore SE
- b) **Color** Mahogany
- c) **Size** 84" x 84" x 35"
- d) **Approximate Cost** \$5,550 **Expected Completion Date** July, 2020

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Applicant (Signature) 05/28/2020
Date

Property Owner (Signature) 05/28/2020
Date

Abutting Property Owners for

817 Oxford St

Linda C. Riley	821 Oxford St, Worthington, OH 43085
George G. Callendine	803 Oxford St, Worthington, OH 43085
Michael Narazaki	107 W Stafford Ave, Worthington, OH 43085
Louis C Flocken	810 Oxford St, Worthington, OH 43085
Deborah L Campbell	822 Oxford St, Worthington, OH 43085

Architectural Review Board Supporting Statement

817 Oxford St

RE: Hot Tub Installation

We would like to put a hot tub in our back yard on a concrete slab that currently exists and isn't being used. It is underneath a raised deck and nearly out of view from any adjacent property. We would like to use this for family time as we have a family of 7. Thank you for your consideration.

Todd and Jessica Boucher

817 Oxford St.

Worthington, OH 43085

CITY OF WORTHINGTON

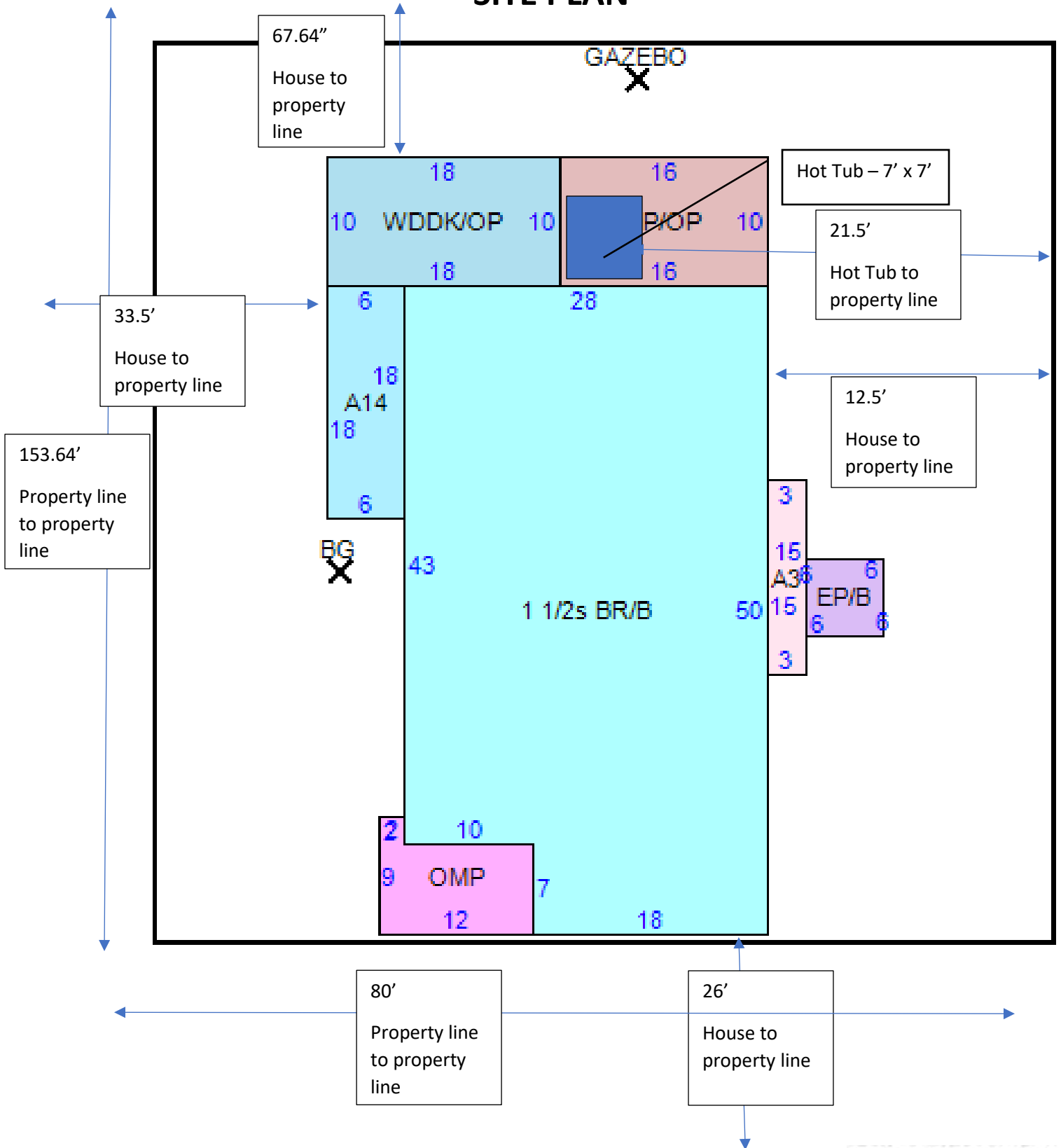
DRAWING NO. AR 34-2020

DATE 05-28-2020

817 Oxford St.



SITE PLAN



CITY OF WORTHINGTON

DRAWING NO. AR 34-2020

DATE 05-28-2020

Model and Color Information

Nordic Hot Tubs

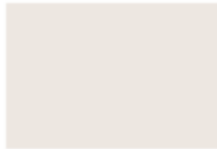
Encore SE

Mahogany Exterior

French Vanilla Interior

Brown Cover

Cabinet Color: **Interior Color:**



CITY OF WORTHINGTON

DRAWING NO. AR 34-2020

DATE 05-28-2020



City of Worthington
ARCHITECTURAL REVIEW BOARD
Certificate of Appropriateness
Application

Case #	AR 35-2020
Date Received	05-29-2020
Fee	\$80.00
Meeting Date	06-11-2020
Filing Deadline	05-29-2020
Receipt #	

1. Property Location 569 Oxford Street
2. Present/Proposed Use Single-family
3. Zoning District R-10
4. Applicant Michael Siroskey
Address 569 Oxford Street, Worthington, OH 43085
Phone Number(s) _____
Email _____
5. Property Owner Michael Siroskey
Address 569 Oxford Street, Worthington, OH 43085
Phone Number(s) _____
Email _____
6. Project Description Addendum to AR 25-19. See attached material.
7. Project Details:
 - a) Design To match existing
 - b) Color To match existing
 - c) Size To match existing
 - d) Approximate Cost \$80,000 Expected Completion Date 12/2020

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Michael P. Siroskey
Applicant (Signature)

2020-05-29
Date

Michael P. Siroskey
Property Owner (Signature)

2020-05-29
Date

ABUTTING PROPERTY OWNERS
FOR
569 Oxford St.

Sarah Johnston	Fritz Graf	561 Oxford St.	Worthington, OH 43085
Don and Lori Overmyer		573 Oxford St.	Worthington, OH 43085
Oxford Street LLC		882 High St.	Worthington, OH 43085
Tenant		574 Oxford St.	Pittsford, NY 14534-2843
Tenant		588 Oxford St.	Worthington, OH 43085
Tenant		602 Oxford St.	Worthington, OH 43085
Kenneth Evans		560 Oxford St.	Worthington, OH 43085

I would like to make a modification to AR 25-19 as described below.

1. The existing aluminum siding is no longer being made as the manufacture is out of business. One possible options is to replace it with another aluminum siding vendor (PlyGem Mastic Envoy) that has a similar wood grain pattern and 5" lap. The other option is to use James Hardie HardiePlank Cedarmill Lap siding that has a wood grain pattern and 5" exposed lap. Since they both would do the job, I would like to make a change to use James Hardie board to best match the existing siding on the house with a 5" lap on 1st floor addition. The original part of the house where windows were relocated will be patch with aluminum siding that was removed from the addition.

1.1. With the installation of the HardiePlank I would like to paint it before installation which will be different than the existing color of the house. I do plan to have the rest of the house painted to match the same colors but likely at a later time (within a year). While I don't have an exact pallet set it would likely be a medium-dark blue with cream color trim.

2. On the north side of the house, I would like to add an additional window to the original house. The window will be the same style as previous approved (Reliabil 460 Double Hung Vinyl Window in Almond Color 29 1/2" W x 35 1/2" H).

3. On the West side of the house, I would like to move the 2nd floor bathroom window to better fit the bathroom floor plan. Plan is to reuse existing vinyl replacement window to keep window style consistent with adjacent 2nd floor bedroom window.

4. While this was not on the original scope of the project, on the South side of the house, I would like to replace two existing slider windows with Reliabil 755 Awning Windows in Almond Color with the same dimensions of existing windows.

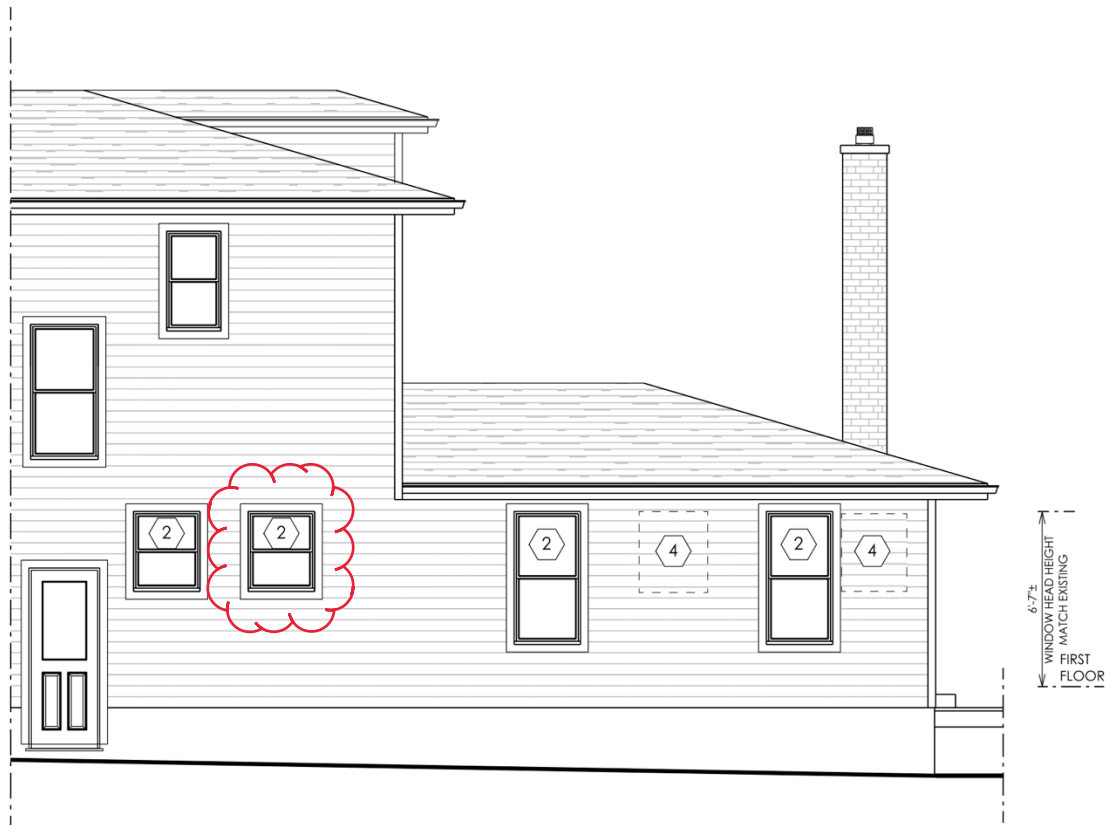
CITY OF WORTHINGTON

DRAWING NO. AR 35-2020

DATE 05-29-2020

569 Oxford St.





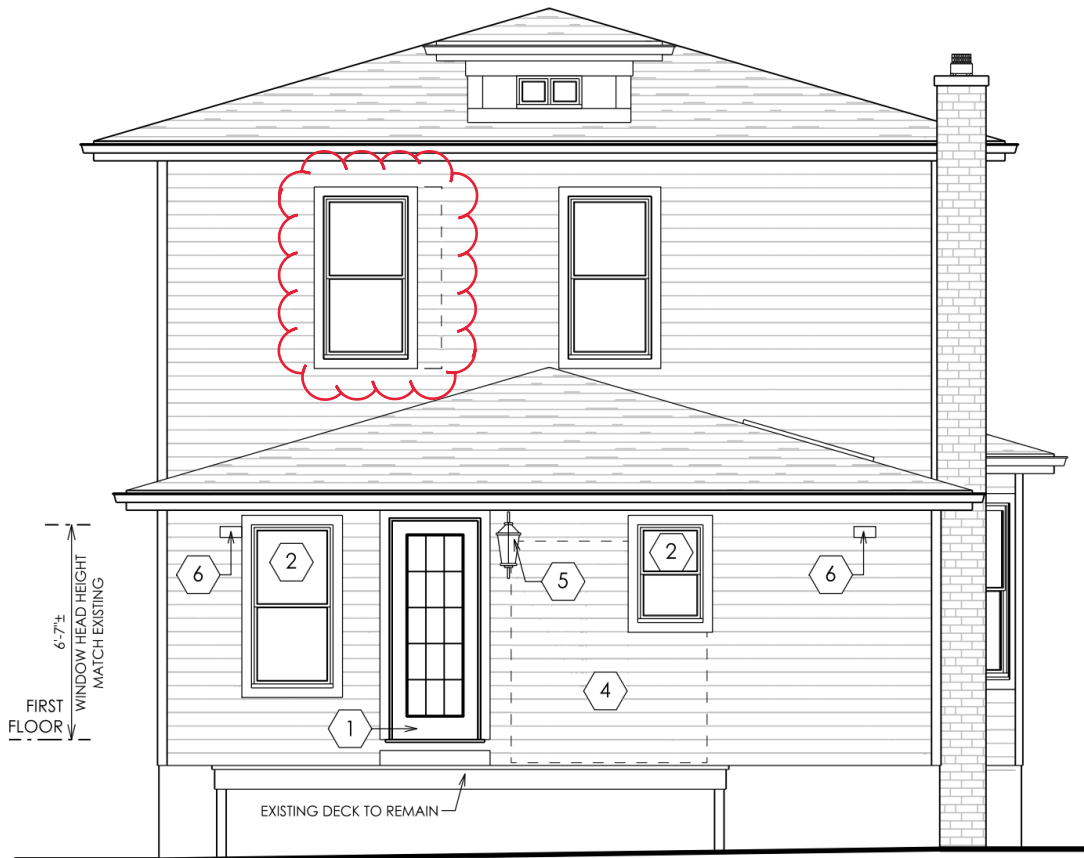
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

CITY OF WORTHINGTON

DRAWING NO. AR 35-2020

DATE 05-29-2020



REAR ELEVATION

SCALE: 1/4" = 1'-0"

CITY OF WORTHINGTON

DRAWING NO. AR 35-2020

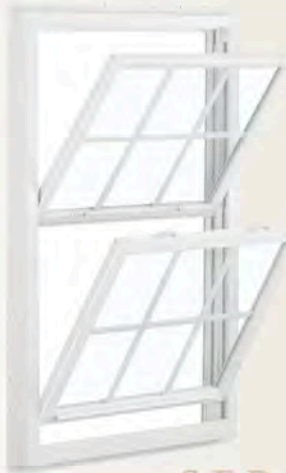
DATE 05-29-2020



SERIES 455

Double Hung

ReliaBilt Series 455 – With Brick Mould Exterior and DP 50 Rating Standard.



- Series 450 Double Hung available with DP 35 (Window Size Tested 36 x 74; AAMA Test No.: D3235.01-801-47)
- Series 460 DH available without J-Channel and DP 35 rating (Window Size Tested 36 x 74; AAMA Test No.: D3235.01-801-47)
- Series 465 available without J-Channel and DP 50 rating (Window Size Tested 36 x 74; AAMA Test No.: D3235.01-801-47)
- Integrated J-Channel and nail fin simplify installation
- Continuous head and sill on twins and triples
- 3-1/4-in flat casing with bull nose design optional
- Custom sizes available
- Block & tackle balance system
- Limited lifetime warranty
- Half screen standard*
- Jamb depth: 3-7/8-in
- Easy push-button night vents optional
- Available in White, Almond or Clay vinyl colors
- Available in nine painted exterior colors
- Optional 5/8-in or 3/4-in Flat or Diamond, 5/8-in or 1-in Contoured, 5/8-in Contoured Valance Grids available
- Optional 1-1/8-in Simulated Divided Lite



Pre-punched nailing fins and integrated J-channel



Wood jamb extension and factory mull for simpler installation available for all series

SERIES 450

Vinyl Color Options**



Exterior Painted Color Options**



*** Black color not available with Casement and Awning

Brick Mould Design

Available on Select Single Hung and Double Hung Models

Today's builder seeks to balance the value of family needs in a new home with the style and appeal of contemporary architecture. The evolution of vinyl windows now beautifully blends these two needs with the best of performance, aesthetics and affordability. The recent emergence of traditional brick mould frame designs offers families the curb appeal historically reserved for wood windows, while the virtually maintenance-free vinyl and insulated glass provide the ease-of-use benefits consistent with the efficiency of vinyl windows. The brick mould appearance is evident in the window's exterior detail work and adds visible distinction to any home.



The 150, 160, 450, 460, 455 & 465's Brick Mould Exterior

*Screens are not meant to restrain a child from falling through an open window

**Finishing process may affect color shown. Please refer to actual window sample when selecting colors. Visit the product detail page on Lowes.com for full warranty information.



ALL PROJECT TYPES



CASEMENT Windows

Versatile vinyl casements crank open easily to provide ventilation. The casement windows are designed for easy cleaning.

- Low profile handle provides aesthetic appeal
- Window opens full 90° for cleaning entire surface easily from inside your home
- Full screens come standard on all casement vents
- Tandem locks come standard on all casements over 34-in in height
- Available colors: White, Almond, Clay vinyl & eight painted exterior colors
- Integrated nailing fin permits easy installation in new construction applications
- Jamb depth: 3-1/4-in
- Optional 5/8-in or 1-in Contoured Grid, 3/4-in or 5/8-in Flat Grid or 5/8-in Contoured Valance Grid
- Optional 2-in Simulated Meeting Rail
- Optional Low-E Glass
- Optional Low-E Glass and Argon Gas
- Optional Ultra Low-E Glass and Argon Gas
- Optional charcoal aluminum mesh screen*

AWNING WINDOWS



AWNING Windows

Great look for any home. The ultimate for continuous, controlled ventilation. Window opens to outside, keeping indoors dry even on rainy days.

- Low profile handle provides aesthetic appeal
- Full screen comes standard on all vented units*
- Available colors: White, Almond, Clay vinyl & eight painted exterior colors
- Integrated nailing fin permits easy installation in new construction applications
- Jamb depth: 3-1/4-in
- Optional 5/8-in or 1-in Contoured Grid, 3/4-in or 5/8-in Flat Grid or 5/8-in Contoured Valance Grid
- Optional 2-in Simulated Meeting Rail
- Optional Low-E Glass
- Optional Low-E Glass and Argon Gas
- Optional Ultra Low-E Glass and Argon Gas
- Optional charcoal aluminum mesh screen*