



**ARCHITECTURAL REVIEW BOARD
MUNICIPAL PLANNING COMMISSION
-AGENDA-
Thursday, July 9, 2020 at 7:00 P.M.**

**This will be a virtual meeting that will be streamed on the internet:
worthington.org/live**

A. Call to Order - 7:00 pm

1. Roll Call
2. Pledge of Allegiance
3. Approval of minutes of the June 25, 2020 meeting

B. Architecture Review Board – Unfinished Business

1. Sign – **7140 N. High St.** (Tracey Diehl/Park National Bank) **AR 29-2020**
2. Fence – **590 Hartford St.** (Marlene and Warren Orloff) **AR 31-2020**

C. Architecture Review Board – New Business

1. Security Lights – **137 E. Granville Rd.** (Mark Goyer/Sharon Memorial Hall) **AR 37-2020**
2. Landscaping – **5756 N. High St.** (George Norris) **AR 38-2020**
3. Garage – **117 W. New England Ave.** (Jeff and AnnMarie McCallister) **AR 39-2020**
4. Garage Door Replacement – **60 Short St.** (Denis and Natalie Moore) **AR 40-2020**
5. Roof Replacement - **195 E. Granville Rd.** (David and Lorraine Robinson) **AR 41-2020**

6. New Addition & Porch Modification – **151 E. Granville Rd.** (SBA Studios/Anne Witsken) **AR 42-2020**

D. Municipal Planning Commission – No Business

E. Other

F. Adjournment



MEMORANDUM

TO: Members of the Architectural Review Board
Members of the Municipal Planning Commission

FROM: Lynda Bitar, Planning Coordinator

DATE: July 2, 2020

SUBJECT: Staff Memo for the Meeting of July 9, 2020

B. Architecture Review Board – Unfinished Business (*Old information is italicized.*)

1. Sign – 7140 N. High St. (Tracey Diehl/Park National Bank) AR 29-2020

Findings of Fact & Conclusions

Background & Request:

This two-story brick building was constructed in 2005 for Park National Bank and was designed in the Federal/Adam styles. Initial signage approval included a freestanding sign and 3 directional signs. Shortly after installation of the freestanding sign the owners submitted a new application for a sign that was larger and they felt more complimentary to the building and area. A variance was granted for the new sign to be 8' high x 6' wide with a 2' high x 8' wide base and is the externally illuminated sign that is still in place. This request is to modify all the signage to reflect new branding.

The ARB considered the original proposal at the June 11th hearing and requested modifications.

Project Details:

- 1. The proposed freestanding sign would be in the same location about 10' from the right-of-way line and use the same stone base. The new sign would be a 9'3" high x 4'6" wide (41.6 square feet in area per side) aluminum cabinet with internally illuminated push through acrylic letters and logo that now includes a decorative cap as was recommended by the ARB. The depth of the rectangular sign box would be 2'. Dark blue is proposed for the background of the sign; the bottom 2'7" feet would be cool gray; lettering is shown as white; and the dimensional looking "P" logo would be two shades of blue and a yellow-green color. A variance would be needed for this sign as shown due to having more than 4 colors. Previously proposed illuminated stripes down the sides have been eliminated.*
- 2. Page 7 of the application shows vinyl signage for the glass door that would not need ARB approval or a variance if applied to the inside of the door. The small stone sign to the right*

of the door would be left as is.

3. *The three freestanding directional signs are proposed for replacement in the same locations with post and panel flag shaped signs.* The panels would be 20” high x 12” wide x 3 3/16” deep aluminum boxes in dark blue and mounted on gray poles. The bottom of the signs would be 18” above the ground. Each sign would have dimensional white lettering and arrows and a blue dimensional line as follows:
 - Sign at N. High St. Entrance: Enter with an arrow on the south side and exit on the north side.
 - At the E. Wilson Bridge Rd. drive entrance the sign to the west would have enter and exit would be on the sign to the east. An incorrect photo is still used on page 9 for the exit sign location.
4. Additional directional signs that were added at some point to the fence, dumpster enclosure and building would be removed. A clearance sign would be added to the drive thru roof.
5. Variances for directional sign size and area are no longer needed.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

The Worthington Design Guidelines and Architectural District Ordinance recommend signs be efficient and compatible with the age and architecture of the building. Use of traditional sign materials such as painted wood, or material that looks like painted wood, is the most appropriate material for projecting and wall signs. While the regulations permit a certain maximum square footage of signs for a business, try to minimize the size and number of signs. Place only basic names and graphics on signs along the street so that drive-by traffic is not bombarded with too much information. Signs must be distinctive enough to be readily visible but avoid incompatible modern colors such as “fluorescent orange” and similar colors. Bright color shades generally are discouraged in favor more subtle and toned-down shades.

The Architectural District Ordinance calls for design and materials to be compatible.

Recommendation:

Staff is recommending approval of this application as the modifications requested by the ARB at the June 11th meeting were all addressed.

Motion:

THAT THE REQUEST BY TRACEY DIEHL ON BEHALF OF PARK NATIONAL BANK FOR A CERTIFICATE OF APPROPRIATENESS TO REPLACE THE SIGNS AT 7140 N. HIGH ST., AS PER CASE NO. AR 29-2020, DRAWINGS NO. AR 29-2020, DATED JUNE 26, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

2. Fence – **590 Hartford St.** (Marlene and Warren Orloff) **AR 31-2020**

Findings of Fact & Conclusions

Background & Request:

This property is 51.85' wide and 240.12' deep with a two-story vernacular house constructed in 1910 which is a contributing building in the Worthington Historic District. Fencing is proposed at the rear of the property.

At the June 11th ARB hearing the Board requested the applicants explore other options for screening than a 6' high solid fence.

Project Details:

1. The applicants have revised the request to now include three 8' wide sections of 6' shadowbox fencing with 3.5' between sections along both the north and east property lines.
2. *There is a sanitary sewer approximately 3' from the rear property line in a 25' easement, 12.5' of which is on this property. Placement of a fence would be allowed but should access be needed to the sewer, removal and replacement of the fence would be at the property owners expense.*

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Fences have long been used to mark property boundaries, to restrict access to properties by people and animals and for decorative purposes. They serve these traditional purposes in Worthington and can add to the character of a neighborhood when they are well executed and properly cared for. Fencing should be open in style; constructed with traditional materials; 3' to 4' in height; in the back yard; and of simple design, appropriate for the house style.

Consider using natural plant materials instead of fences. Various bushes and shrubs can be used to mark property lines or to set off private areas such as rear patios. Some of these may be evergreens; some may lose their leaves in the fall. Get good advice from a nursery or professional arborist about plant size, shape, rate of growth and care before choosing a natural fencing material.

Whether natural or man-made, all fencing materials require maintenance. Do not let plants get overgrown or full of litter; keep wood fences painted or coated with opaque stain; keep metal fences from rusting; and watch for mortar loss and other deterioration in masonry walls.

Recommendation:

The proposed fencing sections still do not meet the recommendations found in the Design Guidelines but do represent a compromise from the previous submittal.

Motion:

THAT THE REQUEST BY MARLENE AND WARREN ORLOFF FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL FENCING AT 590 HARTFORD ST. AS PER CASE NO. AR 31-2020, DRAWINGS NO. AR 31-2020, DATED JUNE 26, 2020, BE

APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

C. Architecture Review Board – New Business

1. Security Lights – 137 E. Granville Rd. (Mark Goyer/Sharon Memorial Hall) AR 37-2020

Findings of Fact & Conclusions

Background & Request:

This building was built as a residence in 1861 and used as such until 1946. After WWII, voters approved a War Memorial Levy and the building was purchased and dedicated as Sharon Memorial Hall in 1947. When zoning was established in 1971, the property was zoned R-10, Low Density Residence, which allows for single family dwellings and public and semi-public uses. Many community groups and organizations used the building until 1975, at which time the Sharon Township Trustees moved their offices and police department into the building. The Township moved its operations to E. Wilson Bridge Rd. in 2009 and the building was renovated. Attempts were made by the Sharon Memorial Board, the entity responsible for Sharon Memorial Hall, to find public and semi-public users for the building that would generate revenue and allow maintenance of the building and site. After no users were found, the VM, Veterans Memorial zoning district was created in 2010, the property was rezoned from R-10 to VM, and the space was leased to small office users. Sharon Memorial Hall is listed on the National Register of Historic Places and is a contributing building in the Worthington Historic District.

Two security lights were replaced that did not receive approval from the Architectural Review Board.

Project Details:

1. This is a request to retain the security light fixtures that were installed on the east and west sides of the building. The lights were installed in June of 2019 in place of fixtures that had not worked for about 15 years.
2. The new fixtures are LED with 3500 Lumens and 5000K in color.
3. There have been no neighbor complaints about the new lights, and it is felt by tenants and others the area feels more secure.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Keep lighting at a pedestrian scale along the streetscape. Avoid lighting fixtures mounted high above the ground. Avoid excessive brightness. In recent years great care has been taken by the ARB to assure newly installed lighting fixtures are not overly bright and that the light source is not visible from the right of way.

Compatibility of design and materials, exterior detail and relationships, and window treatment are standards of review in the Architectural District ordinance.

Recommendation:

Although the installed fixtures are designed and situated so the light sources are visible, and the lights are a bright white color, there are only two lights and residential neighbors are not bothered. A different style fixture that is angled toward the ground or warmer bulb color may be more appropriate, but the change may not be necessary in this situation.

Motion:

THAT THE REQUEST BY MARK GOYER ON BEHALF OF THE SHARON TOWNSHIP MEMORIAL HALL BOARD FOR A CERTIFICATE OF APPROPRIATENESS TO RETAIN LIGHT FIXTURES AT 137 E. GRANVILLE RD., AS PER CASE NO. AR 37-2020, DRAWINGS NO. AR 37-2020, DATED JUNE 16, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

2. Landscaping – 5756 N. High St. (George Norris) AR 38-2020**Findings of Fact & Conclusions****Background & Request:**

This building has functioned as an animal hospital and veterinary practice since 1975, and was enlarged in 2004. In 1999 the former tool rental building to the north was acquired and renovated to be part of the business and the parking lot was reconfigured so the uses could connect. Directly east of both properties is a steep slope that connects to the alley above. This is a proposal for new landscaping in that area.

Project Details:

1. The proposed plan includes a variety of Deciduous, Evergreen, Perennial and Annual plants.
2. It was designed to beautify and stabilize the slope area.

Land Use Plans:**Worthington Design Guidelines and Architectural District Ordinance**

A small amount of landscaping can have a positive impact; this is already easy to see in the many well-landscaped spots in Worthington's commercial district. Plant materials should be selected for appropriate size, shape, and color.

Recommendation:

Staff is recommending approval of this application as the proposed landscaping is well designed with a large variety of plant material.

Motion:

THAT THE REQUEST BY GEORGE NORRIS FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL LANDSCAPING AT 5756 N. HIGH ST., AS PER CASE NO. AR 38-2020, DRAWINGS NO. AR 38-2020, DATED JUNE 17, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

3. Garage – 117 W. New England Ave. (Jeff and AnnMarie McCallister) AR 39-2020

Findings of Fact & Conclusions

Background & Request:

This house was built in the early 1900's and is a contributing building in the Worthington Historic District. The house style is described as vernacular in the Historic District nomination, but the house has the feel of an early Cape Cod style being 1 ½ stories with a three-bay façade on the first floor. There is a one-story room on the east side and shed dormers in the front and back. The house is primarily brick, with vinyl lap siding on the dormers.

The freestanding garage is also a contributing building in the District and is proposed for demolition and replacement. A 14' x 20' shed behind the garage would also be removed with this proposal.

Project Details:

1. Reportedly the framing of the existing ~20' x ~20' garage is compromised in several places after being struck by vehicles over the years. The garage appears to be without any unique characteristics.
2. Proposed is a 20' x 26' structure in roughly the same location. Variances would be required to locate the building 3' from both the east and south property lines.
3. The garage roof would have north-south gable with a 10 over 12 pitch, being 20' high to the peak of the gable. A shed dormer with three windows is proposed on the west side.
4. Siding would match the vinyl siding in place on the house and asphalt shingle roofing is proposed to match. The window material and design has not been identified.
5. A raised panel garage door is proposed.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

A decision on whether a particular demolition is appropriate must be made in light of several factors, including whether the demolition is full or partial; the age of the structure; the level of integrity of the structure being demolished (has it been extensively altered?); the impact of the demolition on Worthington's character; and plans for the site following demolition. Generally, demolition of pre-1950s buildings should be avoided. These tend to contribute the most to a community's character. However, it may be desirable to avoid demolishing a newer building, depending on what is proposed to replace it.

New outbuildings should use design cues from older nearby structures, including form, massing, roof shape, roof pitch and height, materials, window and door types and detailing. Try to create a new building compatible in appearance with the house it accompanies.

Recommendation:

Staff is recommending *approval* of this application. Demolition of the existing garage should not harm the character of the community and the new garage would be complimentary to the house. Use of a garage door with recessed panels should be considered as it may be more appropriate for the era of the house.

Motion:

THAT THE REQUEST BY JEFF & ANNMARIE MCCALLISTER FOR A CERTIFICATE OF APPROPRIATENESS TO REPLACE THE GARAGE AT 117 W. NEW ENGLAND AVE. AS PER CASE NUMBER AR 39-2020, DRAWINGS NUMBER AR 39-2020, DATED JUNE 19, 2020 BE APPROVED, BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

4. Garage Door Replacement – **60 Short St.** (Denis and Natalie Moore) **AR 40-2020**

Findings of Fact & Conclusions

Background & Request:

An American Foursquare built in 1910, this house is on the lot at the northeast corner of Oxford and Short Streets. The house and the garage, which is accessed from Oxford St., are contributing buildings in the Worthington Historic District.

The owners would like to replace the garage door.

Project Details:

1. The existing garage door is white with 32 raised panels.
2. Proposed is a Wayne Dalton Sonoma style door in white with the look of wood planks in each of the 32 panels. Brackets and handles are proposed but windows are not.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

For repair work on older outbuildings, use new materials that match the old as closely as possible. Avoid modern materials that are incompatible with the original designs of these structures. It is important that doors be compatible with the style and period of a building. Compatibility of design and materials and exterior detail and relationships are standards of review in the Architectural District ordinance.

Recommendation:

Staff is recommending approval of the application, as the proposed door would be an improvement.

Motion:

THAT THE REQUEST DENIS & NATALIE MOORE FOR A CERTIFICATE OF APPROPRIATENESS TO REPLACE THE GARAGE DOOR AT 60 W. SHORT ST. AS PER CASE NO. AR 40-2020, DRAWINGS NO. AR 40-2020, DATED JUNE 22, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

5. Roof Replacement - **195 E. Granville Rd.** (David and Lorraine Robinson) **AR 41-2020**

Findings of fact & Conclusions

Background & Request:

The original part of this two-story house was constructed circa 1880, and the front of the house was added circa 1895. A rear sunroom was added in 1986 and previous owners installed vinyl siding and shutters in 1989. A rear deck that was constructed in 1986 was replaced in 2008.

The current owners purchased the property in 2009 and were approved to install fencing in 2013. This application is a request to replace the roof.

Project Details:

1. There are three layers of asphalt shingle roofing material and original slate on the house that are all proposed for removal. The slate roofing is reportedly damaged by the nails used to attach the asphalt shingles over the years. An existing satellite dish would also be removed and not replaced.
2. New decking is proposed, and the new roofing material would be dimensional asphalt shingles in a charcoal, pewter or slate color. The house currently has a light yellow color vinyl siding, but the homeowner is hoping to install wood siding in the future and would paint it dark blue/gray.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Repair and retain existing traditional roofs such as wood shingle or slate. Roof materials often were intended to add to a building's character (especially slate) and should be retained for that reason. When installing a new roof on a building that currently has asphalt shingles, avoid the uneven, "staggered-butt" design or other shingle patterns that try to create an older look; a medium gray color generally is appropriate on an older building if it originally had a slate roof. Green, red or black shingles may also be appropriate, depending on the building's predominant colors. Avoid very light-colored shingles.

Recommendation:

Staff is recommending approval of this application. Ideally the slate roofing would be restored, but due to the damage the proposed asphalt shingles would be appropriate in any of the proposed colors.

Motion:

THAT THE REQUEST BY DAVID AND LORRAINE ROBINSON FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL A NEW ROOF ON THE HOUSE AT 195 E. GRANVILLE RD. AS PER CASE NO. AR 41-2020 DRAWINGS NO. AR 41-2020, DATED JUNE 26, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

6. New Addition & Porch Modification – **151 E. Granville Rd.** (SBA Studios/Anne Witsken)
AR 42-2020

Findings of fact & Conclusions

Background & Request:

The two-story house on this property was constructed in 1880 on a 66' wide x ~345' deep property that is adjacent to the Sharon Memorial Hall and the American Legion. This is a request to construct a new rear addition, paint the house, and modify the front porch.

Project Details:

1. A single story addition with a shed roof was constructed at some point on the rear of house. A second story is proposed to be added to that structure with the upstairs wall being ~8'9" from the side property line. A gable roof on the addition would extend out from the original house gable and be lower. A cross gable is shown in the rear half of the addition that would be slightly higher than the main gable of the structure and that space would be wider. Hardie board lap siding is proposed for both floors of the rear structure in a width similar to siding on a small bump out on the west side of the house. The remainder of the house would retain its original siding.
2. The new owners would like to change the colors of the house. The main body is proposed to be Wood Ash (dark tan); trim would be Greek Villa (beige); and the shutters and doors are proposed to be painted Bunglehouse Blue.
3. The front columns are proposed to be wrapped in Cedar and be a natural wood color.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Residential additions are recommended to maintain similar roof forms; be constructed as far to the rear and sides of the existing residence as possible; be subordinate; and have walls set back from the corners of the main house.

From about 1915 on, porches generally were simplified and more integrated into the design of the house. Simple square or tapered columns were common. Avoid ornamentation such as spindles and scrollwork unless they were traditionally used on the porches of similar buildings. Design and materials should be traditional, and compatible with the existing structure.

Recommendation:

Staff is recommending *approval* of the proposed plans for the addition as the location, form and massing of the addition meet the Design Guidelines. Wrapping the columns in Cedar and having them be a different color than the porch trim seems out of character with the style and era of the house.

Motion:

THAT THE REQUEST BY SBA STUDIOS ON BEHALF OF ANNE WITSKEN FOR A CERTIFICATE OF APPROPRIATENESS TO CONSTRUCT AN ADDITION, PAINT THE HOUSE AND MODIFY THE PORCH AT 151 E. GRANVILLE RD. AS PER CASE NO. AR 42-2020 DRAWINGS NO. AR 42-2020, DATED JUNE 26, 2020, BE APPROVED

**BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO
AND PRESENTED AT THE MEETING.**



CITY OF WORTHINGTON
ARCHITECTURAL REVIEW BOARD
 Certificate of Appropriateness
 Application

Date Received 5/14/2020
 Fee _____
 Meeting Date _____
 Filing Deadline _____
 Receipt # _____

1. Property Location 7140 High St
2. Present/Proposed Use Bank
3. Zoning District C3
4. Applicant Tracey Diehl
 Address 6487 Hilliard Dr, Canal Winchester OH 43110
 Phone Number(s) 614 828 8215
 Email _____
5. Property Owner Park National Bank
 Address 7100 N High St Worthington OH
 Phone Number(s) 614-841-0123
 Email _____
6. Project Description Remove & Replace Signs
Plans attached outline detailed changes
7. Project Details: Remove & Replace Bank Signs
 - a) Design _____
 - b) Color Blue, Green, white / includes
 - c) Size 6'7" x 4'3" Monument / all signage
 - d) Approximate Cost 7500 Expected Completion Date ASAP

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Tracey Diehl
 Applicant (Signature)

5/14/2020
 Date

ABUTTING PROPERTY OWNERS
FOR
7140 N. High St.

| | | |
|-------------------------|-------------------------|------------------------|
| Foxwoods Investments | 37 E. Wilson Bridge Rd. | Worthington, OH 43085 |
| Middleton Place LTD | 7100 N. High St. | Worthington, OH 43085 |
| Rensko Properties LLC | 8333 N. High St. | Columbus, OH 43235 |
| Park National Bank | 7140 N. High St. | Worthington, OH 43085 |
| Worthington Duchess LLC | 447 James Pkwy. | Newark, OH 43056 |
| BP | 7141 N. High St. | Worthington, OH 43085 |
| He Hari, Inc. | 600 Enterprise Dr. | Lewis Center, OH 43035 |
| Chase | 50 W. Wilson Bridge Rd. | Worthington, OH 43085 |

Park National Bank has changed their logo and they are currently changing the names at all of their sister branches to match the standard Park National Bank logo. The location before you today is located at 7140 High Street.



The proposal is to replace the monument sign with a new monument sign shown on page 6 of the drawings. This sign is double faced internally illuminated. The background is navy blue and the logo is blue and green. The letters are white. The letters are push thru clear acrylic. The sign measures 9' in height and the sign face is 29.7 sq. ft. This is a reduction in size from the existing sign. We have modified the sign from the previous proposal to include a crown around the top of the sign.

Page 7 of the drawings shows the replacement vinyl details for the door. The stone etched plaque shown here will remain the same.

The directional sign is shown on page 8 of the drawings we would remove the existing directional and replace the directional sign. This sign is double faced and non illuminated. It is 1.5 sq. ft. in sign area and 36" in height.

The directional sign is shown on page 9 of the drawings we would remove the existing directional and replace the directional sign. This sign is double faced and non illuminated. It is 1.5 sq. ft. in sign area and 36" in height.

The directional sign is shown on page 10 of the drawings we would remove the existing directional and replace the directional sign. This sign is double faced and non illuminated. It is 1.5 sq. ft. in sign area and 36" in height.

The "Drive Thru" sign on page 11 will be removed

The Exit sign on page 12 will be removed.

Page 13 shows the handicapped regulatory parking sign to remain as is.

Another directional sign on the end of the building would be removed as shown on page 14.

Page 16 shows a sign that would be added to the "Clearance" of the drive thru lanes.

Door vinyl is shown on pages 18 and 19.

CITY OF WORTHINGTON

DRAWING NO. AR 29-2020

DATE 06-26-2020

7140 N. High St.





24th February 2020

Reference Property:

**Park National Bank
7140 High Street
Worthington, OH 43085**

Dear Property Manager or Owner,

Attached for your review and approval please see the attached "brand book" art package with all proposed exterior signs for the above referenced location. This art specifies all signs that Icon Identity Solutions & Adrenaline, LLC will be changing on the property.

Icon and Adrenaline, on behalf of Park National Bank, will secure all necessary permits and regulatory approvals, along with ensuring that all elements are manufactured and installed to applicable codes and restrictions.

We look forward to hearing from you soon.

Thank you,

Icon Identity Solutions & Adrenaline, LLC

As Owner of the above referenced property, I hereby authorize the companies referenced herein and their subcontractors—to obtain the necessary permits for signage at the above referenced property.

Approved By
(Print Name): Timothy Lehman

Authorized

Owner Signature:

Date: 2/24/2020

CITY OF WORTHINGTON

DRAWING NO. AR 29-2020

DATE 06-26-2020

CITY OF WORTHINGTON

DRAWING NO. AR 29-2020

DATE 05-14-2020



Loc#: 530

7140 High Street
Worthington, OH 43085

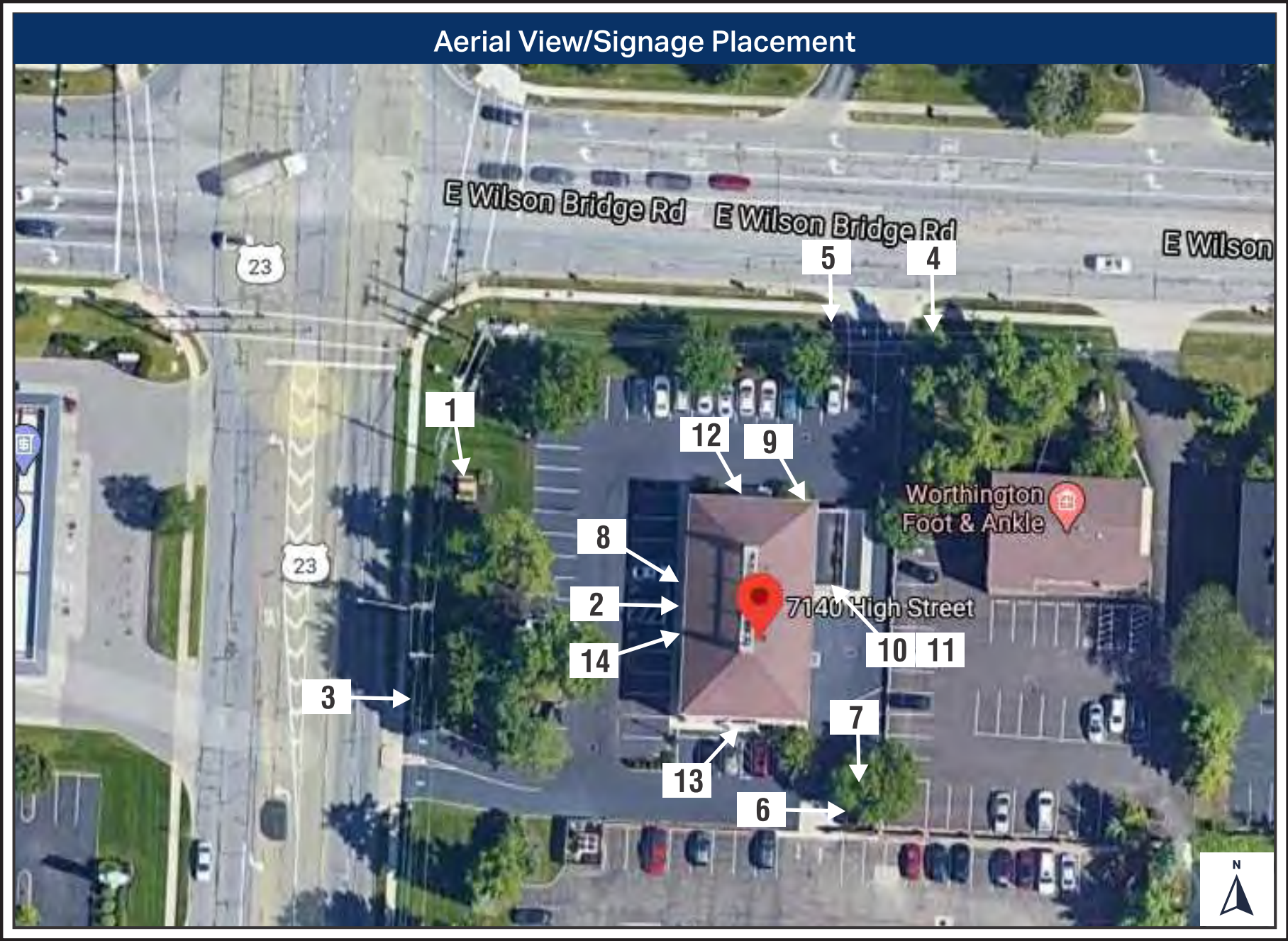


CITY OF WORTHINGTON

DRAWING NO. AR 29-2020

DATE 06-26-2020

| Existing Signage & Proposal Key | | | | |
|---------------------------------|------------------------------|---------|-------------------------------|---------|
| Sign # | Existing Signage | Sq. Ft. | Proposed Signage | Sq. Ft. |
| 1 | Pylon Sign | 40 | Custom VM-9 Vertical Monument | 29.7 |
| 2 | Door Hours Vinyl | N/A | DVH Vinyl Hours | N/A |
| 3 | Directional Sign | 3.3 | Custom DIR | 1.5 |
| 4 | Directional Sign | 3.3 | Custom DIR | 1.5 |
| 5 | Directional Sign | 3.3 | Custom DIR | 1.5 |
| 6 | Regulatory Sign | N/A | Remove Only | N/A |
| 7 | Regulatory Sign | N/A | Remove Only | N/A |
| 8 | Regulatory Sign | N/A | Leave As Is | N/A |
| 9 | Regulatory Sign | N/A | Remove Only | N/A |
| 10 | Lane Open Indicators (Qty 2) | N/A | Remain As Is | N/A |
| 11 | Clearance Panel | N/A | DUC: Drive-Thru Canopy | N/A |
| 12 | Door Vinyl | N/A | Custom Vinyl Grpx | N/A |
| 13 | Door Vinyl | N/A | Custom Vinyl Grpx | N/A |
| 14 | Etched Stone Panel | N/A | N/A | N/A |



CITY OF WORTHINGTON

DRAWING NO. AR 29-2020

DATE 06-26-2020

| Rev.#: | Req. #: | Date: | Artist: | Rev.#: | Req. #: | Date: | Artist: | Rev.#: | Req. #: | Date: | Artist: |
|----------|---------|----------|---------|--------|---------|----------|---------|--------|---------|----------|---------|
| Original | 324494 | 03/24/20 | KW | Rev 4 | 000000 | 00/00/00 | XXX | Rev 8 | 000000 | 00/00/00 | XXX |
| Rev 1 | 325912 | 04/27/20 | KW | Rev 5 | 327516 | 06/22/20 | TI | Rev 9 | 000000 | 00/00/00 | XXX |
| Rev 2 | 326618 | 05/21/20 | TI | Rev 6 | 327816 | 06/26/20 | TI | Rev 10 | 000000 | 00/00/00 | XXX |
| Rev 3 | 326871 | 05/26/20 | TI | Rev 7 | 000000 | 00/00/00 | XXX | Rev 11 | 000000 | 00/00/00 | XXX |

Code Check Form

Customer Name: Park National Bank

Store #: PNB

Address: 7140 High Street

City: Worthington

State: OH

Zip: 43085

Master Sign Program (MSP): Yes No

Is this location in a shopping center? Yes No

Does landlord have any additional criteria? Yes No

Landlord criteria:

Zoning: C-3 Integrated Institutional, Office

Junsdiction: City of Worthington

Zoning Contact Name: Melissa Cohan

Phone: (614) 431-2424

Fax:

E-Mail: Melissa.Cohan@worthington.org

Code Check Completed by:

Dates landlord was called:

Is there an aggregate sign allotment for the entire property/center? Yes No

If yes, Aggregate Allowance is: 1.5 sf per LF of bldg width, NTE 100 sf per bldg

Wall Signs

Permit Required? Yes No

Are wall signs allowed? Yes No

Square footage based on: Street Frontage Building Frontage % of wall area

Number of signs allowed: 1

Maximum Projection: 12 in

Maximum SF allowed: Per formula For all or per sign: For all permanent signs

Formula for area calculation: Aggregate for all signage: 1.5 sf per LF of bldg width, NTE 100 sf per business

Method of measurement: By totaling all display areas of a sign, including sign faces, molding and framing

What elevation are allowed to have signs: Main

End cap locations - How many elevations can have signs? Main

Maximum Height: Below roofline

Max. Letter Height: Not stipulated

Max. Logo Height: Not stipulated

Max. Sign Width: Not stipulated

Can sign project above roofline? Yes No

If yes, how much?

Lighting restrictions: See Notes: this section

Is area transferable to another elevation? Yes No

Are raceways allowed? Yes No

Are raceways required? Yes No

Can sign be flush mounted? Yes No

Permits Required For: Remodel/Repaint Signage Yes No

Do we need a permit to replace existing sign for a like for like? Yes No

Non-Illuminated Wall Signs Yes No

Can grandfathered status remain if faces are replaced? Yes No

Notes:

Internally illuminated signs shall be constructed so as to allow the illumination of only letters, numbers or other identifying symbols on the display surface. No light shall pass through the background. There shall be not more than three sizes of all such lettering, including a logo. Not more than four colors, including black and white, shall be used on any sign.

Ground Signs - Pylon (Pole) & Monument

Permit Required? Yes No

Are ground signs allowed? Yes No

Minimum frontage to qualify: Not stipulated; submit for review

Pole Monument Post and Panel

Distance to adjacent ground signs: Not stipulated; submit for review

Number of signs allowed: 1 or 2 per parcel in this zone, maximum total area of 60%

Based on: Aggregate allowance

Maximum SF allowed: NTE 60% of aggregate allowance

Based on: Aggregate allowance

How many faces count toward sign area? 1

Visibility Triangle: Not stipulated; submit for review

Minimum setback: See Notes: this section

From:

Wind Load: 120 mph

Maximum Overall Height: 15 ft

Minimum Ground Clearance: Not stipulated; submit for review

Lighting Restrictions: See Notes: this section

Do decorative elements count towards sign area? Yes No

Can grandfathered status remain if faces are replaced? Yes No

Notes:

Internally illuminated signs shall be constructed so as to allow the illumination of only letters, numbers or other identifying symbols on the display surface. No light shall pass through the background. There shall be not more than three sizes of all such lettering, including a logo. Not more than four colors, including black and white, shall be used on any sign. Planters or other decorative supporting structures shall be excluded in the computation of sign area unless the structure exceeds two feet in height or eight feet in length, in which case the entire structure shall be included in the computation of sign area. Freestanding signs shall be located not closer than 10 ft to a public right of way or 35 ft to an adjoining property line.

Ground Signs - Post and Panel

Permit Required? Yes No

Would a permanent Post and Panel sign be allowed? Yes No

Would it be allowed if there is a multi-tenant Sign? Yes No

Would it count as another F/S sign? Yes No

What would it be classified as? Freestanding Sign

How many SF can it be? NTE 60% of aggregate allowance

What are the illumination restrictions? See Notes: this section

Would it come out of the F/S sign allotment? Yes No

Notes:

Internally illuminated signs shall be constructed so as to allow the illumination of only letters, numbers or other identifying symbols on the display surface. No light shall pass through the background. There shall be not more than three sizes of all such lettering, including a logo. Not more than four colors, including black and white, shall be used on any sign.

Awnings & Canopies

Permit Required? Yes No

Are awnings or canopies allowed? Yes No

Are under-canopy signs allowed? Yes No

Max under-canopy SF? See Notes: this section

Are awnings allowed above 1st story? Yes No

Do awnings count as wall signs? Yes No

Graphics Allowed? Yes No

Do under-canopy signs count toward wall sign square footage? Yes No

Copy / Logo allowed? Yes No

Max awning SF? See Notes: this section

Valence only? Yes No

Maximum Projection? See Notes: this section

Illumination allowed? Yes No

Clearance from grade required? See Notes: this section

Notes:

Awnings/Canopies are not addressed in sign ordinance; submit for review; Internally illuminated signs shall be constructed so as to allow the illumination of only letters, numbers or other identifying symbols on the display surface. No light shall pass through the background. There shall be not more than three sizes of all such lettering, including a logo. Not more than four colors, including black and white, shall be used on any sign.

Window Signs

Permit Required? Yes No

Are interior window signs allowed? Yes No

Notes:

Does vinyl count toward SF?

1st Surface? Yes No

Permit Required? Yes No

2nd Surface? Yes No

Permit Required? Yes No

Shall not be illuminated. Internal signs are excluded in the computation of sign area.

Formula for maximum SF allowed is: 25% of window area

Max Window area allowed? 25% of window area

Permit required for illuminated window signs: Yes No

Quantity allowed: Not stipulated

Do all vinyl count against signage SF (ie. store hours)? Yes No

Window location restrictions: None stipulated

Directionals / Regulatory

Permit Required? Yes No

Are directionals allowed? Yes No

Notes:

Number of signs allowed? See Notes: this section

Maximum SF allowed: 4 sf

Maximum Overall Height: 3 ft

The total area for all such signage shall be no more than 20 square feet per parcel. Directional signs are excluded in the computation of sign area.

Directionals count towards allowed SF? Yes No

Are locations restricted? Not stipulated; submit for review

Name / Logos allowed? Yes No

Size restrictions on Name / Logos? 50%

EMCs

Permit Required? Yes No

Are EMCs allowed? Yes No

Do EMCs need to be static? Yes No

Can EMCs be wall mounted? Yes No

Is changing an MRB to an EMC permitted? Yes No

Can EMCs be free standing? Yes No

Are LED gas price signs allowed? Yes No

Maximum SF allowed:

Color restrictions:

Change rate restrictions:

Notes:

Temporary Banners

Permit Required? Yes No

Temporary Banners allowed? Yes No

Quantity Allowed:

Maximum SF allowed:

Maximum timeframe:

Notes:

*****Temporary Banners are not allowed in this District; box won't uncheck*****

Permit Requirements

Where can I get a copyof these applications:

Mail

Online

In Person

Fax

Permits can be applied via:

Mail

Online

In Person

Permits can be obtained via:

Mail

Email

In Person

Persons who can applyfor permits:

Contractor

Authorized Agent

Registered Expediter

Signature required on application by

Owner

Contractor

Agent

Landlord

Documents Required:

Site Plan

Elevations

Sign Details

Sealed Engineering

Additional Professional Seals

Number of Document Copies:

1

1

1

What authorization letters or additional forms required?

None stipulated

Original Signature

Scan

Notary

Do drawings need to be to scale?

Yes

No

Document Size:

>11"x17", submit 2 copies of ea drawing.

Are SED's required for wall signs:

Yes

No

Are SED's required for re-facing signs:

Yes

No

Are SED's required for free standing signs:

Yes

No

If SED's are required for wall signs, can one copycount for all signs that are the same size:

Yes

No

Are SED's required for the actual product (sign) or for the installation method only

What municipalities/agencies require permits?

City

County

DOT

Other

What permits are required to put up a sign:

Sign Permit

Is a separate application needed for each permit tpe?

Yes

No

Are permits required for face replacements:

Yes

No

Are there anyfees due upon submittal, if so how much?

Fees are due at time of pick up

Cost of Sign Permit: Based on sf; min \$20, max \$100/sign

Other permit costs / fees:

Who physicallyreviews permits?

Zoning Inspector

Length of time to secure permit:

30 days

How long are permits good for after theyare obtained:

6 months

Can theybe extended:

Yes

No

For how long?

Case-by-case basis

Are disconnect switches required?

Yes

No

Does a licensed electrician have to make the fial connect?

Yes

No

If electrical permit is required for ONLY the hook up of the sign is a licensed electrician required to come in person?

Yes

No

Are anyother review processes required prior to submitting for actual permits?

None stipulated

(ie. Design Review or Third Partyreviewing etc)

If so please describe process?

Is fial inspection required?

Yes

No

Are permits required to be closed out?

Yes

No

How long does it take?

30 days

Can permits be expedited?

No

Expected Procurement time:

30 days

Notes:

Persons who can apply for permits: & Signature required on application by: Applicant

Variance Procedures

Are variances allowed?

Yes

No

Per planner opinion Likelihood of a variance being approved:

Good

50%

Low

Variance can be applied for by

Mail

Authorized Agent

Business

Contractors

Signature required on application:

Owner

Agent

Lawgr

Must attend variance hearing:

Owner

Agent

Lawgr

Documents required:

Site Plan

Elevations

Sign Details

Sealed Engineering

Additional Professional Seals

QuantityRequired:

1 to scale

1

x

Document color:

Color

B/W

Document Size:

Color not stipulated; If >11 x 17, 8 copies needed

Length of time to secure variance:

60-90 days

Cost of variance:

\$50

Notes:

Variance can be applied for by: Applicant and/or Owner

CITY OF WORTHINGTON

DRAWING NO. AR 29-2020

DATE 06-26-2020

ADRENALINE

ICON

Drawing prepared by:

Location:

7140 High Street
Worthington, OH 43085

File Path:

K:\ART\ACCOUNTS\PI\Park National Bank\LOCATIONS\2020\OH\530_Worthington\530_Worthington R6.cdr

Proj #:

5218

Loc #:

530

Order #:

1141659

CODE INFORMATION

Drawing prepared for:

Park

NATIONAL BANK

Rev.#: Req. #: Date: Artist:

| | | | |
|----------|--------|----------|----|
| Original | 324494 | 03/24/20 | KW |
| Rev 1 | 325912 | 04/27/20 | KW |
| Rev 2 | 326618 | 05/21/20 | TI |
| Rev 3 | 326871 | 05/26/20 | TI |

Rev.#: Req. #: Date: Artist:

| | | | |
|-------|--------|----------|-----|
| Rev 4 | 000000 | 00/00/00 | XXX |
| Rev 5 | 327516 | 06/22/20 | TI |
| Rev 6 | 327816 | 06/26/20 | TI |
| Rev 7 | 000000 | 00/00/00 | XXX |

Rev.#: Req. #: Date: Artist:

| | | | |
|--------|--------|----------|-----|
| Rev 8 | 000000 | 00/00/00 | XXX |
| Rev 9 | 000000 | 00/00/00 | XXX |
| Rev 10 | 000000 | 00/00/00 | XXX |
| Rev 11 | 000000 | 00/00/00 | XXX |

Drawings are the exclusive property of ICON,. Any unauthorized use or duplication is not permitted.

4



CITY OF WORTHINGTON
DRAWING NO. AR 29-2020

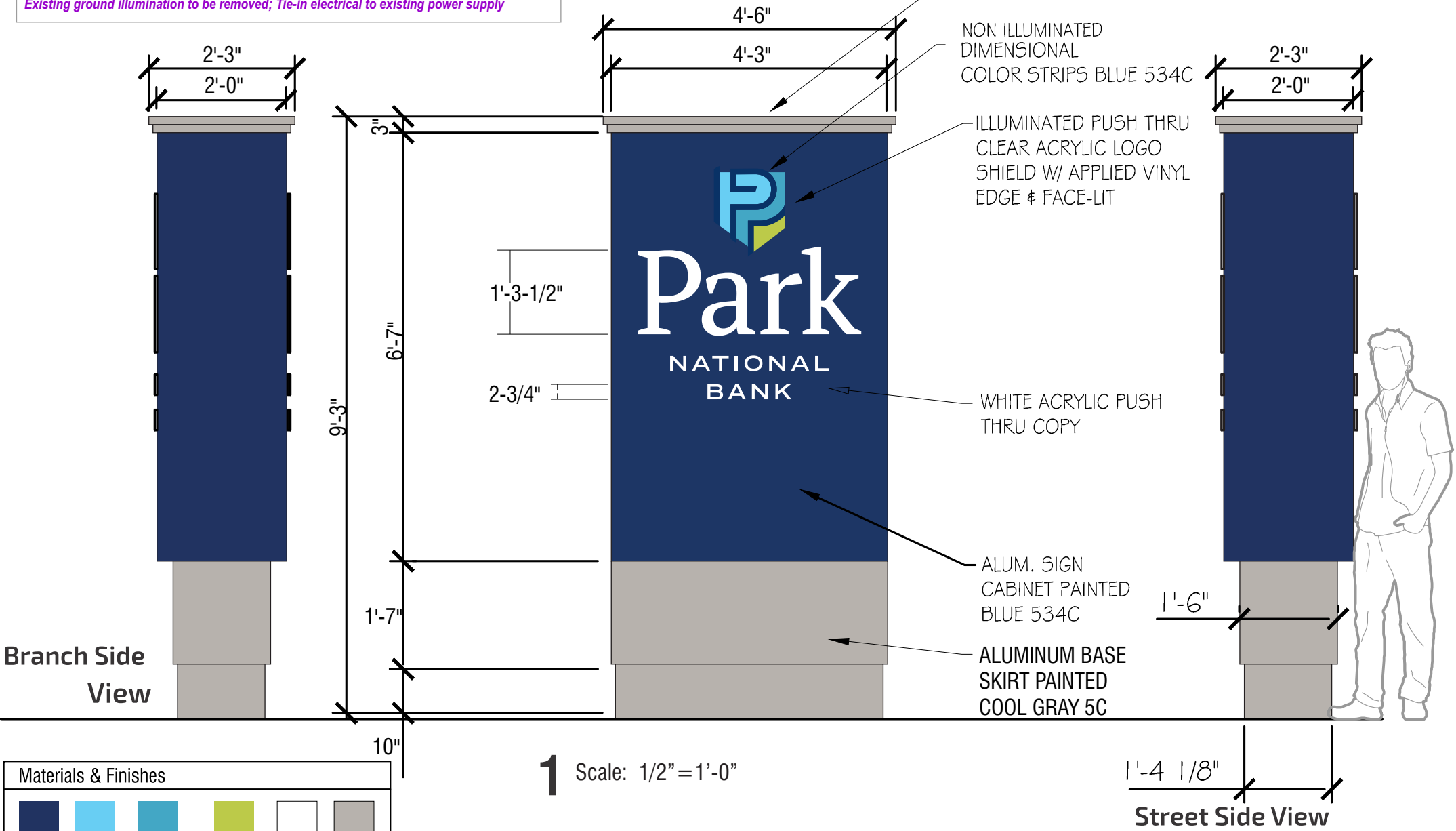
DATE 06-26-2020

| Sign # | Qty. | Description | Sq. Ft. |
|--------|------|--|---------|
| 1 | 1 | CUSTOM VM-9 VERTICAL MONUMENT D.F. Illuminated Cabinet | 29.7 |

NOTES:
ROUTED ALUMINUM FACE WITH PUSH THRU LOGO & COPY.

CABINET INSTALLED OVER EXISTING INTERNAL STEEL SUPPORT
EXISTING FOUNDATION TO BE REUSED
TECHNICAL SURVEY TO VERIFY SIZES OF EACH AND IF THEY CAN BE REUSED
FOR THE INSTALL OF NEW SIGNAGE

Existing ground illumination to be removed; Tie-in electrical to existing power supply



CITY OF WORTHINGTON

DRAWING NO. AR 29-2020

DATE 06-26-2020



Existing 5'-0" x 8'-0" Pylon Sign 40 Sq.Ft.



Proposed Scale: 1/4" = 1'-0" 29.7 Sq.Ft.

| Rev.# | Req. # | Date | Artist | Rev.# | Req. # | Date | Artist | Rev.# | Req. # | Date | Artist |
|----------|--------|----------|--------|-------|--------|----------|--------|--------|--------|----------|--------|
| Original | 324494 | 03/24/20 | KW | Rev 4 | 000000 | 00/00/00 | XXX | Rev 8 | 000000 | 00/00/00 | XXX |
| Rev 1 | 325912 | 04/27/20 | KW | Rev 5 | 327516 | 06/22/20 | TI | Rev 9 | 000000 | 00/00/00 | XXX |
| Rev 2 | 326618 | 05/21/20 | TI | Rev 6 | 327816 | 06/26/20 | TI | Rev 10 | 000000 | 00/00/00 | XXX |
| Rev 3 | 326871 | 05/26/20 | TI | Rev 7 | 000000 | 00/00/00 | XXX | Rev 11 | 000000 | 00/00/00 | XXX |

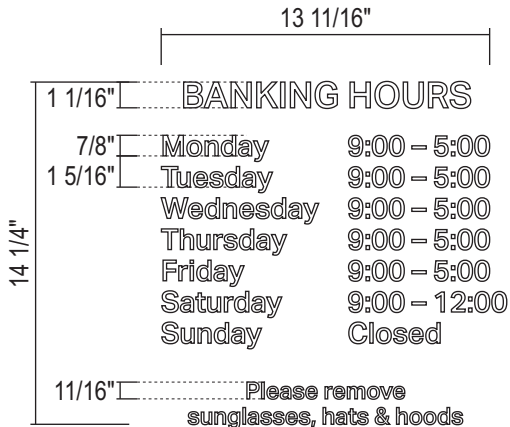
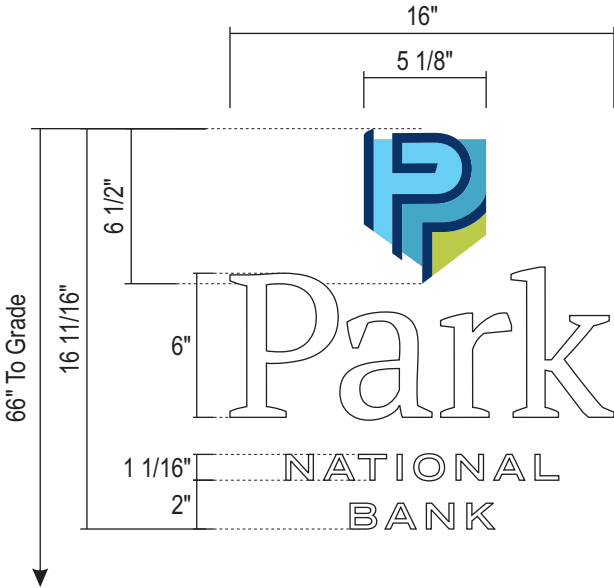
| Sign # | Qty. | Description | Sq. Ft. |
|---|------|---------------------------|---------|
| 2 | 1 | DVH-3 Door Vinyl Hours | N/A |
| NOTES: REMOVE EXISTING DECALS, FLIERS, AND VINYL APPLICATIONS. HC ACCESSIBLE DECALS TO REMAIN. 2nd Surface applied die cut opaque vinyl graphics | | | |



Existing



Proposed



SCALE: 1 1/2"=1'-0"



DVH DoorVinyl Hours

SCALE: 3/4"=1'-0"

Materials & Finishes

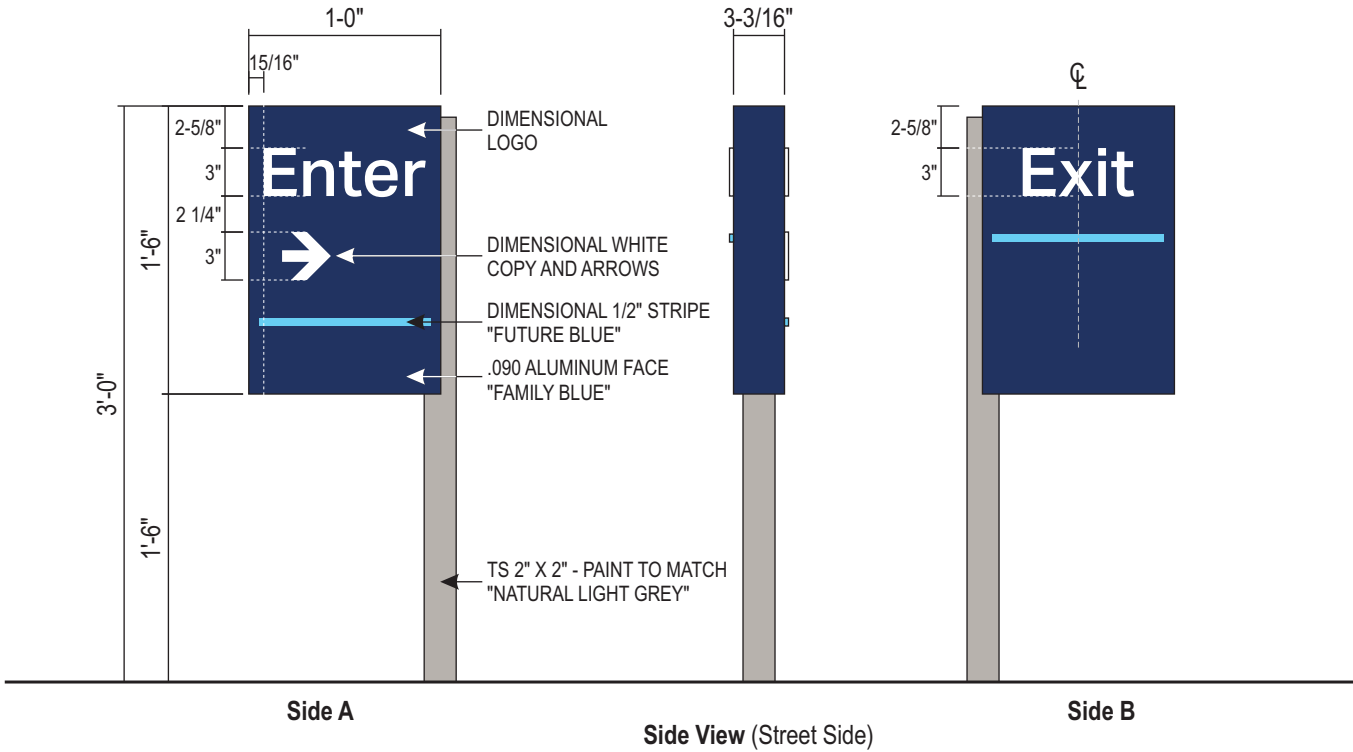
| | | | | |
|----------|----------|-----------|----------|----------------------------|
| | | | | |
| PMS 534C | PMS 297C | PMS 7702C | PMS 583C | 3M 7725-10 Opaque White |

DIGITALLY PRINTED TO MATCH COLORS SHOWN IN THE COLOR PALETTE


| Rev.#: | Req. #: | Date: | Artist: | Rev.#: | Req. #: | Date: | Artist: | Rev.#: | Req. #: | Date: | Artist: |
|----------|---------|----------|---------|--------|---------|----------|---------|--------|---------|----------|---------|
| Original | 324494 | 03/24/20 | KW | Rev 4 | 000000 | 00/00/00 | XXX | Rev 8 | 000000 | 00/00/00 | XXX |
| Rev 1 | 325912 | 04/27/20 | KW | Rev 5 | 327516 | 06/22/20 | TI | Rev 9 | 000000 | 00/00/00 | XXX |
| Rev 2 | 326618 | 05/21/20 | TI | Rev 6 | 327816 | 06/26/20 | TI | Rev 10 | 000000 | 00/00/00 | XXX |
| Rev 3 | 326871 | 05/26/20 | TI | Rev 7 | 000000 | 00/00/00 | XXX | Rev 11 | 000000 | 00/00/00 | XXX |


| Sign # | Qty. | Description | Sq. Ft. |
|--|------|--|---------|
| 3 | 1 | CUSTOM DIR D.F. Non-Illuminated Directional | 1.5 |
| NOTES: ALUMINUM FACE WITH 1/4" DIMENSIONAL COPY | | | |


SCALE: 1"=1'-0"





Materials & Finishes

PMS 534C

PMS 297C

PMS 7702C

PMS 583C

WHITE

Translucent Vinyls:

digitally printed to match colors shown

CITY OF WORTHINGTON

DRAWING NO. AR 29-2020

DATE 06-26-2020



Existing - Side B



Existing - Side A

3.3 Sq.Ft.



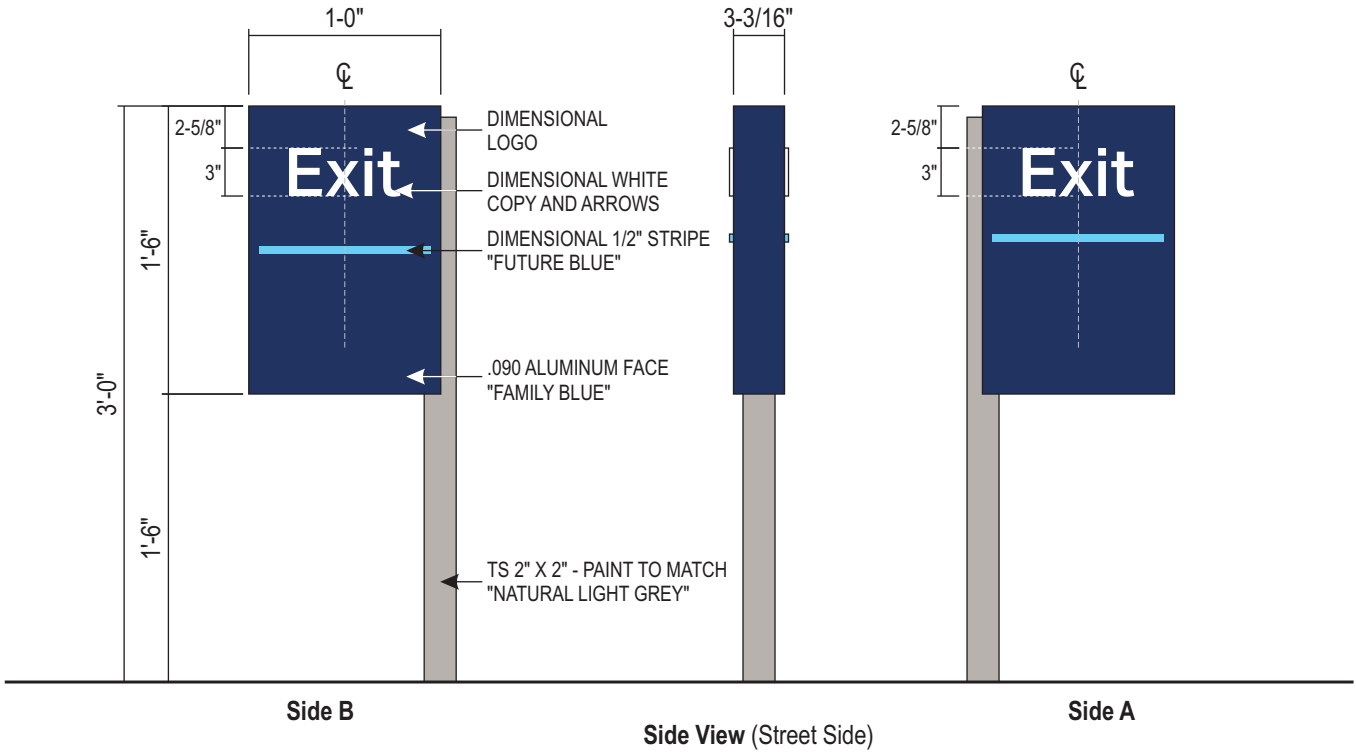
Proposed - Side A

1.5 Sq.Ft.

| Rev.#: | Req. #: | Date: | Artist: | Rev.#: | Req. #: | Date: | Artist: | Rev.#: | Req. #: | Date: | Artist: |
|----------|---------|----------|---------|--------|---------|----------|---------|--------|---------|----------|---------|
| Original | 324494 | 03/24/20 | KW | Rev 4 | 000000 | 00/00/00 | XXX | Rev 8 | 000000 | 00/00/00 | XXX |
| Rev 1 | 325912 | 04/27/20 | KW | Rev 5 | 327516 | 06/22/20 | TI | Rev 9 | 000000 | 00/00/00 | XXX |
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| Rev 3 | 326871 | 05/26/20 | TI | Rev 7 | 000000 | 00/00/00 | XXX | Rev 11 | 000000 | 00/00/00 | XXX |

| Sign # | Qty. | Description | Sq. Ft. |
|--|------|---|---------|
| 4 | 1 | CUSTOM DIR D.F. Non-Illuminated Directional | 1.5 |
| NOTES: ALUMINUM FACE WITH 1/4" DIMENSIONAL COPY | | | |

SCALE: 1"=1'-0"



Materials & Finishes

PMS 534C

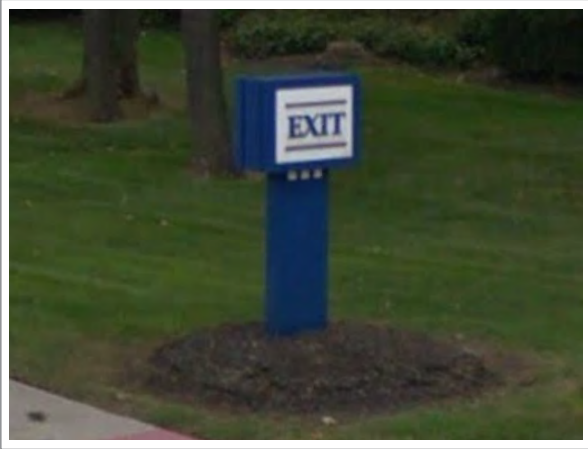
PMS 297C

PMS 7702C

PMS 583C

WHITE

Translucent Vinyls:
digitally printed to match colors shown



Existing - Side B



Existing - Side A 3.3 Sq.Ft.



Proposed - Side A 1.5 Sq.Ft.

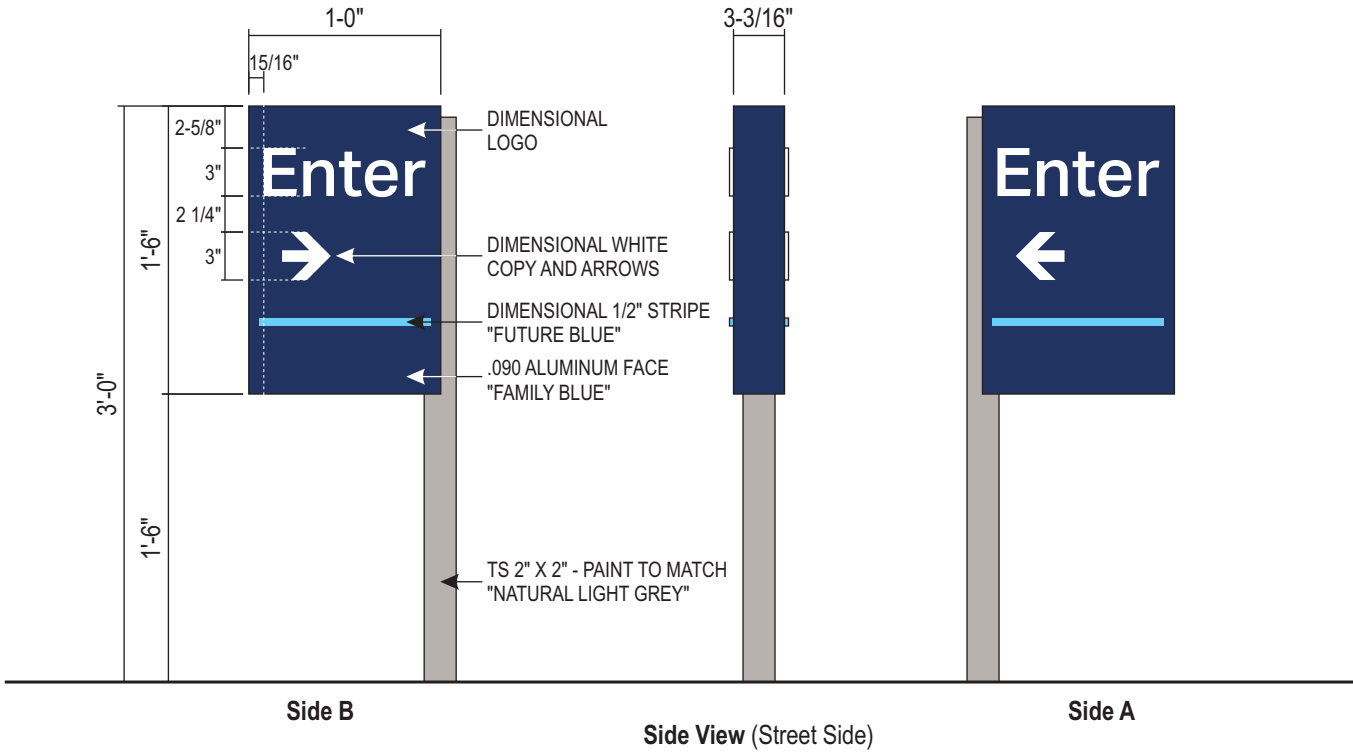
CITY OF WORTHINGTON

DRAWING NO. AR 29-2020

DATE 06-26-2020

| Sign # | Qty. | Description | Sq. Ft. |
|--|------|--|---------|
| 5 | 1 | CUSTOM DIR D.F. Non-Illuminated Directional | 1.5 |
| NOTES: ALUMINUM FACE WITH 1/4" DIMENSIONAL COPY | | | |

SCALE: 1"=1'-0"



Materials & Finishes

PMS 534C

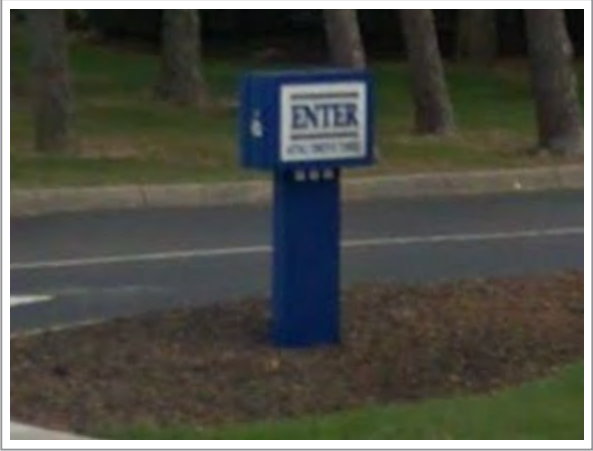
PMS 297C

PMS 7702C

PMS 583C

WHITE

Translucent Vinyls:
digitally printed to match colors shown



Existing - Side B



Existing - Side A

3.3 Sq.Ft.



Proposed - Side A

1.5 Sq.Ft.

CITY OF WORTHINGTON

DRAWING NO. AR 29-2020

DATE 06-26-2020

| Rev.#: | Req. #: | Date: | Artist: | Rev.#: | Req. #: | Date: | Artist: | Rev.#: | Req. #: | Date: | Artist: |
|----------|---------|----------|---------|--------|---------|----------|---------|--------|---------|----------|---------|
| Original | 324494 | 03/24/20 | KW | Rev 4 | 000000 | 00/00/00 | XXX | Rev 8 | 000000 | 00/00/00 | XXX |
| Rev 1 | 325912 | 04/27/20 | KW | Rev 5 | 327516 | 06/22/20 | TI | Rev 9 | 000000 | 00/00/00 | XXX |
| Rev 2 | 326618 | 05/21/20 | TI | Rev 6 | 327816 | 06/26/20 | TI | Rev 10 | 000000 | 00/00/00 | XXX |
| Rev 3 | 326871 | 05/26/20 | TI | Rev 7 | 000000 | 00/00/00 | XXX | Rev 11 | 000000 | 00/00/00 | XXX |

| Sign # | Qty. | Description | Sq. Ft. |
|--------|------|-------------|---------|
| 6 | 1 | Remove Only | - |
| NOTES: | | | |



Existing

2'-0" x 1'-6" Regulatory Sign



Proposed

CITY OF WORTHINGTON

DRAWING NO. AR 29-2020

DATE 06-26-2020

| Sign # | Qty. | Description | Sq. Ft. |
|--------|------|-------------|---------|
| 7 | 1 | Remove Only | - |
| NOTES: | | | |



Existing

2'-0" x 1'-6" Regulatory Sign



Proposed

CITY OF WORTHINGTON

DRAWING NO. AR 29-2020

DATE 06-26-2020

| Sign # | Qty. | Description | Sq. Ft. |
|--------|------|--|---------|
| 8 | 2 | Wall Mounted Regulatory Signage S/F Alum. Panel | 1.5 |
| NOTES: | | | |



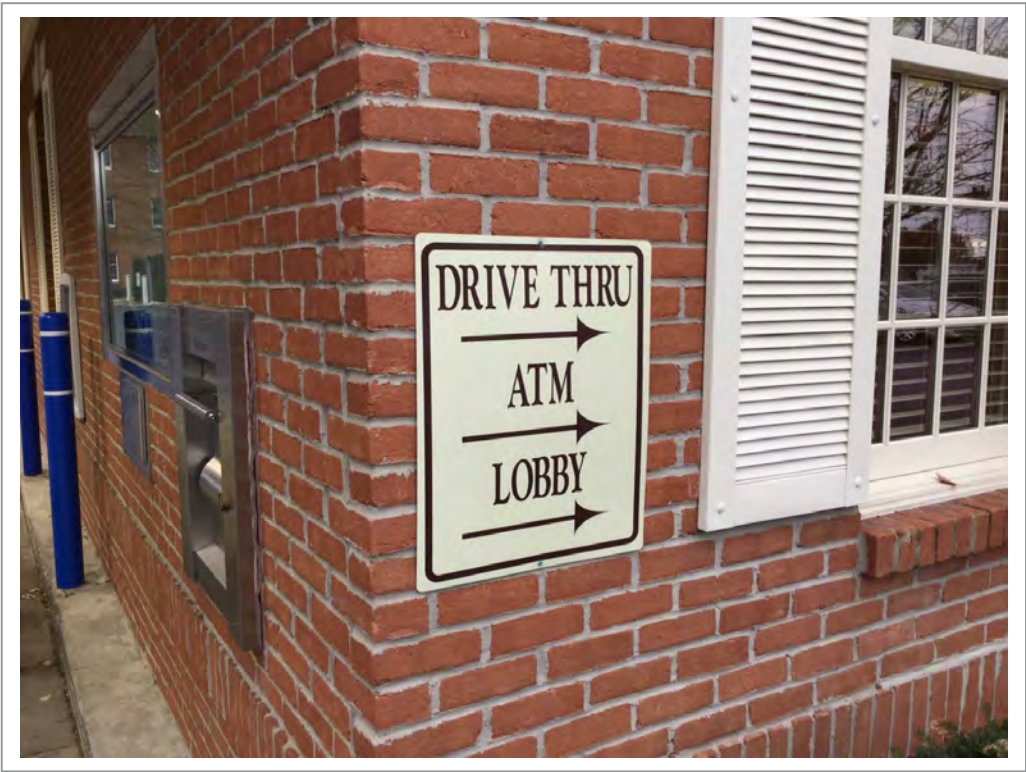
Existing Signs to Remain As Is (Qty 2)

CITY OF WORTHINGTON

DRAWING NO. AR 29-2020

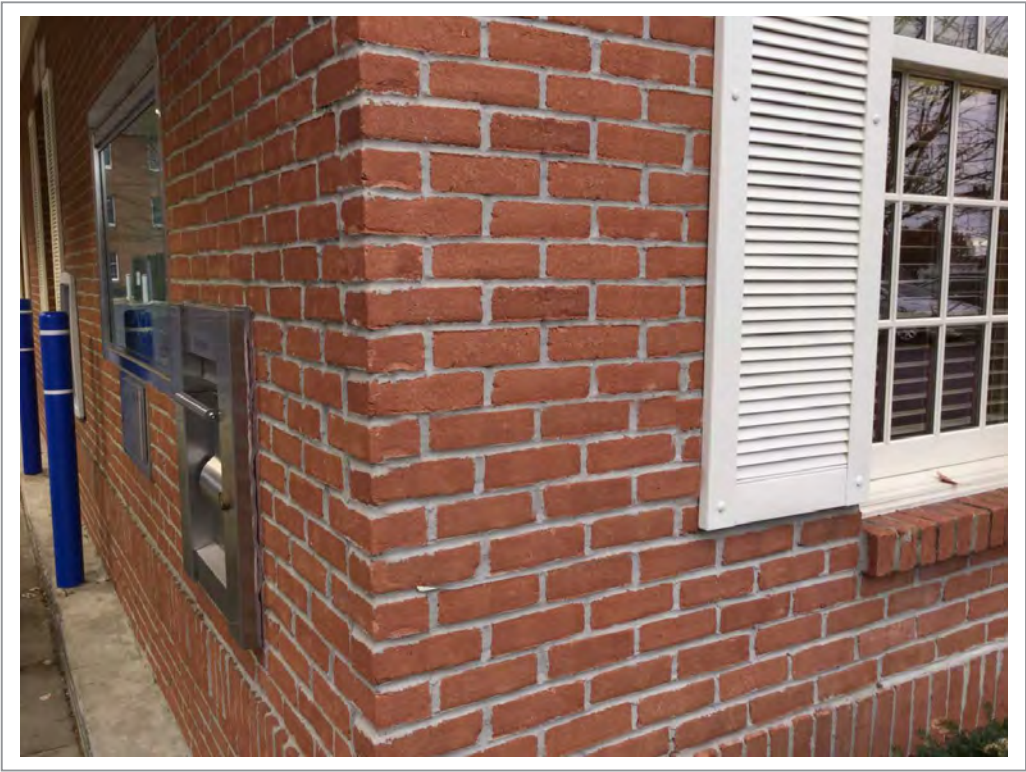
DATE 06-26-2020

| Sign # | Qty. | Description | Sq. Ft. |
|--------|------|-------------|---------|
| 9 | 1 | Remove Only | - |
| NOTES: | | | |



Existing

1'-0" x 1'-6" Regulatory Sign



Proposed

CITY OF WORTHINGTON

DRAWING NO. AR 29-2020

DATE 06-26-2020

| Sign # | Qty. | Description | Sq. Ft. |
|-------------------------------------|------|----------------------|---------|
| 10 | 2 | Lane Open Indicators | n/a |
| NOTES: Lane Open Indicator Signs | | | |



Existing Signs to Remain As Is (Qty 2)

CITY OF WORTHINGTON
DRAWING NO. AR 29-2020
DATE 06-26-2020

| Sign # | Qty. | Description | Sq. Ft. |
|---|------|-----------------------------------|---------|
| 11 | 1 | DU CANOPY SIGN S/F ALUM. PANEL | 2.5 |
| NOTES: S/F ALUM. PANEL WITH GRAPHICS | | | |

SCALE: 1-1/2"=1'-0"



- New 1/8" Aluminum finished to match PMS 534C
- Applied Vinyl As Noted
- Face-screwed to existing building or canopy

| Materials & Finishes | | |
|-------------------------|-------------------------|----------------------------------|
| <div></div> PMS 534C | <div></div> PMS 297C | White Reflective Opaque Vinyl |

CITY OF WORTHINGTON

DRAWING NO. AR 29-2020

DATE 06-26-2020



Existing



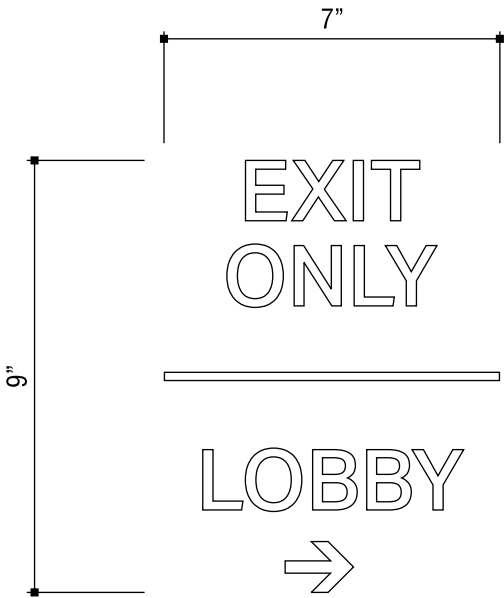
Proposed

2.5 Sq.Ft.

| Rev.#: | Req. #: | Date: | Artist: | Rev.#: | Req. #: | Date: | Artist: | Rev.#: | Req. #: | Date: | Artist: |
|----------|---------|----------|---------|--------|---------|----------|---------|--------|---------|----------|---------|
| Original | 324494 | 03/24/20 | KW | Rev 4 | 000000 | 00/00/00 | XXX | Rev 8 | 000000 | 00/00/00 | XXX |
| Rev 1 | 325912 | 04/27/20 | KW | Rev 5 | 327516 | 06/22/20 | TI | Rev 9 | 000000 | 00/00/00 | XXX |
| Rev 2 | 326618 | 05/21/20 | TI | Rev 6 | 327816 | 06/26/20 | TI | Rev 10 | 000000 | 00/00/00 | XXX |
| Rev 3 | 326871 | 05/26/20 | TI | Rev 7 | 000000 | 00/00/00 | XXX | Rev 11 | 000000 | 00/00/00 | XXX |

| Sign # | Qty. | Description | Sq. Ft. |
|---|------|--------------------------|---------|
| 12 | 1 | CUSTOM VINYL APPLICATION | n/a |
| NOTES: 2nd Surface applied die cut opaque white vinyl graphics | | | |

SCALE: 3"=1'-0"



| Materials & Finishes | |
|---|-------------------------------|
|  | WHITE 7725-10 OPAQUE VINYL |

CITY OF WORTHINGTON

DRAWING NO. AR 29-2020

DATE 06-26-2020



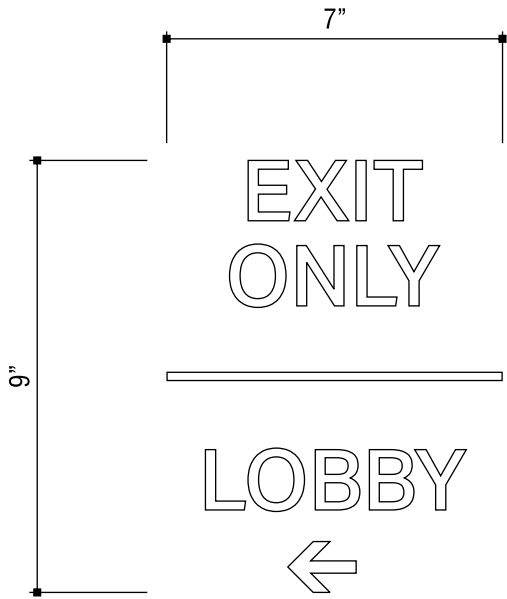
Existing




Proposed

| Sign # | Qty. | Description | Sq. Ft. |
|---|------|--------------------------|---------|
| 13 | 1 | CUSTOM VINYL APPLICATION | n/a |
| NOTES: 2nd Surface applied die cut opaque white vinyl graphics | | | |

SCALE: 3"=1'-0"



| Materials & Finishes | |
|---|-------------------------------|
|  | WHITE 7725-10 OPAQUE VINYL |

CITY OF WORTHINGTON

DRAWING NO. AR 29-2020

DATE 06-26-2020



Existing



Proposed

| Rev.#: | Req. #: | Date: | Artist: | Rev.#: | Req. #: | Date: | Artist: | Rev.#: | Req. #: | Date: | Artist: |
|----------|---------|----------|---------|--------|---------|----------|---------|--------|---------|----------|---------|
| Original | 324494 | 03/24/20 | KW | Rev 4 | 000000 | 00/00/00 | XXX | Rev 8 | 000000 | 00/00/00 | XXX |
| Rev 1 | 325912 | 04/27/20 | KW | Rev 5 | 327516 | 06/22/20 | TI | Rev 9 | 000000 | 00/00/00 | XXX |
| Rev 2 | 326618 | 05/21/20 | TI | Rev 6 | 327816 | 06/26/20 | TI | Rev 10 | 000000 | 00/00/00 | XXX |
| Rev 3 | 326871 | 05/26/20 | TI | Rev 7 | 000000 | 00/00/00 | XXX | Rev 11 | 000000 | 00/00/00 | XXX |



City of Worthington
ARCHITECTURAL REVIEW BOARD
Certificate of Appropriateness
Application

Case # AR 31-20
Date Received 05-21-2020
Fee \$4.00
Meeting Date 06-11-2020
Filing Deadline _____
Receipt # 68494

1. Property Location 590 Hartford Street
2. Present/Proposed Use Fence
3. Zoning District _____
4. Applicant Marlene + Warren Orloff
Address 590 Hartford Street
Phone Number(s) 1-614-537-4590 (cell)
Email _____
5. Property Owner Marlene + Warren Orloff
Address _____
Phone Number(s) _____
Email _____
6. Project Description Fence in backyard —
6 foot fence
7. Project Details:
- a) Design 6 ft. Cedar Fence
- b) Color Wood
- c) Size 6 ft.
- d) Approximate Cost @ \$4000.00 Expected Completion Date _____

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Marlene Orloff
Applicant (Signature)

5-20-20
Date

Marlene Orloff
Property Owner (Signature)

5-20-20
Date

ABUTTING PROPERTY OWNERS
FOR
590 Hartford St.

| | | |
|-------------------------------------|----------------------------------|-----------------------|
| David and Giannalisa Schumer | 580 Hartford St. | Worthington, OH 43085 |
| Robert and Tera Huffman | 594 Hartford St. | Worthington, OH 43085 |
| Worthington United Methodist Church | 600 High St. | Worthington, OH 43085 |
| Brent Watson | Catherine Craine 583 Hartford St | Worthington, OH 43085 |
| Timothy and Brenda Tilton | 595 Hartford St. | Worthington, OH 43085 |
| Barbara Mason | 587 Morning St. | Worthington, OH 43085 |
| John and Jennifer Schaffner | 601 Morning St. | Worthington, OH 43085 |

We'd like three privacy screens on the North side of the property and three privacy screens on the East side.

The screens are good neighbor design (they look the same on both sides). They would be 6ft high and stand 8ft in length with 3'6" between each screen. (see diagram).

This would allow some measure of privacy while maintaining the open look that we appreciate so much in old Worthington.

The first attachment shows multiple screens (although we want three to a side with no overlap).

The second attachment is a rough diagram of the dimensions for installation and a rough image of how the year would look when installed.

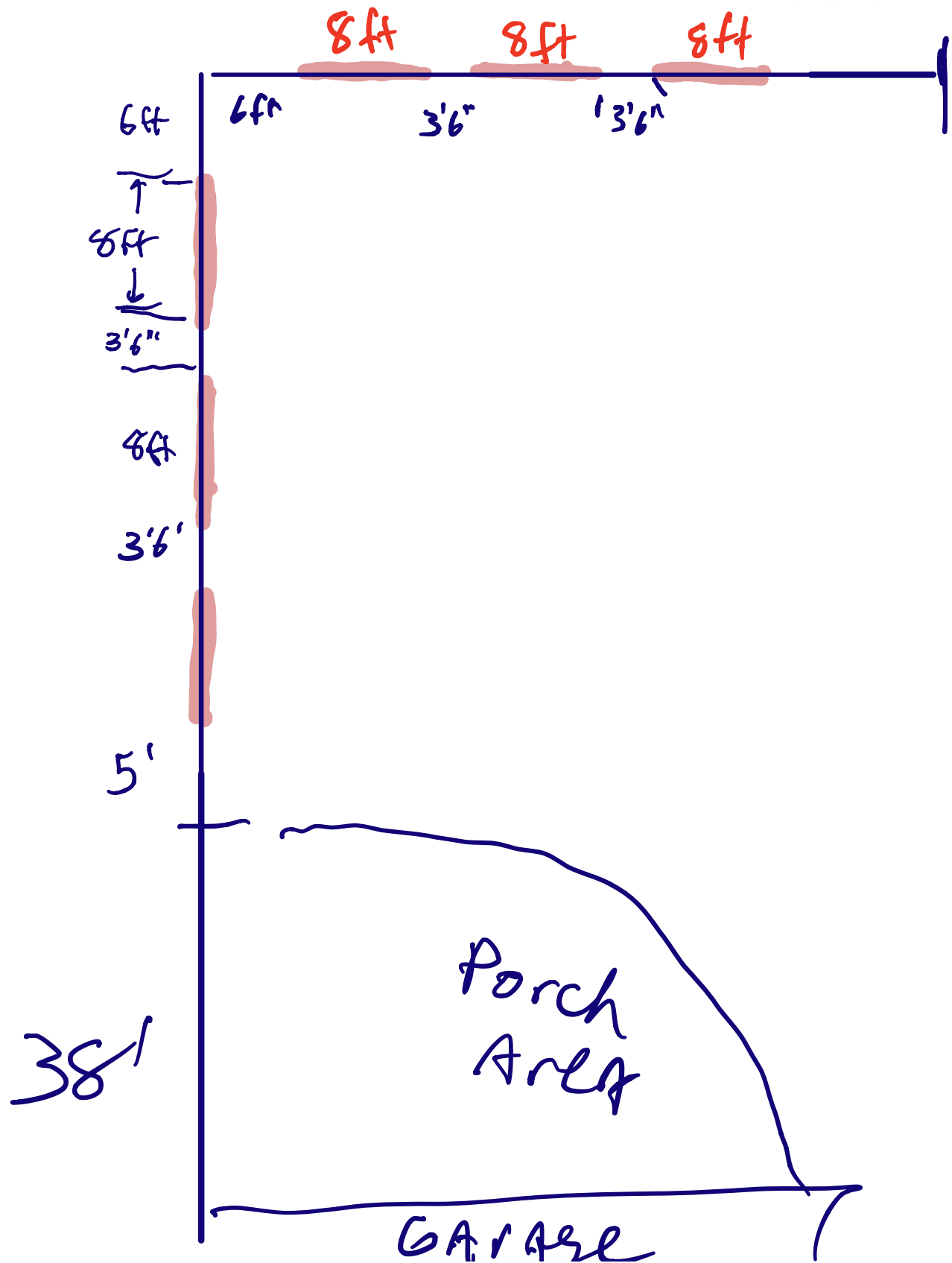
CITY OF WORTHINGTON

DRAWING NO. AR 31-2020

DATE 06-26-2020

590 Hartford St.







CITY OF WORTHINGTON

DRAWING NO. AR 31-2020

DATE 06-26-2020



CITY OF WORTHINGTON

DRAWING NO. AR 31-2020

DATE 06-26-2020



CITY OF WORTHINGTON

DRAWING NO. AR 31-2020

DATE 06-26-2020



CITY OF WORTHINGTON

DRAWING NO. AR 31-2020

DATE 06-26-2020



CITY OF WORTHINGTON
DRAWING NO. AR 31-2020
DATE 06-26-2020



City of Worthington
ARCHITECTURAL REVIEW BOARD
Certificate of Appropriateness
Application

Case # AR 37-2020
Date Received 06-16-2020
Fee \$2.00
Meeting Date 07-09-2020
Filing Deadline _____
Receipt # _____

1. Property Location Sharon Township Memorial Hall
2. Present/Proposed Use Memorial to ALL Veterans
3. Zoning District _____ w/ Emphasis to Local/Worthington
4. Applicant Sharon Township Memorial Hall, Veterans
Address 137 East Dublin Granville Rd. Worthington
Phone Number(s) Mark Goyer - 614.370.0424 / Valerie Kerbler 614.558.8395
5. Property Owner As Above
Address _____
Phone Number(s) _____
Email _____
6. Project Description Repair/ Replace 2 Security Lights
N.E. Corner & N.W. Corner of Building
7. Project Details:
- a) Design Security - outside - Light Fixture
- b) Color Black/ Chrome
- c) Size 5" x 8"
- d) Approximate Cost \$300.00 Expected Completion Date 21 June 2019

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Mark Goyer
Applicant (Signature)

16 June 2020
Date

N/A
Property Owner (Signature)

Date

Abutting Property Owners List for
137 E. Granville Rd.

| | | | |
|----------------------------|--------------------------|----------------------|-----------------------|
| Leasure Blackston Post | 239 American Legion Trs. | 700 Morning St. | Worthington, OH 43085 |
| Daniel and Rachel Gibson | | 701 Morning St. | Worthington, OH 43085 |
| James and Carol Masters | | 160 E. Granville Rd. | Worthington, OH 43085 |
| Jeffrey Deville | | 132 E. Granville Rd. | Worthington, OH 43085 |
| Barbara Myers | | 138 E. Granville Rd. | Worthington, OH 43085 |
| John & Allison Chapman | | 144 E. Granville Rd. | Worthington, OH 43085 |
| Sandra Masters | | 152 E. Granville Rd. | Worthington, OH 43085 |
| Eugene & Kimberly Wells | | 151 E. Granville Rd. | Worthington, OH 43085 |
| Timothy & Sherril Berridge | | 686 Morning St. | Worthington, OH 43085 |
| Daniel & Rachel Gibson | | PO Box 1284 | Worthington, OH 43085 |
| Glenn Laine | Aber Garneta | 707 Morning St. | Worthington, OH 43085 |
| JC Rice | | 119 E. Granville Rd. | Worthington, OH 43085 |
| Patricia Herban | | 120 E. Granville Rd. | Worthington, OH 43085 |

Addendum: Architectural Review Board Application

16 June 15, 2020

Re: Sharon Township Memorial Hall 700 Morning Street Worthington, OH 43085

PROJECT DESCRIPTION: "Repairing 2 Outside Security Lights" One, NE Side of Hall, other NW Side of Hall

Dear A.R.B. Members:

About 2 years ago, the Sharon Township Memorial Board had received some complaints of poor exterior lighting out front of our building from our patrons and tenants. This was a concern for us, since many of our patrons are elderly, especially from the local V.F.W. Chapter and the District Boy Scout Council, both that meet at Sharon Township Hall in the evenings.

For unknown reasons, previous Board Member Administrators, never felt the need to have these Security Lights working properly. Our best guess, is that these Security Lights have not been operable 15 Plus years. We hired Electrical Energy Systems of Galena, Ohio, owner Chris Boling, to come and fix our problem. At this time as a Board, we had no idea that this would be something that the A.R.B. should be made aware of. We were thinking of just needing a "new light bulb." Well, because of the age and deterioration of the Security Light, it was suggested from our Contractor, the Light Appliance itself, needed to be replaced. We asked our Contractor to go ahead and replace with a "like" item as well as "like" Light Coverage at the exact same locations." The Contractor strongly suggested going with an LED Bulb due to increased energy savings. Work was completed 21 June 2019.

Since June 2019, to this date, we have yet to receive any types of complaints from any of our neighbors, about any excess brightness of lights. We have even had the opportunity to inquire with some of our neighbors of the change; no complaints. A couple homeowners even said that they like the new lights, has no issues with them, whatsoever. Blue Star Mothers, an organization that sends Care Packages to active duty personnel overseas, thinks the new lights are great! They say that they feel more secure during the evenings, making deliveries, being able to park safely in the NE parking area.

Please let us know if any additional information is needed or if you have any questions. Thank you all for your consideration! FYI: Sharon Hall just completed a major replacement of replacing the large Front Porch, Handrails and West Sidewalks, cost was \$24K, completed for the safety and well-being of our patrons/visitors. Building Permits and A.R.B. were both consulted and approved by City of Worthington.

Again, Thank you!

Sincerely,

Mark Goyer, Sharon Township Hall Board Member 614.370.0424 markgoyer1020@yahoo.com

Valerie Kerbler, Sharon Township Hall Finance Director 614.558.8395 valeriestar@sbcglobal.net

Enclosures: A.R.B. Application, 4 Color Pictures w/Descriptions

CITY OF WORTHINGTON

DRAWING NO. AR 37-2020

DATE 06-16-2020

137 E. Granville Rd.





old security light

northwest

CITY OF WORTHINGTON

DRAWING NO. AR 37-2020

DATE 06-16-2020



new security light

northeast

CITY OF WORTHINGTON

DRAWING NO. AR 37-2020

DATE 06-16-2020

New
Life



new security light

northwest

CITY OF WORTHINGTON

DRAWING NO. AR 37-2020

DATE 06-16-2020

new light appliance



LED Wall Pack Applique

Security Light
Éclairage de Sécurité



WALL PACK
APPLIQUE

DAYLIGHT
LUMIÈRE
DU JOUR

5

250W

3500
LUMENS

5000K

120VOLT
120-277

CITY OF WORTHINGTON

DRAWING NO. AR 37-2020

DATE 06-16-2020



City of Worthington
ARCHITECTURAL REVIEW BOARD
Certificate of Appropriateness
Application

Case # AR 38-2020
Date Received 6-17-2020
Fee \$10.00
Meeting Date 7-9-2020
Filing Deadline _____
Receipt # _____

1. Property Location 5756 North High St.
2. Present/Proposed Use Landscape
3. Zoning District _____
4. Applicant George D. Norris
Address 3175 Tremont Rd unit 401 Col. 43221
Phone Number(s) 614-562-1238
5. Property Owner George D. Norris Revocable Trust
Address 3175 Tremont Rd unit 401 Col 43221
Phone Number(s) 614-562-1238 Scott 614-500-7582
6. Project Description Landscaping - bank on East side of the Property
7. Project Details:
 - a) Design Fired House
 - b) Color _____
 - c) Size 54' x 20'
 - d) Approximate Cost \$10,000 Expected Completion Date 10/10/2020

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

George D. Norris
Applicant (Signature)

6/17/20
Date

George D. Norris
Property Owner (Signature)

6/17/20
Date

Abutting Property Owners List for
5756 N. High St.

| | | |
|--------------------------|--------------------|-----------------------|
| Scott Norris | 5758 High St. | Worthington, OH 43085 |
| Rebecca Garabed | 5713 Bromley Ave. | Worthington, OH 43085 |
| Ronald and Faith Bartrug | 5717 Bromley Ave. | Worthington, OH 43085 |
| Scott Norris | 5758 High St. | Worthington, OH 43085 |
| Robert and Mary Best | 1 Kenyon Brook Dr. | Worthington, OH 43085 |
| Lisa Decker | 5737 Bromley Ave. | Worthington, OH 43085 |
| Rahman Bahrami | 5721 High St. | Worthington, OH 43085 |

5756 N. High St.

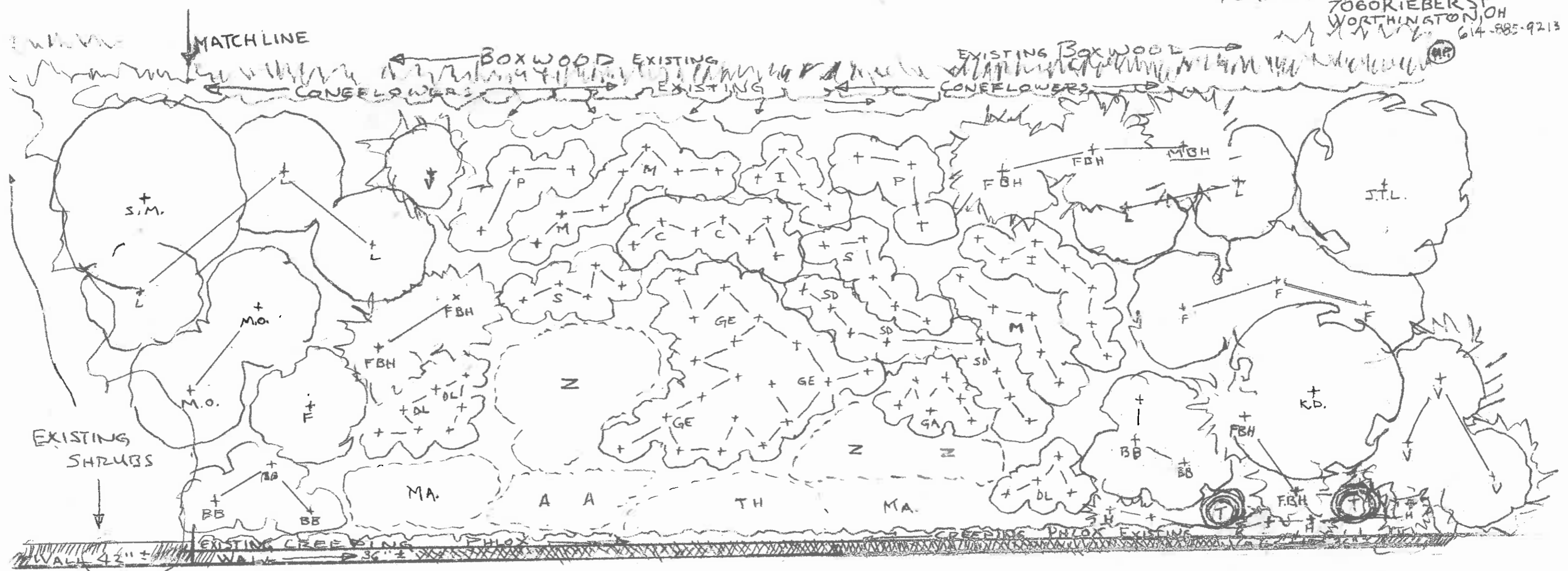


ANIMAL HOSPITAL OF WORTHINGTON

5758 HIGHST. WORTHINGTON, OHIO

NORTH  SCALE 1"=4'

PLAN BY: FRED W. HOWER
7060 RIEBER ST.
WORTHINGTON, OH
614-885-9213



- DECIDUOUS PLANTS:
- S.M. - 1 SWEETBAY MAGNOLIA
 - L. - 5 LILAC -
 - M.O. - 2 MOCKORANGE
 - V. - 4 VIBURNUM 'ALLEGHANY'
 - F. - 4 FORSYTHIA
 - J.T.L. - 1 JAPANESE TREE LILAC
 - K.D. - 1 KOUSA DOGWOOD
 - BB. - 6 BEAUTY BERRY (CALICARPA)
 - F. - 4 FORSYTHIA 'SHOWOFF'

- EVERGREEN PLANTS:
- FBH. - 6 HOLLY 'BLUE PRINCESS'
 - M.B.H. - 1 HOLLY 'BLUE PRINCE'
 - H. - 5 LENTEN ROSE (HELLEBORE)

- PERENNIAL PLANTS:
- P. - 6 PEONY
 - M. - 12 MUMS
 - I. - 11 IRIS
 - S. - 10 SEDUM 'AUTUMN JOY'
 - C. - 7 COREOPSIS 'ROUTE 66'
 - GE. - 20 GERANIUM 'KARMINA' OR 'ROZANNE'
 - DL. - 11 DAYLILLY
 - SD. - 8 SHASTA DAISY
 - GA. - 6 GAILLARDIA (BLANKET FLOWER)

- ANNUALS - YEARLY CHANGES POSSIBLE
- Z. - ZINNIAS - 4 DOZ
 - MA. - MARIGOLDS - SHORT TYPES - 2 "
 - A. - ALYSSUM - 1 "
 - TH. - THYMUS - ON HAND

POSSIBLE BULBS UNDER ANNUALS

CITY OF WORTHINGTON

DRAWING NO. AR 38-2020

BUILDING DATE 06-17-2020



City of Worthington
ARCHITECTURAL REVIEW BOARD
Certificate of Appropriateness
Application

Case # AR 39-2020
Date Received 6-19-2020
Fee 40.00
Meeting Date 7-9-2020
Filing Deadline
Receipt # 68660

1. **Property Location** 117 W. New England Ave
2. **Present/Proposed Use** Detached two-car garage
3. **Zoning District** R-10
4. **Applicant** Jeff & AnnMarie McCallister
Address 117 W. New England Ave., Worthington, OH 43085
Phone Number(s) 614-519-3546
Email _____
5. **Property Owner** Jeff & AnnMarie McCallister
Address 117 W. New England Ave., Worthington, OH 43085
Phone Number(s) 614-519-3546
Email _____
6. **Project Description** Replace existing two-car garage and shed with a larger garage
that includes work area and additional storage
7. **Project Details:**
 - a) **Design** Gable, with three-window shed dormer on upper level
 - b) **Color** sage, to match dormer on the residence
 - c) **Size** 20' x 26' 810 square feet
 - d) **Approximate Cost** \$40,000 **Expected Completion Date** October 2020

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

[Signature]
Applicant (Signature)

6/19/2020
Date

[Signature]
Property Owner (Signature)

6/19/2020
Date

Abutting Property Owners List for
117 W. New England Ave.

| | | | |
|-------------------------|----------------|-------------------------|-----------------------|
| Jeffrey & Judith Bergen | | 108 W. New England Ave. | Worthington, OH 43085 |
| Nancy Ratey | | 100 W. New England Ave. | Worthington, OH 43085 |
| John Marsh | Jodi Utterback | 115 W. New England Ave. | Worthington, OH 43085 |
| Gary & Kathy Moore | | 123 W. New England Ave. | Worthington, OH 43085 |

To: Architectural Review Board
City of Worthington

Re: Supporting Statement for new garage
117 W. New England Ave.

To the members of the board,

Thank you for taking the time to review our proposed project to replace our garage at our home, where we have lived since 2009. We knew the garage would need to be replaced when we bought the house, as the frame has been compromised in several places — including where a car had knocked the back wall completely off of the concrete pad in the back. We do not trust the structure enough to park our cars inside, and we are looking forward to having a fully useful, attractive garage that fits with our residence and our historic neighborhood. The current structure is not particularly architecturally or historically significant, but instead is a simple square framed building.

There also is currently a shed behind the garage that stands close to within about 18 inches from the back (south) property line. It's our intention to remove the shed and use much of its current footprint to allow a larger garage that will give us both storage and work space. We asked our builder, Josh Parks of Franklin Garage Builders, to come up with a design that gives added storage space on a second level. His design is a 20'x26' gable-style building that includes a shed dormer above, facing our back yard. The garage will be sided with vinyl siding in a sage color to match the dormer on our brick Cape Cod residence. Currently we plan a raised-panel style door (as shown in the drawing), but are open to suggestions in order to maintain the area's historic appeal.

We understand that we will need a zoning variance, as the plan calls for the building to be placed 3' from the east and south property lines (it's currently 3' from the eastern property line).

Best regards,

Jeff and AnnMarie McCallister
117 W. New England Ave.
Worthington, OH 43085

117 W. New England Ave.





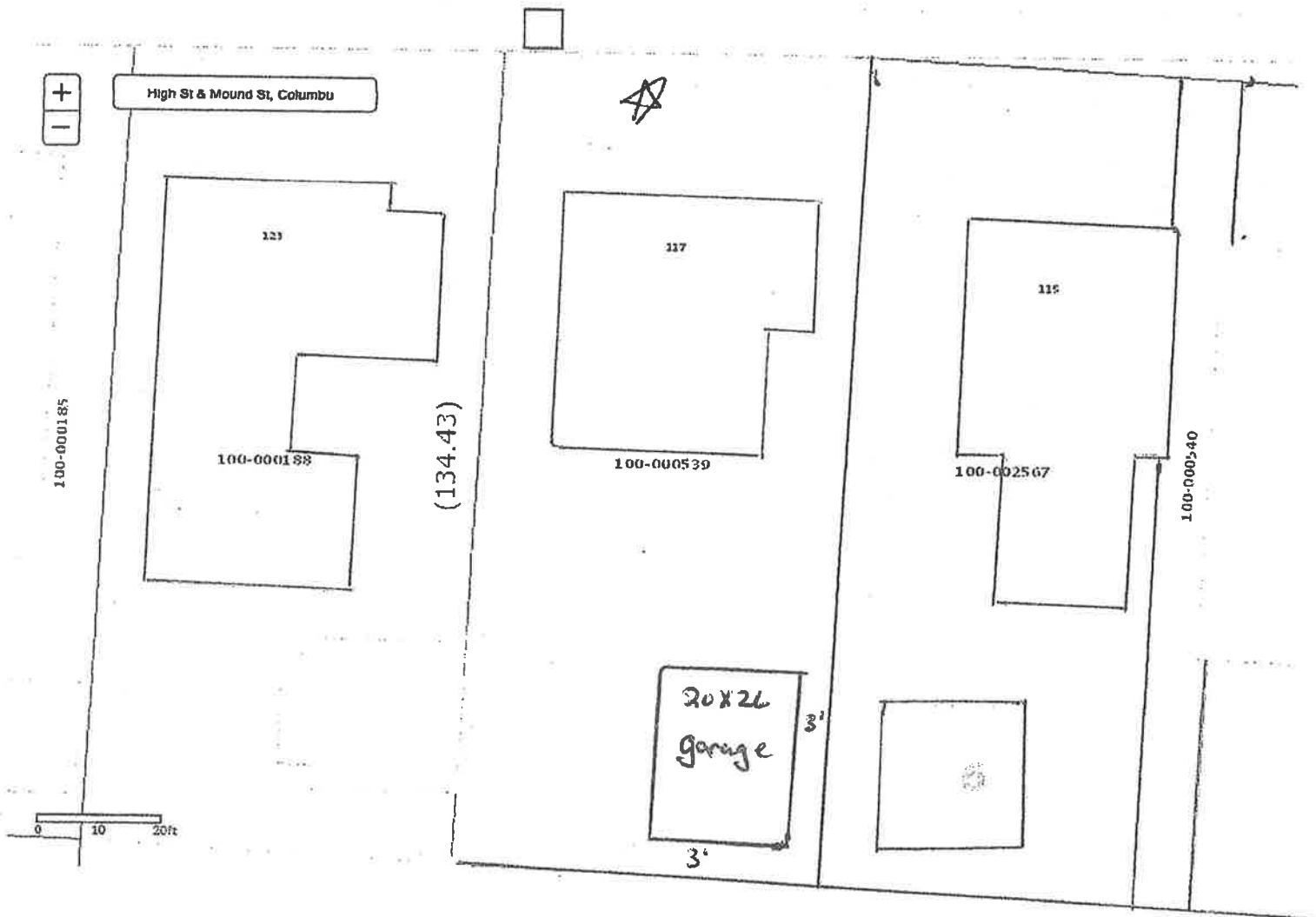
OUR OFFICE

SEARCH

ONLINE TOOLS

REFERENCE

CONTACT US



CITY OF WORTHINGTON

DRAWING NO. AR 39-2020

DATE 06-19-2020

DESIGN CRITERIA

1. EXTERIOR DIMENSIONS ARE FROM OUT TO OUT OF SHEATHING.
2. INTERIOR DIMENSIONS ARE FROM FACE TO FACE OF FRAMING.
3. ALL INTERIOR PARTITIONS ARE 2x4 (3 1/2") UNLESS OTHERWISE NOTED.
4. DESIGN LOADS
FOOTINGS: 1,500 PSF SOIL BEARING (ASSUMED)
GARAGE FLOOR: 50 PSF, 2,000/20 SQ. IN.
SECOND FLOOR: 40 PSF
WIND LOAD: 100 MPH EXPOSURE 8
FROST DEPTH: 36"
SEISMIC ZONE: 1
LUMBER GRADES
UNLESS OTHERWISE SPECIFIED ALL WOOD FRAMING SHALL HAVE THE FOLLOWING MINIMUM VALUES:

SPF #2 E = 1.4
UP TO 2x4 Fb = 1508 (REPETITIVE)

SPF #2 E = 1.4
2x6 Fb = 1308 (REPETITIVE)
2x8 Fb = 1208 (REPETITIVE)
2x10 Fb = 1107 (REPETITIVE)
2x12 Fb = 1008 (REPETITIVE)

SYP #2 E = 1.6
UP TO 2x4 Fb = 1725 (REPETITIVE)

SYP #2 E = 1.6
2x6 Fb = 1440 (REPETITIVE)
2x8 Fb = 1380 (REPETITIVE)
2x10 Fb = 1208 (REPETITIVE)
2x12 Fb = 1120 (REPETITIVE)

MICROLAM/OLUELAN -
TRUS JOIST OR EQUAL:
E = 2.0
Fb = 2800
Fc = 500
Fv = 285

6. FASTENING TO FOLLOW CURRENT IRC STANDARDS.
7. PROVIDE 1/2" PLYWOOD BRACING FULL HEIGHT AT INSIDE & OUTSIDE CORNERS 4'-0" MIN. FIRST AND SECOND FLOOR.
8. ALL LUMBER SHALL BE GRADED AND MARKED WITH THE APPROPRIATE GRADE STAMP.
9. ROOF SHEATHING SHALL BE 1/2" SPAN RATED APA W/EDGE STIFFENERS (H CLIPS) SHALL BE USED ON ROOFS FRAMED @ 24" O.C.
10. CONCRETE SLABS SHALL BE AIR ENTRAINED WITH A VAPOR BARRIER AND A MIN. STRENGTH OF 2500 PSI FOR BASEMENT SLABS AND 3500 PSI FOR GARAGE SLABS.

PROJECT:

NEW RESIDENCE GARAGE

SCOPE OF WORK:

20x26 NEW 810 S.F. GARAGE

OWNER:

Jeff McCallister
117 W New England Ave
Worthington Oh 43055

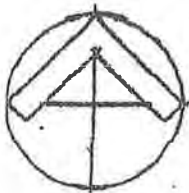
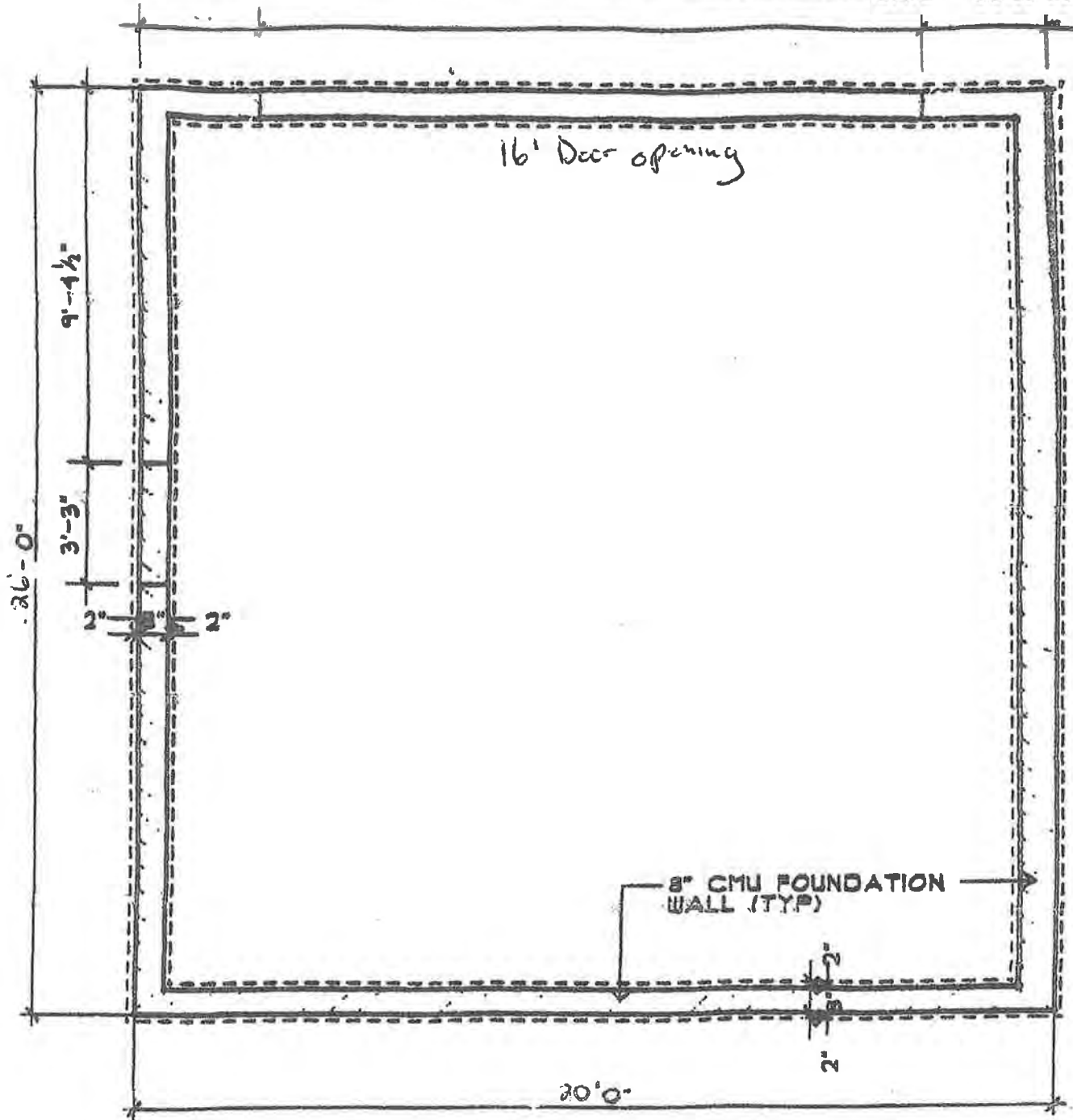
P.I.D.

CITY OF WORTHINGTON

DRAWING NO. AR 39-2020

DATE 06-19-2020

| INDEX TO DRAWINGS | |
|-------------------|-------------------------------|
| SHEET No | DESCRIPTION |
| 1 | PROJECT INFO, MAPS, SITE PLAN |
| 2 | PLANS |
| 3 | ELEVATION |
| 4 | ELEVATION |
| 5 | ELEVATION, SECTION |
| 6 | SECTIONS |
| 7 | NOT USED |
| 8 | NOT USED |
| 9 | NOT USED |



FOOTING / FOUNDATION PLAN

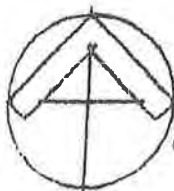
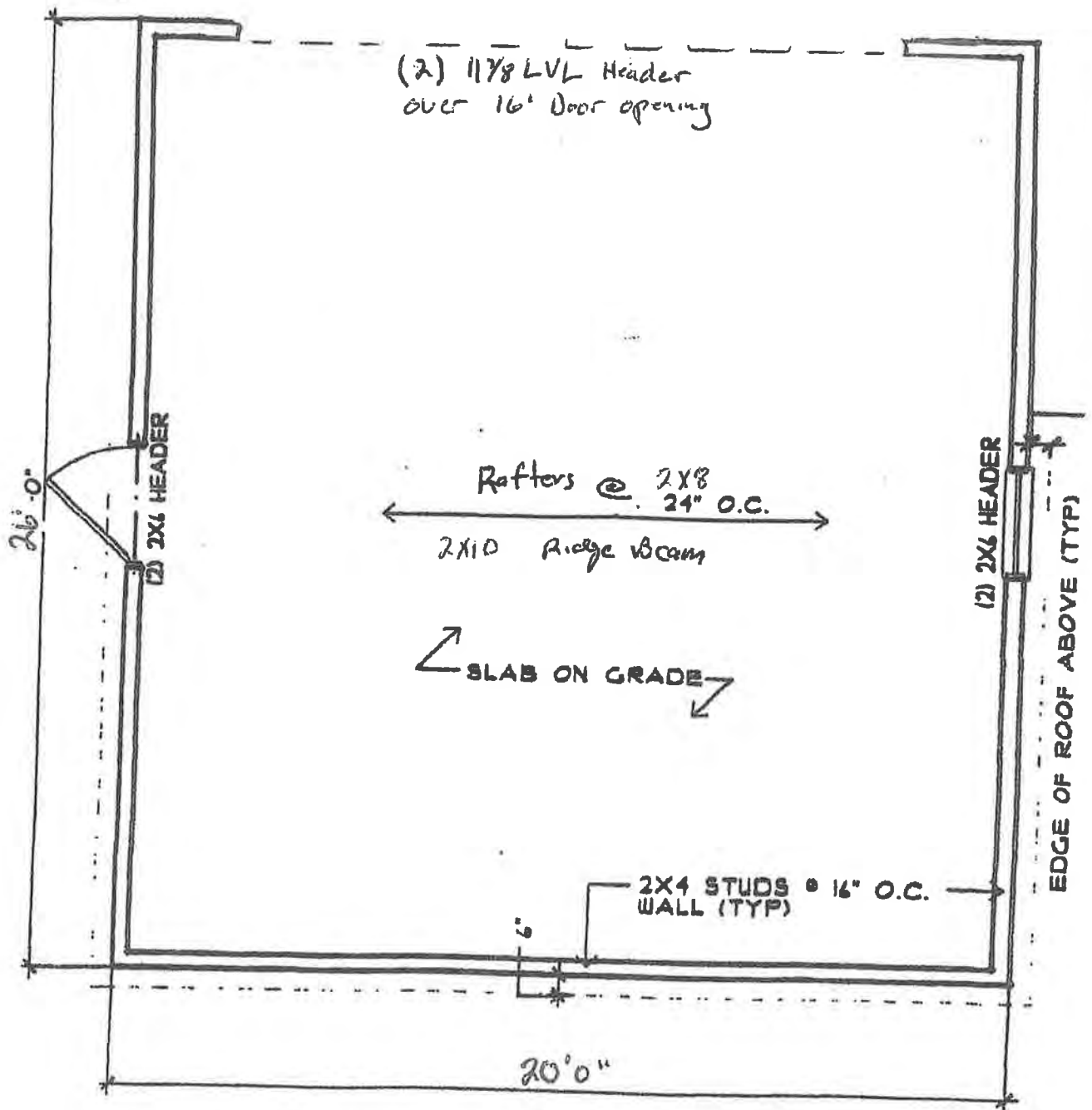
SCALE: 1/4" = 1'-0"



REVISIONS

PLANS

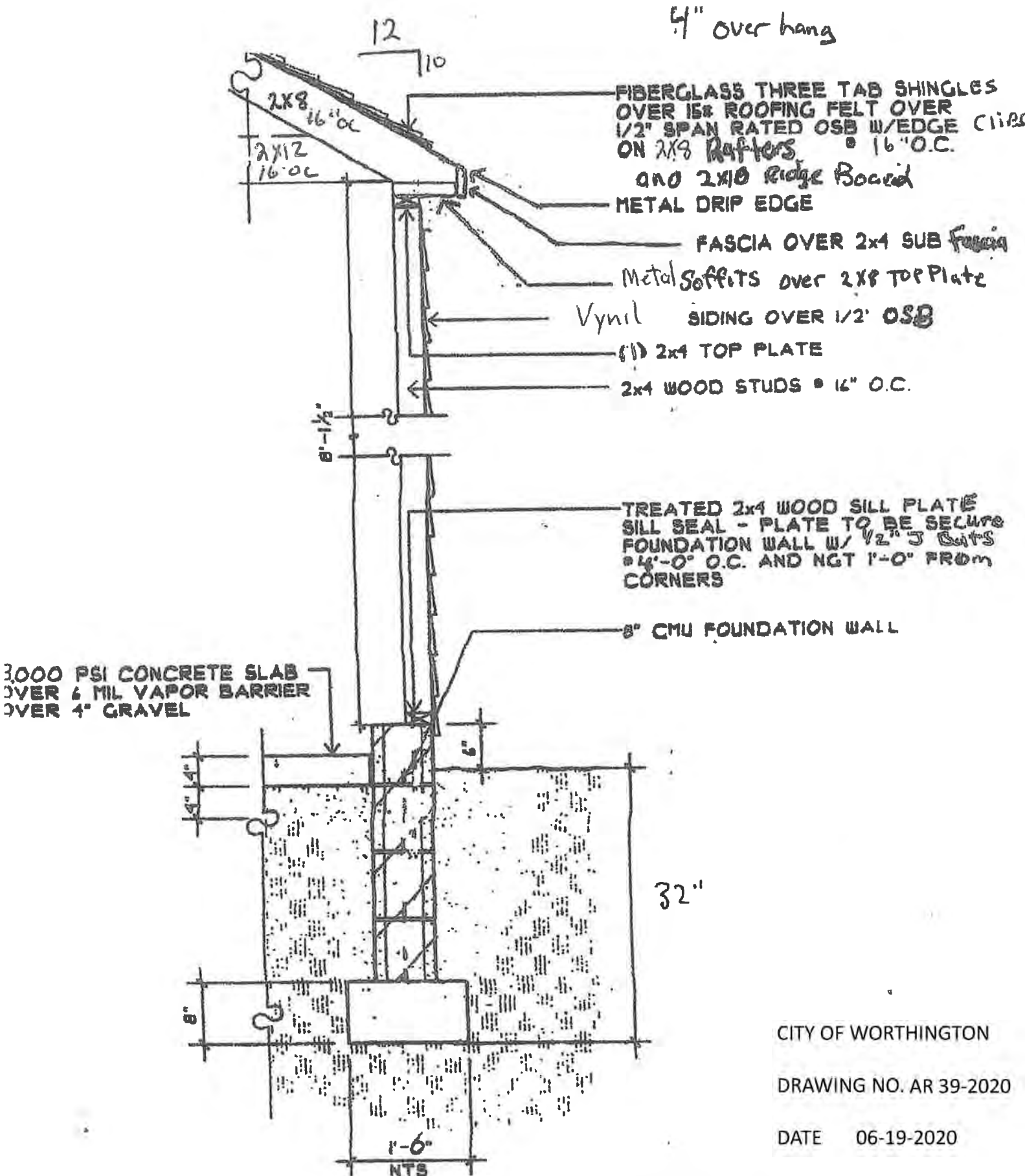
SCALE: AS NOTED



FLOOR PLAN

SCALE: 1/4" = 1'-0"



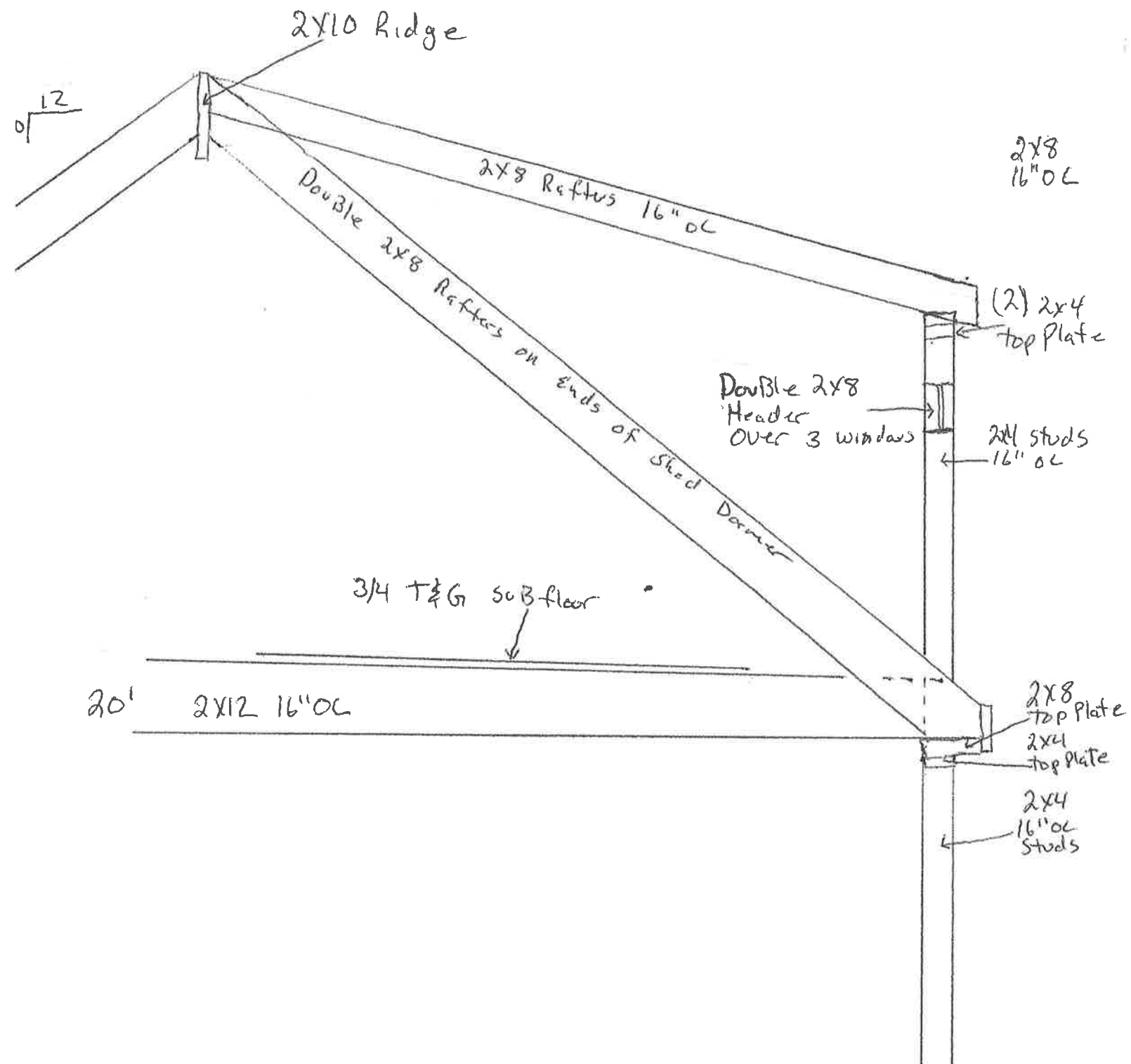


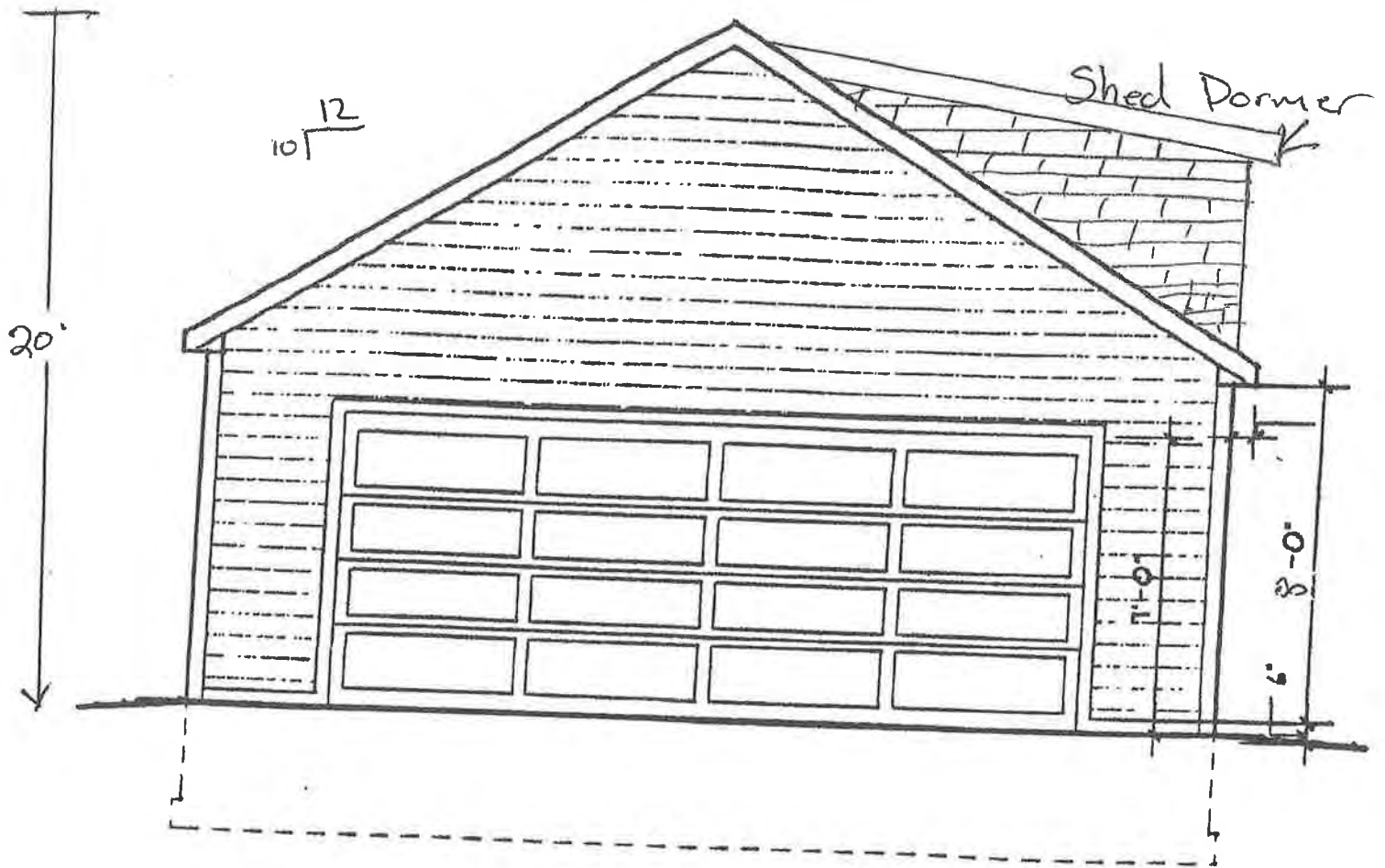
NOTE: FOOTING MUST BEAR ON UNDISTURBED SOIL

TYPICAL WALL SECTION

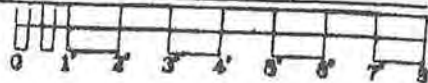
SCALE: 3/4" = 1'-0"

CITY OF WORTHINGTON
DRAWING NO. AR 39-2020
DATE 06-19-2020

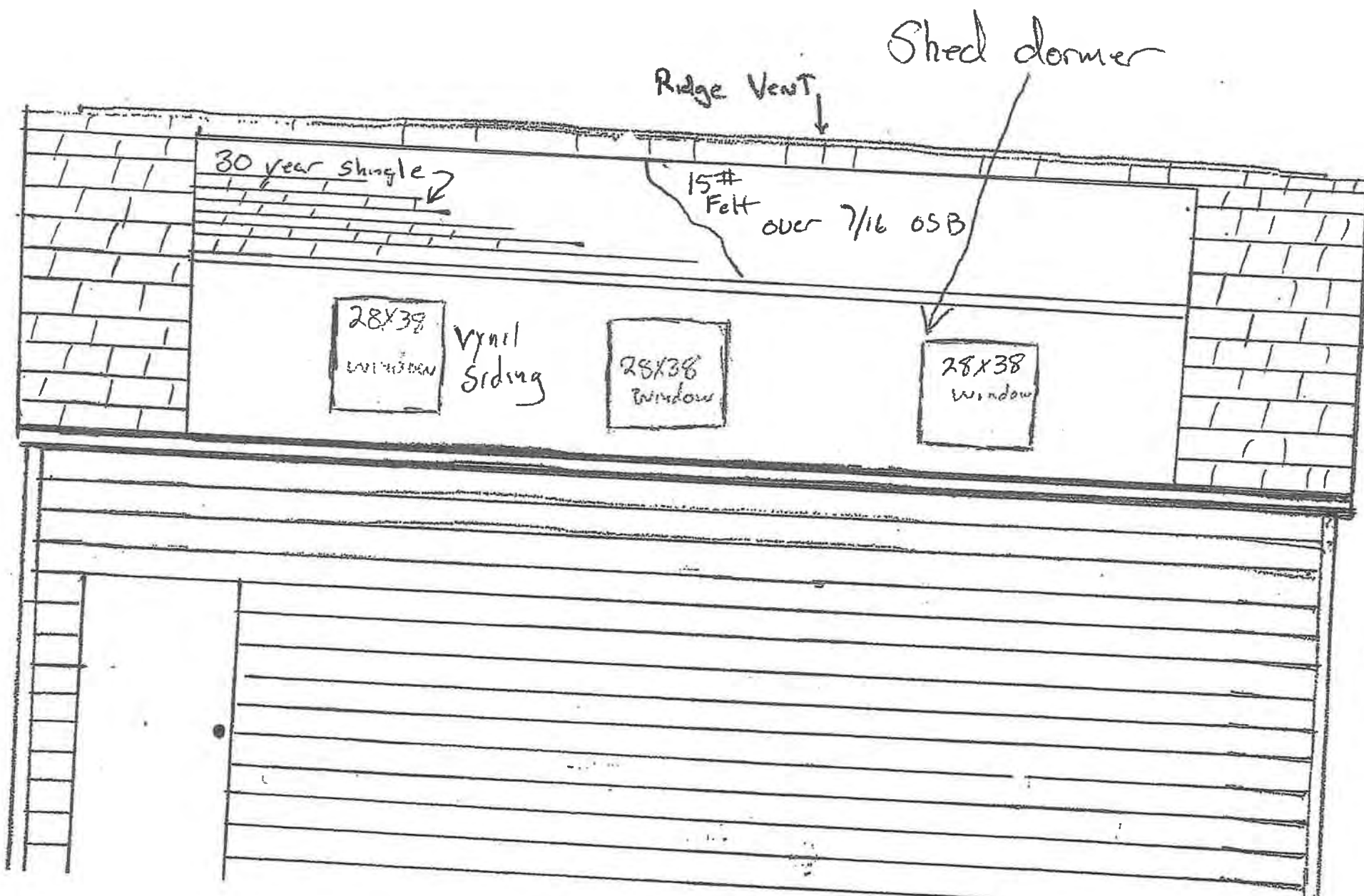




SCALE: 1/4" = 1'-0"



| REVISIONS | ELEVATIONS |
|-----------|------------|
| | |
| | |
| | |





City of Worthington
ARCHITECTURAL REVIEW BOARD
Certificate of Appropriateness
Application

Case # AR 40-2020
Date Received 06-22-2020
Fee \$2.00
Meeting Date 07/09/2020
Filing Deadline _____
Receipt # 68649

1. Property Location 60 W. Short St. Worthington OH 43085
2. Present/Proposed Use Residential
3. Zoning District _____
4. Applicant Denise & Natalie Moore
Address 60 W. Short St. Worthington OH 43085
Phone Number(s) 614-264-4154
Email _____
5. Property Owner 'Same as above'
Address _____
Phone Number(s) _____
Email _____
6. Project Description Replacing existing garage door w/
new garage door
7. Project Details:
- a) Design Sonoma 8300 Classic Steel
- b) Color White
- c) Size 16' x 7'
- d) Approximate Cost \$1,300.00 Expected Completion Date 3 wks. after
approval

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

[Signature]
Applicant (Signature)

6/18/20
Date

[Signature]
Property Owner (Signature)

6/18/20
Date

Abutting Property Owners List for
60 W. Short St.

| | | |
|----------------------------------|-----------------|-----------------------|
| Andrew Senff | 614 Oxford St. | Worthington, OH 43085 |
| Donald & Heather Miesle | 54 W. Short St. | Worthington, OH 43085 |
| Tri-Village Renovation, LLC | 53 W. Short St. | Worthington, OH 43085 |
| Alexander & Deidre Serrano | 59 W. Short St. | Worthington, OH 43085 |
| Corinne Meyer | 587 Oxford St. | Worthington, OH 43085 |
| Daphne Kackloudis | 593 Oxford St. | Worthington, OH 43085 |
| Andrew Smullen & Melissa Horvath | 601 Oxford St. | Worthington, OH 43085 |

We are replacing our existing garage door with a new door. Same size, Similar design + same color as what we currently have.

Appx \$2000, door specs + \$2 is included in this submission.

Please let me know when we can move forward with an ARB approval / meeting.

Thank you!

Natalie Moore

The plan is to have the brackets and handle(s) as well. No windows in the garage door.

60 Short St.



8300/8500 Model Comparison

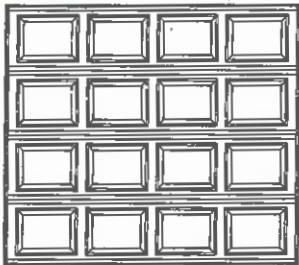
| | MODEL 8300 | MODEL 8500 |
|--|--|--|
| Door construction | 3-layer construction: steel/insulation/steel | 3-layer construction: steel/insulation/steel 2" thick steel panels |
| Polyurethane insulation* | Yes | Yes |
| Insulation R-value** | R-12.12 | R-16.22 Highest of all models |
| Tongue-and-groove section joints to seal out weather | Yes | Yes |
| Warranty | Limited Lifetime | Limited Lifetime |

*Polyurethane insulation provides superior insulation value and thermal efficiency compared to polystyrene.

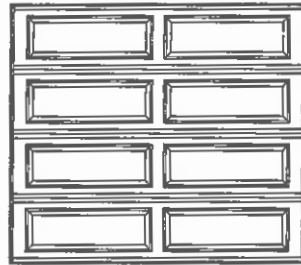
**Wayne Dalton uses a calculated door section R-value for our insulated doors.

1

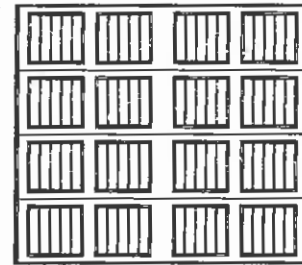
Choose Your Style



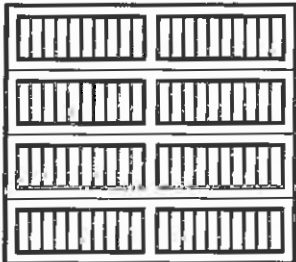
Colonial



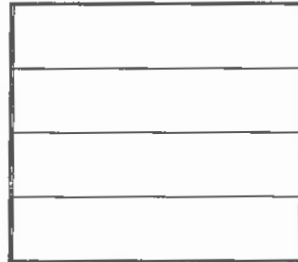
Ranch



Sonoma



Sonoma Ranch
(Model 8300 only)



Contemporary

CITY OF WORTHINGTON

DRAWING NO. AR 40-2020

DATE 06-22-2020

2

Choose Your Color

Paint Finishes (Standard)



White



Almond



Taupe



Terra Bronze



Brown



Black

Wood-Grain Finishes

Available on Sonoma
and Sonoma Ranch only



Golden Oak



Mission Oak



Walnut



Available with the TruChoice® Color System, Wayne Dalton's custom painting process that offers more than 6,000 colors. See dealer for details.

Actual colors may vary from brochure due to fluctuations in the printing process. Always request a color sample from your dealer for accurate color matching before ordering your door.

classic.
stylish.
efficient.

Made with two layers of steel and polyurethane foam insulation, Models 8300 and 8500 are extremely durable.

Not only that, they are offered in five designs with durable factory-finished colors or an optional bi-directional wood-grain finish that emulates the beauty of real wood.



PERFORMANCE FEATURES



Insulation

Models 8300 and 8500 come with foamed-in-place polyurethane insulation with an R-value* of 12.12 for Model 8300 and R-value of 16.22 for Model 8500. Insulation can improve your home's thermal efficiency, reduce street noise, and make the door operate more quietly.

Effective Joint Seals

Snug-fitting tongue-and-groove section joints reduces wind and weather from entering the garage.



Heavy Gauge Steel End Caps

Wrap-around end caps trim out door edges for better appearance, improved strength and protect the insulation from damage.

High Cycle Spring Option

Choose a 25,000 cycle spring for almost twice the life of a standard torsion spring.

Silent Glide Rollers

Nylon rollers with solid steel shafts provide years of smooth, quiet and dependable operation.



Available with optional hardware and reinforcement for high-wind regions.



Warranty

Models 8300 and 8500 offer a Limited Lifetime Warranty on the steel skin. See full text of warranty for details.

*Wayne Dalton uses a calculated door section R-value for our insulated doors.



City of Worthington
ARCHITECTURAL REVIEW BOARD
Certificate of Appropriateness
Application

Case # AR 41-2020
Date Received 06-26-2020
Fee \$14.00
Meeting Date 07-09-2020
Filing Deadline _____
Receipt # 68676

1. Property Location 195 E Dublin - Granville Rd.
2. Present/Proposed Use Roof
3. Zoning District R-104
4. Applicant David and Lorraine Robinson
Address & same
Phone Number(s) 614-893-4573
Email _____
5. Property Owner same
Address _____
Phone Number(s) _____
Email _____
6. Project Description Remove old roof (3 layers of shingles and original slate), and install new decking and shingles
7. Project Details:
 - a) Design Dimensional shingles
 - b) Color slate/charcoal
 - c) Size 13" x 40" (exposed 5.5")
 - d) Approximate Cost \$14,000 Expected Completion Date by 9/30/20

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

David W. Robinson
Applicant (Signature)

6/26/20
Date

David W. Robinson
Property Owner (Signature)

Date

Abutting Property Owners List for
195 E. Dublin-Granville Rd.

Anthony & Corinne Konecny
Ellen Bloch
James & Julia Miller
David Robinson
Elizabeth Tait & Ralph Leech

196 E. Granville Rd
184 E. Granville Rd.
187 E. Granville Rd.
705 Plymouth St.
211 E. Granville Rd.

Worthington, OH 43085
Worthington, OH 43085
Worthington, OH 43085
Worthington, OH 43085
Worthington, OH 43085

June 26, 2020

Statement re roofing project
for
195 E Dublin Granville Rd.
David & Lorraine Robinson

Seeking approval to replace existing three-tab shingle roof with dimensional shingle roof of different color (images of existing and proposed shingles provided). House dates to 1875/90, located at the northeast corner of the Morris Addition (corner of Plymouth and Granville) within the Architectural Review District (images provided).

Specifically, seek approval to remove three layers of existing shingles (three-tab style) and original slate (regrettably, severely damaged by nails used to install top three layers of shingles), to allow for installation of new decking, etc., prior to installing replacement dimensional shingles. Want to use a dark colored shingle, either charcoal, pewter, or slate (images provided), depending on availability and aesthetic assessment following inspection of installed materials on other job sites. We believe the darker colored shingles go well with the existing tan/yellowish vinyl siding, as well as our eventual plans for wood siding painted in the dark blue/grey spectrum. As of this writing, we have narrowed our choice of contractors to two viable options, and expect, contingent upon your approval of this project, to make the final selection by mid-July. Choice of specific brand of shingle may be affected by choice of contractor. Sample images provided are for the GAF Timberline HDZ line of dimensional shingles. We expect the project to be completed before the end of September.

Thank you for your consideration.

David Robinson

CITY OF WORTHINGTON

DRAWING NO. AR 41-2020

DATE 06-26-2020

195 E. Granville Rd.





CITY OF WORTHINGTON

DRAWING NO. AR 41-2020

DATE 06-26-2020



CITY OF WORTHINGTON

DRAWING NO. AR 41-2020

DATE 06-26-2020



CITY OF WORTHINGTON

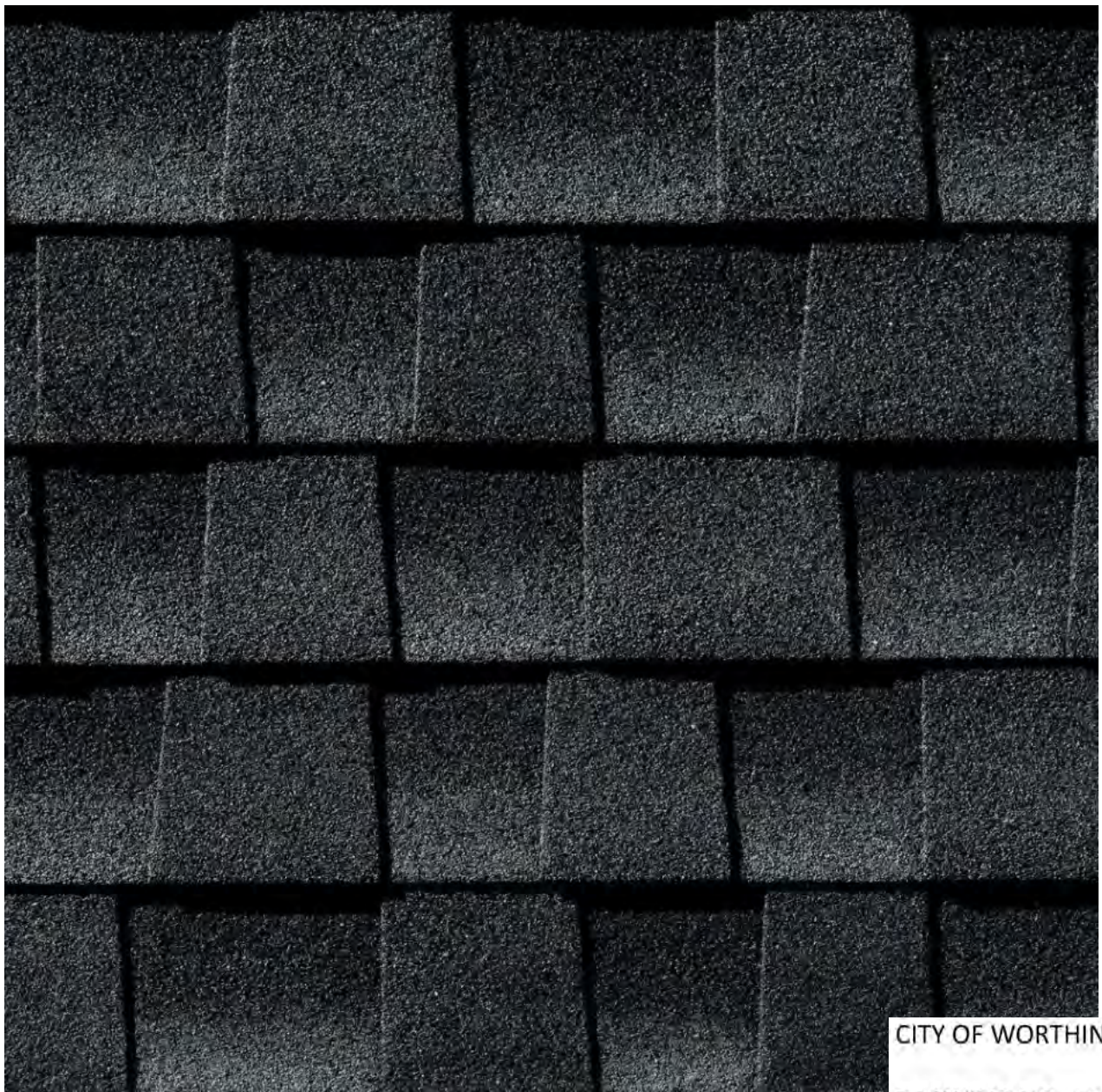
DRAWING NO. AR 41-2020

DATE 06-26-2020

Charcoal

GAF >

Timberline HDZ Charcoal Algae Resistant
Laminated High Definition Shingles (33.33
sq. ft. per Bundle) (21-Pieces)



CITY OF WORTHINGTON

DRAWING NO. AR 41-2020

DATE 06-26-2020

Pewter

GAF >

Timberline HDZ Pewter Gray Algae Resistant Laminated High Definition Shingles (33.33 sq. ft. per Bundle) (21-Pieces)



CITY OF WORTHINGTON

DRAWING NO. AR 41-2020

DATE 06-26-2020

Slate

GAF >

Timberline HDZ Slate Algae Resistant
Laminated High Definition Shingles (33.33
sq. ft. per Bundle) (21-Pieces)



CITY OF WORTHINGTON

DRAWING NO. AR 41-2020

DATE 06-26-2020



City of Worthington
ARCHITECTURAL REVIEW BOARD
Certificate of Appropriateness
Application

Case # AR 42-2020
Date Received 06-26-2020
Fee \$150.00
Meeting Date 07-09-2020
Filing Deadline _____
Receipt # 68677

1. Property Location 151 E. Dublin - Granville Road

2. Present/Proposed Use Residential / Residential

3. Zoning District Worthington

4. Applicant SBA Studios

Address 1565 Dale Ford Road

Phone Number(s) 614-562-7761

Email _____

5. Property Owner Anne Witsken

Address 151 E. Dublin Granville Rd

Phone Number(s) 937-974-0816

Email _____

6. Project Description 2nd floor addition to existing rear addition,
paint existing siding + shutters, wrap existing porch columns in cedar.

7. Project Details:

a) Design _____

b) Color See elevations + samples

c) Size + 353 SF

d) Approximate Cost \$150,000 Expected Completion Date Dec. 2020

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

[Signature]
Applicant (Signature)

6/25/20
Date

[Signature]
Property Owner (Signature)

6/25/20
Date

Abutting Property Owners List for
151 E. Dublin-Granville Rd

| | | |
|--|-------------------------|-----------------------|
| James & Carol Masters | 160 E. Granville Rd. | Worthington, OH 43085 |
| Sandra Masters | 152 E. Granville Rd. | Worthington, OH 43085 |
| Sharon Memorial Board | P.O. Box 61 | Worthington, OH 43085 |
| Leasure Balckston Post 239 American Legion | 700 Morning St. | Worthington, OH 43085 |
| Robert and Carolyn Hayzlett | 140 E. New England Ave. | Worthington, OH 43085 |
| Charles Moore | 174 E. New England Ave. | Worthington, OH 43085 |
| Tenant | 159 E. Granville Rd. | Worthington, OH 43085 |
| Capital Real Estate and Management | 9396 Concord Rd. | Powell OH 43085 |
| Tenant | 161 E. Granville Rd. | Worthington, OH 43085 |

Witsken Residence Supporting Statement/Project Description:

Removal of existing 1-story long shed roof from a non-original addition.

Add second floor over existing 1-story rear addition for new Master Suite.

Repaint all existing siding, doors and shutters.



House Trim

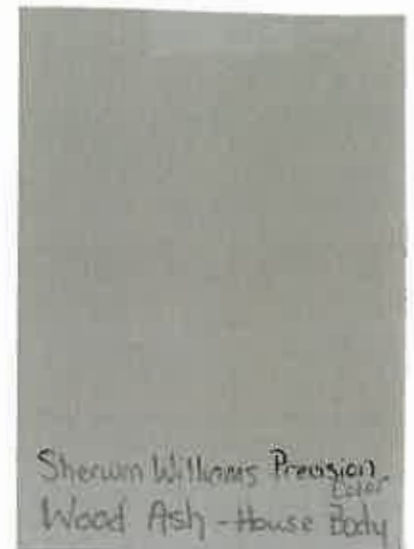


GREEK VILLA
HGSW4030

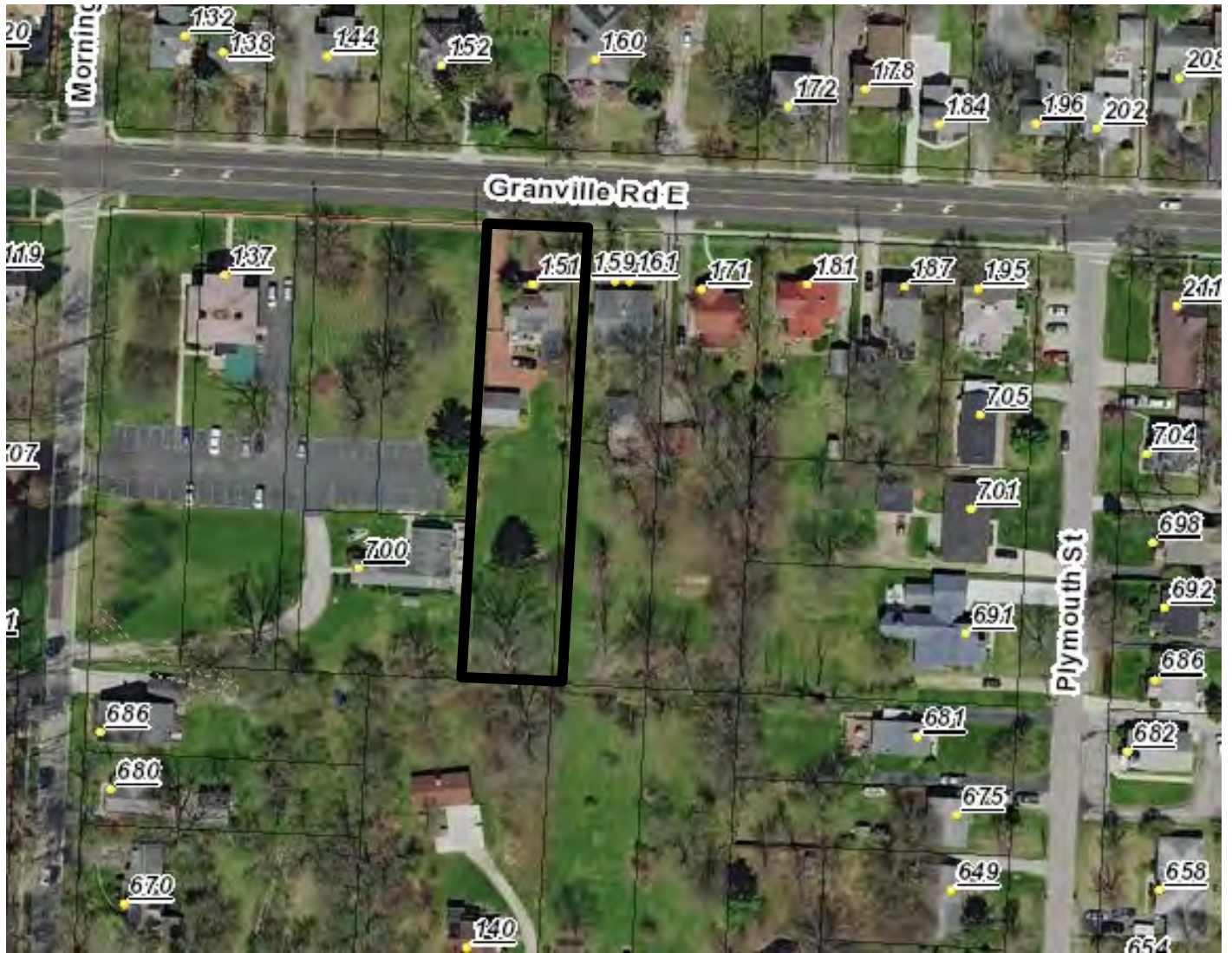
CITY OF WORTHINGTON

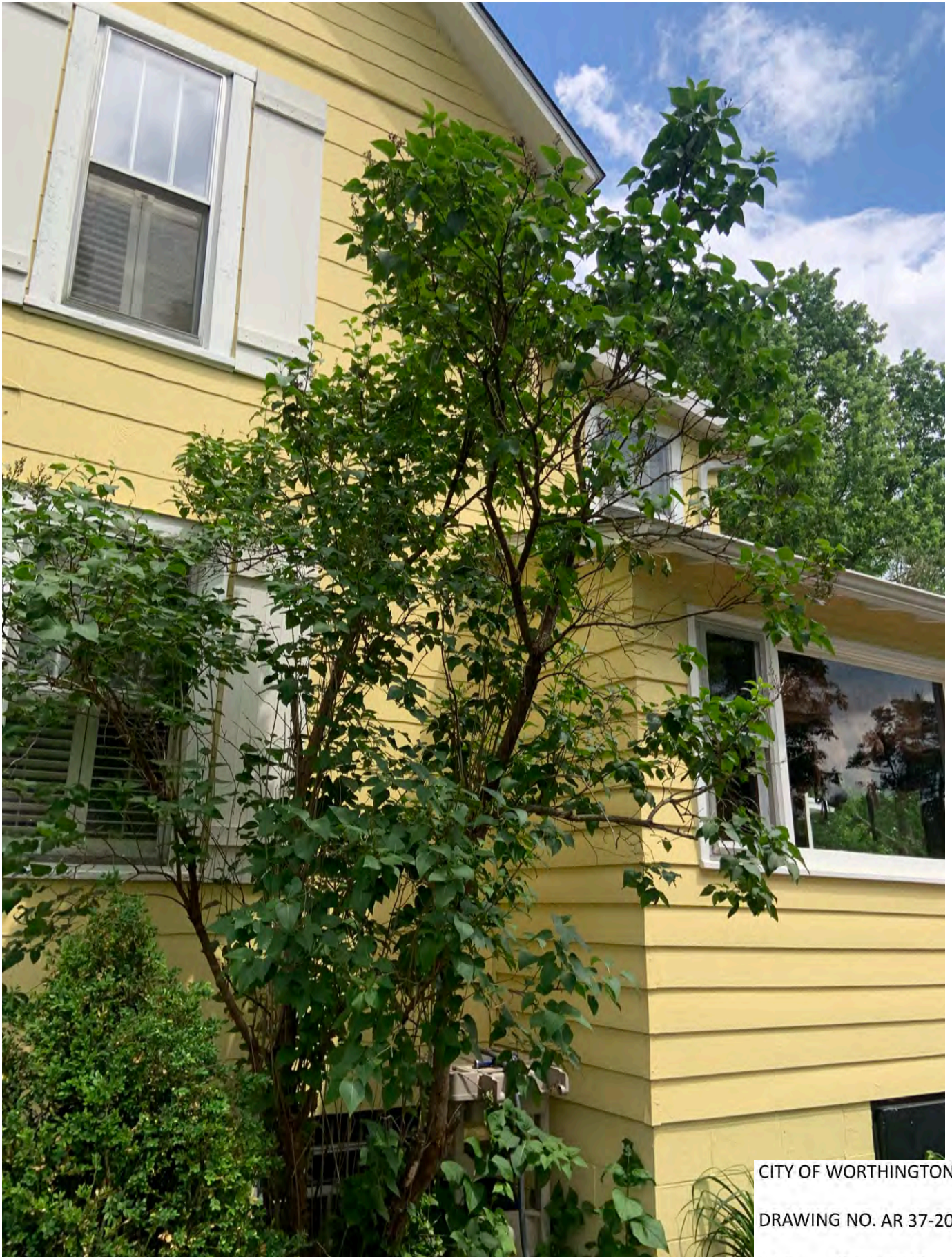
DRAWING NO. AR 37-2020

DATE 06-16-2020



151 E. Granville Rd.





CITY OF WORTHINGTON

DRAWING NO. AR 37-2020

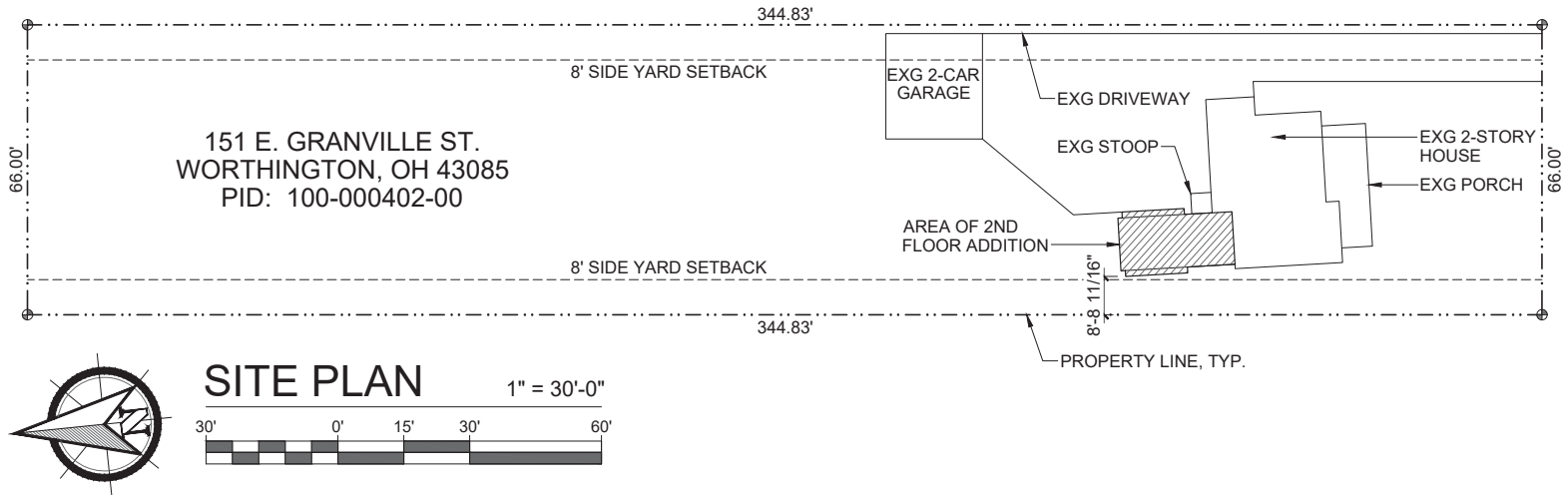
DATE 06-16-2020



CITY OF WORTHINGTON

DRAWING NO. AR 37-2020

DATE 06-16-2020



E. GRANVILLE ST. (60')

CITY OF WORTHINGTON
DRAWING NO. AR 37-2020
DATE 06-16-2020

FLOOR PLAN NOTES

- ALL DOORS SHALL BE 6" FROM ADJACENT WALL OR CENTERED IN WALL UNLESS NOTED OTHERWISE.
- ALL INTERIOR STUD WALLS TO BE 2x4 STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS TO INTERIOR WALLS ARE TO FACE OF STUD. ALL DIMENSIONS TO OUTSIDE FACE OF EXTERIOR WALLS ARE TO OUTSIDE FACE OF SHEATHING. ALL DIMENSIONS TO INSIDE FACE OF EXTERIOR WALL ARE TO FACE OF STUD.
- ALL BEDROOM WINDOWS SHALL MEET CODE REQUIREMENTS FOR EGRESS. EGRESS CLEAR OPENINGS ON GRADE FLOOR SHALL BE A MINIMUM OF 5.0 SQUARE FEET. EGRESS CLEAR OPENINGS ON ALL OTHER FLOORS SHALL BE A MINIMUM OF 5.7 SQUARE FEET.
- EGRESS WINDOWS TO HAVE A MINIMUM CLEAR HEIGHT OF 24" AND A MINIMUM CLEAR OPENING WIDTH OF 20". SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FINISH FLOOR.
- ALL ANGLED WALLS ARE 45 DEGREES U.N.O.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT IN WRITING FOR JUSTIFICATION AND / OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
- ALL DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED.
- CONTRACTOR SHALL ENSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
- ALL WOOD IN LOCATIONS SUBJECT TO TERMITE DECAY SHALL BE PRESSURE TREATED (CCA) OR BE OF AN APPROVED DECAY RESISTANT SPECIES. THIS INCLUDES, BUT NOT LIMITED TO, ALL EXTERIOR DECKS, SILLS AND SLEEPERS ON CONCRETE, MASONRY, OR IN DIRECT CONTACT WITH THE GROUND.

STRUCTURAL LEGEND

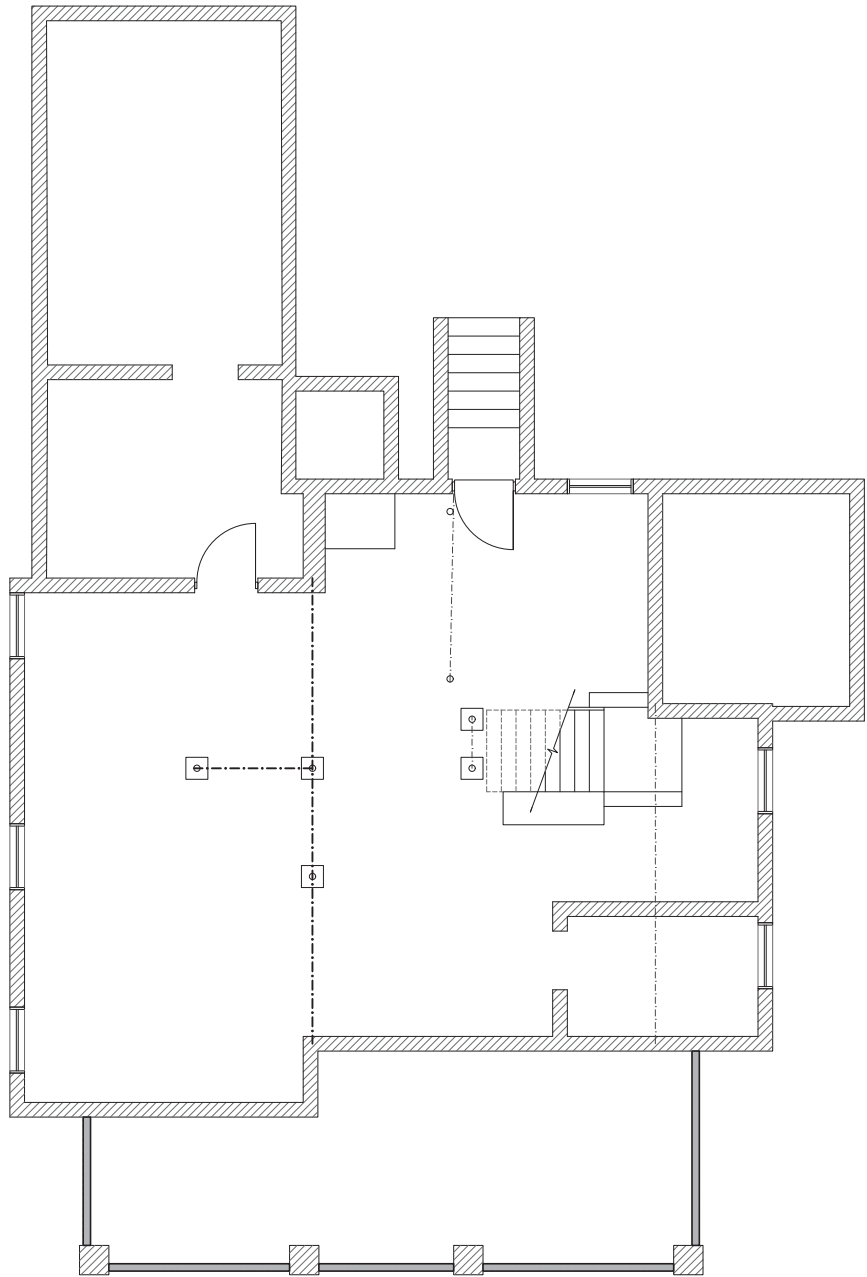
- TRUSS / JOIST / RAFTER INDICATOR
 - DIRECTION OF SPAN
 - EXTENTS OF STRUCTURE
 - SOLID BLOCKING
 - STEEL BEAM (SEE PLAN FOR SIZE)
 - HEADER / BEAM (SEE PLAN FOR SIZE)
 - GIRDER TRUSS (SEE TRUSS MANF DWGS)
 - STEEL COLUMN (SEE PLAN FOR SIZE)
 - POINT LOAD LOCATION
 - POINT LOAD FROM ABOVE
- SEE SHEET A4-1 FOR GENERAL STRUCTURAL NOTES
- ALL LVL AND 2x WOOD BEAMS: (D) = DROPPED. (F) = FLUSH
- ALL HEADERS AND BEAMS TO BEAR ON MINIMUM (1) KING STUD & (1) JACK STUD EACH SIDE OF OPENING, U.N.O.

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WITSKEN RESIDENCE
151 E DUBLIN GRANVILLE ROAD
WORTHINGTON, OHIO 43085



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| | SCALE: 1/4" = 1'-0" |
| | SHEET # / DESCRIPTION |
| | SITE PLAN |
| | A0-1 |
| | DATE: 06.26.2020 |
| SCOTT P. BAKER, LICENSE #14654 EXPIRATION DATE 12/31/2021 | ARB SUBMISSION |
| | SBA STUDIOS PROJECT # 2020-294 |

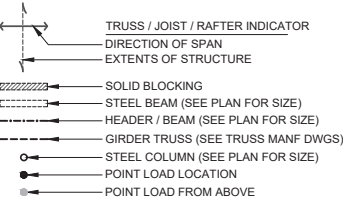


CITY OF WORTHINGTON
DRAWING NO. AR 37-2020
DATE 06-16-2020

FLOOR PLAN NOTES

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STRUCTURAL LEGEND



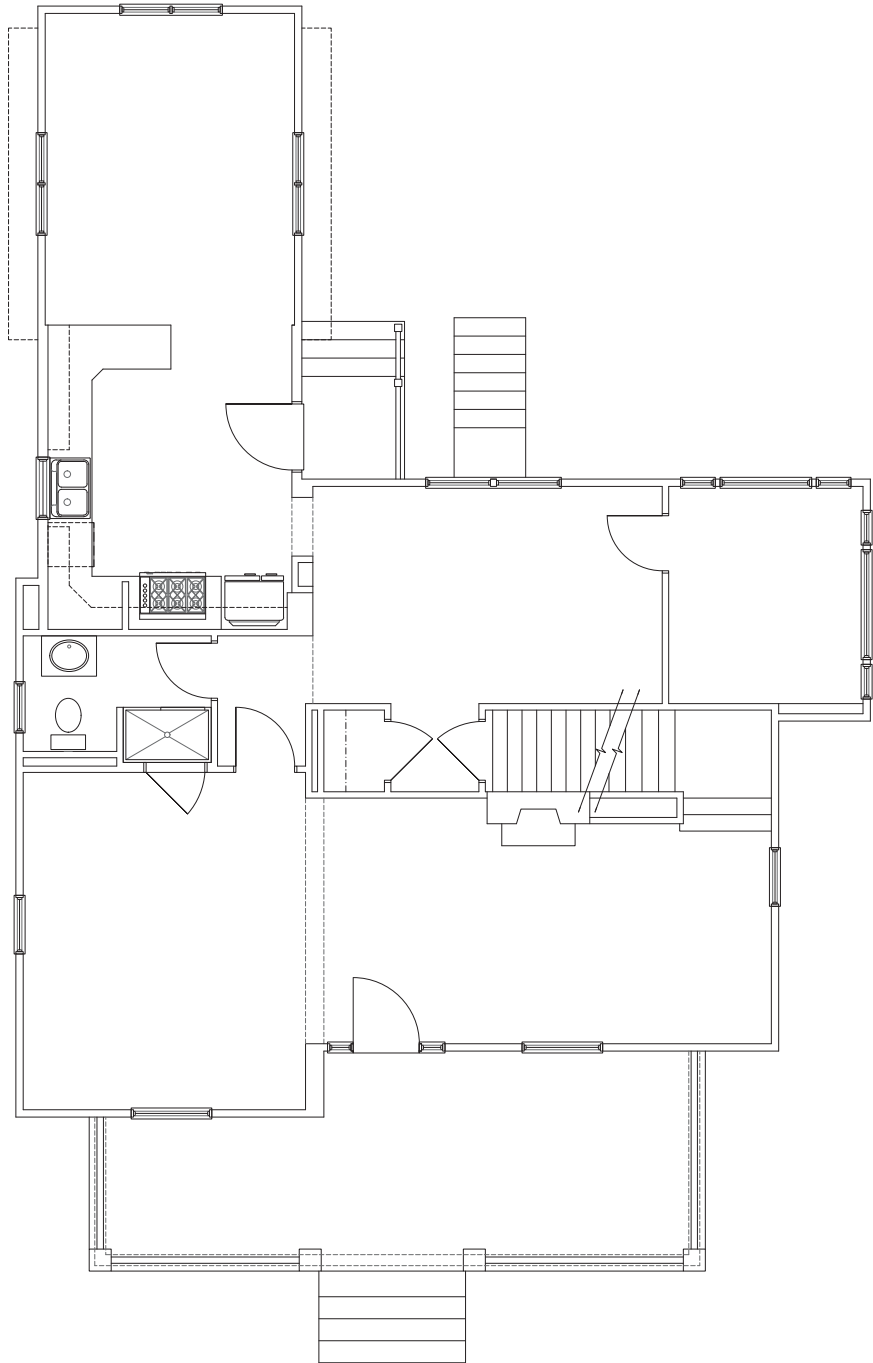
SEE SHEET A4-1 FOR GENERAL STRUCTURAL NOTES
ALL LVL AND 2x WOOD BEAMS: (D) = DROPPED. (F) = FLUSH
ALL HEADERS AND BEAMS TO BEAR ON MINIMUM (1) KING STUD & (1) JACK STUD EACH SIDE OF OPENING, U.N.O.

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WITSKEN RESIDENCE
151 E DUBLIN GRANVILLE ROAD
WORTHINGTON, OHIO 43085



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| | SCALE: 1/4" = 1'-0" |
| | SHEET # / DESCRIPTION |
| | BASEMENT PLAN |
| | A1-0 |
| | DATE: 06.26.2020 |
| SCOTT P. BAKER, LICENSE #14654 EXPIRATION DATE 12/31/2021 | ARB SUBMISSION |
| | SBA STUDIOS PROJECT # 2020-294 |



CITY OF WORTHINGTON

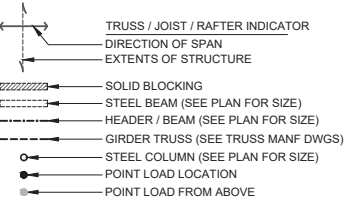
DRAWING NO. AR 37-2020

DATE 06-16-2020

FLOOR PLAN NOTES

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STRUCTURAL LEGEND



SEE SHEET A4-1 FOR GENERAL STRUCTURAL NOTES

ALL LVL AND 2x WOOD BEAMS: (D) = DROPPED. (F) = FLUSH

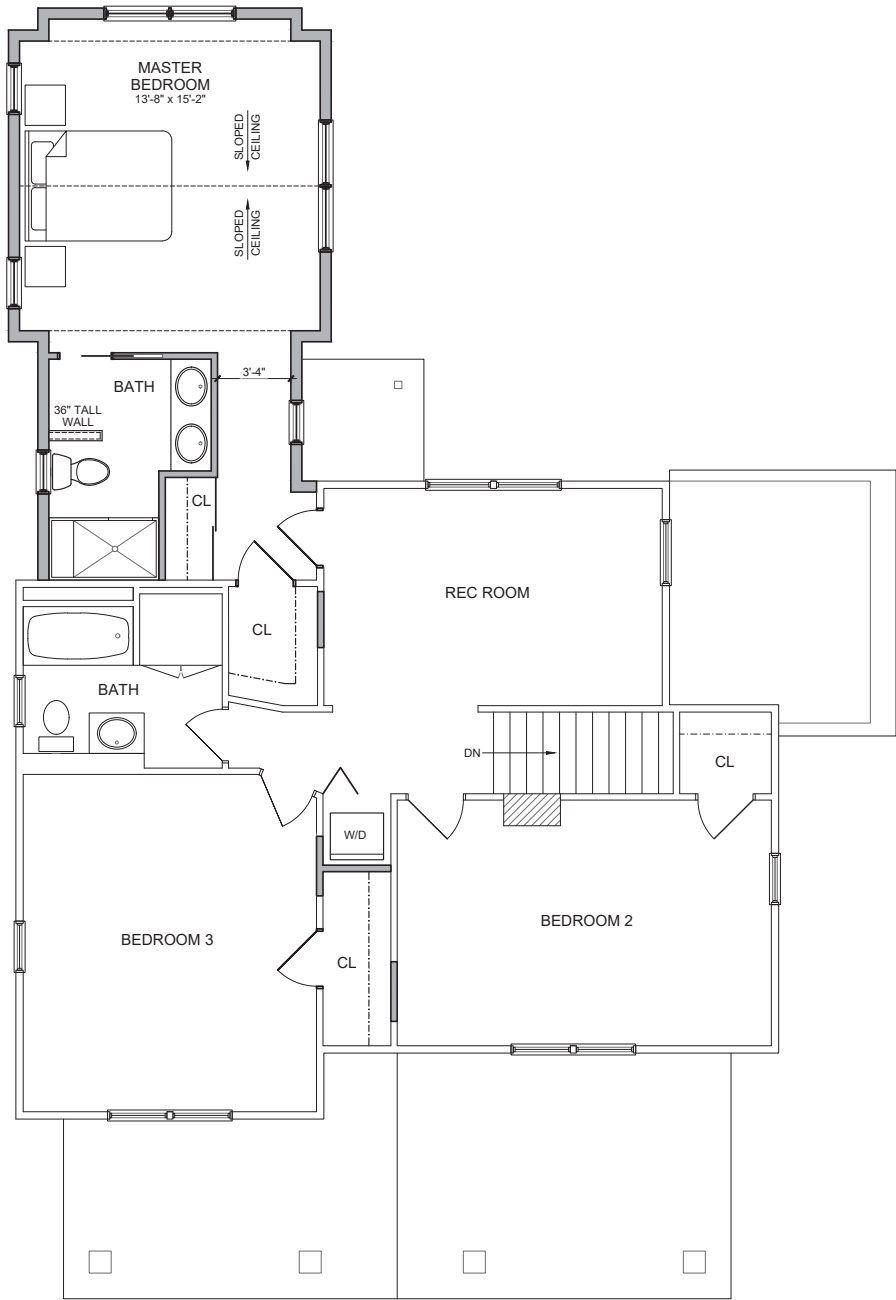
ALL HEADERS AND BEAMS TO BEAR ON MINIMUM (1) KING STUD & (1) JACK STUD EACH SIDE OF OPENING, U.N.O.

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WITSKEN RESIDENCE
151 E DUBLIN GRANVILLE ROAD
WORTHINGTON, OHIO 43085



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| | SCALE: 1/4" = 1'-0" |
| | SHEET # / DESCRIPTION |
| | FIRST FLOOR PLAN |
| | A1-1 |
| | DATE: 06.26.2020 |
| SCOTT P. BAKER, LICENSE #14654 EXPIRATION DATE 12/31/2021 | ARB SUBMISSION |
| | SBA STUDIOS PROJECT # 2020-294 |



SECOND FLOOR
+353 S.F.

CITY OF WORTHINGTON

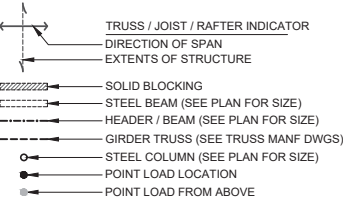
DRAWING NO. AR 37-2020

DATE 06-16-2020

FLOOR PLAN NOTES

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7. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
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9. ALL DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED.
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STRUCTURAL LEGEND



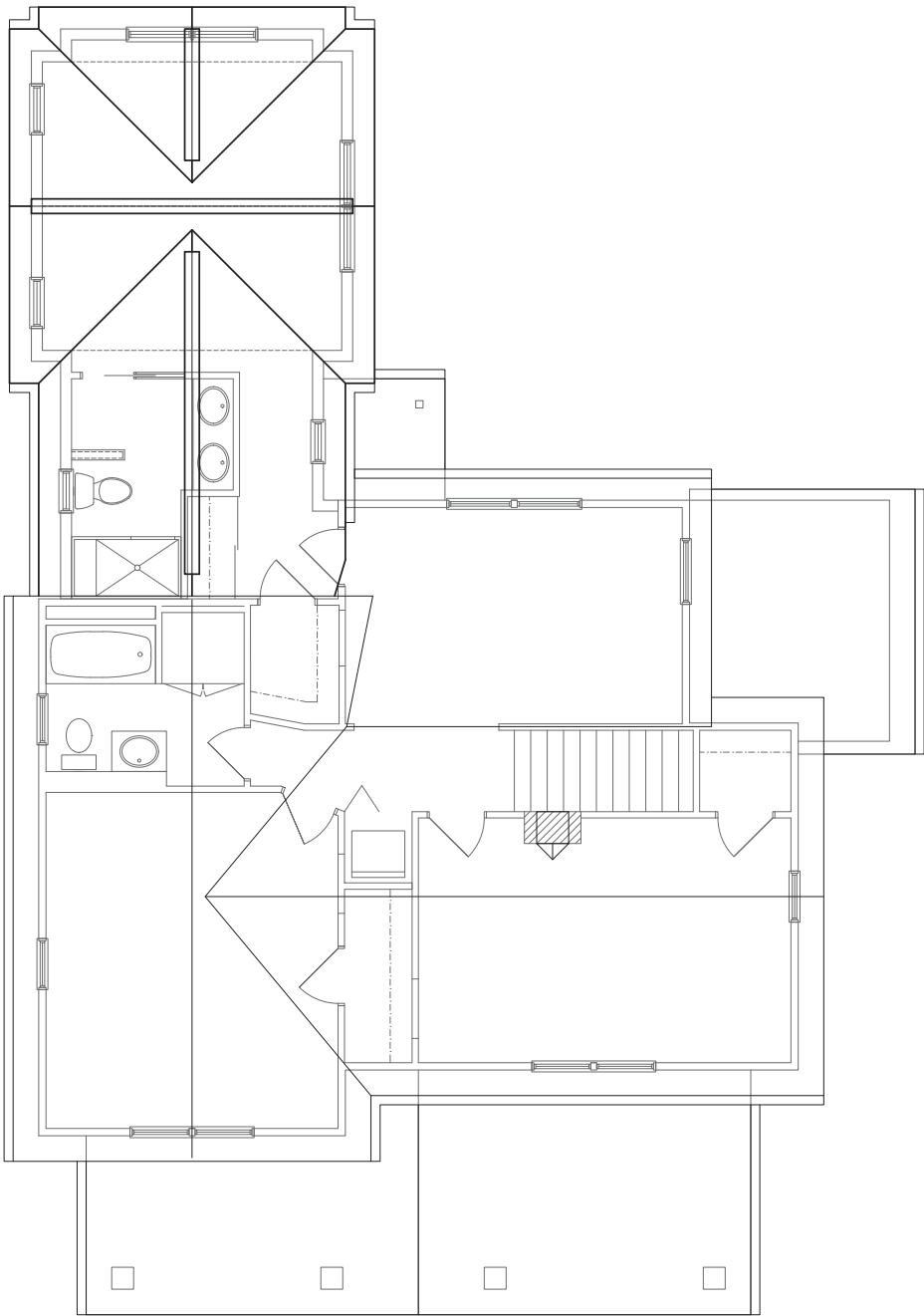
- SEE SHEET A4-1 FOR GENERAL STRUCTURAL NOTES
- ALL LVL AND 2x WOOD BEAMS: (D) = DROPPED. (F) = FLUSH
- ALL HEADERS AND BEAMS TO BEAR ON MINIMUM (1) KING STUD & (1) JACK STUD EACH SIDE OF OPENING, U.N.O.

| # | DATE | ISSUED WITH: CHANGE DESCRIPTION |
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WITSKEN RESIDENCE
151 E DUBLIN GRANVILLE ROAD
WORTHINGTON, OHIO 43085



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| | SCALE: 1/4" = 1'-0" |
| | SHEET # / DESCRIPTION |
| | SECOND FLOOR PLAN |
| | A1-2 |
| | DATE: 06.26.2020 |
| SCOTT P. BAKER, LICENSE #14654 EXPIRATION DATE 12/31/2021 | ARB SUBMISSION |
| | SBA STUDIOS PROJECT # 2020-294 |



CITY OF WORTHINGTON

DRAWING NO. AR 37-2020

DATE 06-16-2020

ROOF PLAN NOTES

1. CONTRACTOR TO DETERMINE NUMBER, SIZE AND LOCATION OF DOWNSPOUTS PER CODE FOR PROPER ROOF DRAINAGE.
2. FALSE CHIMNEYS, DORMERS, CUPOLAS AND OTHER SIMILAR FEATURES SHOULD NOT BE FRAMED AS A BOX ON THE ROOF. THE BOX SHOULD BE FRAMED DOWN INTO THE ROOF TO THE CEILING LEVEL AND STRUCTURALLY TIED INTO THE ADJACENT RAFTERS AND CEILING JOISTS, OR TRUSSES. THE EXTERIOR SHEATHING SHALL EXTEND DOWN TO THIS LEVEL OTHER THAN WHERE A METAL FLU NEEDS TO GO THROUGH FROM A FIREBOX. PROVIDE MINIMUM 22"x30" ATTIC ACCESS OPENING INTO ATTIC AREAS THAT HAVE A VERTICAL HEIGHT OF 30 INCHES OR GREATER OVER AN AREA OF NOT LESS THAN 30 SQUARE FEET. THE VERTICAL HEIGHT SHALL BE MEASURED FROM THE TOP OF THE CEILING FRAMING MEMBERS TO THE UNDERSIDE OF THE ROOF FRAMING MEMBERS. PROVIDE MINIMUM 22"x30" ATTIC OPENING INTO OVERLAY FRAMED ROOF AREAS. ATTIC ACCESS OPENINGS FROM CONDITIONED SPACES TO BE GASKETED.
3. ROOFS TO HAVE A 1'-0" OVERHANG FROM OUTSIDE FACE OF EXTERIOR SHEATHING TO OUTSIDE FACE OF FASCIA, U.N.O.

TRUSS NOTES

1. TRUSS PROFILES (SEE ELEVATIONS) ARE FOR TRUSS MANUFACTURER'S REFERENCE ONLY. TRUSS MANUFACTURER TO VERIFY ALL TRUSS SIZES AND DIMENSIONS ARE CORRECT PER THE CONSTRUCTION DOCUMENTS.
2. FINAL TRUSS LAYOUT AND DESIGN ARE THE RESPONSIBILITY OF THE TRUSS MANUFACTURER. VERIFY INTERIOR SLOPES OF SCISSOR TRUSSES AND HEIGHTS OF TRAY / CEILINGS W/ BUILDER / OWNER PRIOR TO FABRICATION. IF TRUSS DESIGN DIFFERS FROM THESE DOCUMENTS IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ARCHITECT.
3. TRUSS MANUFACTURER TO ENSURE TRUSSES ARE DESIGNED SUCH THAT ALL FASCIA ALIGN PER EXTERIOR ELEVATIONS.

RAFTER NOTES

1. ALL RAFTERS SHALL BE NAILED TO CEILING JOISTS TO FORM A CONTINUOUS TIE BETWEEN EXTERIOR WALLS WHERE JOISTS ARE PARALLEL TO THE RAFTERS. WHERE RAFTERS ARE NOT PARALLEL, RAFTERS SHALL BE TIED WITH A RAFTER TIE WHICH SHALL BE LOCATED AS NEAR TO THE PLATE AS PRACTICAL. RAFTER TIES SHALL NOT BE SPACED MORE THAN 48" O.C.
2. RAFTERS SHALL BE FRAMED TO RIDGE BOARD, OR TO EACH OTHER, WITH GUSSET PLATES AS A TIE.
3. RIDGE BOARDS SHALL BE AT LEAST 2" NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER. WHEN THE CUT END OF THE RAFTER EXCEEDS 11 1/4" THE RIDGE BOARD SHALL BE CONSTRUCTED OF A SOLID 2x12 WITH AN ADDITIONAL 2x FURRED TO THE BOTTOM EDGE OF THE 2x12.
4. VALLEY AND HIP RAFTERS SHALL NOT BE LESS THAN 2" NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER.
5. HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT THE RIDGE BY A BRACE TO A SUPPORTING PARTITION WALL, OR BE DESIGNED TO CARRY / DISTRIBUTE THE SPECIFIC LOAD AT THAT POINT.

STRUCTURAL LEGEND

TRUSS / JOIST / RAFTER INDICATOR
DIRECTION OF SPAN
EXTENTS OF STRUCTURE

SOLID BLOCKING
STEEL BEAM (SEE PLAN FOR SIZE)
HEADER / BEAM (SEE PLAN FOR SIZE)
GIRDER TRUSS (SEE TRUSS MANF DWGS)
STEEL COLUMN (SEE PLAN FOR SIZE)
POINT LOAD LOCATION
POINT LOAD FROM ABOVE

SEE SHEET A4-1 FOR GENERAL STRUCTURAL NOTES

ALL LVL AND 2x WOOD BEAMS: (D) = DROPPED. (F) = FLUSH

ALL HEADERS AND BEAMS TO BEAR ON MINIMUM (1) KING STUD & (1) JACK STUD EACH SIDE OF OPENING, U.N.O.

| # | DATE | ISSUED WITH: CHANGE DESCRIPTION |
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WITSKEN RESIDENCE
151 E DUBLIN GRANVILLE ROAD
WORTHINGTON, OHIO 43085



SCALE: 1/4" = 1'-0"

SHEET # / DESCRIPTION

ROOF PLAN

A1-3

DATE: 06.26.2020

ARB SUBMISSION

SCOTT B. BAKER, LICENSE #14654
EXPIRATION DATE 12/31/2021

SBA STUDIOS PROJECT # 2020-294

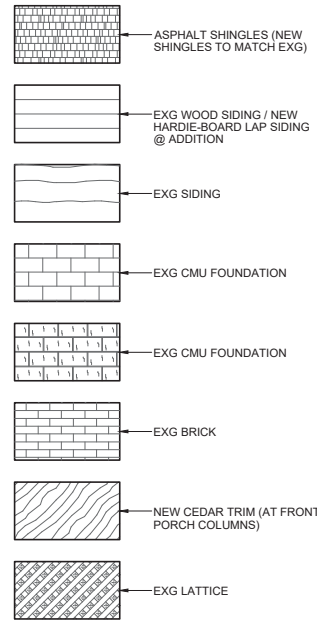


2 EXISTING FRONT ELEVATION



1 PROPOSED FRONT ELEVATION

ELEVATION MATERIAL LEGEND



ELEVATION MATERIAL COLORS

EXG AND NEW SIDING: VALSPAR - WOOD ASH (C2-923)
DOORS AND SHUTTERS: SHERWIN WILLIAMS - BUNGLEHOUSE BLUE (SW0048)
EXG AND NEW TRIM: SHERWIN WILLIAMS - GREEK VILLA (SW7551)

| # | DATE | ISSUED WITH: CHANGE DESCRIPTION |
|---|------|---------------------------------|
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WITSKEN RESIDENCE
151 E DUBLIN GRANVILLE ROAD
WORTHINGTON, OHIO 43085



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| SCALE: 1/4" = 1'-0" |
| SHEET # / DESCRIPTION |
| FRONT ELEVATIONS |
| A2-1 |
| DATE: 06.26.2020 |
| ARB SUBMISSION |
| SCOTT P. BAKER, LICENSE #14654 EXPIRATION DATE 12/31/2021 |
| SBA STUDIOS PROJECT # 2020-294 |

CITY OF WORTHINGTON

DRAWING NO. AR 37-2020

DATE 06-16-2020



2 EXISTING RIGHT ELEVATION



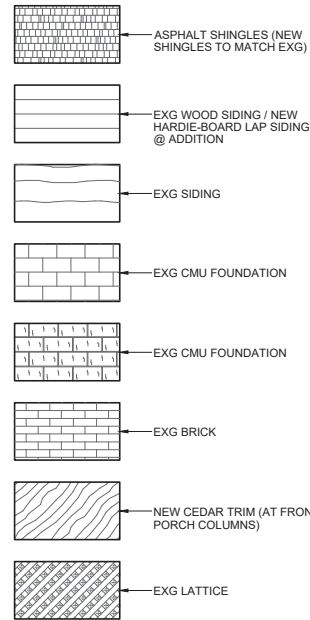
CITY OF WORTHINGTON

DRAWING NO. AR 37-2020

DATE 06-16-2020

1 PROPOSED RIGHT ELEVATION

ELEVATION MATERIAL LEGEND



ELEVATION MATERIAL COLORS

EXG AND NEW SIDING: VALSPAR - WOOD ASH (C2-923)
DOORS AND SHUTTERS: SHERWIN WILLIAMS - BUNGLEHOUSE BLUE (SW0048)
EXG AND NEW TRIM: SHERWIN WILLIAMS - GREEK VILLA (SW7551)

| # | DATE | ISSUED WITH: CHANGE DESCRIPTION |
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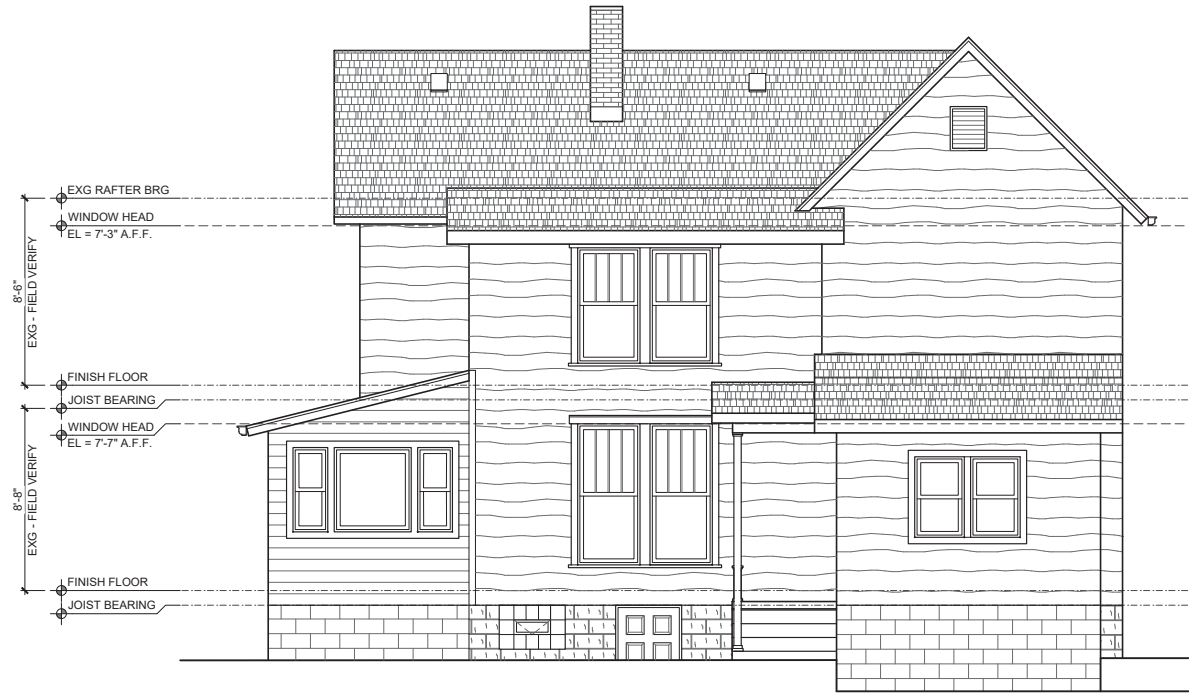
WITSKEN RESIDENCE
151 E DUBLIN GRANVILLE ROAD
WORTHINGTON, OHIO 43085



STATE OF OHIO
SCOTT B. BAKER, LICENSE #14654
EXPIRATION DATE 12/31/2021

DATE: 06.26.2020
ARB SUBMISSION
SBA STUDIOS PROJECT # 2020-294

SCALE: 1/4" = 1'-0"
SHEET # / DESCRIPTION
RIGHT ELEVATIONS
A2-2



2

EXISTING REAR ELEVATION



1

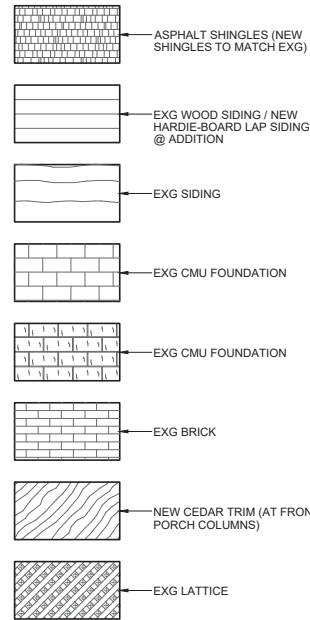
PROPOSED REAR ELEVATION

CITY OF WORTHINGTON

DRAWING NO. AR 37-2020

DATE 06-16-2020

ELEVATION MATERIAL LEGEND



ELEVATION MATERIAL COLORS

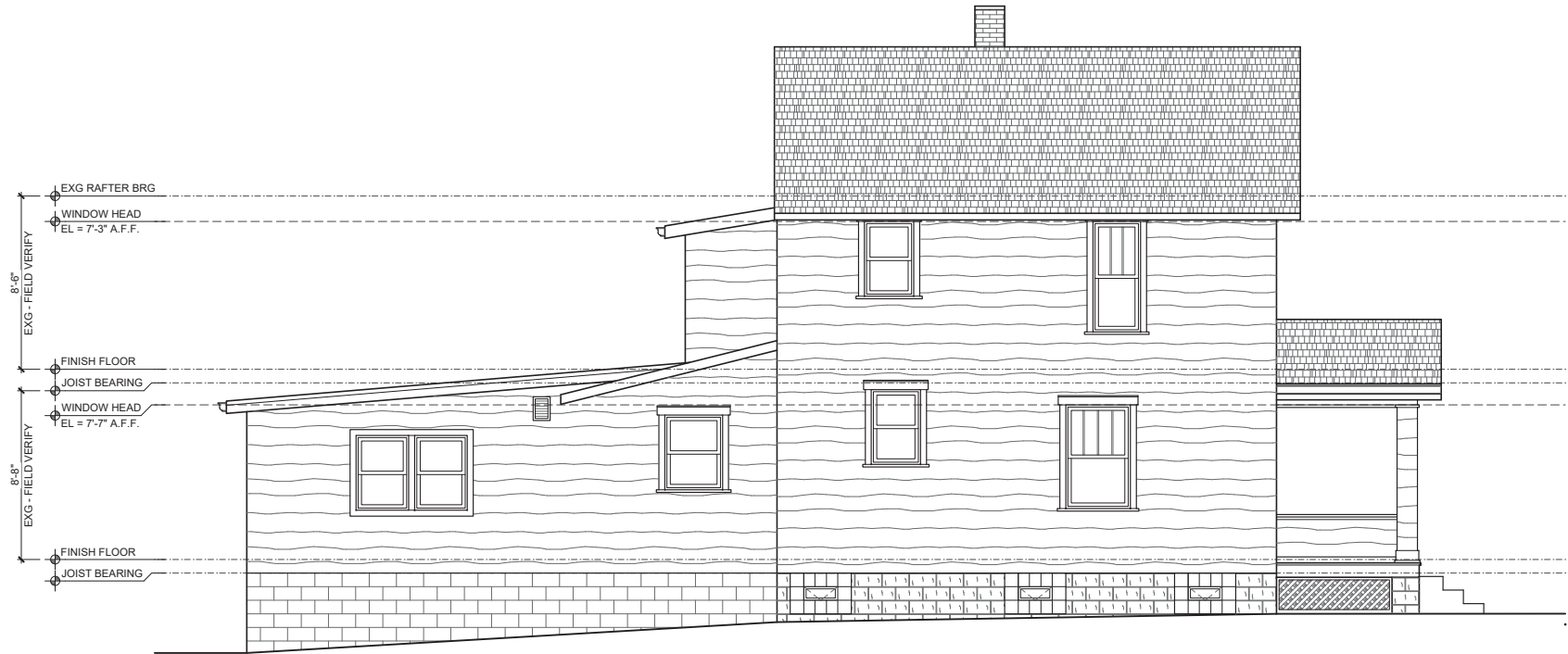
EXG AND NEW SIDING: VALSPAR - WOOD ASH (C2-923)
DOORS AND SHUTTERS: SHERWIN WILLIAMS - BUNGLEHOUSE BLUE (SW0048)
EXG AND NEW TRIM: SHERWIN WILLIAMS - GREEK VILLA (SW7551)

| # | DATE | ISSUED WITH: CHANGE DESCRIPTION |
|---|------|---------------------------------|
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WITSKEN RESIDENCE
151 E DUBLIN GRANVILLE ROAD
WORTHINGTON, OHIO 43085



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| | SCALE: 1/4" = 1'-0" |
| | SHEET # / DESCRIPTION |
| | REAR ELEVATIONS |
| | A2-3 |
| | DATE: 06.26.2020 |
| SCOTT P. BAKER, LICENSE #14654 EXPIRATION DATE 12/31/2021 | ARB SUBMISSION |
| | SBA STUDIOS PROJECT # 2020-294 |



2

EXISTING LEFT ELEVATION



1

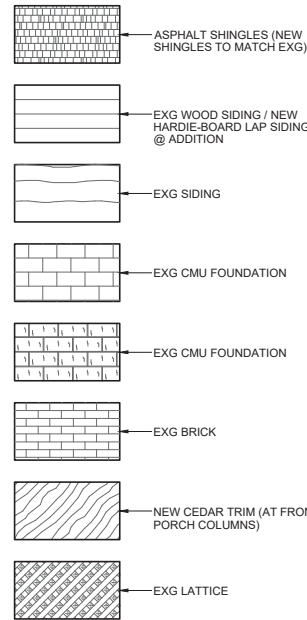
PROPOSED LEFT ELEVATION

CITY OF WORTHINGTON

DRAWING NO. AR 37-2020

DATE 06-16-2020

ELEVATION MATERIAL LEGEND



ELEVATION MATERIAL COLORS

EXG AND NEW SIDING: VALSPAR - WOOD ASH (C2-923)
DOORS AND SHUTTERS: SHERWIN WILLIAMS - BUNGLEHOUSE BLUE (SW0048)
EXG AND NEW TRIM: SHERWIN WILLIAMS - GREEK VILLA (SW7551)

| # | DATE | ISSUED WITH: CHANGE DESCRIPTION |
|---|------|---------------------------------|
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WITSKEN RESIDENCE
151 E DUBLIN GRANVILLE ROAD
WORTHINGTON, OHIO 43085



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|--|-----------------------|
| | SCALE: 1/4" = 1'-0" |
| | SHEET # / DESCRIPTION |
| | LEFT ELEVATIONS |
| | A2-4 |
| | DATE: 06-26-2020 |
| SCOTT P. BAKER, LICENSE #14654 EXPIRATION DATE 12/31/2021 | ARB SUBMISSION |
| SBA STUDIOS PROJECT # 2020-294 | |